

October 4, 2024

PROJECT NAME: SMALLS SLIDERS SR200

PROJECT NUMBER: 2024070043

APPLICATION: MAJOR SITE PLAN #31802

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: INFO
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.
- 3 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 8/9/24-add waivers if requested in future
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
- 5 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: Central water/sewer
- 6 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: Additional Planning Items:
STATUS OF REVIEW: INFO
REMARKS: 9/11/2024 - The angled parking spaces along the southwest boundary have not been dimensions (the spaces along the northwest boundary have been).
Parking space length and width are not labeled.

Please include space dimensions.



**Marion County
Board of County Commissioners**

AR31802

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW PLAN APPLICATION

Date: 07/22/2024

A. PROJECT INFORMATION:

Project Name: SMALLS SLIDERS SR200
Parcel Number(s): 35696-003-00 PARCEL C
Section 19 Township 16 Range 21 Land Use GCPD Zoning Classification B2
Commercial Residential Industrial Institutional Mixed Use Other _____
Type of Plan: MAJOR SITE PLAN
Property Acreage +/- 1.00 Number of Lots _____ Miles of Roads _____
Location of Property with Crossroads +/- 0.08 MILES SOUTH OF INTERSECTION OF SR 200 & SW 95TH ST RD
Additional information regarding this submittal: _____

B. CONTACT INFORMATION *(Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.)*

Engineer:
Firm Name: DAVIS DINKINS ENGINEERING, P.A. Contact Name: DAVIS DINKINS
Mailing Address: 125 NE 1ST AVE, STE 2 City: OCALA State: FL Zip Code: 34470
Phone # 352.854.5961 Alternate Phone # _____
Email(s) for contact via ePlans: davis@dinkinsengineering.com/stephanie@dinkinsengineering.com

Surveyor:
Firm Name: _____ Contact Name: _____
Mailing Address: _____ City: _____ State: _____ Zip Code: _____
Phone # _____ Alternate Phone # _____
Email(s) for contact via ePlans: _____

Property Owner:
Owner: OCALA HWY 200 Contact Name: _____
Mailing Address: _____ City: _____ State: _____ Zip Code: _____
Phone # _____ Alternate Phone # _____
Email address: _____

Developer:
Developer: DPC FRANCHISE 2, LLC Contact Name: _____
Mailing Address: _____ City: _____ State: _____ Zip Code: _____
Phone # _____ Alternate Phone # _____
Email address: _____

Revised 6/2021

CLEAR FORM

Empowering Marion for Success

marionfl.org

SMALLS SLIDERS SR 200

MAJOR SITE PLAN MARION COUNTY, FLORIDA

GENERAL NOTES:

- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY "LAND DEVELOPMENT CODE" AND "UTILITY MANUAL" AS APPLICABLE. ANY WORK WITHIN THE FOOT RIGHT OF WAY SHALL CONFORM TO THE FOOT STANDARD PLANS INDEX (CURRENT EDITION).
- NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL BY BOTH THE PROJECT ENGINEER AND THE OFFICE OF THE COUNTY ENGINEER.
- BUILDING SHALL BE HANDICAP ACCESSIBLE PER AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN (LATEST EDITION).
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND COVER OF ALL EXISTING UTILITIES AND REPORT ANY DISCREPANCY TO THE PROJECT ENGINEER. THERE MAY BE ADDITIONAL UTILITIES NOT SHOWN ON THESE PLANS. CAUTION IS ADVISED PRIOR TO DIGGING.
- TYPE II SLT FENCE SHALL BE INSTALLED AS SHOWN ON THESE PLANS PRIOR TO ANY CONSTRUCTION, MAINTAINED DURING THE LIFE OF THE PROJECT, AND REMOVED FOLLOWING COMPLETION OF CONSTRUCTION.
- THE SITE SHALL REMAIN FREE OF EXCESS DUST AND DEBRIS AT ALL TIMES. ANY INCIDENCE OF EROSION, SEDIMENTATION, DUST OR EMISSIONS ESCAPING OFF SITE AS A RESULT OF CONSTRUCTION ACTIVITIES ON THIS DEVELOPMENT SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 48 HOURS OF EACH OCCURRENCE.
- ALL DRAINAGE FACILITIES AND STORM STRUCTURES MUST BE BUILT PRIOR TO CONSTRUCTION OF ANY IMPERVIOUS SURFACES.
- UNDESIRABLE MATERIAL IS DISCONTINUED WITHIN THE PROPOSED PARKING LOT, TWO (2) FEET OF UNDERCUT BELOW THE PROPOSED STABILIZED SUBGRADE, UNDER THE DRIVE, AND UNDER THE SIDEWALK. MATERIALS PER GEOTECHNICAL ENGINEER'S RECOMMENDATION IS REQUIRED. THE CONTRACTOR SHOULD PROVIDE A SOIL TEST IN THE FIELD, AND HE SHALL NOTIFY THE PROJECT ENGINEER WHEN UNSUITABLE MATERIAL IS ENCOUNTERED. BEFORE PROCEEDING WITH ANY WORK RELATED TO UNSUITABLE MATERIAL, THE CONTRACTOR IS ADVISED TO CONTACT A LICENSED GEOTECHNICAL ENGINEER TO DETERMINE THE SUITABILITY OF THE IN-SITU SOIL AND THE AREA OF UNDERCUT THAT IS REASONABLY REQUIRED.
- ON-SITE STANDARD ASPHALT PAVEMENT SHALL BE 1 1/2" THICK F.D.O.T. SP-12.5 ON 4" EMERCOSE BASE WITH PRIME COAT (88% MAX DENSITY, 100 LB/SY) ON 4" (F.D.O.T. TYPE B) STABILIZED SUBGRADE (88% MAX DENSITY, 40 LB/SY). ON-SITE HEAVY DUTY ASPHALT PAVEMENT SHALL BE 3" THICK F.D.O.T. SP-12.5 (TWO LIFTS REQUIRED) ON 9" EMERCOSE BASE WITH PRIME COAT (88% MAX DENSITY, 100 LB/SY) ON 12" (F.D.O.T. TYPE B) STABILIZED SUBGRADE (88% MAX DENSITY, 40 LB/SY).
- CONSTRUCTION REQUIREMENTS OF THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) SHALL GOVERN SEE REPORT BY GEOTECH, INC. FOR ADDITIONAL INFORMATION.
- MINIMUM STRENGTH FOR ANY CONCRETE ON SITE SHALL BE 3000 P.S.I. AT 28 DAYS UNLESS INDICATED OTHERWISE ON THESE PLANS.
- ANY DISTURBED ON-SITE AREAS LEFT UNPAVED SHALL BE RESTORED AND SOODED, SEEDED AND MULCHED, OR LANDSCAPED (AS APPLICABLE). ALL SOODED AREA SHALL BE UNDERCUT 2" PRIOR TO INSTALLATION.
- IF A SWIRLHOLE SHOULD FORM ON THIS SITE, ALL APPLICABLE REPAIR PROCEDURES SHALL BE FOLLOWED AS OUTLINED IN TYPICAL SWH CHAINLET REPAIR DETAIL SHOWN HEREON. ALSO, MARION COUNTY AND S.W.F.W.M.D. SHALL BE NOTIFIED IMMEDIATELY.
- DAVIS DUNN'S ENGINEERING, P.A. AND ITS EMPLOYEES ARE NOT RESPONSIBLE FOR ON-SITE SAFETY DURING CONSTRUCTION.
- THE ELECTRICIAN SHALL COORDINATE WITH ELECTRIC SERVICE PROVIDER ANY MODIFICATIONS TO ELECTRIC SERVICE. ANY SLEWING REQUIREMENTS SHALL BE COORDINATED WITH THE SITE CONTRACTOR.
- THERE ARE NO WETLANDS ON THIS SITE.
- AN AS-BUILT SURVEY SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR AND PROVIDED TO THE PROJECT ENGINEER FOR HIS USE IN OBTAINING THE COMPLETION OF THE PROJECT PRIOR TO C.O. ALL AS-BUILTS SHALL COMPLY WITH CURRENT L.C.C. SECTION 6.1.6.2.
- THE SITE CONTRACTOR MUST OBTAIN A PERMIT FROM THE COUNTY RIGHT-OF-WAY DIVISION PRIOR TO COMMENCEMENT OF WORK WITHIN THE COUNTY RIGHT-OF-WAY.
- A PERMIT MUST BE OBTAINED FROM THE MARION COUNTY PERMITTING DIVISION PRIOR TO COMMENCEMENT OF ANY WORK WITHIN THE COUNTY RIGHT-OF-WAY.
- MARION COUNTY UTILITIES PERSONNEL ARE TO RESPECT ANY WORK PERFORMED ON OR AROUND EXISTING MARION COUNTY UTILITIES INFRASTRUCTURE. MARION COUNTY UTILITIES PERSONNEL IS REQUIRED TO BE PRESENT AT ALL TIMES TO VERIFY THE LOCATION AND DEPTH OF CONSTRUCTION. IF THE PRE-CONSTRUCTION MEETING IS NOT COMPLETED, ANY WORK MUST BE HALTED. TO SCHEDULE, CONTACT THE CONSTRUCTION OFFICE AT (352) 218-1111.
- COPIES OF ALL RELATED PERMIT APPLICATIONS AND ISSUED PERMITS SHALL BE SUBMITTED TO THE DEVELOPMENT REVIEWER FOR THE MARION COUNTY UTILITIES DEPARTMENT.
- THIS PROJECT IS LOCATED WITHIN THE SEVER SPRINGS SECONDARY PROTECTION ZONE.
- THIS SITE IS NOT LOCATED IN AN ENVIRONMENTALLY SENSITIVE OVERLAY ZONE (ESOZ).
- FEMA HAS NOT DESIGNATED A 100-YEAR, 24-HOUR FLOOD ZONE ON THIS SITE. THE SITE IS IN FLOOD ZONE X.
- SIGNAGE AND STRIPING NOTES:

