



## SUBMITTAL SUMMARY REPORT 30535

**PLAN NAME:** NEXT DIMENSION CONSTRUCTION      **LOCATION:** 15878 S US HWY 441  
**APPLICATION DATE:** 08/21/2023      **PARCEL:** SUMMERFIELD,  
47696-000-01

**DESCRIPTION:**

<b>CONTACTS</b>	<b>NAME</b>	<b>COMPANY</b>
Applicant	Barry Ginn	Infinite Engineering
Engineer of Record	Barry Ginn	Infinite Engineering

<b>SUBMITTAL</b>	<b>STARTED</b>	<b>DUUE</b>	<b>COMPLETE</b>	<b>STATUS</b>
OCE: Plan Review (DR) v.	11/11/2025	11/25/2025	11/13/2025	Requires Re-submit
OCE: Plan Review (DR) v.	11/21/2025	12/02/2025	01/15/2026	Requires Re-submit
OCE: Plan Review (DR) v.	01/16/2026	01/26/2026	01/16/2026	Approved

### SUBMITTAL DETAILS

**OCE: Plan Review (DR) v.1**

<b>ITEM REVIEW NAME (DEPARTMENT)</b>	<b>ASSIGNED TO</b>	<b>DUUE</b>	<b>COMPLETE</b>	<b>STATUS</b>
911 Management (DR) (911 Management)		11/25/2025	11/11/2025	Requires Re-submit

**Comments**

YES 2.12.8 - Legal description matches boundary on plan  
NO 2.12.28 - Correct road names supplied Sheet C100 – Site Plan is missing the road name label for S US HWY 441 and SE 93rd Avenue Rd. Sheet C700 has S US HWY 441 incorrectly labeled as SR 500 (US 441/ us 27).  
YES 6.2.1.F - North arrow and graphic drawing and written scale  
INFO Additional 911 comments Please be advised that when the building permits are submitted the addresses assigned including the unit numbering will not match the units listed on the plan.

Environmental Health (Plans) (Environmental Health) ----- 11/25/2025 ----- 11/11/2025 ----- Approved -----

**Comments**

YES Central Sewer  
N/A Lot Size  
N/A Total Flow  
N/A Available Area  
YES DEP Water Approval  
N/A Operating Permit Required  
N/A 2.12.6 - Location of septic systems & wells  
N/A 2.12.36 - Location of water & septic systems  
INFO Additional Health comments Proposed irrigation well will need a permit through the Department of Health in Marion County

Fire Marshal (Plans) (Fire) ----- 11/25/2025 ----- 11/11/2025 ----- Approved -----

**Comments**

YES 6.18.2 - Fire Flow/Fire Hydrant  
N/A 6.18.3 - Gated Communities/Properties  
N/A 6.18.4 - Wildland Interface Area  
YES 6.18.5 - Access Control Box  
YES 6.18.2.D - Fire Department Connections  
N/A NFPA 1 Chapter 11.10.1 - In Building Minimum Radio Signal Strength  
YES 6.18.2.G - Painting and Marking of Fire Hydrants  
YES NFPA 1 Chapter 18.2.3 - Fire Dept Access Roads  
N/A Additional Fire comments

# SUBMITTAL SUMMARY REPORT (30535)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUe	COMPLETE	STATUS
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)		11/25/2025	11/11/2025	Approved
Comments	Zoning - Approved YES 2.12.4.C - Owner and applicant name Included YES 2.12.4.L(1) - Parcel number Included YES 2.12.21/6.3.1.C(10) - Land use and zoning on project and on adjacent properties shown Found in Landscaping, SWPPP sheets YES 2.12.4.L(4) - Zoning requirements: lot width, area , setbacks , coverage (floor area ratios) and parking Setbacks, FAR & parking requirements indicated YES 2.12.23/4.2 -Setbacks, dimensions for all improvements, and easements Included INFO 2.12.24 - Landscape requirements/6.8.6 - Buffering Label buffer types. 7/29/25: Type D buffer along A-1 property is correctly indicated on Landscaping sheet. Please include in sheet C100. YES 2.12.4.L(7) - List and describe land use including floor area of particular use (example: office, warehouse, storage or assembly) these descriptions are often found in the summary of parking requirements but should be clearly shown on plan Included YES 2.12.6 - Location of water and sewer. Does this need a special use permit? Within Marion County Utilities service area. INFO 2.12.9 - Show adjacent streets serving development Please indicate SE 93rd Avenue Road on sheets C002 and C100 YES 2.12.32 - Show 100yr flood zone FEMA Flood Zone X YES 2.12.32 - Modified Environmental Assessment for Listed Species (LDC 6.5.4) -OR- EALS Exemption Application (LDC 6.5.3) submitted (including habitat assessment as necessary per LDC 6.6.4) Initial Review: provide environmental assessment or exemption. 4/17/25: Staff received and transmitted your environmental assessment to the applicable state agencies. Follow the recommendations of your environmental consultants and applicable agencies. YES 2.12.4.L(10) - Parking requirements, service entrances, space size paved parking isle and access to parking area/6.11.8 - Off-street parking requirements/6.11.7 - Loading Areas/ 6.11.6 - Construction access/route Included. Screening included. INFO 4.4.4 -Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan. Show location and size of any proposed signage. 4/17/25: Staff acknowledges monument sign shown on sheet C100 along US HWY 441. Please note separate sign permit will be required. YES 2.12.19 - Provide dimensions and location of all existing site improvements; dimensions and location for all proposed site improvements with all setbacks Included YES 2.12.27 - Show location of outside storage areas Initial Review: will there be any outside storage? 4/17/25 - Based on Sec. 4.2.15.I - Delineate and label the required 8' fencing needed to screen outside storage areas from view from access streets, freeways and incompatible adjacent properties. Also note what type of screening will be used (e.g., chain link with slats, privacy fence, masonry wall, etc.) The screening may be placed up to the property line. 7/29/25 - Outdoor storage and respective screening are indicated. YES 5.2 & 5.3 - Verify any overlay zones such as ESOZ, Springs Protection, or Flood Plain FEMA Flood Zone X Secondary Springs Protection Zone No ESOZ INFO Additional Zoning comments JARED RIVERA / GROWTH SERVICES / 352-438-2687 / JARED.RIVERA@MARIONFL.ORG			
Land Use- Approved	YES 2.12.4.L(2)/3.2.3 - Use Consistent with FLU Designation? COM/B-4 N/A 2.12.4.L(3) - All applicable Developer's Agreements listed? N/A 2.12.4.L(2,3, & 5)/6.3.1C(15)(g) - DRI/FQD Compliance Note? N/A 3.2.3/6.6/5.2.5/flood - RESIDENTIAL - Complies with Min/Max Density? YES 3.2.3 - NON-RESIDENTIAL - Complies with FAR? N/A 2.12.4.L(6) - Gross/wetland/floodplain acreage listed? N/A 3.3.2.C - Complies with Approved ECSD PUD? N/A 3.3.3.A(1)- Complies with Approved Rural Residential Cluster Plan? N/A 3.3.3.A(2) - Complies with Approved Hamlet Plan? YES 2.12.4.L(5)/5.2 - [Applicable ESOZ/FPOZ Status Listed?] YES 2.12.4.L(5)/5.4 - [Applicable Springs Protection Zone Listed?] N/A 2.12.4.L(5)/5.7 - Wellhead Protection - P/S/T Zones Shown/Listed? N/A 2.12.4.L(7 & 9) - Building Uses/Identifiers/Designations Provided for 911? N/A 4.1.4.J - [Greenway Setback Provided?] YES 2.12.16/6.5 - [EALS or EALS-ER provided?] Email with EALS, Cover, and Location Map sent 4/14/35 - KB			
Please provide an Environmental Assessment.	YES 6.5 & 6.6 - Habitat Preservation/Mitigation Provided? Provide a copy of the FWC Permit PRIOR TO COMMENCING SITE LAND CLEARING AND/OR CONSTRUCTION for including in the Application Request's plan and/or supplemental documents. [FWC was notified by email 4/14/25 of the Environmental Assessment that identified the presence of at least one listed species (gopher tortoise, and potential for eastern indigo snake) on-site. Contact FWC for permitting/relocation information.] N/A 2.12.9 - [Show All Existing Surrounding & Intersecting R/Ws?] N/A 6.12.2.A - [Local Road right-of-Way Provided?] N/A 6.12.2.A - [Access Improvements R/W Provided (decel/accel/turn lanes)?] N/A 2.12.9/6.12.2.B - Comp Plan Future Thoroughfares R/W Provided (TE Map)? N/A 6.11.4.C - [Additional/Alternate/Interconnected Access (S/QS-L) Provided?] N/A 6.11.2, 4 & 5 - Internal Access Consistent with PUD/Master Plan/Plat? N/A 6.11.4.B & D/7.3.1 - [Cross/Parallel Access Required/Suitable?] N/A 6.11.5 -[Driveways to Intersections Separated/Coordinated?] N/A 6.11.4.E - [Sight Triangle Provided?] N/A 6.11.5 - [Driveways to Driveways Separated/Coordinated?] N/A 6.12.12 - [Sidewalks Internal/External Provided?] N/A 2.12.5/1.8.2.A - Concurrency/Traffic - Study/Capacity Available? N/A 2.12.5/1.8.2.D - Concurrency - PRELIM Evaluation Required? YES 2.12.5/1.8.2.F - Is Concurrency Approval or Deferral Elected? N/A 2.12.6, 35, & 36/6.14 - [Concurrency/Water Provided?] N/A 2.12.6, 35, & 36/6.14 - [Concurrency/Sewer Provided?] N/A Additional Planning Items:			

# SUBMITTAL SUMMARY REPORT (30535)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUEDUE	COMPLETE	STATUS
Landscape (Plans) (Parks and Recreation)		11/25/2025	11/11/2025	Approved
Comments	YES 2.12.18 - All trees 10" DBH and larger N/A 2.12.25 - Marion Friendly Landscape Areas YES 6.7.3 - Tree protection YES 6.7.4 - Shade tree requirements YES 6.7.6 - Tree removal submittal requirements YES 6.7.8 - Protected tree replacement requirements YES 6.7.9 - Replacement trees; general requirements Mitigation inches do not meet requirements, please contact staff for further discussion YES 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes) YES 6.8.3 - Landscape design standards YES 6.8.4 - Landscape area requirements for non-residential development N/A 6.8.5 - Landscape area requirements for residential and mixed use developments INFO 6.8.6 - Buffers Landscape on West and South buffers will be on the outside (public side) of the fence YES 6.8.7 - Parking areas and vehicular use areas Provide 5' min. strip of landscape screening around the perimeter of parking areas YES 6.8.8 - Building landscaping YES 6.8.9 - Service and equipment areas N/A 6.13.3.C(5) - Landscaping of public stormwater management facilities YES 6.13.3.D(4) - Landscaping of private stormwater management facilities YES 6.8.10 - General planting requirements (specifications) YES 6.8.11 - Landscape installation YES 6.8.12 - Landscape completion inspection requirements provide note from this section of code YES 6.9.2 - Irrigation plan requirements (details, legend, notes) YES 6.9.3 - Irrigation design standards YES 6.9.5 - Irrigation system installation YES 6.9.6 - Completion inspection requirements provide note from this section of code N/A 6.19.3 - Outdoor lighting plan requirements Photometric plan must be signed and sealed by lighting designer YES 6.19.4 - Exterior lighting design standards N/A 5.5.4.B - Permitted uses within Springs Protection Overlay Zone PEND Additional Landscape comments			

# SUBMITTAL SUMMARY REPORT (30535)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUEDUE	COMPLETE	STATUS
OCE Design (Plans) (Office of the County Engineer)		11/25/2025	11/11/2025	Approved
Comments	YES 2.21.2.B - Major Site Plan fee of \$250.00 + (\$5.00 x total site acreage) made payable to Marion County BCC 7/25/25 - fee due with resubmittal 6/5/25 - fee due with resubmittal 4/15/25 - fee due with resubmittal 10/16/23 - fee due with resubmittal N/A 2.21.2.B - Plan review fee of \$40.00 made payable to Marion County Health Department N/A Traffic study / methodolgy fee of \$200.00 made payable to Marion County BCC is required prior to plan approval. Refer to Resolution 10-R-630 for the current fee schedule. N/A 2.1.6.A - \$100 Resubmittal fee payable to Marion County BCC N/A 2.1.7.A - \$100 Revision fee payable to Marion County BCC N/A 2.1.3 - Order of plan approval YES 2.12.3 - Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions YES 2.12.4.A - Type of application on front page YES 2.12.4.B - Project name centered at top of front page YES 2.12.4.C - Name, address, phone number, and signature of owner and applicant on front sheet YES 2.12.4.D - Owner's certification on front sheet: I hereby certify that I, my successors, and assigns shall perpetually maintain the improvements as shown on this plan YES 2.12.4.E - The name, address, phone number, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet YES 6.2.1.A - Name, street address, signature, date, license number, and seal of licensed professional on each sheet YES 2.12.4.F - Licensed professional certification on cover sheet with signature and seal on all sheets after plan approval YES 2.12.4.F(1) - Licensed Design Professional Certification: I hereby certify that these plans and calculations were completed in accordance with all applicable requirements of the Marion County Land Development Code, except as waived. YES 2.12.4.G - A key location or vicinity map, with north arrow, with reference to surrounding properties, streets, municipal boundaries, sections, ranges, and township YES 2.12.4.H - A portrait oriented minimal 3 inches x 5 inches space, located 2.75 inches from the right edge of paper and .75 inches from the top edge of paper, shall remain blank to allow for a County approval stamp YES 2.12.4.I & 6.2.1.D - Index of sheets and numbering INFO 2.12.4.K - List of approved waivers, their conditions, and the date of approval 10/16/23 - add waivers if requested in the future YES 2.12.4.L(1) - Parcel number YES 2.12.7 - A digital version of the plan in a format pre-approved by the Office of the County Engineer YES 2.21.2.A - Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application YES 6.2.1.B - Plans shall be legible and meet typical industry standards YES 6.2.1.C - Standardized sheet size shall be 24" x 36" YES 6.2.1.F - North arrow and graphic drawing and written scale N/A Legal Documents INFO Additional Development Review Comments After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.			

# SUBMITTAL SUMMARY REPORT (30535)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUET	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)		11/25/2025	11/11/2025	Approved
<b>Comments</b>				
YES Major Site Plan The original document arrived in the mail. 6/16/25 HR I got an email about the cross-access easement. We are awaiting the arrival of the original document in the mail. 6/16/25 HR I sent an email to Barry at Infinite on 6/4/25, outlining the example templates required for the cross access. We need the executed document taken to our office for recording. 6/10/25 HR The owner has been confirmed through Sunbiz and the project list. Please provide the executed copy of the easement to our office for review. HR 4/15/25				
IF APPLICABLE: Sec. 2.18.1.I - Show connections to other phases. Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc. Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public." Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]." Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate: 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities." 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."				

# SUBMITTAL SUMMARY REPORT (30535)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DU <sup>E</sup>	COMPLETE	STATUS
OCE Stormwater (Permits & Plans) (Office of the County Engineer)		11/25/2025	11/11/2025	Approved
<i>Comments</i>	<p>YES 2.12.4.L(9)(b) - Data Block (Impervious Area)</p> <p>YES 2.12.8 - Topographical Contours</p> <p>YES 2.12.9/10 - Existing Drainage Right-of-Way/Easements</p> <p>YES 2.12.9/10 - Proposed Drainage Right-of-Way/Easements</p> <p>YES 2.12.13/14/15 - General Exhibits</p> <p>N/A 2.12.20 - Stormwater Infrastructure Supports Phasing</p> <p>YES 2.12.38 - Stormwater Maintenance Entity</p> <p>YES 6.13.2.C - Geotechnical Investigation Report</p> <p>YES 6.13.7 - Geotechnical Criteria</p> <p>YES 6.13.2.A(1)/(2) - Contributing Basins/Tc</p> <p>YES 6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations</p> <p>YES 6.13.2.A(4) - Stormwater Features &amp; Connective Elements</p> <p>YES 6.13.2.A(3) - Retention/Detention Area Design Parameters</p> <p>YES 6.13.3 - Type of Stormwater Facility Criteria</p> <p>YES 6.13.4 - Stormwater Quantity Criteria</p> <p>YES 6.13.2.B(4) - Hydrologic Analysis</p> <p>YES 6.13.4.C - Discharge Conditions</p> <p>YES 6.13.2.B(6) - Freeboard</p> <p>YES 6.13.4.D - Recovery Analysis</p> <p>YES 6.13.5 - Flood Plain &amp; Protection</p> <p>YES 6.13.2.A(8) - Finish Floor Elevation Criteria</p> <p>YES 6.13.6 - Stormwater Quality Criteria</p> <p>N/A 6.12.6 - Roadway Flooding Level of Service</p> <p>N/A 6.13.6.B - Alternative Treatment Techniques</p> <p>YES 6.13.6.C - Best Management Practices</p> <p>YES 6.13.8 - Stormwater Conveyance Criteria</p> <p>YES 6.13.2.B(5) - Hydraulic Analysis</p> <p>N/A 6.13.8.B(3) - Lane Spread Calculations</p> <p>YES 6.13.2.A(9) - Access Accommodates Stormwater</p> <p>YES 6.13.8.B(7) - Minimum Pipe Size</p> <p>YES 6.13.2.A(5) - Existing/Proposed Stormwater Structures</p> <p>YES 6.13.2.A(6) - Existing/Proposed Stormwater Pipes</p> <p>YES 6.13.2.A(7) - Existing/Proposed Stormwater Swales</p> <p>YES 6.13.9 - Grading Criteria</p> <p>YES 6.13.2.A(11)(a) - Construction Entrance</p> <p>YES 6.13.2.A(11)(b) - Erosion Control</p> <p>YES 6.13.2.A(12)/6.12.5 - Stormwater Details, Cross Sections, References</p> <p>YES 6.13.2.B(8) - Calculation &amp; Plan Consistency</p> <p>INFO 6.13.10.B - Copy of NPDES Permit or NOI Please provide a copy of the NPDES permit or NOI prior to construction.</p> <p>YES Copy of District Permit (County Interest) Please provide a copy of the District permit prior to construction.</p> <p>YES 6.10 - Karst Topography and High Recharge Areas</p> <p>YES 7.1.3 - Drainage Construction Specifications</p> <p>YES 6.13.12 - Operation and Maintenance</p> <p>YES Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.</p> <p>YES Additional Stormwater comments If you have questions or would like to discuss the stormwater review comments, please contact Alexander Turnipseed at (352) 671-8376 or at alexander.turnipseed@marionfl.org.</p>	11/25/2025	11/11/2025	Approved
OCE Survey (Plans) (Office of the County Engineer)				
<i>Comments</i>	<p>YES 6.2.1.A - The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet.</p> <p>YES 6.2.1.E - Provide drawing legend</p> <p>YES 6.2.1.F - Provide north arrow and graphic drawing and written scale</p> <p>YES 6.4.7.A(1) - Show a minimum of two bench marks per site</p> <p>YES 6.4.7.A(2 &amp; 3) - Bench mark information shown</p> <p>N/A 6.4.7.A(2 &amp; 3) - One copy of the vertical control field notes shall be submitted to the Office of the County Engineer for review</p> <p>YES 6.4.7.B(1) - Show a minimum of two intervisible horizontal control points per site</p> <p>YES 6.4.7.B(2) - Horizontal control points shall be monumented and referenced to the Florida State Plane Coordinate System</p> <p>YES 6.4.7.B(4) - Provide a statement or table detailing horizontal datum, adjustment, and coordinate values</p> <p>N/A 6.4.7.B(4) - One copy of the horizontal control notes along with reduction reports shall be submitted to the Office of the County Engineer for review</p> <p>YES 6.4.7.D - The location of the existing one percent (100-year) flood plain as shown on FEMA FIRM, with zone, elevation, and vertical datum noted</p> <p>YES 6.4.7.D - A note shall appear on the construction plans detailing source and survey field methods used to obtain and delineate the flood plain line shown</p> <p>YES 6.4.7.E - Line and curve table must be shown on the sheet to which they apply</p> <p>YES 6.4.7.F - All abbreviations used shall be clearly defined in the legend</p> <p>YES 2.12.4.F.(2) - Surveyor and Mapper certification</p> <p>YES 2.12.4.G - Show a location or vicinity map</p> <p>YES 2.12.8 - Provide current boundary and topographic survey less than one year old</p> <p>YES 2.12.9 - Provide location and dimensions of all rights-of-way serving the project</p> <p>YES 2.12.10 - Show any known existing or proposed easement or land reservation</p> <p>YES 2.12.11 - Provide an aerial map of the site with a layout of the development</p> <p>YES 2.12.32 - Provide site analysis map depicting the existing (100-year) flood plain</p> <p>N/A Additional Survey comments</p>			

