



SUBMITTAL SUMMARY REPORT 30535

PLAN NAME: NEXT DIMENSION CONSTRUCTION

LOCATION: 15878 S US HWY 441
SUMMERFIELD,

APPLICATION DATE: 08/21/2023

PARCEL: 47696-000-01

DESCRIPTION:

CONTACTS	NAME	COMPANY
Applicant	Barry Ginn	Infinite Engineering
Engineer of Record	Barry Ginn	Infinite Engineering

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.	11/11/2025	11/25/2025	11/13/2025	Requires Re-submit
OCE: Plan Review (DR) v.	11/21/2025	12/02/2025	01/15/2026	Requires Re-submit
OCE: Plan Review (DR) v.	01/16/2026	01/26/2026	01/16/2026	Approved

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.1				
ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)		11/25/2025	11/11/2025	Requires Re-submit
Comments	YES 2.12.8 - Legal description matches boundary on plan NO 2.12.28 - Correct road names supplied Sheet C100 – Site Plan is missing the road name label for S US HWY 441 and SE 93rd Avenue Rd. Sheet C700 has S US HWY 441 incorrectly labeled as SR 500 (US 441/ us 27). YES 6.2.1.F - North arrow and graphic drawing and written scale INFO Additional 911 comments Please be advised that when the building permits are submitted the addresses assigned including the unit numbering will not match the units listed on the plan.			
Environmental Health (Plans) (Environmental Health)		11/25/2025	11/11/2025	Approved
Comments	YES Central Sewer N/A Lot Size N/A Total Flow N/A Available Area YES DEP Water Approval N/A Operating Permit Required N/A 2.12.6 - Location of septic systems & wells N/A 2.12.36 - Location of water & septic systems INFO Additional Health comments Proposed irrigation well will need a permit through the Department of Health in Marion County			
Fire Marshal (Plans) (Fire)		11/25/2025	11/11/2025	Approved
Comments	YES 6.18.2 - Fire Flow/Fire Hydrant N/A 6.18.3 - Gated Communities/Properties N/A 6.18.4 - Wildland Interface Area YES 6.18.5 - Access Control Box YES 6.18.2.D - Fire Department Connections N/A NFPA 1 Chapter 11.10.1 - In Building Minimum Radio Signal Strength YES 6.18.2.G - Painting and Marking of Fire Hydrants YES NFPA 1 Chapter 18.2.3 - Fire Dept Access Roads N/A Additional Fire comments			

SUBMITTAL SUMMARY REPORT (30535)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)		11/25/2025	11/11/2025	Approved
Comments	<p>Zoning - Approved</p> <p>YES 2.12.4.C - Owner and applicant name Included</p> <p>YES 2.12.4.L(1) - Parcel number Included</p> <p>YES 2.12.21/6.3.1.C(10) - Land use and zoning on project and on adjacent properties shown Found in Landscaping, SWPPP sheets</p> <p>YES 2.12.4.L(4) - Zoning requirements: lot width, area , setbacks , coverage (floor area ratios) and parking Setbacks, FAR & parking requirements indicated</p> <p>YES 2.12.23/4.2 -Setbacks, dimensions for all improvements, and easements Included</p> <p>INFO 2.12.24 - Landscape requirements/6.8.6 - Buffering Label buffer types.</p> <p>7/29/25: Type D buffer along A-1 property is correctly indicated on Landscaping sheet. Please include in sheet C100.</p> <p>YES 2.12.4.L(7) - List and describe land use including floor area of particular use (example: office, warehouse, storage or assembly) these descriptions are often found in the summary of parking requirements but should be clearly shown on plan Included</p> <p>YES 2.12.6 - Location of water and sewer. Does this need a special use permit? Within Marion County Utilities service area.</p> <p>INFO 2.12.9 - Show adjacent streets serving development Please indicate SE 93rd Avenue Road on sheets C002 and C100</p> <p>YES 2.12.32 - Show 100yr flood zone FEMA Flood Zone X</p> <p>YES 2.12.32 - Modified Environmental Assessment for Listed Species (LDC 6.5.4) -OR- EALS Exemption Application (LDC 6.5.3) submitted (including habitat assessment as necessary per LDC 6.6.4) Initial Review: provide environmental assessment or exemption.</p> <p>4/17/25: Staff received and transmitted your environmental assessment to the applicable state agencies. Follow the recommendations of your environmental consultants and applicable agencies.</p> <p>YES 2.12.4.L(10) - Parking requirements, service entrances, space size paved parking isle and access to parking area/6.11.8 - Off-street parking requirements/6.11.7 - Loading Areas/ 6.11.6 - Construction access/route Included. Screening included.</p> <p>INFO 4.4.4 -Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan. Show location and size of any proposed signage.</p> <p>4/17/25: Staff acknowledges monument sign shown on sheet C100 along US HWY 441. Please note separate sign permit will be required.</p> <p>YES 2.12.19 - Provide dimensions and location of all existing site improvements; dimensions and location for all proposed site improvements with all setbacks Included</p> <p>YES 2.12.27 - Show location of outside storage areas Initial Review: will there be any outside storage?</p> <p>4/17/25 - Based on Sec. 4.2.15.I - Delineate and label the required 8' fencing needed to screen outside storage areas from view from access streets, freeways and incompatible adjacent properties. Also note what type of screening will be used (e.g., chain link with slats, privacy fence, masonry wall, etc.) The screening may be placed up to the property line.</p> <p>7/29/25 - Outdoor storage and respective screening are indicated.</p> <p>YES 5.2 & 5.3 - Verify any overlay zones such as ESOZ, Springs Protection, or Flood Plain FEMA Flood Zone X</p> <p>Secondary Springs Protection Zone</p> <p>No ESOZ</p> <p>INFO Additional Zoning comments JARED RIVERA / GROWTH SERVICES / 352-438-2687 / JARED.RIVERA@MARIONFL.ORG</p> <p>Land Use- Approved</p> <p>YES 2.12.4.L(2)/3.2.3 - Use Consistent with FLU Designation? COM/B-4</p> <p>N/A 2.12.4.L(3) - All applicable Developer's Agreements listed?</p> <p>N/A 2.12.4.L(2,3, & 5)/6.3.1C(15)(g) - DRI/FQD Compliance Note?</p> <p>N/A 3.2.3/6.5.2.5/flood - RESIDENTIAL - Complies with Min/Max Density?</p> <p>YES 3.2.3 - NON-RESIDENTIAL - Complies with FAR?</p> <p>N/A 2.12.4.L(6) - Gross/wetland/floodplain acreage listed?</p> <p>N/A 3.3.2.C - Complies with Approved ECSD PUD?</p> <p>N/A 3.3.3.A(1)- Complies with Approved Rural Residential Cluster Plan?</p> <p>N/A 3.3.3.A(2) - Complies with Approved Hamlet Plan?</p> <p>YES 2.12.4.L(5)/5.2 - [Applicable ESOZ/FPOZ Status Listed?]</p> <p>YES 2.12.4.L(5)/5.4 - [Applicable Springs Protection Zone Listed?]</p> <p>N/A 2.12.4.L(5)/5.7 - Wellhead Protection - P/S/T Zones Shown/Listed?</p> <p>N/A 2.12.4.L(7 & 9) - Building Uses/Identifiers/Designations Provided for 911?</p> <p>N/A 4.1.4.J - [Greenway Setback Provided?]</p> <p>YES 2.12.16/6.5 - [EALS or EALS-ER provided?] Email with EALS, Cover, and Location Map sent 4/14/35 - KB</p> <p>Please provide an Environmental Assessment.</p> <p>YES 6.5 & 6.6 - Habitat Preservation/Mitigation Provided? Provide a copy of the FWC Permit PRIOR TO COMMENCING SITE LAND CLEARING AND/OR CONSTRUCTION for including in the Application Request's plan and/or supplemental documents.</p> <p>[FWC was notified by email 4/14/25 of the Environmental Assessment that identified the presence of at least one listed species (gopher tortoise, and potential for eastern indigo snake) on-site. Contact FWC for permitting/relocation information.]</p> <p>N/A 2.12.9 - [Show All Existing Surrounding & Intersecting R/Ws?]</p> <p>N/A 6.12.2.A - [Local Road right-of-Way Provided?]</p> <p>N/A 6.12.2.A - [Access Improvements R/W Provided (decel/accel/turn lanes)?]</p> <p>N/A 2.12.9/6.12.2.B - Comp Plan Future Thoroughfares R/W Provided (TE Map)?</p> <p>N/A 6.11.4.C - [Additional/Alternate/Interconnected Access (S/QS-L) Provided?]</p> <p>N/A 6.11.2, 4 & 5 - Internal Access Consistent with PUD/Master Plan/Plat?</p> <p>N/A 6.11.4.B & D/7.3.1 - [Cross/Parallel Access Required/Suitable?]</p> <p>N/A 6.11.5 -[Driveways to Intersections Separated/Coordinated?]</p> <p>N/A 6.11.4.E - [Sight Triangle Provided?]</p> <p>N/A 6.11.5 - [Driveways to Driveways Separated/Coordinated?]</p> <p>N/A 6.12.12 - [Sidewalks Internal/External Provided?]</p> <p>N/A 2.12.5/1.8.2.A - Concurrency/Traffic - Study/Capacity Available?</p> <p>N/A 2.12.5/1.8.2.D - Concurrency - PRELIM Evaluation Required?</p> <p>YES 2.12.5/1.8.2.F - Is Concurrency Approval or Deferral Elected?</p> <p>N/A 2.12.6, 35, & 36/6.14 - [Concurrency/Water Provided?]</p> <p>N/A 2.12.6, 35, & 36/6.14 - [Concurrency/Sewer Provided?]</p> <p>N/A Additional Planning Items:</p>			

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Landscape (Plans) (Parks and Recreation)		11/25/2025	11/11/2025	Approved
Comments	YES 2.12.18 - All trees 10" DBH and larger N/A 2.12.25 - Marion Friendly Landscape Areas YES 6.7.3 - Tree protection YES 6.7.4 - Shade tree requirements YES 6.7.6 - Tree removal submittal requirements YES 6.7.8 - Protected tree replacement requirements YES 6.7.9 - Replacement trees; general requirements Mitigation inches do not meet requirements, please contact staff for further discussion YES 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes) YES 6.8.3 - Landscape design standards YES 6.8.4 - Landscape area requirements for non-residential development N/A 6.8.5 - Landscape area requirements for residential and mixed use developments INFO 6.8.6 - Buffers Landscape on West and South buffers will be on the outside (public side) of the fence YES 6.8.7 - Parking areas and vehicular use areas Provide 5' min. strip of landscape screening around the perimeter of parking areas YES 6.8.8 - Building landscaping YES 6.8.9 - Service and equipment areas N/A 6.13.3.C(5) - Landscaping of public stormwater management facilities YES 6.13.3.D(4) - Landscaping of private stormwater management facilities YES 6.8.10 - General planting requirements (specifications) YES 6.8.11 - Landscape installation YES 6.8.12 - Landscape completion inspection requirements provide note from this section of code YES 6.9.2 - Irrigation plan requirements (details, legend, notes) YES 6.9.3 - Irrigation design standards YES 6.9.5 - Irrigation system installation YES 6.9.6 - Completion inspection requirements provide note from this section of code N/A 6.19.3 - Outdoor lighting plan requirements Photometric plan must be signed and sealed by lighting designer YES 6.19.4 - Exterior lighting design standards N/A 5.5.4.B - Permitted uses within Springs Protection Overlay Zone PEND Additional Landscape comments			

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OCE Design (Plans) (Office of the County Engineer)		11/25/2025	11/11/2025	Approved
Comments	<p>YES 2.21.2.B - Major Site Plan fee of \$250.00 + (\$5.00 x total site acreage) made payable to Marion County BCC 7/25/25 - fee due with resubmittal</p> <p>6/5/25 - fee due with resubmittal</p> <p>4/15/25 - fee due with resubmittal</p> <p>10/16/23 - fee due with resubmittal</p> <p>N/A 2.21.2.B - Plan review fee of \$40.00 made payable to Marion County Health Department</p> <p>N/A Traffic study / methodology fee of \$200.00 made payable to Marion County BCC is required prior to plan approval. Refer to Resolution 10-R-630 for the current fee schedule.</p> <p>N/A 2.1.6.A - \$100 Resubmittal fee payable to Marion County BCC</p> <p>N/A 2.1.7.A - \$100 Revision fee payable to Marion County BCC</p> <p>N/A 2.1.3 - Order of plan approval</p> <p>YES 2.12.3 - Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions</p> <p>YES 2.12.4.A - Type of application on front page</p> <p>YES 2.12.4.B - Project name centered at top of front page</p> <p>YES 2.12.4.C - Name, address, phone number, and signature of owner and applicant on front sheet</p> <p>YES 2.12.4.D - Owner's certification on front sheet: I hereby certify that I, my successors, and assigns shall perpetually maintain the improvements as shown on this plan</p> <p>YES 2.12.4.E - The name, address, phone number, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet</p> <p>YES 6.2.1.A - Name, street address, signature, date, license number, and seal of licensed professional on each sheet</p> <p>YES 2.12.4.F - Licensed professional certification on cover sheet with signature and seal on all sheets after plan approval</p> <p>YES 2.12.4.F(1) - Licensed Design Professional Certification: I hereby certify that these plans and calculations were completed in accordance with all applicable requirements of the Marion County Land Development Code, except as waived.</p> <p>YES 2.12.4.G - A key location or vicinity map, with north arrow, with reference to surrounding properties, streets, municipal boundaries, sections, ranges, and township</p> <p>YES 2.12.4.H - A portrait oriented minimal 3 inches x 5 inches space, located 2.75 inches from the right edge of paper and .75 inches from the top edge of paper, shall remain blank to allow for a County approval stamp</p> <p>YES 2.12.4.I & 6.2.1.D - Index of sheets and numbering</p> <p>INFO 2.12.4.K - List of approved waivers, their conditions, and the date of approval 10/16/23 - add waivers if requested in the future</p> <p>YES 2.12.4.L(1) - Parcel number</p> <p>YES 2.12.7 - A digital version of the plan in a format pre-approved by the Office of the County Engineer</p> <p>YES 2.21.2.A - Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application</p> <p>YES 6.2.1.B - Plans shall be legible and meet typical industry standards</p> <p>YES 6.2.1.C - Standardized sheet size shall be 24" x 36"</p> <p>YES 6.2.1.F - North arrow and graphic drawing and written scale</p> <p>N/A Legal Documents</p> <p>INFO Additional Development Review Comments After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plans and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.</p>			

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ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)		11/25/2025	11/11/2025	Approved
Comments	<p>YES Major Site Plan The original document arrived in the mail. 6/16/25 HR</p> <p>I got an email about the cross-access easement. We are awaiting the arrival of the original document in the mail. 6/16/25 HR</p> <p>I sent an email to Barry at Infinite on 6/4/25, outlining the example templates required for the cross access. We need the executed document taken to our office for recording. 6/10/25 HR</p> <p>The owner has been confirmed through Sunbiz and the project list.</p> <p>Please provide the executed copy of the easement to our office for review. HR 4/15/25</p> <p>IF APPLICABLE:</p> <p>Sec. 2.18.1.I - Show connections to other phases.</p> <p>Sec.2.19.2.H – Legal Documents</p> <p>Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.</p> <p>Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)</p> <p>For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."</p> <p>Sec. 6.3.1.B.2 – Required Right of Way Dedication</p> <p>For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."</p> <p>Sec. 6.3.1.D.3 - Cross Access Easements</p> <p>For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."</p> <p>Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)</p> <p>"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."</p> <p>Sec. 6.3.1.C.2 – Utility Easements</p> <p>"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:</p> <p>1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."</p> <p>Sec.6.3.1.D(f) –</p> <p>If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."</p>			

SUBMITTAL SUMMARY REPORT (30535)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Stormwater (Permits & Plans) (Office of the County Engineer)		11/25/2025	11/11/2025	Approved
Comments	<p>YES 2.12.4.L(9)(b) - Data Block (Impervious Area)</p> <p>YES 2.12.8 - Topographical Contours</p> <p>YES 2.12.9/10 - Existing Drainage Right-of-Way/Easements</p> <p>YES 2.12.9/10 - Proposed Drainage Right-of-Way/Easements</p> <p>YES 2.12.13/14/15 - General Exhibits</p> <p>N/A 2.12.20 - Stormwater Infrastructure Supports Phasing</p> <p>YES 2.12.38 - Stormwater Maintenance Entity</p> <p>YES 6.13.2.C - Geotechnical Investigation Report</p> <p>YES 6.13.7 - Geotechnical Criteria</p> <p>YES 6.13.2 A(1)/(2) - Contributing Basins/Tc</p> <p>YES 6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations</p> <p>YES 6.13.2.A(4) - Stormwater Features & Connective Elements</p> <p>YES 6.13.2.A(3) - Retention/Detention Area Design Parameters</p> <p>YES 6.13.3 - Type of Stormwater Facility Criteria</p> <p>YES 6.13.4 - Stormwater Quantity Criteria</p> <p>YES 6.13.2.B(4) - Hydrologic Analysis</p> <p>YES 6.13.4.C - Discharge Conditions</p> <p>YES 6.13.2.B(6) - Freeboard</p> <p>YES 6.13.4.D - Recovery Analysis</p> <p>YES 6.13.5 - Flood Plain & Protection</p> <p>YES 6.13.2.A(8) - Finish Floor Elevation Criteria</p> <p>YES 6.13.6 - Stormwater Quality Criteria</p> <p>N/A 6.12.6 - Roadway Flooding Level of Service</p> <p>N/A 6.13.6.B - Alternative Treatment Techniques</p> <p>YES 6.13.6.C - Best Management Practices</p> <p>YES 6.13.8 - Stormwater Conveyance Criteria</p> <p>YES 6.13.2.B(5) - Hydraulic Analysis</p> <p>N/A 6.13.8.B(3) - Lane Spread Calculations</p> <p>YES 6.13.2.A(9) - Access Accommodates Stormwater</p> <p>YES 6.13.8.B(7) - Minimum Pipe Size</p> <p>YES 6.13.2.A(5) - Existing/Proposed Stormwater Structures</p> <p>YES 6.13.2.A(6) - Existing/Proposed Stormwater Pipes</p> <p>YES 6.13.2.A(7) - Existing/Proposed Stormwater Swales</p> <p>YES 6.13.9 - Grading Criteria</p> <p>YES 6.13.2.A(11)(a) - Construction Entrance</p> <p>YES 6.13.2.A(11)(b) - Erosion Control</p> <p>YES 6.13.2.A(12)/6.12.5 - Stormwater Details, Cross Sections, References</p> <p>YES 6.13.2.B(8) - Calculation & Plan Consistency</p> <p>INFO 6.13.10.B - Copy of NPDES Permit or NOI Please provide a copy of the NPDES permit or NOI prior to construction.</p> <p>YES Copy of District Permit (County Interest) Please provide a copy of the District permit prior to construction.</p> <p>YES 6.10 - Karst Topography and High Recharge Areas</p> <p>YES 7.1.3 - Drainage Construction Specifications</p> <p>YES 6.13.12 - Operation and Maintenance</p> <p>YES Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.</p> <p>YES Additional Stormwater comments If you have questions or would like to discuss the stormwater review comments, please contact Alexander Turnipseed at (352) 671-8376 or at alexander.turnipseed@marionfl.org.</p>			
OCE Survey (Plans) (Office of the County Engineer)		11/25/2025	11/11/2025	Approved
Comments	<p>YES 6.2.1.A - The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet.</p> <p>YES 6.2.1.E - Provide drawing legend</p> <p>YES 6.2.1.F - Provide north arrow and graphic drawing and written scale</p> <p>YES 6.4.7.A(1) - Show a minimum of two bench marks per site</p> <p>YES 6.4.7.A(2 & 3) - Bench mark information shown</p> <p>N/A 6.4.7.A(2 & 3) - One copy of the vertical control field notes shall be submitted to the Office of the County Engineer for review</p> <p>YES 6.4.7.B(1) - Show a minimum of two intervisible horizontal control points per site</p> <p>YES 6.4.7.B(2) - Horizontal control points shall be monumented and referenced to the Florida State Plane Coordinate System</p> <p>YES 6.4.7.B(4) - Provide a statement or table detailing horizontal datum, adjustment, and coordinate values</p> <p>N/A 6.4.7.B(4) - One copy of the horizontal control notes along with reduction reports shall be submitted to the Office of the County Engineer for review</p> <p>YES 6.4.7.D - The location of the existing one percent (100-year) flood plain as shown on FEMA FIRM, with zone, elevation, and vertical datum noted</p> <p>YES 6.4.7.D - A note shall appear on the construction plans detailing source and survey field methods used to obtain and delineate the flood plain line shown</p> <p>YES 6.4.7.E - Line and curve table must be shown on the sheet to which they apply</p> <p>YES 6.4.7.F - All abbreviations used shall be clearly defined in the legend</p> <p>YES 2.12.4.F.(2) - Surveyor and Mapper certification</p> <p>YES 2.12.4.G - Show a location or vicinity map</p> <p>YES 2.12.8 - Provide current boundary and topographic survey less than one year old</p> <p>YES 2.12.9 - Provide location and dimensions of all rights-of-way serving the project</p> <p>YES 2.12.10 - Show any known existing or proposed easement or land reservation</p> <p>YES 2.12.11 - Provide an aerial map of the site with a layout of the development</p> <p>YES 2.12.32 - Provide site analysis map depicting the existing (100-year) flood plain</p> <p>N/A Additional Survey comments</p>			

SUBMITTAL SUMMARY REPORT (30535)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Traffic (Permits & Plans) (Office of the County Engineer)		11/25/2025	11/11/2025	Approved
<i>Comments</i>				
YES 2.12.9 - Location and dimensions of streets and right-of-way				
YES 2.12.20 - Phases of development				
YES 2.12.30 - Route Plan				
YES 2.12.38 - Maintenance of improvements				
YES 6.2.1.E - Drawing legend				
YES 6.11.3 - Traffic Impact Analysis 6/6/25 - Provided information indicates a traffic assessment is still required. It is recommended that a full buildout plan be comprehended within the required methodology, followed by a study (instead of an assessment). Please contact Dane Scott (Dane.Scott@MarionFL.org) for guidelines or any additional information needed.				
4/16/25 - Traffic study (or assessment) is required for updated site plan. A traffic methodology must first be submitted separately, for review and approval, followed by a traffic study (or assessment) which must also be submitted separately for review and approval.				
YES 6.11.4.B - Cross access 6/6/25 - Cross access is required to be fully constructed at initial build.				
4/17/25 - Applicant indicates cross-access easement document is in process to enable final approval.				
9/6/23 - Provide the executed cross access easement. The template for the easement can be obtained by contacting Cheryl Weaver in the Right-of-way Office. Coordinate with the right-of-way office on recording the easement.				
N/A 6.11.4.E - Sight triangle				
INFO 6.11.5 - Driveway access 4/17/25 Driveway along S US HWY 441 is subject to the FDOT permit process in consultation with Marion County OCE Traffic. Provide a notice of intent (NOI) letter if received.				
N/A 6.11.6 - Construction route				
N/A 6.11.9.A - Traffic signals				
YES 6.11.9.B - Traffic signs				
YES 6.11.9.C - Pavement marking				
N/A 6.12.1.A - Transportation Facilities - Purpose and Intent				
N/A 6.12.2 - Right-of-way				
N/A 6.12.11 - Turn lanes				
N/A 6.12.12 - Sidewalks 4/16/25 - Sidewalk fee-in-lieu of construction comes out to \$9,825.00 and must be paid prior to final approval.				
9/6/23 - Sidewalk is required along US 441.				
N/A 6.12.13 - Utility position in right-of-way				
N/A Additional Traffic comments				
OCE Utilities (Plans) (Utilities)		11/25/2025	11/11/2025	Requires Re-submit

SUBMITTAL SUMMARY REPORT (30535)

Comments

INFO Marion County Utilities Contact Information 7/28/25 Not complied with. No contact information listed for contractor. 6/2/25 - Not complied with. C000 - Please add MCU's contact information. 11800 US-441, Belleview, FL 34420. (352) 307-6000

YES Parcel numbers identified in project match proposed site plan layout 7/28/25 Shown on C0000. Prev Comment. Please provide parcel # on cover page 47696-000-01. Cloud if already listed.

YES 6.14.2.A(1) - Public water service area/provider Marion County Utilities Service Area

YES 6.14.2.A(1) - Public sewer service area/provider Marion County Utilities Service Area

N/A 6.14.2.A(1) - Letter of Availability and Capacity (w/Location Map of water and/or sewer as app) from provider

YES 6.14.2.A - Water Connection Requirements Connecting to 16" MCU Water Main

YES 6.14.2.A - Sewer Connection Requirements Connecting to 12" MCU Sewer Force Main

N/A 6.14.2.C.2(e) - Grease Trap, FOG Worksheet 7/28/25 - Per response letter - Acknowledged. Currently, no restaurants are planned on the property. Should any food

preparation/cooking establishments constructed on the property, the Owner will provide

any information requested by Marion County Utilities to permit such construction. 6/2/25 – The grease trap is noted on the plans, but no grease trap is shown in the drawings.

If a grease trap is required for the building, please revise the plans to include a detailed drawing of the grease trap. Updated plans must be signed and sealed prior to resubmittal. 4.16.25 - C102 Grease traps are shown. Required to have signed and sealed calculations by EOR on Utility Plan Page. Previous Comment: If any of these rentals will be cooking/preparing food and a 3-compartment sink is required, you must contact MCU for grease trap requirements prior to the final approval of this Major Site Plan; advise.

YES 6.14.2.C - Industrial Pretreatment 4.16.25 - Acknowledged. If any of these rentals will require IP, you must contact MCU for requirements prior to the final approval of this Major Site Plan; advise.

N/A 6.14.3 - Onsite Waste Treatment and Disposal System (OSTDS) - connection requirement on plan

YES 6.14.3.B - Springs Protection Zone Secondary. Listed on cover sheet

YES 6.14.4 - Water (potable) Capital Charges and Flow Rates - proposed use identified to calculate 4.16.25. Acknowledged.

Previous comment: Domestic water & sewer capacity charges for the building will be invoiced by MCU Permitting upon review of the building permit application and are due prior to the issuance of your permit for each building. Each unit is required to have its own water service/meter - if the shell is ready to be served by water before the individual tenants are ready to occupy, the developer shall be responsible for each respective unit's meter's monthly fee. For more information, contact Claribel.Martinez@MarionFL.org or Brandy.Raymond@MarionFL.org

N/A 6.14.4 - Water (irrigation) Capital Charges and Flow Rates - total irrigated area identified 4.16.25. Irrigation will be served by private well.

YES 6.14.4 - Sewer Capital Charges and Flow Rates - proposed use identified to calculate by water note

N/A 6.14.5.A(1) - Submittal Requirements - Existing on-site & off-site mains and service connections

N/A 6.14.5.A(2) - Submittal Requirements - Proposed on-site & off-site mains and service connections

N/A 6.14.5.A(3) - Submittal Requirements - Lift Stations layout, elevations, schedules

YES 6.14.5.A(6) - Submittal Requirements - Manhole locations, rim and invert elevations outside paved areas 4.16.25 -

Acknowledged and changed. 1. all sewer gravity mains minimum 8 inch; revise

2. confirm flow direction from S1 to S2 is not more 180°; check angle

YES 6.14.5.A(8) - Submittal Requirements - Connection to existing water system 4.16.25 - Acknowledged and changed. see changemarks on sheet C102 for connection notes

YES 6.14.5.A(8) - Submittal Requirements - Connection to existing sanitary system 4.16.25 - Acknowledged and changed. see changemarks on sheet C102 for connection notes

N/A 6.14.5.B - Construction Notes - Cover, horiz/vert datums, construction requirements

YES 6.14.5.B - Construction Notes - UT DETAILS - current LDC version 4.16.25. Missing UT310 for Grease Trap, Missing UT316 for above ground ARV, Missing UT208 for Fire Line. Previous comment: Revise details on sheets C500, C501, C502, C503, C504 as per approved 4/13/23. The CAD versions of these details can be found online HERE: <https://utilities.marionfl.org/i-want-to/find-construction-related-forms>

YES 6.14.5.C - All issued permits related to this project shall be submitted to MCU (DOT, ROW, misc) 4.16.25. Acknowledged.

N/A 6.14.5.C - DEP permit for water mains to be constructed/owned by MCU

YES 6.14.5.C - DEP permit for water mains to be constructed/owned by developer 4.16.25. Acknowledged.

N/A 6.14.5.C - DEP permit for sewer mains to be constructed/owned by MCU

N/A 6.14.5.C - DEP permit for sewer mains to be constructed/owned by developer

YES 6.14.5.D - Hydraulic Analysis 6/2/25 complied. Previous comment: C600 - When was FM pressure test done? (2) Elevations and dimensions do not meet UT501 standards. (3) MCU recommends 316SS. Please note: The private lift station will be owned and maintained by the property owner. The Engineer of Record is ultimately responsible for ensuring the lift station is properly sized and fully operational.

YES 6.14.6 - Design Criteria for Utility Systems to be owned/maintained by MCU

YES 6.14.7 - Construction Inspection - PLAN NOTE: 4.16.25. Added to C102. Previous comment: Add to sheet C102 "MCU personnel are to inspect any work performed on or around existing MCU infrastructure. A pre-construction meeting is required to be held a minimum of 48 hours prior to start of any construction. If the pre-construction meeting is not completed, any work may be halted. To schedule, contact MCU's Construction Officer at 352-307-6163."

YES 6.14.8.A - Completion and Closeout - PLAN NOTE: As-builts 6/2/25 Acknowledged. Previous Comment: For any Utility assets between the water main and the meter, Marion County will require a Bill of Sale and As-builts of the service, prior to meter(s) being installed. A final hold has been placed on permit, if applicable. All as-builts shall comply with the current Marion County LDC, section 6.14.8

N/A 6.14.9.A - Developer's Agreement

YES 6.14.9.B - Transfer of Facilities to Marion County Utilities - PLAN NOTE: Any assets to be conveyed to Marion County Utilities as part of the public utility system shall be coordinated PRIOR TO Marion County Utilities through the Bill of Sale, and prior to MCU's authorization of the DEP connection/Clearance Package. The Bill of Sale for any Lift Station(s) MUST include the first electric bill to capture necessary data prior to transfer to Marion County Utilities. ALLOW A MINIMUM OF 5 WORKING DAYS for processing the Bill of Sale information.

YES 6.14.9.B - Bill of Sale

N/A 6.15.1 - Potable Water Distribution System

N/A 6.15.2 - Decentralized Water System (WTP)

YES 6.15.3 - Fire Protection/Fire Flow Capacity 6.2.25 - Corrected. Previous comment: 4.16.25 - C102 - Private hydrant must be downstream of DDC.

SUBMITTAL SUMMARY REPORT (30535)

YES 6.15.4 - Water Main Piping Installation 6/2/25 Corrected. Previous Comment: C102- Confirm wet tap and Sewer Force Main meet minimum separation by the FDEP. (2) Taps must be a minimum of 24" apart for the six potable meters and RPZ's.

YES 6.15.5 - Water Service and Connection 6/2/25 Corrected. Previous Comment: C102 - Water connection/ taps cannot be under mitered end of culvert

YES 6.15.6.A - Potable Water Metering - individual/banked, size

N/A 6.15.6.B - Irrigation Water Metering - size Irrigation by well.

N/A 6.15.6.C - Sewer service only (water meter required/shown)

YES 6.15.6.D - Meter Location 6/2/25 Corrected. Previous Comment: C102 - Confirm all meters are in the ROW or dedicated easement.

N/A 6.15.6.E - Meter Easements

NO 6.15.6.F - Meter Boxes 7/28/2025 - Utility plan not uploaded, unable to clear comment. C102 - (1) Cloud reads 5 separate taps. There is 4 shown on the plans. Needs correction (2) Plans could show, two taps, with 5 meters on each to reduce taps into the water main.

YES 6.15.6.G & H - Meter Sizing

YES 6.15.7 - Cross Connection Control and Backflow Prevention 4.16.25. C102 updated and note listed. Previous comment: Backflow preventer noted needs to be changed to Double Detector Check Valve on Sheet C102

N/A 6.15.8 - Public Water Well Standards

N/A 6.15.9 - Wellfield and Water Supply

N/A 6.15.10 - Water Treatment Plants (WTP)

N/A 6.16.2 - Decentralized Wastewater Treatment Plant (WWTP)

YES 6.16.4 - Wastewater Collection Systems (Gravity/Pressurized) Design 6/2/25 Corrected. Previous Comment: C102 -Force main ARV must be built in accordance with UT316. (2) Identify FM size in call out box.

YES 6.16.5.A & B - Private Wastewater Pump Stations 6/2/25 Acknowledged. Previous Comment: 4.16.25. Total TDH Listed as 134. Please note - The private lift station will be owned and maintained by the property owner. The Engineer of Record is ultimately responsible for ensuring the lift station is properly sized and fully operational.

Previous comment: Provide how Primary TDH determined (113) - sheet C600.

N/A 6.16.5.C - Public Wastewater Pump Stations (MCU Standards)

N/A 6.17 - Water Reclamation/Reuse Facilities

N/A Article 7 - Construction Standards - PLAN NOTE:

YES Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities 7/28/25 No fee for this review. 6.2.25 - No fee for this review. 4.16.25 - Utilities Plan Review Fee: \$130.00 Fee(s) can be paid by calling 352-671-8686 or visiting the Development Review Office at 412 SE 25th Ave, Ocala, FL 34471. Reference AR# ENTER AR # 30535

INFO Additional Utilities comments For any questions regarding this review, please contact Heather Proctor, Utilities Development Review Officer, at Heather.Proctor@marionfl.org or by phone at (352) 438-2896.

N/A Additional Utilities comments
 N/A Additional Utilities comments
 N/A Additional Utilities comments
 N/A Additional Utilities comments
 N/A Additional Utilities comments
 N/A Additional Utilities comments
 N/A Additional Utilities comments
 N/A Additional Utilities comments

OCE: Plan Review (DR) v.2

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Caroline Dennison	12/02/2025	12/01/2025	Approved
Environmental Health (Plans) (Environmental Health)		12/02/2025	12/17/2025	Approved
Comments	This will be serviced by Marion County Utilities for Water and Wastewater.			
Fire Marshal (Plans) (Fire)	Jonathan Kenning	12/02/2025	12/02/2025	Approved
Comments	previously approved			
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Sarah Wells	12/02/2025	12/02/2025	Approved
Landscape (Plans) (Parks and Recreation)	Susan Heyen	12/02/2025	11/21/2025	Approved
OCE Design (Plans) (Office of the County Engineer)	Jack Dingman	12/02/2025	01/15/2026	Requires Re-submit
Comments	See corrections			
Corrections	2.12.4.E & 6.2.1.A - Licensed Professional (Resolved) - 2.12.4.E & 6.2.1.A - Licensed Professional: 2.12.4.E & 6.2.1.A - The name, address, phone number, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet			
Corrections	Additional Design Comments (Resolved) - Additional Comments:			
Corrections	2.12.4 - Front page of the plan (Not Resolved) - 2.12.4 - Front page of the plan: Front page of the plan shall minimally include A through L of this section of the LDC.			
Corrections	6.2.1.A. - Licensed Professional (Resolved) - 6.2.1.A. - Licensed Professional: Plans shall be prepared by a professional licensed by the State of Florida. The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet. The same shall be provided on the cover page of any supporting documents and calculations.			
Corrections	2.12.4.I & 6.2.1.D - Index of sheets and numbering (Resolved) - 2.12.4.I & 6.2.1.D - Index of sheets and numbering: Index of sheets; All sheets shall indicate each sheet number and the total number of sheets. Cross references between sheets is required			
Corrections	6.2.1.B.-F. - Requirements (Resolved) - 6.2.1.B.-F. - Requirements: Technical standards and requirements as listed in Section 6.2.1.B. through F. of the LDC			
Corrections	2.21.2.A - Multi-phase Major Site Plans (Resolved) - 2.21.2.A - Multi-phase Major Site Plans: Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application			

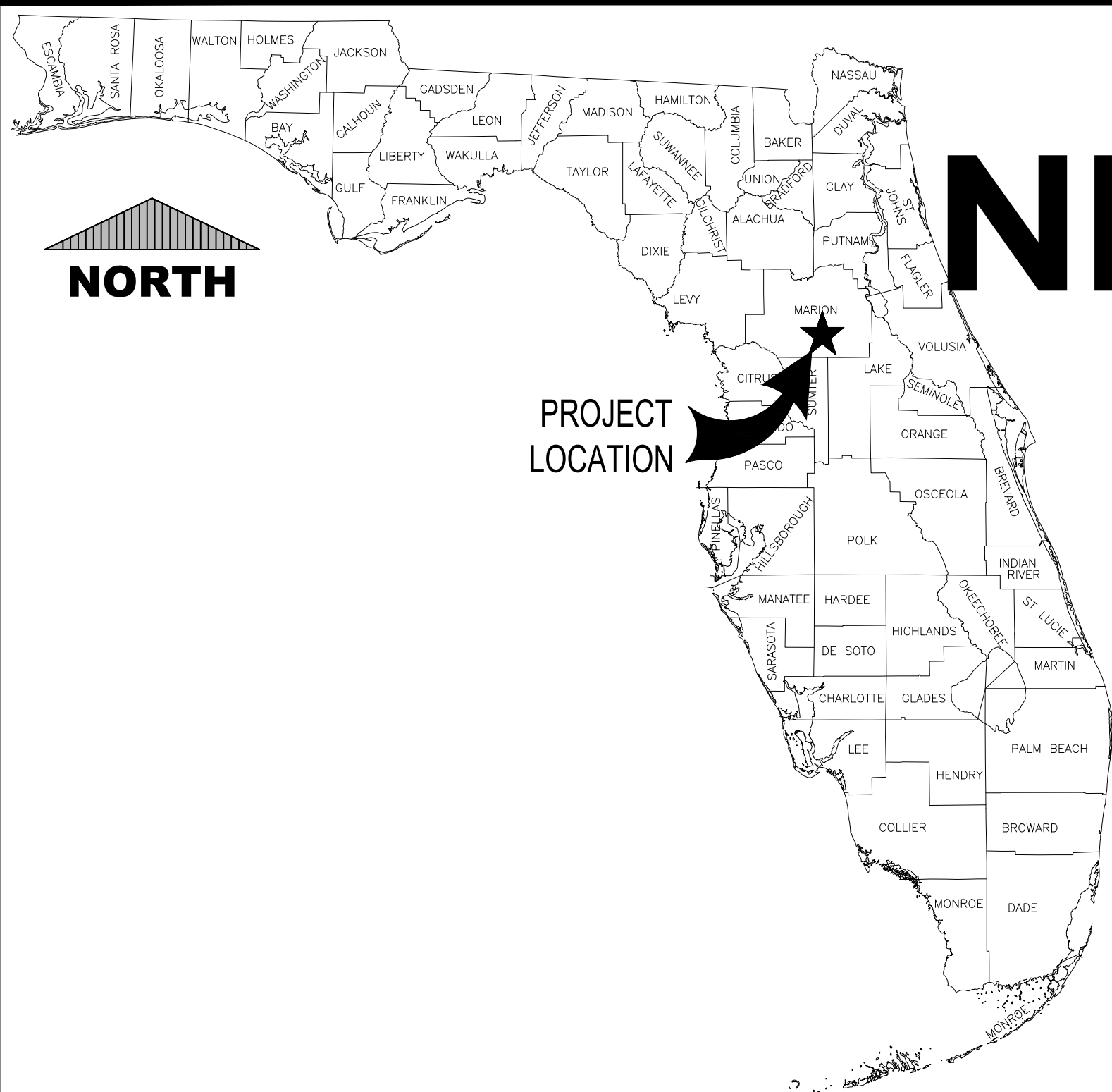
SUBMITTAL SUMMARY REPORT (30535)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Design (Plans) (Office of the County Engineer)	Jack Dingman	12/02/2025	01/15/2026	Requires Re-submit
Corrections	2.1.3 - Order of plan approval (Resolved) - 2.1.3 - Order of plan approval: Plans listed may be reviewed concurrently, but must be approved in the order listed at the link below, when applicable and when the proper land use and zoning are in place			
Corrections	2.21.2.A - Multi-phase Major Site Plans (Resolved) - 2.21.2.A - Multi-phase Major Site Plans: Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application			
Corrections	2.18.2.G Utility Easements (Resolved) - 2.18.2.G Utility Easements: Easement requirements of each utility shall be indicated by the utility on a copy of the Preliminary Plat or by letter. (Letters/emails of easement acceptance due with improvement plan.)			
Corrections	Legal Documents (Resolved) - Legal Documents			
Corrections	2.12.3 - Title block (Resolved) - 2.12.3 - Title block: Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions			
OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	12/02/2025	11/26/2025	Informational
Comments	<p>Sunbiz checked -EMW 11.26.2025</p> <p>IF APPLICABLE:</p> <p>Sec. 2.18.1.I - Show connections to other phases.</p> <p>Sec.2.19.2.H – Legal Documents</p> <p>Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.</p> <p>Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)</p> <p>For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."</p> <p>Sec. 6.3.1.B.2 – Required Right of Way Dedication</p> <p>For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."</p> <p>Sec. 6.3.1.D.3 - Cross Access Easements</p> <p>For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."</p> <p>Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)</p> <p>"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."</p> <p>Sec. 6.3.1.C.2 – Utility Easements</p> <p>"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:</p> <p>1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."</p> <p>Sec.6.3.1.D(f) –</p> <p>If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."</p>			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	12/02/2025	11/24/2025	Approved
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	12/02/2025	11/26/2025	Approved
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	12/02/2025	11/21/2025	Approved
OCE Utilities (Plans) (Utilities)	Heather Proctor	12/02/2025	12/05/2025	Approved
Comments	Parcel will be served by Marion County Utilities for water and wastewater. Additional recommendations have been included as redline comments. If all departments do not approve this submittal, please resubmit the revised plans with the required changes listed under recommendations.			
Recommendations	<p>INFO: Manholes of collection system must have one of the following;</p> <p>1. Wrapid Seal used on all manhole joints.</p> <p>2. Hydrostatic test performed and report submitted by EoR.</p> <p>3. Vacuum test performed and report submitted by EoR.</p>			
Recommendations	Potable Water Bacterial Sample Points are not pointing to the water lines. Need to change leader location.			
Recommendations	Commented multiple times. ARV does not go in valve box. Must be above ground. Will need to be a red line change in plans are approved with this submittal.			
Recommendations	Grease trap label shows on C102, but grease trap has been removed. Remove label.			

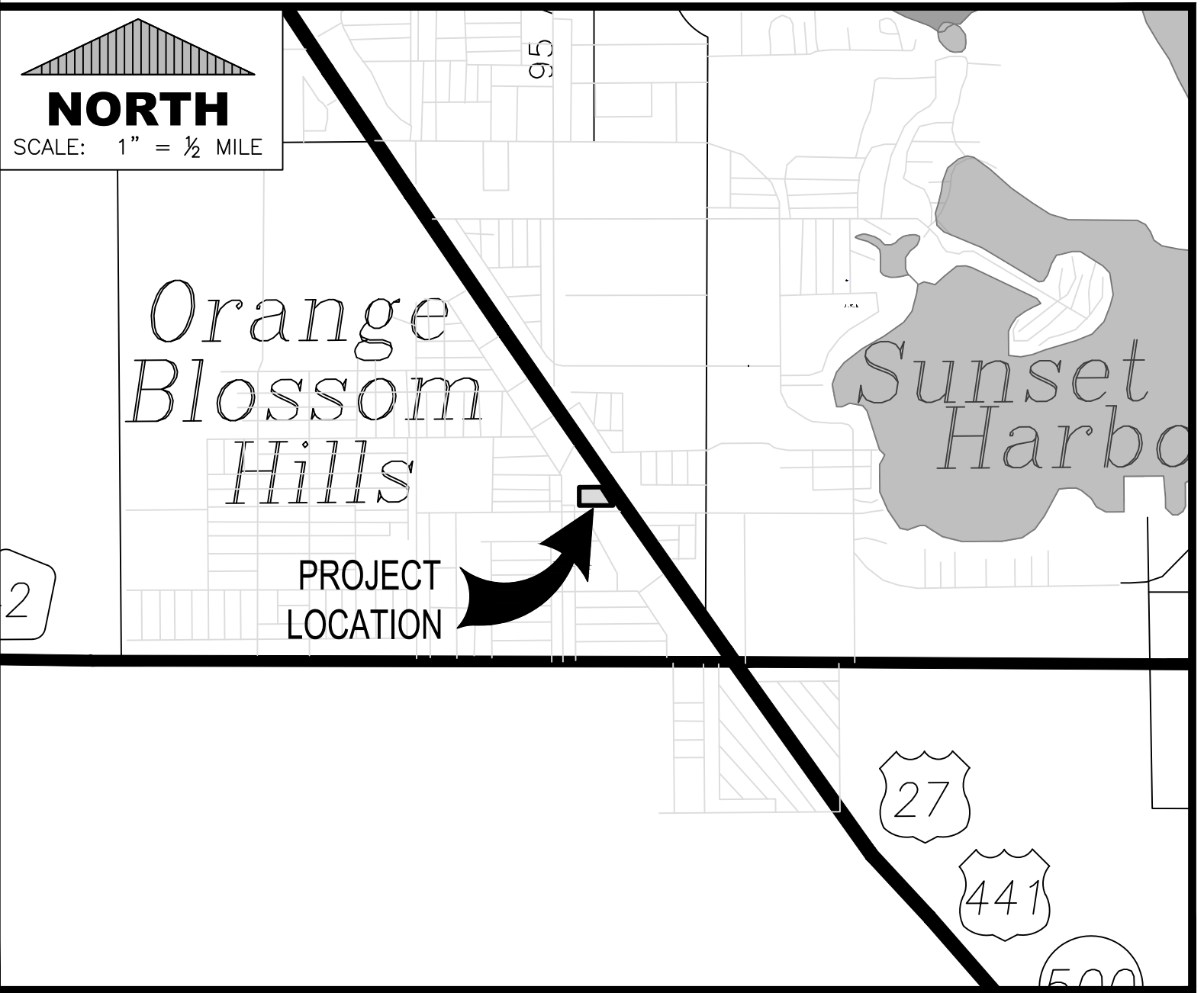
SUBMITTAL SUMMARY REPORT (30535)

OCE: Plan Review (DR) v.3

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Design (Plans) (Office of the County Engineer)	Brittney Murphy	01/26/2026	01/16/2026	Approved
Corrections	2.21.2.A - Multi-phase Major Site Plans (Resolved) - 2.21.2.A - Multi-phase Major Site Plans: Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application			
Corrections	2.12.4.I & 6.2.1.D - Index of sheets and numbering (Resolved) - 2.12.4.I & 6.2.1.D - Index of sheets and numbering: Index of sheets; All sheets shall indicate each sheet number and the total number of sheets. Cross references between sheets is required			
Corrections	6.2.1.B.-F. - Requirements (Resolved) - 6.2.1.B.-F. - Requirements: Technical standards and requirements as listed in Section 6.2.1.B. through F. of the LDC			
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Corrections	2.12.4.E & 6.2.1.A - Licensed Professional (Resolved) - 2.12.4.E & 6.2.1.A - Licensed Professional: 2.12.4.E & 6.2.1.A - The name, address, phone number, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet			
Corrections	6.2.1.A. - Licensed Professional (Resolved) - 6.2.1.A. - Licensed Professional: Plans shall be prepared by a professional licensed by the State of Florida. The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet. The same shall be provided on the cover page of any supporting documents and calculations.			
Corrections	Additional Design Comments (Resolved) - Additional Comments:			
Corrections	2.12.4 - Front page of the plan (Resolved) - 2.12.4 - Front page of the plan: Front page of the plan shall minimally include A through L of this section of the LDC.			
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Corrections	Legal Documents (Resolved) - Legal Documents			
Corrections	2.18.2.G Utility Easements (Resolved) - 2.18.2.G Utility Easements: Easement requirements of each utility shall be indicated by the utility on a copy of the Preliminary Plat or by letter. (Letters/emails of easement acceptance due with improvement plan.)			