- PAVED PARKING SPACES AND ISLANDS SHALL BE PAINTED WITH 6" WHITE STRIPES.
- ANY STRIPING WITHIN THE RIGHT OF WAY SHALL BE THERMOPLASTIC. ALL WORK IS TO BE IN ACCORDANCE WITH F.D.O.T. STANDARDS.
- ALL PROPOSED STOP, STREET, ADVISORY, AND OTHER SIGNAGE TO BE NEW UNLESS INDICATED OTHERWISE ON THESE PLANS.
- SIGNS AT PROPERTY EXITS AND SIGNS IN RIGHT OF WAY TO BE CONSTRUCTED WITH DRUMMING GRADE REFLECTIVE SHEETING. OTHER PRIVATE SIGNS TO BE CONSTRUCTED WITH HIGH INTENSITY REFLECTIVE SHEETING.
- PRIVATE STOP SIGNS AND SIGNS WITHIN COUNTY RIGHT OF WAY ARE TO BE INSTALLED ON SQUARE POSTS (24 FEET LONG, 14 GAUGE, 4 IN DIA). SIGN POSTS WITHIN F.D.O.T. RIGHT OF WAY TO BE IN ACCORDANCE TO FOOT STANDARD PLANS INDEX 2705.
- ALL PRIVATE SIGN POSTS (OTHER THAN STOP SIGN POSTS) TO BE U-CANAL GALVANIZED STEEL 2x4x4, BREAKAWAY POSTS (UNLESS INDICATED OTHERWISE ON THESE PLANS).
- ALL SIGNS SHALL HAVE 7' OF CLEARANCE FROM BOTTOM OF SIGN TO FINISH GRADE.
- PAINT ALL AREAS OF CURB AND/OR SIDEWALK TRANSITIONS FROM PAVEMENT TO 6"-HIGH WITH "SAFETY YELLOW" ALONG TRANSITION.
- ALL TRAFFIC CONTROL SIGNS SHALL BE PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.), LATEST EDITION.
- ANY AND ALL SIGNAGE WILL REQUIRE ADDITIONAL PERMITTING (BY OTHERS).
- ANY FIRE APPARATUS MUST COMPLY WITH THE FLORIDA FIRE PROTECTION CODE AND SHALL BE FLOW TESTED AND COLOR CODED AS REQUIRED. HYDRANTS ON PUBLIC WATER MAINS TO BE FACTORY PAINTED RED. PRIVATE HYDRANTS TO BE FACTORY PAINTED YELLOW. ALL PUBLIC AND PRIVATE HYDRANTS SHALL HAVE THE CAPS PAINTED PER NFPA 291. ALL FLOW TESTS SHALL BE TESTED PER NFPA 291 BY A THIRD PARTY CONTRACTOR AND WITNESSED BY A MARION COUNTY FIRE INSPECTOR. PRIVATE HYDRANTS SHALL BE MAINTAINED BY THE BUILDING OWNER AND SHALL BE PRIVATELY TESTED ANNUALLY BY A CERTIFIED THIRD PARTY COMPANY WITHIN THE ANNUAL TESTING REPORT PROVIDED TO MARION COUNTY FIRE RESCUE.
- CONTRACTOR TO COORDINATE LOCATION OF ANDX (BOXES) WITH FIRE MARSHAL PRIOR TO C.O.
- BUILDING SHALL COMPLY WITH THE IN-BUILDING PUBLIC SAFETY MINIMUM RADIO SIGNAL STRENGTH REQUIREMENTS. THE LOCATION RELY NEED TO MAKE AN APPROVED PLAN TO TEST THE STRENGTH OF THE SIGNAL AND IF DEEMED NECESSARY ADD EQUIPMENT WHICH ALLOWS THE BUILDING TO MEET THE MINIMUM REQUIREMENTS. THE BUILDING MUST HAVE A RADIO RADIO TEST PRIOR TO CALLING FOR THE FINAL FIRE INSPECTION OF THE BUILDING. ANY INSTALLATION OF EQUIPMENT MUST BE DONE UNDER A PERMIT AND BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.

CONCURRENCY DEFERRAL NOTE:

THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITY. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO DEFERRED CONCURRENCY DETERMINATION AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONSTRUCTION REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.

OWNER'S CERTIFICATION:

I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE REQUIREMENTS AS SHOWN ON THIS PLAN.

DPC FRANCHISE II, LLC
DOUGLAS COLE, JR., MANAGER

DATE



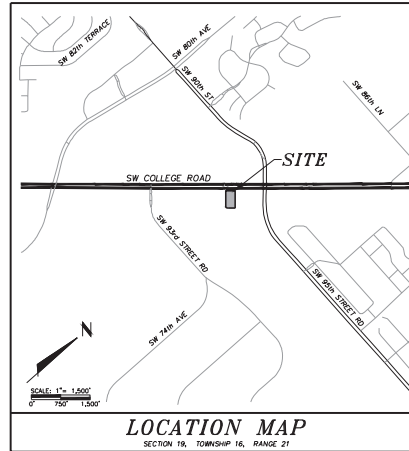
48 HOURS BEFORE YOU DIG
CALL SUNSHINE
1-800-432-4770
IT'S THE LAW IN FLORIDA

IMPORTANT!

PRIOR TO CONSTRUCTION, CONTRACTOR IS TO LOCATE ALL UTILITIES INCLUDING SOFT-SIGNS TO VERIFY LOCATION AND INVERTS AND CONTACT PROJECT ENGINEER WITH LOCATION INFORMATION. IT MAY BE NECESSARY TO REMOVE, MODIFY AND/OR RELOCATE EXISTING UTILITY SYSTEMS TO CONTINUE PROVIDING SERVICE TO EXISTING BUILDING AND FACILITIES. COORDINATION OF ANY TEMPORARY SERVICE INTERRUPTIONS TO BE THE RESPONSIBILITY OF THE CONTRACTOR.

IMPERATIVE:

IT IS THE SURVEYOR'S AND CONTRACTOR'S RESPONSIBILITY TO MAKE THE MOST CURRENT PLAN PRIOR TO AND DURING CONSTRUCTION.



LOCATION MAP
SECTION 19, TOWNSHIP 16, RANGE 21

PERMITS REQUIRED:

AGENCY	PERMIT	ISSUANCE DATE	NO.
F.D.E.P./N.P.D.E.S.	NOTICE OF INTENT	-	-
MARION COUNTY	MAJOR SITE PLAN	-	31802
F.D.O.T.	DRAINAGE CONNECTION PERMIT	-	2024-D-595-00025
S.W.F.W.M.D.	ENVIRONMENTAL RESOURCE PERMIT MODIFICATION	-	WR0455

UTILITY CONTACT INFORMATION:

NOTE: CONTACT INFORMATION WAS OBTAINED FROM WWW.SUNSHINEFL.COM. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY PROCEEDS PRIOR TO CONSTRUCTION.

PHONE & FIBER OPTIC	CENTURYLINK BRIK MCLODOW (800) 589-1444
GAS	TECO PEOPLES GAS - Ocala CHERYNE THOMPSON (853) 743-7164
WATER & SEWER	MARION COUNTY UTILITIES MCI CUSTOMER SERVICE 747-265 (352) 307-6000
CATV	CHARTER COMMUNICATIONS DUFFY MCCELLAND (352) 527-2189
ELECTRIC	DIGITAL COMMUNICATION MEDIA/BRIDGENT KEVIN HENDER (352) 401-0480 COX CABLE 7000 ARDOR (407) 281-8889 SUNTEC ELECTRIC COOPERATIVE, INC. HERRARY BREWER (352) 569-2566

DESCRIPTION:

PARCEL C, Ocala Highway 200, ACCORDING TO THE PLAN THEREOF, AS RECORDED IN PLAN BOOK 16, PAGE 159, PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

SURVEY NOTICE:

SEE SEPARATE SURVEY BY ROGERS ENGINEERING, LLC FOR BEARINGS & DISTANCES, MONUMENTATION, AND STATE PLANE COORDINATES.

GENERAL STATEMENT:

THE CONTRACTOR AND INTENDED USER OF THESE PLANS IS FOR THE REDEVELOPMENT AND CONSTRUCTION OF A NEW DRIVE THROUGH RESTAURANT TOGETHER WITH ALL REQUIRED IMPROVEMENTS SHOWN HEREON.

SITE DATA:

PARCEL ID#	0508-003-00
ZONING	B-2
FUTURE LAND USE	COMMERCIAL
PROPOSED USE	FAST-FOOD RESTAURANT
LAND OWNER	OCALA HIGHWAY 200 RICHARD OLSON, MANAGER 3000 LOCKWOOD DRIVE, SUITE 234R 44th AVE OCALA, FL 32504 (352) 732-4111
APPLICANT/DEVELOPER	DPC FRANCHISE II, LLC DOUGLAS COLE, JR., MANAGER 3531 N.W. 44th AVE OCALA, FL 32407 (352) 732-4111
SITE LOCATION	11580
LOT #	11580
SETBACKS	FRONT = 40' SIDE 10' REAR = 25'
SITE/PROJECT AREA	14,405.06 S.F. (11.0 ACRES)
IMPERVIOUS AREA	-
EXISTING AREA	17,850 S.F.
PROPOSED AREA	124,920 S.F.
PROPOSED BUILDING AREA	12,954 S.F. (2.92)
TOTAL	123,864 S.F. (2.748)
PROPOSED OPEN AREA	111,252 S.F. (2.568)

PARKING CALCULATIONS:

PARKING REQUIRED	11580
120 SEATS @ 1 SPACE / 2 SEATS	60 SPACES
16 EMPLOYEES @ 1 SPACE / 2 EMPLOYEES	8 SPACES
TOTAL REQUIRED SPACES	123 SPACES
PARKING PROVIDED	19 SPACES
PROPOSED STANDARD PARKING SPACES	19 SPACES
PROPOSED CONCRETE HANDICAP SPACES	13 SPACES
TOTAL PROPOSED	32 SPACES

TRAFFIC IMPACT STATEMENT:

BASED ON ITE TRIP GENERATION MANUAL, 11TH EDITION, CODE 925 "FAST-FOOD RESTAURANT WITH DRIVE-THROUGH WINDOW AND NO INDOOR SEATING"
TRIPS DURING
PM PEAK HOURS
EXISTING
EXISTING
EXISTING
CALCULATIONS ARE BASED ON TWO DRIVE-THROUGH LANES.

ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED, AND FURTHERMORE THAT THESE PLANS MEET THE APPLICABLE REQUIREMENTS OF THE S.W.F.W.M.D. TO THE BEST OF MY KNOWLEDGE AND BELIEF.

INDEX OF SHEETS:

C1	MAJOR SITE PLAN - COVER
C2	MAJOR SITE PLAN - LAYOUT/UTILITY
C3	MAJOR SITE PLAN - GRADING/DRAINAGE
C4	MAJOR SITE PLAN - DETAILS
C5	MAJOR SITE PLAN - S.W.R.P.P.
C6	MAJOR SITE PLAN - COUNTY DETAILS
C7	MAJOR SITE PLAN - ADDITIONAL DETAILS
L-1	LANDSCAPE PLAN (BY MICHAEL PARE AND ASSOCIATES, P.A.)
IR-1	IRRIGATION PLAN (BY MICHAEL PARE AND ASSOCIATES, P.A.)
LTG-1	PHOTOMETRICS PLAN (BY MICHAEL PARE AND ASSOCIATES, P.A.)
SI - 52	BOUNDARY & TOPOGRAPHIC SURVEY (BY ROGERS ENGINEERING, LLC)

IF ORIGINALLY SIGNED AND SEALED:
DAVIS L. DUNN'S, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 60508. THIS YEAR HAS BEEN ORIGINALLY SIGNED AND SEALED BY DAVIS L. DUNN'S ON THE DATE INDICATED HERE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