# SUBMITTAL SUMMARY REPORT (30535)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DU <sup>E</sup>	COMPLETE	STATUS
OCE Traffic (Permits & Plans) (Office of the County Engineer)		11/25/2025	11/11/2025	Approved
Comments	YES 2.12.9 - Location and dimensions of streets and right-of-way YES 2.12.20 - Phases of development YES 2.12.30 - Route Plan YES 2.12.38 - Maintenance of improvements YES 6.2.1.E - Drawing legend YES 6.11.3 - Traffic Impact Analysis 6/6/25 - Provided information indicates a traffic assessment is still required. It is recommended that a full buildout plan be comprehended within the required methodology, followed by a study (instead of an assessment). Please contact Dane Scott (Dane.Scott@MarionFL.org) for guidelines or any additional information needed.			
	4/16/25 - Traffic study (or assessment) is required for updated site plan. A traffic methodology must first be submitted separately, for review and approval, followed by a traffic study (or assessment) which must also be submitted separately for review and approval. YES 6.11.4.B - Cross access 6/6/25 - Cross access is required to be fully constructed at initial build.			
	4/17/25 - Applicant indicates cross-access easement document is in process to enable final approval.			
	9/6/23 - Provide the executed cross access easement. The template for the easement can be obtained by contacting Cheryl Weaver in the Right-of-way Office. Coordinate with the right-of-way office on recording the easement. N/A 6.11.4.E - Sight triangle INFO 6.11.5 - Driveway access 4/17/25 Driveway along S US HWY 441 is subject to the FDOT permit process in consultation with Marion County OCE Traffic. Provide a notice of intent (NOI) letter if received. N/A 6.11.6 - Construction route N/A 6.11.9.A - Traffic signals YES 6.11.9.B - Traffic signs YES 6.11.9.C - Pavement marking N/A 6.12.1.A - Transportation Facilities - Purpose and Intent N/A 6.12.2 - Right-of-way N/A 6.12.11 - Turn lanes N/A 6.12.12 - Sidewalks 4/16/25 - Sidewalk fee-in-lieu of construction comes out to \$9,825.00 and must be paid prior to final approval.			
	9/6/23 - Sidewalk is required along US 441. N/A 6.12.13 - Utility position in right-of-way N/A Additional Traffic comments			

OCE Utilities (Plans) (Utilities) ----- 11/25/2025 ----- 11/11/2025 ----- Requires Re-submit -----

# SUBMITTAL SUMMARY REPORT (30535)

## Comments

INFO Marion County Utilities Contact Information 7/28/25 Not complied with. No contact information listed for contractor. 6/2/25 - Not complied with. C000 - Please add MCU's contact information. 11800 US-441, Belleview, FL 34420. (352) 307-6000

YES Parcel numbers identified in project match proposed site plan layout 7/28/25 Shown on C0000. Prev Comment. Please provide parcel # on cover page 47696-000-01. Cloud if already listed.

YES 6.14.2.A(1) - Public water service area/provider Marion County Utilities Service Area

YES 6.14.2.A(1) - Public sewer service area/provider Marion County Utilities Service Area

N/A 6.14.2.A(1) - Letter of Availability and Capacity (w/Location Map of water and/or sewer as app) from provider

YES 6.14.2.A - Water Connection Requirements Connecting to 16" MCU Water Main

YES 6.14.2.A - Sewer Connection Requirements Connecting to 12" MCU Sewer Force Main

N/A 6.14.2.C.2(e) - Grease Trap, FOG Worksheet 7/28/25 - Per response letter - Acknowledged. Currently, no restaurants are planned on the property. Should any food preparation/cooking establishments constructed on the property, the Owner will provide any information requested by Marion County Utilities to permit such construction. 6/2/25 - The grease trap is noted on the plans, but no grease trap is shown in the drawings.

If a grease trap is required for the building, please revise the plans to include a detailed drawing of the grease trap. Updated plans must be signed and sealed prior to resubmittal. 4.16.25 - C102 Grease traps are shown. Required to have signed and sealed calculations by EOR on Utility Plan Page. Previous Comment: If any of these rentals will be cooking/preparing food and a 3-compartment sink is required, you must contact MCU for grease trap requirements prior to the final approval of this Major Site Plan; advise.

YES 6.14.2.C - Industrial Pretreatment 4.16.25 - Acknowledged. If any of these rentals will require IP, you must contact MCU for requirements prior to the final approval of this Major Site Plan; advise.

N/A 6.14.3 - Onsite Waste Treatment and Disposal System (OSTDS) - connection requirement on plan

YES 6.14.3.B - Springs Protection Zone Secondary. Listed on cover sheet

YES 6.14.4 - Water (potable) Capital Charges and Flow Rates - proposed use identified to calculate 4.16.25. Acknowledged. Previous comment: Domestic water & sewer capacity charges for the building will be invoiced by MCU Permitting upon review of the building permit application and are due prior to the issuance of your permit for each building. Each unit is required to have its own water service/meter - if the shell is ready to be served by water before the individual tenants are ready to occupy, the developer shall be responsible for each respective unit's meter's monthly fee. For more information, contact Claribel.Martinez@MarionFL.org or Brandy.Raymond@MarionFL.org

N/A 6.14.4 - Water (irrigation) Capital Charges and Flow Rates - total irrigated area identified 4.16.25. Irrigation will be served by private well.

YES 6.14.4 - Sewer Capital Charges and Flow Rates - proposed use identified to calculate by water note

N/A 6.14.5.A(1) - Submittal Requirements - Existing on-site & off-site mains and service connections

N/A 6.14.5.A(2) - Submittal Requirements - Proposed on-site & off-site mains and service connections

N/A 6.14.5.A(3) - Submittal Requirements - Lift Stations layout, elevations, schedules

YES 6.14.5.A(6) - Submittal Requirements - Manhole locations, rim and invert elevations outside paved areas 4.16.25 - Acknowledged and changed. 1. all sewer gravity mains minimum 8 inch; revise

2. confirm flow direction from S1 to S2 is not more 180\*; check angle

YES 6.14.5.A(8) - Submittal Requirements - Connection to existing water system 4.16.25 - Acknowledged and changed. see changemarks on sheet C102 for connection notes

YES 6.14.5.A(8) - Submittal Requirements - Connection to existing sanitary system 4.16.25 - Acknowledged and changed. see changemarks on sheet C102 for connection notes

N/A 6.14.5.B - Construction Notes - Cover, horiz/vert datums, construction requirements

YES 6.14.5.B - Construction Notes - UT DETAILS - current LDC version 4.16.25. Missing UT310 for Grease Trap, Missing UT316 for above ground ARV, Missing UT208 for Fire Line. Previous comment: Revise details on sheets C500, C501, C502, C503, C504 as per approved 4/13/23. The CAD versions of these details can be found online HERE: <https://utilities.marionfl.org/i-want-to/find-construction-related-forms>

YES 6.14.5.C - All issued permits related to this project shall be submitted to MCU (DOT, ROW, misc) 4.16.25. Acknowledged.

N/A 6.14.5.C - DEP permit for water mains to be constructed/owned by MCU

YES 6.14.5.C - DEP permit for water mains to be constructed/owned by developer 4.16.25. Acknowledged.

N/A 6.14.5.C - DEP permit for sewer mains to be constructed/owned by MCU

N/A 6.14.5.C - DEP permit for sewer mains to be constructed/owned by developer

YES 6.14.5.D - Hydraulic Analysis 6/2/25 complied. Previous comment: C600 - When was FM pressure test done? (2) Elevations and dimensions do not meet UT501 standards. (3) MCU recommends 316SS. Please note: The private lift station will be owned and maintained by the property owner. The Engineer of Record is ultimately responsible for ensuring the lift station is properly sized and fully operational.

YES 6.14.6 - Design Criteria for Utility Systems to be owned/maintained by MCU

YES 6.14.7 - Construction Inspection - PLAN NOTE: 4.16.25. Added to C102. Previous comment: Add to sheet C102 "MCU personnel are to inspect any work performed on or around existing MCU infrastructure. A pre-construction meeting is required to be held a minimum of 48 hours prior to start of any construction. If the pre-construction meeting is not completed, any work may be halted. To schedule, contact MCU's Construction Officer at 352-307-6163."

YES 6.14.8.A - Completion and Closeout - PLAN NOTE: As-builts 6/2/25 Acknowledged. Previous Comment: For any Utility assets between the water main and the meter, Marion County will require a Bill of Sale and As-builts of the service, prior to meter(s) being installed. A final hold has been placed on permit, if applicable. All as-builts shall comply with the current Marion County LDC, section 6.14.8

N/A 6.14.9.A - Developer's Agreement

YES 6.14.9.B - Transfer of Facilities to Marion County Utilities - PLAN NOTE: Any assets to be conveyed to Marion County Utilities as part of the public utility system shall be coordinated PRIOR TO Marion County Utilities through the Bill of Sale, and prior to MCU's authorization of the DEP connection/Clearance Package. The Bill of Sale for any Lift Station(s) MUST include the first electric bill to capture necessary data prior to transfer to Marion County Utilities. ALLOW A MINIMUM OF 5 WORKING DAYS for processing the Bill of Sale information.

YES 6.14.9.B - Bill of Sale

N/A 6.15.1 - Potable Water Distribution System

N/A 6.15.2 - Decentralized Water System (WTP)

YES 6.15.3 - Fire Protection/Fire Flow Capacity 6.2.25 - Corrected. Previous comment: 4.16.25 - C102 - Private hydrant must be downstream of DDC.

# SUBMITTAL SUMMARY REPORT (30535)

YES 6.15.4 - Water Main Piping Installation 6/2/25 Corrected. Previous Comment: C102- Confirm wet tap and Sewer Force Main meet minimum separation by the FDEP. (2) Taps must be a minimum of 24" apart for the six potable meters and RPZ's.

YES 6.15.5 - Water Service and Connection 6/2/25 Corrected. Previous Comment: C102 - Water connection/ taps cannot be under mitered end of culvert

YES 6.15.6.A - Potable Water Metering - individual/banked, size

N/A 6.15.6.B - Irrigation Water Metering - size Irrigation by well.

N/A 6.15.6.C - Sewer service only (water meter required/shown)

YES 6.15.6.D - Meter Location 6/2/25 Corrected. Previous Comment: C102 - Confirm all meters are in the ROW or dedicated easement.

N/A 6.15.6.E - Meter Easements

NO 6.15.6.F - Meter Boxes 7/28/2025 - Utility plan not uploaded, unable to clear comment. C102 - (1) Cloud reads 5 separate taps. There is 4 shown on the plans. Needs correction (2) Plans could show, two taps, with 5 meters on each to reduce taps into the water main.

YES 6.15.6.G & H - Meter Sizing

YES 6.15.7 - Cross Connection Control and Backflow Prevention 4.16.25. C102 updated and note listed. Previous comment: Backflow preventer noted needs to be changed to Double Detector Check Valve on Sheet C102

N/A 6.15.8 - Public Water Well Standards

N/A 6.15.9 - Wellfield and Water Supply

N/A 6.15.10 - Water Treatment Plants (WTP)

N/A 6.16.2 - Decentralized Wastewater Treatment Plant (WWTP)

YES 6.16.4 - Wastewater Collection Systems (Gravity/Pressurized) Design 6/2/25 Corrected. Previous Comment: C102 -Force main ARV must be built in accordance with UT316. (2) Identify FM size in call out box.

YES 6.16.5.A & B - Private Wastewater Pump Stations 6/2/25 Acknowledged. Previous Comment: 4.16.25. Total TDH Listed as 134. Please note - The private lift station will be owned and maintained by the property owner. The Engineer of Record is ultimately responsible for ensuring the lift station is properly sized and fully operational.

Previous comment: Provide how Primary TDH determined (113) - sheet C600.

N/A 6.16.5.C - Public Wastewater Pump Stations (MCU Standards)

N/A 6.17 - Water Reclamation/Reuse Facilities

N/A Article 7 - Construction Standards - PLAN NOTE:

YES Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities 7/28/25 No fee for this review. 6.2.25 - No fee for this review. 4.16.25 - Utilities Plan Review Fee: \$130.00 Fee(s) can be paid by calling 352-671-8686 or visiting the Development Review Office at 412 SE 25th Ave, Ocala, FL 34471. Reference AR# ENTER AR # 30535

INFO Additional Utilities comments For any questions regarding this review, please contact Heather Proctor, Utilities Development Review Officer, at Heather.Proctor@marionfl.org or by phone at (352) 438-2896.

N/A Additional Utilities comments  
 N/A Additional Utilities comments

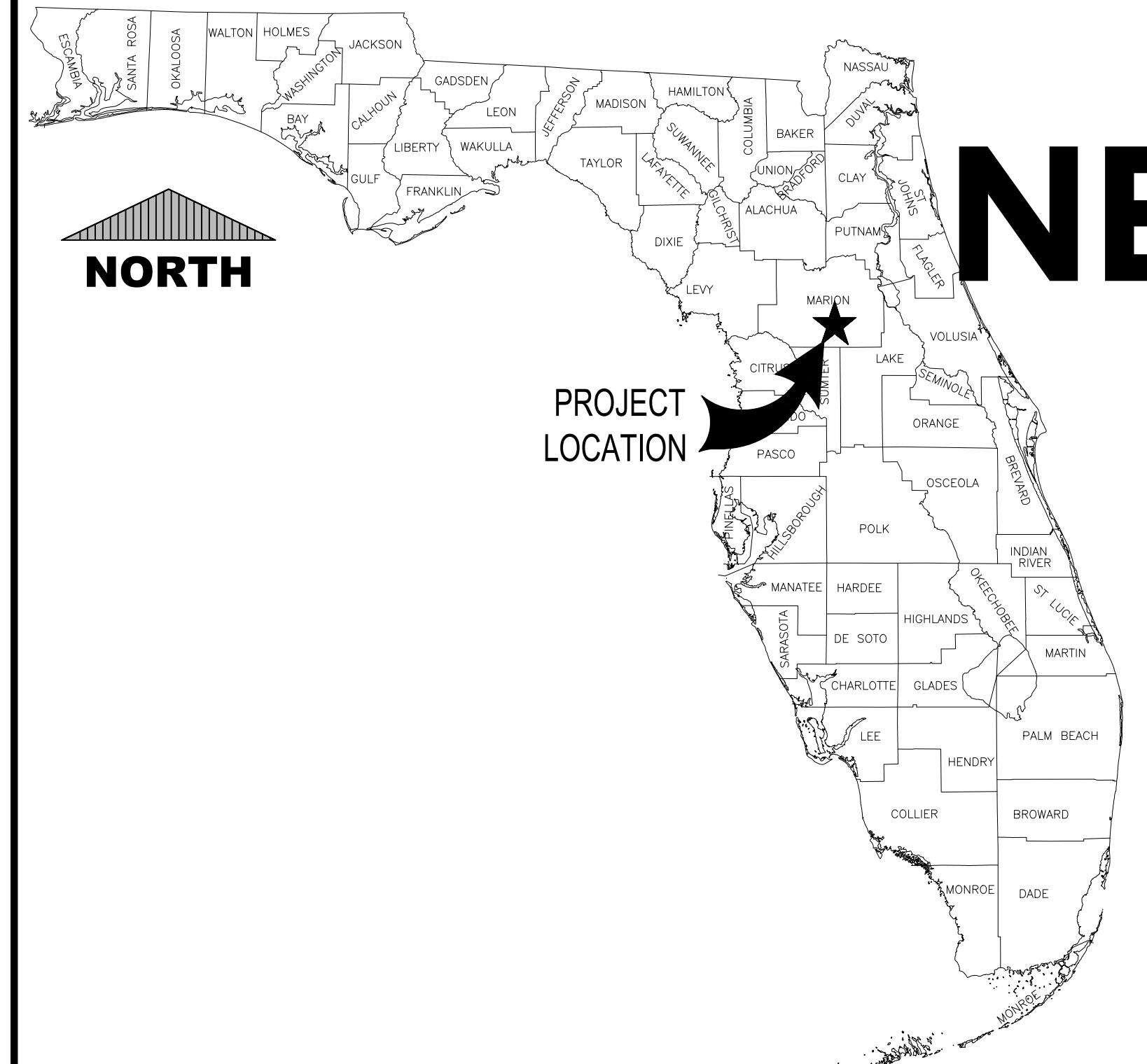
OCE: Plan Review (DR) v.2				
ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUEDUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Caroline Dennison	12/02/2025	12/01/2025	Approved
Environmental Health (Plans) (Environmental Health)		12/02/2025	12/17/2025	Approved
Comments	This will be serviced by Marion County Utilities for Water and Wastewater.			
Fire Marshal (Plans) (Fire)	Jonathan Kenning	12/02/2025	12/02/2025	Approved
Comments	previously approved			
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Sarah Wells	12/02/2025	12/02/2025	Approved
Landscape (Plans) (Parks and Recreation)	Susan Heyen	12/02/2025	11/21/2025	Approved
OCE Design (Plans) (Office of the County Engineer)	Jack Dingman	12/02/2025	01/15/2026	Requires Re-submit
Comments	See corrections			
Corrections	2.12.4.E & 6.2.1.A - Licensed Professional (Resolved) - 2.12.4.E & 6.2.1.A - Licensed Professional: 2.12.4.E & 6.2.1.A - The name, address, phone number, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet			
Corrections	Additional Design Comments (Resolved) - Additional Comments:			
Corrections	2.12.4 - Front page of the plan (Not Resolved) - 2.12.4 - Front page of the plan: Front page of the plan shall minimally include A through L of this section of the LDC.			
Corrections	6.2.1.A. - Licensed Professional (Resolved) - 6.2.1.A. - Licensed Professional: Plans shall be prepared by a professional licensed by the State of Florida. The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet. The same shall be provided on the cover page of any supporting documents and calculations.			
Corrections	2.12.4.I & 6.2.1.D - Index of sheets and numbering (Resolved) - 2.12.4.I & 6.2.1.D - Index of sheets and numbering: Index of sheets; All sheets shall indicate each sheet number and the total number of sheets. Cross references between sheets is required			
Corrections	6.2.1.B.-F. - Requirements (Resolved) - 6.2.1.B.-F. - Requirements: Technical standards and requirements as listed in Section 6.2.1.B. through F. of the LDC			
Corrections	2.21.2.A - Multi-phase Major Site Plans (Resolved) - 2.21.2.A - Multi-phase Major Site Plans: Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application			