VICINITY MAP



LOCATION MAP

APPROVED WAIVERS:

LDC 6.13.8.B(7)	–	STORMWATER CONVEYANCE, USING PIPES LESS THAN 18"	APPROVED, 4/29/24
LDC 6.13.2.A(6)	–	STORMWATER MANAGEMENT, USING PIPES LESS THAN 18"	APPROVED, 4/29/24
LDC 6.12.12.D	–	SIDEWALKS, PAY INTO SIDEWALK FUND IN LIEU OF SIDEWALK CONSTRUCTION	APPROVED, 4/29/24
LDC 6.8.6.K(2)	–	UTILIZE FENCE IN LIEU OF WALL IN BUFFER (BOCC OVERTURNED DRC RECOMMENDATION, CONDITIONS INCLUDED 10' FENCE ALONG WEST BOUNDARY AND 7-GAL SWEET VIBURNUM HEDGE, 6' FENCE ALLOWED ALONG SOUTH BOUNDARY)	APPROVED, 8/20/24

UTILITY PROVIDERS:

WATER	MARION CO. UTILITIES, 11800 US-441, BELLVIEW, FL 34420 (352) 307-6000
SEWER	MARION CO. UTILITIES, 11800 US-441, BELLVIEW, FL 34420 (352) 307-6000
ELECTRIC	DUKE ENERGY
GAS	TECO PEOPLES GAS

SITE DATA:

NAME:	NEXT DIMENSION CONSTRUCTION
OWNER:	SHANE VILLAREAL NEXT DIMENSION CONSTRUCTION, INC. 13624 SE HWY 441 SUITE 101 SUMMERFIELD, FLORIDA 34491 (352) 857-1469 SHANEV@NEXTDIMENSIONCONSTRUCTION.COM
DEVELOPER:	SHANE VILLAREAL NEXT DIMENSION CONSTRUCTION, INC. 13624 SE HWY 441 SUITE 101 SUMMERFIELD, FLORIDA 34491 (352) 857-1469 SHANEV@NEXTDIMENSIONCONSTRUCTION.COM
CONTACT PERSON:	SHANE VILLAREAL NEXT DIMENSION CONSTRUCTION, INC. 13624 SE HWY 441 SUITE 101 SUMMERFIELD, FLORIDA 34491 (352) 857-1469 SHANEV@NEXTDIMENSIONCONSTRUCTION.COM
PARCEL NO.:	47696-000-01
LAND USE/ZONING:	COM/B-4
PARCEL AREA:	3.8125 ACRES
FLOOR AREA RATIO:	0.1686 (16.86%)
EXISTING IMPERVIOUS:	0 SF (0.00%)
PROPOSED USE:	OFFICE & WHSE/STORAGE
HOURS OF OPERATION:	8:00 AM TO 8:00 PM
SPRINGS PROTECTIONS:	SECONDARY SPRINGS PROTECTION AREA
PROPERTY LIES IN FLOOD ZONE X, AREA OF MINIMAL FLOODING	

AREA CALCULATIONS:

SITE AREA:	166,071 SF => 3.8125 AC
IMPERVIOUS AREA:	
NEW BUILDING	23,300 SF
PAVEMENT	43,977 SF
CONCRETE	3,723 SF
TOTAL	71,020 SF (42.76%)
OPEN SPACE	95,051 SF (57.24%)

MAJOR SITE PLAN FOR

NEXT DIMENSION CONSTRUCTION

TBD S HIGHWAY 441

SUMMERFIELD, FLORIDA 34491
SECTION 22, TOWNSHIP 17S, RANGE 23E

GENERAL NOTES:

- THIS PROJECT SHALL BE SERVED WATER BY CONNECTION TO EXISTING MARION COUNTY CENTRAL WATER AND SEWER INFRASTRUCTURE LOCATED ADJACENT TO THE EXISTING PROJECT SITE.
- ALL AREAS WITHIN THE FDOT RIGHT-OF-WAY THAT ARE DISTURBED BY CONSTRUCTION SHALL BE SODDED WITH BAHIA ARGENTINA AND IN ACCORDANCE WITH ALL FDOT REQUIREMENTS.
- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST ADOPTED EDITION AND THE FDOT STANDARD PLANS, LATEST ADOPTED EDITION.
- THE STOP SIGNS MUST BE INSTALLED ON 2"x2" SQUARE POSTS, 14 FEET IN LENGTH, 14 GAUGE, 4 LBS/FT. ALL SIGNS ON-SITE SHALL MEET MARION COUNTY LAND DEVELOPMENT REGULATIONS AND ALL SIGNS WITHIN THE FDOT RIGHT-OF-WAY SHALL COMPLY WITH THE FDOT STANDARD PLANS AND SPECIFICATIONS, LATEST ADOPTED EDITIONS.
- ALL STOP BARS SHALL BE WHITE 24" WIDE LEAD-FREE THERMOPLASTIC.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND BURIAL DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- LANDSCAPE INSTALLATION PROFESSIONALS PERFORMING WORK FOR HIRE WITHIN THE UNINCORPORATED AREAS OF MARION COUNTY SHALL BE LANDSCAPE CONTRACTORS LICENSED BY THE MARION COUNTY BUILDING DEPARTMENT, UNLESS OTHERWISE LICENSED BY THE STATE OF FLORIDA.
- NO SIGHT LIGHTING IS PROPOSED FOR THIS PROJECT.
- NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.

SITE/CIVIL DRAWINGS

C000	COVER SHEET
C001	NOTES AND LEGEND
C002	AERIAL PHOTOGRAPH
C100	SITE PLAN
C101	GRADING AND DRAINAGE PLAN
C102	UTILITY PLAN
C200	PLAN & PROFILE – DRIVEWAY
C201	PLAN & PROFILE – REVERSE ACCESS
C202	PLAN & PROFILE – FRONT PARKING
C203	PLAN & PROFILE – SOUTH DRIVEWAY
C204	PLAN & PROFILE – PRIVATE ACCESS
C500	DETAILS
C501	DETAILS
C502	DETAILS
C503	DETAILS
C504	DETAILS
C600	LIFT STATION

SWPPP

LANDSCAPE & IRRIGATION PLANS BY OTHERS

SURVEY BY OTHERS

OWNER CERTIFICATION:

I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

SHANE VILLAREAL

DATE

ENGINEER CERTIFICATION:

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED.

BARRY GINN, PE

DATE

FL 54595

SURVEYOR CERTIFICATION:

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE LDC AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS.

PROJECT SURVEYOR
PSM #

DATE

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CONSULTANT



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CERT. OF AUTH. # 33000

PROJECT TITLE

A MAJOR SITE PLAN FOR
NEXT DIMENSION
CONSTRUCTION
TBD S US HIGHWAY 441
SUMMERFIELD, FLORIDA 34491

SHEET TITLE

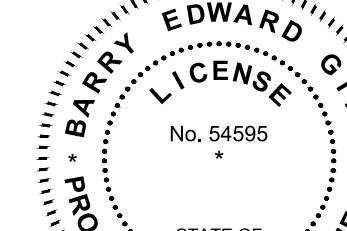
COVER SHEET

CLIENT INFORMATION

NEXT DIMENSION CONSTRUCTION, INC.
13624 SE HIGHWAY 441
SUITE 101
SUMMERFIELD, FLORIDA 34491
(352) 857-1469

SUBCONSULTANTS

ENGINEER OF RECORD



BARRY EDWARD GINN, P.E.
FLORIDA PROFESSIONAL ENGINEER
FL PE NUMBER 54595

ISSUE DATE

August 14, 2023

PROJECT NUMBER NUMBER

2024-230

REVISIONS

DATE	DESCRIPTION
3/25	MC COMMENTS
11/25	MC COMMENTS

SHEET DESIGNATION

C000

SHEET

1 OF 17

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE LATEST EDITION OF THE MARION COUNTY'S LAND DEVELOPMENT CODE.
2. ALL UNSUITABLE MATERIAL ENCOUNTERED SHALL BE DISPOSED OF AND REPLACED WITH APPROVED MATERIAL.
3. NEW WATER MAIN TO BE INSTALLED AT 36" DEPTH (MIN.) TO TOP OF PIPE EXCEPT WHERE VERTICAL ADJUSTMENTS ARE REQUIRED TO AVOID CONFLICTS. SEE ALSO NOTES 14 AND 15 BELOW.
4. ALL UTILITIES SHOWN ON THESE PLANS HAVE BEEN PLOTTED FROM THE BEST AVAILABLE RECORDS. IT IS THE CONTRACTORS RESPONSIBILITY TO ACQUIRE LOCATES FROM THE UTILITY AGENCIES TO VERIFY LOCATIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
5. EXCAVATED MATERIAL WILL BE LOADED ONTO DUMP TRUCKS DIRECTLY BEHIND THE EQUIPMENT AND HAULED OFF TO THE DESIGNATED SITE. TRAFFIC CONTROL MEASURES SHALL BE PLACED ACCORDINGLY TO ACCOMMODATE THIS PROCESS.
6. INSTALL HAY BALES AT ALL INLETS TO MINIMIZE DEBRIS ENTERING THE STORM DRAIN SYSTEM.
7. THE TRAFFIC CONTROL PLAN FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD); THE MARION COUNTY STANDARD SPECIFICATION FOR ROAD CONSTRUCTION (LATEST EDITION); THE FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC STANDARD PLANS, SERIES 102, LATEST EDITION; AND ANY REQUIREMENTS OF MARION COUNTY THAT MEET OR EXCEED ANY OF THE ABOVE.
8. UNLESS OTHERWISE SPECIFIED ON THE PLANS, THE CONTRACTOR SHALL MAINTAIN TWO LANES OF TRAFFIC IN EACH DIRECTION FOR THE DURATION OF THE PROJECT. THE CONTRACTOR MAY, UPON APPROVAL OF THE ENGINEER IN CHARGE, RESTRICT TRAFFIC TO ONE-WAY OPERATION FOR SHORT PERIODS OF TIME PROVIDED THAT ADEQUATE MEANS OF TRAFFIC CONTROL ARE EFFECTED AND TRAFFIC IS NOT UNREASONABLY DELAYED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ACCEPTABLE ACCESS TO ALL BUSINESSES AND RESIDENCES ALONG THE PROJECT ROUTE WHENEVER CONSTRUCTION INTERFERES WITH THE EXISTING MEANS OF ACCESS. FLAGMEN SHALL BE USED WHEN NO ALTERNATE ACCESS IS POSSIBLE.
10. THE REQUIRED TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS SHALL BE ERECTED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION WHICH MAY CREATE ANY HAZARDOUS CONDITION. THE CONTRACTOR SHALL IMMEDIATELY REMOVE, COVER, OR TURN ANY DEVICE WHICH DOES NOT APPLY TO THE EXISTING CONDITIONS.
11. THE CONTRACTOR SHALL HAVE A STATE OF FLORIDA CERTIFIED MAINTENANCE OF TRAFFIC SUPERVISOR WITH THE RESPONSIBILITY OF MAINTAINING THE POSITIONING AND CONDITION OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS THROUGHOUT THE DURATION OF THE PROJECT. THE ENGINEER IN CHARGE SHALL BE KEPT ADVISED AS TO THE IDENTIFICATION AND MEANS OF CONTACTING THIS EMPLOYEE ON A 24-HOUR BASIS.
12. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION.
13. THE CONTRACTOR SHALL BE NOISE SENSITIVE FOR NIGHT OPERATIONS.
14. NEW OR RELOCATED WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST 6 FEET AND PREFERABLY 10 FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING GRAVITY SEWER, SEWER FORCE MAIN OR RECLAIMED WATER MAINS. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO 3 FEET WHERE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE SEWER. NEW OR RELOCATED UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR NEW GRAVITY SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 6 INCHES AND PREFERABLY 12 INCHES ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPE LINE. IT IS PREFERABLE TO INSTALL THE WATER MAIN ABOVE OTHER PIPE LINES.
15. AT THE UTILITY CROSSINGS, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE CROSSING PIPELINES, SO THAT WATER LINE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING PIPE. PIPE CROSSINGS SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST 3 FEET FROM JOINTS IN VACUUM TYPE RECLAIMED WATER SEWER MAINS AND AT LEAST 6 FEET FROM ALL JOINTS IN GRAVITY SEWERS AND SEWER FORCE MAINS.
16. THE CONTRACTOR SHALL ADHERE TO ALL ELEMENTS OF THE TRENCH SAFETY ACT, F.S. 553, Part III (LATEST EDITION) AND THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S (OSHA) EXCAVATION SAFETY STANDARDS, 29 CFR s. 1926.650 Subpart P WHICH ARE INCORPORATED INTO THIS CONTRACT BY REFERENCE.

FDEP NOTES

NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY-OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

FDOT NOTES

1. ALL CONSTRUCTION WITHIN THE FDOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST FDOT STANDARD PLANS AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE UTILITY ACCOMMODATION (UAM).
2. RESTORE AND RE-SOD ALL DISTURBED AREAS IN ACCORDANCE WITH THE FDOT STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL MAINTAIN THAT PORTION OF THE RIGHT-OF-WAY AFFECTED BY THE PERMIT INSTALLATION UNTIL VEGETATION IS ESTABLISHED. PERFORM ALL WORK NECESSARY, INCLUDING WATERING AND FERTILIZING, TO SUSTAIN AN ESTABLISHED TURF UNTIL FINAL ACCEPTANCE, AT NO ADDITIONAL EXPENSE TO THE FDOT OR MARION COUNTY. PROVIDE FILLING, LEVELING, AND REPAIRING OF ANY WASHED OR ERODED AREAS, AS MAY BE NECESSARY.
3. AT SUCH LOCATIONS WHERE FDOT SIGNS, REFLECTORS, OR OTHER STRUCTURES WILL INTERFERE WITH PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE LOCAL MAINTENANCE OFFICE OR RESIDENT ENGINEER 48 HOURS PRIOR TO CONSTRUCTION. ALL ITEMS THAT REQUIRE RELOCATION OR REPLACEMENT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. THE CONTRACTOR IS RESPONSIBLE FOR MOWING, AT NO ADDITIONAL EXPENSE TO FDOT OR MARION COUNTY, ANY AREA WITHIN PUBLIC RIGHTS-OF-WAY WHERE THE PERMITTED WORK OR WHERE UTILITY LOCATE FLAGS PLACED FOR PERMITTED WORK CREATES A HINDRANCE FOR OR INTERFERES WITH MAINTENANCE ENTITY'S REGULAR MOWING OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MOWING UNTIL ALL SUCH HINDRANCES ARE REMOVED SO THAT REGULAR MAINTENANCE ENTITY MOWING CAN BE RESUMED. THE CONTRACTOR SHALL MEET THE MOWING REQUIREMENTS ESTABLISHED BY THE DEPARTMENT'S MAINTENANCE RATING PROGRAM (MRP). CONTACT THE LOCAL FDOT MAINTENANCE OFFICE FOR DETAILS (352.732.1338).
5. ALL UTILITY LOCATE FLAGS SHALL BE REMOVED BY THE CONTRACTOR WHEN THEY ARE NO LONGER NEEDED.
6. REVIEW AND COMPLY WITH THE "SPECIAL PROVISIONS" AND OTHER ATTACHMENTS TO THE FDOT PERMIT FOR THIS PROJECT.
7. CALL "SUNSHINE" FOR UTILITY LOCATION SERVICE 2 BUSINESS DAYS PRIOR TO CONSTRUCTION (1-800-432-4770).
8. TRAFFIC CONTROL THROUGHOUT THE WORK ZONE SHALL BE PER THE FDOT STANDARD PLANS, SERIES 102.
9. MOT PLAN SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS 102-602, 102-603, 102-613, 102-661.
10. COORDINATE ALL UTILITY CLEARANCES WITH THE OWNER OF SUCH UTILITIES PRIOR TO CONSTRUCTION COMMENCEMENT.
11. CONTRACTOR SHALL CONDUCT A SIDEWALK SURVEY, IF APPLICABLE, TO DETERMINE THE EXISTING CONDITION OF AFFECTED SIDEWALKS AND SUBMIT SAID SURVEY TO FDOT AND MARION COUNTY PRIOR TO CONSTRUCTION COMMENCEMENT.
12. CONTRACTOR SHALL NOTIFY ALL PROPERTY OWNERS AFFECTED BY PROPOSED CONSTRUCTION ACTIVITIES IN ADVANCE OF SUCH OPERATIONS IN ACCORDANCE WITH FDOT NOTIFICATION REQUIREMENTS.
13. A PRE-CONSTRUCTION CONFERENCE SHALL BE CONDUCTED BY MARION COUNTY WITH THE CONTRACTOR & FDOT PERSONNEL.

SELECTIVE ABBREVIATIONS AND LEGEND SYMBOLS

AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION	MH	MANHOLE
		FFE	FINISHED FLOOR ELEVATION	MIN	MINIMUM
AIP	ABANDON IN PLACE	FH	FIRE HYDRANT	MISC	MISCELLANEOUS
APP	APPROVE, APPROVED	FIG	FIGURE	N	NORTHING
APPROX	APPROXIMATE	FIN	FINISHED	N/A	NOT APPLICABLE
BLDG	BUILDING	FL	FLOOR	N/AVAIL	NOT AVAILABLE
BM	BENCHMARK	FLEX	FLEXIBLE	NIC	NOT IN CONTRACT
BTM	BOTTOM	FPP	FIRE PROTECTION PIPING	No	NUMBER
°C	DEGREES CELSIUS	FT	FOOT	NOM	NOMINAL
CFM	CUBIC FEET PER MINUTE	GAL	GALLON	NTS	NOT TO SCALE
CO	COMPANY	GALV	GALVANIZED	OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
CONT	CONTINUOUS	GR	GRADE	PI	POINT OF INTERSECTION
C/M	CONSTRUCTION MONUMENT	GS	GALVANIZED STEEL	RAD	RADIUS
CTRD	CENTERED	GSP	GALVANIZED STEEL PIPE	REQ	REQUIRED
DES	DESIGNATION	H	HIGH	R/W	RIGHT-OF-WAY
DET	DETAIL	HDPE	HIGH DENSITY POLYETHYLENE	SAN	SANITARY SEWER
DIA	DIAMETER	HORIZ	HORIZONTAL	SCH	SCHEDULE
DN	DOWN	HT	HEIGHT	SHT	SHEET
DWG	DRAWING	HWL	HIGH WATER LEVEL	SJRWMD	ST. JOHNS RIVER WATER MANAGEMENT DISTRICT
E	EASTING	IE	INVERT ELEVATION	SPEC	SPECIFICATIONS
EA	EACH	IW	INDUSTRIAL WATER	STA	STATION
EL	ELEVATION	LBR	LIMEROCK BEARING RATIO	STD	STANDARD
ELEC	ELECTRICAL	LF	LINEAR FEET	STL	STEEL
EOP	EDGE OF PAVEMENT	MAX	MAXIMUM	TBM	TEMPORARY BENCH MARK
EQ	EQUAL	MECH	MECHANICAL	TYP	TYPICAL
EXIST	EXISTING	MFR	MANUFACTURER		
*F	DEGREES FARENHEIT				

	PROJECT BOUNDARY LINE		EXISTING WATER VALVE
	RIGHT OF WAY OR PROPERTY LINE		PROPOSED GATE VALVE
	EASEMENT OR SETBACK LINE		PROPOSED BUTTERFLY VALVE
	EXISTING PAVEMENT		PROPOSED AIR RELEASE VALVE
	PROPOSED PAVEMENT		FLUSH POINT
	CENTERLINE		SAMPLING POINT
	EXISTING STRUCTURES		PROPOSED FIRE HYDRANT
	EXISTING CONTOUR		PROPOSED TEE
	FENCE LINE		PROPOSED BEND
	GATE		PROPOSED PLUG OR CAP
	OVERHEAD ELECTRIC		PROPOSED CROSS
	OVERHEAD TELEPHONE CABLE		PUMPING STATION
	OVERHEAD CABLE TELEVISION		PROPOSED WATER METER
	UNDERGROUND ELECTRIC		PROPOSED CHECK VALVE
	UNDERGROUND TELEPHONE CABLE		PROPOSED REDUCER
	UNDERGROUND CABLE TELEVISION		PROPOSED SINGLE WATER SERVICE
	EXISTING GAS LINE		PROPOSED DOUBLE WATER SERVICE
	PROPOSED GAS LINE		PROPOSED BLOWOFF ASSEMBLY
	EXISTING WATER MAIN		PROPOSED SANITARY MANHOLE
	PROPOSED WATER MAIN		PROPOSED DROP MANHOLE
	EXISTING SANITARY SEWER		PROPOSED MANHOLE STUB OUT
	PROPOSED SANITARY SEWER		
	EXISTING STORM SEWER		
	PROPOSED STORM SEWER		
	PROPOSED FIRE HYDRANT		
	EXISTING FIRE HYDRANT		

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PROJECT TITLE

A MAJOR SITE PLAN FOR
NEXT DIMENSION
CONSTRUCTION
13624 SE HIGHWAY 441
SUMMERFIELD, FLORIDA 34491

SHEET TITLE

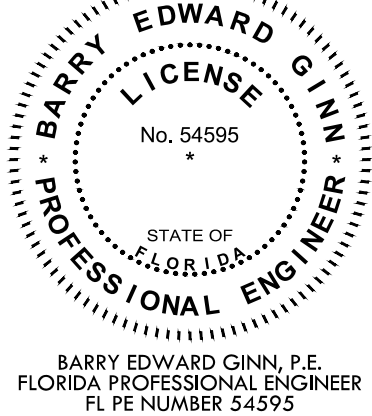
NOTES AND
LEGEND

CLIENT INFORMATION

NEXT DIMENSION CONSTRUCTION, INC.
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SUMMERFIELD, FLORIDA 34491
(352) 857-1469

SUBCONSULTANTS

ENGINEER OF RECORD



ISSUE DATE

August 14, 2023

PROJECT NUMBER NUMBER

2024-230

REVISIONS

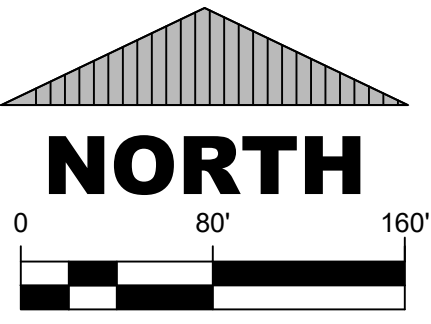
DATE	DESCRIPTION
3/25	MC COMMENTS
8/25	FDOT COMMENTS

SHEET DESIGNATION

C001

SHEET

2 OF 17



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PROJECT TITLE

A MAJOR SITE PLAN FOR
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CONSTRUCTION
101 S US HIGHWAY 441
SUMMERFIELD, FLORIDA 34491

SHEET TITLE

AERIAL
PHOTOGRAPH

CLIENT INFORMATION

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SUBCONSULTANTS

ENGINEER OF RECORD



BARRY EDWARD GINN, P.E.
FLORIDA PROFESSIONAL ENGINEER
FL PE NUMBER 54595
ISSUE DATE

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2024-230

REVISIONS

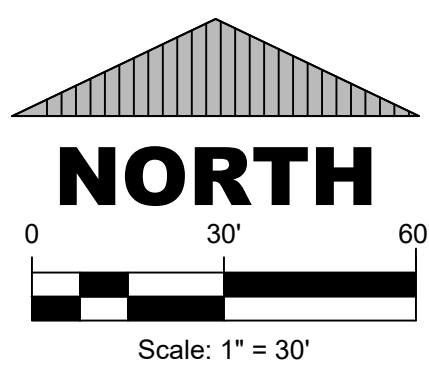
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3/25	MC COMMENTS
7/25	TURN LANE
11/25	MC COMMENTS

SHEET DESIGNATION

C002

SHEET

3 OF 17



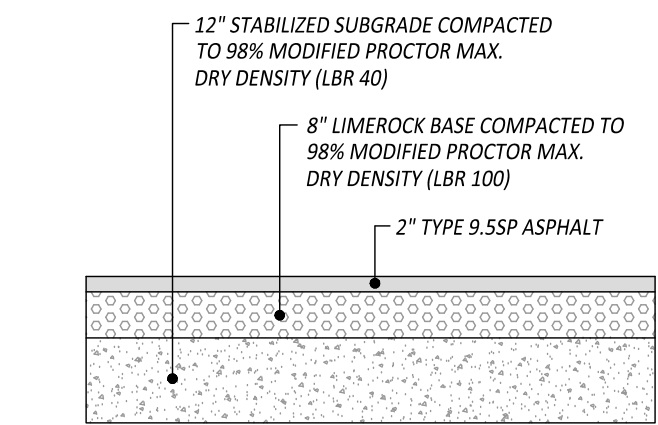
DISTRICT REQUIREMENTS

LOT WIDTH:	NONE
LOT DEPTH:	NONE
LOT AREA:	NONE
SETBACKS:	
FRONT	40 FEET
SIDE	10 FEET
REAR	25 FEET
OPEN SPACE	20 %
FLOOR AREA RATIO:	1.0 MAX.
MAX. BLDG. HT.:	50 FEET

PARKING CALCULATIONS:

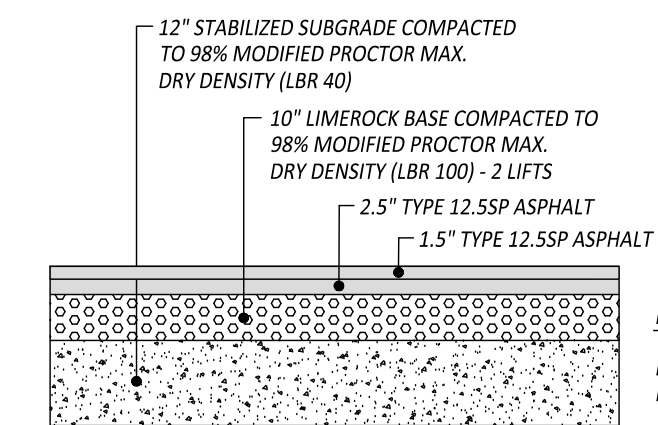
OFFICE: 2.5/1,000SF x 12,400SF = 31.0 SPACES
RESTAURANT: 1/4SEATS x 20SEATS = 5.0 SPACES
STORAGE/WHSE: 1/2,000SF x 10,400SF = 5.2 SPACES
TOTAL SPACES REQUIRED: 40.8 >>> 41.2 SPACES
HC SPACES REQ'D.: 1/25 SPACES x 41.2 SPACES = 3 SPCS.

REG. SPACES PROVIDED: 55 SPACES
HC SPACES PROVIDED: 4 SPACES
TOTAL SPACES PROVIDED: 59 SPACES



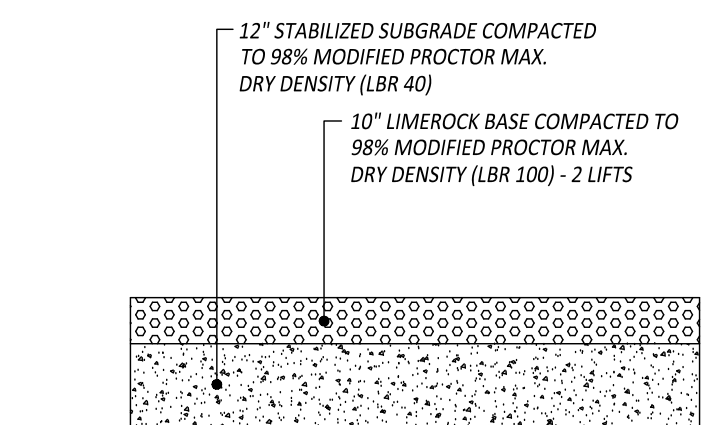
ASPHALT PAVEMENT SECTION

NTS



FDOT PAVEMENT SECTION

NTS

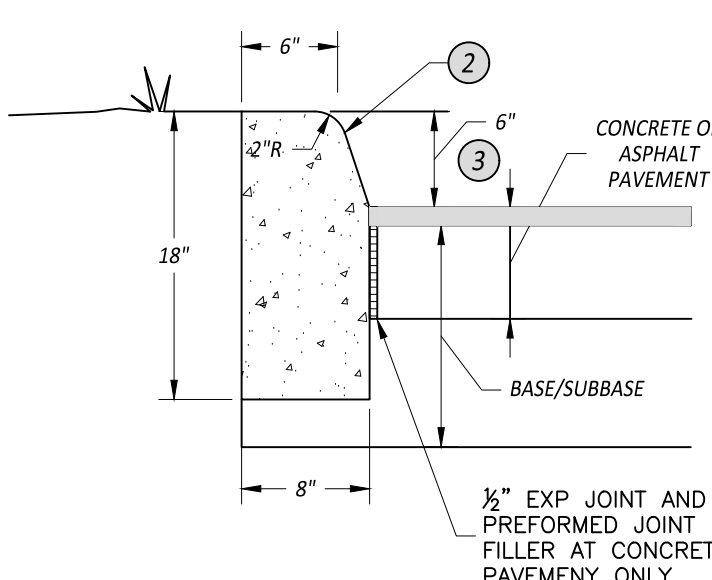


STABILIZED FIRETRUCK SECTION

NTS

SITE PLAN LEGEND

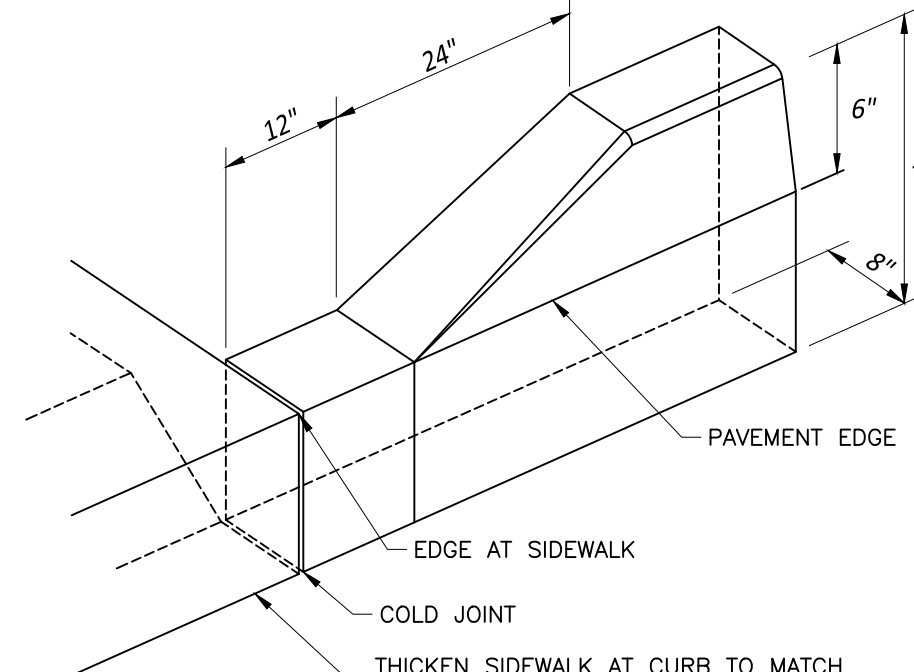
	PROPOSED BUILDINGS
	PROPOSED PAVEMENT
	PROPOSED CONCRETE
	PROPOSED CURB
	PROPOSED SIGNAGE
	PROPOSED SETBACK/EASEMENT
	HANDICAP SYMBOL
	UNINTERRUPTED PARKING SPACES



TYPE "D" CURB DETAIL

SCALE: NONE

- WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT.
- PROVIDE CONTRACTION JOINTS @ 10' O.C. AND EXPANSION JOINTS @ 50' O.C. ALL JOINTS SEALED PER SPECIFICATIONS
- 6" HEIGHT SHALL BE UNIFORM, IF HEIGHT VARIES +/- 1/2" THEN CURB WILL BE REPLACED AT THE DISCRETION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.

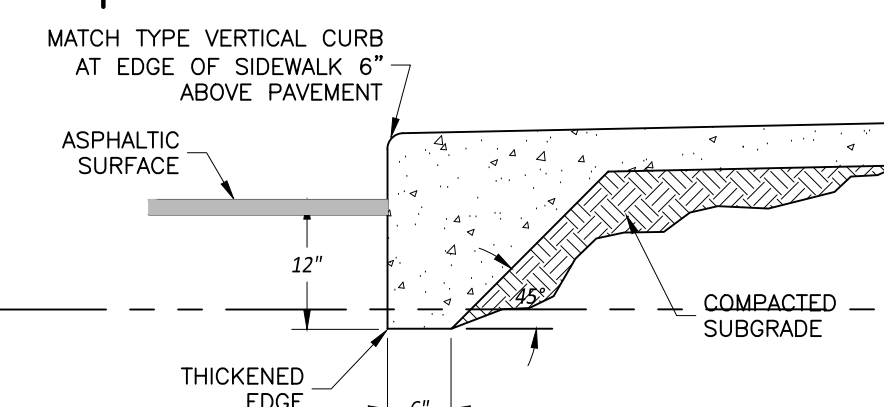


NOTES:

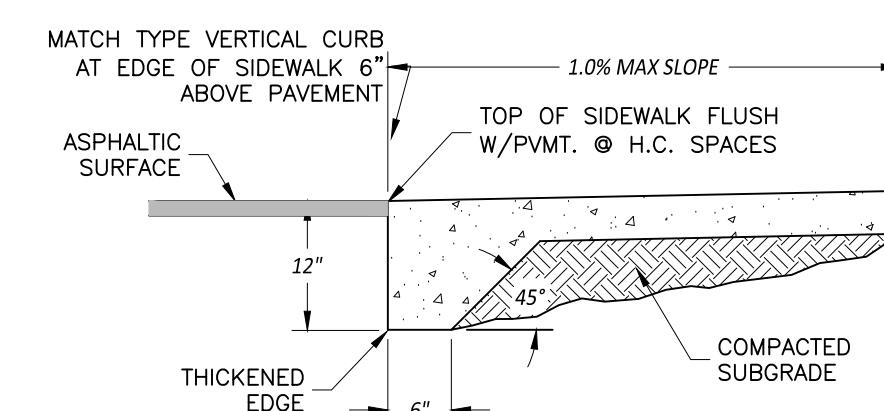
- EXTRUDE CURB AND BROOM FINISH
- PROVIDE 1/2" EXPANSION JOINTS AT ALL COLD JOINTS.
- SAW CUT CONSTRUCTION JOINTS AT 10'-0" O.C.
- ALL EXPOSED SURFACES SHALL BE STRIPED GREEN, TROWLED AND CURB EDGING RUBBED SMOOTH.
- "GLUED-ON" EXTRUDED CURB NOT PERMITTED.

TYPE "D" CURB TERMINATION DETAIL

SCALE: NONE



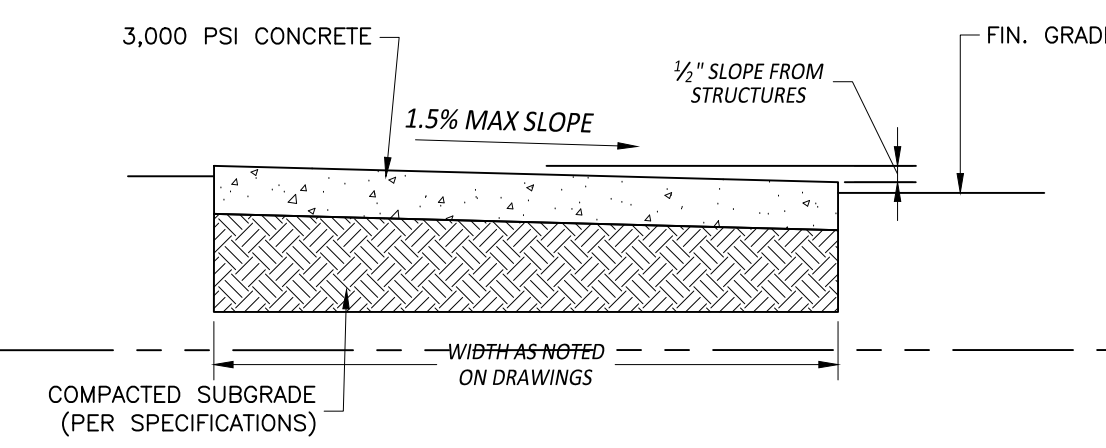
THICKENED EDGE
ADJACENT TO PAVEMENT



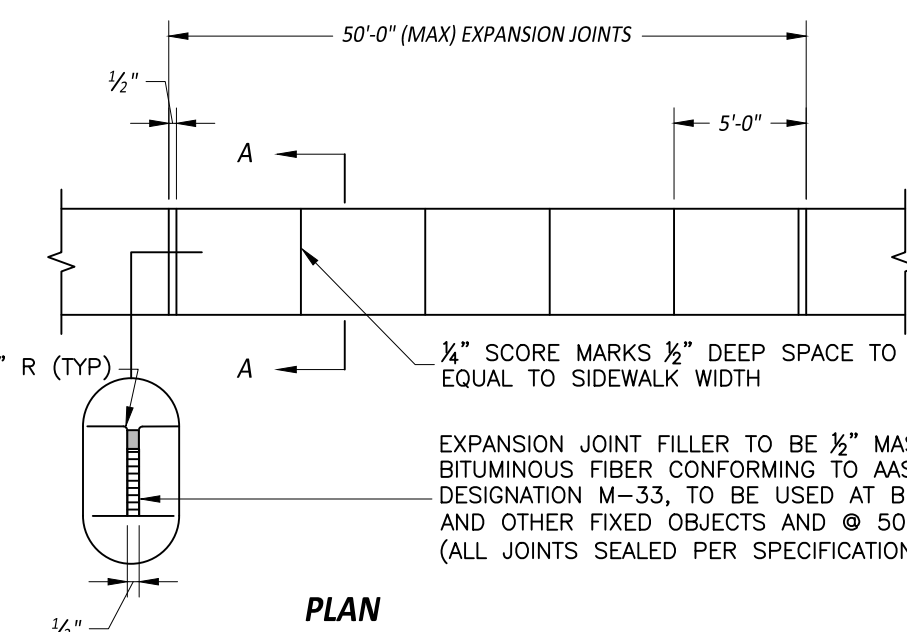
THICKENED EDGE
ADJACENT TO ADA WALKWAY

SIDEWALK DETAILS

SCALE: NONE

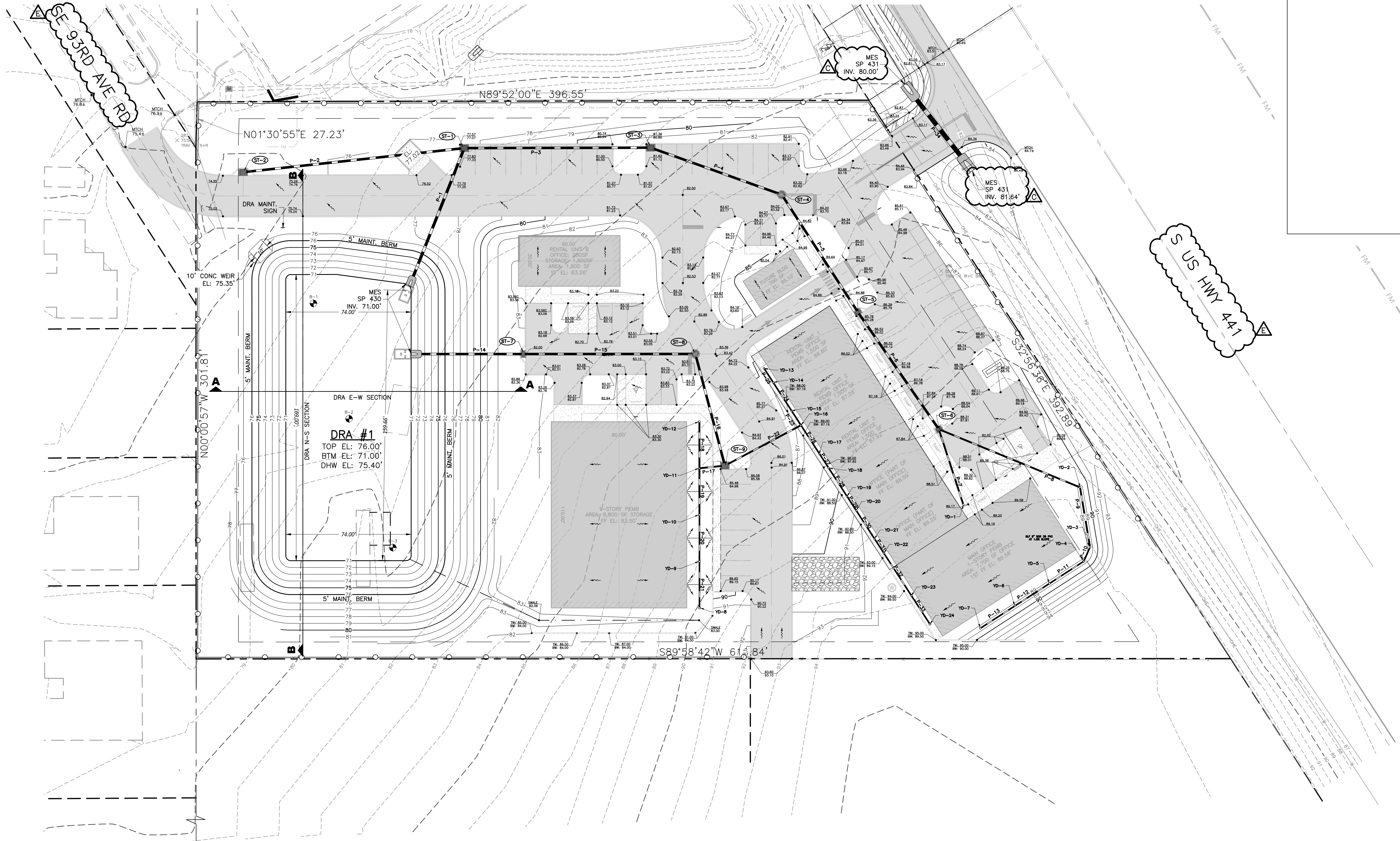
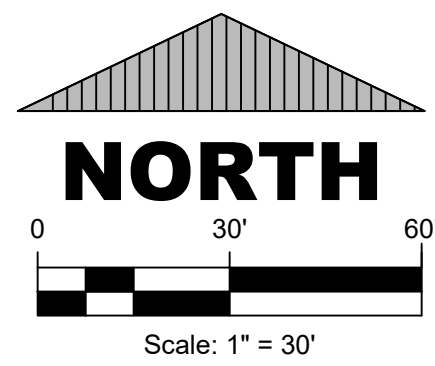


SECTION A-A



PLAN

DATE	DESCRIPTION
3/25	MC COMMENTS
5/25	MC COMMENTS
7/25	MC COMMENTS
8/25	MC/FDOT COMMENTS



DRAINAGE LEGEND

- PROPOSED STORM PIPE
- PROPOSED STORM INLET
- PROPOSED CONTOURS
- PROPOSED DRAINAGE BNDY
- PROPOSED SPOT ELEVATIONS
- PROPOSED MITERED END SECTION

STORM STRUCTURE TABLE:

ST-1 TYPE D INLET GRATE EL: 77.07 W & S INV. EL: 71.26 E INV. EL: 73.07	ST-2 TYPE D INLET GRATE EL: 74.52 INV. EL: 71.90	ST-3 TYPE D INLET GRATE EL: 80.86 W. INV. EL: 74.13 E. INV. EL: 78.12	ST-4 4" DIA. MH RIM EL: 82.91 INV. EL: 78.91	ST-5 TYPE C INLET GRATE EL: 85.28 INV. EL: 81.28
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ST-6 TYPE C INLET GRATE EL: 87.34 N INV. EL: 82.10 SW INV. EL: 85.55 SE INV. EL: 84.50	ST-7 TYPE C INLET GRATE EL: 82.00 E INV. EL: 77.75 W INV. EL: 71.65	ST-8 4" DIA. MH GRATE EL: 83.24 S INV. EL: 78.74 W INV. EL: 78.74	ST-9 TYPE D INLET GRATE EL: 84.98 N INV. EL: 79.40 E INV. EL: 80.98 W INV. EL: 79.59
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PIPE TABLE:

P-1 86LF 24" RCP AT 0.30% SLOPE	P-2 127.3LF 15" RCP AT 0.50% SLOPE	P-3 108LF 15" RCP AT 1.00% SLOPE	P-4 127.3LF 15" RCP AT 1.00% SLOPE	P-5 79.7LF 15" RCP AT 1.00% SLOPE	P-6 82LF 15" RCP AT 1.00% SLOPE	P-7 45.2LF 8" SDR35 PVC AT 1.00% SLOPE
---------------------------------------	--	--	--	---	---------------------------------------	--

P-8 88.3LF 8" SDR35 PVC AT 1.00% SLOPE	P-9 34.7LF 8" SDR35 PVC AT 1.00% SLOPE	P-10 8LF 8" SDR35 PVC AT 1.00% SLOPE	P-11 23.2LF 8" SDR35 PVC AT 1.00% SLOPE	P-12 23.2LF 8" SDR35 PVC AT 1.00% SLOPE	P-13 23.2LF 8" SDR35 PVC AT 1.00% SLOPE	P-14 65LF 15" RCP AT 1.00% SLOPE
--	--	--	---	---	---	--

P-15 98.6LF 15" RCP AT 1.00% SLOPE	P-16 86.2LF 15" RCP AT 1.32% SLOPE	P-17 12.6LF 8" SDR35 PVC AT 1.00% SLOPE	P-18 26.5LF 8" SDR35 PVC AT 1.00% SLOPE	P-19 26.5LF 8" SDR35 PVC AT 1.00% SLOPE	P-20 26.5LF 8" SDR35 PVC AT 1.00% SLOPE	P-21 26.5LF 8" SDR35 PVC AT 1.00% SLOPE
--	--	---	---	---	---	---

P-22 48LF 10" SDR35 PVC AT 1.00% SLOPE	P-23 9LF 10" SDR35 PVC AT 1.00% SLOPE	P-24 19LF 10" SDR35 PVC AT 1.00% SLOPE	P-25 9LF 10" SDR35 PVC AT 1.00% SLOPE	P-26 19LF 10" SDR35 PVC AT 1.00% SLOPE	P-27 9LF 10" SDR35 PVC AT 1.00% SLOPE	P-28 19LF 10" SDR35 PVC AT 1.00% SLOPE
--	---	--	---	--	---	--

P-29 9LF 10" SDR35 PVC AT 1.00% SLOPE	P-30 19LF 10" SDR35 PVC AT 1.00% SLOPE	P-31 9LF 10" SDR35 PVC AT 1.00% SLOPE	P-32 29LF 10" SDR35 PVC AT 1.00% SLOPE	P-33 19LF 10" SDR35 PVC AT 1.00% SLOPE	P-34 65LF 19"x30" ERCP AT 2.62% SLOPE
---	--	---	--	--	---

YARD DRAIN TABLE:

YD-1 12" NYLOPLAST GRATE EL: 89.00 INV. EL: 86.00	YD-2 12" NYLOPLAST GRATE EL: 88.50 INV. EL: 85.38	YD-3 12" NYLOPLAST GRATE EL: 88.50 INV. EL: 85.38	YD-4 12" NYLOPLAST GRATE EL: 88.50 INV. EL: 85.81	YD-5 12" NYLOPLAST GRATE EL: 88.50 INV. EL: 86.27	YD-6 12" NYLOPLAST GRATE EL: 88.50 INV. EL: 86.27	YD-7 12" NYLOPLAST GRATE EL: 88.50 INV. EL: 86.50
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YD-8 12" NYLOPLAST GRATE EL: 89.00 INV. EL: 80.50	YD-9 12" NYLOPLAST GRATE EL: 88.50 INV. EL: 80.24	YD-10 12" NYLOPLAST GRATE EL: 83.00 INV. EL: 79.98	YD-11 12" NYLOPLAST GRATE EL: 83.00 INV. EL: 79.72	YD-12 12" NYLOPLAST GRATE EL: 83.00 INV. EL: 79.99	YD-13 12" NYLOPLAST GRATE EL: 86.35 INV. EL: 81.83	YD-14 12" NYLOPLAST GRATE EL: 86.35 INV. EL: 81.74
--	--	---	---	---	---	---

YD-15 12" NYLOPLAST GRATE EL: 87.00 INV. EL: 81.55	YD-16 12" NYLOPLAST GRATE EL: 87.00 INV. EL: 81.46	YD-17 12" NYLOPLAST GRATE EL: 87.67 INV. EL: 81.65	YD-18 12" NYLOPLAST GRATE EL: 87.67 INV. EL: 81.74	YD-19 12" NYLOPLAST GRATE EL: 88.34 INV. EL: 81.93	YD-20 12" NYLOPLAST GRATE EL: 88.34 INV. EL: 82.11	YD-21 12" NYLOPLAST GRATE EL: 89.00 INV. EL: 82.49
---	---	---	---	---	---	---

YD-22 12" NYLOPLAST GRATE EL: 89.00 INV. EL: 82.67	YD-23 12" NYLOPLAST GRATE EL: 89.25 INV. EL: 83.25	YD-24 12" NYLOPLAST GRATE EL: 89.25 INV. EL: 83.63
---	---	---

CONSULTANT



Infinite Engineering

240 SW 8TH STREET, SUITE A
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(352) 267-1489
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CERT. OF AUTH. # 33000

PROJECT TITLE

A MAJOR SITE PLAN FOR
NEXT DIMENSION
CONSTRUCTION
13624 SE HIGHWAY 441
SUMMERFIELD, FLORIDA 34491

SHEET TITLE

GRADING AND
DRAINAGE
PLAN

CLIENT INFORMATION

NEXT DIMENSION CONSTRUCTION, INC.
13624 SE HIGHWAY 441
SUITE 101
SUMMERFIELD, FLORIDA 34491
(352) 857-1469

SUBCONSULTANTS

ENGINEER OF RECORD



BARRY EDWARD GINN, P.E.
FLORIDA PROFESSIONAL ENGINEER
FL PE NUMBER 54595

ISSUE DATE

August 14, 2023

PROJECT NUMBER

2024-230

REVISIONS

DATE	DESCRIPTION
3/25	MC COMMENTS
7/25	FOOT TURN LANE
11/25	MC COMMENTS

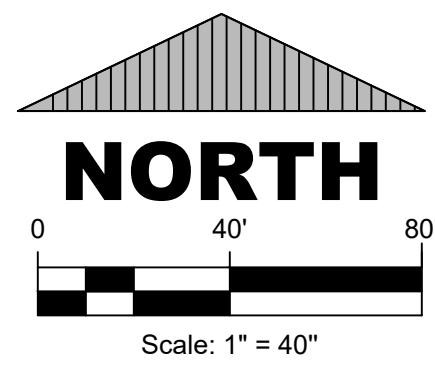
SHEET DESIGNATION

C101

SHEET

5 OF 17

C:\Users\barry\Infinite Eng Dropbox\Barry Ginn\Infinite Engineering\2024 Project\2024-230 Villard Sh\Drawings\Design Development\Site Plan 8-19-23.dwg © 2024 ALL RIGHTS RESERVED.