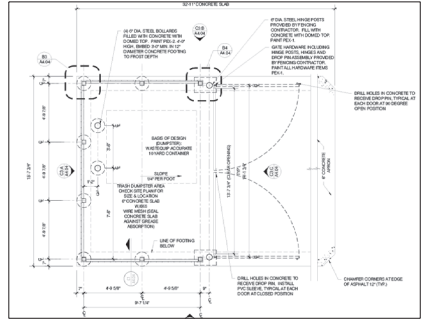
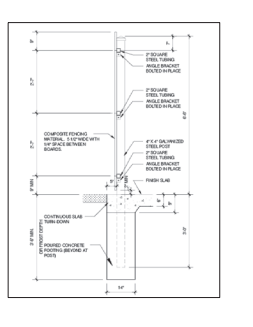
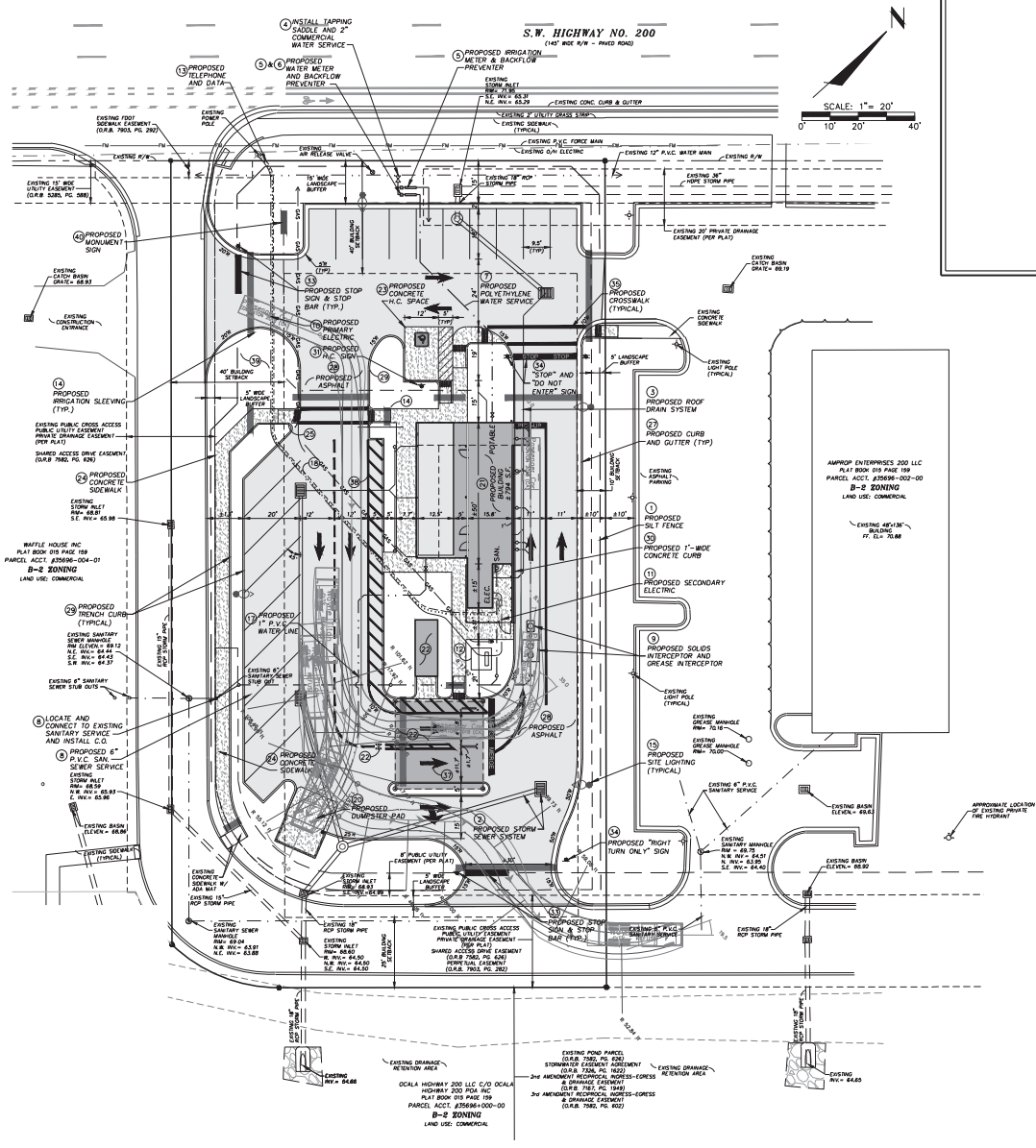
125 NE 1st AVENUE
SUITE 2
OCALA, FL 34470
PHONE: (352) 854-5961

CERTIFICATE OF AUTHORIZATION #28150

NO.	REVISION	DATE
2	PER COUNTY REVIEW	09-06-24
1	PERMITTING ISSUE	08-07-24
DESIGN:	D.D./A.S.	DRAW: S.D.U. CHECK: D.L.D.

CONSTRUCTION NOTES:

1. ALL NOTES LISTED BELOW ARE THE RESPONSIBILITY OF THE SITE CONTRACTOR UNLESS STATED OTHERWISE.
2. THIS PLAN AND THESE NOTES ARE INTENDED TO INDICATE THE GENERAL SCOPE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL REQUIRED IMPROVEMENTS TO COMPLETE THE PROJECT WHETHER OR NOT SPECIFICALLY LISTED OR TIE-MADE HEREON.
3. THE CONTRACTOR IS RESPONSIBLE TO FAMILIARIZE THEMSELVES WITH EXISTING SITE CONDITIONS.
4. THE CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY TRENCH WITH PAVEMENT REPLACEMENTS, DIRECTIONAL BORES, AND/OR TREE CLEARING AND GRUBBING REQUIRED FOR UTILITY INSTALLATIONS.
5. INSTALL TYPE II SILT FENCE ALONG GRADING LIMITS AS SHOWN. SEE GENERAL NOTE 5, SEE DETAIL, AND S.W.R.P.P.
6. INSTALL STORM SEWER SYSTEM. SEE SHEET C3 STORM SEWER DATA CHART.
7. INSTALL HEAVY WALL P.V.C. ROOF DRAINS AT SIZES AND INVERTS SHOWN. VERIFY AND COORDINATE DOWNSPOUT LOCATIONS WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
8. INSTALL TAPPING SADDLE AND 2" COMMERCIAL WATER SERVICE PER A.C. DETAIL.
9. INSTALL 1-1/2" REDUCE PRESSURE BACKFLOW PREVENTERS (FBOS OR AMES) AT 12" MINIMUM (18" MAX) ABOVE GROUND AND INSULATE EXPOSED PIPES.
10. INSTALL 2" P.V.C. (H.D.P.E. OR APPROVED ALTERNATIVE) WATER SERVICE FROM BACKFLOW PREVENTER TO BUILDING AS SHOWN.
11. CONNECT TO EXISTING SANITARY SERVICE AND INSTALL 8" P.V.C. (SD44-SPOUR, GREEN) SANITARY SERVICE (WITH CLEAN-OUTS AS SHOWN) @ 1/8" MINIMUM SLOPE. ALL CLEAN-OUTS IN CONCRETE OR ASPHALT TO HAVE BRASS CAPS. CONTRACTOR TO COORDINATE ALL REQUIRED CONNECTIONS TO PROPOSED RESTAURANT PRIOR TO CONSTRUCTION AND TO VERIFY EXISTING INVERT ELEVATION PRIOR TO CONSTRUCTION AND CONTACT PROJECT ENGINEER.
12. INSTALL 30" x 75" SOLIDS INTERCEPTOR, AND 1000 GALLON 60-1000 HYDROMECHANICAL GREASE INTERCEPTOR FOR KITCHEN WASTE (WITH HD TRAFFIC RATED COVERS).
13. INSTALL 2-4" P.V.C. (SCHEDULE 40) CONDUITS FOR OVERGROUND PRIMARY ELECTRICAL SERVICE FROM ELECTRIC MOUNT TO PROPOSED TRANSFORMER PAD LOCATION (ONLY ONE SHOWN FOR CLARITY). **IMPORTANT!** IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE FINAL ROUTING AND VERIFY CONDUIT REQUIREMENTS WITH ELECTRIC COMPANY PRIOR TO CONSTRUCTION.
14. INSTALL 2-4" P.V.C. (SCHEDULE 40) CONDUITS FROM TRANSFORMER LOCATION TO METER LOCATIONS FOR SECONDARY ELECTRICAL SERVICE TO BUILDING (ONLY ONE SHOWN FOR CLARITY). **IMPORTANT!** IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE FINAL ROUTING AND VERIFY CONDUIT REQUIREMENTS WITH ELECTRIC COMPANY PRIOR TO CONSTRUCTION.
15. INSTALL ELECTRIC TRANSFORMER (BY ELECTRIC COMPANY) ON CONCRETE TRANSFORMER PAD (BY CONTRACTOR). **IMPORTANT!** COORDINATE FINAL LOCATION AND REQUIREMENTS WITH ELECTRIC COMPANY PRIOR TO CONSTRUCTION.
16. INSTALL UNDERGROUND 2" P.V.C. (SCHEDULE 40) CONDUITS TO BUILDING FOR TELEPHONE AND DATA SERVICE. **IMPORTANT!** IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE FINAL ROUTING AND CONDUIT SIZE REQUIREMENTS WITH PROVIDER PRIOR TO CONSTRUCTION.
17. INSTALL (SCHEDULE 40) P.V.C. IRRIGATION SLEEVES PRIOR TO INSTALLATION OF ASPHALT PAVEMENT BASE. SEE LANDSCAPE PLAN FOR FINAL SLEEVING SIZES AND LOCATIONS.
18. INSTALL SITE LIGHTING (LIGHT POLE LOCATIONS PROVIDED BY MICHAEL PAPE AND ASSOCIATES, P.A.). SITE CONTRACTOR TO COORDINATE INSTALLATION OF CONDUITS FOR BRANDS WIRING PRIOR TO INSTALLATION OF PAVEMENT BASE. SITE LIGHTING IS TO BE CONSISTENT WITH THE STYLE ALREADY INSTALLED IN THE PADDOCK PAIN SHOPPING CENTER.
19. INSTALL 1" SCHEDULE 40 P.V.C. CONDUIT FOR SON LIGHTING PRIOR TO INSTALLATION OF PAVEMENT BASE. **IMPORTANT!** IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE FINAL ROUTING AND VERIFY CONDUIT REQUIREMENTS WITH ELECTRIC COMPANY PRIOR TO CONSTRUCTION.
20. INSTALL 1" H.D.P.E. WATER LINE TO PROPOSED DUMPSTER PAD (PRIOR TO INSTALLATION OF PAVEMENT BASE) AND INSTALL HOSE BIB INSIDE DUMPSTER ENCLOSURE. **IMPORTANT!** IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE FINAL ROUTING AND VERIFY REQUIREMENTS WITH ARCHITECT PRIOR TO CONSTRUCTION.
21. INSTALL NEW GAS SERVICE TO PROPOSED BUILDING AS SHOWN. **IMPORTANT!** IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE FINAL ROUTING AND VERIFY REQUIREMENTS WITH TREC PRIOR TO CONSTRUCTION.
22. COORDINATE REQUIRED CONDUIT INSTALLATION FOR DUMPSTER PAD, MENU BOARD, CLEARANCE BAR, AND PRE-SILL BOARD, AS WELL AS DETECTOR LOOPS WITH ARCHITECTURAL PLANS. (NOT SHOWN FOR CLARITY).
23. CONSTRUCT CONCRETE DUMPSTER PAD WHERE SHOWN PER ARCHITECTURAL PLANS.
24. INSTALL ONE-STORY, CONTAINER METAL BUILDING AND AUXILIARY CONTAINER. SEE GENERAL NOTE 28 (BY BUILDING CONTRACTOR).
25. INSTALL COURED CONCRETE/STIFF SEALING AREA, THREE CHANNEL, BRAND DIRECTIONAL SIGNAGE, MENU BOARDS, BOLLARDS, ETC. (BY SEPARATE PLANS) COORDINATE ALL REQUIRED CONDUITS PRIOR TO INSTALLATION OF PAVEMENT BASE.
26. CONSTRUCT 6"-THICK CONCRETE PAVEMENT (WITH 6#6 @10'@10' MIN.) SEE CONCRETE JOINING DETAILS AND JOINING PLAN ON SHEET C4.
27. CONSTRUCT 4"-THICK CONCRETE SIDEWALK (WITH 6#6 @10'@10' MIN.) WITH PUBLIC ACCESS RAMPS WITH DETECTABLE WARNING (PER F.O.D.T. STANDARD PLANS INDEX #352-00). CURB TO BE PAINTED SILENT YELLOW IN TRANSITION AREAS. SEE CONCRETE SIDEWALK DETAILS.
28. CONSTRUCT CONCRETE ACCESS RAMP WITH HANDRAILS PER F.O.D.T. STANDARD PLANS INDEX #315-062.
29. INSTALL CONCRETE FILLED STEEL BOLLARDS WHERE SHOWN. SEE ARCHITECTURAL PLANS FOR REQUIREMENTS AND DETAILS.
30. INSTALL TYPE 7" CURB AND GUTTER PER F.O.D.T. INDEX 520-001. SEE DETAIL.
31. CONSTRUCT ASPHALT PAVEMENT. SEE GENERAL NOTES 9. **IMPORTANT!** PRIOR TO INSTALLATION OF LIMEROCK BASE, CONTRACTOR TO COORDINATE WITH IRRIGATION CONTRACTOR AND LANDSCAPE PLANS FOR IRRIGATION SLEEVING REQUIREMENTS.
32. INSTALL CONCRETE TRENCH CURB WHERE SHOWN (SEE DETAIL ON C4).
33. INSTALL 1"-WIDE x 1"-DEEP CONCRETE CURB ALONG BUILDING.
34. INSTALL HANDICAP SIGN ON DECORATIVE BOLLARD. SEE A.C. SIGN AND POST SUPPORT DETAIL ON SHEET C4.
35. PAINT 5"-WIDE STRIPED ACCESS AISLE. SEE SIGNAGE AND STRIPING NOTES ON SHEET C1.
36. INSTALL 30" x 30" STOP SIGN AND PAINT 2"-WIDE WHITE ORANGE STOP BAR (ALL ON-SITE STRIPING TO BE ORANGE IN COLOR PER BRAND REQUIREMENTS AND WITH WHITE TEXT WHERE SHOWN). SEE SIGNAGE AND STRIPING NOTES ON SHEET C1.
37. INSTALL "DO NOT ENTER", TURN ONLY RIDER SIGNS, ETC. SEE DETAIL.
38. PAINT ORANGE (PER BRAND REQUIREMENTS) SPECIAL EMPHASIS CROSS WALK PER F.O.D.T. INDEX #17346. SEE SIGNAGE AND STRIPING NOTES ON SHEET C1.
39. PAINT 6"-WIDE ORANGE (PER BRAND REQUIREMENTS) LANE STRIPING AS SHOWN. SEE SIGNAGE AND STRIPING NOTES ON SHEET C1.
40. PAINT WHITE/ORANGE DIRECTIONAL ARROWS PER F.O.D.T. INDEX #17346 AND OTHER SIDE DIRECTIONAL PAVEMENT MARKINGS (ALL ON-SITE STRIPING TO BE ORANGE IN COLOR PER BRAND REQUIREMENTS). SEE SIGNAGE AND STRIPING NOTES ON SHEET C1.
41. PAINT 6"-WIDE, ORANGE (PER BRAND REQUIREMENTS), DIAGONAL STRIPING AS SHOWN.
42. FINISH GRASS AND SOIL OR LANDSCAPE (AS APPLICABLE) ALL DISTURBED AREAS ON-SITE AND OFF-SITE. SEE GENERAL NOTE 11 AND SEE LANDSCAPE PLAN BY MICHAEL PAPE AND ASSOCIATES, P.A.
43. INSTALL MONUMENT SIGN (BY SEPARATE PERMIT). SITE CONTRACTOR TO COORDINATE SERVICE CONDUIT WITH BUILDING AND SIGN CONTRACTOR PRIOR TO INSTALLATION OF PAVEMENT BASE. SIGN TO BE COMPATIBLE WITH APPROVED SHOPPING CENTER PACKAGE.