# SUBMITTAL SUMMARY REPORT (30535)

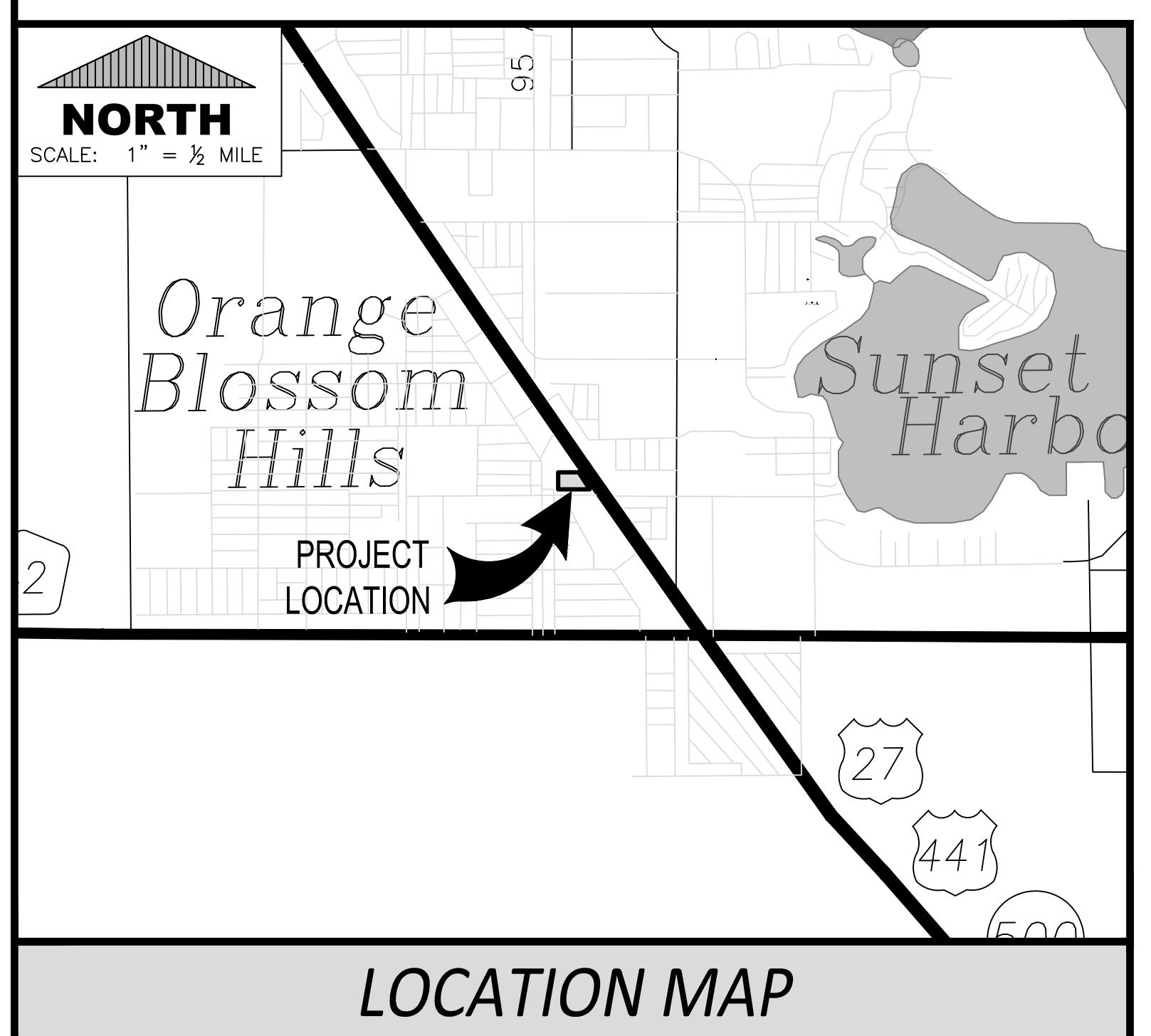
ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DU	COMPLETE	STATUS
OCE Design (Plans) (Office of the County Engineer)	Jack Dingman	12/02/2025	01/15/2026	Requires Re-submit
Corrections	2.1.3 - Order of plan approval (Resolved) - 2.1.3 - Order of plan approval: Plans listed may be reviewed concurrently, but must be approved in the order listed at the link below, when applicable and when the proper land use and zoning are in place			
Corrections	2.21.2.A - Multi-phase Major Site Plans (Resolved) - 2.21.2.A - Multi-phase Major Site Plans: Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application			
Corrections	2.18.2.G Utility Easements (Resolved) - 2.18.2.G Utility Easements: Easement requirements of each utility shall be indicated by the utility on a copy of the Preliminary Plat or by letter. (Letters/emails of easement acceptance due with improvement plan.)			
Corrections	Legal Documents (Resolved) - Legal Documents			
Corrections	2.12.3 - Title block (Resolved) - 2.12.3 - Title block: Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions			
OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	12/02/2025	11/26/2025	Informational
Comments	Sunbiz checked -EMW 11.26.2025			
	IF APPLICABLE:			
	Sec. 2.18.1.I - Show connections to other phases.			
	Sec.2.19.2.H – Legal Documents			
	Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.			
	Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)			
	For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."			
	Sec. 6.3.1.B.2 – Required Right of Way Dedication			
	For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."			
	Sec. 6.3.1.D.3 - Cross Access Easements			
	For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."			
	Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)			
	"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."			
	Sec. 6.3.1.C.2 – Utility Easements			
	"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."			
	Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:			
	1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."			
	2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."			
	3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."			
	Sec.6.3.1.D(f) –			
	If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	12/02/2025	11/24/2025	Approved
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	12/02/2025	11/26/2025	Approved
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	12/02/2025	11/21/2025	Approved
OCE Utilities (Plans) (Utilities)	Heather Proctor	12/02/2025	12/05/2025	Approved
Comments	Parcel will be served by Marion County Utilities for water and wastewater. Additional recommendations have been included as redline comments. If all departments do not approve this submittal, please resubmit the revised plans with the required changes listed under recommendations.			
Recommendations	INFO: Manholes of collection system must have one of the following: 1. Wrapid Seal used on all manhole joints. 2. Hydrostatic test performed and report submitted by EoR. 3. Vacuum test performed and report submitted by EoR.			
Recommendations	Potable Water Bacterial Sample Points are not pointing to the water lines. Need to change leader location.			
Recommendations	Commented multiple times. ARV does not go in valve box. Must be above ground. Will need to be a red line change in plans are approved with this submittal.			
Recommendations	Grease trap label shows on C102, but grease trap has been removed. Remove label.			

# SUBMITTAL SUMMARY REPORT (30535)

OCE: Plan Review (DR) v.3				
ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUEDUE	COMPLETE	STATUS
OCE Design (Plans) (Office of the County Engineer)	Brittney Murphy	01/26/2026	01/16/2026	Approved
Corrections	2.21.2.A - Multi-phase Major Site Plans (Resolved) - 2.21.2.A - Multi-phase Major Site Plans: Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application			
Corrections	2.12.4.I & 6.2.1.D - Index of sheets and numbering (Resolved) - 2.12.4.I & 6.2.1.D - Index of sheets and numbering: Index of sheets; All sheets shall indicate each sheet number and the total number of sheets. Cross references between sheets is required			
Corrections	6.2.1.B.-F. - Requirements (Resolved) - 6.2.1.B.-F. - Requirements: Technical standards and requirements as listed in Section 6.2.1.B. through F. of the LDC			
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Corrections	2.12.4.E & 6.2.1.A - Licensed Professional (Resolved) - 2.12.4.E & 6.2.1.A - Licensed Professional: 2.12.4.E & 6.2.1.A - The name, address, phone number, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet			
Corrections	6.2.1.A. - Licensed Professional (Resolved) - 6.2.1.A. - Licensed Professional: Plans shall be prepared by a professional licensed by the State of Florida. The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet. The same shall be provided on the cover page of any supporting documents and calculations.			
Corrections	Additional Design Comments (Resolved) - Additional Comments:			
Corrections	2.12.4 - Front page of the plan (Resolved) - 2.12.4 - Front page of the plan: Front page of the plan shall minimally include A through L of this section of the LDC.			
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Corrections	Legal Documents (Resolved) - Legal Documents			
Corrections	2.18.2.G Utility Easements (Resolved) - 2.18.2.G Utility Easements: Easement requirements of each utility shall be indicated by the utility on a copy of the Preliminary Plat or by letter. (Letters/emails of easement acceptance due with improvement plan.)			



VICINITY MAP



LOCATION MAP

**APPROVED WAIVERS:**

LDC 6.13.8.B(7)	STORMWATER CONVEYANCE, USING PIPES LESS THAN 18"	APPROVED, 4/29/24
LDC 6.13.2.A(6)	STORMWATER MANAGEMENT, USING PIPES LESS THAN 18"	APPROVED, 4/29/24
LDC 6.12.12.D	SIDEWALKS, PAY INTO SIDEWALK FUND IN LIEU OF SIDEWALK CONSTRUCTION	APPROVED, 4/29/24
LDC 6.8.6.K(2)	UTILIZE FENCE IN LIEU OF WALL IN BUFFER (BOCC OVERURNED DRC RECOMMENDATION, CONDITIONS INCLUDED 10' FENCE ALONG WEST BOUNDARY AND 7'-GAL SWEET VIBURNUM HEDGE, 6' FENCE ALLOWED ALONG SOUTH BOUNDARY)	APPROVED, 8/20/24

**UTILITY PROVIDERS:**

WATER	MARION CO. UTILITIES, 11800 US-441, BELLVIEW, FL 34420 (352) 307-6000
SEWER	MARION CO. UTILITIES, 11800 US-441, BELLVIEW, FL 34420 (352) 307-6000
ELECTRIC	DUKE ENERGY
GAS	TECO PEOPLES GAS

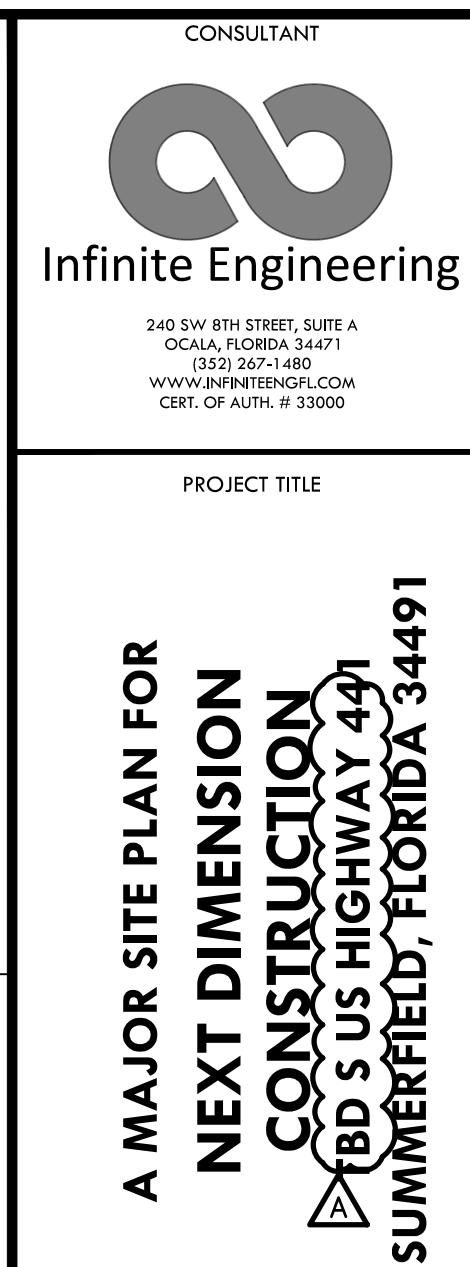
# MAJOR SITE PLAN FOR

# NEXT DIMENSION CONSTRUCTION

TBD S HIGHWAY 441

SUMMERFIELD, FLORIDA 34491

SECTION 22, TOWNSHIP 17S, RANGE 23E



APPROVAL STAMP AREA

A MAJOR SITE PLAN FOR  
NEXT DIMENSION  
CONSTRUCTION  
TBD S HIGHWAY 441  
SUMMERFIELD, FLORIDA 34491

**COVER SHEET**

CLIENT INFORMATION  
NEXT DIMENSION CONSTRUCTION, INC.  
13624 SE HIGHWAY 441  
SUITE 101  
SUMMERFIELD, FLORIDA 34491  
(352) 857-1469

SUBCONSULTANTS

**GENERAL NOTES:**

1. THIS PROJECT SHALL BE SERVED WATER BY CONNECTION TO EXISTING MARION COUNTY CENTRAL WATER AND SEWER INFRASTRUCTURE LOCATED ADJACENT TO THE EXISTING PROJECT SITE.
2. ALL AREAS WITHIN THE FDOT RIGHT-OF-WAY THAT ARE DISTURBED BY CONSTRUCTION SHALL BE SODDED WITH BAHIA ARGENTINA AND IN ACCORDANCE WITH ALL FDOT REQUIREMENTS.
3. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST ADOPTED EDITION AND THE FDOT STANDARD PLANS, LATEST ADOPTED EDITION.
4. THE STOP SIGNS MUST BE INSTALLED ON 2"x2" SQUARE POSTS, 14 FEET IN LENGTH, 14 GAUGE, 4 LBS/FT. ALL SIGNS ON-SITE SHALL MEET MARION COUNTY LAND DEVELOPMENT REGULATIONS AND ALL SIGNS WITHIN THE FDOT RIGHT-OF-WAY SHALL COMPLY WITH THE FDOT STANDARD PLANS AND SPECIFICATIONS, LATEST ADOPTED EDITIONS.
5. ALL STOP BARS SHALL BE WHITE 24" WIDE LEAD-FREE THERMOPLASTIC.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND BURIAL DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
7. LANDSCAPE INSTALLATION PROFESSIONALS PERFORMING WORK FOR HIRE WITHIN THE UNINCORPORATED AREAS OF MARION COUNTY SHALL BE LANDSCAPE CONTRACTORS LICENSED BY THE MARION COUNTY BUILDING DEPARTMENT, UNLESS OTHERWISE LICENSED BY THE STATE OF FLORIDA.
8. NO SIGHT LIGHTING IS PROPOSED FOR THIS PROJECT.
9. NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.

**SITE/CIVIL DRAWINGS**

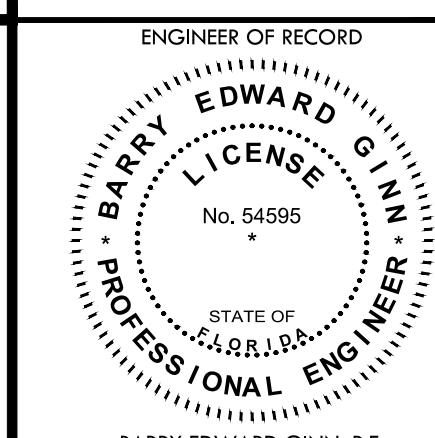
C000	COVER SHEET
C001	NOTES AND LEGEND
C002	AERIAL PHOTOGRAPH
C100	SITE PLAN
C101	GRADING AND DRAINAGE PLAN
C102	UTILITY PLAN
C200	PLAN & PROFILE - DRIVEWAY
C201	PLAN & PROFILE - REVERSE ACCESS
C202	PLAN & PROFILE - FRONT PARKING
C203	PLAN & PROFILE - SOUTH DRIVEWAY
C204	PLAN & PROFILE - PRIVATE ACCESS
C500	DETAILS
C501	DETAILS
C502	DETAILS
C503	DETAILS
C504	DETAILS
C600	LIFT STATION
SWPPP	LANDSCAPE & IRRIGATION PLANS BY OTHERS
	SURVEY BY OTHERS

**OWNER CERTIFICATION:**

I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

SHANE VILLAREAL

DATE



ISSUE DATE

August 14, 2023

PROJECT NUMBER NUMBER

2024-230

**REVISIONS**

DATE	DESCRIPTION
3/25	MC COMMENTS
11/25	MC COMMENTS

SHEET DESIGNATION

C000

SHEET

1 OF 17

**TRAFFIC STATEMENT:**

SEE TRAFFIC STATEMENT PRODUCED BY TRAFFIC PLANNING AND DESIGN, INC.

GENERAL INFO. FROM TRAFFIC STATEMENT

AADT - 278 TRIPS/DAY (NET NEW TRIPS)  
AM PK HR - 54 TRIPS (44 ENTER, 10 EXIT)

PM PK HR - 62 TRIPS (15 ENTER, 47 EXIT)

**PARKING CALCULATIONS:**

OFFICE: 2.5/1,000SF x 12,400SF = 31.0 SPACES

RESTAURANT: 1/4SEATS x 20SEATS = 5.0 SPACES (PLACE HOLDER ONLY)

STORAGE/WHSE: 1/2,000SF x 10,400SF = 5.2 SPACES

TOTAL SPACES REQUIRED: 40.8 >> 41.2 SPACES

HC SPACES REQ'D: 1/25 SPACES x 41.2 SPACES = 3 SPCS.