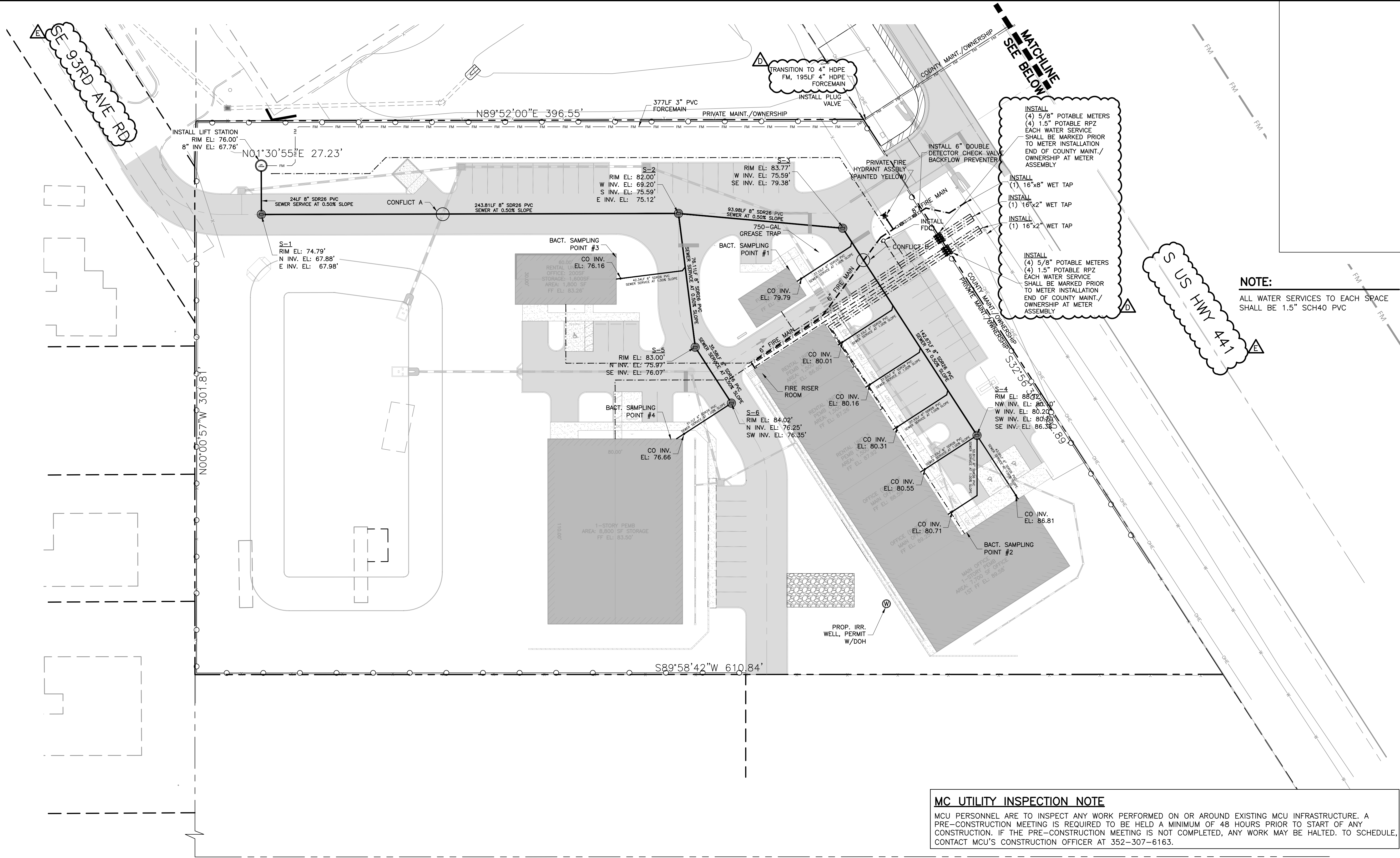


NEW HYDRANT NOTE

ALL NEW HYDRANTS SHALL BE INSTALLED, TESTED AND PAINTED PER NFPA 291, BY A THIRD-PARTY CONTRACTOR AND WITNESSED BY A MARION COUNTY FIRE INSPECTOR. FIRE HYDRANT LOCATIONS SHALL BE INDICATED BY PLACEMENT OF A BLUE REFLECTOR IN THE MIDDLE OF THE ROADWAY CLOSEST TO THE HYDRANT.

KNOX BOX NOTE

KNOX BOX SHALL BE INSTALLED NEAR THE FRONT DOOR 8 FEET FROM THE FLOOR LEVEL AND 2 FEET LEFT OF THE DOOR.



MC UTILITY INSPECTION NOTE

MCU PERSONNEL ARE TO INSPECT ANY WORK PERFORMED ON OR AROUND EXISTING MCU INFRASTRUCTURE. A PRE-CONSTRUCTION MEETING IS REQUIRED TO BE HELD A MINIMUM OF 48 HOURS PRIOR TO START OF ANY CONSTRUCTION. IF THE PRE-CONSTRUCTION MEETING IS NOT COMPLETED, ANY WORK MAY BE HALTED. TO SCHEDULE, CONTACT MCU'S CONSTRUCTION OFFICER AT 352-307-6163.

UTILITY LEGEND

- PROPOSED SEWER MANHOLE
- PROPOSED FIRE HYDRANT
- PROPOSED WATER MAIN
- PROPOSED SEWER MAIN
- PROPOSED FORCE MAIN
- PROPOSED ELECTRIC
- PROPOSED RECLAIMED

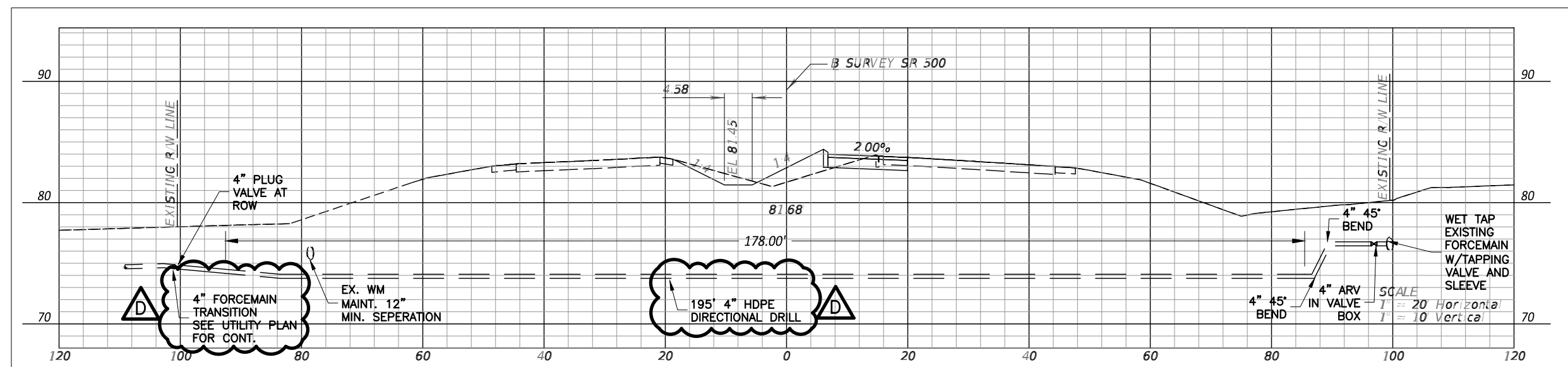
PIPE CONFLICTS

CONFLICT A

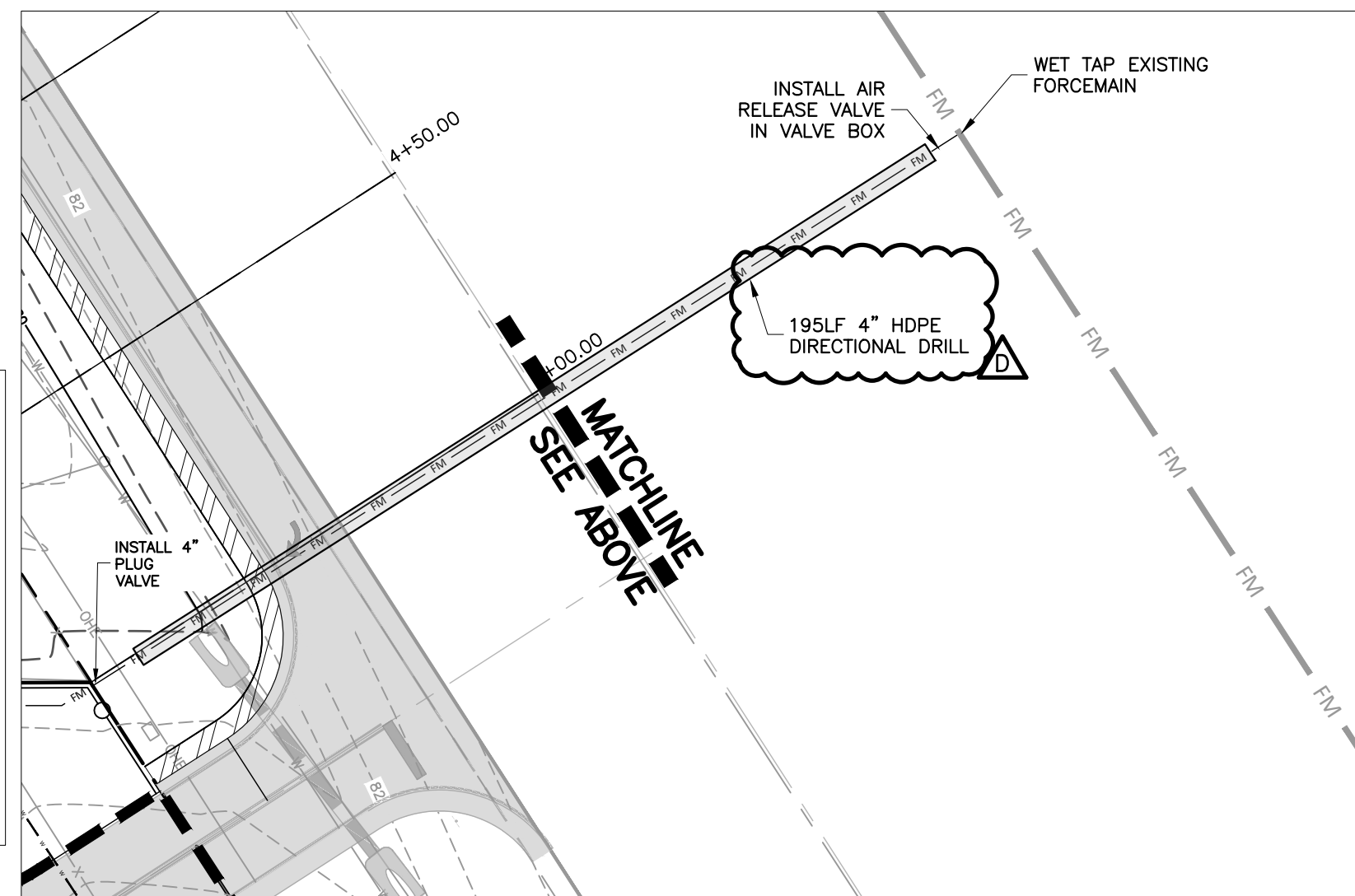
STORM PIPE BTM - 70.92'
SEWER PIPE TOP - 69.18'
PROPOSED SEPARATION - 1.74'

CONFLICT B

WATER PIPE BTM - 81.38'
SEWER PIPE TOP - 80.15'
PROPOSED SEPARATION - 1.23'



FORCEMAIN PROFILE



CONSULTANT

Infinite Engineering

240 SW 8TH STREET, SUITE A
OCALA, FLORIDA 34471
(352) 257-1489
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CERT. OF AUTH. # 33000

PROJECT TITLE

**A MAJOR SITE PLAN FOR
NEXT DIMENSION
CONSTRUCTION
(BD S US HIGHWAY 441)
SUMMERFIELD, FLORIDA 34491**

SHEET TITLE

UTILITY PLAN

CLIENT INFORMATION

NEXT DIMENSION CONSTRUCTION, INC.
13624 SE HIGHWAY 441
SUITE 101
SUMMERFIELD, FLORIDA 34491
(352) 857-1469

SUBCONSULTANTS

ENGINEER OF RECORD

BARRY EDWARD GINN
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PROFESSIONAL ENGINEER

BARRY EDWARD GINN, P.E.
FLORIDA PROFESSIONAL ENGINEER
FLPE NUMBER 54595

ISSUE DATE

August 14, 2023

PROJECT NUMBER NUMBER

2024-230

REVISIONS

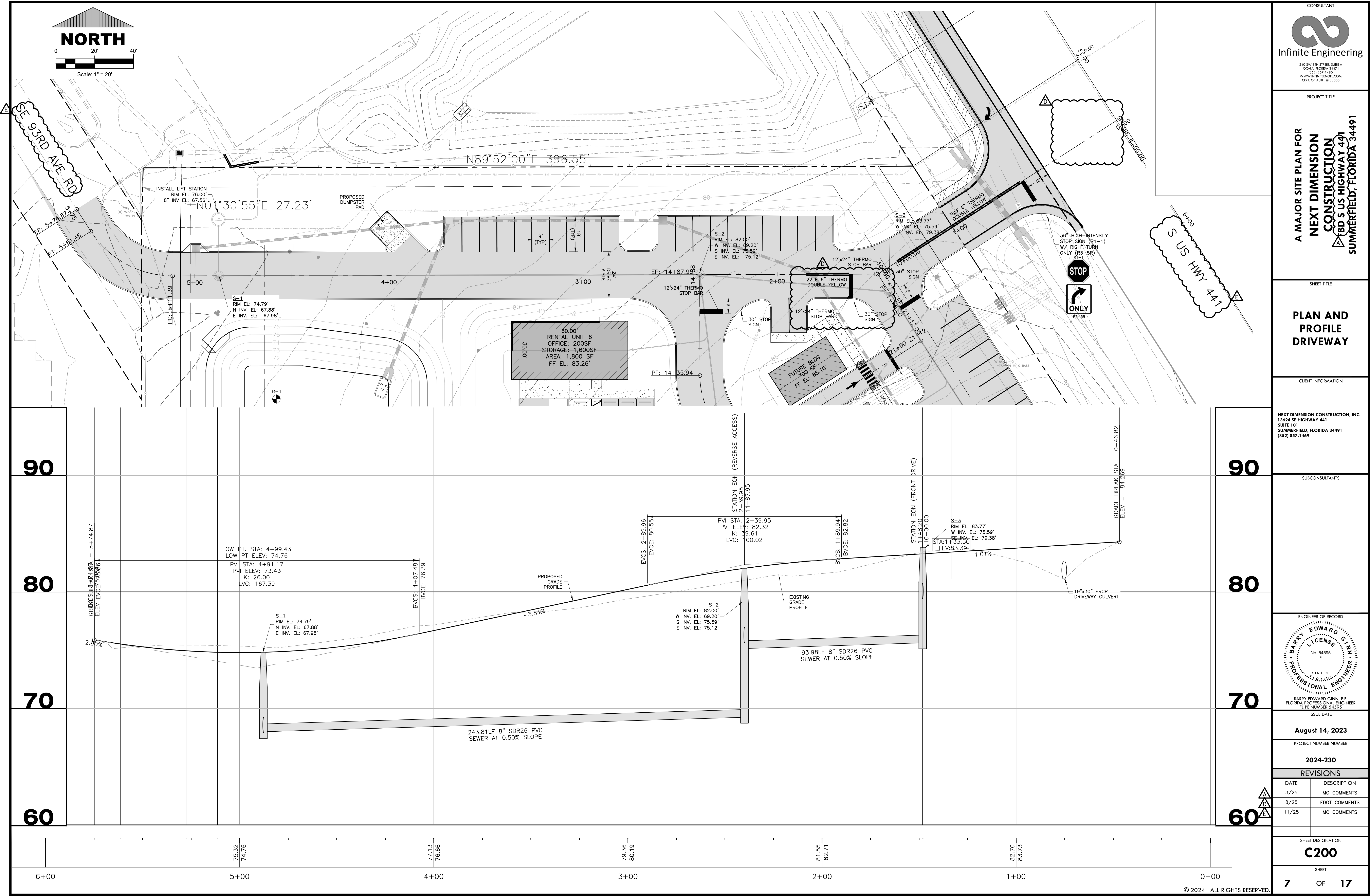
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3/25	MC COMMENTS
5/25	MC COMMENTS
7/25	MC COMMENTS
8/25	MC/FDEP COMMENTS

SHEET DESIGNATION

C102

SHEET

6 OF 17



CONSULTANT

Infinite Engineering

240 SW 8TH STREET, SUITE A
OCALA, FLORIDA 34471
(352) 367-1485
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CERT. OF AUTH. # 33000

PROJECT TITLE

**A MAJOR SITE PLAN FOR
NEXT DIMENSION
CONSTRUCTION
(BD S US HIGHWAY 441
SUMMERFIELD, FLORIDA 34491)**

SHEET TITLE

**PLAN AND
PROFILE
DRIVEWAY**

CLIENT INFORMATION

NEXT DIMENSION CONSTRUCTION, INC.
13624 SE HIGHWAY 441
SUITE 101
SUMMERFIELD, FLORIDA 34491
(352) 637-1469

SUBCONSULTANTS

ENGINEER OF RECORD

BARRY EDWARD GINN
LICENSE
No. 54595
STATE OF
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PROFESSIONAL ENGINEER
BARRY EDWARD GINN, P.E.
FLORIDA PROFESSIONAL ENGINEER
FL PE NUMBER 54595
ISSUE DATE

August 14, 2023

PROJECT NUMBER NUMBER

2024-230

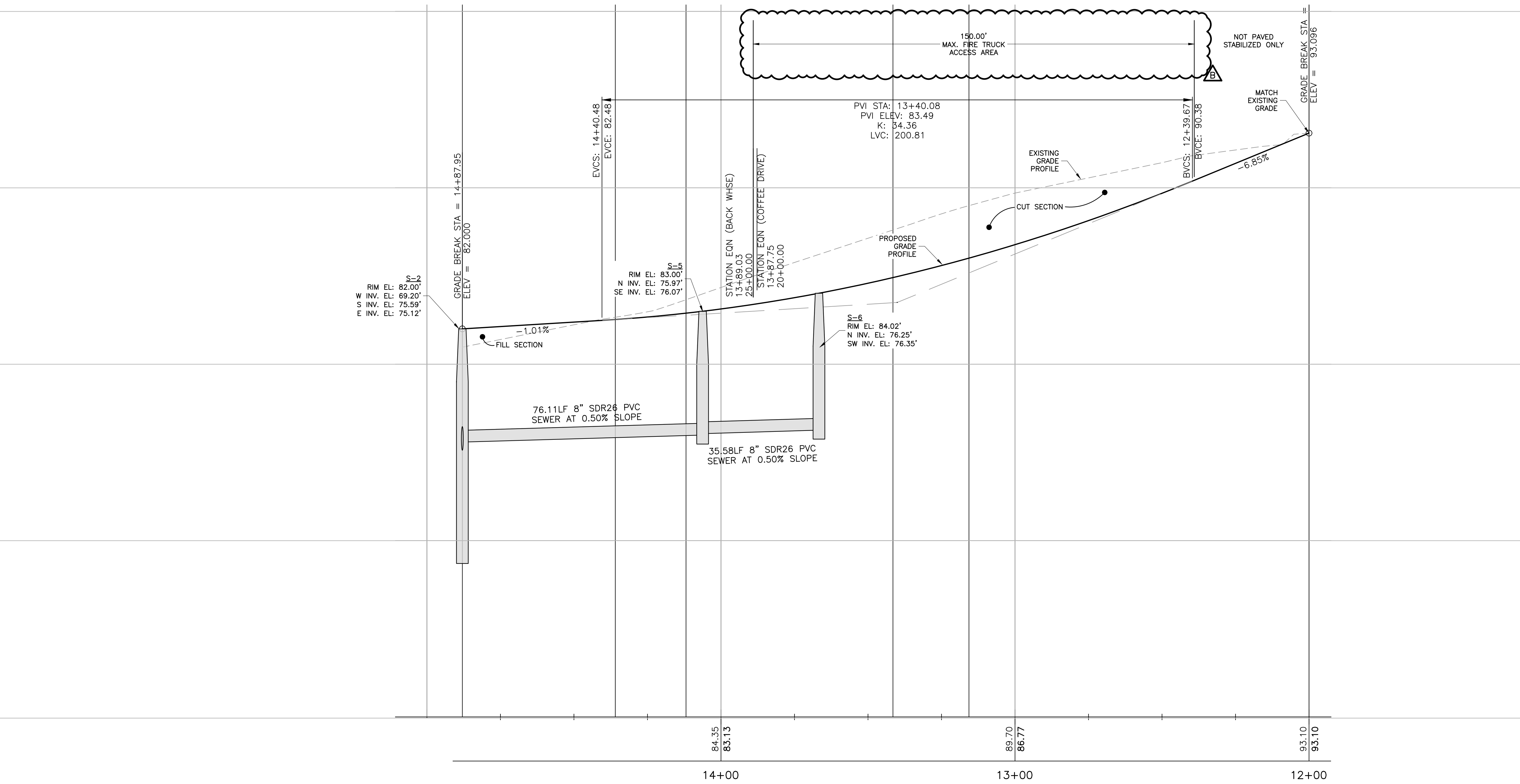
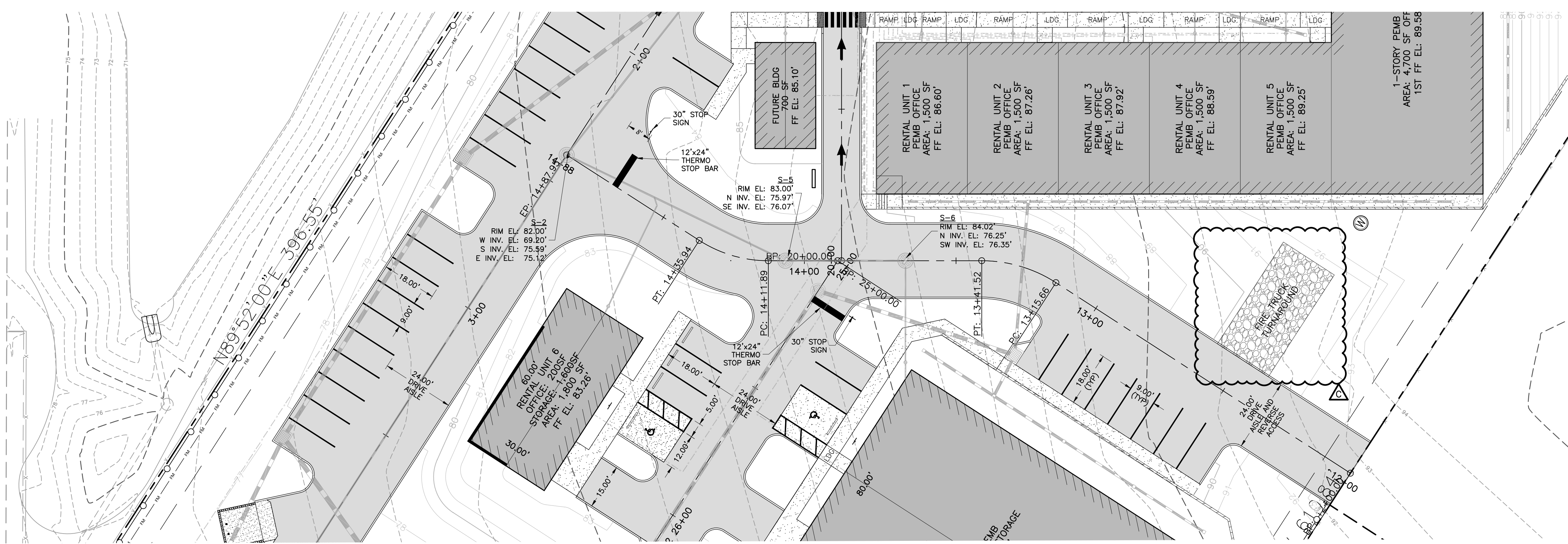
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DATE	DESCRIPTION
3/25	MC COMMENTS
8/25	FDOT COMMENTS
11/25	MC COMMENTS

SHEET DESIGNATION

C200

SHEET

7 OF 17



PROJECT TITLE

A MAJOR SITE PLAN FOR
NEXT DIMENSION
CONSTRUCTION
FBD S US HIGHWAY 447
SUMMERFIELD, FLORIDA 34491

CLIENT INFORMATION

NEXT DIMENSION CONSTRUCTION, INC.
13624 SE HIGHWAY 441
SUITE 101
SUMMERFIELD, FLORIDA 34491
(352) 857-1469

10

ISSUE DATE

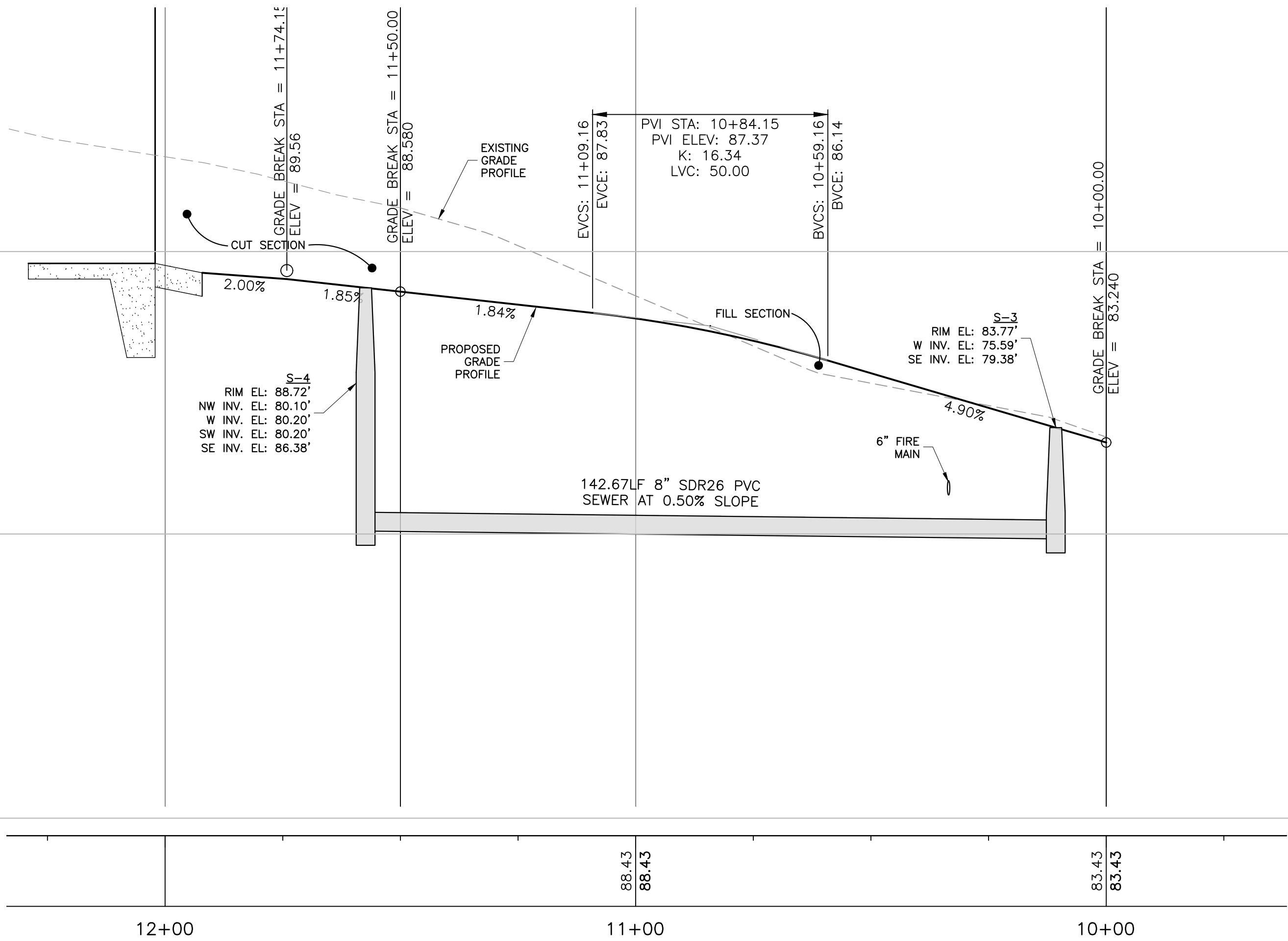
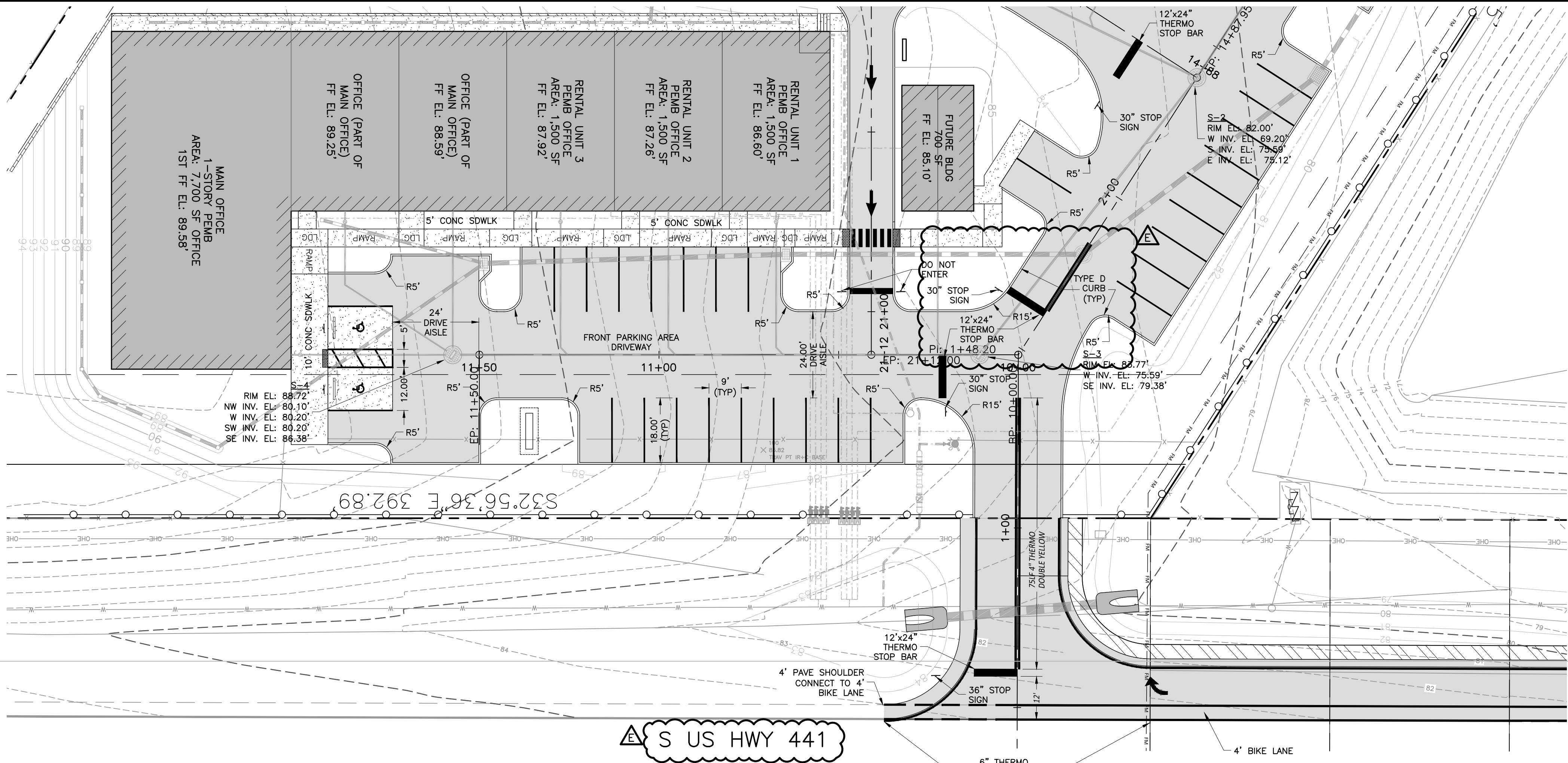
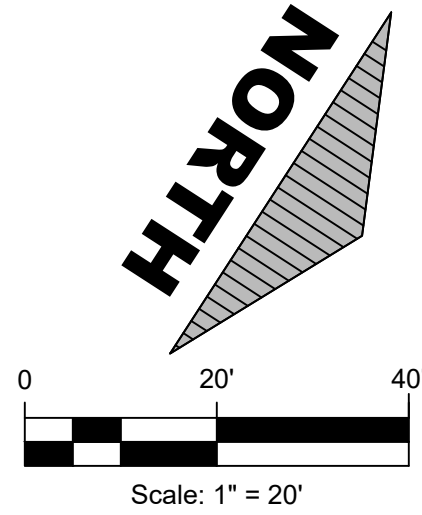
August 14, 2023

2024-230

SHEET DESIGNATION

C201

8 OF 17



CONSULTANT



Infinite Engineering

240 SW 8TH STREET, SUITE A
OCALA, FLORIDA 34471
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PROJECT TITLE

A MAJOR SITE PLAN FOR
NEXT DIMENSION
CONSTRUCTION
180 S US HIGHWAY 441
SUMMERFIELD, FLORIDA 34491

SHEET TITLE

PLAN AND
PROFILE FRONT
DRIVEWAY

CLIENT INFORMATION

NEXT DIMENSION CONSTRUCTION, INC.
13624 SE HIGHWAY 441
SUITE 101
SUMMERFIELD, FLORIDA 34491
(352) 857-1469

SUBCONSULTANTS

ENGINEER OF RECORD



BARRY EDWARD GINN, P.E.
FLORIDA PROFESSIONAL ENGINEER
FL PE NUMBER 54595

ISSUE DATE

August 14, 2023

PROJECT NUMBER

2024-230

REVISIONS

DATE	DESCRIPTION
3/25	MC COMMENTS
11/25	FDOT COMMENTS

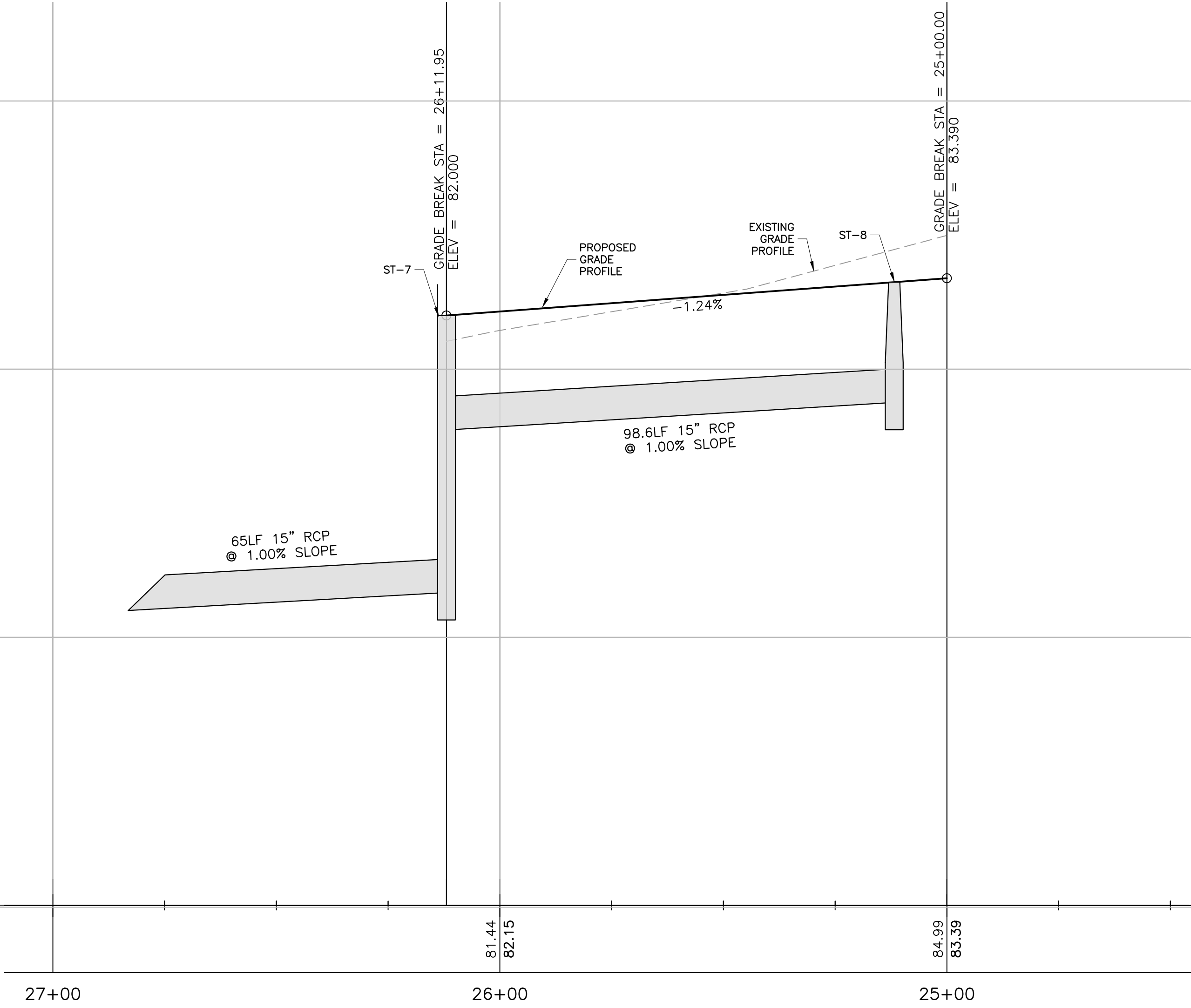
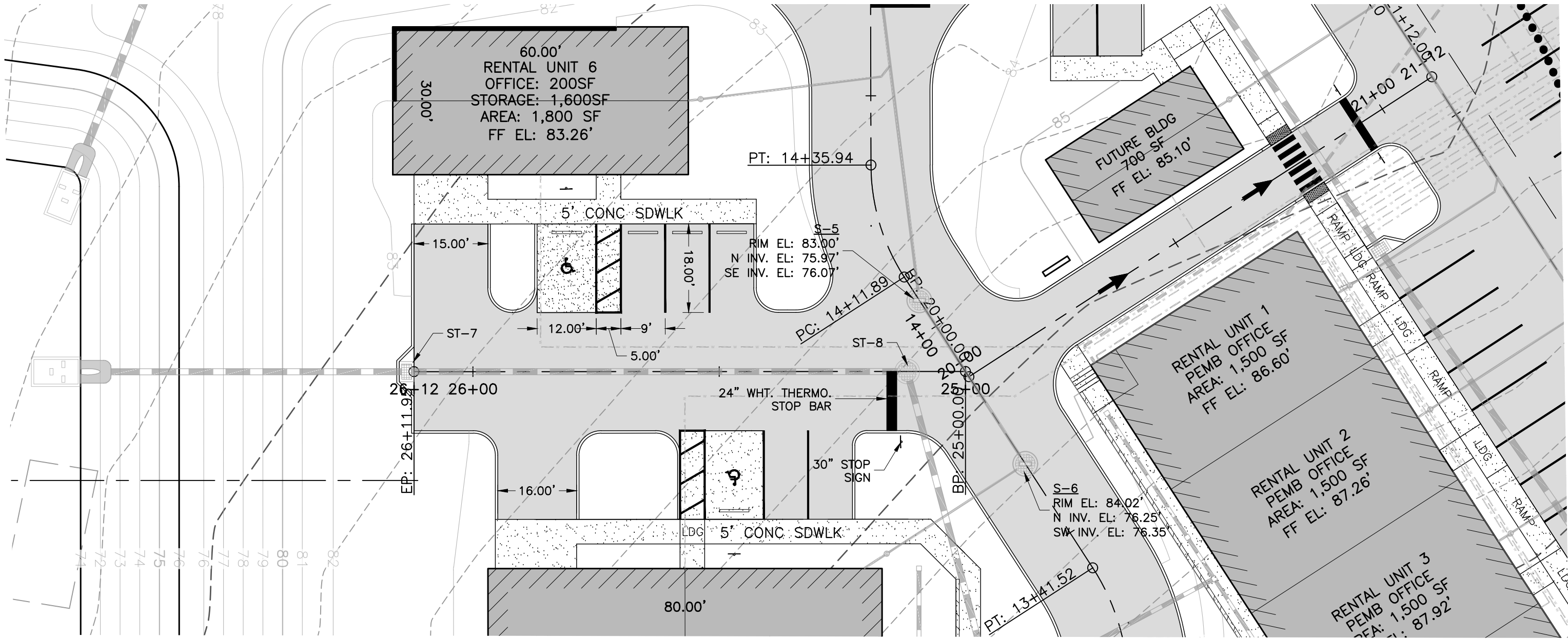
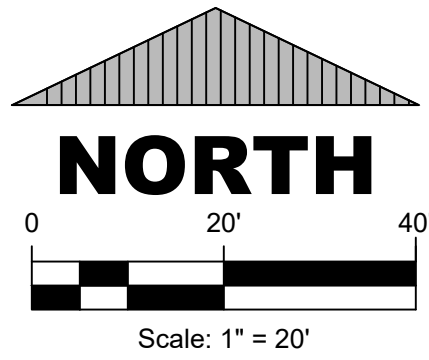
SHEET DESIGNATION

C202


SHEET

9 OF 17

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C:\Users\barry\Infinite Eng Dropbox\Barry Ginn\Infinite Engineering\2024 Project\2024-230 Villard Sh\Drawings\Design Development\Site Plan 8-19-23.dwg



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240 SW 8TH STREET, SUITE A
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PROJECT TITLE

A MAJOR SITE PLAN FOR
NEXT DIMENSION
CONSTRUCTION
13624 SE HIGHWAY 441
SUMMERFIELD, FLORIDA 34491

SHEET TITLE

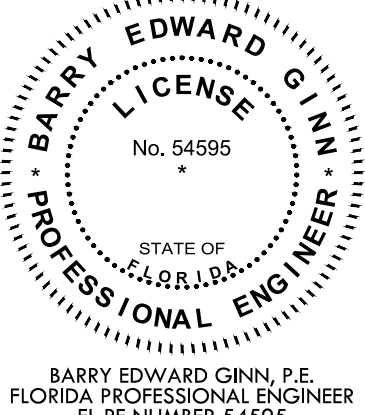
PLAN AND
PROFILE WHSE
DRIVE

CLIENT INFORMATION

NEXT DIMENSION CONSTRUCTION, INC.
13624 SE HIGHWAY 441
SUITE 101
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(352) 857-1469