DUMPSTER PAD AND ENCLOSURE DETAILS
 NOTE: STRUCTURAL DESIGN PROVIDED BY OWNERS
 DETAILS PROVIDED BY ARCHITECT. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.

IMPORTANT!
 PRIOR TO CONSTRUCTION, CONTRACTOR IS TO LOCATE ALL UTILITIES, INCLUDING SOFT-GOES TO VERIFY LOCATION AND INVERTS AND CONTACT PROJECT ENGINEER WITH LOCATION INFORMATION. IF IT MAY BE NECESSARY TO REMOVE, MODIFY, AND/OR RELOCATE EXISTING UTILITY SYSTEMS TO CONTINUE PROVIDING SERVICE TO EXISTING BUILDING AND FACILITIES. COORDINATION OF ANY TEMPORARY SERVICE INTERRUPTIONS TO BE THE RESPONSIBILITY OF THE CONTRACTOR.

MARION COUNTY UTILITIES NOTE:
 MARION COUNTY UTILITIES PERSONNEL ARE TO INSPECT ANY WORK PERFORMED ON OR AROUND EXISTING MARION COUNTY UTILITIES INFRASTRUCTURE. A PRE-CONSTRUCTION MEETING IS REQUIRED TO BE HELD A MINIMUM OF 48 HOURS PRIOR TO START OF ANY CONSTRUCTION. IF THE PRE-CONSTRUCTION MEETING IS NOT COMPLETED, ANY WORK MAY BE HALTED TO SCHEDULE. CONTACT MARION COUNTY UTILITIES CONSTRUCTION OFFICER AT (352) 307-6163

NOT VALID UNLESS EITHER DIGITALLY SIGNED AND SEALED OR PHYSICALLY SIGNED AND SEALED WITH PROFESSIONAL ENGINEER'S SEAL. BELOW:

DAVE L. DINWIDDIE, P.E.
 FL LICENSE NO. 60538

DATE: _____
 IF DIGITALLY SIGNED AND SEALED:
 DAVE L. DINWIDDIE, STATE OF FLORIDA,
 PROFESSIONAL ENGINEER LICENSE NO. 60538
 THIS ITEM HAS BEEN DIGITALLY SIGNED AND
 SEALED BY DAVE L. DINWIDDIE ON THE DATE
 INDICATED HERE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT
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 SIGNATURE MUST BE VERIFIED ON ANY
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125 NE 1st AVENUE
 SUITE 200
 Ocala, FL 34470
 PHONE: (352) 684-5961



NO.	REVISION	DATE	CHECKED
2	PER COUNTY REVIEW	09-06-24	
1	PERMITTING ISSUE	08-07-24	
NO.	REVISION	DATE	CHECKED
	DESIGN	03/25/2024	DINWIDDIE, S.O.U.

MAJOR SITE PLAN - LAYOUT/UTILITIES
SMALLS SLIDERS
 SR 200
 MARION COUNTY, FLORIDA

DRAINAGE CALCULATIONS:

GIVEN:	DATE:
WETWEED PERVIOUS AREA = 1'	08/22
PERVIOUS AREA = 1'	08/22
POST-DEV:	02/19
SITE AREA (AC)	11.10
RUNOFF (100-yr) (cfs)	1.10
HYDROLOGIC SOIL TYPE	"A"
RUNOFF CALCULATION:	POST-DEV:
WETWEED AREA (AC)	10.27
PERVIOUS AREA - 1" x 50L (AC)	0.84
RUNOFF (100-yr) (cfs)	0.88
VOLUME (c.f.t.)	133.072

DRAINAGE SUMMARY/NARRATIVE:

SMALLS SLIDERS SR 200 IS A 1.1-1.33 ACRE SITE LOCATED NEAR THE INTERSECTION OF SR 200 AND SR 201 STREET IN MARION COUNTY, FL. THE SITE WAS PREVIOUSLY PERMITTED WITH SWAMPING FOR THE DEVELOPMENT OF "TORNADO K" AT SR 200 AND 201 MASS GRADING PLAN (TOP 8/27/08) AND TO HAVE A MAXIMUM ALLOWED IMPERVIOUS COVERAGE OF 35%. THE PROPOSED DEVELOPMENT WILL BE A MODIFICATION OF THE PREVIOUS PERMIT. THE POST-DEVELOPMENT IMPERVIOUS COVERAGE WILL BE 1/3 - 73% (0.73 ACRES) WHICH IS LESS THAN THE PREVIOUSLY PERMITTED AMOUNT. THE SITE WILL BE INTO THE EXISTING STORM SEWER CONNECTIONS PROVIDED ON THE NORTH AND SOUTH END OF THE SITE.

DRAINAGE NOTES:

- METHOD OF CALCULATION FOR 100YR STORM IS BY 78-55 "URBAN HYDROLOGY FOR SMALL WATERSHEDS". THE "D" IS DETERMINED BY INTERPOLATION.
- FOR THE PURPOSE OF THESE CALCULATIONS, THE PROJECT BOUNDARY HAS THE ASSUMED WATERSHED LIMITS.

STORM SEWER MAINTENANCE NOTES:

- THE OFFSITE D.P.A. IS OWNED AND MAINTAINED BY OCALA HIGHWAY 200, LLC. PURSUANT TO AN EXISTING RECORDED DRAINAGE EASEMENT AGREEMENT SUCCESSORS, AND/OR ASSIGNS, WILL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE PROPOSED ON-SITE STORM SEWER SYSTEM. ANY TRASH OR DEBRIS SHALL BE REMOVED FOLLOWING EACH STORM. ALL DRAINAGE STRUCTURES ARE TO BE INSPECTED EVERY SIX MONTHS WITH DETERMINING THE NEED FOR ANY REPAIR OR SEWAGE REMOVAL.