REG. SPACES PROVIDED: 55 SPACES

HC SPACES PROVIDED: 4 SPACES

TOTAL SPACES PROVIDED: 59 SPACES

**RADIO SIGNAL REQUIREMENT:**

THIS BUILDING WILL BE REQUIRED TO CONDUCT A TEST FOR MINIMUM RADIO SIGNAL STRENGTH TO DETERMINE COVERAGE. IF THE MINIMUM SIGNAL STRENGTH IS DEEMED INSUFFICIENT THEN A RADIO SIGNAL ENHANCEMENT SYSTEM MUST BE INSTALLED AND THE BUILDING RETESTED TO ENSURE IT MEETS THE MINIMUM CRITERIA OF NFPA 1 CHAPTER 11.10.1.

**CONCURRENCY NOTE:**

THIS PROPOSED PLAN HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION AND A FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO BUILDING PERMIT REVIEW.

**CROSS-ACCESS NOTE:**

ALL PARALLEL ACCESS EASEMENTS SHOWN ON THIS PLAT ARE HEREBY DEDICATED FOR THE USE AND BENEFIT OF THE PUBLIC, AND MAINTENANCE OF SAID EASEMENTS IS THE RESPONSIBILITY OF CONNOR TRACTOR.

**SURVEYOR CERTIFICATION:**

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE LDC AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS.

PROJECT SURVEYOR  
PSM #

DATE

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C:\Users\barry\Infinite Eng Dropbox\Barry Ginn\Infinite Engineering\2024 Projects\2024-230\Marion Site Drawings\Design Development\Site Plan 8-19-23.dwg

## GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE LATEST EDITION OF THE MARION COUNTY'S LAND DEVELOPMENT CODE.
- ALL UNSUITABLE MATERIAL ENCOUNTERED SHALL BE DISPOSED OF AND REPLACED WITH APPROVED MATERIAL.
- NEW WATER MAIN TO BE INSTALLED AT 36" DEPTH (MIN.) TO TOP OF PIPE EXCEPT WHERE VERTICAL ADJUSTMENTS ARE REQUIRED TO AVOID CONFLICTS. SEE ALSO NOTES 14 AND 15 BELOW.
- ALL UTILITIES SHOWN ON THESE PLANS HAVE BEEN PLOTTED FROM THE BEST AVAILABLE RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE LOCATES FROM THE UTILITY AGENCIES TO VERIFY LOCATIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
- EXCAVATED MATERIAL WILL BE LOADED ONTO DUMP TRUCKS DIRECTLY BEHIND THE EQUIPMENT AND HAULED OFF TO THE DESIGNATED SITE. TRAFFIC CONTROL MEASURES SHALL BE PLACED ACCORDINGLY TO ACCOMMODATE THIS PROCESS.
- INSTALL HAY BALES AT ALL INLETS TO MINIMIZE DEBRIS ENTERING THE STORM DRAIN SYSTEM.
- THE TRAFFIC CONTROL PLAN FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD); THE MARION COUNTY STANDARD SPECIFICATION FOR ROAD CONSTRUCTION (LATEST EDITION); THE FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC STANDARD PLANS, SERIES 102, LATEST EDITION; AND ANY REQUIREMENTS OF MARION COUNTY THAT MEET OR EXCEED ANY OF THE ABOVE.
- UNLESS OTHERWISE SPECIFIED ON THE PLANS, THE CONTRACTOR SHALL MAINTAIN TWO LANES OF TRAFFIC IN EACH DIRECTION FOR THE DURATION OF THE PROJECT. THE CONTRACTOR MAY, UPON APPROVAL OF THE ENGINEER IN CHARGE, RESTRICT TRAFFIC TO ONE-WAY OPERATION FOR SHORT PERIODS OF TIME PROVIDED THAT ADEQUATE MEANS OF TRAFFIC CONTROL ARE EFFECTED AND TRAFFIC IS NOT UNREASONABLY DELAYED.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ACCEPTABLE ACCESS TO ALL BUSINESSES AND RESIDENCES ALONG THE PROJECT ROUTE WHENEVER CONSTRUCTION INTERFERES WITH THE EXISTING MEANS OF ACCESS. FLAGMAN SHALL BE USED WHEN NO ALTERNATE ACCESS IS POSSIBLE.
- THE REQUIRED TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS SHALL BE ERECTED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION WHICH MAY CREATE ANY HAZARDOUS CONDITIONS. THE CONTRACTOR SHALL IMMEDIATELY REMOVE, COVER, OR TURN ANY DEVICE WHICH DOES NOT APPLY TO THE EXISTING CONDITIONS.
- THE CONTRACTOR SHALL HAVE A STATE OF FLORIDA CERTIFIED MAINTENANCE OF TRAFFIC SUPERVISOR WITH THE RESPONSIBILITY OF MAINTAINING THE POSITIONING AND CONDITION OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS THROUGHOUT THE DURATION OF THE PROJECT. THE ENGINEER IN CHARGE SHALL BE KEPT ADVISED AS TO THE IDENTIFICATION AND MEANS OF CONTACTING THIS EMPLOYEE ON A 24-HOUR BASIS.
- ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION.
- THE CONTRACTOR SHALL BE NOISE SENSITIVE FOR NIGHT OPERATIONS.
- NEW OR RELOCATED WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST 6 FEET AND PREFERABLY 10 FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING GRAVITY SEWER, SEWER FORCE MAIN, OR RECLAIMED WATER MAIN. THE MINIMUM HORIZONTAL DISTANCE FOR WATER MAINS CROSSING OTHER PIPELINES OR UTILITY SEWERS SHALL BE REDUCED TO 3 FEET WHERE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE SEWER. NEW OR RELOCATED UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR NEW GRAVITY SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 6 INCHES AND PREFERABLY 12 INCHES ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPE LINE. IT IS PREFERABLE TO INSTALL THE WATER MAIN ABOVE OTHER PIPE LINES.
- AT THE UTILITY CROSSINGS, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE CROSSING PIPELINES, SO THAT WATER LINE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING PIPE. PIPE CROSSINGS SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST 3 FEET FROM JOINTS IN VACUUM TYPE RECLAIMED WATER SEWER MAINS AND AT LEAST 6 FEET FROM ALL JOINTS IN GRAVITY SEWERS AND SEWER FORCE MAINS.
- THE CONTRACTOR SHALL ADHERE TO ALL ELEMENTS OF THE TRENCH SAFETY ACT, F.S. 553, Part III (LATEST EDITION) AND THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S (OSHA) EXCAVATION SAFETY STANDARDS, 29 CFR 1926.650 Subpart P WHICH ARE INCORPORATED INTO THIS CONTRACT BY REFERENCE.

## FDEP NOTES

NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 6 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. THE WATER MAIN SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY-OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

## FDOT NOTES

- ALL CONSTRUCTION WITHIN THE FDOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST FDOT STANDARD PLANS AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE UTILITY ACCOMMODATION (UAM).
- RESTORE AND RE-SOD ALL DISTURBED AREAS IN ACCORDANCE WITH THE FDOT STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL MAINTAIN THAT PORTION OF THE RIGHT-OF-WAY AFFECTED BY THE PERMIT INSTALLATION UNTIL VEGETATION IS ESTABLISHED, PERFORM ALL WORK NECESSARY, INCLUDING WATERING AND FERTILIZING, TO SUSTAIN AN ESTABLISHED TURF UNTIL FINAL ACCEPTANCE, AT NO ADDITIONAL EXPENSE TO THE FDOT OR MARION COUNTY. PROVIDE FILLING, LEVELING, AND REPAIRING OF ANY WASHED OR ERODED AREAS, AS MAY BE NECESSARY.
- AT SUCH LOCATIONS WHERE FDOT SIGNS, REFLECTORS, OR OTHER STRUCTURES WILL INTERFERE WITH PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE LOCAL MAINTENANCE OFFICE OR RESIDENT ENGINEER 48 HOURS PRIOR TO CONSTRUCTION. ALL ITEMS THAT REQUIRE REMOVAL OR RELOCATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR MOWING, AT NO ADDITIONAL EXPENSE TO FDOT OR MARION COUNTY, ANY AREA WITHIN PUBLIC RIGHTS-OF-WAY WHERE THE PERMITTED WORK OR WHERE UTILITY LOCATE FLAGS PLACED FOR PERMITTED WORK CREATES A HINDRANCE FOR OR INTERFERES WITH MAINTENANCE ENTITY'S REGULAR MOWING OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MOWING UNTIL ALL SUCH HINDRANCES ARE REMOVED SO THAT REGULAR MAINTENANCE ENTITY MOWING CAN BE RESUMED. THE CONTRACTOR SHALL MEET THE MOWING REQUIREMENTS ESTABLISHED BY THE DEPARTMENTS MAINTENANCE RATING PROGRAM (MRP). CONTACT THE LOCAL FDOT MAINTENANCE OFFICE FOR DETAILS (352) 857-1469.
- ALL UTILITY LOCATE FLAGS SHALL BE REMOVED BY THE CONTRACTOR WHEN THEY ARE NO LONGER NEEDED.
- REVIEW AND COMPLY WITH THE "SPECIAL PROVISIONS" AND OTHER ATTACHMENTS TO THE FDOT PERMIT FOR THIS PROJECT.
- CALL "SUNSHINE" FOR UTILITY LOCATION SERVICE 2 BUSINESS DAYS PRIOR TO CONSTRUCTION (1-800-332-4770).
- TRAFFIC CONTROL THROUGHOUT THE WORK ZONE SHALL BE PER THE FDOT STANDARD PLANS, SERIES 102.
- MOT PLAN SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS 102-602, 102-603, 102-613, 102-661.
- COORDINATE WITH UTILITY CLEARANCES WITH THE OWNER OF THE UTILITIES PRIOR TO CONSTRUCTION COMMENCEMENT.
- CONTRACTOR SHALL COMPLY WITH FDOT STANDARDS APPLICABLE TO DETERMINE THE EXISTING CONDITION OF AFFECTED SIDEWALKS AND SUBMIT SAID SURVEY TO FDOT AND MARION COUNTY PRIOR TO CONSTRUCTION COMMENCEMENT.
- CONTRACTOR SHALL NOTIFY ALL PROPERTY OWNERS AFFECTED BY PROPOSED CONSTRUCTION ACTIVITIES IN ADVANCE OF SUCH OPERATIONS IN ACCORDANCE WITH FDOT NOTIFICATION REQUIREMENTS.
- A PRE-CONSTRUCTION CONFERENCE SHALL BE CONDUCTED BY MARION COUNTY WITH THE CONTRACTOR & FDOT PERSONNEL.

APPROVAL STAMP AREA

A MAJOR SITE PLAN FOR  
NEXT DIMENSION  
CONSTRUCTION  
BDS US HIGHWAY 441  
SUMMERFIELD, FLORIDA 34491

SHEET TITLE

## NOTES AND LEGEND

CLIENT INFORMATION

NEXT DIMENSION CONSTRUCTION, INC.  
120-29 SE HIGHWAY 441  
SUITE 101  
SUMMERFIELD, FLORIDA 34491  
(352) 857-1469

SUBCONSULTANTS

ENGINEER OF RECORD  
BARRY EDWARD GINN, P.E.  
FLORIDA PROFESSIONAL ENGINEER  
FL PE NUMBER 34595  
ISSUE DATE  
August 14, 2023  
PROJECT NUMBER NUMBER  
2024-230  
REVISIONS

DATE DESCRIPTION  
3/25 MC COMMENTS  
8/25 FDOT COMMENTS

3/25 MC COMMENTS

8/25 FDOT COMMENTS

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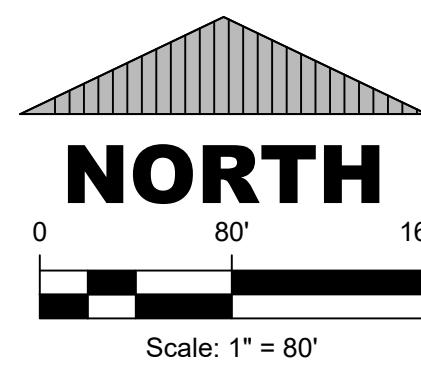
8/25 FDOT COMMENTS

3/25 MC COMMENTS

8/25 FDOT COMMENTS

3/25 MC COMMENTS

8/25 FDOT COMMENTS</p



PROJECT TITLE

A MAJOR SITE PLAN FOR  
**NEXT DIMENSION**  
CONSTRUCTION  
►BD SUS HIGHWAY 441  
SUMMERFIELD, FLORIDA 34491

SHEET TITLE

**AERIAL  
PHOTOGRAPH**

CLIENT INFORMATION  
  
NEXT DIMENSION CONSTRUCTION, INC.  
250-25 SE HIGHWAY 441  
SUITE 101  
SUMMERFIELD, FLORIDA 34491  
(352) 857-1469

SUBCONSULTANTS

ENGINEER OF RECORD  
**• BARRY EDWARD GINN •**  
LICENSURE  
No. 54595  
PROFESSIONAL ENGINEER  
STATE OF FLORIDA  
BARRY EDWARD GINN, P.E.  
FLORIDA PROFESSIONAL ENGINEER  
FL PE NUMBER 34595

ISSUE DATE

August 14, 2023

PROJECT NUMBER NUMBER

2024-230

REVISIONS

DATE	DESCRIPTION
3/25	MC COMMENTS
7/25	TURN LANE
11/25	MC COMMENTS

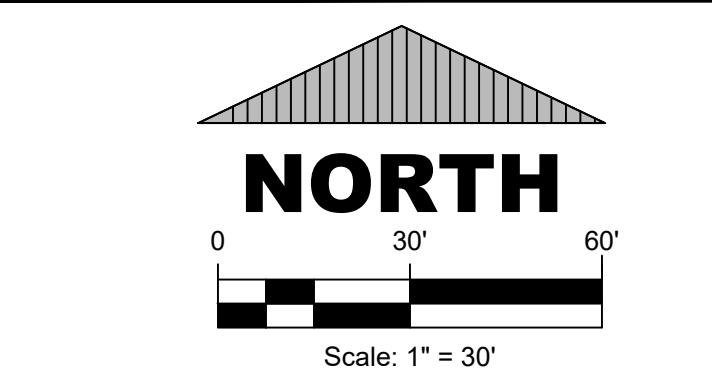
SHEET DESIGNATION

**C002**

SHEET

3 OF 17

DATE	DESCRIPTION
3/25	MC COMMENTS
5/25	MC COMMENTS
7/25	MC COMMENTS
8/25	MC/FDOT COMMENTS

**DISTRICT REQUIREMENTS**

LOT WIDTH: NONE  
 LOT DEPTH: NONE  
 LOT AREA: NONE  
 SETBACKS:  
 FRONT SIDE 40 FEET  
 REAR 10 FEET  
 25 FEET  
 20 %  
 1.0 MAX.  
 50 FEET  
 OPEN SPACE  
 FLOOR AREA RATIO:  
 MAX. BLDG. HT.:

**PARKING CALCULATIONS:**

OFFICE: 2.5/1,000SF x 12,400SF = 31.0 SPACES  
 RESTAURANT: 1/4SEATS x 20SEATS = 5.0 SPACES  
 STORAGE/WHSE: 1/2,000SF x 10,400SF = 5.2 SPACES  
 TOTAL SPACES REQUIRED: 40.8 >> 41.2 SPACES  
 HC SPACES REQ'D.: 1/25 SPACES x 41.2 SPACES = 3 SPACES

REG. SPACES PROVIDED: 55 SPACES  
 HC SPACES PROVIDED: 4 SPACES  
 TOTAL SPACES PROVIDED: 59 SPACES

12" STABILIZED SUBGRADE COMPAKED  
 TO 98% MODIFIED PROCTOR MAX.  
 DRY DENSITY (LBR 40)  
 8" LIMEROCK BASE COMPAKED  
 TO 98% MODIFIED PROCTOR MAX.  
 DRY DENSITY (LBR 100) - 2 LIFTS  
 2" TYPE 9.5SP ASPHALT

**ASPHALT PAVEMENT SECTION**

NTS

12" STABILIZED SUBGRADE COMPAKED  
 TO 98% MODIFIED PROCTOR MAX.  
 DRY DENSITY (LBR 40)

10" LIMEROCK BASE COMPAKED  
 TO 98% MODIFIED PROCTOR MAX.  
 DRY DENSITY (LBR 100) - 2 LIFTS  
 2.5" TYPE 12.5SP ASPHALT  
 1.5" TYPE 12.5SP ASPHALT

NOTE:  
 THIS SECTION PERTAINS TO SHOULDER AND  
 DRIVEWAY CONSTRUCTION WITHIN FOOT  
 ROW.

**FDOT PAVEMENT SECTION**

NTS

12" STABILIZED SUBGRADE COMPAKED  
 TO 98% MODIFIED PROCTOR MAX.  
 DRY DENSITY (LBR 40)

10" LIMEROCK BASE COMPAKED  
 TO 98% MODIFIED PROCTOR MAX.  
 DRY DENSITY (LBR 100) - 2 LIFTS  
 2.5" TYPE 12.5SP ASPHALT

**STABILIZED FIRETRUCK SECTION**

NTS

12" STABILIZED SUBGRADE COMPAKED  
 TO 98% MODIFIED PROCTOR MAX.  
 DRY DENSITY (LBR 40)

10" LIMEROCK BASE COMPAKED  
 TO 98% MODIFIED PROCTOR MAX.  
 DRY DENSITY (LBR 100) - 2 LIFTS  
 2.5" TYPE 12.5SP ASPHALT

**SITE PLAN LEGEND**

PROPOSED BUILDINGS

PROPOSED PAVEMENT

PROPOSED CONCRETE

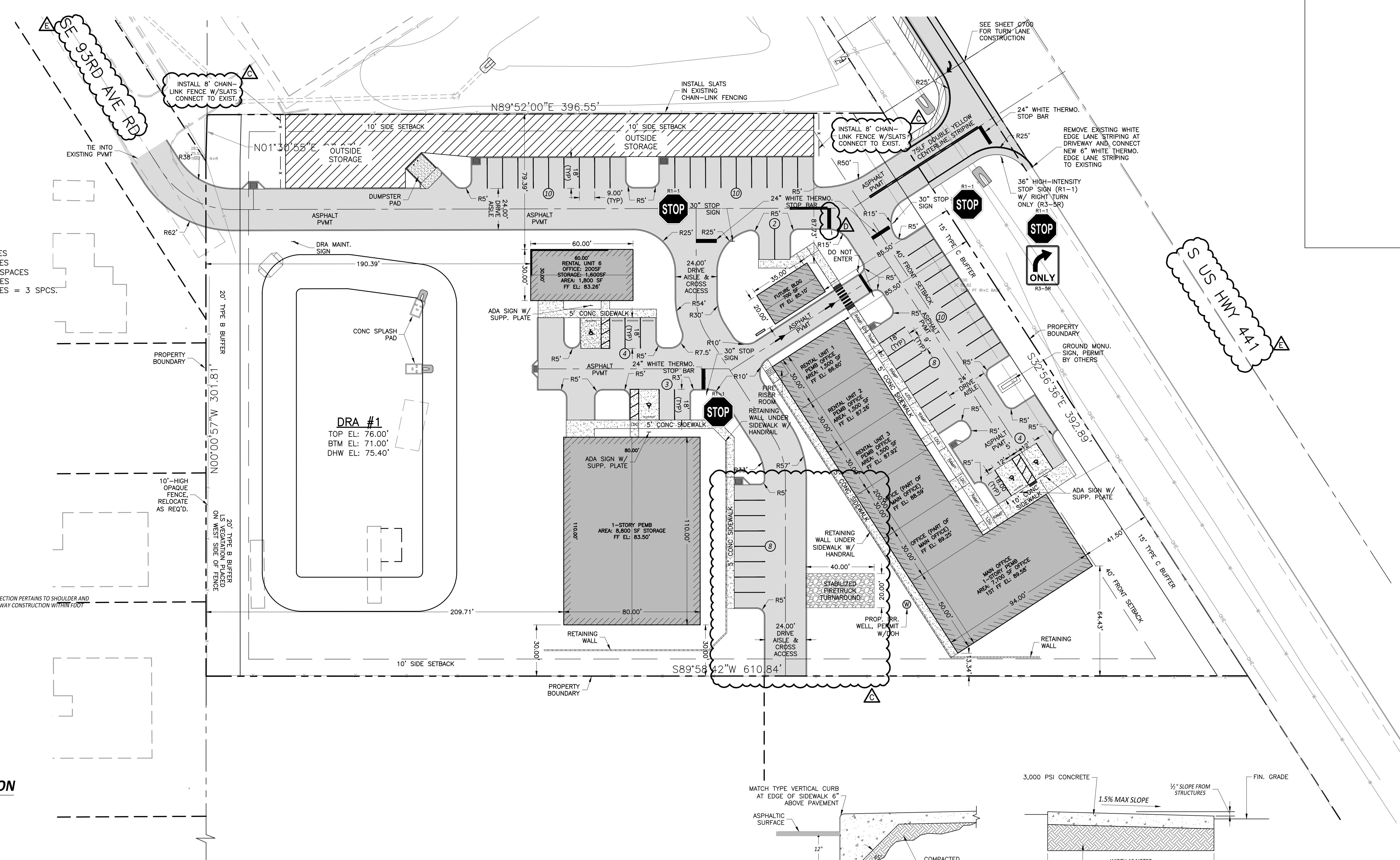
PROPOSED CURB

PROPOSED SIGNAGE

PROPOSED SETBACK/EASEMENT

HANDICAP SYMBOL

UNINTERRUPTED PARKING SPACES

**TYPE "D" CURB DETAIL**

SCALE: NONE

① WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER  
 SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT.