SUBCONSULTANTS

ENGINEER OF RECORD



BARRY EDWARD GINN, P.E.
FLORIDA PROFESSIONAL ENGINEER
FL PE NUMBER 54595

ISSUE DATE

August 14, 2023

PROJECT NUMBER

2024-230

REVISIONS

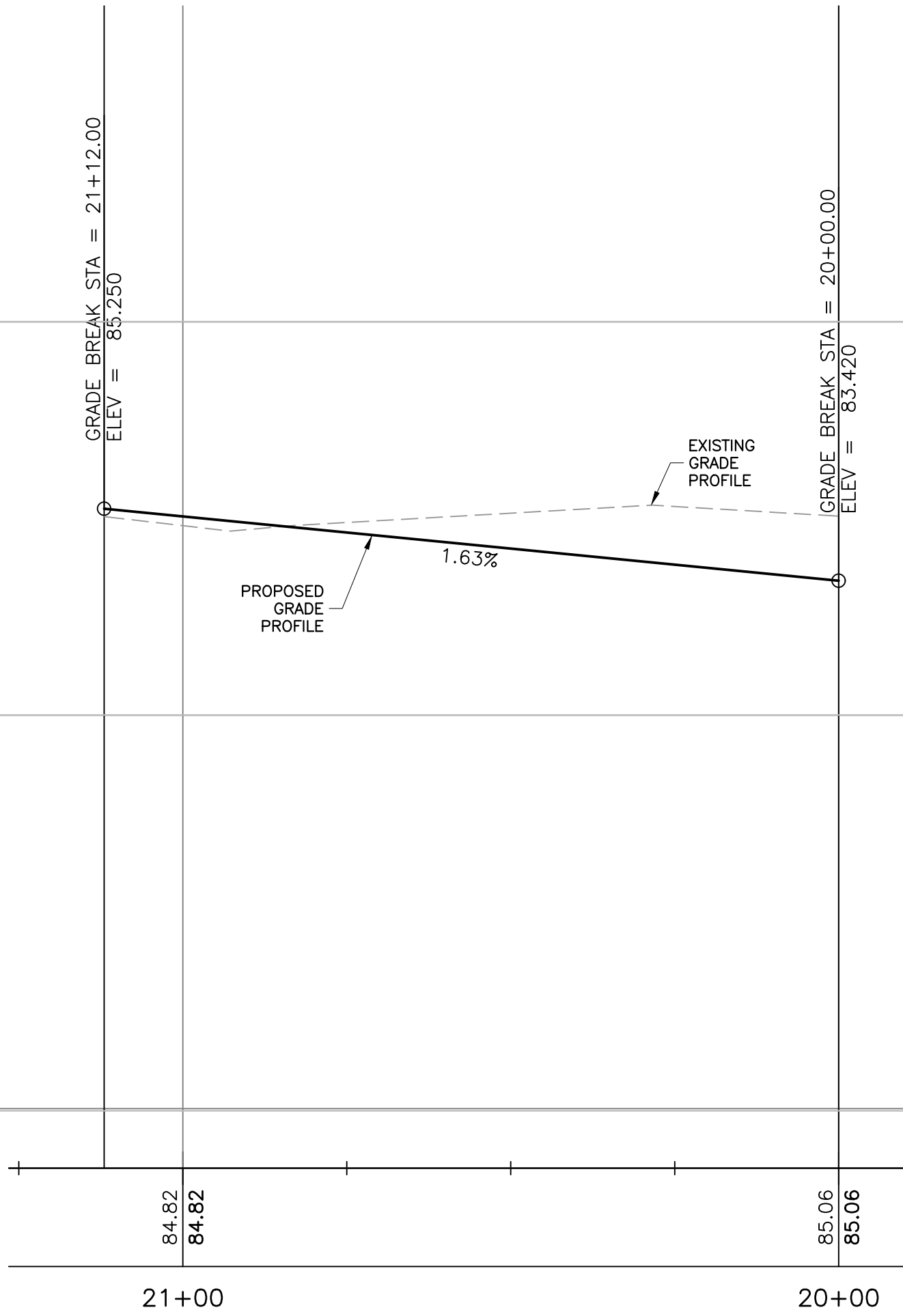
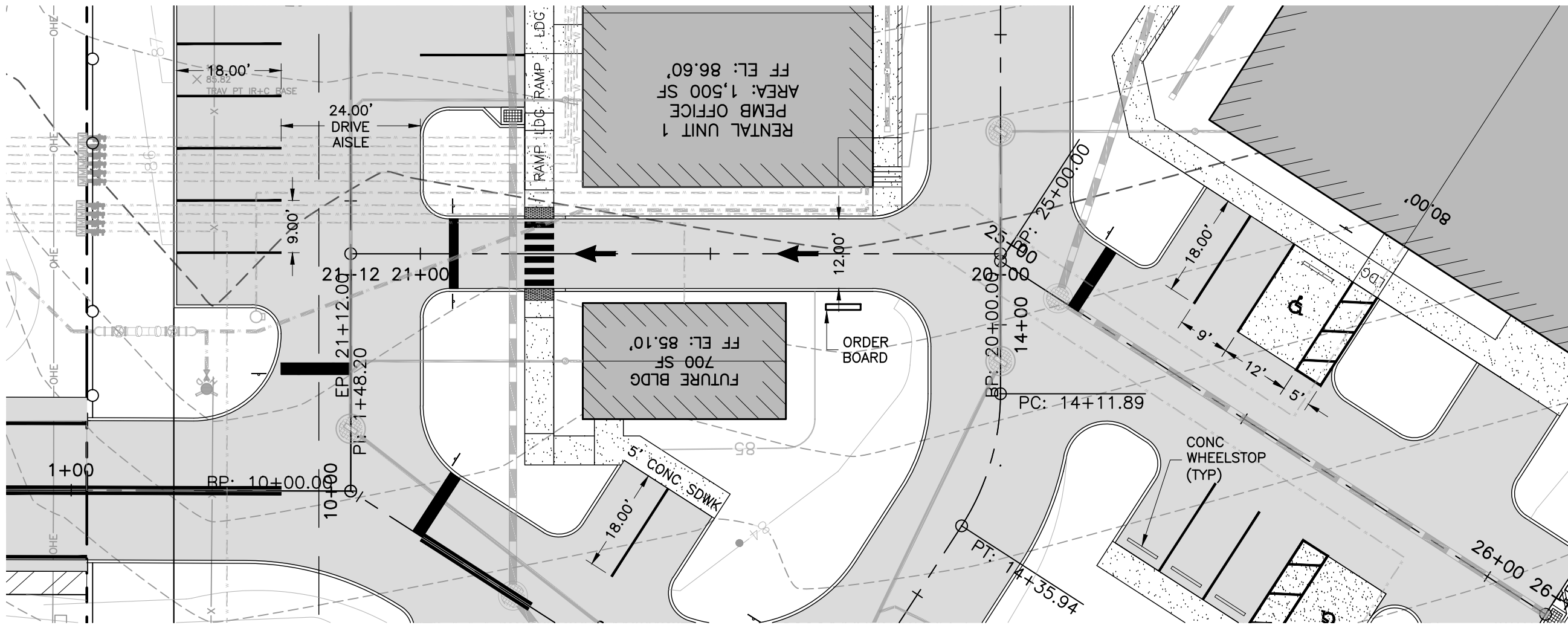
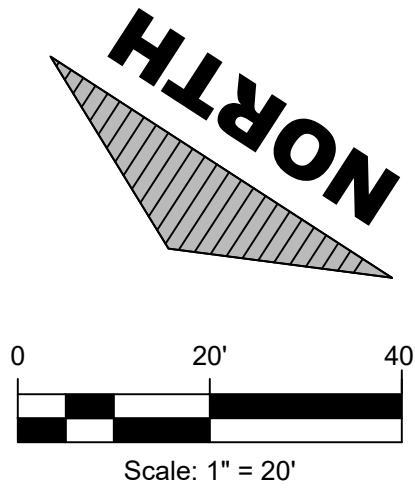
DATE	DESCRIPTION
3/25	MC COMMENTS

SHEET DESIGNATION

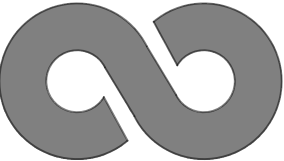
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SHEET

10 OF 17



CONSULTANT




Infinite Engineering

240 SW 8TH STREET, SUITE A
OCALA, FLORIDA 34471
(352) 287-1489
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PROJECT TITLE

A MAJOR SITE PLAN FOR
NEXT DIMENSION
CONSTRUCTION

BD S US HIGHWAY 441
SUMMERFIELD, FLORIDA 34491

SHEET TITLE

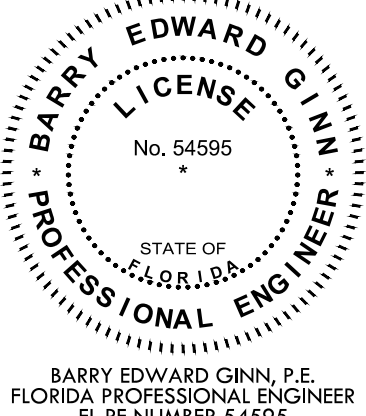
PLAN AND
PROFILE
COFFEE DRIVE

CLIENT INFORMATION

NEXT DIMENSION CONSTRUCTION, INC.
13624 SE HIGHWAY 441
SUITE 101
SUMMERFIELD, FLORIDA 34491
(352) 857-1469

SUBCONSULTANTS

ENGINEER OF RECORD



BARRY EDWARD GINN, P.E.
FLORIDA PROFESSIONAL ENGINEER
FL PE NUMBER 54595

ISSUE DATE

August 14, 2023

PROJECT NUMBER NUMBER

2024-230

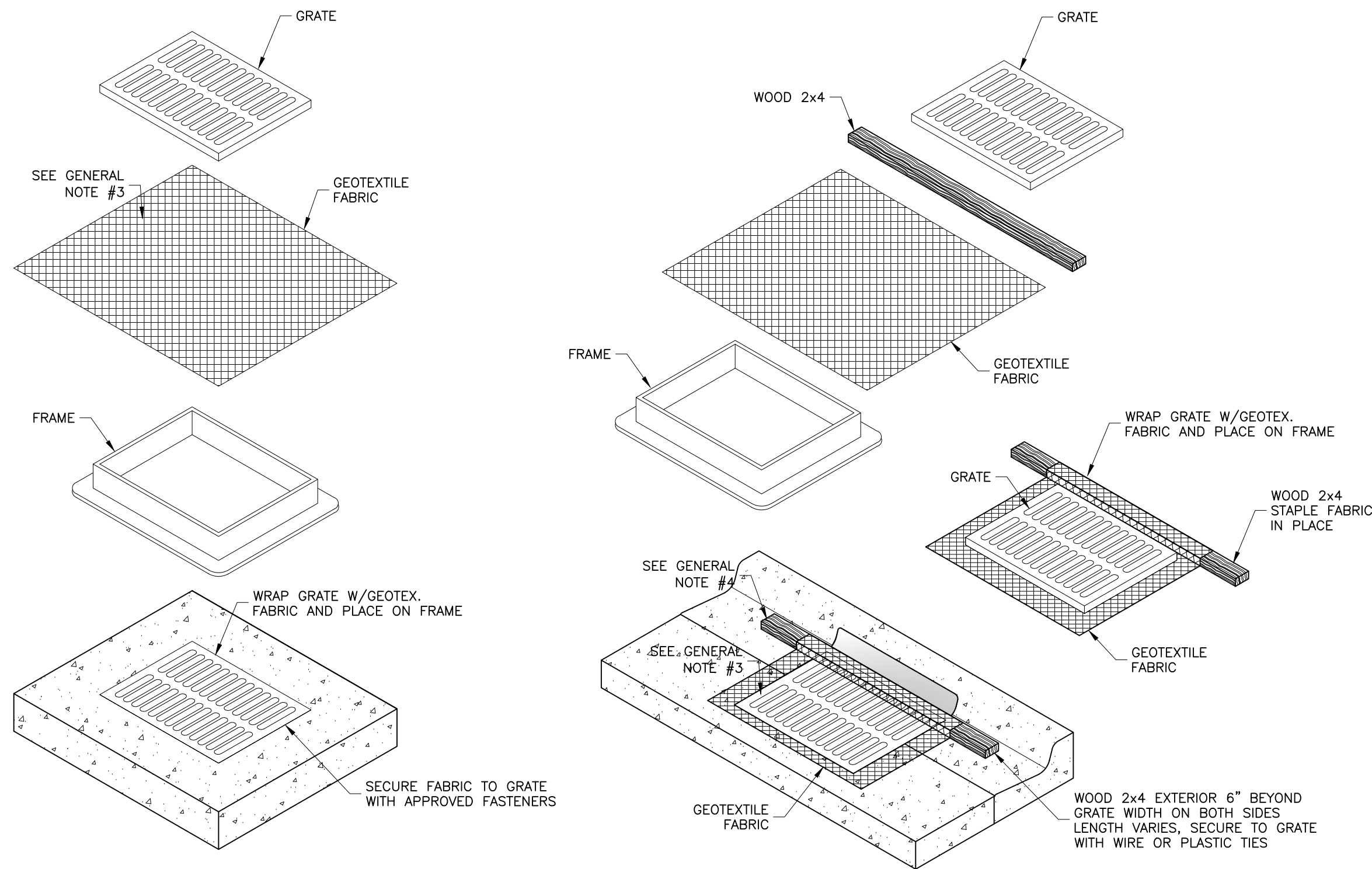
REVISIONS	
DATE	DESCRIPTION
3/25	MC COMMENTS

SHEET DESIGNATION

C204

SHEET

11 OF 17



YARD INLET PROTECTION

(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)

GENERAL NOTES:

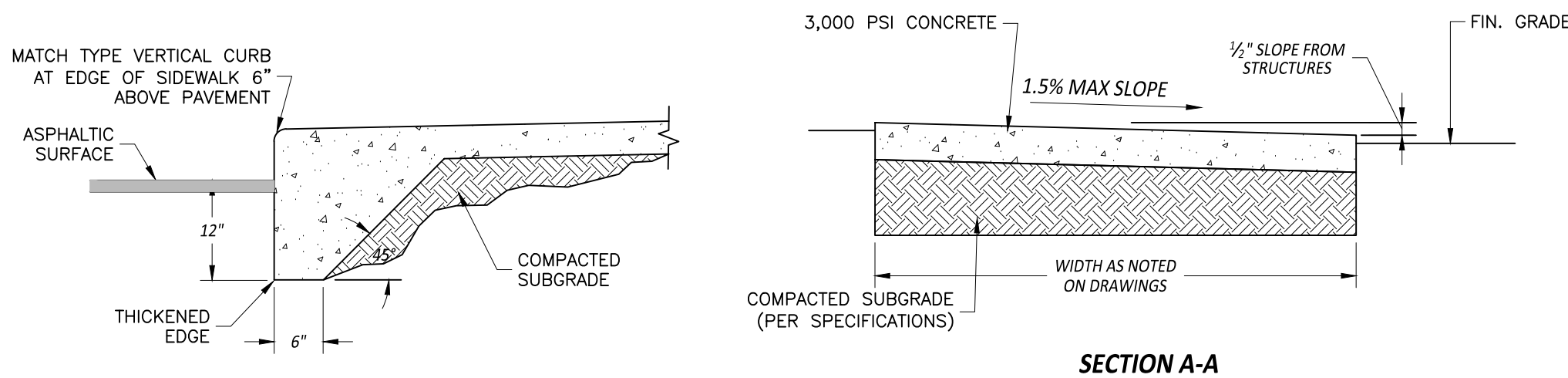
- GEOTEXTILE TO BE MIRAFI FILTERWEAVE 402 OR GEOTEX 111F. ALTERNATIVES INCLUDE APPROVED EQUAL ASTM D4491 OR 100 TO 150 GALLON PER MINUTE PER SQUARE FOOT.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- FOR CURB INLET PROTECTION AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF GRATE.
- THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS, OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING INLET.

CURB INLET PROTECTION

GEOTEXTILE FABRIC INLET PROTECTION

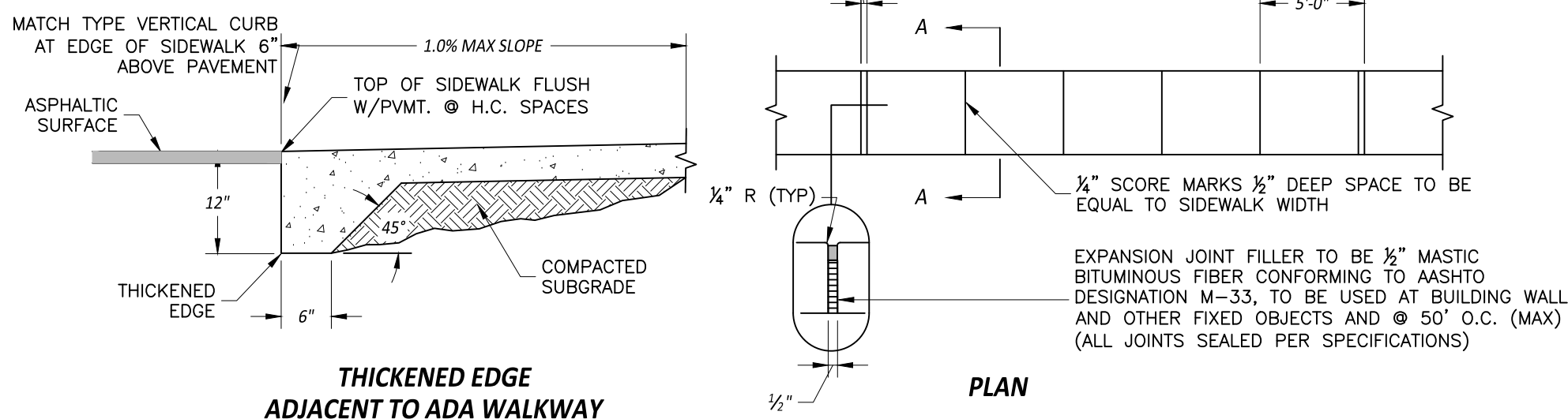
SCALE: NONE

CONCRETE WALKS SHALL BE 4 INCHES THICK HAVING A 3,000 PSI STRENGTH, POURED OVER PROPERLY PREPARED SUBGRADE. ALL CONCRETE SIDEWALKS SHALL BE 8 INCHES THICK ACROSS DRIVEWAYS. 1/2 INCH EXPANSION JOINTS SHALL BE PLACED AT A MAXIMUM OF 50'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTERS.



THICKENED EDGE ADJACENT TO PAVEMENT

SECTION A-A

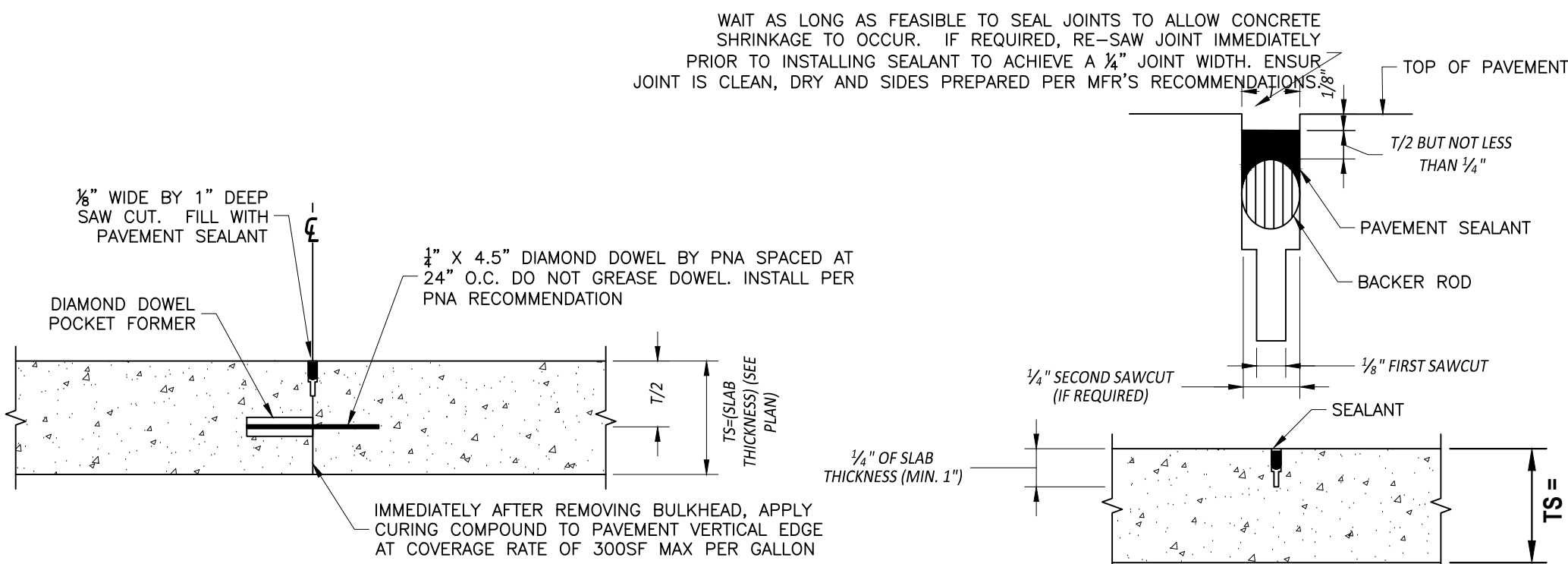


THICKENED EDGE ADJACENT TO ADA WALKWAY

PLAN

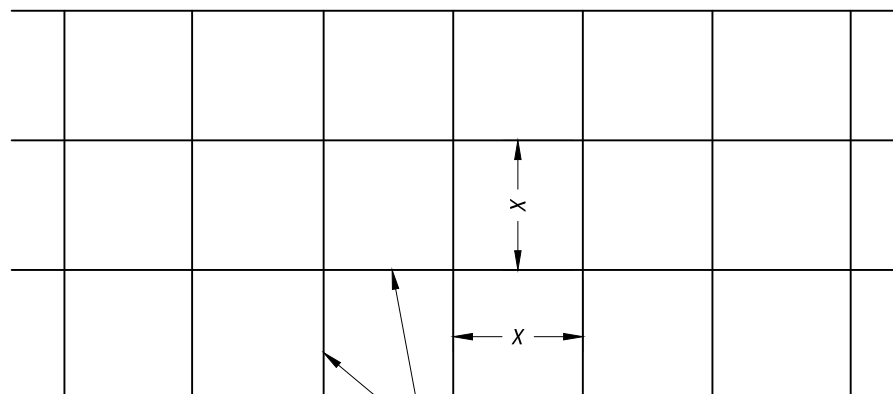
SIDEWALK DETAILS

SCALE: NONE



CONSTRUCTION JOINT

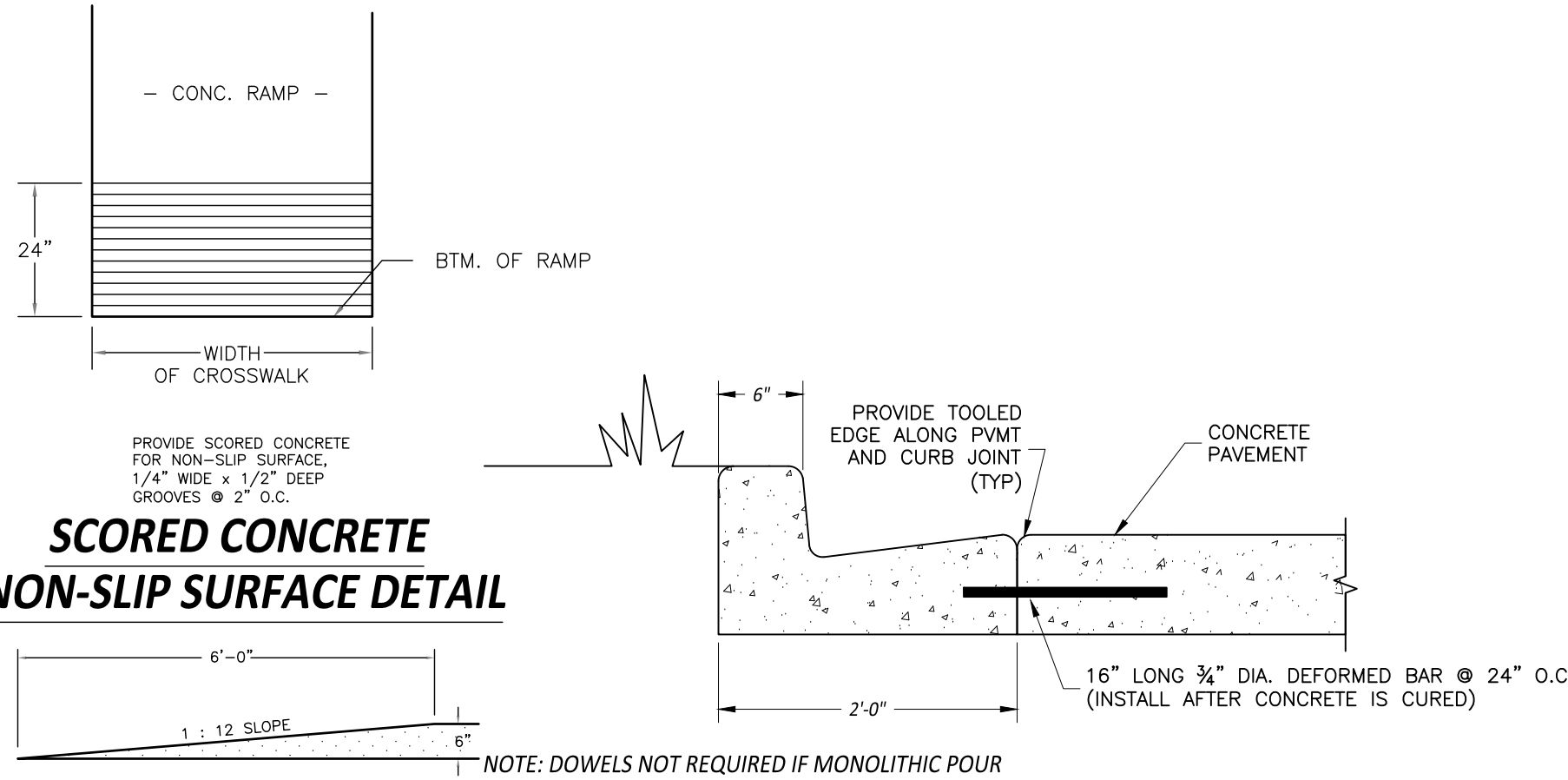
SAW JOINT



PLAN VIEW CONCRETE PAVEMENT

CONCRETE PAVEMENT JOINT DETAILS

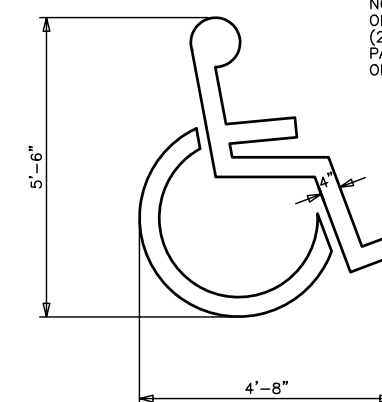
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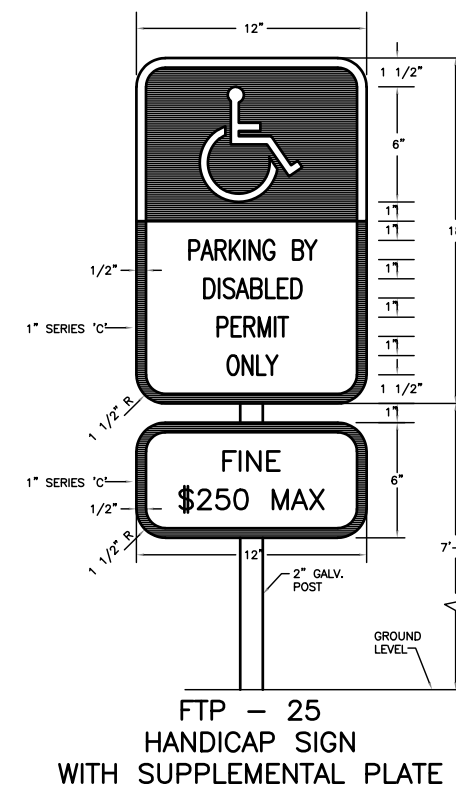
SCORED CONCRETE NON-SLIP SURFACE DETAIL

CONCRETE CURB AND GUTTER DOWELED JOINT DETAIL

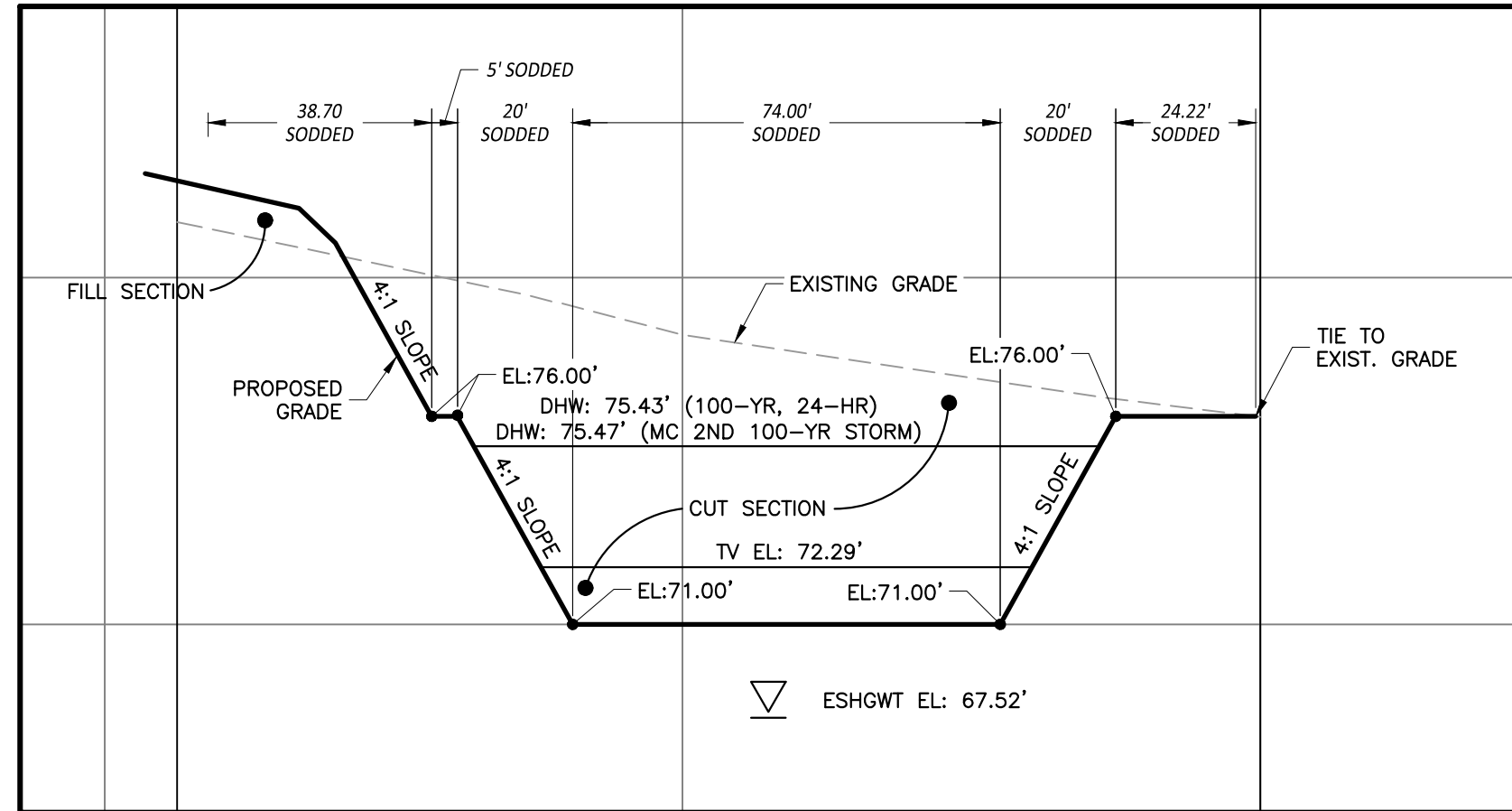
SCALE: NONE



HANDICAP SYMBOL PARKING DETAIL

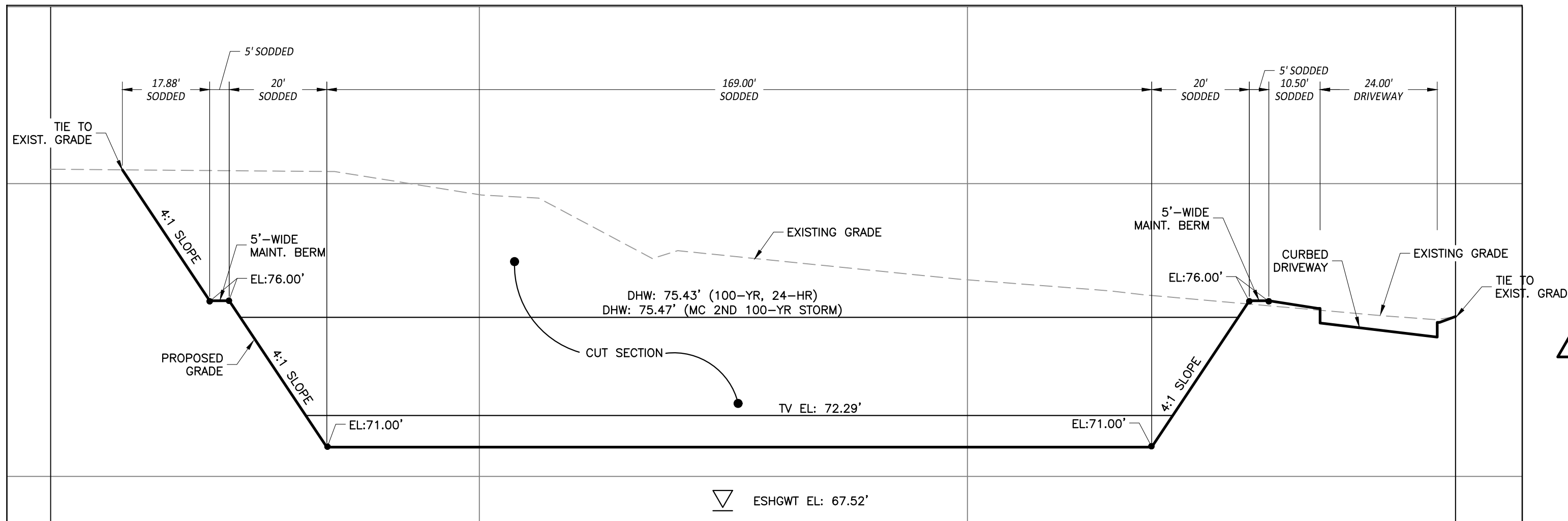


HANDICAP SPACE DETAIL



DRA SECTION A

SCALE: 1" = 30'



DRA SECTION B

SCALE: 1" = 20'

CONSULTANT

Infinite Engineering

240 SW 8TH STREET, SUITE A
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PROJECT TITLE

**A MAJOR SITE PLAN FOR
NEXT DIMENSION
CONSTRUCTION
(BD S US HIGHWAY 441
SUMMERFIELD, FLORIDA 34491)**

SHEET TITLE

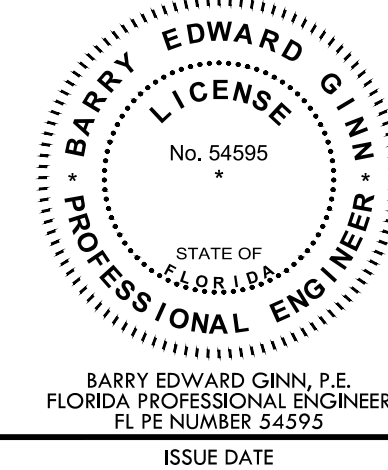
DETAILS

CLIENT INFORMATION

NEXT DIMENSION CONSTRUCTION, INC.
13624 SE HIGHWAY 441
SUITE 101
SUMMERFIELD, FLORIDA 34491
(352) 857-1469

SUBCONSULTANTS

ENGINEER OF RECORD



ISSUE DATE

August 14, 2023

PROJECT NUMBER NUMBER

2024-230

REVISIONS

DATE DESCRIPTION

3/25 MC COMMENTS

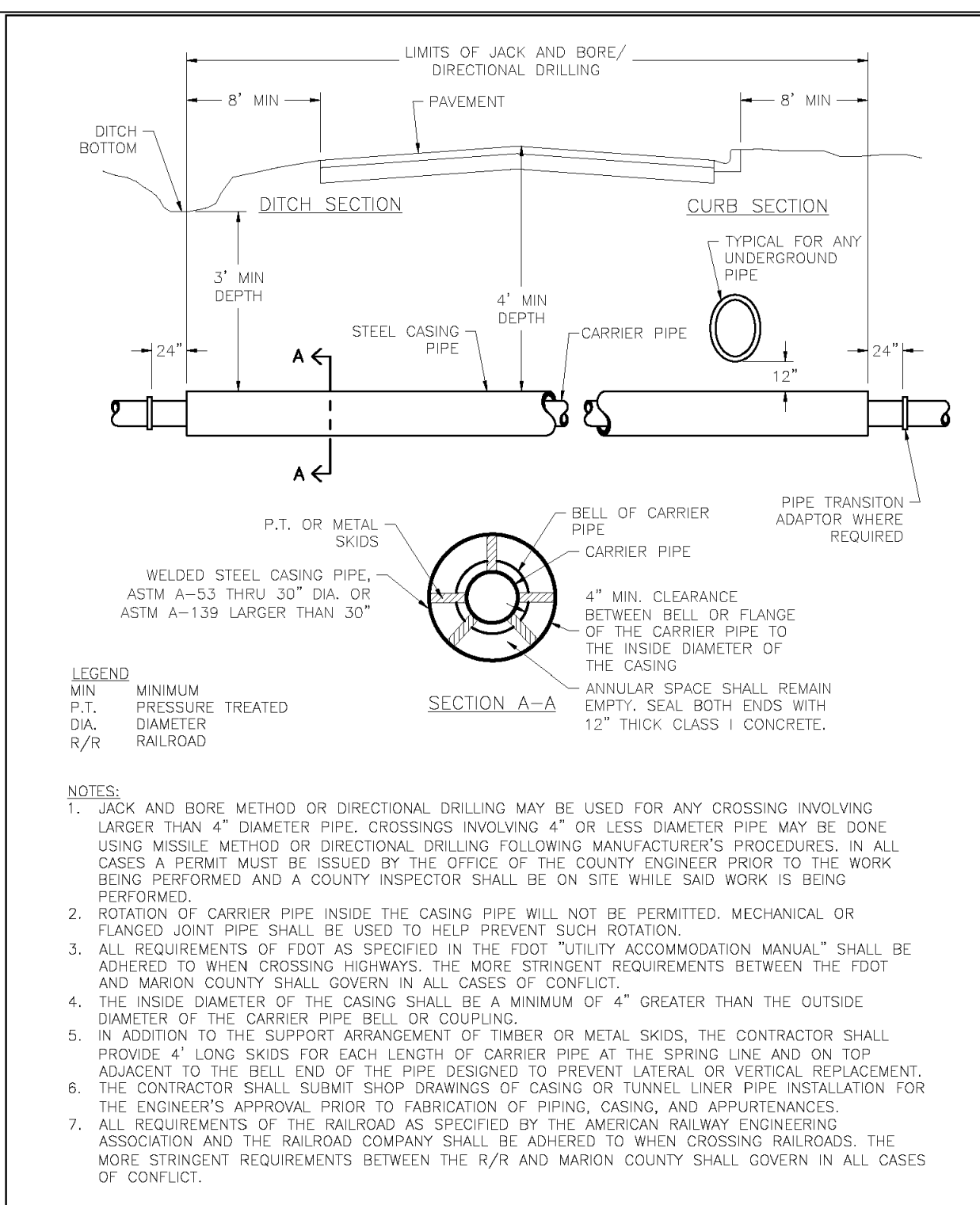
SHEET DESIGNATION

C500

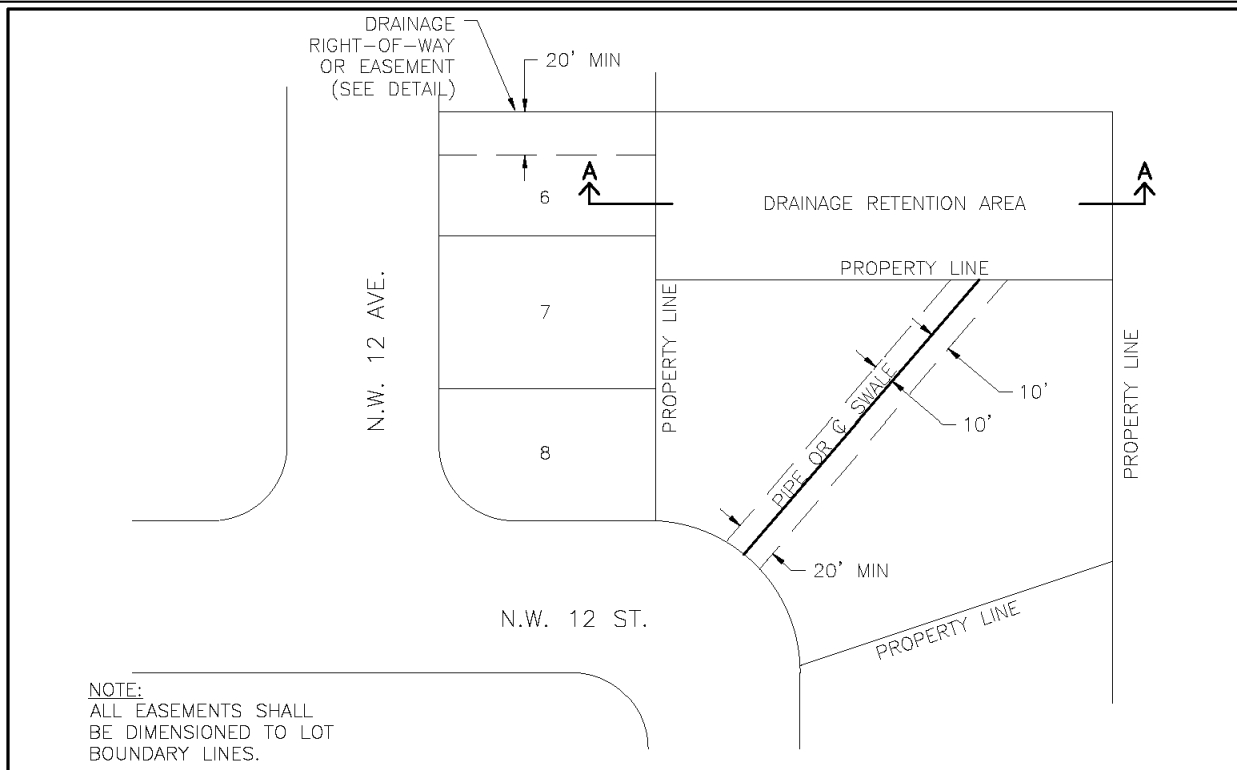
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12 OF 17