PROPOSED STORM SEWER DATA CHART

STRUCTURE		STORM PIPE					
NUMBER	STRUCTURE	GRATE EL.	INV. EL.	NUMBER	LEN. FT.	SIZE (INCHES)	% SLOPE
A	STORM MANHOLE	-	S. INV. = 65.3 N.E. INV. = 65.4	A - EXIST. INLET	21.5	18	0.46
B	TYPE 1" INLET	69.5	S.E. INV. = 65.6 N.W. INV. = 65.8	B - A	54.8	18	0.37
C	TYPE 1" INLET	69.5	S.E. INV. = 66.1	C - B	72.8	18	0.41
D	TYPE 1" INLET	69.5	S.W. INV. = 65.7	D - A	72.1	18	0.41
E	STORM MANHOLE	71.3	N.E. INV. = 65.4 S.W. INV. = 65.8	E - EXIST.	-	-	-
F	TYPE 1" INLET	69.8	N. INV. = 65.9	F - E	41.0	18	0.73

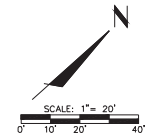
STORM SEWER NOTES:

- STORM SEWER IS DESIGNED FOR A 25YR STORM EVENT.
- ALL INLETS SHALL BE PROTECTED WITH SILT CONTROL PRODUCTS FROM "DANDY PRODUCTS" (SEE SHEET C3) UNTIL PAVING OPERATIONS ARE COMPLETED.
- IT IS THE RESPONSIBILITY OF THE MANUFACTURER TO PROVIDE ALTERNATE B STRUCTURE BOTTOMS AS NEEDED.
- INVERTS AND CONNECTIONS TO BE PER F.D.O.T. STANDARD PLANS INDEX #423-001.
- ALL STORM INLETS TO BE CONSTRUCTED PER F.D.O.T. STANDARD PLANS INDEX #423-024, AND #423-025, AS APPLICABLE.

NOTES TO PAVING/SITE CONTRACTOR:

- ADHERE TO GRADES SHOWN FOR HANDICAP CURBS, WHICH SHOULD NOT EXCEED 1:50 OR 2.0% SLOPE IN ANY DIRECTION. SEE GRADES FOR ELEVATIONS.
- ADHERE TO GRADES SHOWN FOR CONCRETE SIDEWALKS WHICH SHOULD NOT EXCEED OR 2.0% (1:50) CROSS SLOPE, OR 1:100 (1:12) RUNNING SLOPE.
- ADHERE TO GRADES SHOWN FOR CONCRETE RAMPS WHICH SHOULD NOT EXCEED OR 2.0% (1:50) CROSS SLOPE, OR 1:100 (1:12) RUNNING SLOPE.
- ADHERE TO GRADES SHOWN FOR CONCRETE LANDINGS WHICH SHOULD NOT EXCEED OR 2.0% (1:50) SLOPE IN ANY DIRECTION.

S.W. HIGHWAY NO. 200
(140' WIDE R/W - PAVED ROAD)



GRADING LEGEND:

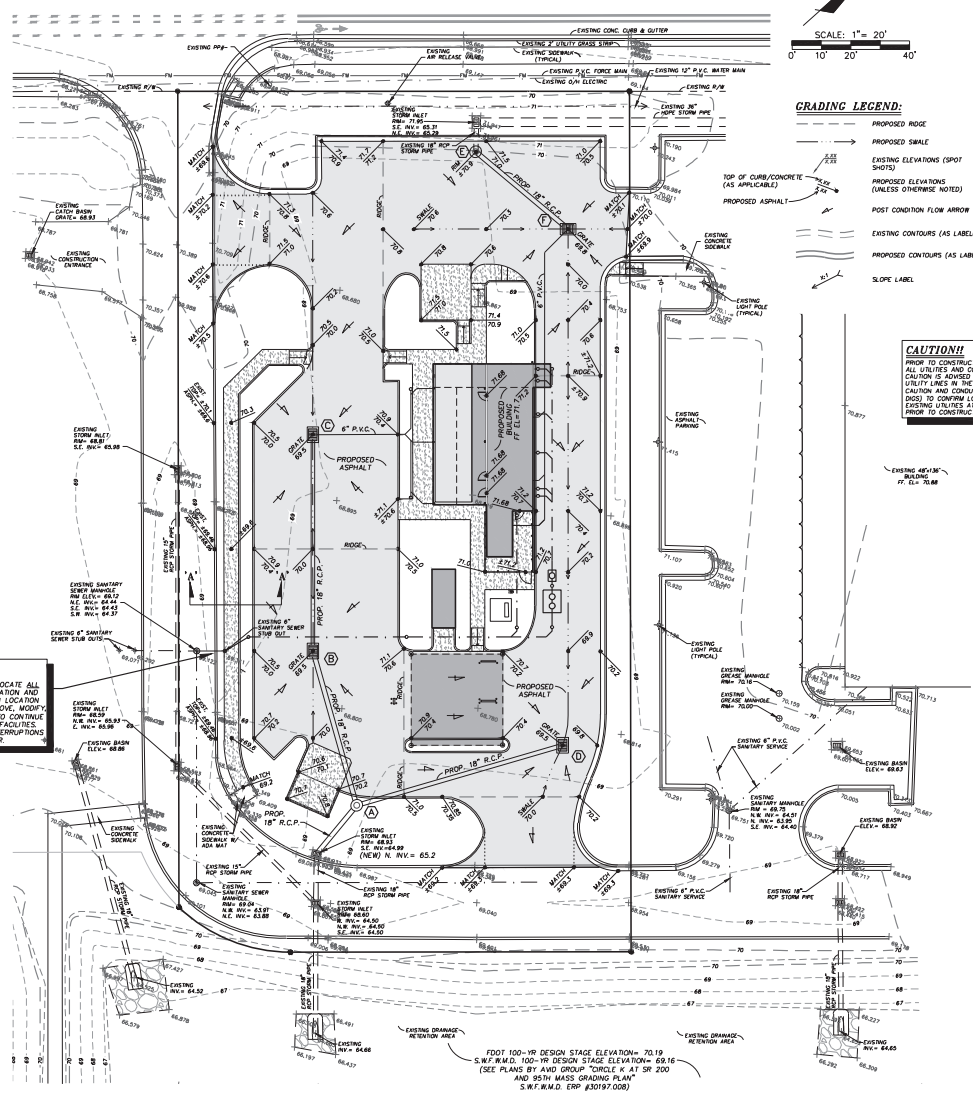
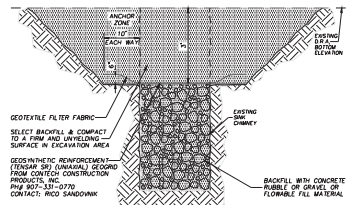
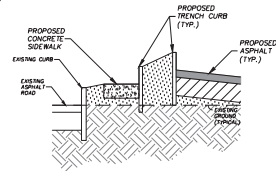
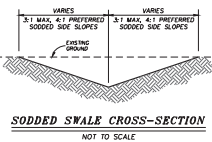
- PROPOSED ROADS
- PROPOSED SLOPE
- EXISTING ELEVATIONS (SPOT SHOTS)
- PROPOSED ELEVATIONS (UNLESS OTHERWISE NOTED)
- POST CONDITION FLOW ARROW
- EXISTING CONTOURS (AS LABELED)
- PROPOSED CONTOURS (AS LABELED)
- SLOPE LABEL

CAUTION!

ADVISE TO CONSTRUCTION CONTRACTOR TO LOCATE ALL UTILITIES AND CONTACT PROJECT ENGINEER. CAUTION IS ADVISED THAT THERE ARE OTHER OPTIC UTILITY LINES IN THE AREA. EXERCISE EXTREME CAUTION AND CONTACT UTILITY LOCATION EXPERTS TO CONFIRM LOCATIONS AND CLEARANCE OF EXISTING UTILITIES AT POTENTIAL CONFLICT AREAS PRIOR TO CONSTRUCTION.

IMPORTANT!

PRIOR TO CONSTRUCTION, CONTRACTOR IS TO LOCATE ALL UTILITIES, INCLUDING SPT-DOS TO VERIFY LOCATION AND INVERTS AND CONTACT PROJECT ENGINEER WITH LOCATION INFORMATION. IT MAY BE NECESSARY TO REMOVE MOODY AND/OR RELOCATE EXISTING UTILITY SYSTEMS TO CONTRIBUTE PROVIDING SERVICE TO EXISTING BUILDING AND FACILITIES. COORDINATION OF ANY TEMPORARY SERVICE INTERRUPTIONS TO BE THE RESPONSIBILITY OF THE CONTRACTOR.



125 NE 1st AVENUE
OCALA, FL 34470
PHONE: (352) 834-5961



DESIGN	D.L./J.S. (DRWR. S.O.U.)	CHECK	D.L.D.
REVISION			
NO.	DATE	BY	
1	08-07-24		
2	09-06-24		

MAJOR SITE PLAN - GRADING/DRAINAGE
SMALLS SLIDERS
SR 200
MARION COUNTY, FLORIDA

NOT VALID UNLESS EITHER DIGITALLY SIGNED AND SEALED OR PHYSICALLY SIGNED, SIGNED AND SEALED WITH PROFESSIONAL ENGINEER'S SEAL. BELOW:

DAVIS L. DINNING, P.E.
FL LICENSE NO. 60058

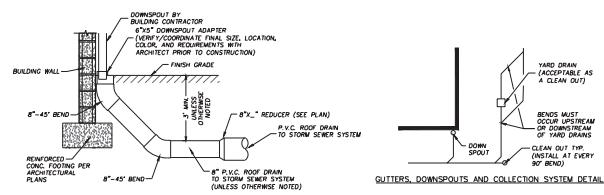
DATE: IF DIGITALLY SIGNED AND SEALED: DAVID L. DINNING, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 60058. THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY DAVID L. DINNING ON THE DATE INDICATED HERE.

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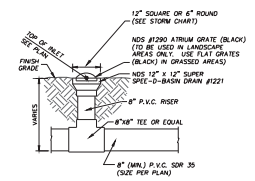
NO.	REVISION	DATE
2	PER COUNTY REVIEW	09-06-24
1	PERMITTING ISSUE	08-07-24

DESIGN: D.D./J.S. (DRWR: S.O.U.) CHECK: D.L.D.

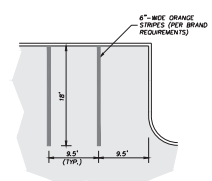
MAJOR SITE PLAN - DETAILS
SMALL SLIDERS
SR 200
 MARION COUNTY, FLORIDA



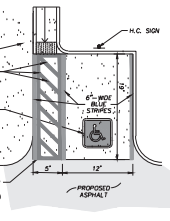
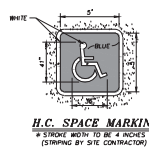
ROOF DRAIN DOWNSPOUT CONNECTION DETAIL
 NOT TO SCALE



NDS YARD INLET DETAIL
 NOT TO SCALE

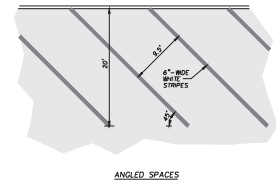


STANDARD SPACES

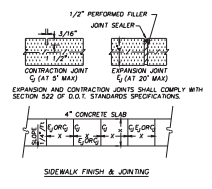


HANDICAP SPACES

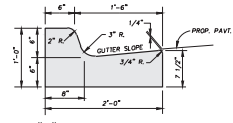
PARKING SPACE DETAILS
 (NOT TO SCALE)
 STRIPING TO BE BY SITE CONTRACTOR



ANGLED SPACES

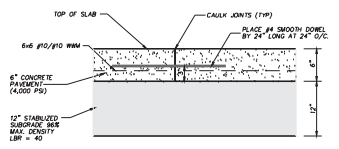


SIDEWALK & JOINTING

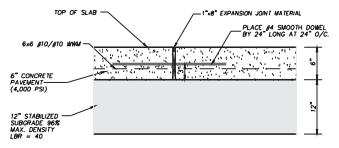


TYPE "F" CURB & CUTTER DETAIL

I.D.O.T. DESIGN STANDARDS (CURRENT EDITION) #320-001
 NOTE: WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE CURB SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE CURB SHALL BE 6" UNLESS OTHERWISE SHOWN ON PLAN. SLOPE/1" MARKS NOT SPECIFICALLY SHOWN ON PLAN. CONTACT PROJECT ENGINEER WITH QUESTIONS PRIOR TO CURB CONSTRUCTION.