② PROVIDE CONTRACTION JOINTS @ 10' O.C. AND EXPANSION JOINTS @ 50' O.C.  
 ALL JOINTS SEALED PER SPECIFICATIONS

③ 6" HEIGHT SHALL BE UNIFORM, IF HEIGHT VARIES +/- 1/2", THEN CURB WILL BE  
 REPLACED AT THE DISCRETION OF THE ENGINEER AT THE CONTRACTOR'S  
 EXPENSE.

**TYPE "D" CURB TERMINATION DETAIL**

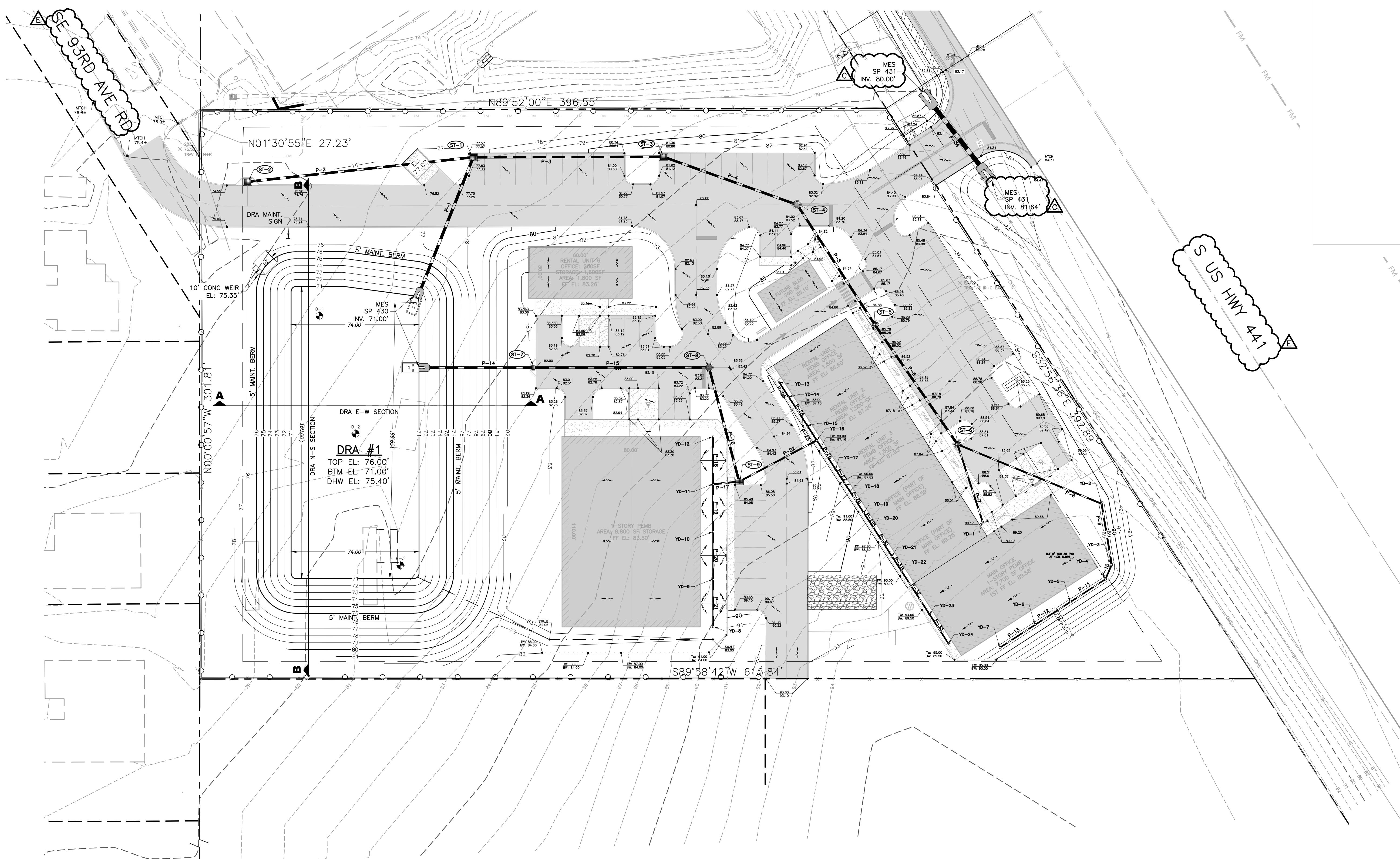
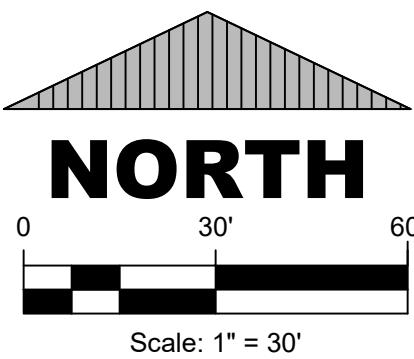
SCALE: NONE

NOTES:  
 1. EXTRUDE CURB AND BROOM FINISH  
 2. PROVIDE 1/2" EXPANSION JOINTS AT ALL COLD JOINTS.  
 3. SAW CUT CONSTRUCTION JOINTS AT 10'-0" O.C.  
 4. ALL EXPOSED SURFACES SHALL BE STRIPED GREEN,  
 TROWLED AND CURB EDGING RUBBED SMOOTH.  
 5. "GLUED-ON" EXTRUDED CURB NOT PERMITTED.

**SIDWALK DETAILS**

SCALE: NONE

EXPANSION JOINT FILLER TO BE 1/2" MASTIC  
 BITUMINOUS FIBER CONFORMING TO AASHTO  
 DESIGNATION M-33, TO BE USED AT BUILDING WALL  
 AND OTHER FIXED OBJECTS AND @ 50' O.C. (MAX)  
 (ALL JOINTS SEALED PER SPECIFICATIONS)



#### DRAINAGE LEGEND

PROPOSED STORM PIPE

PROPOSED STORM INLET

PROPOSED CONTOURS

PROPOSED DRAINAGE BNDY

PROPOSED SPOT ELEVATIONS

PROPOSED MITERED END SECTION

#### STORM STRUCTURE TABLE:

ST-1  
TYPE D INLET  
GRATE EL: 77.07  
W. & S. INV. EL: 71.26  
E. INV. EL: 73.07

ST-6  
TYPE C INLET  
GRATE EL: 77.34  
N. INV. EL: 82.10  
SW. INV. EL: 85.55  
SE. INV. EL: 84.50

ST-2  
TYPE D INLET  
GRATE EL: 74.52  
INV. EL: 71.90

ST-7  
TYPE C INLET  
GRATE EL: 82.00  
E. INV. EL: 77.75  
W. INV. EL: 71.65

ST-3  
TYPE D INLET  
GRATE EL: 80.86  
W. INV. EL: 74.13  
E. INV. EL: 78.12

ST-8  
4" DIA. MH  
GRATE EL: 83.24  
N. INV. EL: 78.74  
W. INV. EL: 78.74

ST-4  
4" DIA. MH  
RIM EL: 82.91  
INV. EL: 78.91

ST-9  
TYPE D INLET  
GRATE EL: 84.98  
N. INV. EL: 79.40  
E. INV. EL: 80.98  
W. INV. EL: 79.59

#### PIPE TABLE:

P-1  
86LF 24" RCP  
AT 0.30% SLOPE

P-2  
127.3LF 15" RCP  
AT 0.50% SLOPE

P-3  
106LF 15" RCP  
AT 1.00% SLOPE

P-4  
78.1LF 15" RCP  
AT 1.00% SLOPE

P-5  
79.7LF 15" RCP  
AT 1.00% SLOPE

P-6  
82LF 15" RCP  
AT 1.00% SLOPE

P-7  
45.2LF 8" SDR35 PVC  
AT 1.00% SLOPE

P-8  
88.3LF 8" SDR35 PVC  
AT 1.00% SLOPE

P-9  
34.7LF 8" SDR35 PVC  
AT 1.00% SLOPE

P-10  
8LF 8" SDR35 PVC AT  
1.00% SLOPE

P-11  
23.2LF 8" SDR35 PVC  
AT 1.00% SLOPE

P-12  
23.2LF 8" SDR35 PVC  
AT 1.00% SLOPE

P-13  
23.2LF 8" SDR35 PVC  
AT 1.00% SLOPE

P-14  
65LF 15" RCP  
AT 1.00% SLOPE

P-15  
98.6LF 15" RCP  
AT 1.00% SLOPE

P-16  
66.2LF 15" RCP  
AT 1.32% SLOPE

P-17  
12.6LF 8" SDR35 PVC AT  
1.00% SLOPE

P-18  
26.5LF 8" SDR35 PVC AT  
1.00% SLOPE

P-19  
19LF 8" SDR35 PVC AT  
1.00% SLOPE

P-20  
19LF 10" SDR35 PVC AT  
1.00% SLOPE

P-21  
26.5LF 8" SDR35 PVC AT  
1.00% SLOPE

P-22  
48LF 10" SDR35 PVC AT  
1.00% SLOPE

P-23  
9LF 10" SDR35 PVC AT  
1.00% SLOPE

P-24  
19LF 10" SDR35 PVC AT  
1.00% SLOPE

P-25  
9LF 10" SDR35 PVC AT  
1.00% SLOPE

P-26  
26.5LF 8" SDR35 PVC AT  
1.00% SLOPE

P-27  
9LF 10" SDR35 PVC AT  
1.00% SLOPE

P-28  
19LF 10" SDR35 PVC AT  
1.00% SLOPE

P-29  
9LF 10" SDR35 PVC AT  
1.00% SLOPE

P-30  
19LF 10" SDR35 PVC AT  
1.00% SLOPE

P-31  
9LF 10" SDR35 PVC AT  
1.00% SLOPE

P-32  
29LF 10" SDR35 PVC AT  
1.00% SLOPE

P-33  
19LF 10" SDR35 PVC AT  
1.00% SLOPE

P-34  
65LF 19" x 30" ERCP AT  
2.52% SLOPE

#### YARD DRAIN TABLE:

YD-1  
12" NYLOPLAST  
GRATE EL: 89.00  
INV. EL: 86.00

YD-2  
12" NYLOPLAST  
GRATE EL: 88.50  
INV. EL: 83.00

YD-3  
12" NYLOPLAST  
GRATE EL: 88.50  
INV. EL: 85.73

YD-4  
12" NYLOPLAST  
GRATE EL: 88.50  
INV. EL: 85.81

YD-5  
12" NYLOPLAST  
GRATE EL: 88.50  
INV. EL: 86.04

YD-6  
12" NYLOPLAST  
GRATE EL: 88.50  
INV. EL: 86.27

YD-7  
12" NYLOPLAST  
GRATE EL: 88.50  
INV. EL: 81.83

YD-8  
12" NYLOPLAST  
GRATE EL: 83.00  
INV. EL: 80.50

YD-9  
12" NYLOPLAST  
GRATE EL: 88.50  
INV. EL: 85.38

YD-10  
12" NYLOPLAST  
GRATE EL: 83.00  
INV. EL: 85.73

YD-11  
12" NYLOPLAST  
GRATE EL: 88.50  
INV. EL: 79.72

YD-12  
12" NYLOPLAST  
GRATE EL: 83.00  
INV. EL: 79.99

YD-13  
12" NYLOPLAST  
GRATE EL: 88.34  
INV. EL: 81.93

YD-14  
12" NYLOPLAST  
GRATE EL: 86.50  
INV. EL: 81.74

YD-15  
12" NYLOPLAST  
GRATE EL: 87.00  
INV. EL: 82.67

YD-16  
12" NYLOPLAST  
GRATE EL: 87.00  
INV. EL: 81.46

YD-17  
12" NYLOPLAST  
GRATE EL: 87.67  
INV. EL: 81.65

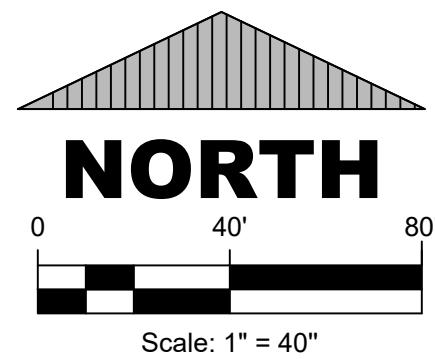
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12" NYLOPLAST  
GRATE EL: 87.67  
INV. EL: 81.74

YD-19  
12" NYLOPLAST  
GRATE EL: 88.34  
INV. EL: 81.93

YD-20  
12" NYLOPLAST  
GRATE EL: 88.34  
INV. EL: 82.11

YD-21  
12" NYLOPLAST  
GRATE EL: 88.50  
INV. EL: 82.11

YD-22  
12" NYLOPLAST  
GRATE EL: 89.00  
INV. EL: 82.49

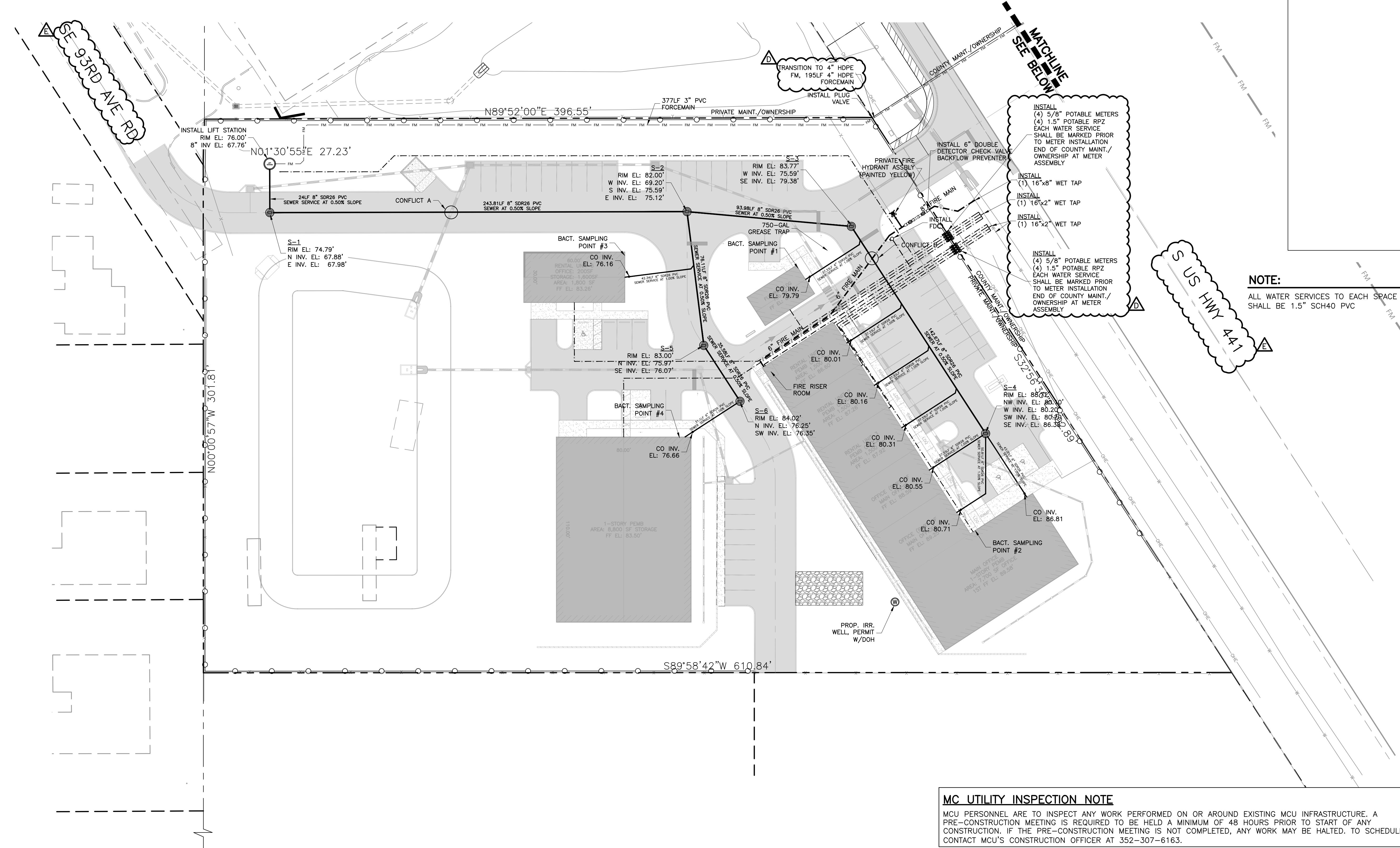


**NEW HYDRANT NOTE**

ALL NEW HYDRANTS SHALL BE INSTALLED, TESTED AND PAINTED PER NFPA 291, BY A THIRD-PARTY CONTRACTOR AND WITH THE APPROVAL OF THE COUNTY FIRE INSPECTOR. FIRE HYDRANT LOCATIONS SHALL BE INDICATED BY PLACEMENT OF A BLUE REFLECTOR IN THE MIDDLE OF THE ROADWAY CLOSEST TO THE HYDRANT