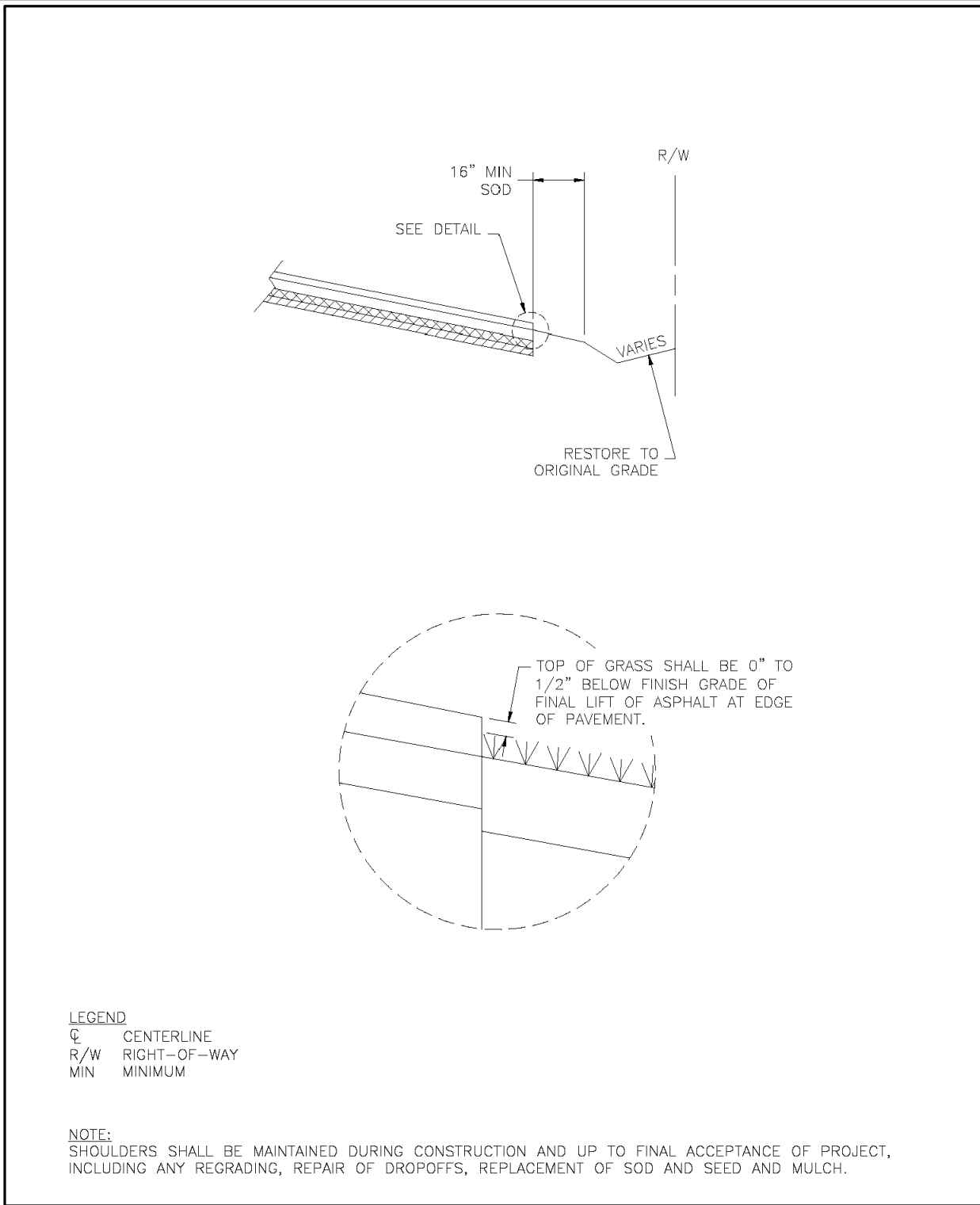
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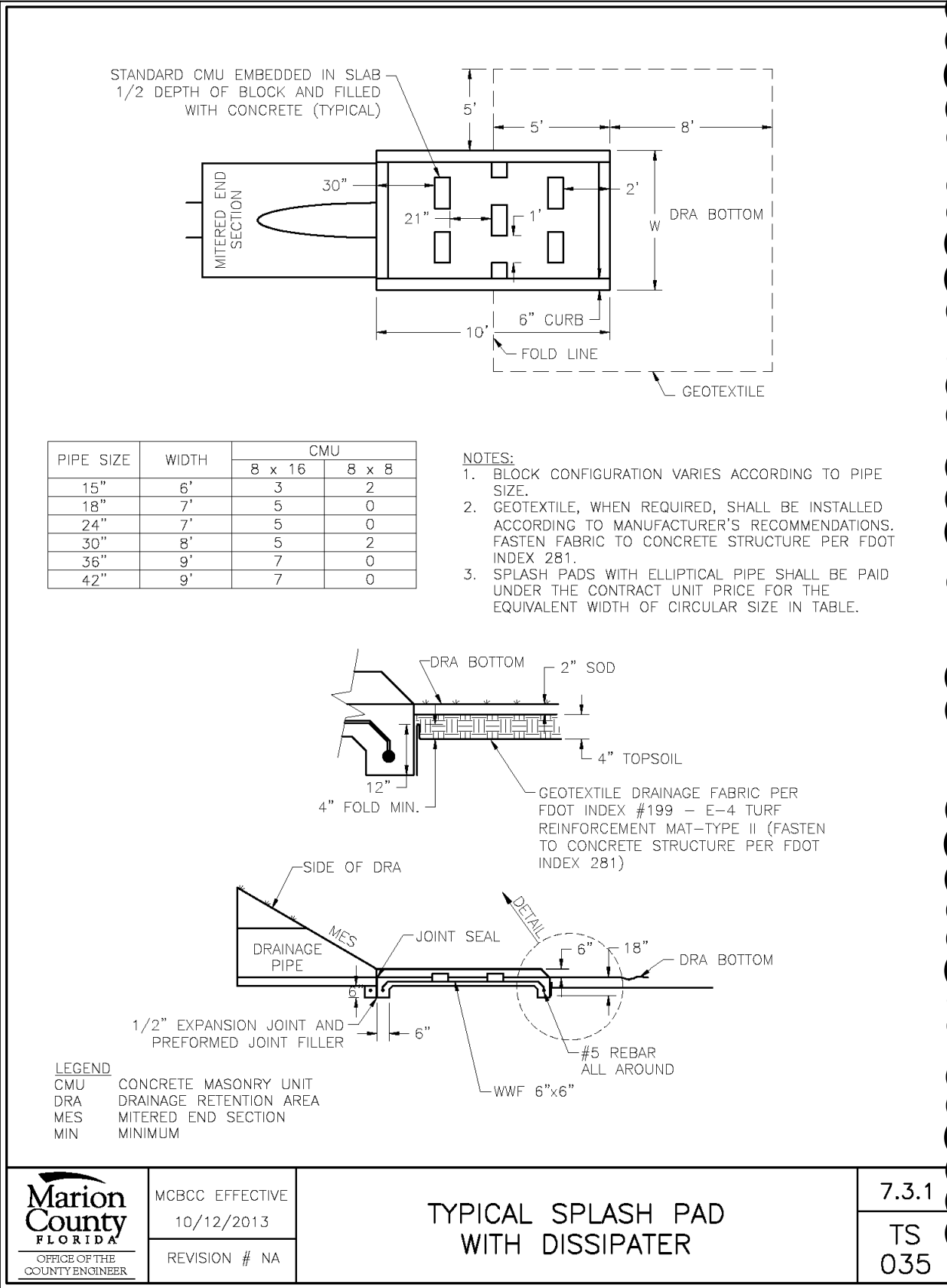
Marion County FLORIDA OFFICE OF THE COUNTY ENGINEER	MCBCC EFFECTIVE 10/12/2013 REVISION # NA	JACK AND BORE	7.3.1 TS 009
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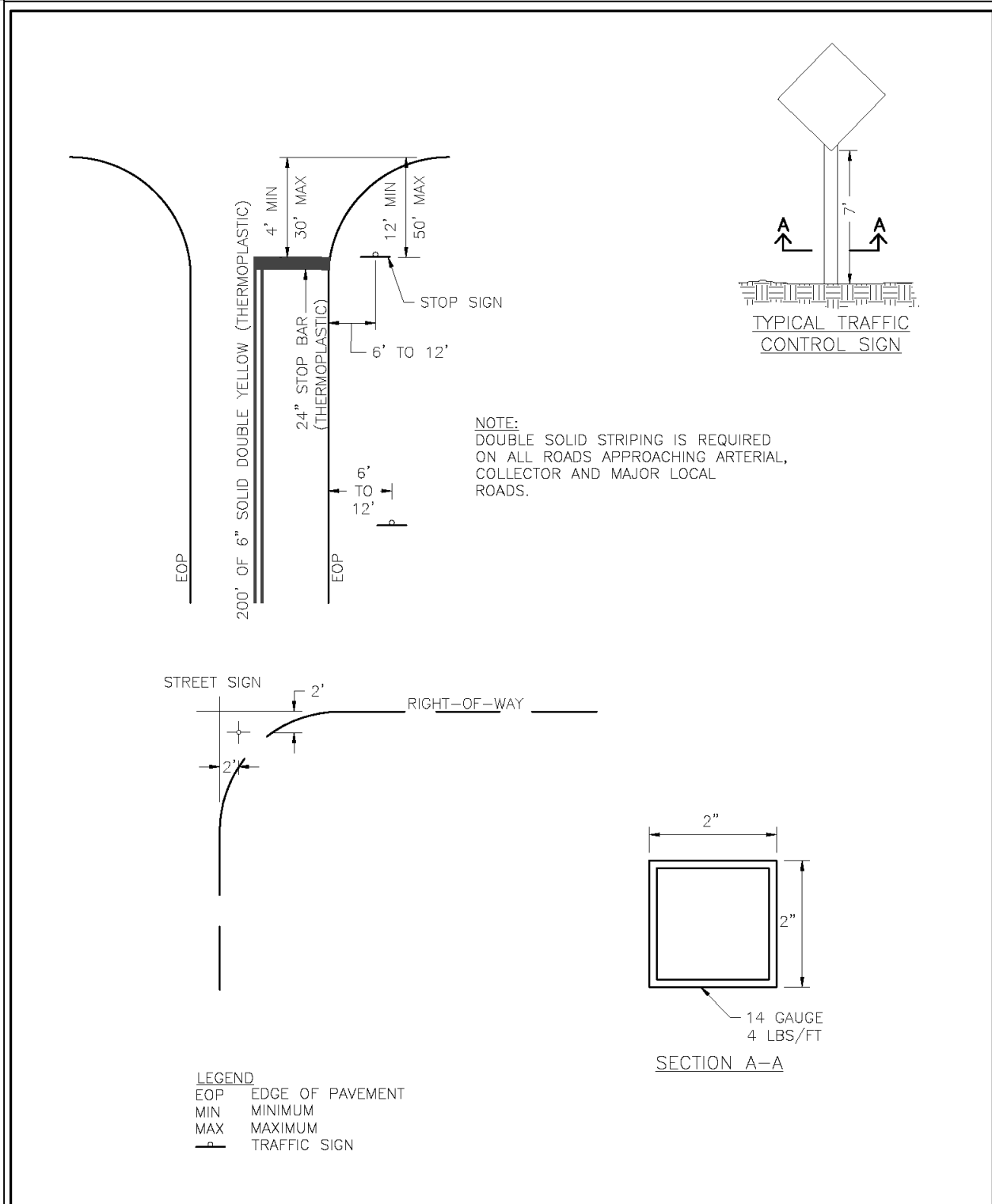
Marion County FLORIDA OFFICE OF THE COUNTY ENGINEER	MCBCC EFFECTIVE 10/12/2013 REVISION # NA	DRAINAGE RETENTION AREA (PUBLICLY OR PRIVATELY MAINTAINED SUBDIVISIONS)	7.3.1 TS 034
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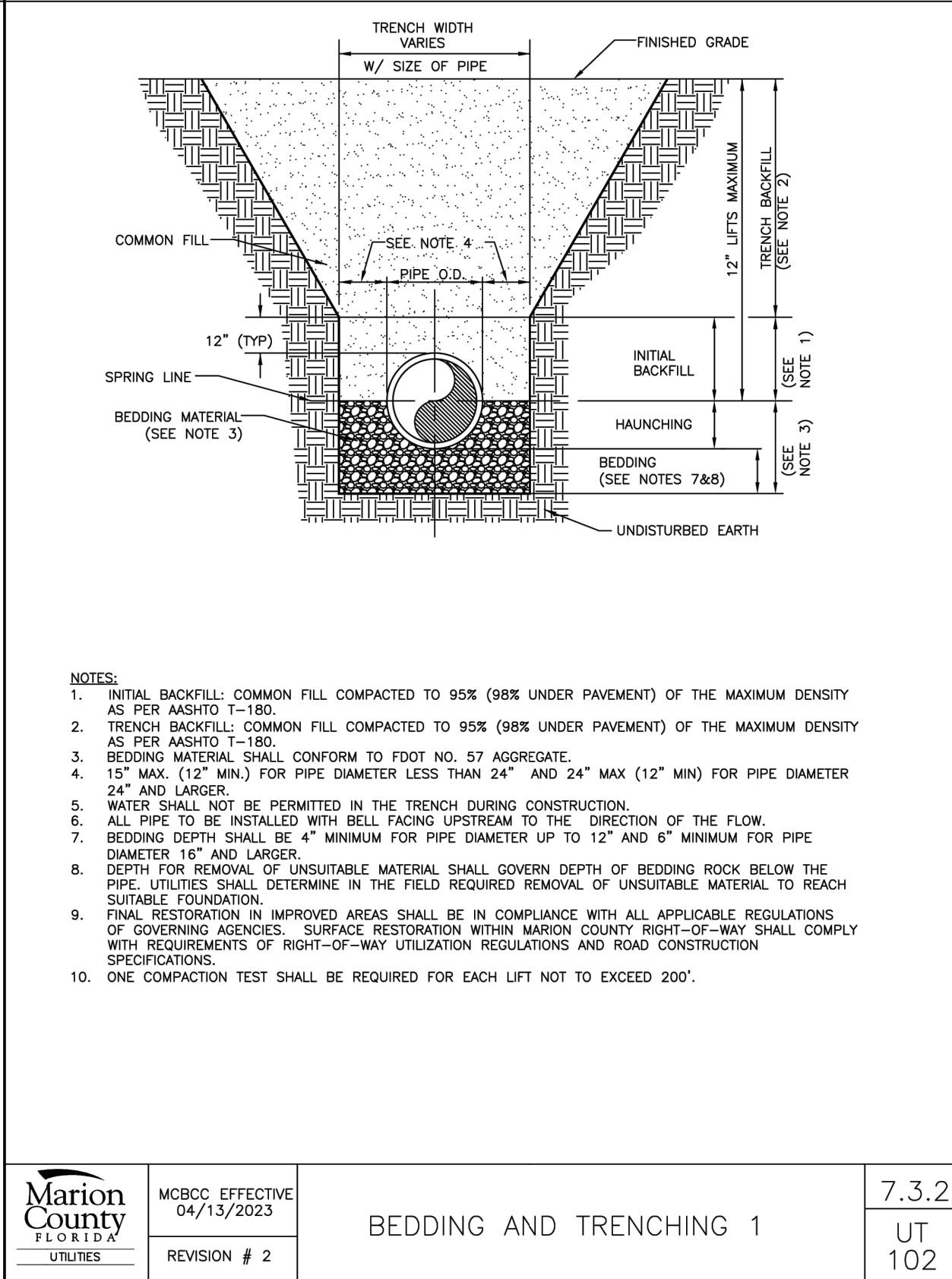
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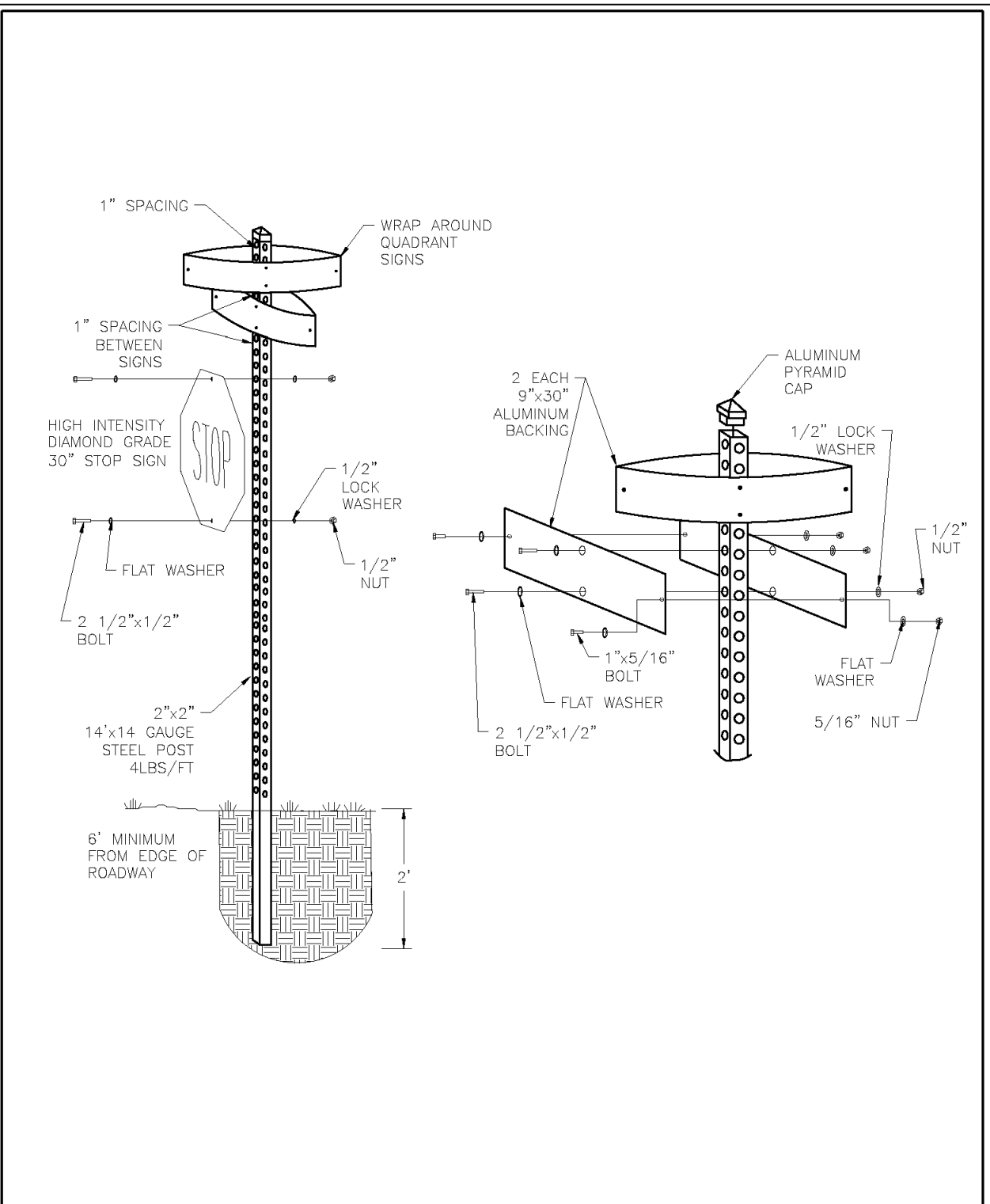
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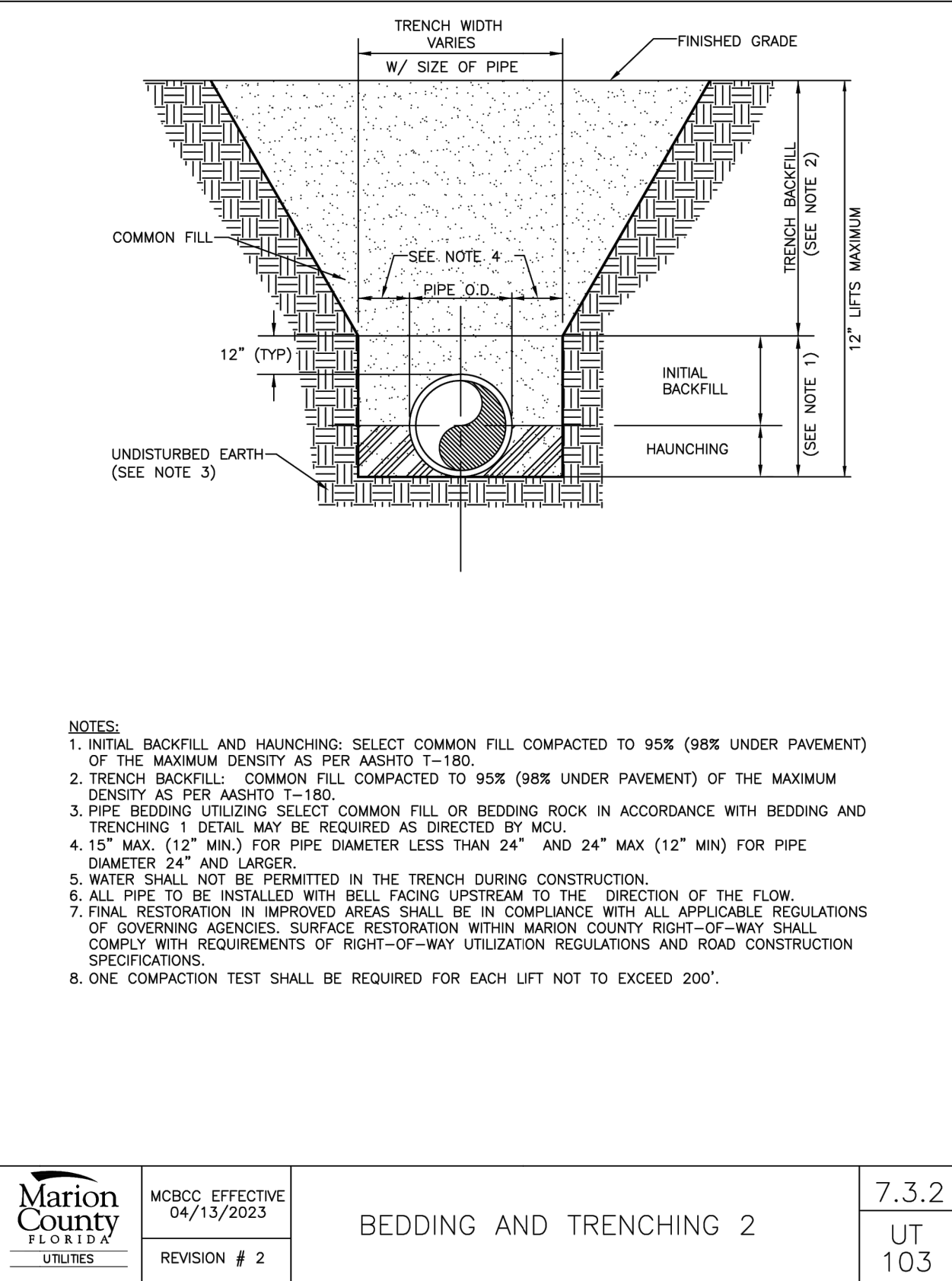
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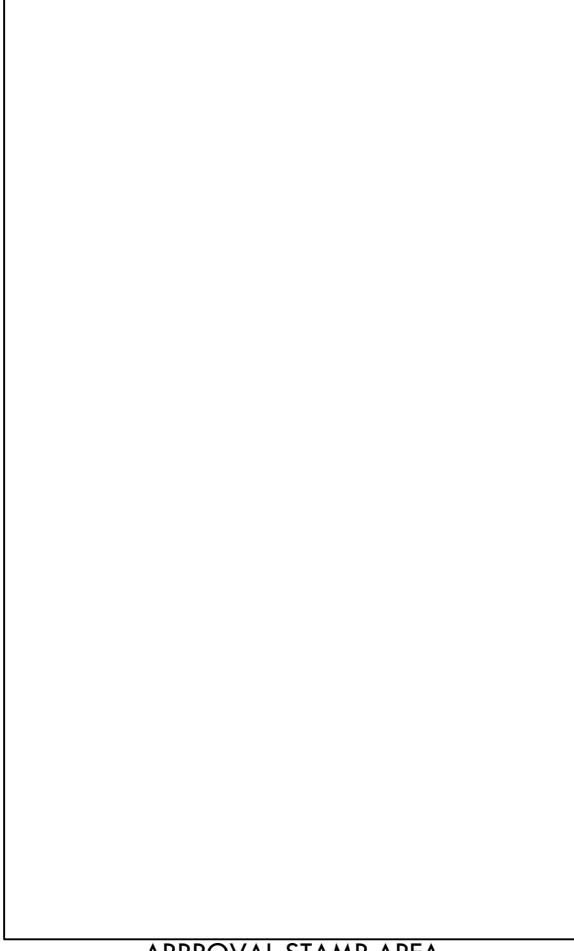
Marion County FLORIDA UTILITIES	MCBCC EFFECTIVE 04/13/2023 REVISION # 2	BEDDING AND TRENCHING 1	7.3.2 UT 102
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Marion County FLORIDA OFFICE OF THE COUNTY ENGINEER	MCBCC EFFECTIVE 10/12/2013 REVISION # NA	COMBINED STREET NAME & STOP SIGN INSTALLATION	7.3.1 TS 031
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Marion County FLORIDA UTILITIES	MCBCC EFFECTIVE 04/13/2023 REVISION # 2	BEDDING AND TRENCHING 2	7.3.2 UT 103
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CONSULTANT

Infinite Engineering

240 SW 8TH STREET, SUITE A
OCALA, FLORIDA 34471
(352) 281-1480
WWW.INFINITEENGL.COM
CERT. OF AUTH. # 33000

PROJECT TITLE

**A MAJOR SITE PLAN FOR
NEXT DIMENSION
CONSTRUCTION
13624 SE HIGHWAY 441
SUMMERFIELD, FLORIDA 34491**

SHEET TITLE

DETAILS

CLIENT INFORMATION

NEXT DIMENSION CONSTRUCTION, INC.
13624 SE HIGHWAY 441
SUITE 101
SUMMERFIELD, FLORIDA 34491
(352) 857-1469

SUBCONSULTANTS

ENGINEER OF RECORD

BARRY EDWARD GINN
LICENSE
No. 54595
STATE OF FLORIDA
PROFESSIONAL ENGINEER

BARRY EDWARD GINN, P.E.
FLORIDA PROFESSIONAL ENGINEER
FL PE NUMBER 54595

ISSUE DATE

August 14, 2023

PROJECT NUMBER NUMBER

2024-230

REVISIONS	
DATE	DESCRIPTION
11/23	MC COMMENTS

SHEET DESIGNATION

C501

SHEET

13 OF 17

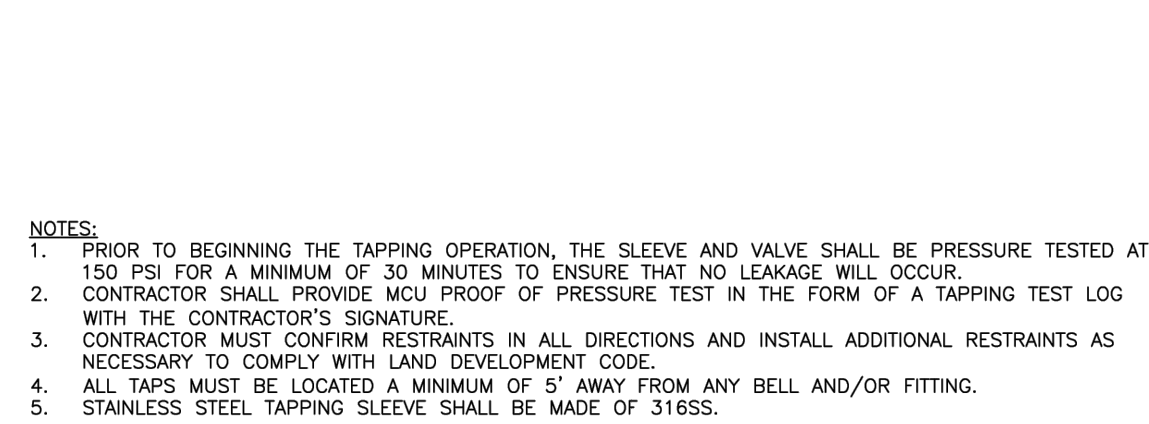
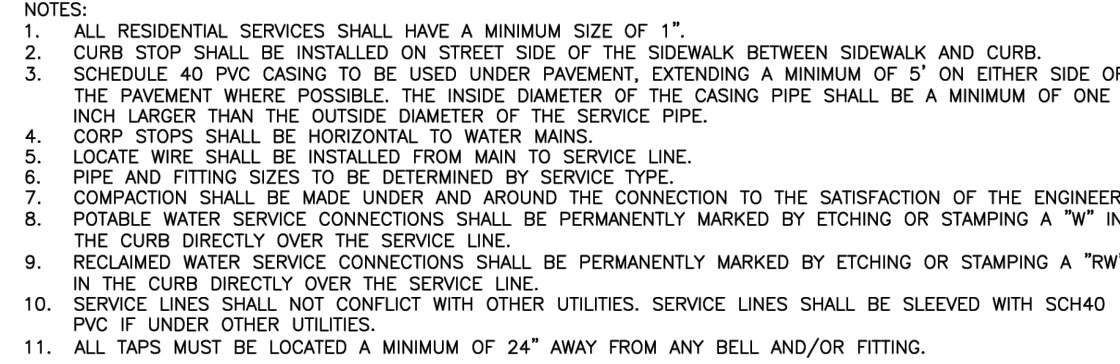
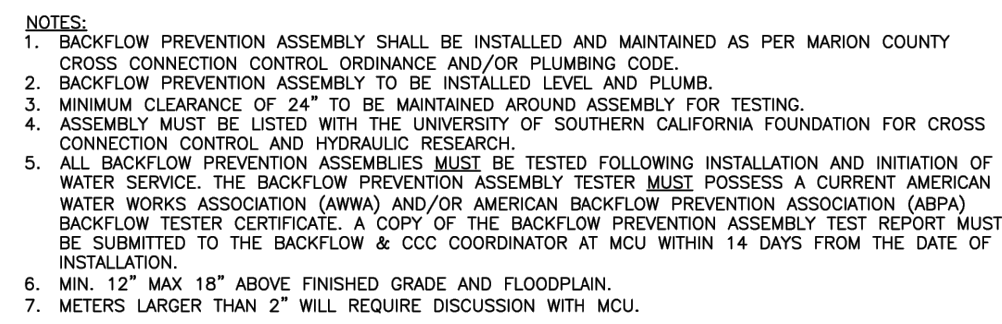
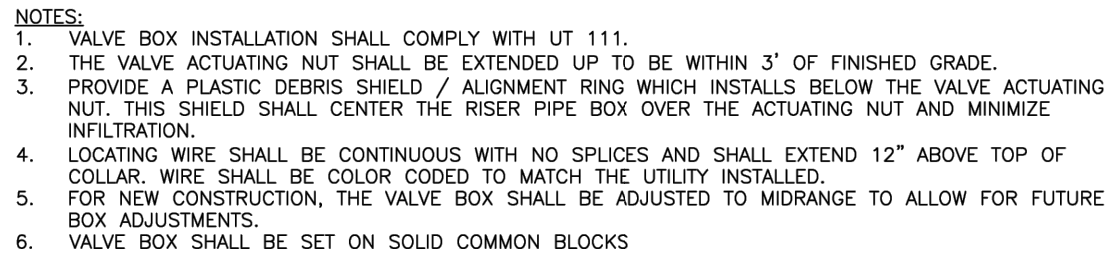
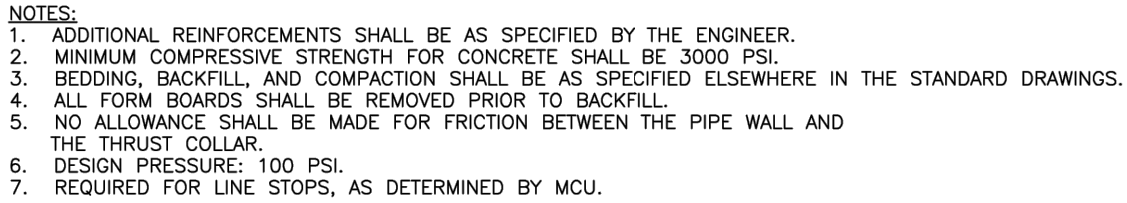
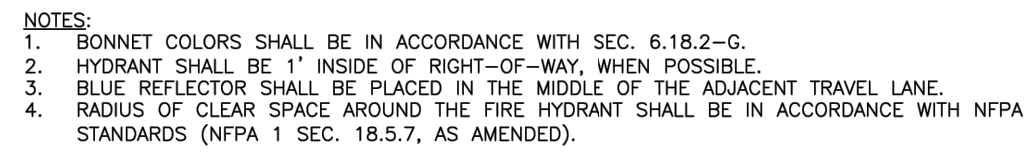
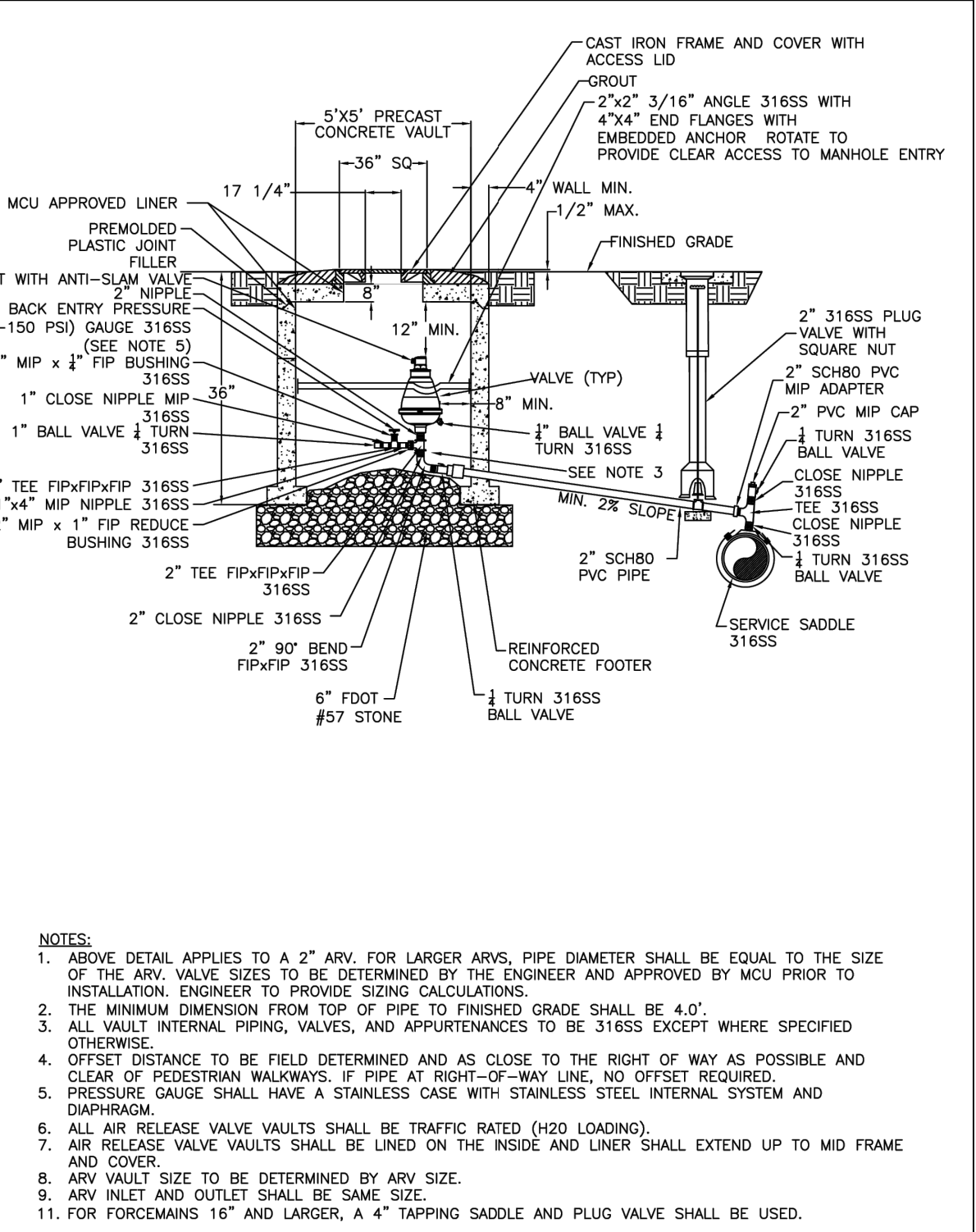
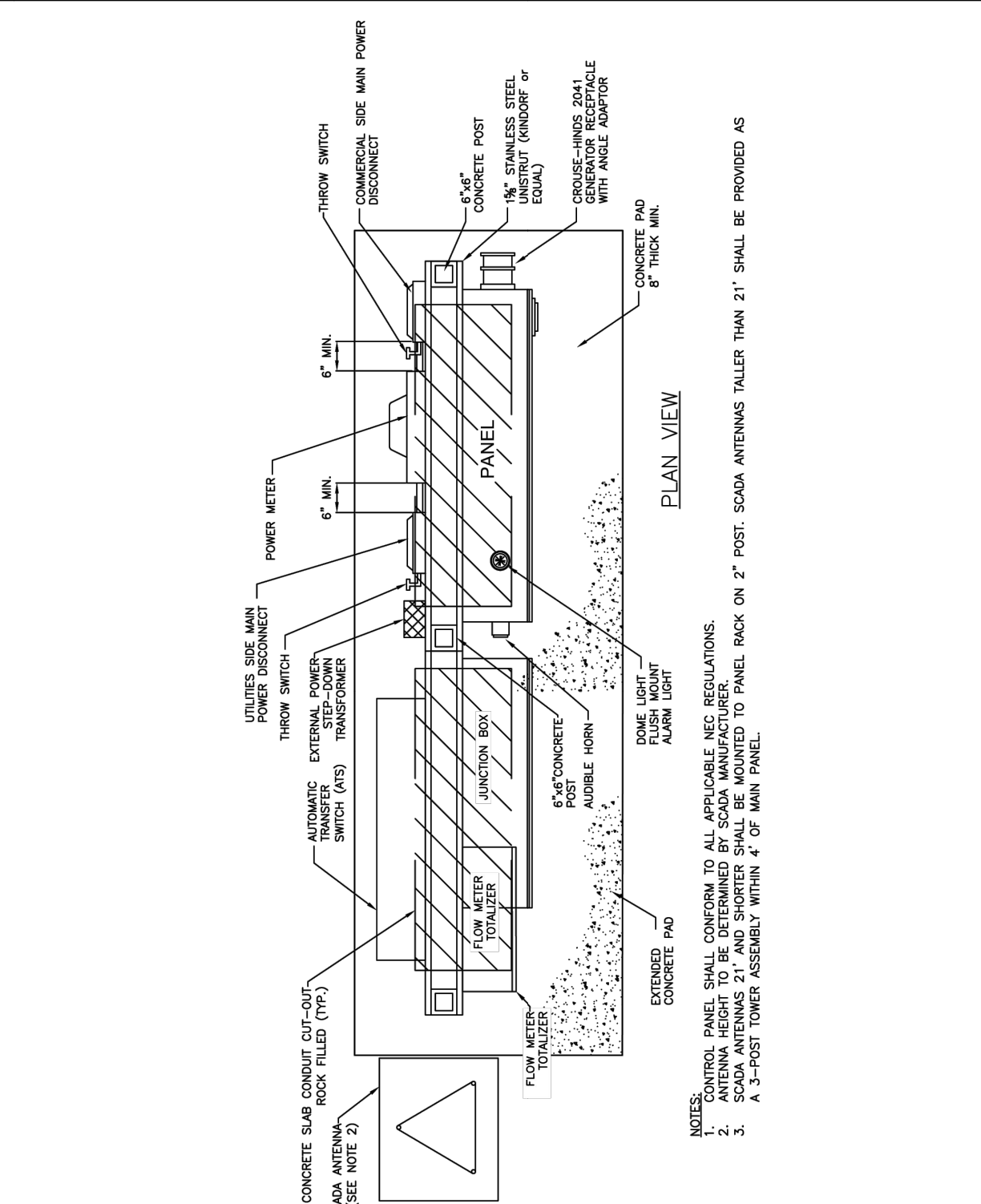
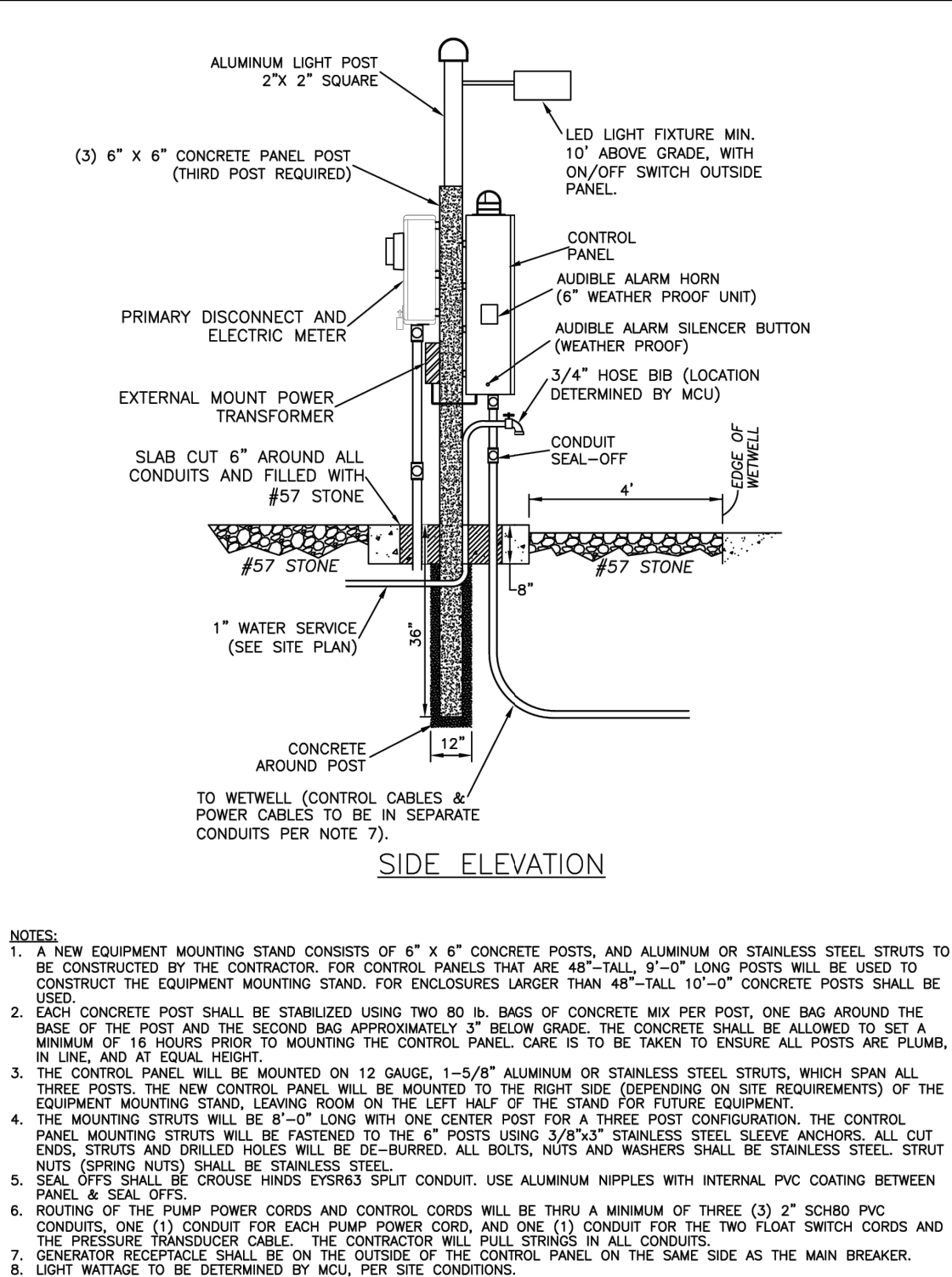
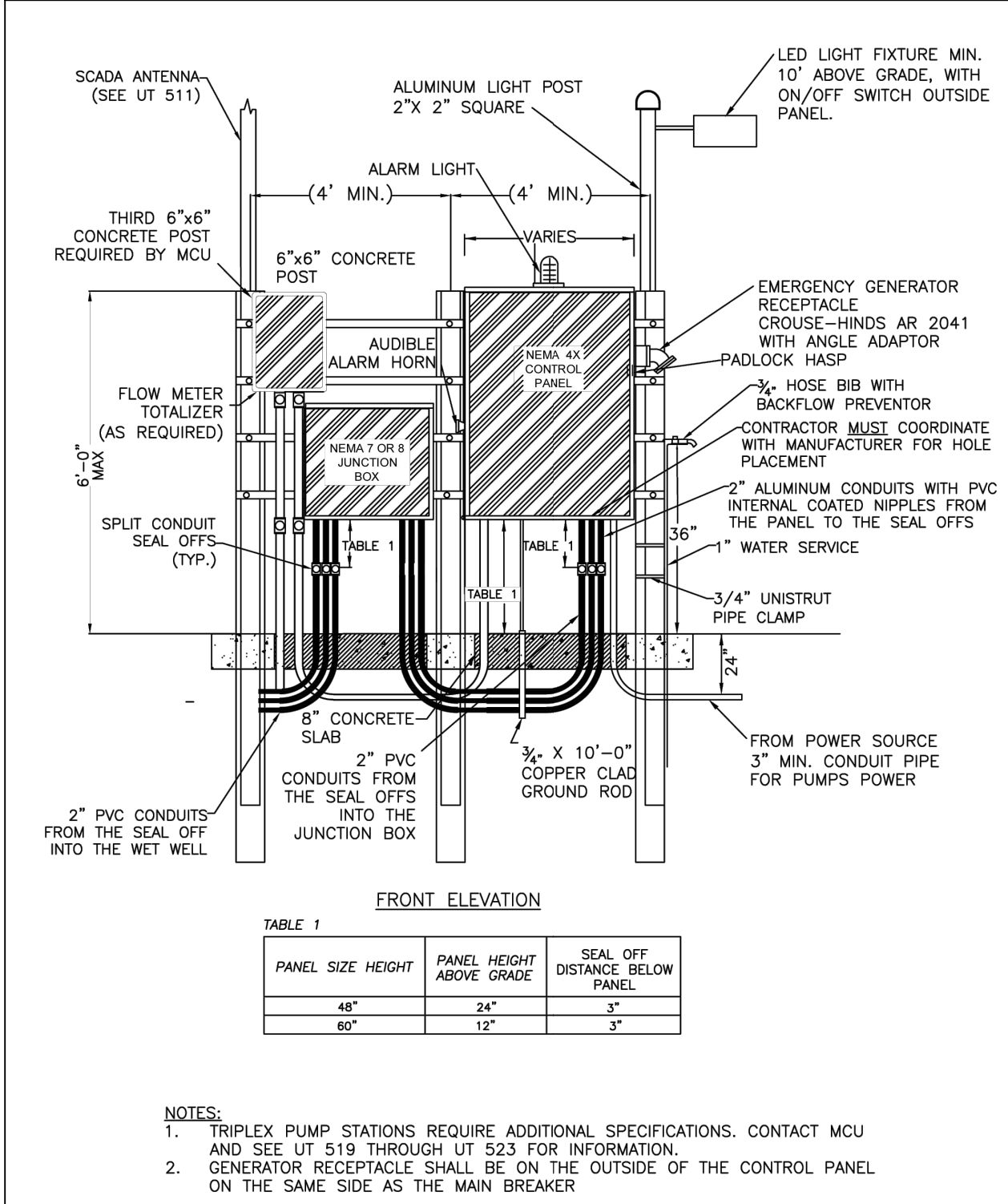


Diagram illustrating the installation of a backflow preventer. The device is shown installed in a trench, with the meter box and backflow preventer components labeled. The diagram includes a dashed line for the PROPERTY LINE, a solid line for the FINISH GRADE, and a label for the BACKFLOW PREVENTER. A note indicates 'SEE NOTE 6' for further details. The backflow preventer is shown with a union and a backflow preventer valve.