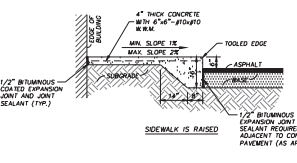


CONSTRUCTION JOINT
 (NOT REQUIRED IF CONSTRUCTION IS CONTINUOUS)

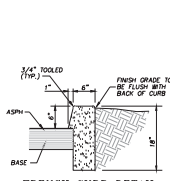


EXPANSION JOINT

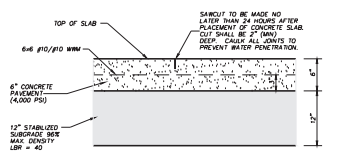
NOTE: EXPANSION JOINT IS REQUIRED AT SPACING OF NO MORE THAN 100' O.C. AND ALONG ALL BUILDINGS.



SIDEWALK & PAVEMENT DETAILS
 NOT TO SCALE

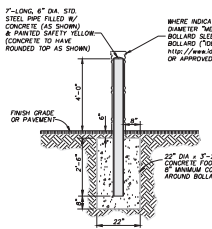


TRENCH CURB DETAIL
 (NOT TO SCALE)

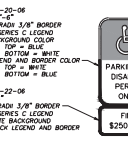


CONTRACTION JOINT

NOTE: NO JOINTS SHALL BE SPACED AT GREATER THAN 15' IN EITHER DIRECTION.



BOLLARD DETAIL



HANDICAP SIGN & POST SUPPORT
 NOT TO SCALE

NOT VALID UNLESS EITHER DIGITALLY SIGNED AND SEALED, OR ORIGINALY SIGNED AND SEALED WITH PROFESSIONAL ENGINEER'S SEAL. BELOW:

DAVE L. DUNN, P.E.
 FL LICENSE NO. 60058

DATE: _____

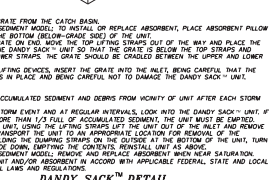
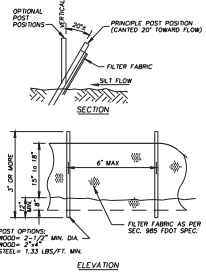
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EROSION CONTROL NOTES:

- DISCHARGE CONTROL AND EROSION PROTECTION MEASURES SHALL BE EMPLOYED AND OPERATED AT ALL TIMES DURING CONSTRUCTION TO AVOID ADVERSE IMPACTS TO RECEIVING WATERS OF ADJACENT PROPERTY. DETENTION/RETENTION STRUCTURES, STORMY BARRIERS, FLOW CONTAINERS, RETENTION, DISCHARGE CONTROL STRUCTURES, AND OTHER STORMWATER MANAGEMENT STRUCTURES SHOULD BE BUILT AND CONTINUOUSLY MAINTAINED DURING PROJECT CONSTRUCTION IN A MANNER SUCH THAT TO THE EXTENT POSSIBLE, THE STRUCTURES ARE INCORPORATED INTO AND BECOME PART OF THE PERMANENT SURFACE WATER MANAGEMENT SYSTEM.
- THE OWNER/PERMITTEE SHALL ENSURE THAT THE SURFACE WATER AND STORMWATER MANAGEMENT MEASURES PROPOSED IN THIS PLAN ARE EFFECTUALLY IMPLEMENTED UNTIL COMPLETION OF THE PROJECT OR UNTIL THE PERMANENT SURFACE WATER MANAGEMENT SYSTEM IS OPERATIONAL.
- THE SITE SHALL REMAIN FREE OF EXCESS DUST AND DEBRIS AT ALL TIMES. ANY INCIDENCE OF EROSION, SEDIMENTATION, DUST OR DEBRIS OCCURRING OFF-SITE AS A RESULT OF CONSTRUCTION ACTIVITIES ON THIS DEVELOPMENT SHALL BE CORRECTED BY THE CONTRACTOR IMMEDIATELY (FOR EACH OCCURRENCE).
- ALL STORM WATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS.
- SILT FENCE, STRAW BALE INLET FILTERS, AND ANY OTHER EROSION/SEDIMENTATION PROTECTION SHOWN ON THESE PLANS SHALL BE INSTALLED IMMEDIATELY FOLLOWING SITE CLEARING AND PRIOR TO ANY SITE DEVELOPMENT. ALL EROSION/SEDIMENTATION PROTECTION SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION PROJECT AND REMOVED AFTER COMPLETION.
- CONSTRUCTION WASTE - WASTE SHALL BE COLLECTED AT A DESIGNATED AREA ON-SITE. ADEQUATE NUMBER OF CONTAINERS SHALL BE PROVIDED (WHEN POSSIBLE, COVER CONTAINERS OR PROVIDE LIDS ON CONTAINERS). ARRANGES FOR WASTE COLLECTION BEFORE CONTAINER OVERFLOW. PROVIDE CLEAN UP IMMEDIATELY UPON WASTE COLLECTION.
- CONCRETE TRUCKS - EMPTYING OR WASH OUT OF EXCESS CONCRETE MAY BE ALLOWED ON-SITE. EXCESS CONCRETE AND WASH WATER SHOULD BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORMWATER WHICH WILL BE DISCHARGED FROM THE SITE. FOR EXAMPLE, DYES COULD BE CONSTRUCTED AROUND THE AREA TO CONTAIN THESE MATERIALS UNTIL THEY HARDEN AT WHICH TIME THEY MAY BE PROPERLY DISPOSED OF.
- OFFSITE VEHICLE TRACKING OF SEDIMENT - ADJACENT PAVED STREETS SHALL BE SWEEP DAILY (AS NECESSARY) TO REMOVE ANY EXCESS SOIL, DIRT, OR ROCK TRACKED FROM SITE.
- SANITARY/SEPTIC DISPOSAL - DOMESTIC WASTE HALLERS SHOULD BE CONTRACTED TO REGULARLY REMOVE THE SANITARY AND SEPTIC WASTES AND TO MAINTAIN THE FACILITIES IN GOOD WORKING ORDER.
- PETROLEUM PRODUCTS - OIL, GASOLINE, LUBRICANTS, AND ASPHALTIC SUBSTANCES SUCH AS PAVING MATERIALS SHOULD BE HANDLED CAREFULLY TO MINIMIZE THEIR EXPOSURE TO STORM WATER. EQUIPMENT SHOULD BE KEPT IN GOOD WORKING ORDER AND CLEAN UP PETROLEUM SPILLS IN FULL STOPPING AREAS OR ON ROADWAY MAINTENANCE AND FUELING VEHICLES. CONTAIN AND CLEAN UP PETROLEUM SPILLS IMMEDIATELY.
- HAZARDOUS PRODUCTS - THESE PRODUCTS SHALL BE USED IN A SAFE MANNER TO AVOID POLLUTION OF STORM WATER. EQUIPMENT SHOULD BE ONSITE TO CONTAIN AND CLEAN UP SPILLS OF HAZARDOUS MATERIALS IN THE AREAS WHERE THESE MATERIALS ARE STORED OR USED. CONTAIN AND CLEAN UP SPILLS IMMEDIATELY AFTER THEY OCCUR.
- NON-STORM WATER DISCHARGES - THESE DISCHARGES INCLUDE BUT NOT LIMITED TO: FIRE HYDRANT TOLLING; POTABLE WATER SOURCES (FILLINGS); WASHING, BUILDING WASHWATER, AND AIR CONDITIONING CONDENSATION. PRIOR TO ANY DISCHARGE, ALL DOWNSIDE SITE SEDIMENTATION AND EROSION CONTROLS SHOULD BE IN PLACE. DISCHARGE SHOULD ONLY BE DIRECTED TO AREAS THAT ARE STABILIZED TO MINIMIZE EROSION (E.G. BUFFER ZONE, VEGETATED FILTER STRIPES, INLET AND OUTLET PROTECTION, LEVEL SPREADERS, ETC.) DO NOT DISCHARGE NON-STORM WATER INTO ANY DISTURBED AREAS.
- A STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT IS REQUIRED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM EVENT THAT IS 0.5 INCHES OR GREATER. THE REPORTS ARE TO BE FILED AT THE PROJECT SITE WITH THE STORM WATER POLLUTION PREVENTION PLAN.
- IN ADDITION TO PROVIDING A TEMPORARY CONSTRUCTION GRAVEL ENTRANCE TO CONTROL THE DISPOSITION OF SEDIMENT TO ADJACENT WATERS ADJACENT TO THE PROJECT SITE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERIODIC MAINTENANCE OF THE SLOTTED SANDS, STRAW BALE, AND AREA AROUND THE SAME. MAINTENANCE TO THE PROJECT-SITE - SEDIMENT SHALL BE COLLECTED BY MECHANICAL MEANS ON A REGULAR BASIS SEVERAL TIMES A WEEK INCLUDING BUT NOT LIMITED TO, AFTER EVERY RAIN EVENT AND EVERY FROST AFTERNOON PRIOR TO CEASING WORK FOR THE WEEK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE A LETTER FROM OWNER OF PERMANENT DISPOSAL SITE FOR EXCAVATED MATERIAL THAT ACCEPTS MATERIAL AND ACKNOWLEDGES THE PERMANENT DISPOSAL SITE IS NOT IN A FLOOD PLAN.