**KNOX BOX NOTE**

KNOX BOX SHALL BE INSTALLED NEAR THE FRONT DOOR, FEET FROM THE FLOOR LEVEL AND 2 FEET LEFT OF THE DOOR



**UTILITY LEGEND**

	PROPOSED SEWER MANHOLE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER MAIN
	PROPOSED SEWER MAIN
	PROPOSED FORCE MAIN
	PROPOSED ELECTRIC
	PROPOSED RECLAIMED

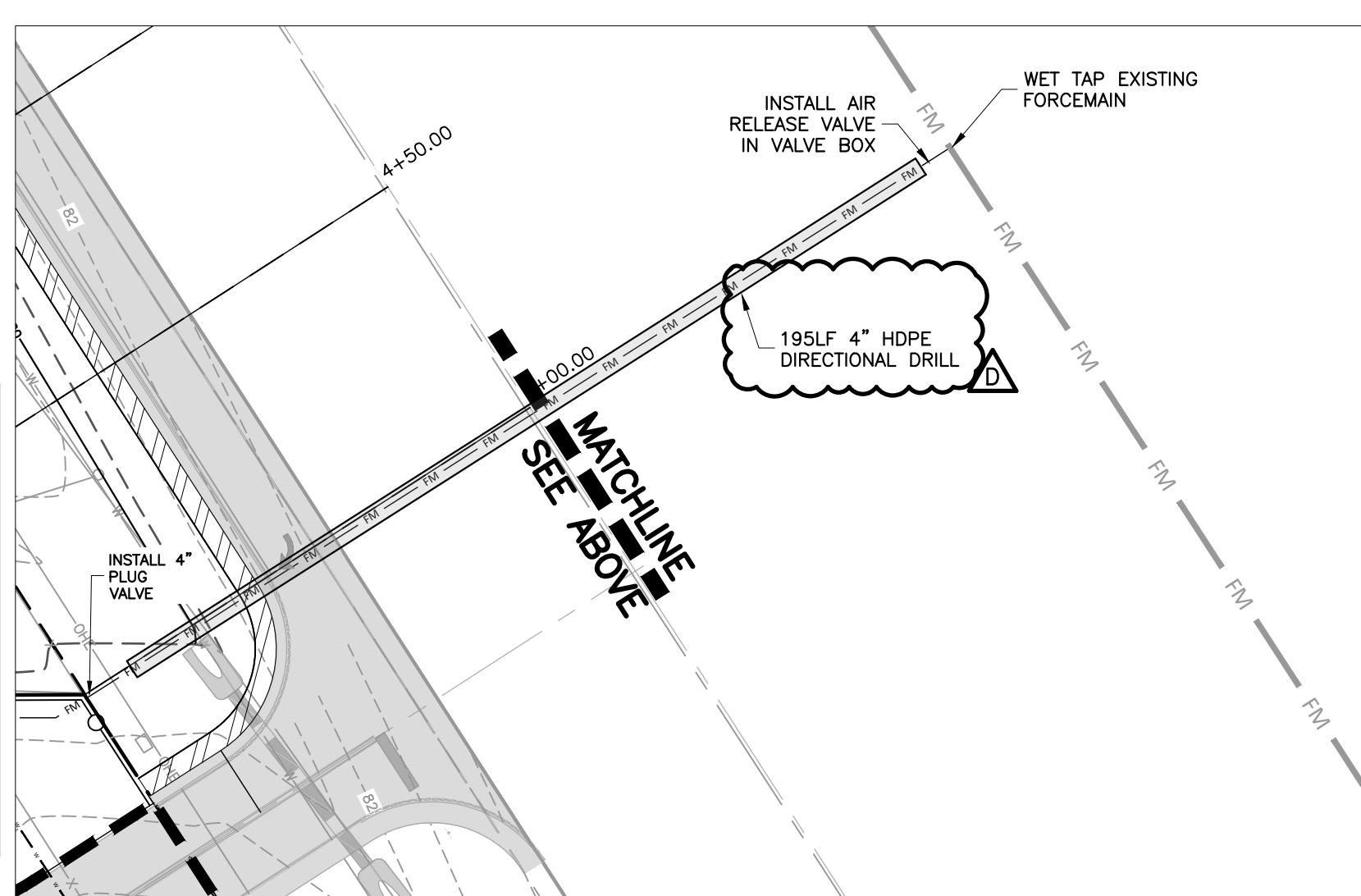
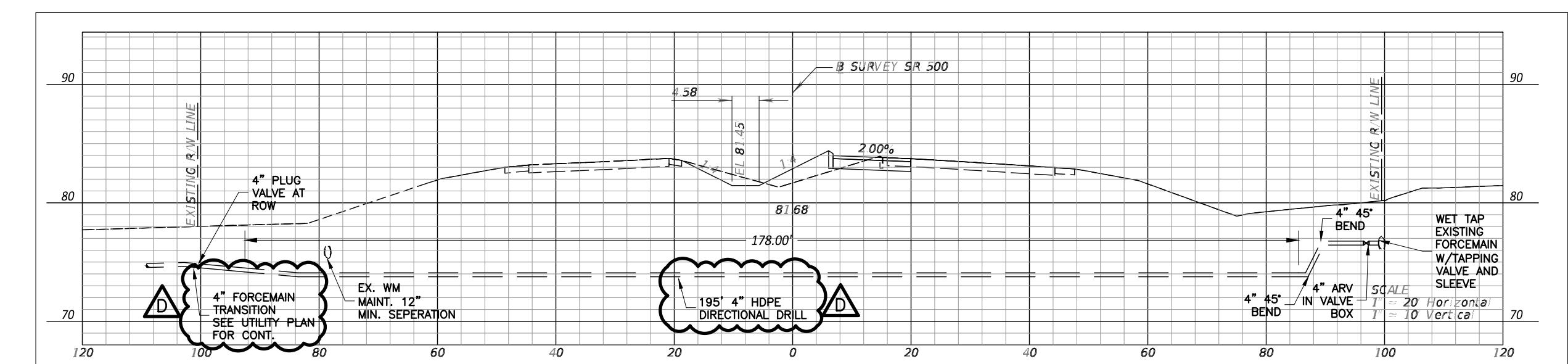
**PIPE CONFLICTS**

**CONFlict A**

STORM PIPE BTM - 70.92'  
SEWER PIPE TOP - 69.18'  
PROPOSED SEPARATION - 1.74'

**CONFlict B**

WATER PIPE BTM - 81.38'  
SEWER PIPE TOP - 80.15'  
PROPOSED SEPARATION - 1.23'



**A MAJOR SITE PLAN FOR  
NEXT DIMENSION  
CONSTRUCTION**  
BD S US HIGHWAY 441  
SUMMERFIELD, FLORIDA 34491

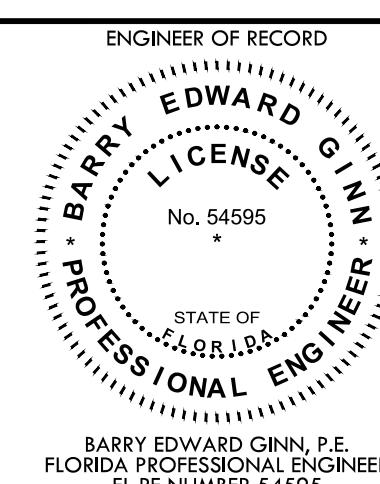
PROJECT TITLE

**CONSULTANT**  
**Infinite Engineering**  
240 SW 8TH STREET, SUITE A  
OAKLAND PARK, FL 33312  
(352) 267-1469  
WWW.INFINITEENG.COM  
CERT. OF AUTH. #33000

**UTILITY PLAN**

**CLIENT INFORMATION**  
NEXT DIMENSION CONSTRUCTION, INC.  
150-29 SE HIGHWAY 441  
SUITE 101  
SUMMERFIELD, FLORIDA 34491  
(352) 857-1469

**SUBCONSULTANTS**



**ISSUE DATE**

**August 14, 2023**

**PROJECT NUMBER**

**2024-230**

**REVISIONS**

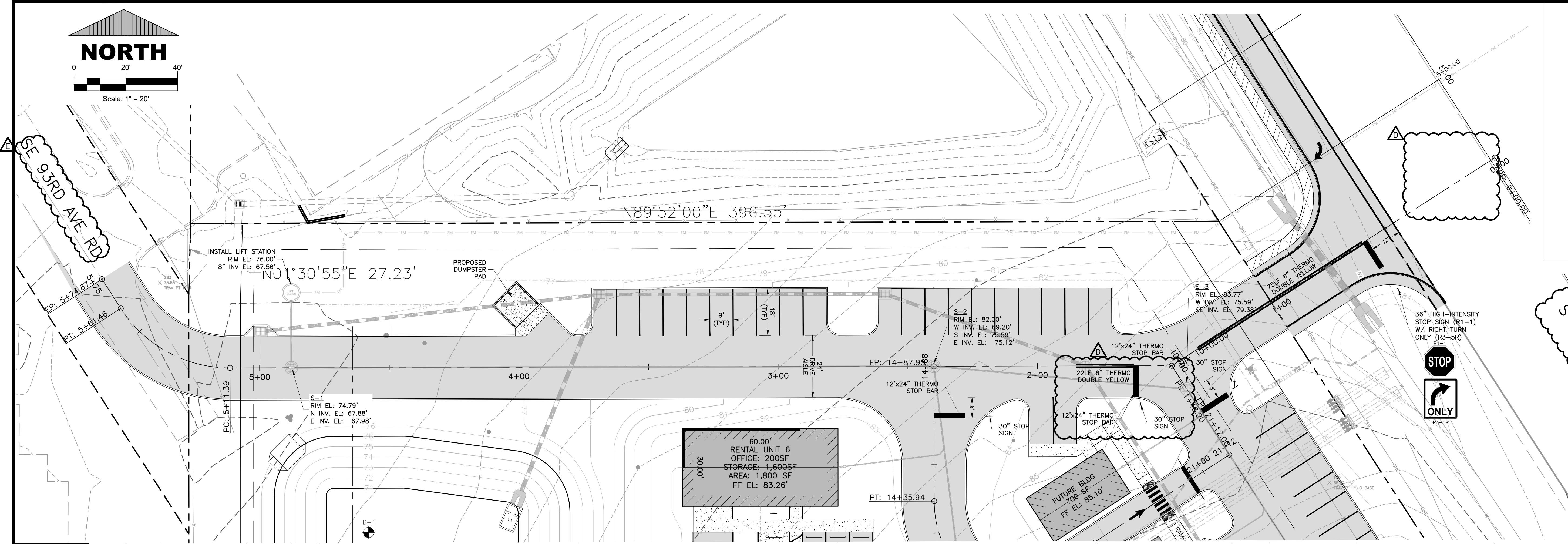
DATE	DESCRIPTION
3/25	MC COMMENTS
5/25	MC COMMENTS
7/25	MC COMMENTS
8/25	MC/FDEP COMMENTS

**SHEET DESIGNATION**

**C102**

**Sheet**

**6 OF 17**



CONSULTANT

**Infinite Engineering**

240 SW 11TH STREET, SUITE A  
OCAALA, FL 34765-4711  
(352) 207-1489  
WWW.INFINITEENGL.COM  
CERT. OF AUTH. # 33000

PROJECT TITLE

A MAJOR SITE PLAN FOR  
NEXT DIMENSION  
CONSTRUCTION  
(BD S US HIGHWAY 441  
SUMMERFIELD, FLORIDA 34491

PLAN AND  
PROFILE  
DRIVEWAY

CLIENT INFORMATION

NEXT DIMENSION CONSTRUCTION, INC.  
130-52 HIGHWAY 441  
SUITE 101  
SUMMERFIELD, FLORIDA 34491  
(352) 857-1469

90

90

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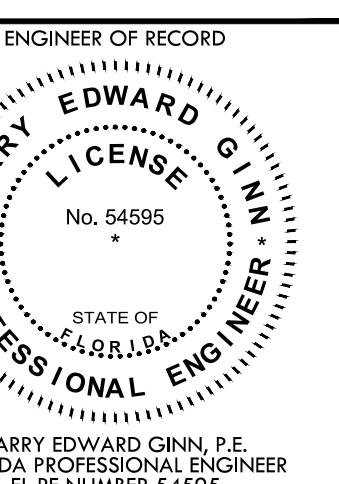
70

60

C200

7 OF 17

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ENGINEER OF RECORD

BARRY EDWARD GINN, P.E.

FLORIDA PROFESSIONAL ENGINEER

PL NUMBER 54595

ISSUE DATE

August 14, 2023

PROJECT NUMBER NUMBER

2024-230

REVISIONS

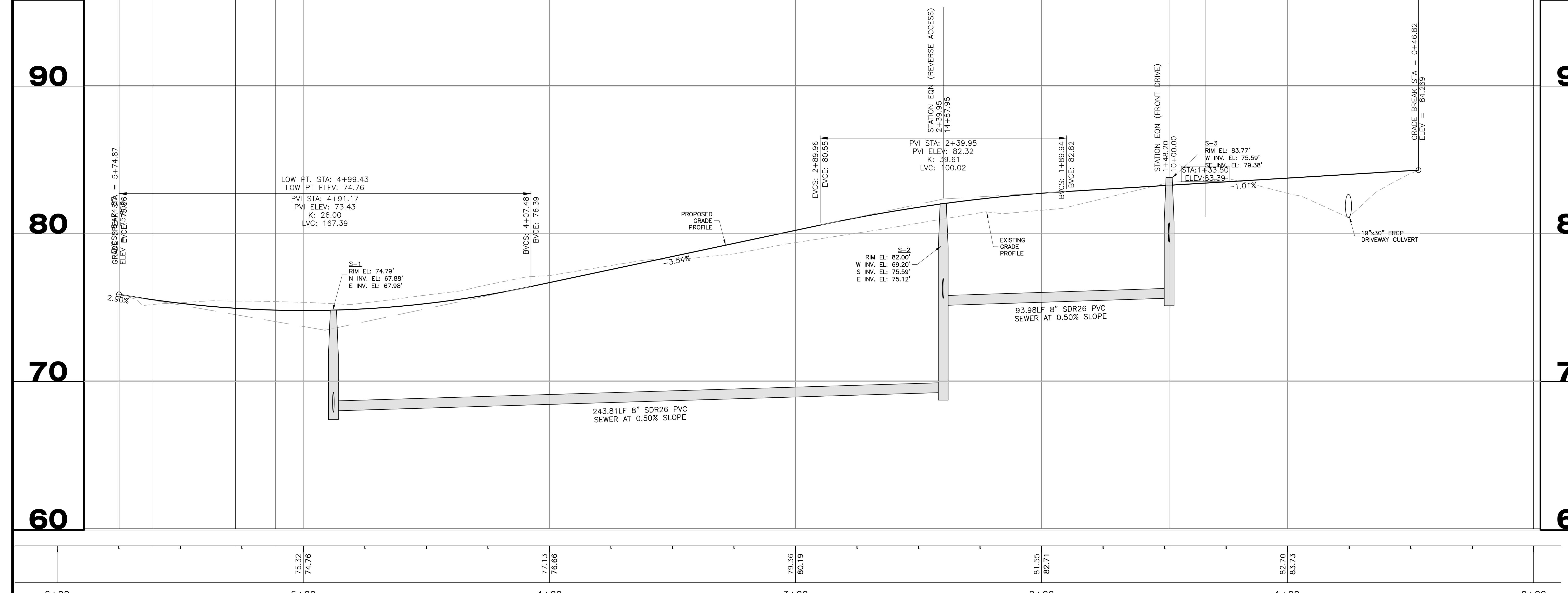
DATE	DESCRIPTION
3/25	MC COMMENTS
8/25	FDOT COMMENTS
11/25	MC COMMENTS

SHEET DESIGNATION

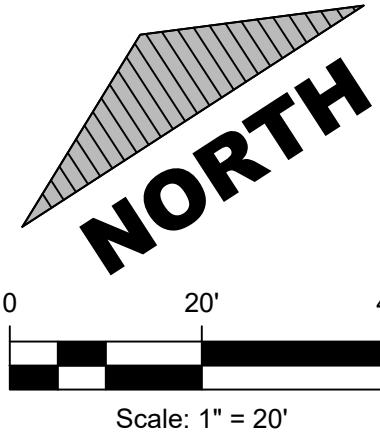
C200

SHEET

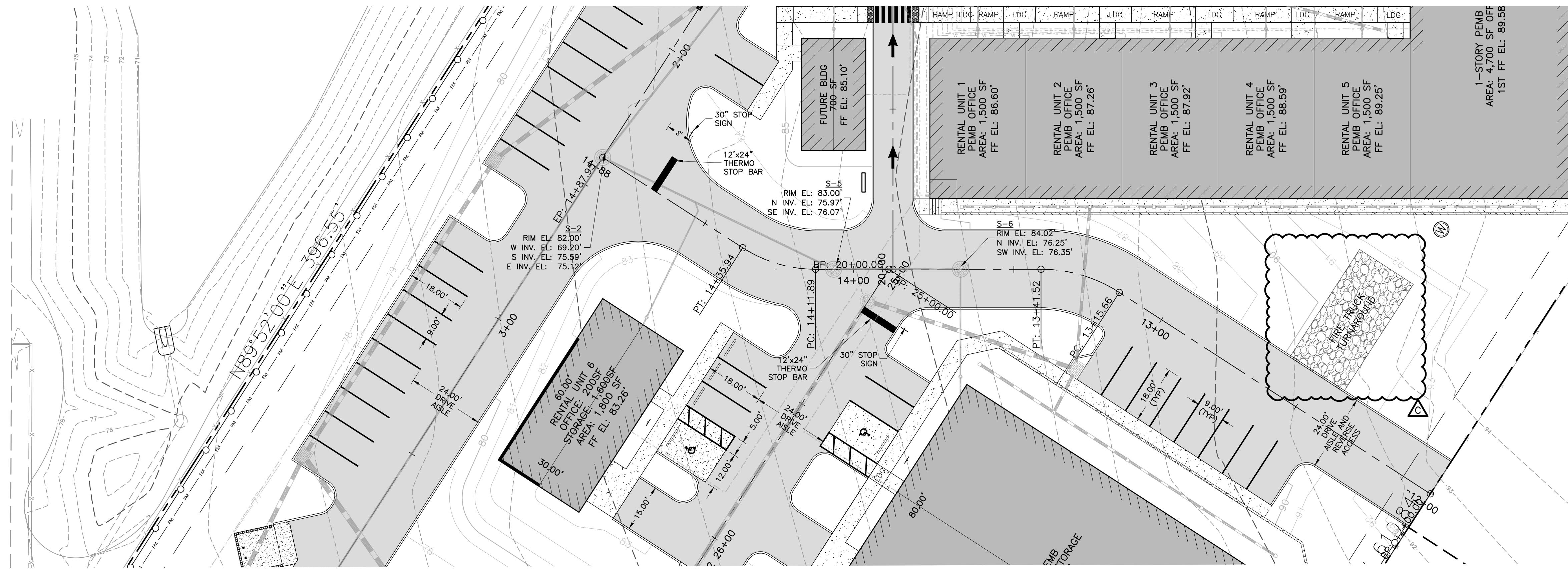
7 OF 17



C:\Users\barry\Infinite Eng Dropbox\Barry Ginn\Infinite Engineering\2024 Projects\2024-230 Villareal Site (Drawings\Design Development\Site Plan B-19-25.dwg