A



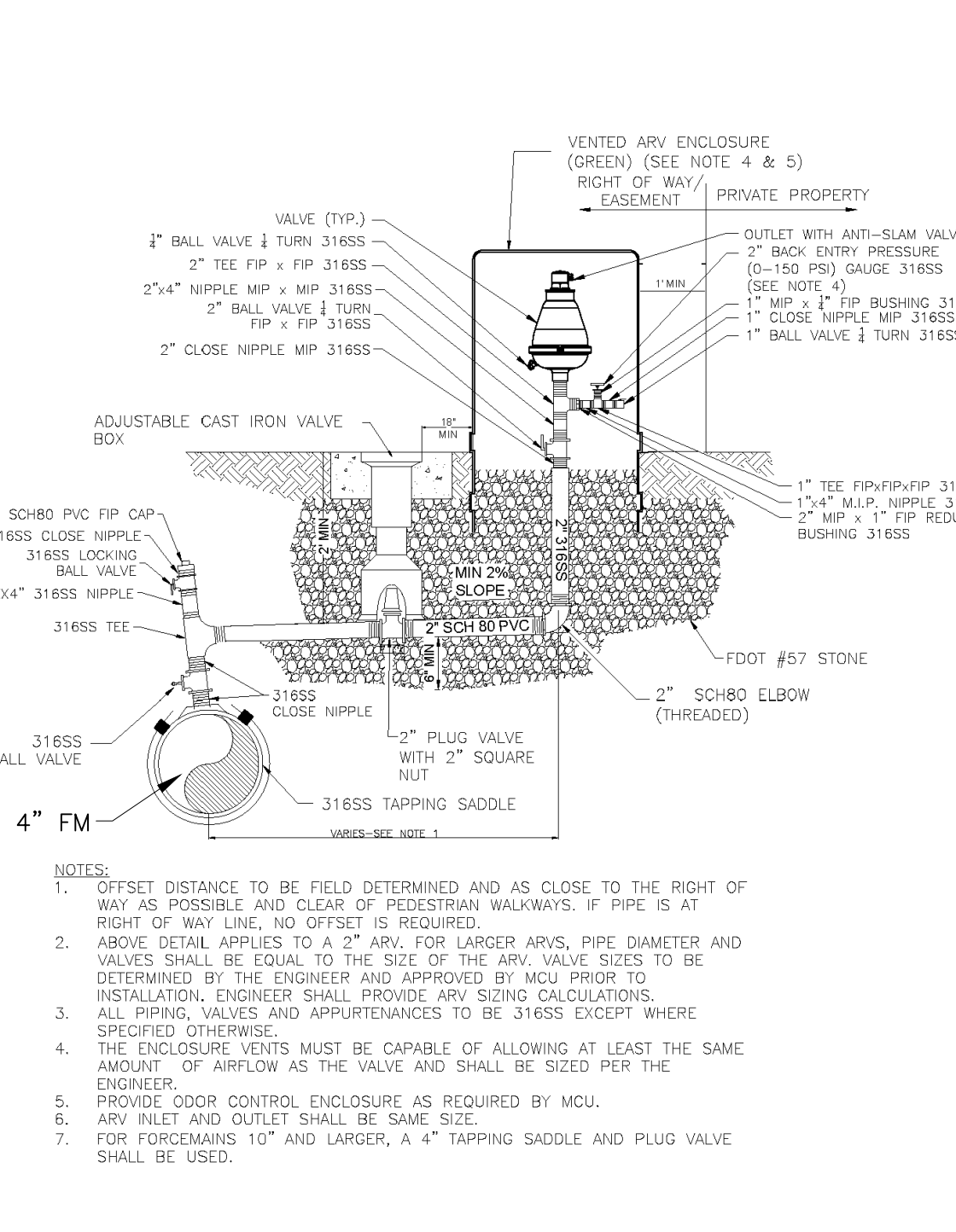
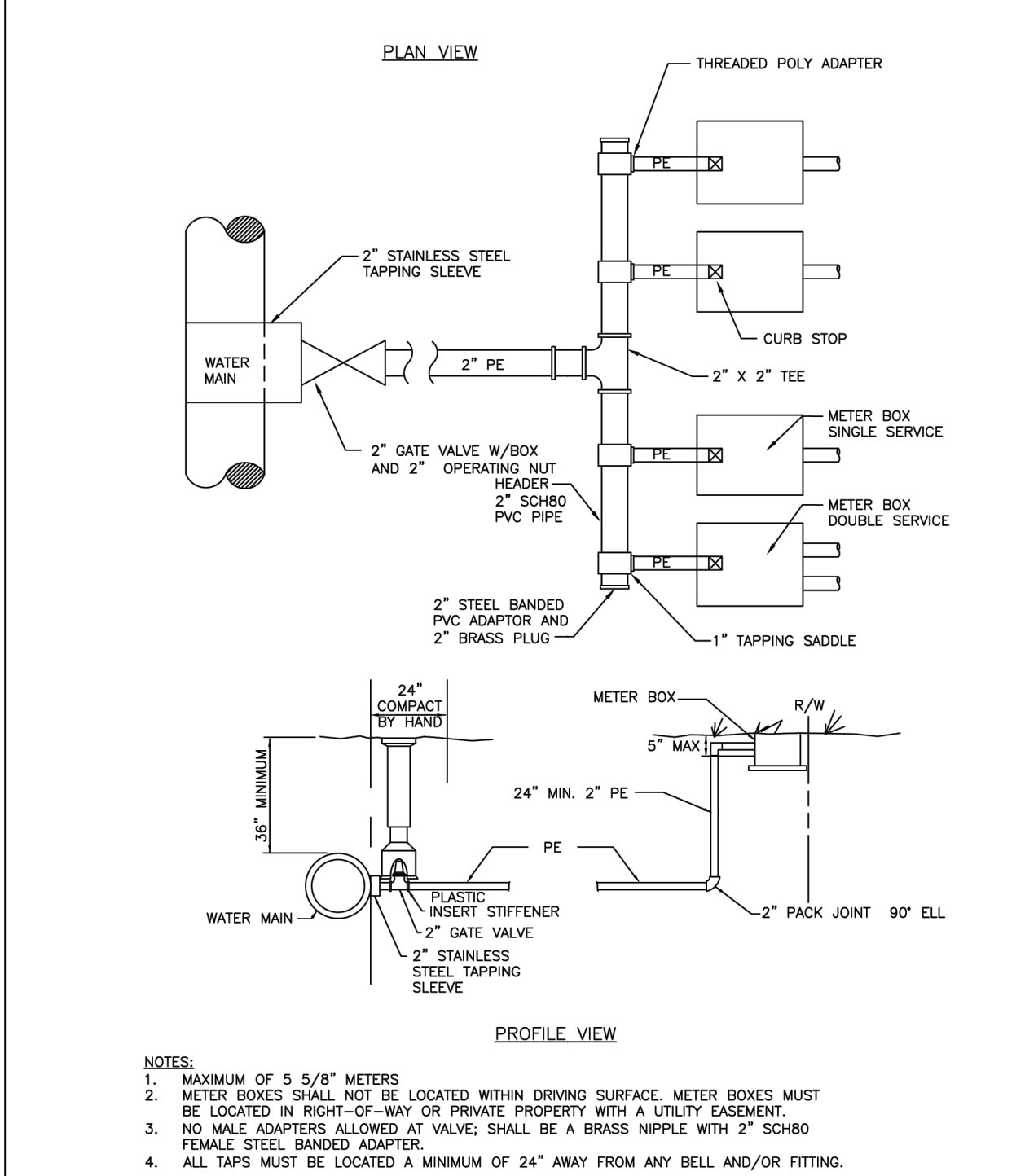


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	REVISION # 1	UT 509	

	MCBCC EFFECTIVE 04/13/2023	SERVICE PEDESTAL 2 OF 3	7.3.2
	REVISION # 1	UT 510	

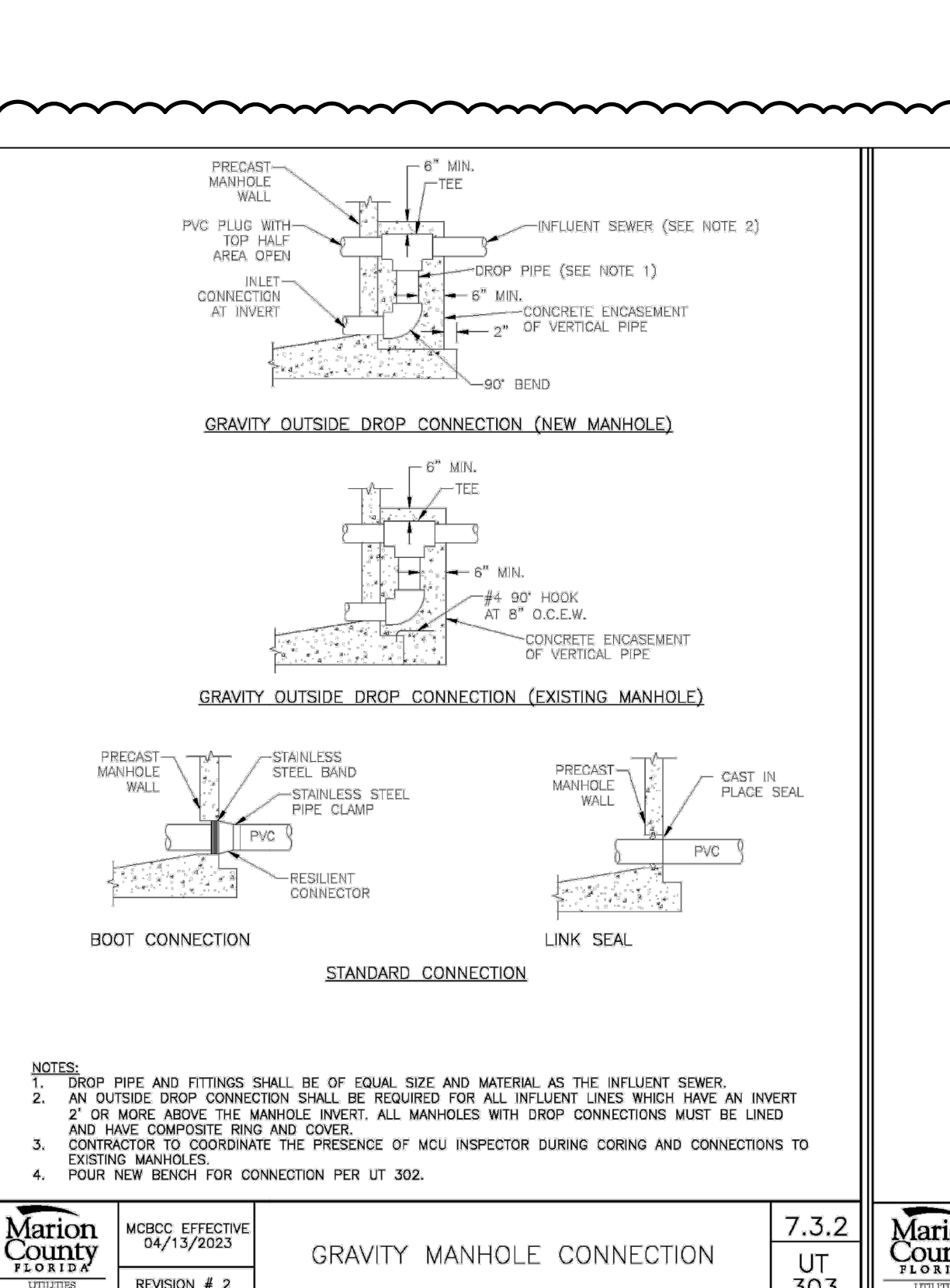
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	REVISION # 1	UT 511	

	MCBCC EFFECTIVE 04/13/2023	AIR OR COMBINATION AIR RELEASE VALVE IN VAULT, SEWER	7.3.2
	REVISION # 2	UT 308	

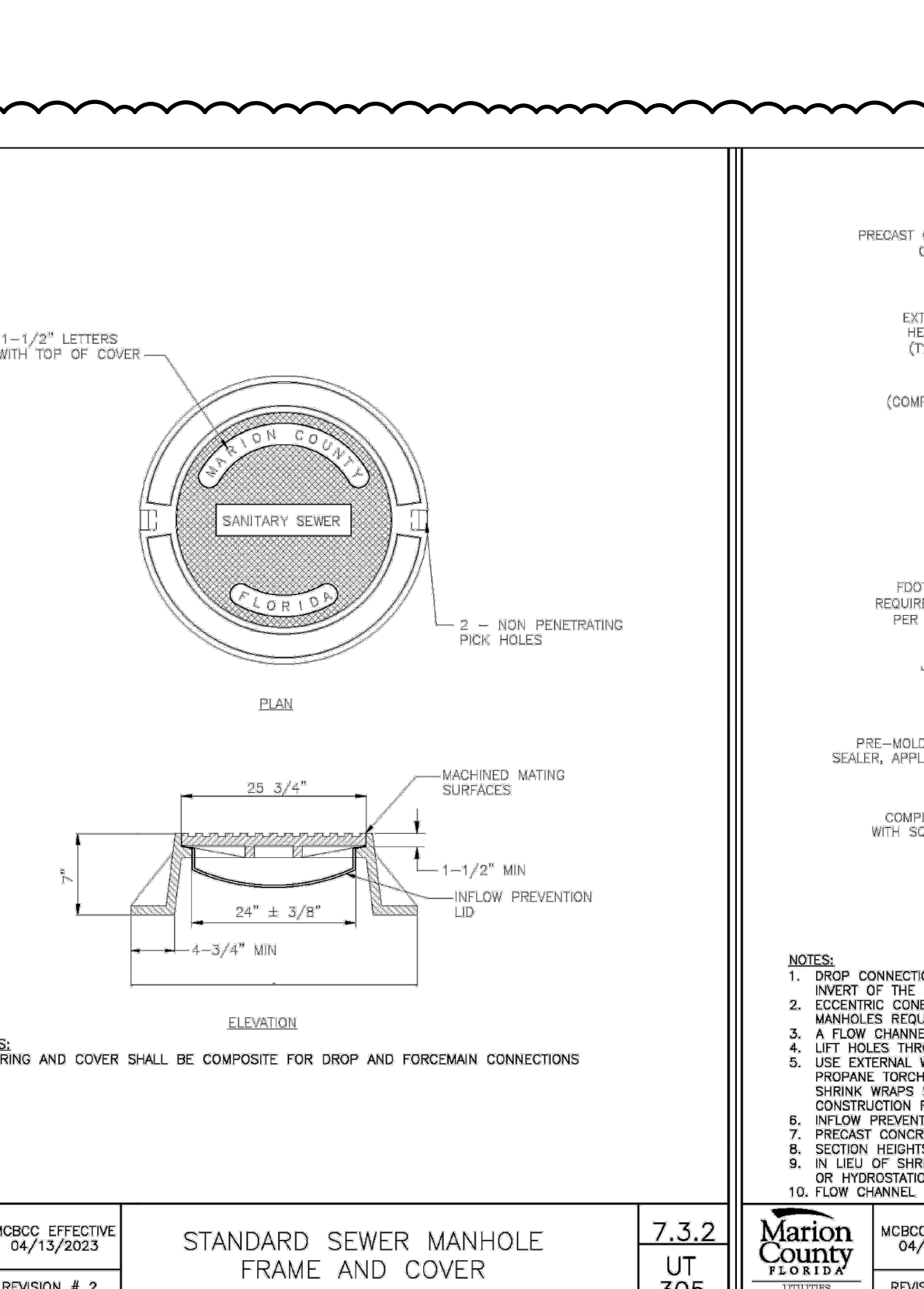


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	REVISION # 1	UT 202	

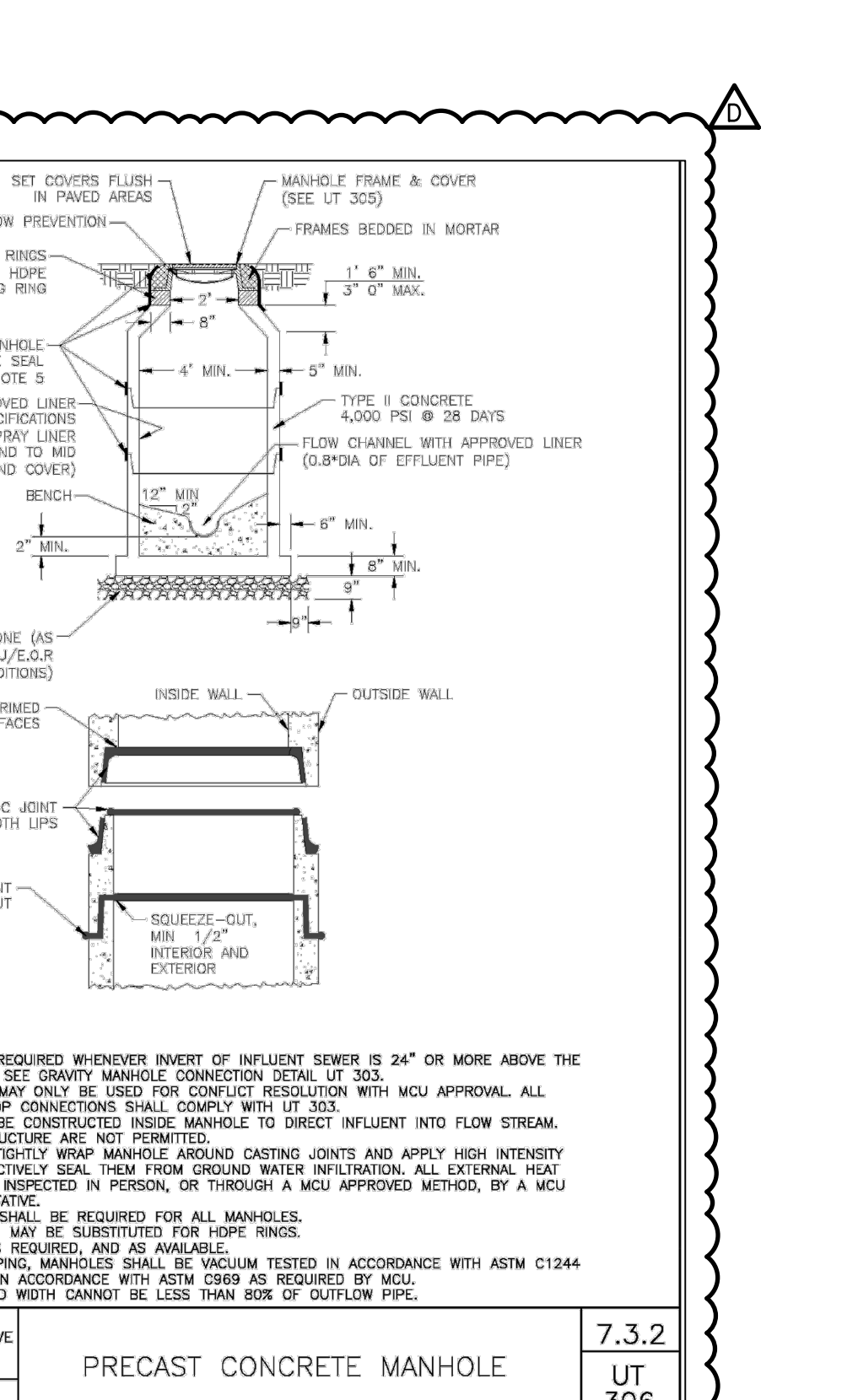
	MCBCC EFFECTIVE 04/13/2023	ABOVE GROUND AIR OR COMBINATION AIR RELEASE VALVE AND ENCLOSURE ASSEMBLY	7.3.2
	REVISION # NA	UT 316	



	MCBCC EFFECTIVE 04/13/2023	GRAVITY MANHOLE CONNECTION	7.3.2
	REVISION # 2	UT 303	



	MCBCC EFFECTIVE 04/13/2023	STANDARD SEWER MANHOLE FRAME AND COVER	7.3.2
	REVISION # 2	UT 305	



	MCBCC EFFECTIVE 04/13/2023	PRECAST CONCRETE MANHOLE	7.3.2
	REVISION # 2	UT 306	

CONSULTANT

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PROJECT TITLE

A MAJOR SITE PLAN FOR
NEXT DIMENSION
CONSTRUCTION
100 S US HIGHWAY 441
SUMMERFIELD, FLORIDA 34491

SHEET TITLE

DETAILS

CLIENT INFORMATION

NEXT DIMENSION CONSTRUCTION, INC.
13624 SE HIGHWAY 441
SUITE 101
SUMMERFIELD, FLORIDA 34491
(352) 857-1469

SUBCONSULTANTS

ENGINEER OF RECORD

Barry Edward Ginn, P.E.
FLORIDA PROFESSIONAL ENGINEER
FLP NUMBER 54595

ISSUE DATE

August 14, 2023

PROJECT NUMBER

2024-230

REVISIONS

DATE	DESCRIPTION
11/23	MC COMMENTS
5/25	MC COMMENTS
8/25	FDEP COMMENTS

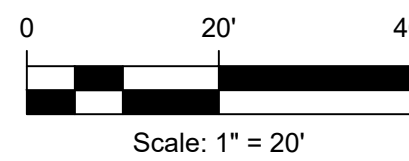
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C504

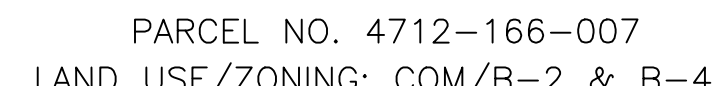
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16 OF 17

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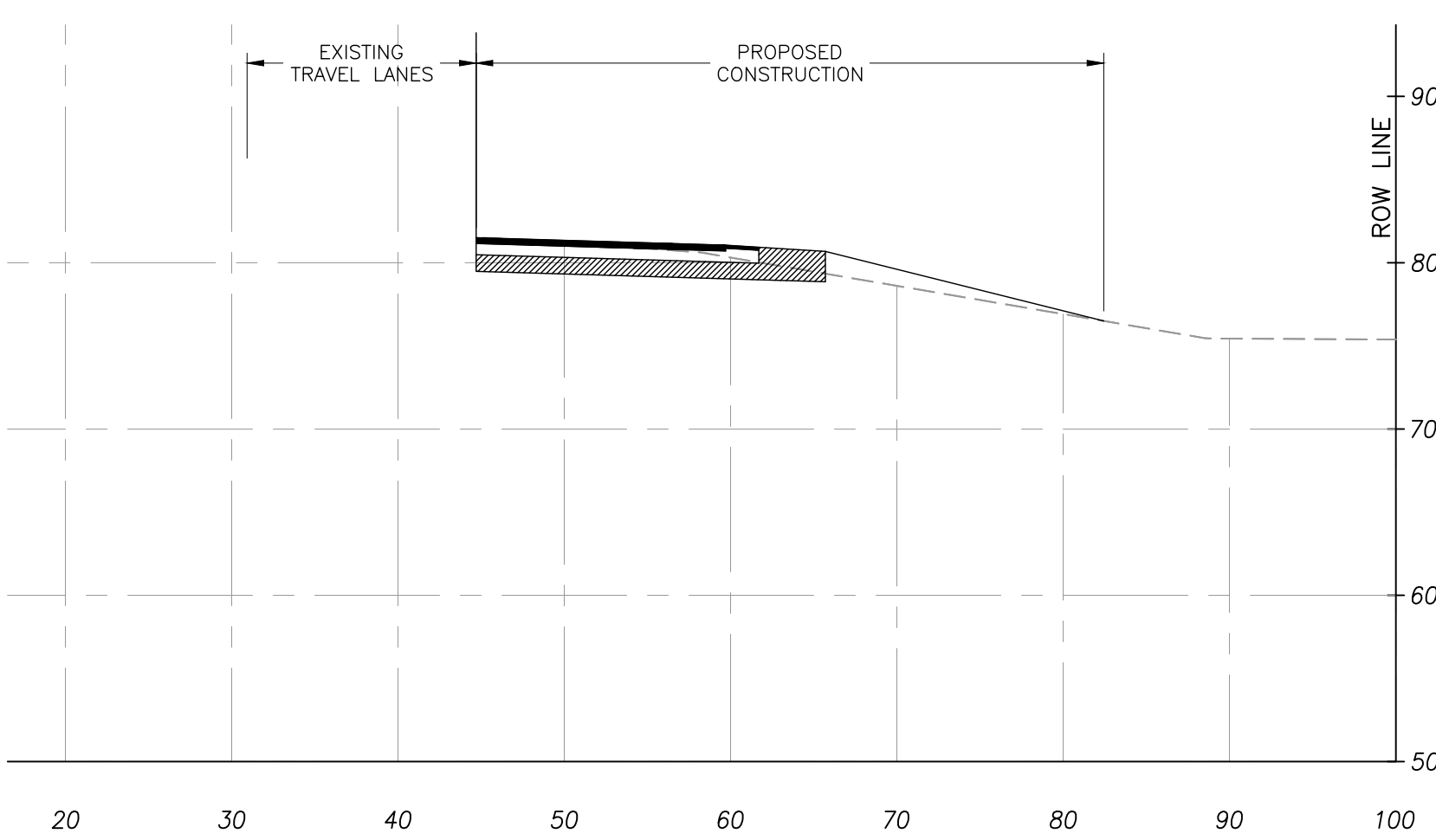


THBOUND LANES -

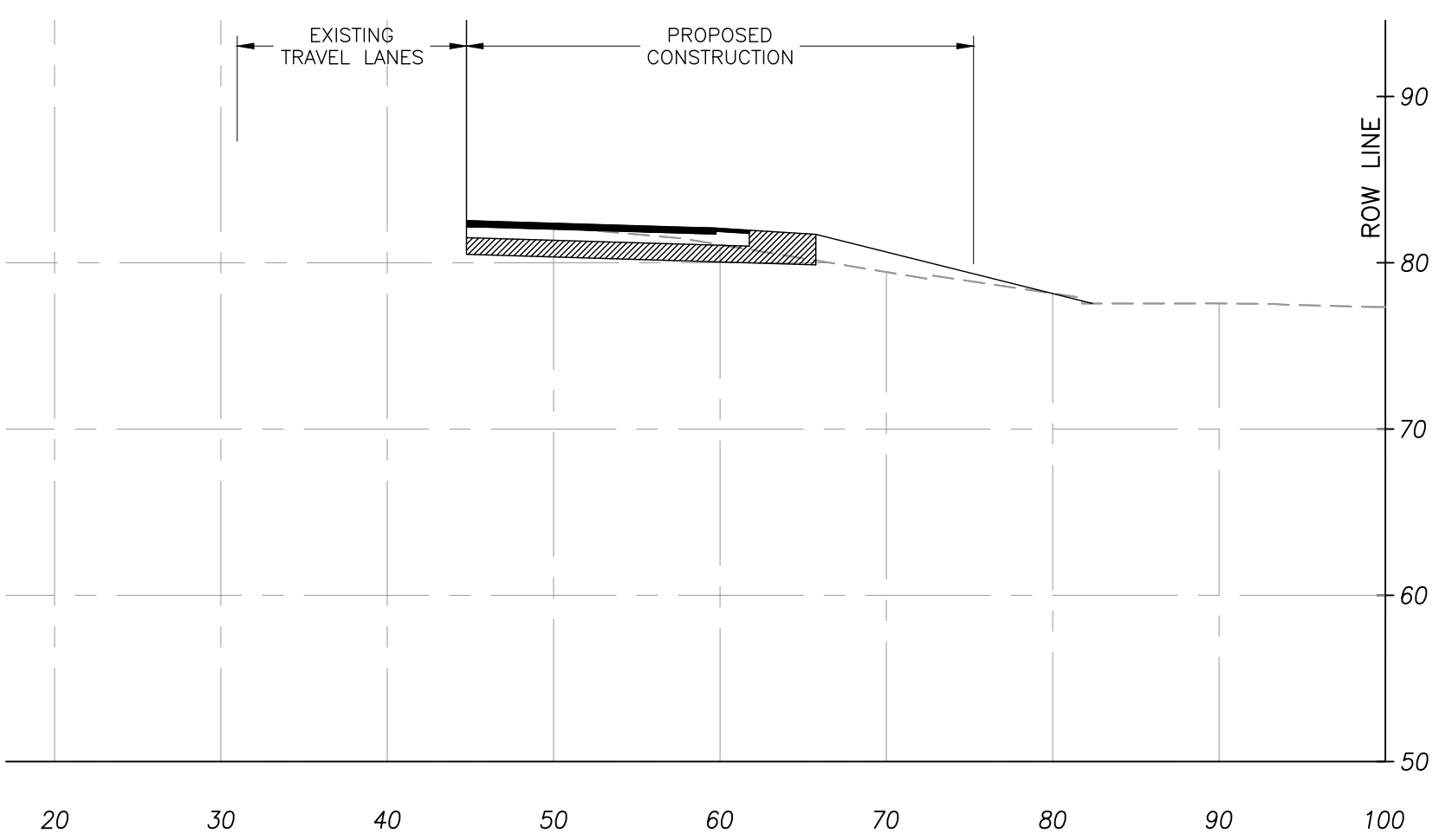
**FDOT PAVEMENT SECTION**

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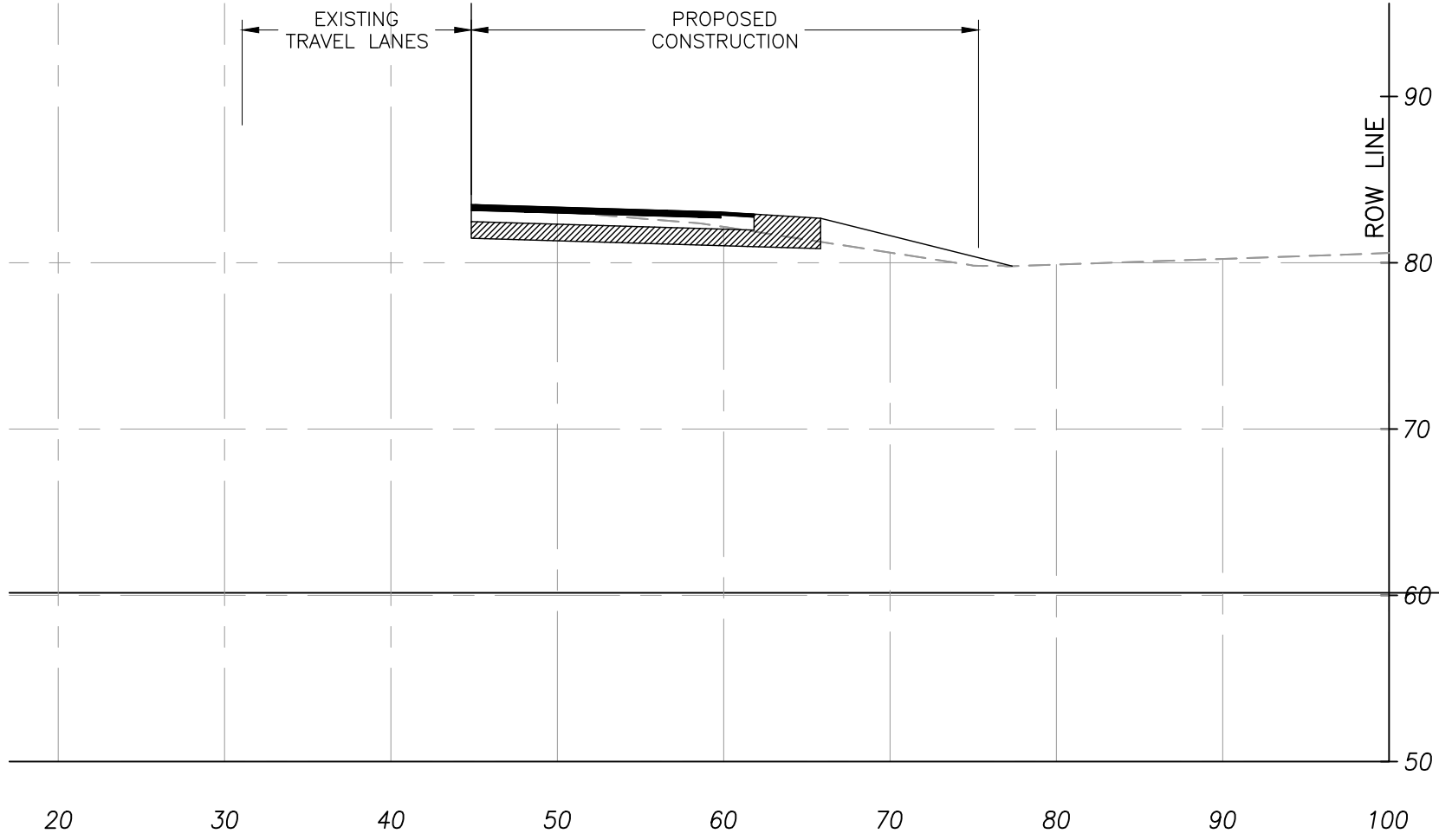
17A OF 17



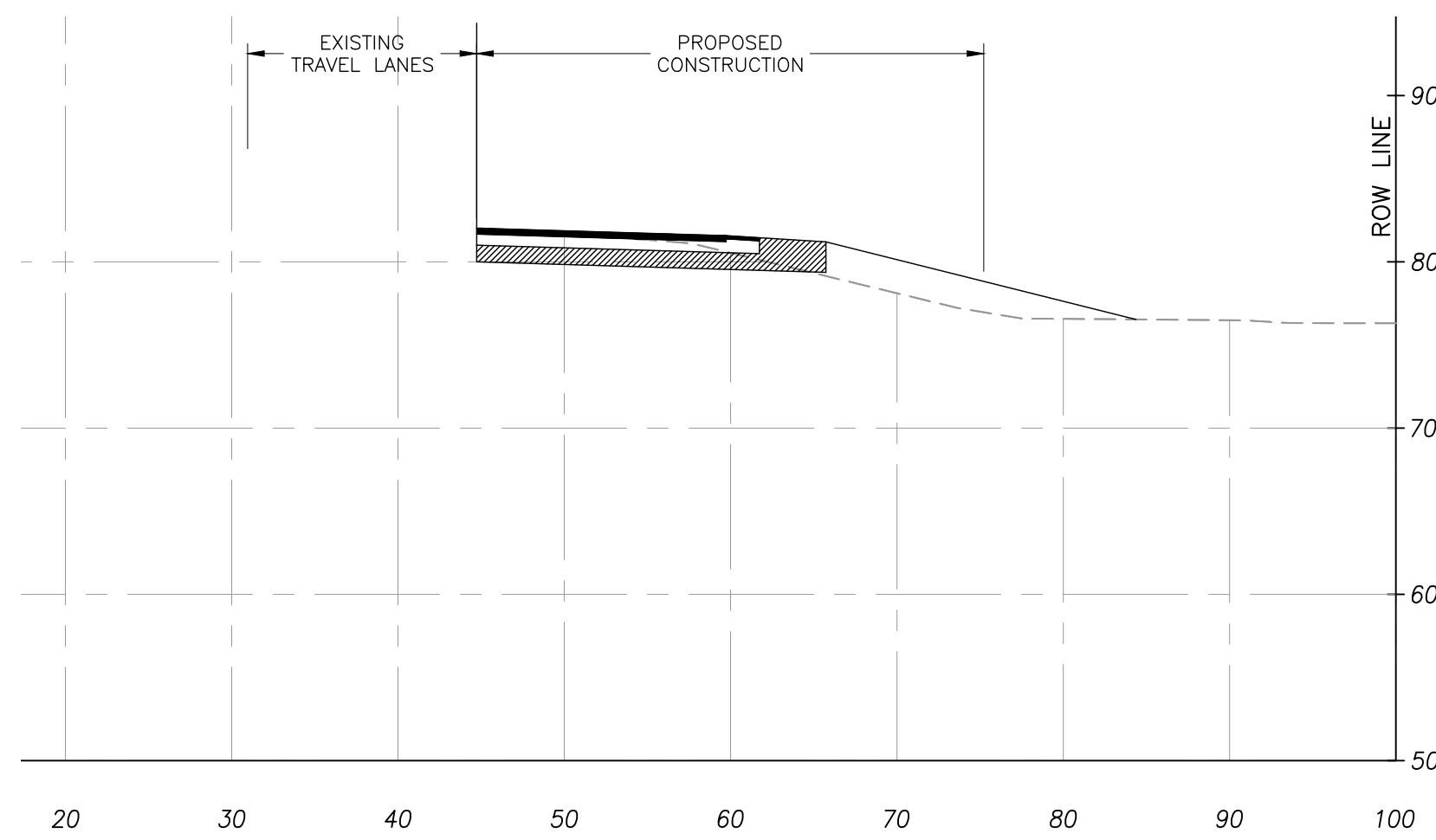
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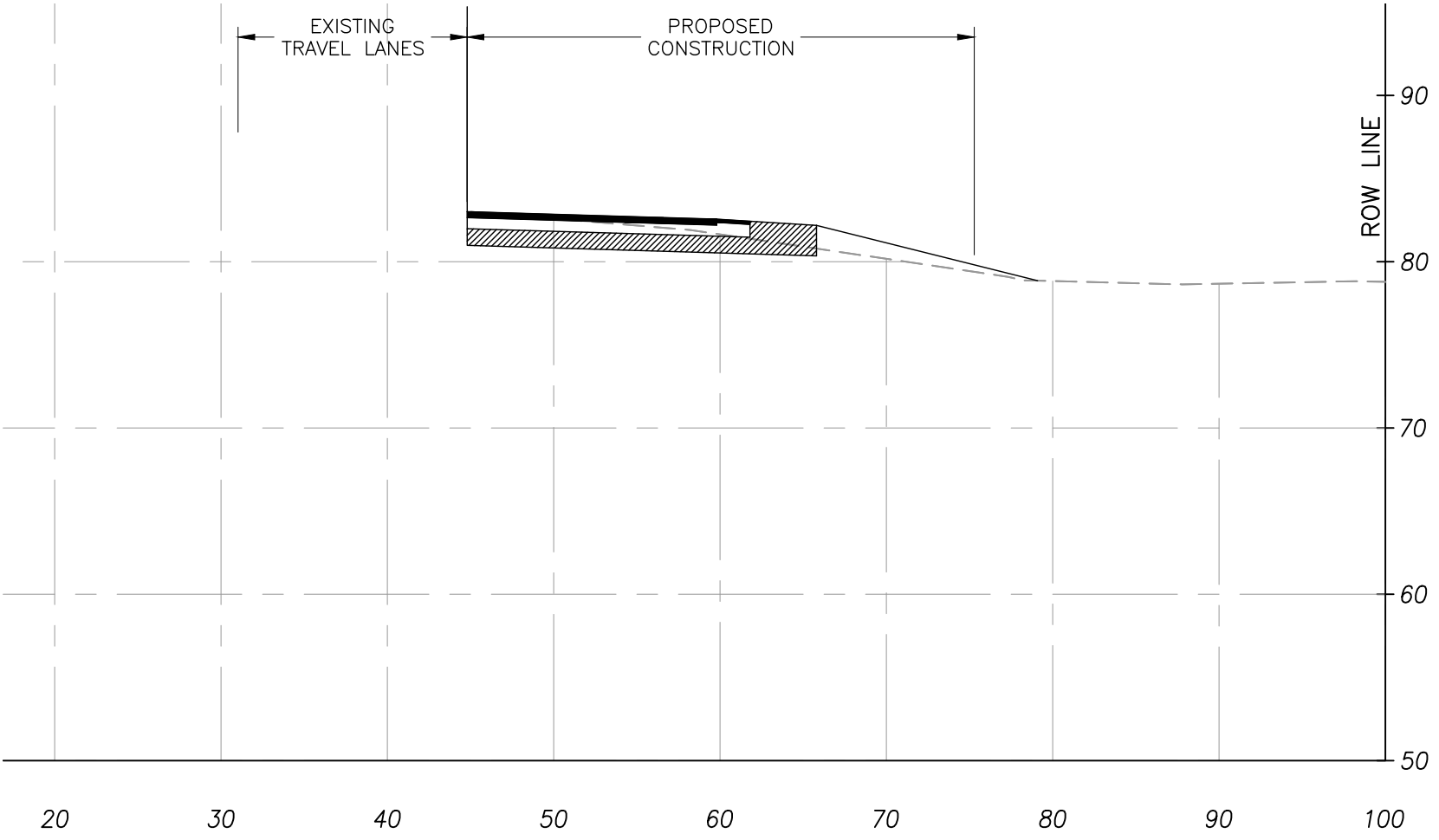
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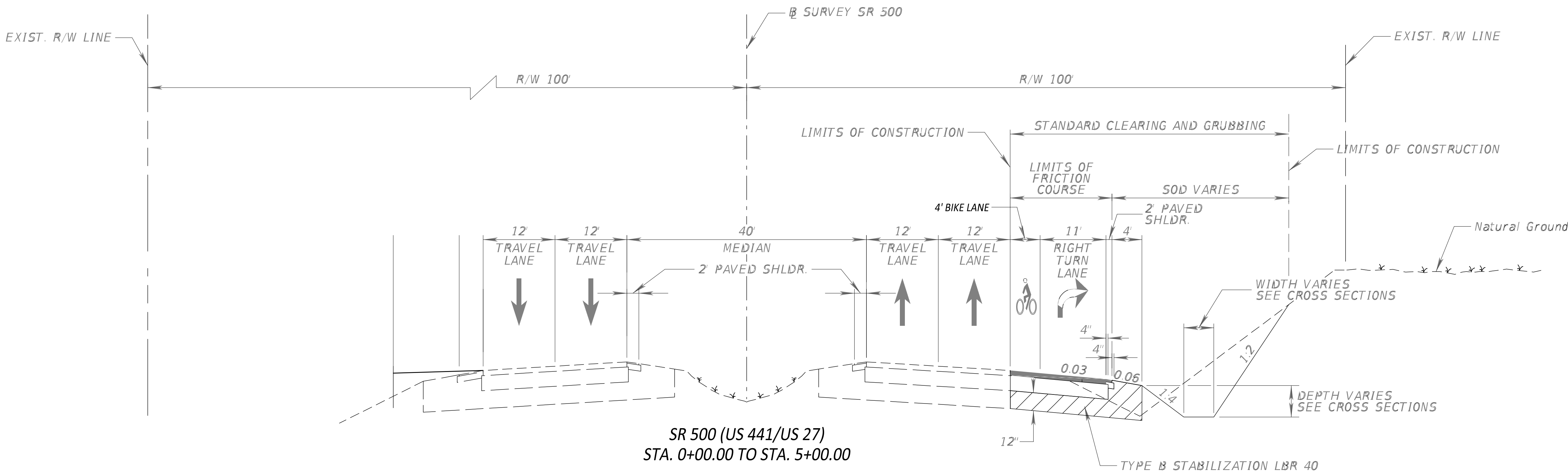
SECTION STA. 5+00



SECTION STA. 3+50



SECTION STA. 4+50



WIDENING

OPTIONAL BASE GROUP 9 WITH
TYPE SP STRUCTURAL COURSE (LEVEL C) (3 1/2")
AND FRICTION COURSE FC-5 (3/4") (PG 76-22)

SHOULDER PAVEMENT

OPTIONAL BASE GROUP 1 WITH
TYPE SP STRUCTURAL COURSE (LEVEL C) (1 1/2")
AND FRICTION COURSE FC-5 (3/4") (PG 76-22)

TYPICAL TURN LANE
SECTION

CONSULTANT

Infinite Engineering

240 SW 8TH STREET, SUITE A
OCALA, FLORIDA 34471
(352) 257-1480
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CERT. OF AUTH. # 33000

PROJECT TITLE

**A MAJOR SITE PLAN FOR
NEXT DIMENSION
CONSTRUCTION
TBD S US HIGHWAY 441
SUMMERFIELD, FLORIDA 34491**

SHEET TITLE

**FDOT
TURN LANE**

CLIENT INFORMATION

NEXT DIMENSION CONSTRUCTION, INC.
13624 SE HIGHWAY 441
SUITE 101
SUMMERFIELD, FLORIDA 34491
(352) 857-1469

SUBCONSULTANTS

ENGINEER OF RECORD

BARRY EDWARD GINN
LICENSE
No. 54595
STATE OF FLORIDA
PROFESSIONAL ENGINEER

BARRY EDWARD GINN, P.E.
FLORIDA PROFESSIONAL ENGINEER
FL PE NUMBER 54595

ISSUE DATE

August 14, 2023

PROJECT NUMBER NUMBER

2024-230

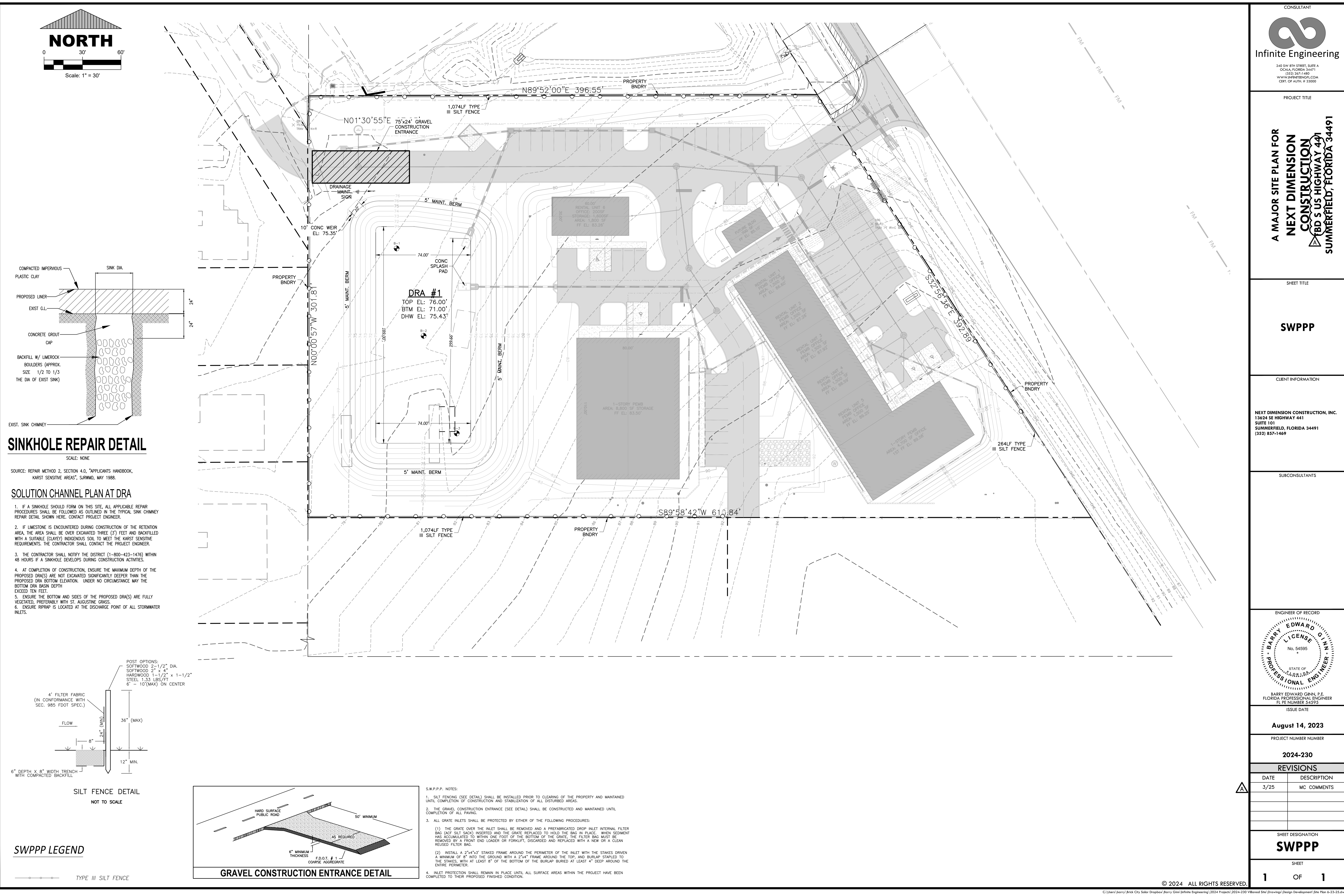
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DATE	DESCRIPTION
3/25	MC COMMENTS
5/25	MC COMMENTS
7/25	FDOT TURN LANE

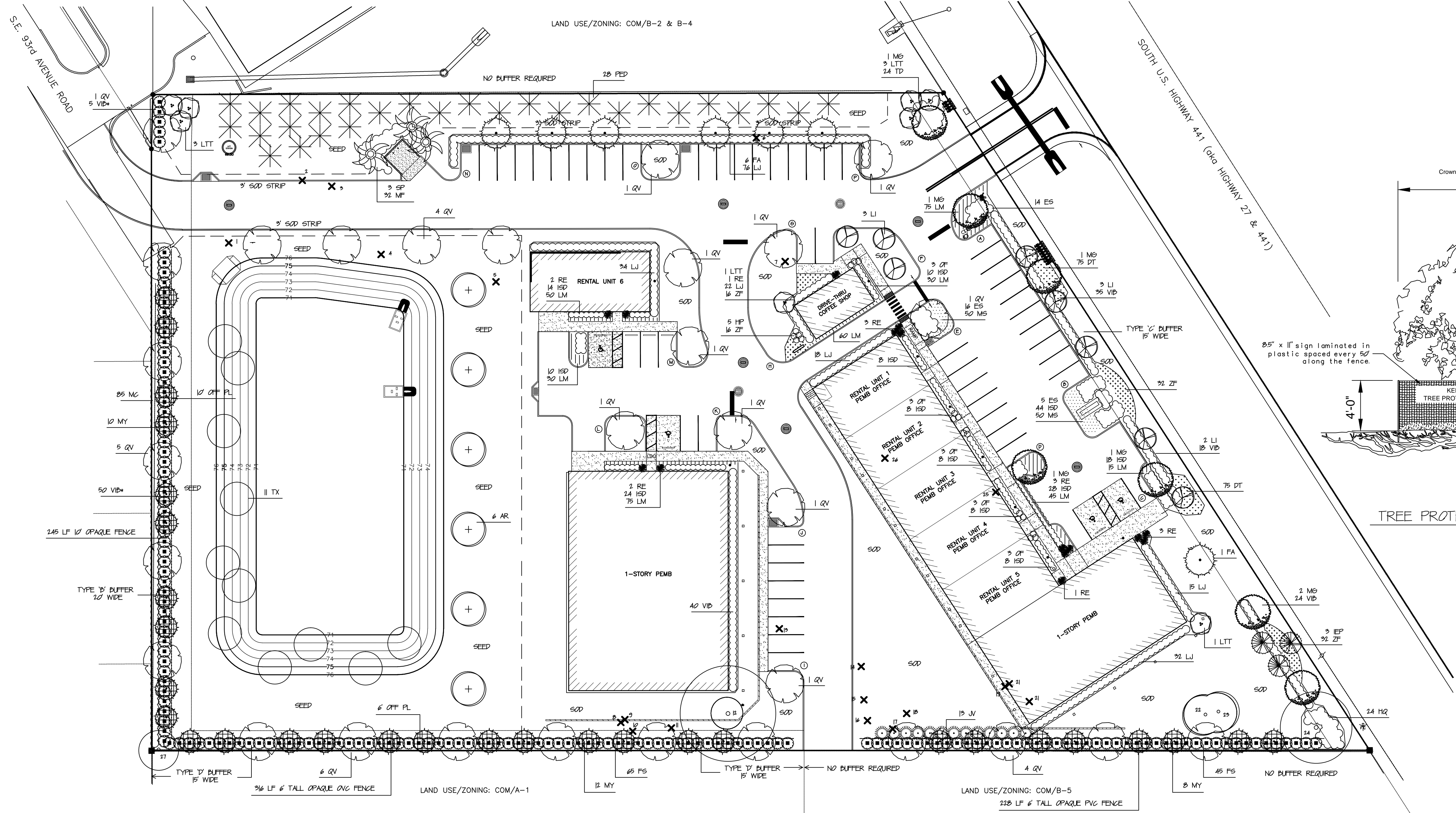
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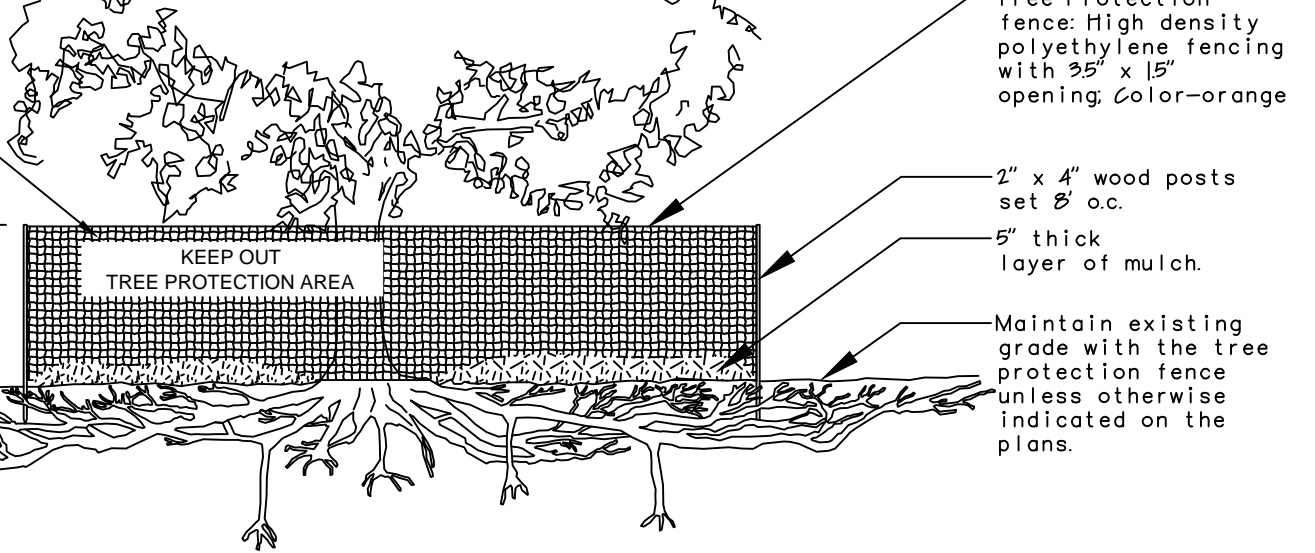
SHEET

17B OF 17





Notes:
1- See specifications for additional tree protection requirements.
2- No pruning shall be performed except as approved by a Certified Arborist.
3- No equipment shall operate inside the protective fencing including during fence installation and removal.
4- See site preparation plan for any modifications with the Tree Protection area.