TYPE III SILT FENCE DETAIL



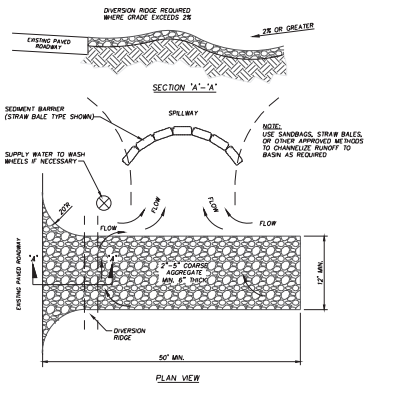
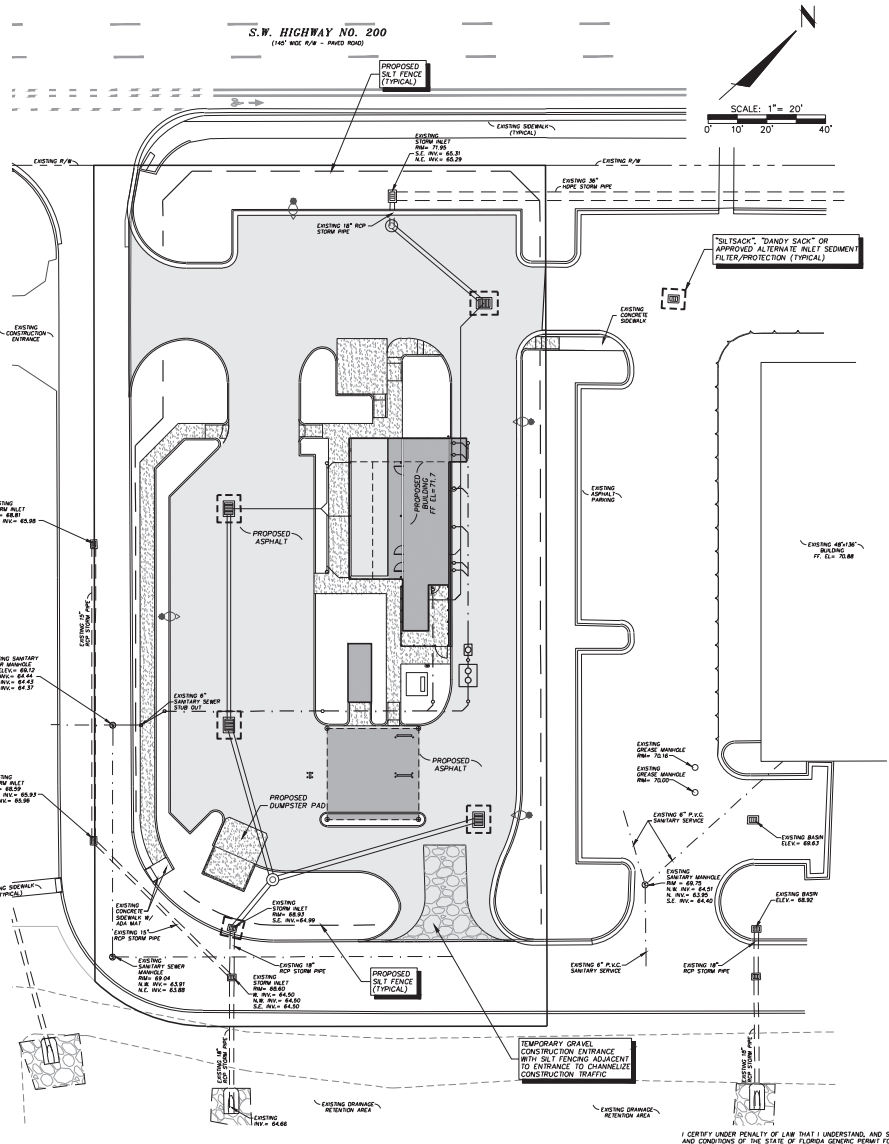
INSTALLATION:

- REMOVE THE GRADE FROM THE CATCH BASIN.
- FOR OIL AND SEDIMENT MODEL, INSTALL OR REPLACE ABSORBENT, PLACE ABSORBENT FOLLOW IN UNIT ON THE BOTTOM (BELOW-GRADE SOIL) OF THE UNIT.
- STAND THE GRADE ON END, MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRADE INTO THE DANDY SACK UNIT SO THAT THE GRADE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. THE GRADE SHOULD BE CRADLED BETWEEN THE UPPER AND LOWER STRAPS.
- HOLDING THE LIFTING DEVICES, INSERT THE GRADE INTO THE ALLET, BEING CAREFUL THAT THE GRADE REMAINS IN PLACE, AND BEING CAREFUL NOT TO DAMAGE THE DANDY SACK UNIT.

MAINTENANCE:

- REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT.
- AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DANDY SACK UNIT. IF THE UNIT IS MORE THAN 1/3 FULL OF ACCUMULATED SEDIMENT, THE UNIT MUST BE CARRIED TO EMPTY THE UNIT, USING THE LIFTING STRAPS, LIFT THE UNIT OUT OF THE ALLET, AND REMOVE THE GRADE. REPOSITION THE UNIT TO AN APPROPRIATE LOCATION FOR REMOVAL OF THE CONTENTS HOLDING THE DUMPING STRAPS ON THE OUTSIDE AT THE BOTTOM OF THE UNIT, TURN THE UNIT DOWN, LIGHTLY TUCKER THE CONTENTS, RETURN UNIT AS ABOVE.
- FOR OIL AND SEDIMENT MODEL, REMOVE AND REPLACE ABSORBENT WHEN NEAR SATURATION.
- DISPOSE OF UNIT AND/OR ABSORBENT IN ACCORD WITH APPLICABLE FEDERAL, STATE AND LOCAL ENVIRONMENTAL LAWS AND REGULATIONS.

DANDY SACK™ DETAIL



NOTES:

- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT OFF-SITE. RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE AND MAINTAINED IN AN AREA APPROVED BY THE OWNER THAT DRAINAGE INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE



125 NE 1st AVENUE
OCALA, FL 34470
PHONE: (352) 834-5961

DAVIS DINKINS ENGINEERING, P.A.
CERTIFICATE OF AUTHORIZATION #28150

NO.	REVISION	DATE	BY	CHKD.
2	PER COUNTY REVIEW	09-06-24		
1	PERMITTING ISSUE	08-07-24		

DESIGN: D.S./J.S./D.B.W./S.O.U. CHECK: D.L.D.

MAJOR SITE PLAN - S.W.P.P.P.
SMALLS SLIDERS
SR 200
MARION COUNTY, FLORIDA

NOT VALID UNLESS EITHER DIGITALLY SIGNED AND SEALED OR PHYSICALLY SIGNED, SIGNED AND SEALED WITH PROFESSIONAL ENGINEER'S SEAL. BEFORE.

DAVE L. DINKINS, P.E.
FL LICENSE NO. 60058

DATE: _____
IF DIGITALLY SIGNED AND SEALED: DAVIS DINKINS, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 60058. THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY DAVIS DINKINS ON THE DATE INDICATED HEREIN.

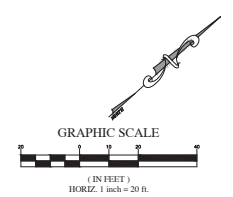
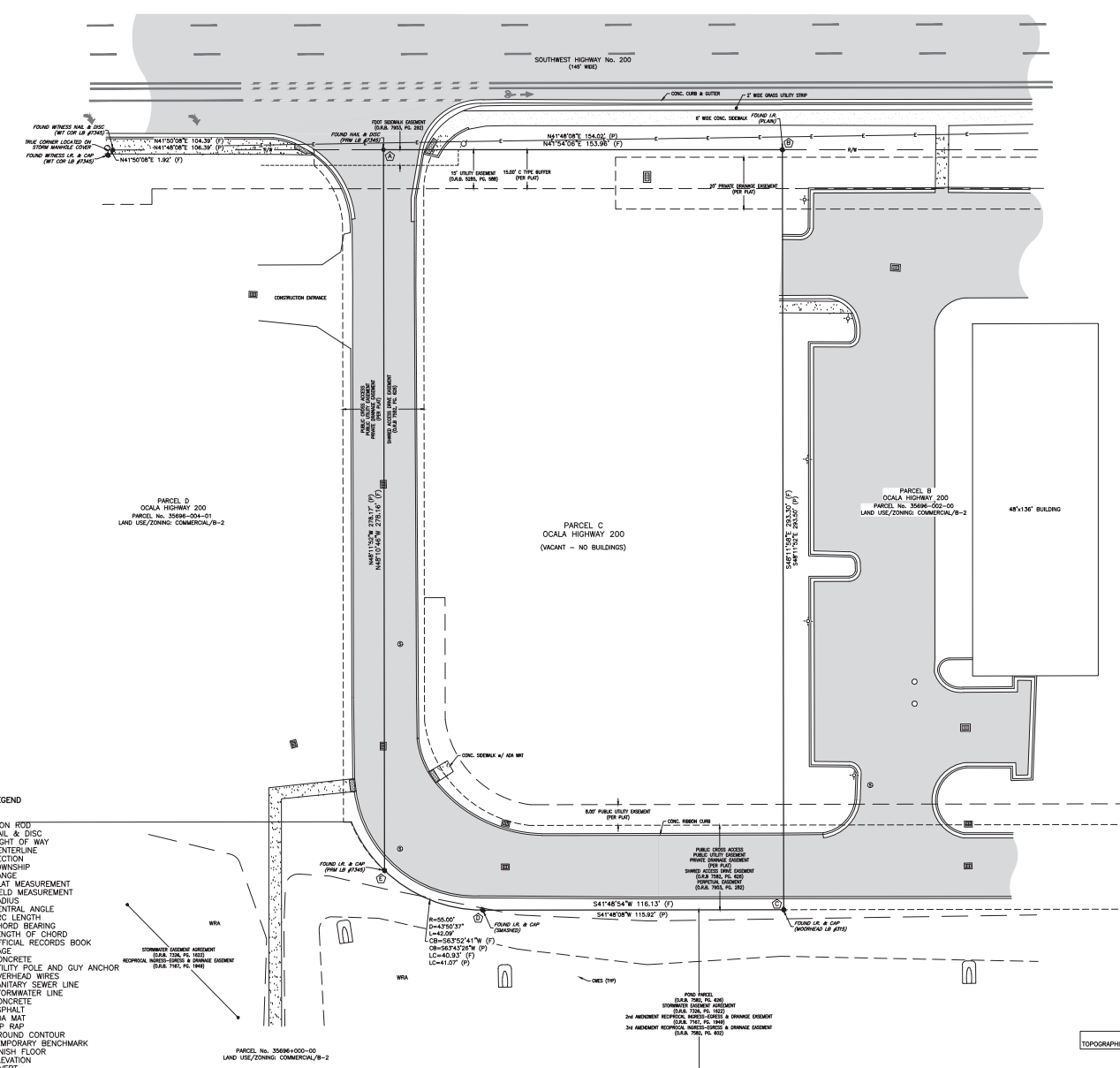
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

I, THE CONTRACTOR, CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND AND SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERAL PERMITS FOR STORMWATER POLLUTION PREVENTION FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

NAME/CONSTRUCTION COMPANY NAME: _____ DATE: _____

THE STORMWATER MANAGEMENT MEASURES PROPOSED ON THIS PLAN SHALL BE EFFECTUALLY IMPLEMENTED AND MAINTAINED. THE CONTRACTOR IS AWARE OF AND MUST ASSURE MAINTENANCE OF THE EROSION PROTECTION THAT IS ASSOCIATED WITH THE PROJECT DURING CONSTRUCTION.