Scale: 1" = 20'



A MAJOR SITE PLAN FOR  
**NEXT DIMENSION**  
**CONSTRUCTION**  
 **BD'S US HIGHWAY 441**  
**SUMMERFIELD, FLORIDA 344**

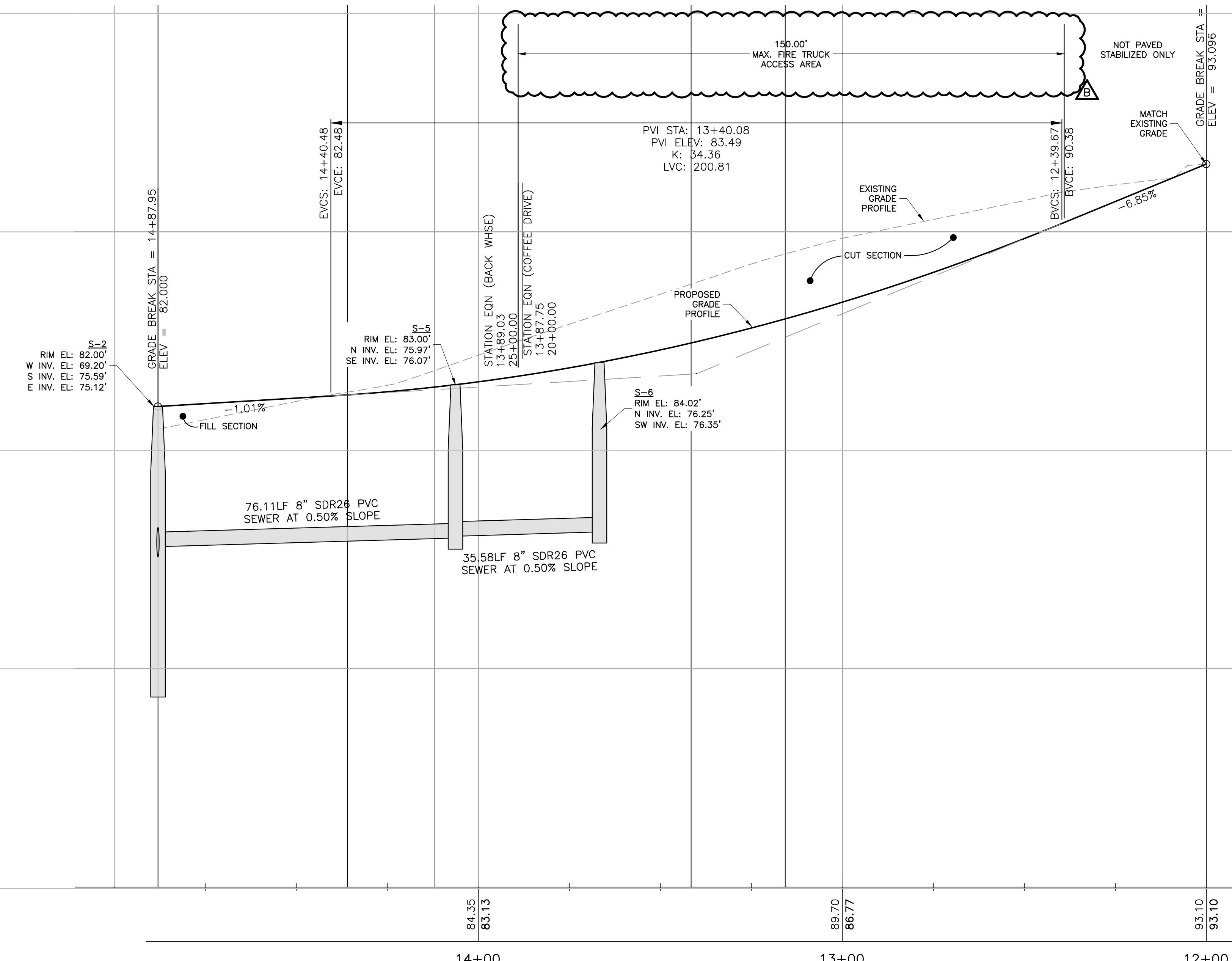
The logo for infinite Engineering consists of a large, stylized infinity symbol in a dark grey, rounded font. Below the symbol, the word "infinite" is written in a lowercase, sans-serif font, and "Engineering" is written in a larger, bold, sans-serif font. The two words are stacked vertically.

# PLAN AND PROFILE REVERSE ACCESS

**CLIENT INFORMATION**

---

## SUBCONSULTANTS



EDWARD BARRY  
LICENSE  
No. 54595  
\*  
PROFESSIONAL ENGINEER \* N.I.G.  
STATE OF FLORIDA

BARRY EDWARD GINN, P.E.  
FLORIDA PROFESSIONAL ENGINEER  
FL PE NUMBER 54595

August 14, 2023

2024-230

## REVISIONS

DATE	DESCRIPTION
4/15	

/25 MC COMMENTS

/25 MC COMMENTS

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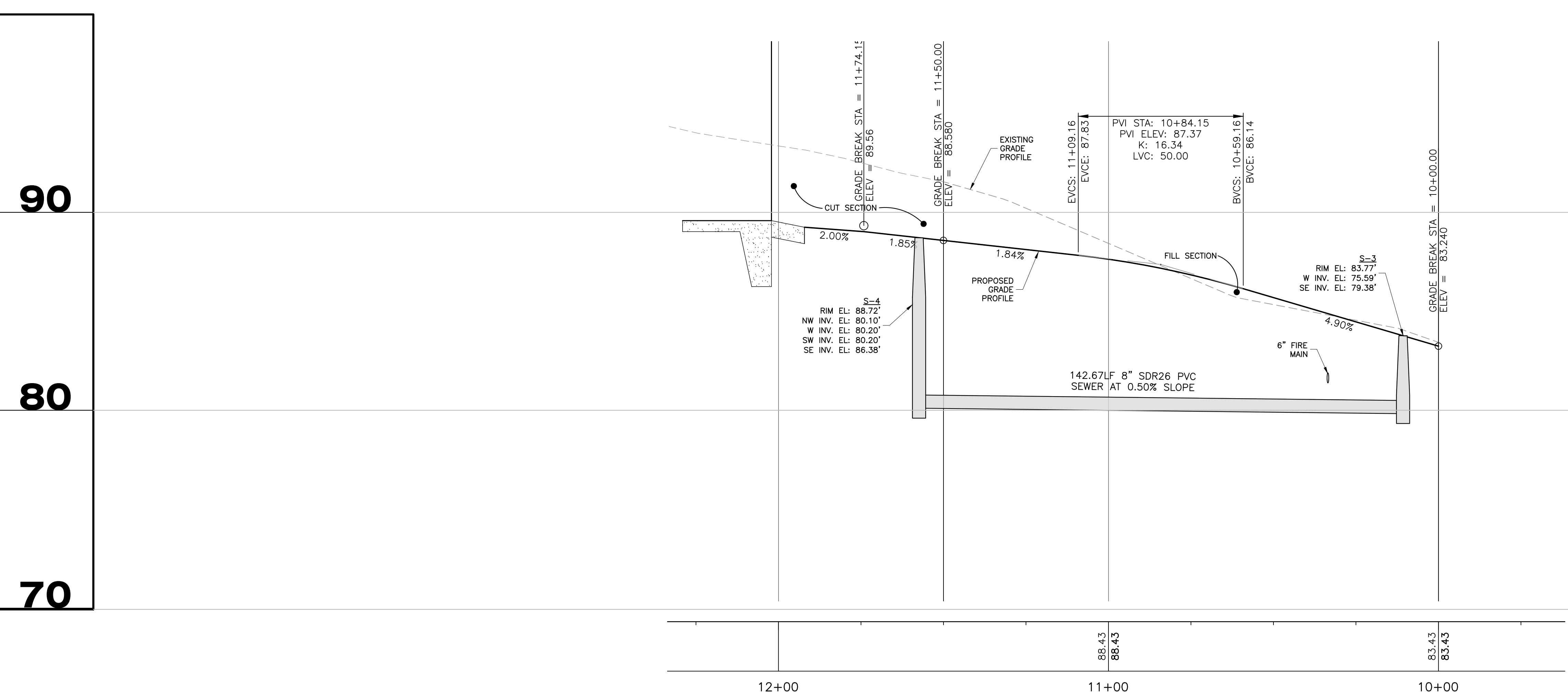
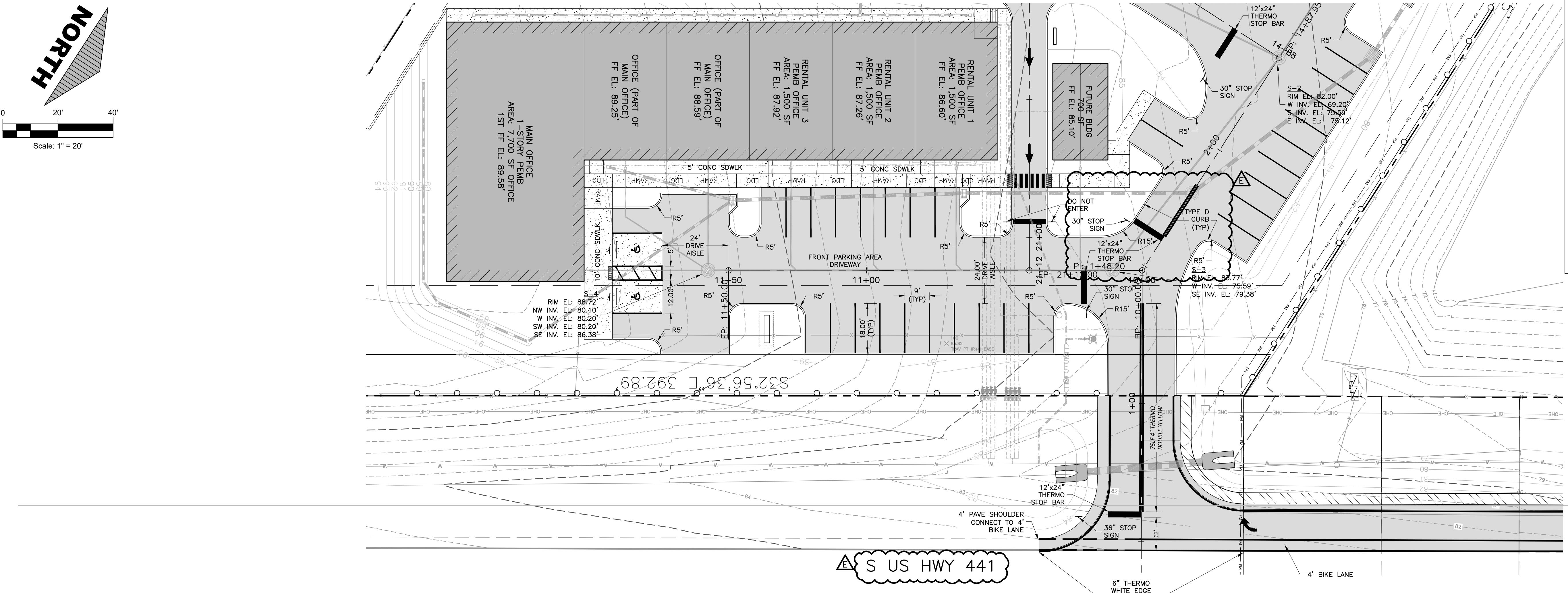
**SHEET DESIGNATION**

# C201

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SHEET

3 OF 17



CONSULTANT

**infinite Engineering**

240 SW 8TH STREET, SUITE A  
OCALA, FLORIDA 34471  
(352) 267-1480  
[WWW.INFINITEENGL.COM](http://WWW.INFINITEENGL.COM)  
CERT. OF AUTH. # 33000

PROJECT TITLE

A MAJOR SITE PLAN FOR  
**NEXT DIMENSION  
CONSTRUCTION**  
BDS US HIGHWAY 441  
SUMMERFIELD, FLORIDA 34491

# SHEET TITLE

# PLAN AND PROFILE FRONT DRIVEWAY

**T DIMENSION CONSTRUCTION, INC.**  
**4 SE HIGHWAY 441**  
**E 101**  
**MERFIELD, FLORIDA 34491**  
**857-1469**

## SUBCONSULTANTS

BARRY EDWARD GINN, P.E.  
FLORIDA PROFESSIONAL ENGINEER  
FL P.E. NUMBER 54595

August 14, 2023

PROJECT NUMBER NUMBER

<b>REVISIONS</b>	
<b>DATE</b>	<b>DESCRIPTION</b>
/25	MC COMMENTS

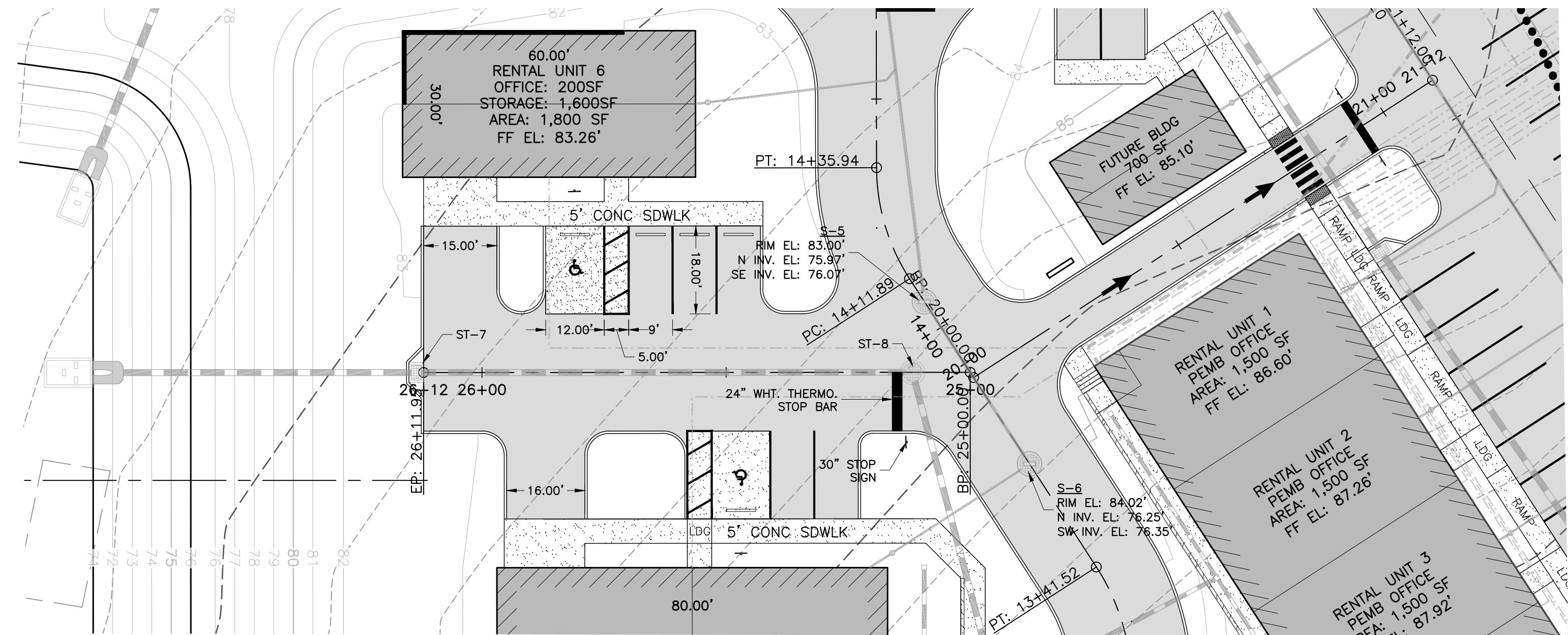
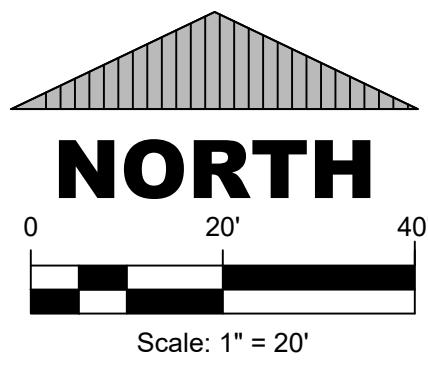
1/25 FDOT COMMENTS

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## SHEET DESIGNATION

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SHEET



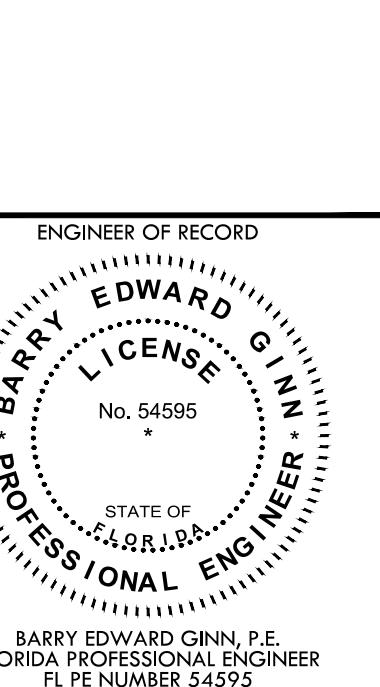
**CONSULTANT**  
**Infinite Engineering**  
 240 SW 8TH STREET, SUITE A  
 OAKLAND PARK, FL 33311  
 (352) 267-1469  
 WWW.INFINITEENG.COM  
 CERT. OF AUTH. # 33000

**PROJECT TITLE**  
**A MAJOR SITE PLAN FOR**  
**NEXT DIMENSION**  
**CONSTRUCTION**  
**BD S US HIGHWAY 441**  
**SUMMERFIELD, FLORIDA 34491**