TREE LIST	
1 18" OAK	14 12" OAK
2 22" OAK	15 12" CHERRY
3 22" OAK	16 16" OAK
4 22" OAK	17 12" OAK
5 18" OAK	18 12" OAK
6 18" OAK	19 12" OAK
7 18" OAK	20 12" OAK
8 18" OAK	21 12" OAK
9 18" OAK	22 12" OAK
10 18" OAK	23 12" OAK
11 18" OAK	24 12" OAK
12 18" OAK	25 12" OAK
13 18" OAK	26 12" OAK
14 18" OAK	27 12" OAK
15 18" OAK	

LANDSCAPE MATERIAL LIST

SHADE TREES		
6 AR	ACRE RUBRUM FLORIDA FLAME	FLORIDA MAPLE
7 FA	FRAXINUS ALBA	AMERICAN ASH
7 MS	MAGNOLIA GRANDIFLORA 'DDBLANCHARD'	SOUTHERN MAGNOLIA
28 PED	PINUS ELLIOTTI DENSE	SILVER PINE
30 QV	QUERCUS VIRGINIANA	LIVE OAK
11 TX	TAXODIUM DISTICHUM	BLACK CYPRESS
ORNAMENTAL TREES		
3 IEF	ILEX ATTENUATA 'EAST PALATKA'	EAST PALATKA HOLLY
8 LI	LAGERSTROEMIA INDICA 'NATCHEZ'	GRAPE MYRTLE
8 LIT	LIGUSTRUM JAPONICA TREE-TYPE	PRIVET TREE
8 MY	MYRTICA CERIFERA	WAX MYRTLE
8 PF	SABEL PALM	FLORIDA PALM
SHRUBS		
35 ES	ERAGROSTIS SPECTABILIS	PURPLE LOVE GRASS
35 FS	FORESTIERA SEGREGATA	FLORIDA PRIVET
5 HP	HAMELIA PATENS	FIRE BUSH
34 LV	LYRORHIZA GLEUCIFOLIA	ORANGE HYDRANGEA
34 LV	LYRORHIZA VIRGINIANA	RED CEDAR
181 LJ	LIGUSTRUM JAPONICA	PRIVET
182 MF	MICRANTHUS FRANGENS	SIMPSON'S STOPPER
182 OF	OSMANTHUS FRANGENS	TEA OLIVE
182 RE	RHAPIS EXCELSA	LADY PALM
182 TD	TRIFOLIUM DASYLOIDES	FLORIDA PALM
177 VIB	VIBURNUM OBOVATUM	SWEET VIBURNUM
55 VIB	VIBURNUM OBOVATUM	SWEET VIBURNUM
GRANDCOVERS		
180 DT	DANIELLA TASMANICA	FLAX LILY
180 ISD	ILEX STOKES DWARF	DWARF HOLLY
280 LM	LIRIOPE MUSCARI 'BIG BLUE'	BORDER GRASS
180 MS	MIMOSA STROBILLOSA	SUNSHINE MIMOSA
34 ZF	ZAMIA FLORIDANA	COOTIE

LANDSCAPE / OPEN SPACE

TOTAL PROJECT AREA	=	166,071 SF (3.8 AC)
LANDSCAPE AREA REQUIRED	=	33,214 SF (2.0%)
LANDSCAPE AREA PROVIDED	=	71,364 SF (BRA N/A)
TREE PRESERVATION / MITIGATION		
TOTAL EXISTING TREES	=	27
TOTAL EXISTING HARDWOODS	=	35
TOTAL EXISTING INCHES	=	410' (1045' / AC)
PRESERVATION REQUIRED	=	3613' (100' / AC)
PRESERVATION PROVIDED	=	17'
REPLACEMENT INCHES REQUIRED	=	3596'
REPLACEMENT INCHES PROVIDED	=	315'

LANDSCAPE ISLANDS

LANDSCAPE ISLANDS REQUIRED	=	4,398 SF	(10%)
LANDSCAPE ISLANDS PROVIDED	=	6,392 SF	
A 460 SF	I 400 SF		
B 414 SF	J 360 SF		
C 216 SF	K 336 SF		
D 410 SF	L 360 SF		
E 414 SF	M 364 SF		
F 619 SF	N 378 SF		
G 924 SF	O 360 SF		
H 480 SF	P 360 SF		

BUFFER CALCULATIONS

EAST BUFFER - 357 LF, TYPE 'C', 15' WIDE, 5355 SF	
SHADE TREES REQUIRED	= 71 (2 / 100 LF)
SHADE TREES PROVIDED	= 8 (1 EX, 1 FA, 6 MS)
ORNAMENTAL TREES REQUIRED	= 107 (3 / 100 LF)
ORNAMENTAL TREES PROVIDED	= 11 (3 EX, 5 LI, 3 LIT)
LANDSCAPE AREA REQUIRED	= 2678 SF (50%)
LANDSCAPE AREA PROVIDED	= 2854 SF

SOUTH BUFFER - 330 LF, TYPE 'D', 15' WIDE, 4950 SF

SHADE TREES REQUIRED	= 66 (2 / 100 LF)
SHADE TREES PROVIDED	= 7 (1 EX, 6 QV)
ORNAMENTAL TREES REQUIRED	= 29 (3 / 100 LF)
ORNAMENTAL TREES PROVIDED	= 12 (1 EX, 11 MY)
LANDSCAPE AREA REQUIRED	= 1258 SF (25%)
LANDSCAPE AREA PROVIDED	= 1260 SF
6' TALL OPAQUE PVC FENCE - 6' OFF PROPERTY LINE	
SEE APPROVED WAIVER FROM 8/10/14	

WEST BUFFER - (318 - 24) 294 LF, TYPE 'B', 10' WIDE, 6040 SF

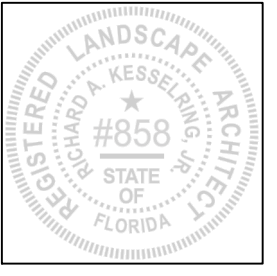
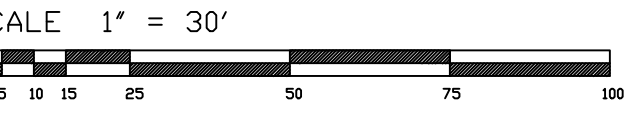
SHADE TREES REQUIRED	= 60 (2 / 100 LF)
SHADE TREES PROVIDED	= 7 (1 EX, 6 QV)
ORNAMENTAL TREES REQUIRED	= 91 (3 / 100 LF)
ORNAMENTAL TREES PROVIDED	= 19 (3 LIT, 12 MY)
LANDSCAPE AREA REQUIRED	= 3,020 SF (50%)
LANDSCAPE AREA PROVIDED	= 3,020 SF
10' TALL OPAQUE FENCE - 10' OFF PROPERTY LINE	
SEE APPROVED WAIVER FROM 8/10/14	

BUILDING LANDSCAPE

BUILDING FRONTAGE	=	230 LF
LANDSCAPE AREA REQUIRED	=	198 LF (60%)
LANDSCAPE AREA PROVIDED	=	220 LF

NATIVE PLANTS

TOTAL PLANT MATERIAL	=	1743
NATIVE PLANTS REQUIRED	=	436 (25% INSIDE UGB)
NATIVE PLANTS PROVIDED	=	434



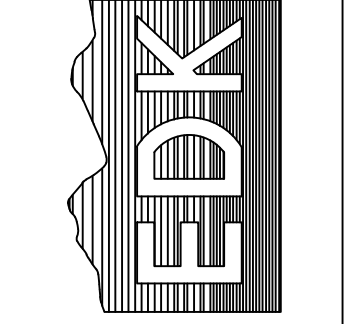
DIGITALLY SIGNED
RICHARD A. KESSELRING
JR., LA
DATED: 2025.03.20
15:04:15

RICHARD A. KESSELRING JR., PLA, ASLA
LANDSCAPE ARCHITECT, STATE OF FLORIDA #858

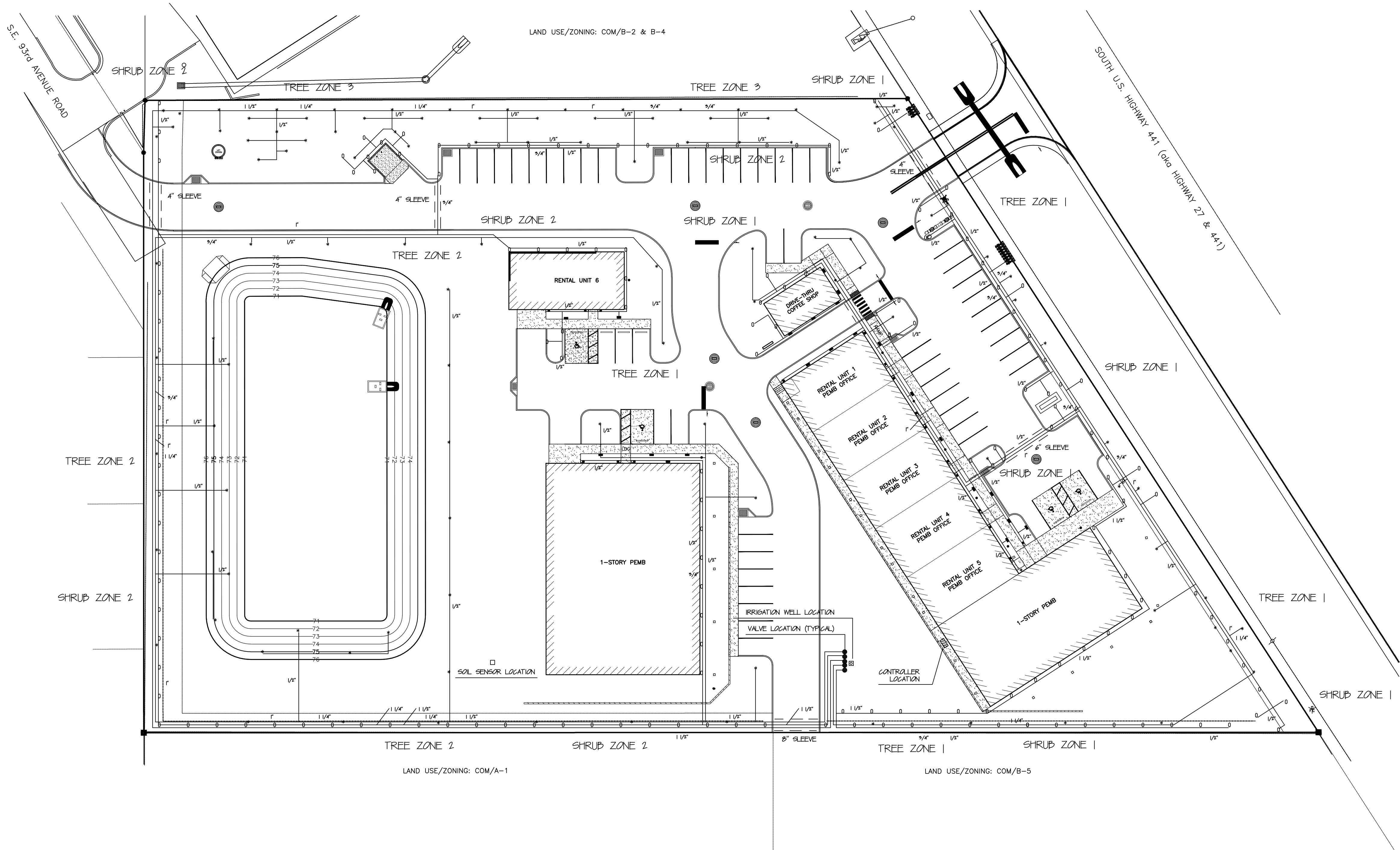
DATE	NO.	DATE	DESCRIPTION
8 / 23	1	9 / 25	NEW LAYOUT
	2	4 / 24	COUNTY COMMENTS

DRAWN BY: RAK	DATE: 8 / 23
SCALE: 1" = 30'	DRAWING NO.: NEW NAME:
JOB NO.:	PG. NO.:

ENVIRONMENTAL DESIGN ARCHITECT
ANDY KESSELRING, LANDSCAPE ARCHITECT
1920 SE 8th STREET
OCALA, FLORIDA 34478
(352) 622-8899
LANDSCAPE ARCHITECTURE, SITE PLANNING,
GOLF COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN



LANDSCAPE PLAN
NEXT DIMENSION CONSTRUCTION
SUMMERFIELD FLORIDA



IRRIGATION LEGEND

- HUNTER MP 1000 SERIES POP-UP SPRAY HEADS
- HUNTER MP 1000 SERIES POP-UP SIDE-SPRAY HEADS
- * HUNTER P&D SERIES BUBBLER HEADS FOR TREES
- SOIL SENSOR LOCATION
- 4" IRRIGATION WELL W/ 5 HP PUMP
- ☒ HUNTER X-CORE (4 STATION) CONTROLLER
- 2" NELSON VALVES IN WATER-RESISTANT BOXES
- == SLEEVING - SCH 40 P.V.C.

IRRIGATION ZONE DATA

TREE ZONE 1 = 41.0 GPM
TREE ZONE 2 = 30.0 GPM
TREE ZONE 3 = 43.0 GPM
SHRUB ZONE 1 = 33.6 GPM
SHRUB ZONE 2 = 32.3 GPM

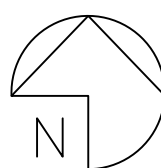
108.4 GPM x 15 = 1626 GPD
2 = 562 GPM / 7 = 807 GPD

GPM = GALLONS PER MINUTE
GPR = GALLONS PER ZONE RUN TIME
GPD = GALLONS PER DAY
GPD = GALLONS PER DAY



DIGITALLY SIGNED
RICHARD A. KESSELRING JR., L.A.
DATED: 2025.03.20
1506415

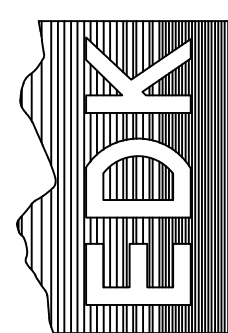
SCALE 1" = 30'



RICHARD A. KESSELRING JR., PLA, ASLA
LANDSCAPE ARCHITECT, STATE OF FLORIDA #858

IRRIGATION PLAN
NEXT DIMENSION CONSTRUCTION
SUMMERFIELD FLORIDA

ENVIRONMENTAL DESIGN
ANDY KESSELRING, LANDSCAPE ARCHITECT
1920 SE. 8th STREET
OCALA, FLORIDA 34478
(352) 622-8899
LANDSCAPE ARCHITECTURE, SITE PLANNING,
GOLF COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN



DRAWN BY: RAK
DATE: 8 / 23
DRAWING NO.:
VIEW NAME:
SCALE: 1" = 30'
JOB NO.:
PG.

NO.	DATE	DESCRIPTION	BY
2	3/25	NEW LAYOUT	RAK
1	4/24	COUNTY COMMENTS	RAK

LANDSCAPE NOTES

1. ALL MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER
2. ALL LANDSCAPE AREAS SHALL BE MULCHED WITH 2" - 3" OF PINE BARK MULCH
3. MULCH SHALL NOT BE INSTALLED ON TOP OF THE ROOT BALLS OF ANY SHADE OR ORNAMENTAL TREES
4. ALL MATERIAL INSTALLED SHALL MEET THE 2015 GRADES AND STANDARDS FOR LANDSCAPE INSTALLATION
5. CERTIFICATION IS REQUIRED FROM THE NURSERY AND/OR THE LANDSCAPE CONTRACTOR THAT THE TREE ROOT BALL HAS BEEN SHAVED PER GRADES AND STANDARDS
6. ALL TREES MUST BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE
7. ALL NEW TREES MUST BE GUIED OR STAKED AS DETAILED
8. EXISTING TREES THAT ARE TO REMAIN MUST BE PROTECTED THROUGHOUT CONSTRUCTION
9. THE LANDSCAPE ARCHITECT SHALL REVIEW WITH THE CONTRACTOR ALL LANDSCAPING THAT IS TO BE DONE AND SHALL IDENTIFY THE SCOPE OF WORK
10. PLACEMENT OF ALL LANDSCAPE MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT
11. ALL LANDSCAPE MATERIAL MUST BE INSTALLED WITH NATIVE PEAT AND SLOW-RELEASE NITROGEN FERTILIZER
12. ALL PALMS SHALL HAVE STRAIGHT, UNBLEMISHED TRUNKS AS APPROVED BY LANDSCAPE ARCHITECT
13. SABEL PALMS MAY BE 'HURRICANE' CUT BUT MUST MAINTAIN A FULL HEALTHY BUD
14. ALL MATERIAL SHALL BE GUARANTEED FOR 30 DAYS FROM THE DATE OF ACCEPTANCE
15. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING IN ALL TREES & PALMS AND REMOVING AIR-POCKETS DURING THE ESTABLISHMENT PERIOD (FIRST 30 DAYS) THE LANDSCAPE CONTRACTOR SHALL APPLY A MINIMUM OF 60 - 80 GPD TO ALL NEW TREES AND PALMS
16. DURING INSTALLATION OF ALL PALMS 'DEWARD' PALM TRANSPLANT SHALL BE APPLIED PER MANUFACTURER'S SPECIFICATIONS AND CONTRACTOR MUST VERIFY THIS TO THE LANDSCAPE ARCHITECT
17. LANDSCAPE CONTRACTOR MUST LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION
18. NO PLANTINGS OR OTHER OBSTRUCTIONS MAY BE WITHIN THE 1' VEHICULAR OVERHANGS AREA
19. ALL NEW SOD SHALL BE ARGENTINE DAWIA INSTALLED WITH NO GAPS OR OVERLAPS
20. JOINTS SHALL BE SANDED AS DIRECTED AND EDGES SHALL BE SHOVEL-CUT AND ROUNDED
21. ALL WIRE / MESH BACKING MUST BE COMPLETELY REMOVED PRIOR TO ANY ACCEPTANCE
22. ALL OTHER DISTURBED AREAS OUTSIDE THE PLANTING BEDS SHALL BE SEEDED WITH ARGENTINE DAWIA SEED MIX
23. SEEDING SHALL BE APPLIED AT 8 LBS / 1000 SF
24. SEED AREAS SHALL BE OVER-MULCHED WITH STRAW OR OTHER ACCEPTABLE MATERIAL
25. SOD AND SEED AREAS SHALL BE WATERED BY THE CONTRACTOR UNTIL ESTABLISHMENT / GERMINATION
26. SOD AND SEED AREAS SHALL BE HAND-RAKED AND ALL ROCKS, STICKS, AND OTHER DEBRIS REMOVED
27. 6' TALL OPAQUE PVC FENCE, FINISHED SIDE OUT, SHALL BE INSTALLED IN SOUTH AND WEST BUFFERS
28. FENCE TYPE TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
29. PLANTING SOIL USED FOR THE BUILDING PLANTERS AND BACKFILLING OF THE LANDSCAPE ISLANDS, ETC., MUST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION. ALL SOIL SHALL BE WEED-FREE, CONTAIN NO STICKS, ROCKS, OR OTHER FOREIGN OBJECTS, AND SHALL BE A MIXTURE OF 40% SAND, 50% LOAM, AND 10% TOP-SOIL
30. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL PLANT MATERIAL, ROOTS, SOIL, AND OTHER LANDSCAPE ITEMS REMOVED FROM THIS SITE
31. THE LANDSCAPE CONTRACTOR MUST PROVIDE AN AS-BUILT OF THE IRRIGATION SYSTEM TO THE LANDSCAPE ARCHITECT PRIOR TO REQUESTING ANY INSPECTIONS AND/OR APPROVALS
32. THE CONTRACTOR SHALL KEEP THE SITE CLEAN OF ALL DEBRIS, SEDIMENT, DIRT, ETC., AND ENSURE THAT THAT DRAINAGE SYSTEM REMAINS CLEAR AND THAT PEDESTRIAN WAYS ARE NOT BLOCKED
33. DO NOT PLANT NEW TREES TOO DEEP. UNCOVER THE TRUNK FLARE AND SET THIS AT OR ABOVE THE SURROUNDING SOIL LEVEL
34. REMOVE ANY TREE WRAP FROM AROUND THE TRUNK OF NEW TREES TO BE INSTALLED
35. ALL NEW TREES AND SHRUBS MUST MEET THE 'AMERICAN STANDARDS FOR NURSERY STOCK' (ANSI 260)
36. LANDSCAPE ARCHITECT MAY REQUIRE PRUNING OF NEW TREES AFTER INSTALLATION IF IT IS DETERMINED THAT THE TREES NEED A SINGLE DOMINANT LEADER ESTABLISHED OR CLUSTER BRANCHES REMOVED
37. ALL PLANT MATERIAL MUST MEET ALL OF THE SIZE SPECIFICATIONS, NOT JUST THE CONTAINER SIZE
38. HAVING THE LANDSCAPE ARCHITECT APPROVAL OF PLANT PLACEMENT IS ESSENTIAL FOR ACCEPTANCE
39. ALL SIZE SPECIFICATIONS SHOWN ON THE MATERIAL LIST ARE FOR THE HEIGHT OF THE MATERIAL UNLESS OTHERWISE NOTED. MEASUREMENT SHALL BE AS PER THE CURRENT INDUSTRY GRADES AND STANDARDS

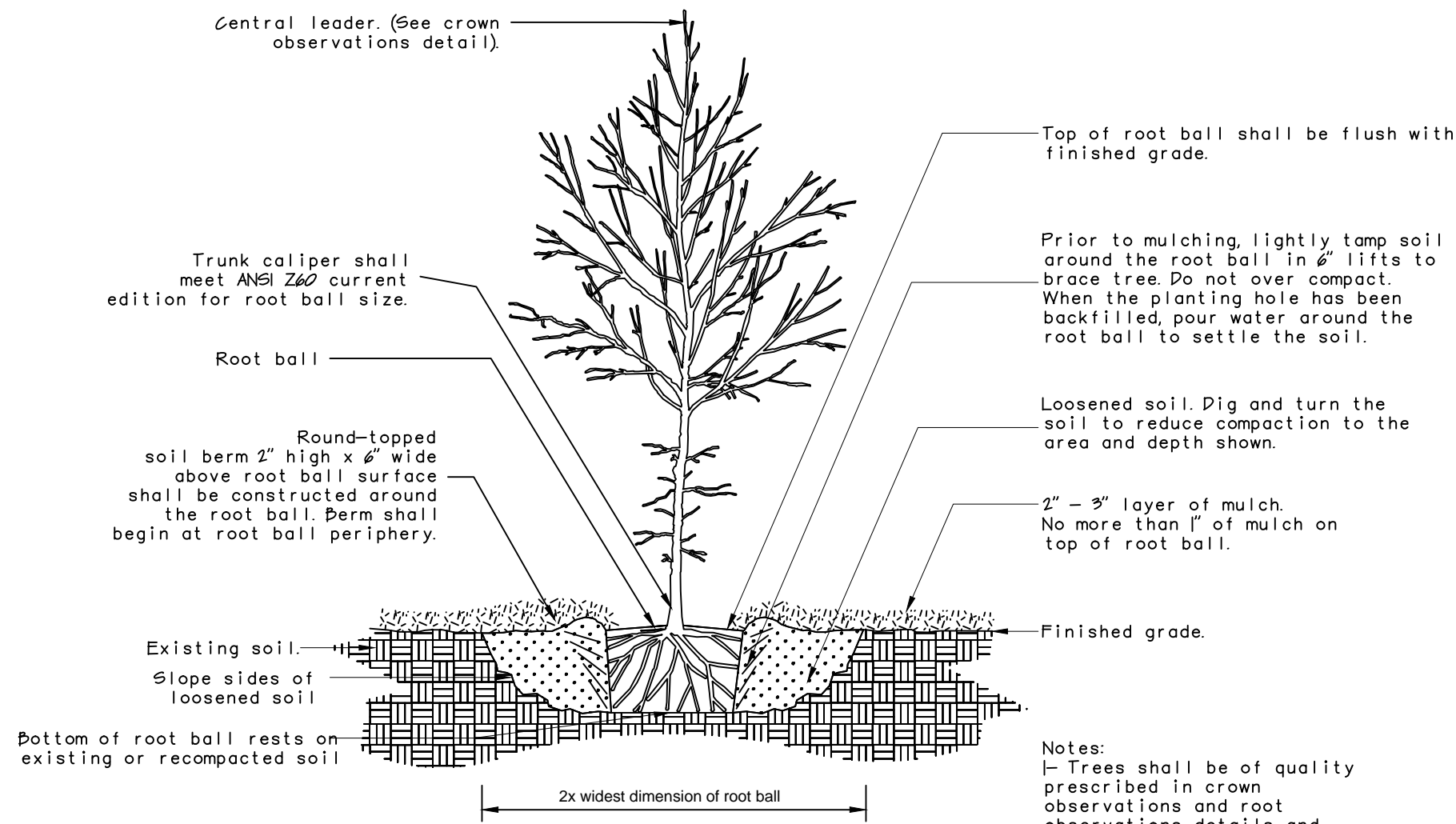
MARION COUNTY NOTES

1. TREE PROTECTION SHALL CONTINUE DURING THE COURSE OF CONSTRUCTION. ALL REQUIREMENTS OUTLINED IN SECTION 673 E SHALL BE COMPLIED WITH BY ALL CONTRACTORS OPERATING ON SITE.
2. ALL REQUIREMENTS OUTLINED IN SECTION 673 SHALL BE COMPLIED WITH FOR ANY REPLACEMENT TREES REQUIRED ON THIS SITE BY THIS CONSTRUCTION
3. THE PRELIMINARY AND FINAL INSPECTIONS AS OUTLINED IN SECTION 673 SHALL BE COMPLIED WITH. NO CERTIFICATE OF OCCUPANCY OR CERTIFICATION OF COMPLETION SHALL BE ISSUED UNTIL THESE INSPECTIONS HAVE BEEN COMPLETED AND APPROVAL GRANTED
4. NOTES HAVE BEEN SHOWN REGARDING LICENSING (6815 , 6819), TREE PROTECTION (673 E), MAINTENANCE (6819 , 6820), FERTILIZER USE (6814), AND WATERING (6819)
5. ALL REQUIREMENTS OUTLINED IN SECTION 6814 REGARDING FERTILIZER AND OTHER LANDSCAPE CHEMICALS SHALL BE COMPLIED WITH BY THE OWNER AND/OR OTHER LANDSCAPE PROFESSIONALS
6. UPON COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL. A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY
7. ALL REQUIREMENTS OUTLINED IN SECTION 6819 REGARDING LANDSCAPE MAINTENANCE SHALL BE COMPLIED WITH BY THE OWNER AND/OR OTHER MAINTENANCE PROFESSIONALS
8. ALL REQUIREMENTS OUTLINED IN SECTION 6819 REGARDING LANDSCAPE INSTALLATION AND MAINTENANCE LICENSING AND CERTIFICATION SHALL BE COMPLIED WITH
9. ANY PERSON PROVIDING LANDSCAPE INSTALLATION SERVICES FOR HIRE SHALL MEET THE LICENSING AND CERTIFICATION REQUIREMENTS UNDER SECTION 6819
10. ALL PLANTINGS SHALL BE INSTALLED ACCORDING TO BEST MANAGEMENT PRACTICES
11. TREES AND PALMS SHALL BE PROPERLY PLANTED AND GUIED OR STAKED
12. ALL PLANTINGS SHALL BE PROPERLY WATERED DURING INSTALLATION AND THROUGH THE ESTABLISHMENT PERIOD FOR HEALTHY GROWTH AS RECOMMENDED BY UF/IFAS
13. INSTALLATION SHALL MEAN SURVIVAL IN PERPETUITY AND REPLACEMENT IF NECESSARY OF ALL MATERIALS. DEAD AND/OR DYING PLANT MATERIAL SHALL BE REPLACED BY THE OWNER WITHIN 30 DAYS OF NOTIFICATION BY THE COUNTY

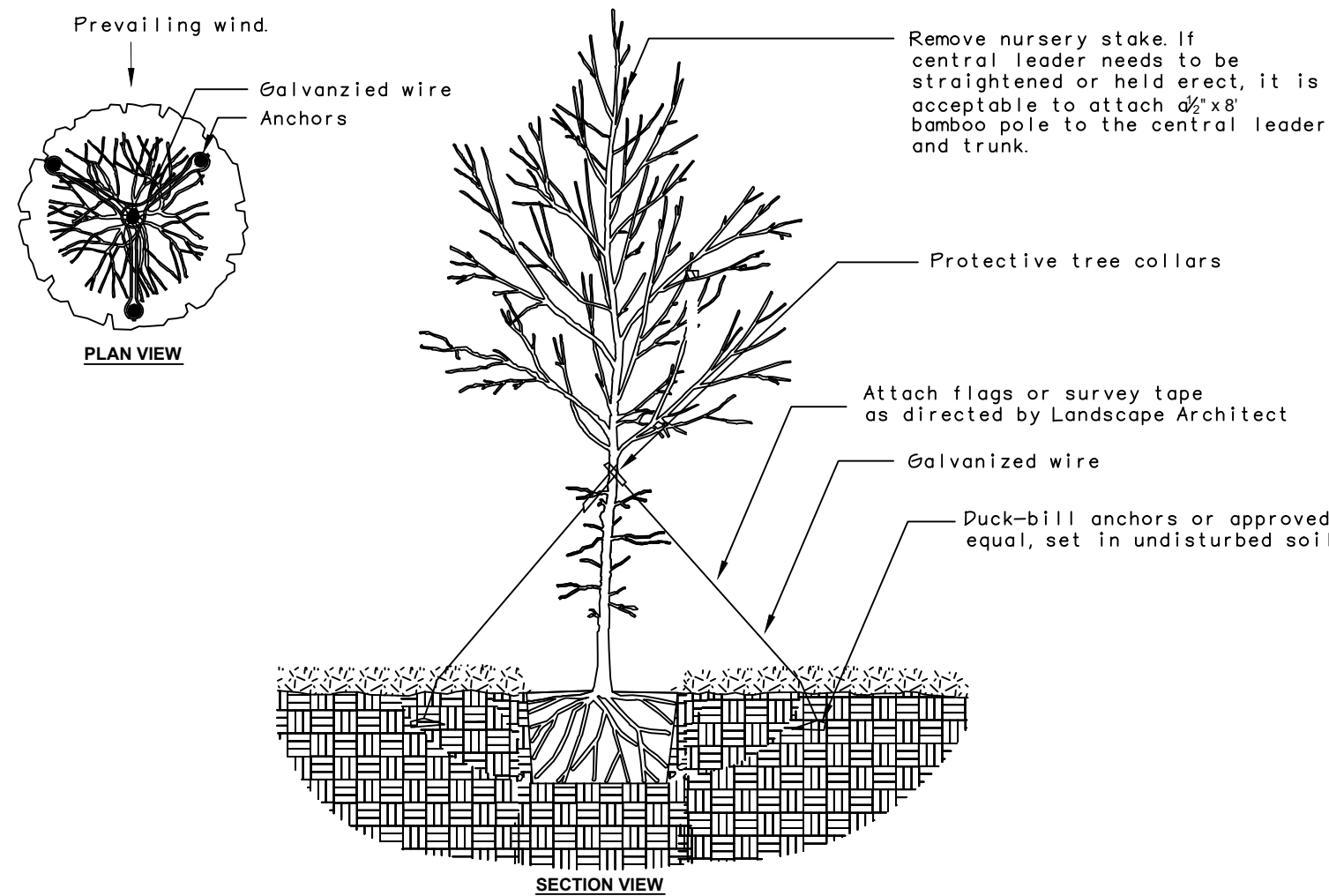
TREE PROTECTION NOTES:

TREE PROTECTION SHALL CONTINUE DURING THE COURSE OF CONSTRUCTION. THE FOLLOWING REQUIREMENTS SHALL BE CONDITIONS OF TREE REMOVAL PERMITS. ALL PERMITS FOR CONSTRUCTION IN PUBLIC RIGHT-OF-WAY, AND ALL DEVELOPMENT PERMITS ISSUED UNDER AND PURSUANT TO THIS CODE:

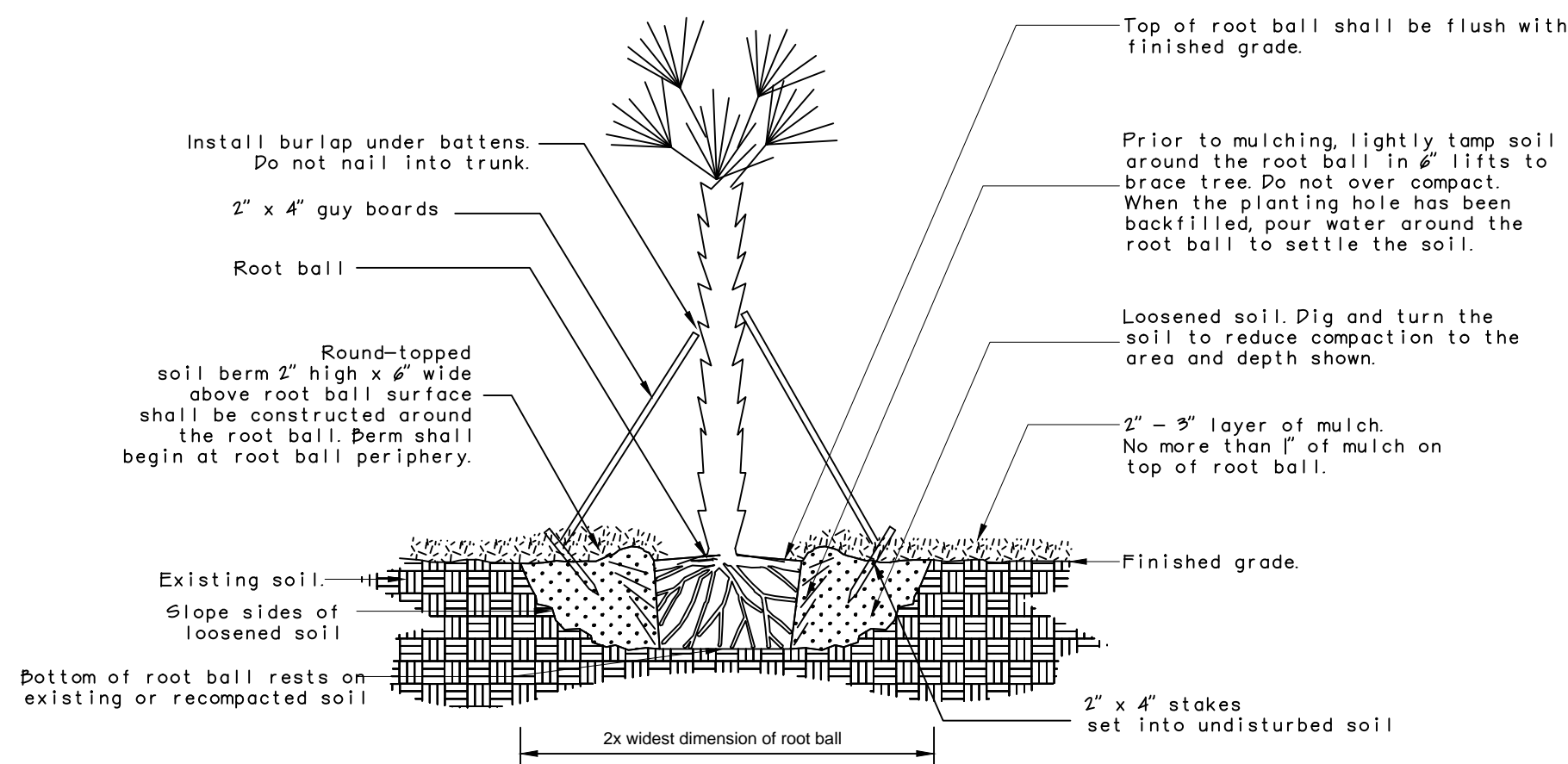
- 1) THE CLEANING OF CONSTRUCTION EQUIPMENT OR MATERIAL OR THE DISPOSAL OF WASTE MATERIALS INCLUDING BUT NOT LIMITED TO PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, AND MORTAR WITHIN THE TPZ OF ANY TREE WHICH IS PROTECTED IS NOT ALLOWED.
- 2) THE MOVEMENT OF EQUIPMENT OR THE STORAGE OF EQUIPMENT, MATERIALS, DEBRIS, OR FILL WITHIN THE TPZ OF ANY TREE WHICH IS BEING PROTECTED IS NOT ALLOWED.
- 3) THE CONTRACTOR SHALL INSPECT ALL TREE PROTECTION BARRICADES AND SIGNS ON A WEEKLY BASIS DURING THE COURSE OF CONSTRUCTION. ANY BARRICADE OR SIGN WHICH HAS BEEN DAMAGED OR IS MISSING SHALL BE REPLACED IMMEDIATELY.
- 4) IF ANY TREE WHICH HAS NOT BEEN APPROVED TO BE REMOVED IS DESTROYED OR RECEIVES MAJOR DAMAGE DURING CONSTRUCTION, WITH THE EXCEPTION OF NATURAL EVENTS, SO AS TO PLACE ITS LONG TERM SURVIVAL IN QUESTION, THE TREE(S) MUST BE REPLACED AT AN INCH-FOR-INCH BASIS OF THE TOTAL (COMBINED) DBH OF THE TREE(S) SO DESTROYED OR DAMAGED. THE REPLACEMENT TREE(S) SHALL BE OF COMPARABLE SPECIES TO THE DESTROYED OR DAMAGED TREE(S) WITH A MINIMUM REPLACEMENT SIZE OF 3/4-INCH CALIPER. THE COUNTY RESERVES THE RIGHT TO ESTABLISH A REPLACEMENT VALUE FOR SUCH TREES AND PAYMENT INTO THE TREE MITIGATION FUND MAY BE AUTHORIZED BY THE COUNTY'S LANDSCAPE ARCHITECT.