PROJECT OWNER: _____ DATE: _____



LEGAL DESCRIPTION:
 PARCEL C, OCALA HIGHWAY 200, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 15, PAGE 159, PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

SURVEY REPORT:

- STATE PLANE COORDINATES AND FIELD MEASURED BEARINGS SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, FLORIDA WEST ZONE, NAD-83, AND DERIVED FROM THE L-NET NETWORK.
- FIELD SURVEY DATE: 7/1/2024.
- THE LEGAL DESCRIPTION WAS PROVIDED BY THE CLIENT.
- NO TITLE INFORMATION REFLECTING RIGHTS-OF-WAY, OR EASEMENTS OF RECORD, WAS FURNISHED TO THE SURVEYOR UNLESS SHOWN OR NOTED HEREON.
- UNDERGROUND IMPROVEMENTS OR UTILITIES, OTHER THAN AS SHOWN ON SHEET 2, WERE NOT LOCATED.
- THE EASEMENTS SHOWN HEREON WERE FURNISHED BY THE PLAT.
- THIS PROPERTY APPEARS TO BE IN A ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY NUMBER 120160, PANEL 0703, SUFFIX E, WITH AN EFFECTIVE DATE OF 4/19/2017.
- THIS SURVEY MEETS THE STANDARDS OF PRACTICE CONTAINED IN CHAPTER 54-17.050 THROUGH .052, FLORIDA ADMINISTRATIVE CODE AND THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THE MINIMUM RELATIVE DISTANCE ACCURACY FOR COMMERCIAL/HIGH RISK LAND USE.
- UNLESS IT BEARS THE DIGITAL SIGNATURE AND CERTIFICATION OR THE PHYSICAL SIGNATURE AND SEAL OF THE LICENSED SURVEYOR AND MAPPER, THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

STATE PLANE COORDINATES	
①	N: 1729080.054 E: 5776288.671
②	N: 1728184.845 E: 5777314.982
③	N: 1728999.147 E: 577950.139
④	N: 1728912.599 E: 5778277.719
⑤	N: 1728694.578 E: 577835.965

- LEGEND**
- I.R. IRON ROD
 - N&D NAIL & DISC
 - R/W RIGHT OF WAY
 - C/L CENTERLINE
 - SEC. SECTION
 - TWP. TOWNSHIP
 - RNGE RANGE
 - (P) PLAT MEASUREMENT
 - (F) FIELD MEASUREMENT
 - RADIUS
 - D or Δ CENTRAL ANGLE
 - L ARC LENGTH
 - CB CHORD BEARING
 - LC LENGTH OF CHORD
 - O.R.B. OFFICIAL RECORDS BOOK
 - PAGE
 - CONC. CONCRETE
 - CONC. POLE AND GUY ANCHOR
 - OVERHEAD WIRES
 - SANITARY SEWER LINE
 - STORMWATER LINE
 - CONCRETE
 - ASPHALT
 - ADA MAT
 - RIP RAMP
 - GROUND CONTOUR
 - T.B.M. TEMPORARY BENCHMARK
 - F.F. FINISH FLOOR
 - ELEV. ELEVATION
 - INV. INVERT
 - C.M.E.S. CONCRETE MITERED END SECTION
 - SANITARY MANHOLE
 - STORM MANHOLE
 - WATER VALVE
 - AIR RELEASE VALVE
 - ARV AIR RELEASE VALVE
 - X LIGHT POLE

SURVEYORS CERTIFICATION:
 I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY L.D.C. AND MEETS THE STANDARDS OF PRACTICE PER CHAPTER 2014-147 SECTION 1, SECTION 472.027, FLORIDA STATUTES.

MEKELLE M. BOYER DATE 7/15/2024
 PROFESSIONAL SURVEYOR & MAPPER
 REGISTRATION No. 7298
 STATE OF FLORIDA

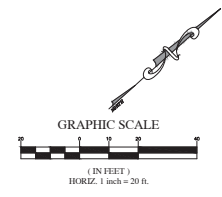
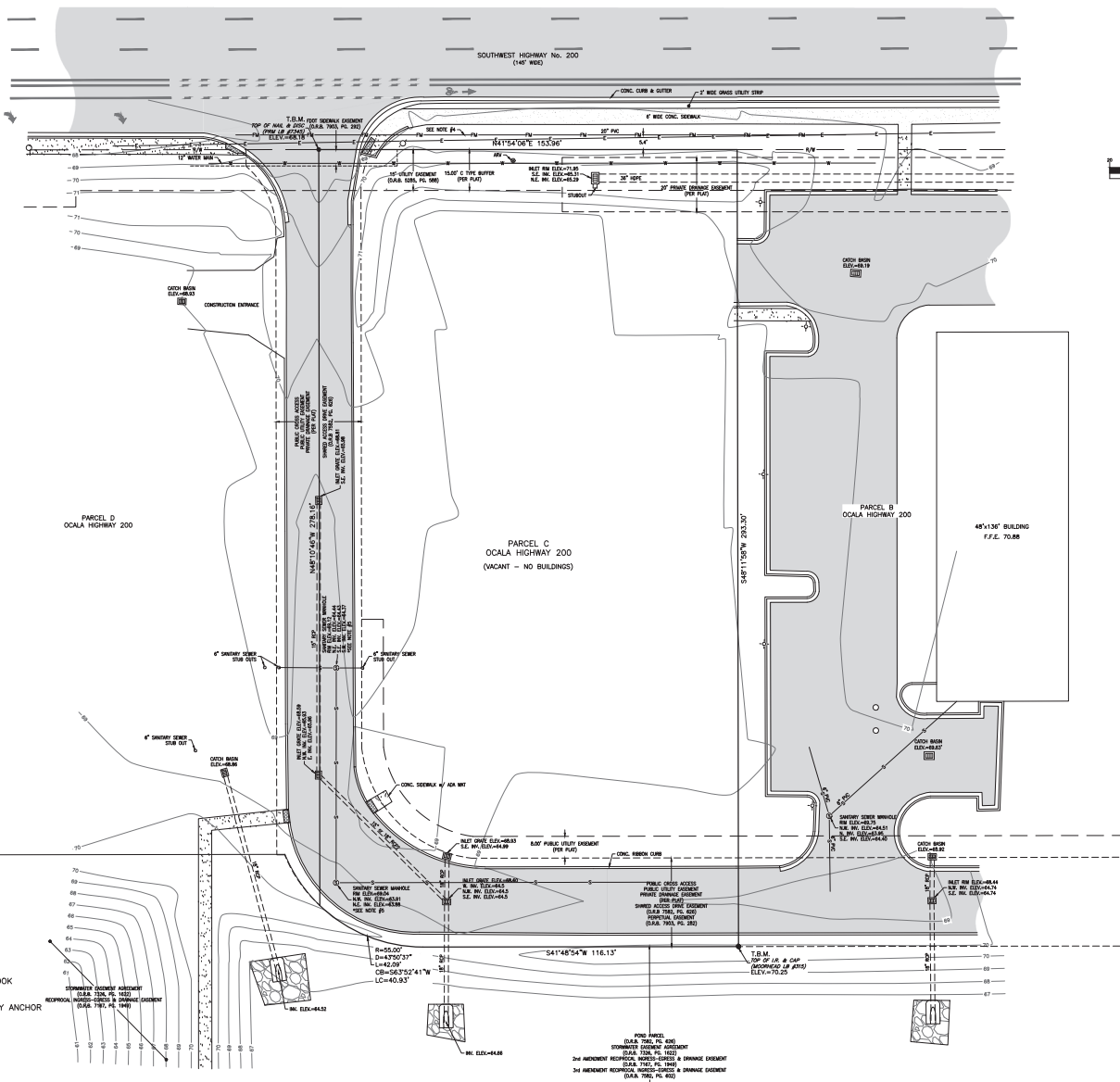
DATE	REVISION

ROGERS ENGINEERING, LLC
 1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 623-9214 • Lic. Bus. #4074

ROGERS ENGINEERING, LLC
 Civil Engineering & Land Surveying
 1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 623-9214 • Lic. Bus. #4074

A BOUNDARY & TOPOGRAPHIC SURVEY FOR SMALL SUBSERS SE200
 Date: 7/15/2024
 Scale: 1" = 20'
 Sheet: 1 of 2

JOB No. 19-0000000000
 DATE 7/15/2024
 SCALE 1" = 20'
 SHEET 1 OF 2



LEGEND

I.R.	IRON ROD
N&D	NAIL & DISC
R/W	RIGHT OF WAY
C/L	CENTERLINE
SEC.	SECTION
TWP.	TOWNSHIP
RNG.	RANGE
(P)	PLAT MEASUREMENT
(F)	FIELD MEASUREMENT
R	RADIUS
D or Δ	CENTRAL ANGLE
L	ARC LENGTH
CB	CHORD BEARING
LC	LENGTH OF CHORD
O.R.B.	OFFICIAL RECORDS BOOK
PAGE	PAGE
CONC.	CONCRETE
PC	UTILITY POLE AND GUY ANCHOR
—	OVERHEAD WIRES
—	SANITARY SEWER LINE
—	STORMWATER LINE
—	CONCRETE
—	ASPHALT
—	ADA MAT
—	RIP RAP
—	GROUND CONTOUR
T.B.M.	TEMPORARY BENCHMARK
F.F.	FINISH FLOOR
ELEV.	ELEVATION
INV.	INVERT
C.M.E.S.	CONCRETE MITERED END SECTION
○	SANITARY MANHOLE
○	STORM MANHOLE
○	WATER VALVE
ARV	AIR RELEASE VALVE
X	LIGHT POLE

- SURVEY REPORT:**
1. VERTICAL DATA IS BASED ON CONTROL POINT "H 593", PUBLISHED ELEVATION = 57.57, NAVD-88.
 2. FIELD SURVEY DATE: 7/1/2024.
 3. THIS PROPERTY APPEARS TO BE IN A ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY NUMBER 120160, PANEL 0703, SUFFIX E, WITH AN EFFECTIVE DATE OF 4/19/2017.
 4. THE FORCE MAIN SIZE AND LOCATION WAS DERIVED FROM AS-BUILT DRAWINGS PROVIDED BY MARION COUNTY UTILITIES, PREPARED BY BESH, INC., DATED: NOVEMBER 2006.
 5. THE SANITARY SEWER INVERT ELEVATIONS FOR THE TWO MANHOLES LOCATED NEAR THE SOUTHWEST CORNER OF THE PROPERTY, WERE DERIVED FROM THE UTILITY PLAN FOR WAFFLE HOUSE, LOCATED ON PARCEL D, AS THESE TWO MANHOLE COVERS COULD NOT BE REMOVED.
 6. UNLESS IT BEARS THE DIGITAL SIGNATURE AND CERTIFICATION OR THE PHYSICAL SIGNATURE AND SEAL OF THE LICENSED SURVEYOR AND MAPPER, THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

	REVISION
	DATE
<p>ROGERS ENGINEERING, LLC Civil Engineering & Land Surveying</p> <p>1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 623-9214 • Lic. Bus. #4074</p>	
<p>A BOUNDARY & TOPOGRAPHIC SURVEY FOR SMALL SUDDERS SE200 <i>Appropriate Survey Map</i></p>	
<p>JOB No. UB-SMALL SUDDERS SE200</p> <p>DATE 7/15/2024</p> <p>SCALE 1" = 20'</p> <p>SHEET 2 OF 2</p>	

Robert L. Rogers, P.E.
Lic. No. 16020
rrogers@rogerseng.com
Rogers Engineering, Inc.
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