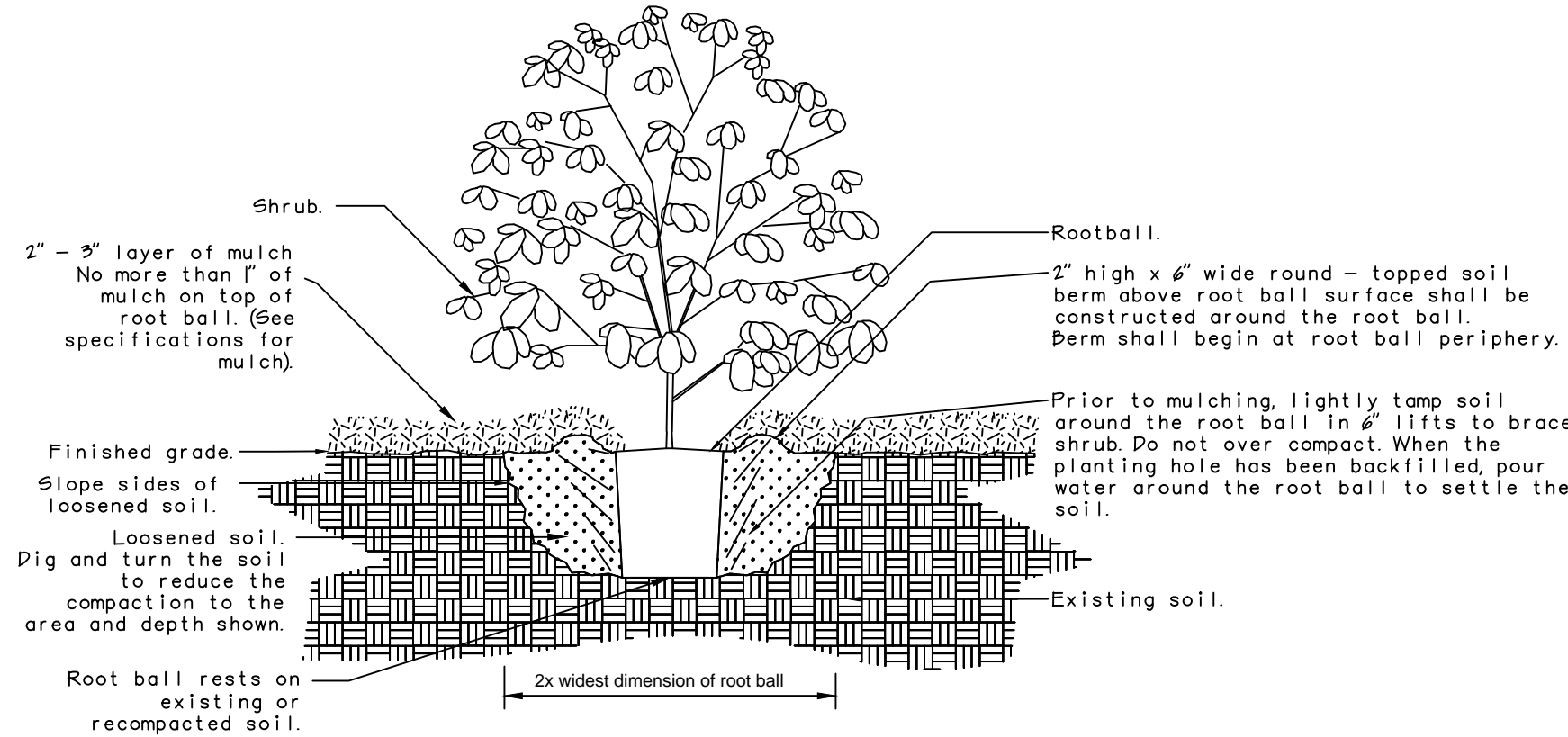
TREE INSTALLATION



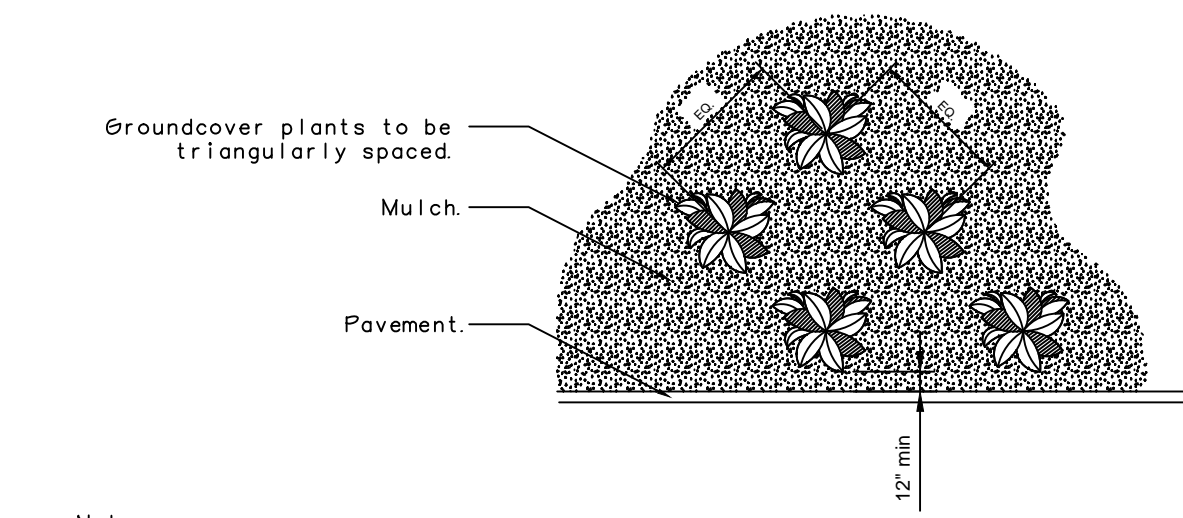
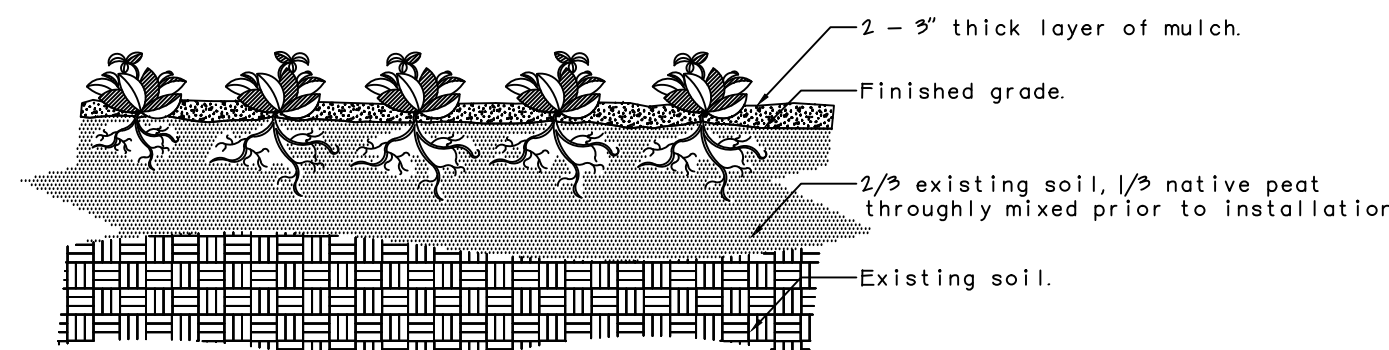
TREE STAKING - TREES < 2" CALIPER



PALM INSTALLATION



SHRUB INSTALLATION



GROUNDCOVER INSTALLATION



DIGITALLY SIGNED
RICHARD A. KESSELRING
JR., L.A.
DATED: 2025.03.20
150415

RICHARD A. KESSELRING JR., PLA, A.S.L.A.
LANDSCAPE ARCHITECT, STATE OF FLORIDA #858

DATE	DRAWING NO.	NEW NAME	DATE	NO.	DESCRIPTION
8 / 23	1" = 30'		9/25	2	NEW LAYOUT
			4/24	1	COUNTY COMMENTS
					BY

DATE	DRAWING NO.	NEW NAME	DATE	NO.	DESCRIPTION
8 / 23	1" = 30'		9/25	2	NEW LAYOUT
			4/24	1	COUNTY COMMENTS
					BY

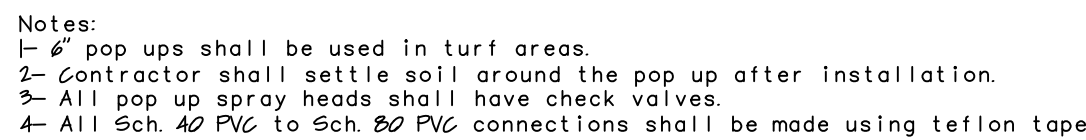
ENVIRONMENTAL DESIGN
ANDY KESSELRING, LANDSCAPE ARCHITECT
1920 SE 8th STREET
OCALA, FLORIDA 34478
(352) 622-8899
LANDSCAPE ARCHITECTURE, SITE PLANNING
GOLF COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN

LANDSCAPE NOTES & DETAILS
NEXT DIMENSION CONSTRUCTION
SUMMERFIELD FLORIDA

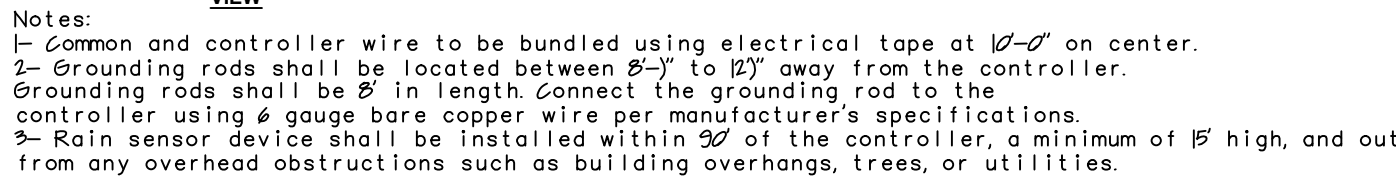
SHEET 1023 of 1023

MINOR CHANGES MAY BE MADE IN THIS LAYOUT WITH APPROVAL BY THE LANDSCAPE ARCHITECT.
ALL HEAD LOCATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION.
HEADS SHALL BE 1/4, 1/2, OR FULL CIRCLE AS EACH LOCATION REQUIRES.
SPRAYS PATTERNS SHALL BE SET TO MINIMIZE SPRAY ONTO ADJACENT WALKS, DRIVES, AND BUILDINGS.
WATER SOURCE SHALL BE A NEW 4" WELL WITH 5 HP PUMP FOR IRRIGATION USE ONLY.
PRIOR TO ANY INSTALLATION, THE IRRIGATION CONTRACTOR SHALL INSPECT THE EXISTING SITE AND PROPOSED SYSTEM DESIGN AND PROVIDE ANY QUESTIONS TO THE LANDSCAPE ARCHITECT, IN WRITING, PRIOR TO THE START OF ANY INSTALLATION. ANY MODIFICATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION.
THE OWNER WILL PROVIDE ELECTRICAL SERVICE TO THE WELL SITE.
THE CONTROLLER SHALL BE LOCATED IN THE GENERAL AREA SHOWN AND SHALL BE MOUNTED AS APPROVED BY THE LANDSCAPE ARCHITECT IN A LOCKABLE CASE.
THE OWNER WILL PROVIDE AN ELECTRICAL OUTLET IN THE CONTROLLER AREA.
ALL VALVES SHALL BE INSTALLED IN WATER-RESISTANT BOXES.
ALL SLEEVING MUST BE INSTALLED PRIOR TO THE LIMEROCKING OF THE PAVED AREAS.
ALL SLEEVING SHALL BE SCH. 40 P.V.C. AND INSTALLED A MINIMUM OF 18" DEEP.
ALL FEEDER LINES SHALL BE INSTALLED A MINIMUM OF 12" DEEP.
RAINFORD RAINCHECK DEVICE SHALL BE INSTALLED TO MINIMIZE IRRIGATION DURING SUFFICIENT RAINFALL (RSD SERIES). IN ADDITION, AN ACCLIMA TDT SENSOR WITH SOX CONTROL MONITOR MUST BE INSTALLED AS LOCATED BY THE LANDSCAPE ARCHITECT FOR PROPER IRRIGATION AMOUNTS.
THE ENTIRE SYSTEM MUST BE OPERATIONAL, REVIEWED, AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE.
THE CONTRACTOR SHALL RETURN WITHIN THE FIRST 30 DAYS TO ADJUST THE SYSTEM AS NECESSARY AND DIRECTED BY THE LANDSCAPE ARCHITECT.
ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR 1 YEAR FOR FINAL ACCEPTANCE.
THE CONTRACTOR MUST PROVIDE AN AS-BUILT DRAWING TO THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE.
BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED AT THE WELL PER ALL APPLICABLE CODES.
SLEEVES MUST BE INSTALLED IN ALL AREAS WHERE IRRIGATION PIPING IS INSTALLED UNDER PAVEMENT.
ZONES ARE DESIGNED TO FUNCTION AT 50 GPM AND 40 PSI AT THE VALVE LOCATIONS.
CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING AT ALL HEADS TO INSURE PROPER PRESSURE AND WATER QUANTITY FOR THE DESIGNED COVERAGE.
CONTRACTOR SHALL CONSULT WITH BOTH OWNER AND THE LANDSCAPE ARCHITECT FOR THE TUNING OF THE SYSTEM, BASED ON CURRENT WATER RESTRICTIONS.
SYSTEM DOES NOT PROVIDE 100% COVERAGE OF THE ENTIRE PROJECT SITE. CONTRACTOR MUST ADJUST HEADS TO COVER NEW TREES AND SHRUB PLANTINGS AS DIRECTED BY THE LANDSCAPE ARCHITECT.
ALL LINE LOCATIONS MUST BE ADJUSTED ON-SITE TO INSURE THAT THEY DO NOT IMPACT THE MAJOR ROOT SYSTEMS OF THE TREES TO BE PRESERVED.
ALL IRRIGATION HEADS SHALL BE LOW-VOLUME, MCG-IRRIGATION TO MINIMIZE WATER CONSUMPTION.
SET RUN TIMES FOR THE SYSTEM PER RECOMMENDATIONS BY IFAS @ EDIS/FAS/UFLEU/NE320.
ON HEADS LOCATED BELOW THE VALVE LOCATIONS, INSURE CHECK VALVES ARE INSTALLED AT THE HEAD.
POP-UP HEIGHTS WITHIN SOD AREAS SHALL BE SET AT 6".
ALL VALVES SHALL HAVE A FACTORY-INSTALLED FILTER ENTRY AND VERIFIED BY CONTRACTOR.
VERIFY CONTROLLER SET-UP WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
ALL IRRIGATION INSTALLATION SHALL MEET 2015 GRABES AND STANDARDS.
NO IRRIGATION HEADS SHALL BE INSTALLED ON RISERS UNLESS SPECIFICALLY NOTED AND DETAILED.
AS-BUILTS, VERIFICATIONS, ETC. MUST BE SUBMITTED PRIOR TO FINAL INSPECTION AND ACCEPTANCE.
BUBBLERS AT ALL TREES AND PALMS SHALL BE STAKED AT THEIR PROPER LOCATIONS.

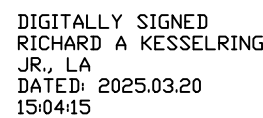
1. UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION AND THE ACCEPTANCE OF THE AS-BUILT DIAGRAMS AND OPERATIONAL INFORMATION, A FINAL INSPECTION AND LAUNCHING OF THE IRRIGATION RELEASE PERMIT SHALL BE SIGNED AND THE IRRIGATION SYSTEM SHALL BE SUBMITTED TO THE SOUTHERN FLORIDA MARLON COUNTY LANDSCAPE ARCHITECT. ALL REQUIREMENTS OUTLINED IN SECTION 630.8 SHALL BE COMPLIED WITH BY THE IRRIGATION SYSTEM DESIGN PROFESSIONALS.
2. ALL REQUIREMENTS IN SECTION 630.8 REGARDING SYSTEM INSTALLATION, SCHEDULING, OPERATION AND MAINTENANCE SHALL BE COMPLIED WITH. THE SYSTEM SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH FLOOD-FRIENDLY BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INDUSTRIES OF THE FLORIDA YARDS AND NEIGHBORHOOD PROGRAM.
3. ALL REQUIREMENTS OUTLINED IN SECTION 630.9 REGARDING THE IRRIGATION SCHEDULING SHALL BE COMPLIED WITH BY THE IRRIGATION SYSTEM DESIGN PROFESSIONALS.
4. ALL REQUIREMENTS OUTLINED IN SECTION 630.10 REGARDING LICENSING AND CERTIFICATION OF THE IRRIGATION INSTALLATION AND MAINTENANCE PROFESSIONALS SHALL BE COMPLIED WITH.
5. NOTES HAVE BEEN SHOWN REGARDING CLOSE-OUT REQUIREMENTS (630) WATERING INSTALLATION (639) AND INSTALLATION LICENSING REQUIREMENTS (630).



POP UP-SPRAY HEAD



WALL MOUNTED CONTROLLER

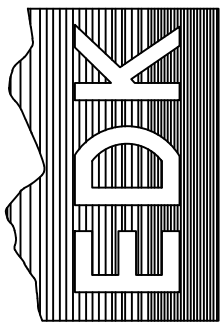


RICHARD A KESSELRING JR., PLA, ASLA
LANDSCAPE ARCHITECT , STATE OF FLORIDA #858

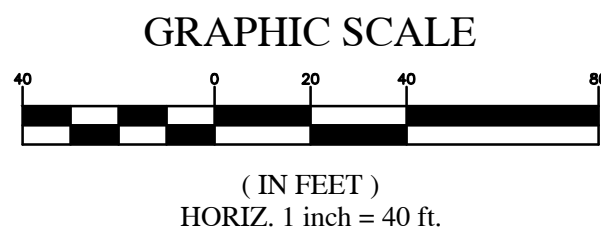
DRAWN BY:	RAK	DATE:	8 / 23
SCALE:	1" = 30'	DRAWING NO.:	
		VIEW NAME:	
JOB NO.:		FB:	PG.

ENVIRONMENTAL DESIGN
ANDY KESSELING, LANDSCAPE ARCHITECT
P.O. BOX 5121
1920 SE. 8th STREET
OCALA, FLORIDA 34478
(352) 622-8899

LANDSCAPE ARCHITECTURE, SITE PLANNING,
GOLF COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN



IRRIGATION NOTES & DETAILS
NEXT DIMENSION CONSTRUCTION
SUMMERFIELD FLORIDA



CORNER
A

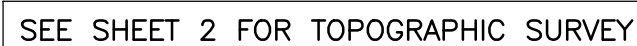
5/8" I.R. & CAP
(ROGERS LB 4074)
NORTHING Y = 1693049.89
EASTING X = 657948.19

CORNER
B

4"x4" C.M.
(PLAIN)

NORTHING Y = 1692720.17
EASTING X = 658161.85

D.D.C.	DOUBLE DETECTOR CHECK VALVE
ENC.	ENCROACHMENT
T.B.M.	TEMPORARY BENCHMARK
F.F.	FINISH FLOOR
ELEV.	ELEVATION
INV.	INVERT
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
D.E.	DRAINAGE EASEMENT
P.C.P.	PERMANENT CONTROL POINT
P.R.M.	PERMANENT REFERENCE MONUMENT
C.M.	CONCRETE MONUMENT
I.R.	IRON ROD
N&D	NAIL & DISC
R/W	RIGHT OF WAY
E/P	EDGE OF PAVEMENT
C/L	CENTERLINE
SEC.	SECTION
TWP.	TOWNSHIP
RGE.	RANGE
(F)	FLAT MEASUREMENT
(D)	DESCRIPTION MEASUREMENT
(F)	FIELD MEASUREMENT
R	RADIUS
D or Δ	CENTRAL ANGLE
L	ARC LENGTH
CB	CHORD BEARING
LC	LENGTH OF CHORD
O.R.B.	OFFICIAL RECORDS BOOK
PG.	PAGE
CONC.	CONCRETE
C.M.E.S.	CONCRETE MITERED END SECTION
B.F.P.	BACKFLOW PREVENTER
	UTILITY POLE AND GUY ANCHOR
	OVERHEAD WIRES
	FENCE
	CONCRETE ASPHALT
	TREE (SEE TREE SCHEDULE)
	GROUND CONTOUR
	TRAFFIC SIGNAL BOX
⊠	SANITARY MANHOLE
⊗	WATER METER
⊕	WATER VALVE
+	TRAFFIC SIGN
+	STREET SIGN
+	GAS MARKER
+	FIBER OPTIC CABLE MARKER
+	LIGHT POLE
●	FIRE HYDRANT
⊙	TELEPHONE PEDESTAL
⊙	ELECTRIC METER



SEE SHEET 3 FOR ROUTE SURVEY

THE NORTH 1/2 OF THE SOUTH 1/2 OF THE SW 1/4 OF
THE SE 1/4 OF SECTION 22, TOWNSHIP 17 SOUTH, RANGE
23 EAST, LYING ON THE WESTERLY SIDE OF HIGHWAY 27
AND 441, EXCEPT RIGHT OF WAY OF U.S. HIGHWAY 27
AND 441, MARION COUNTY, FLORIDA.

1. FIELD MEASURED BEARINGS SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, FLORIDA WEST ZONE, NAD-83, AND DERIVED FROM THE L-NET NETWORK.
2. VERTICAL DATA IS BASED ON FDOT CONTROL POINT "GPS FLGPS 431989", PUBLISHED ELEVATION = 96.55, NAVD-88.
3. FIELD SURVEY DATE: 2-8-2023; TOPOGRAPHIC AND ROUTE SURVEY DATE: 6-13-2025.
4. NO TITLE INFORMATION REFLECTING RIGHTS-OF-WAY, OR EASEMENTS OF RECORD, WAS FURNISHED TO THE SURVEYOR UNLESS SHOWN OR NOTED HEREON.
5. OWNERSHIP OF THE PERIMETER FENCES ARE UNKNOWN TO THE SURVEYOR.
6. UNDERGROUND IMPROVEMENTS OR UTILITIES WERE NOT LOCATED.
7. THIS PROPERTY APPEARS TO BE IN A ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY NUMBER 120160, PANEL 0905, SUFFIX D, WITH AN EFFECTIVE DATE OF 8/28/2008.
8. THIS SURVEY MEETS THE STANDARDS OF PRACTICE CONTAINED IN CHAPTER 5J-17.050 THROUGH .052, FLORIDA ADMINISTRATIVE CODE AND THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THE MINIMUM RELATIVE DISTANCE ACCURACY FOR COMMERCIAL/HIGH RISK LAND USE.

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY L.D.C. AND MEETS THE STANDARDS OF PRACTICE PER CHAPTER 2014-147 SECTION 1. SECTION 472.027, FLORIDA STATUTES.

RODNEY K. ROGERS DATE
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 5274
STATE OF FLORIDA

A BOUNDARY & TOPOGRAPHIC SURVEY
FOR
NEXT DIMENSION CONSTRUCTION, INC.
Boundary Survey Map

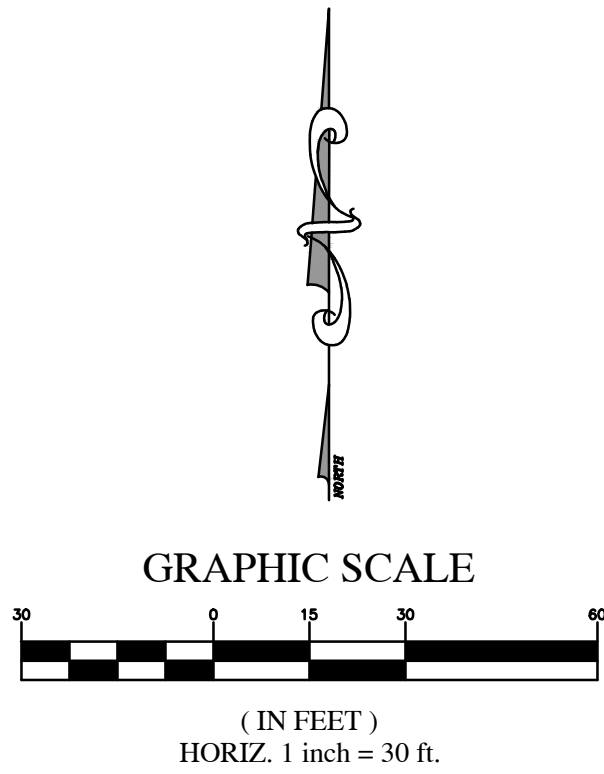
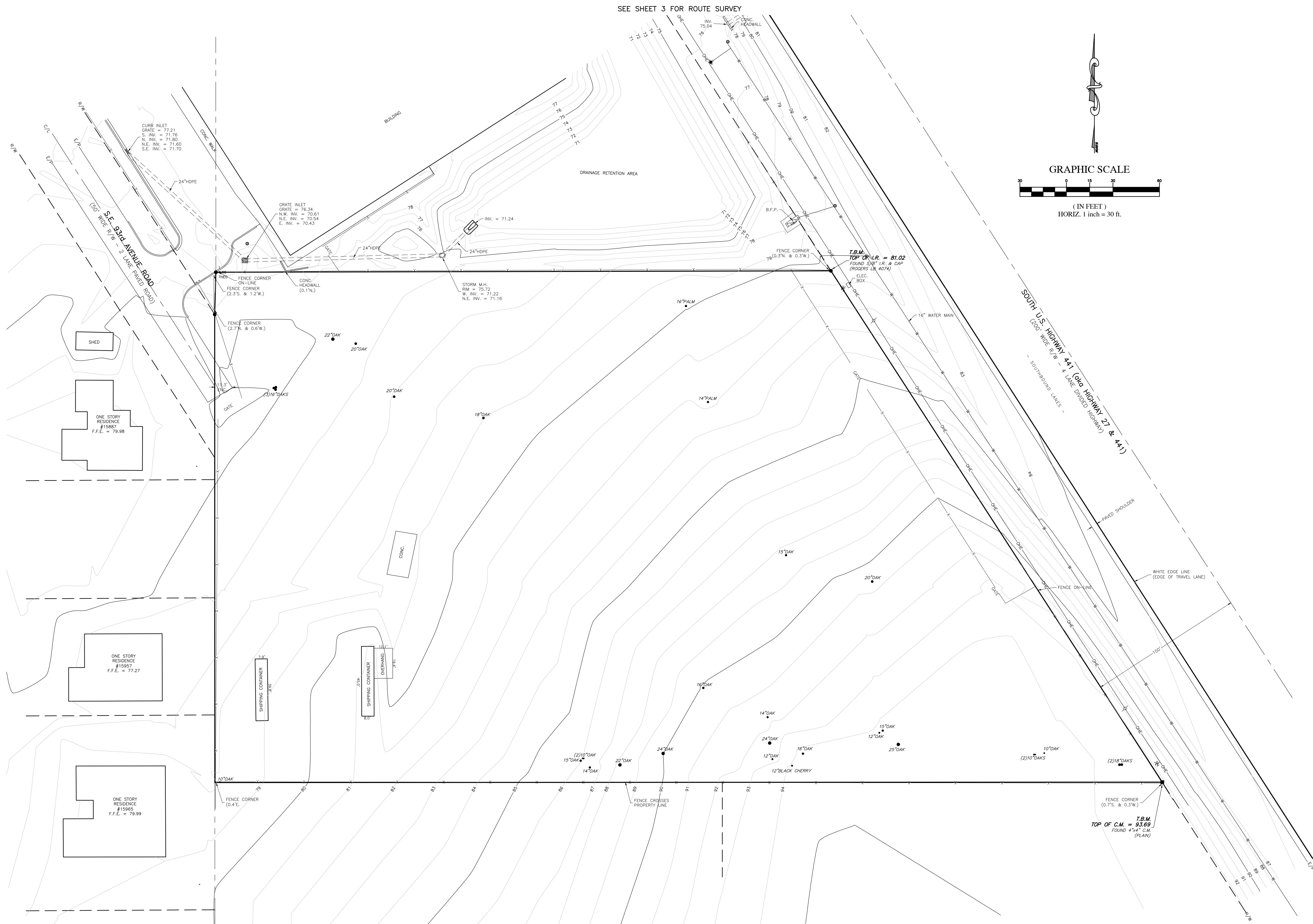
JOB No.
RB_47696-000-01

DATE
6-16-2025

SCALE
1" = 40'

SHEET
1 OF 3

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying



SEE SHEET 1 FOR BOUNDARY SURVEY

SEE SHEET 3 FOR ROUTE SURVEY

RODNEY K. ROGERS DATE
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 5274
STATE OF FLORIDA

DATE	REVISION

Robert L. Rogers, PE
rlrogers@rogerseng.com
Rodney K. Rogers, PSM
rkrogers@rogerseng.com
Mekelle M. Boyer, PSM
mboyer@rogerseng.com

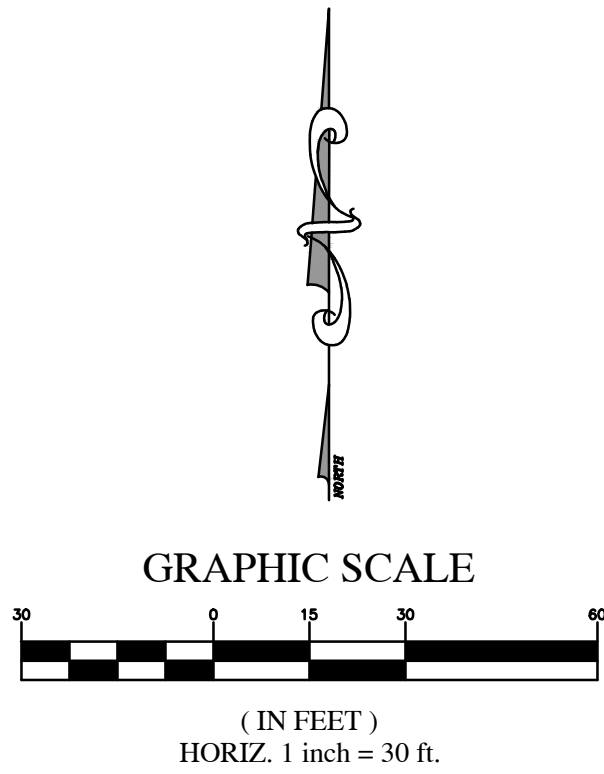
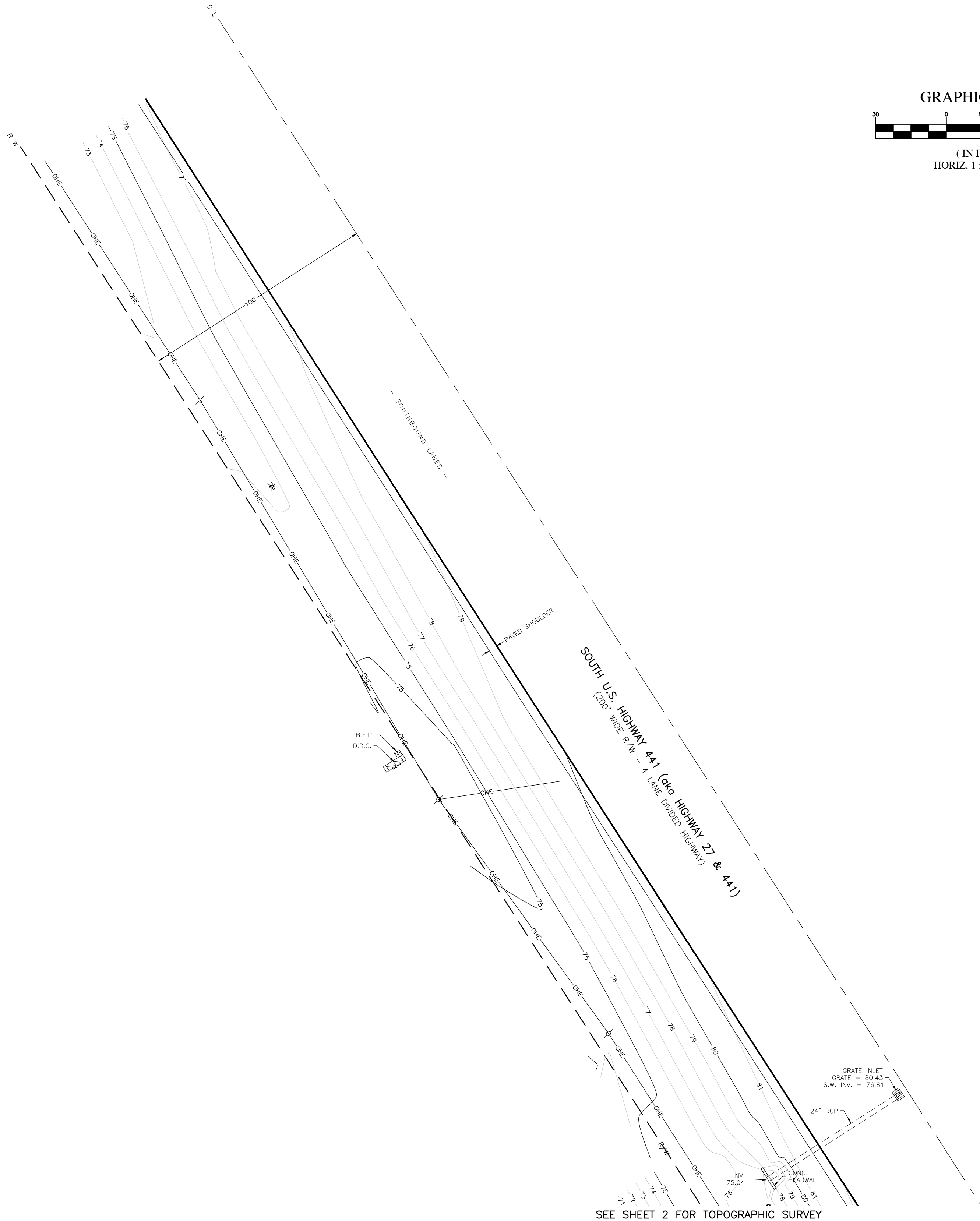
ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

A BOUNDARY & TOPOGRAPHIC SURVEY
FOR
NEXT DIMENSION CONSTRUCTION, INC.

Topographic Survey Map

JOB No. RB_47696-000-01
DATE 6-16-2025
SCALE 1" = 30'
SHEET 2 OF 3



SEE SHEET 1 FOR BOUNDARY SURVEY

SEE SHEET 2 FOR TOPOGRAPHIC SURVEY

RODNEY K. ROGERS DATE
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 5274
STATE OF FLORIDA

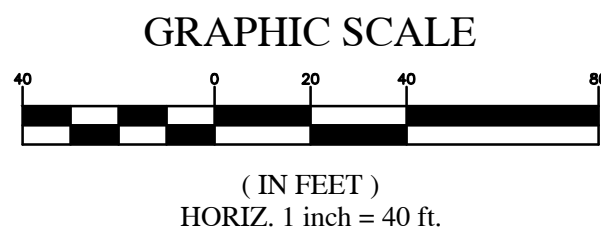
A BOUNDARY & TOPOGRAPHIC SURVEY
FOR
NEXT DIMENSION CONSTRUCTION, INC.
Topographic Survey Map

JOB No.
RB_47696-000-01
DATE
6-16-2025
SCALE
1" = 30'
SHEET
2 OF 3

Robert L. Rogers, PE
rlrogers@rogerseng.com
Rodney K. Rogers, PSM
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ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

DATE	REVISION



CORNER
A

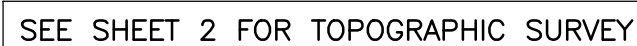
5/8" I.R. & CAP
(ROGERS LB 4074)
NORTHING Y = 1693049.89
EASTING X = 657948.19

CORNER
B

4"x4" C.M.
(PLAIN)

NORTHING Y = 1692720.17
EASTING X = 658161.85

D.D.C.	DOUBLE DETECTOR CHECK VALVE
ENC.	ENCROACHMENT
T.B.M.	TEMPORARY BENCHMARK
F.F.	FINISH FLOOR
ELEV.	ELEVATION
INV.	INVERT
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
D.E.	DRAINAGE EASEMENT
P.C.P.	PERMANENT CONTROL POINT
P.R.M.	PERMANENT REFERENCE MONUMENT
C.M.	CONCRETE MONUMENT
I.R.	IRON ROD
N&D	NAIL & DISC
R/W	RIGHT OF WAY
E/P	EDGE OF PAVEMENT
C/L	CENTERLINE
SEC.	SECTION
TWP.	TOWNSHIP
RGE.	RANGE
(F)	FLAT MEASUREMENT
(D)	DESCRIPTION MEASUREMENT
(F)	FIELD MEASUREMENT
R	RADIUS
D or Δ	CENTRAL ANGLE
L	ARC LENGTH
CB	CHORD BEARING
LC	LENGTH OF CHORD
O.R.B.	OFFICIAL RECORDS BOOK
PG.	PAGE
CONC.	CONCRETE
C.M.E.S.	CONCRETE MITERED END SECTION
B.F.P.	BACKFLOW PREVENTER
	UTILITY POLE AND GUY ANCHOR
	OVERHEAD WIRES
	FENCE
	CONCRETE ASPHALT
	TREE (SEE TREE SCHEDULE)
	GROUND CONTOUR
	TRAFFIC SIGNAL BOX
⊠	SANITARY MANHOLE
⊗	WATER METER
⊕	WATER VALVE
+	TRAFFIC SIGN
+	STREET SIGN
+	GAS MARKER
+	FIBER OPTIC CABLE MARKER
+	LIGHT POLE
●	FIRE HYDRANT
⊙	TELEPHONE PEDESTAL
⊙	ELECTRIC METER



SEE SHEET 3 FOR ROUTE SURVEY

THE NORTH 1/2 OF THE SOUTH 1/2 OF THE SW 1/4 OF
THE SE 1/4 OF SECTION 22, TOWNSHIP 17 SOUTH, RANGE
23 EAST, LYING ON THE WESTERLY SIDE OF HIGHWAY 27
AND 441, EXCEPT RIGHT OF WAY OF U.S. HIGHWAY 27
AND 441, MARION COUNTY, FLORIDA.

1. FIELD MEASURED BEARINGS SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, FLORIDA WEST ZONE, NAD-83, AND DERIVED FROM THE L-1-NET NETWORK.
2. VERTICAL DATA IS BASED ON FDOT CONTROL POINT "GPS FLGPS 431989", PUBLISHED ELEVATION = 96.55, NAVD-88.
3. FIELD SURVEY DATE: 2-8-2023; TOPOGRAPHIC AND ROUTE SURVEY DATE: 6-13-2025.
4. NO TITLE INFORMATION REFLECTING RIGHTS-OF-WAY, OR EASEMENTS OF RECORD, WAS FURNISHED TO THE SURVEYOR UNLESS SHOWN OR NOTED HEREON.
5. OWNERSHIP OF THE PERIMETER FENCES ARE UNKNOWN TO THE SURVEYOR.
6. UNDERGROUND IMPROVEMENTS OR UTILITIES WERE NOT LOCATED.
7. THIS PROPERTY APPEARS TO BE IN A ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY NUMBER 120160, PANEL 0905, SUFFIX D, WITH AN EFFECTIVE DATE OF 8/28/2008.
8. THIS SURVEY MEETS THE STANDARDS OF PRACTICE CONTAINED IN CHAPTER 5J-17.050 THROUGH .052, FLORIDA ADMINISTRATIVE CODE AND THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THE MINIMUM RELATIVE DISTANCE ACCURACY FOR COMMERCIAL/HIGH RISK LAND USE.
9. UNLESS IT BEARS THE DIGITAL SIGNATURE AND CERTIFICATION OR THE PHYSICAL SIGNATURE AND SEAL OF THE LICENSED SURVEYOR AND MAPPER, THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY L.D.C. AND MEETS THE STANDARDS OF PRACTICE PER CHAPTER 2014-147 SECTION 1. SECTION 472.027, FLORIDA STATUTES.

RODNEY K. ROGERS DATE
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 5274
STATE OF FLORIDA

A BOUNDARY & TOPOGRAPHIC SURVEY
FOR
NEXT DIMENSION CONSTRUCTION, INC.
Boundary Survey Map

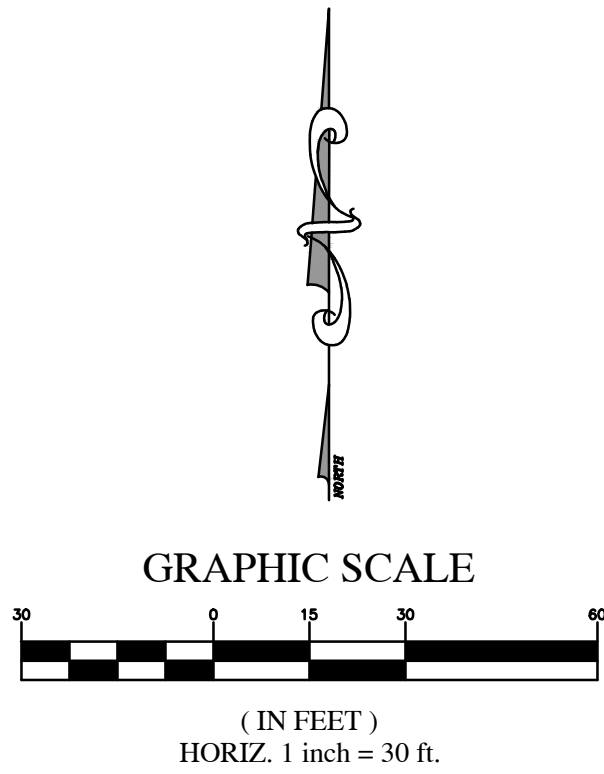
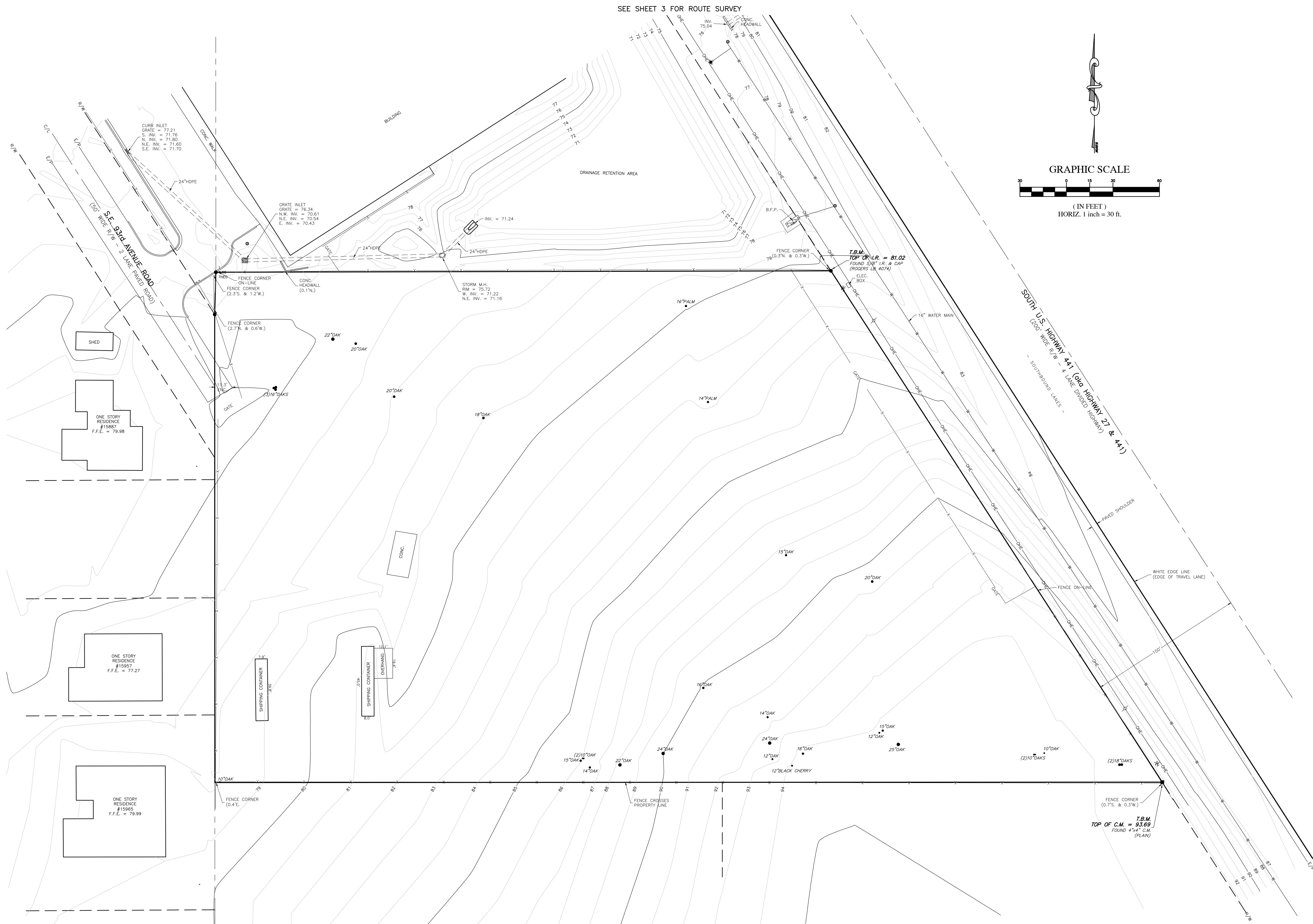
JOB No.
RB_47696-000-01

DATE
6-16-2025

SCALE
1" = 40'

SHEET
1 OF 3

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying



SEE SHEET 1 FOR BOUNDARY SURVEY

SEE SHEET 3 FOR ROUTE SURVEY

RODNEY K. ROGERS DATE
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 5274
STATE OF FLORIDA

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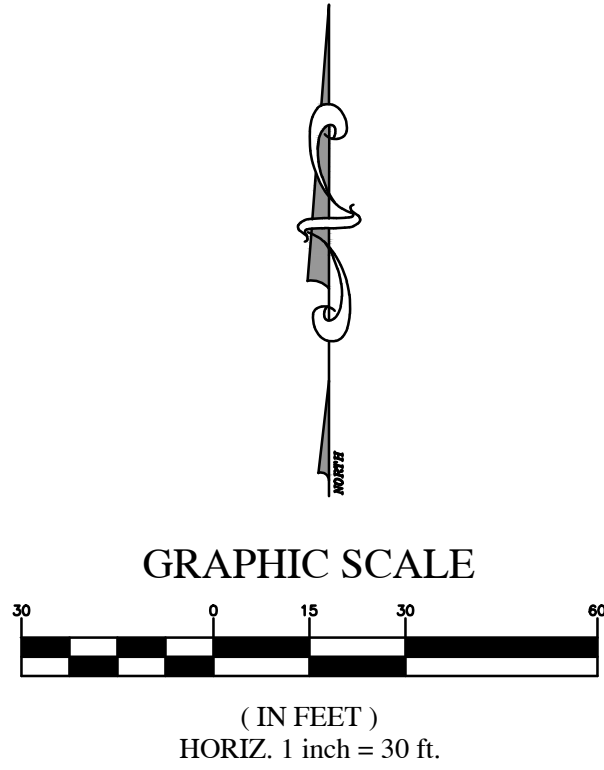
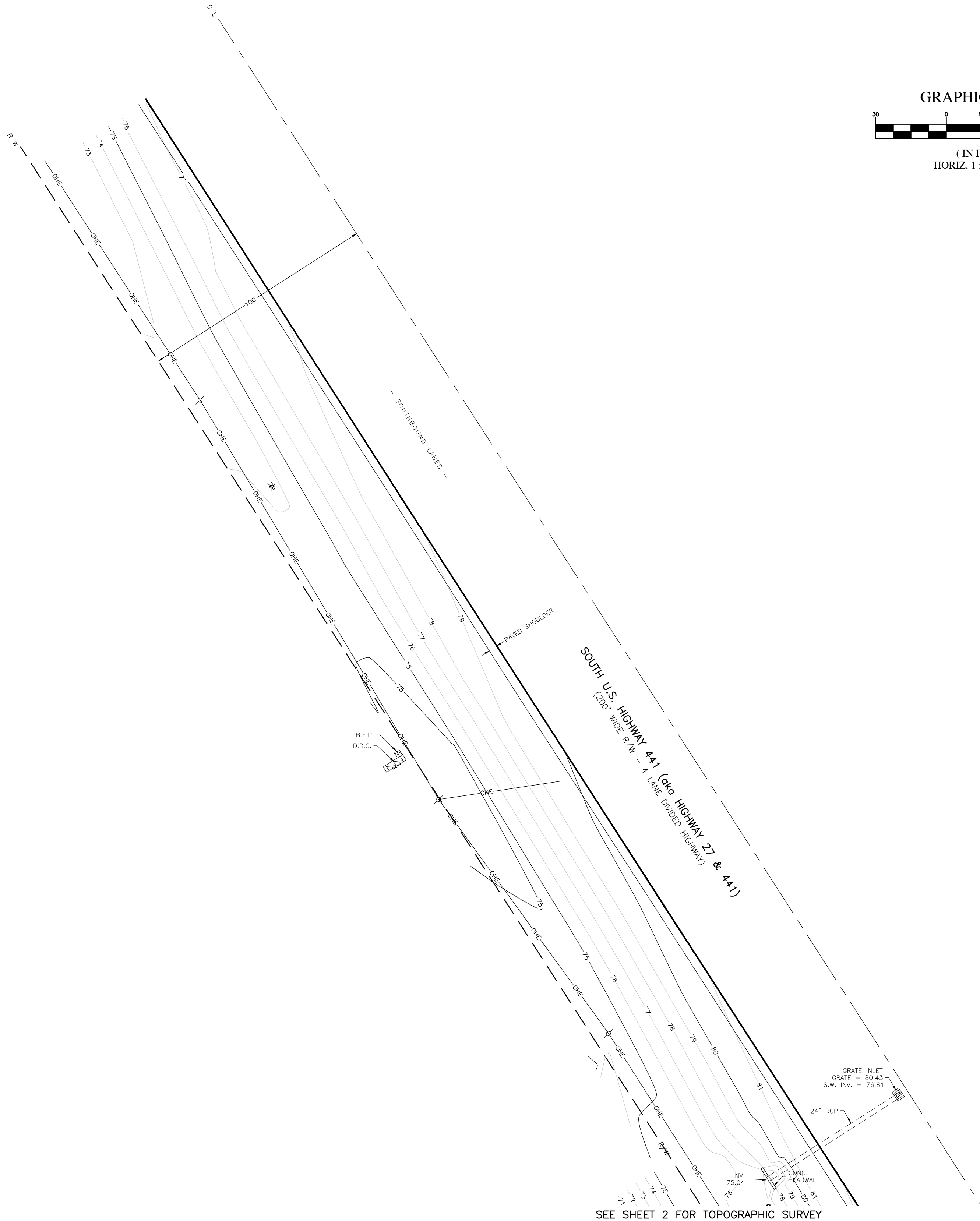
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A BOUNDARY & TOPOGRAPHIC SURVEY
FOR
NEXT DIMENSION CONSTRUCTION, INC.

Topographic Survey Map

JOB No. RB_47696-000-01
DATE 6-16-2025
SCALE 1" = 30'
SHEET 2 OF 3



SEE SHEET 1 FOR BOUNDARY SURVEY

SEE SHEET 2 FOR TOPOGRAPHIC SURVEY

RODNEY K. ROGERS DATE
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 5274
STATE OF FLORIDA

A BOUNDARY & TOPOGRAPHIC SURVEY
FOR
NEXT DIMENSION CONSTRUCTION, INC.
Topographic Survey Map

JOB No.
RB_47696-000-01
DATE
6-16-2025
SCALE
1" = 30'
SHEET
2 OF 3

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