**PLAN AND**  
**PROFILE WHSE**  
**DRIVE**

**CLIENT INFORMATION**  
**NEXT DIMENSION CONSTRUCTION, INC.**  
 150-29 SE HIGHWAY 441  
 SUITE 101  
 SUMMERFIELD, FLORIDA 34491  
 (352) 857-1469

**SUBCONSULTANTS**



**ISSUE DATE**

**August 14, 2023**

**PROJECT NUMBER NUMBER**

**2024-230**

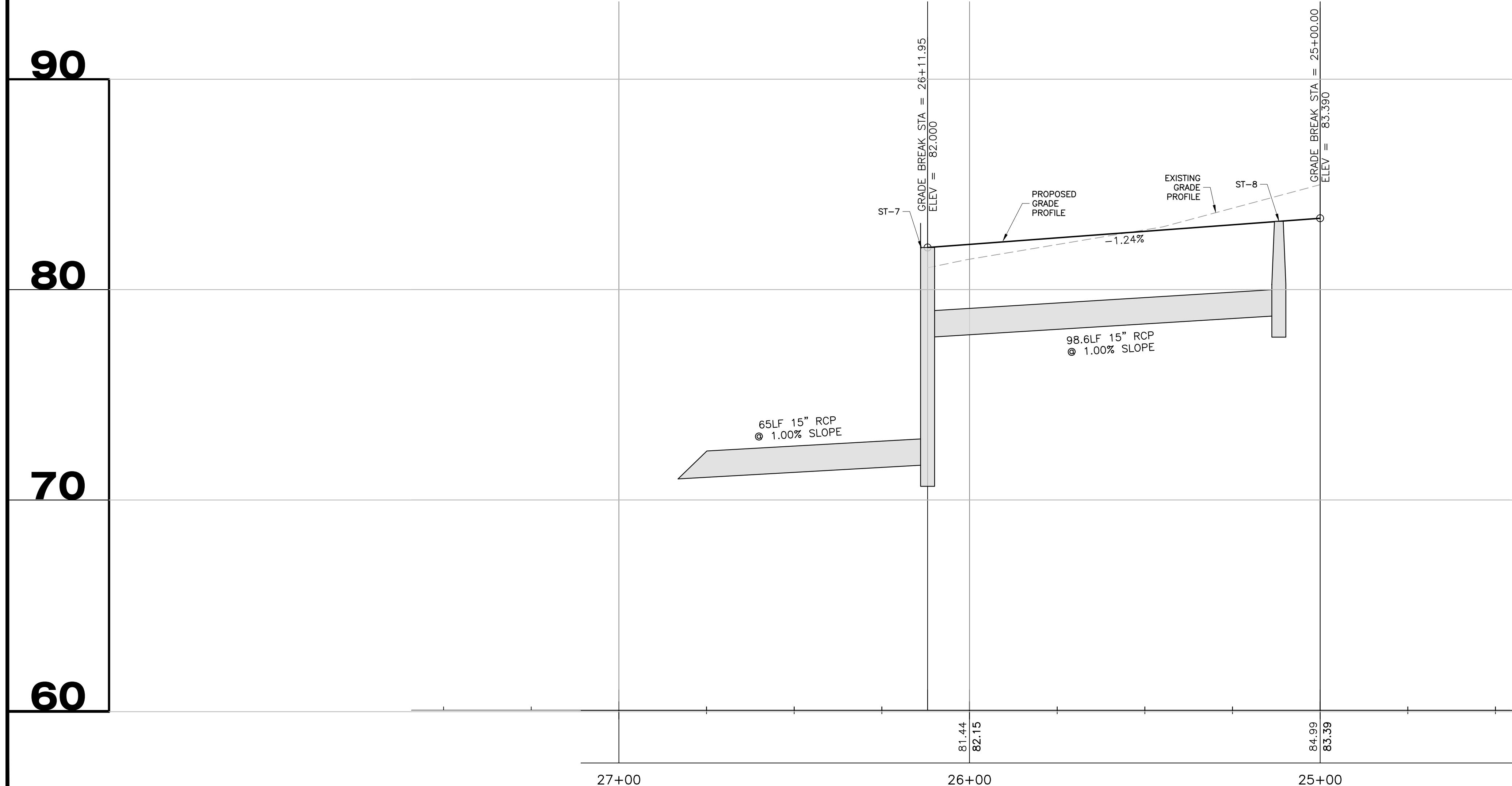
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DATE	DESCRIPTION
3/25	MC COMMENTS

**SHEET DESIGNATION**  
**C203**

**SHEET**

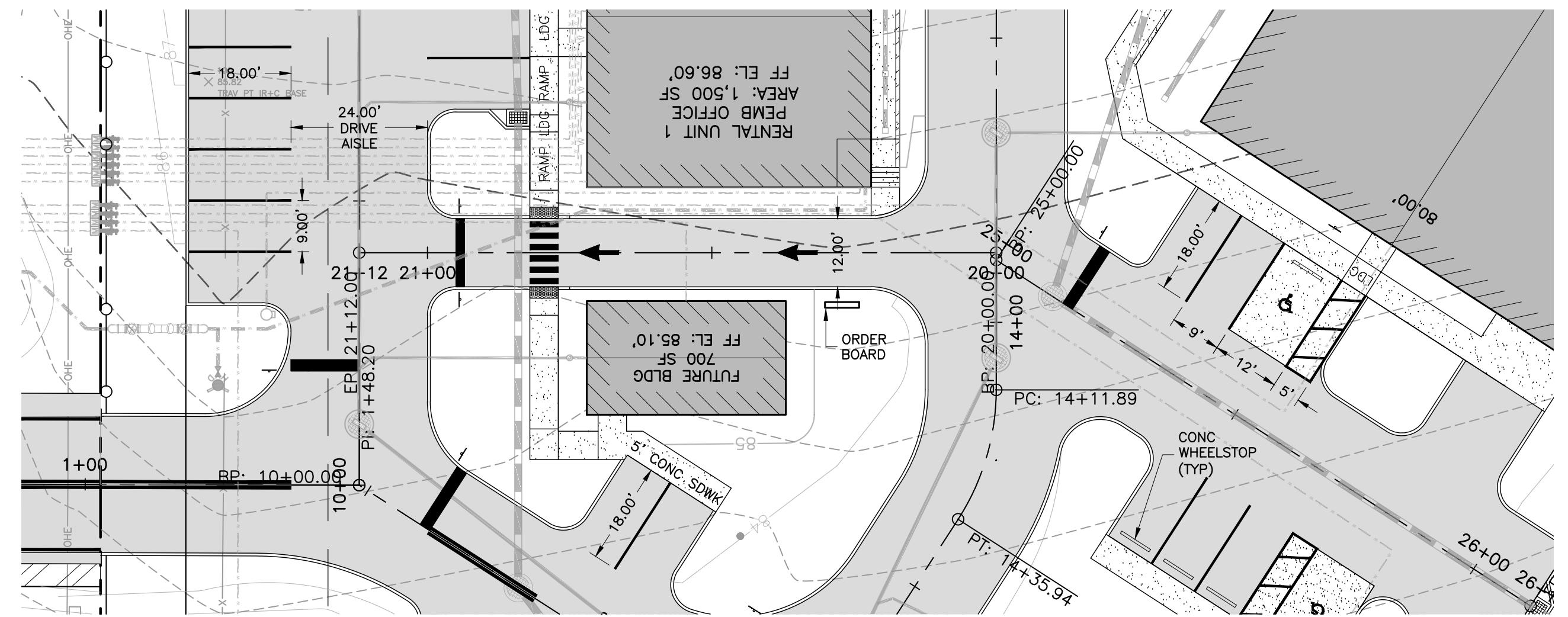
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NORTH

Scale: 1" = 20'

0 20' 40'

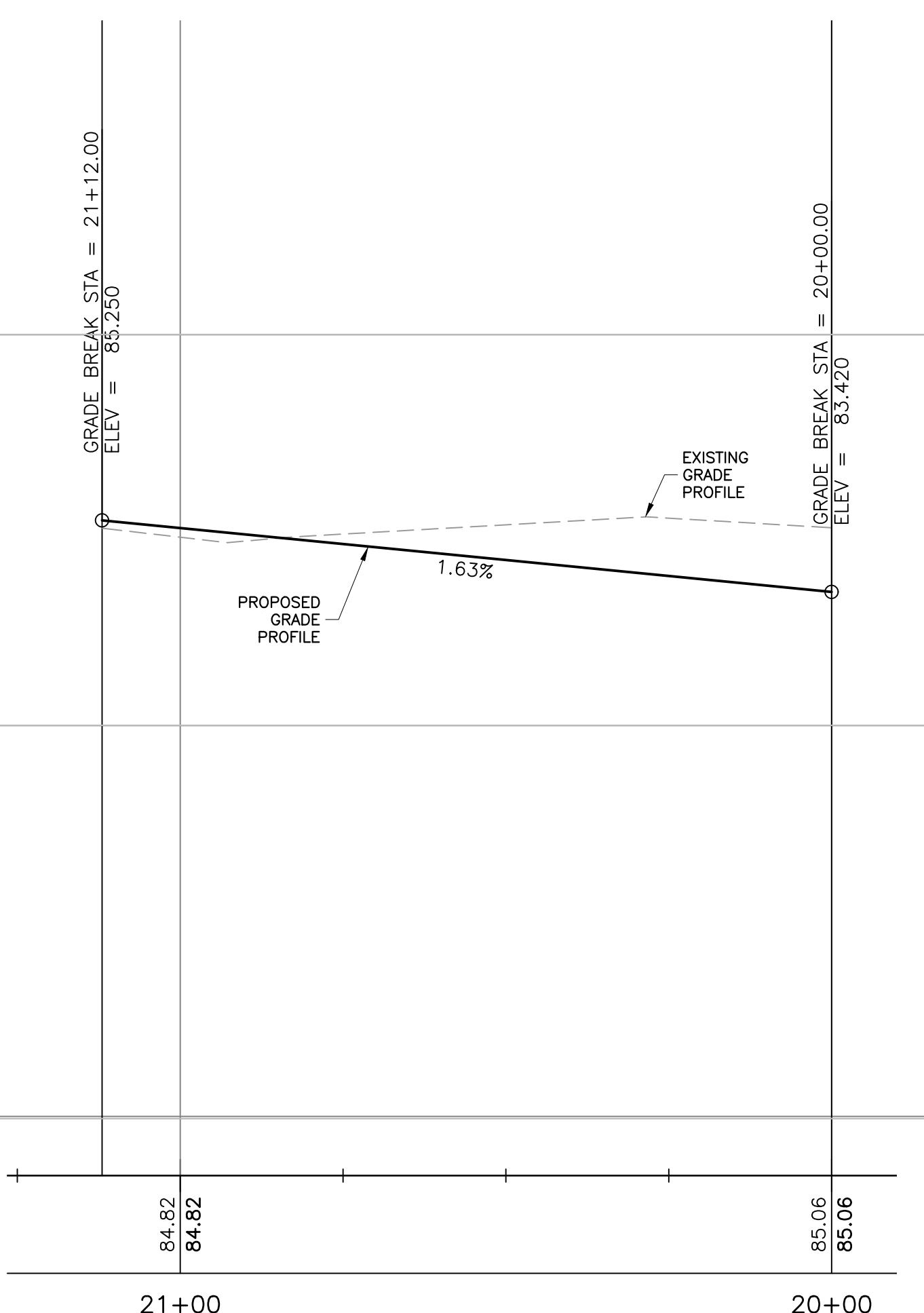


A MAJOR SITE PLAN FOR  
NEXT DIMENSION  
CONSTRUCTION  
BDS 55 HIGHWAY 441  
SUMMERFIELD, FLORIDA 34491

PLAN AND  
PROFILE  
COFFEE DRIVE

CLIENT INFORMATION  
NEXT DIMENSION CONSTRUCTION, INC.  
150-25 SE HIGHWAY 441  
SUITE 101  
SUMMERFIELD, FLORIDA 34491  
(352) 857-1469

SUBCONSULTANTS



90

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80

70

CONSULTANT  
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OAKLAND PARK, FL 33311  
(352) 267-1469  
WWW.INFINITEENGINEERING.COM  
CERT. OF AUTH. # 33000

PROJECT TITLE

SHEET TITLE

PLAN AND  
PROFILE  
COFFEE DRIVE

CLIENT INFORMATION  
NEXT DIMENSION CONSTRUCTION, INC.  
150-25 SE HIGHWAY 441  
SUITE 101  
SUMMERFIELD, FLORIDA 34491  
(352) 857-1469

SUBCONSULTANTS

ENGINEER OF RECORD  
\* BARRY EDWARD GINN, P.E.  
FLORIDA PROFESSIONAL ENGINEER  
FL PE NUMBER 34595  
No. 54595  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
Barry Edward Ginn, P.E.  
Florida Professional Engineer  
FL PE Number 34595

ISSUE DATE

August 14, 2023

PROJECT NUMBER NUMBER

2024-230

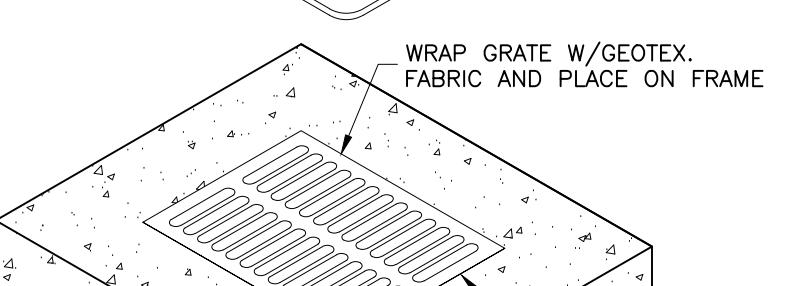
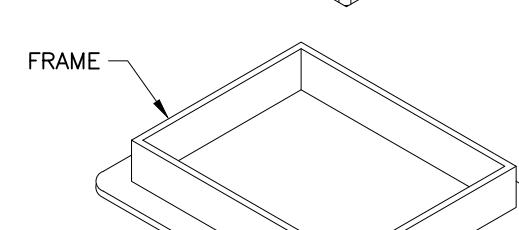
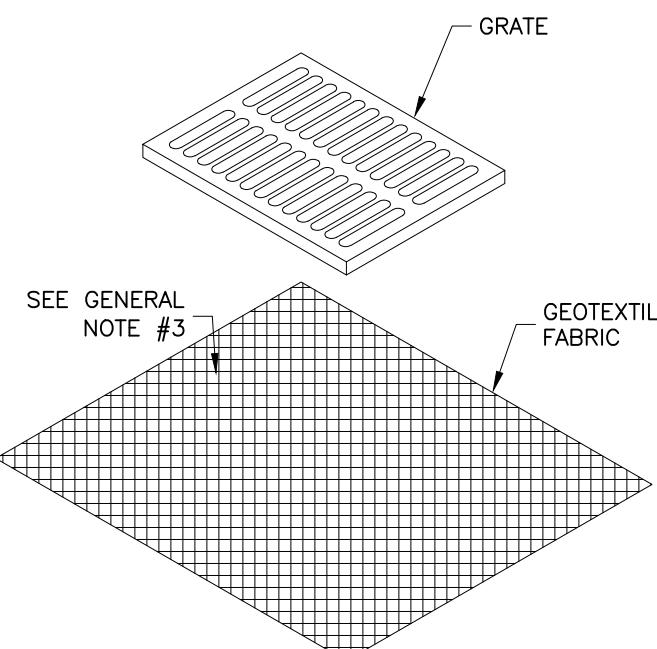
REVISIONS

DATE	DESCRIPTION
3/25	MC COMMENTS

SHEET DESIGNATION  
C204

SHEET

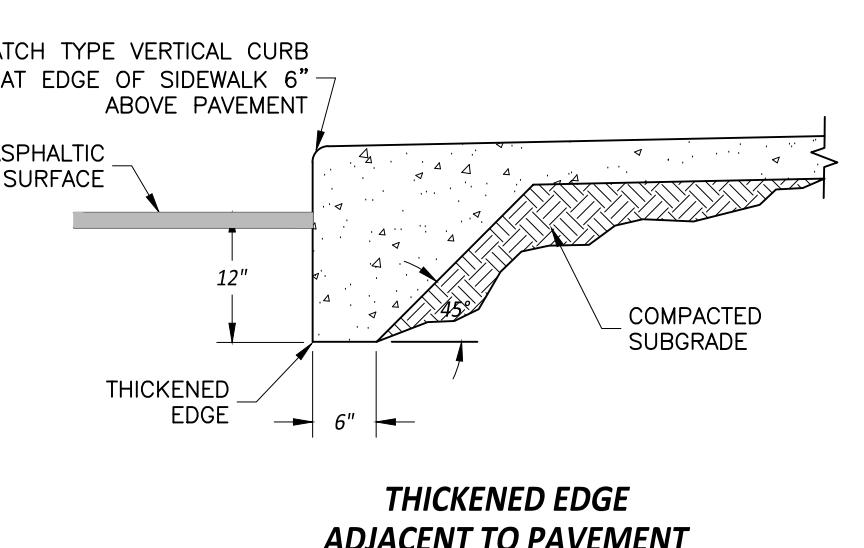
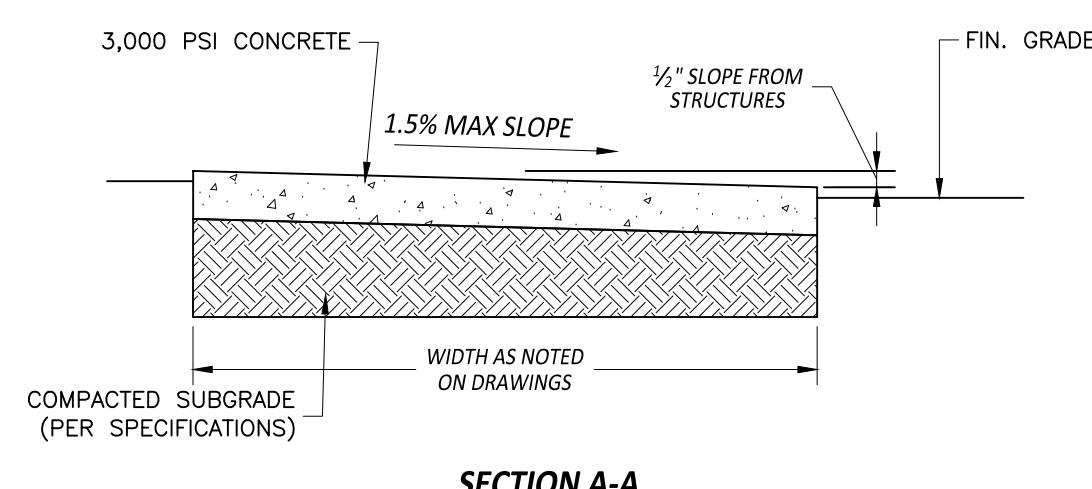
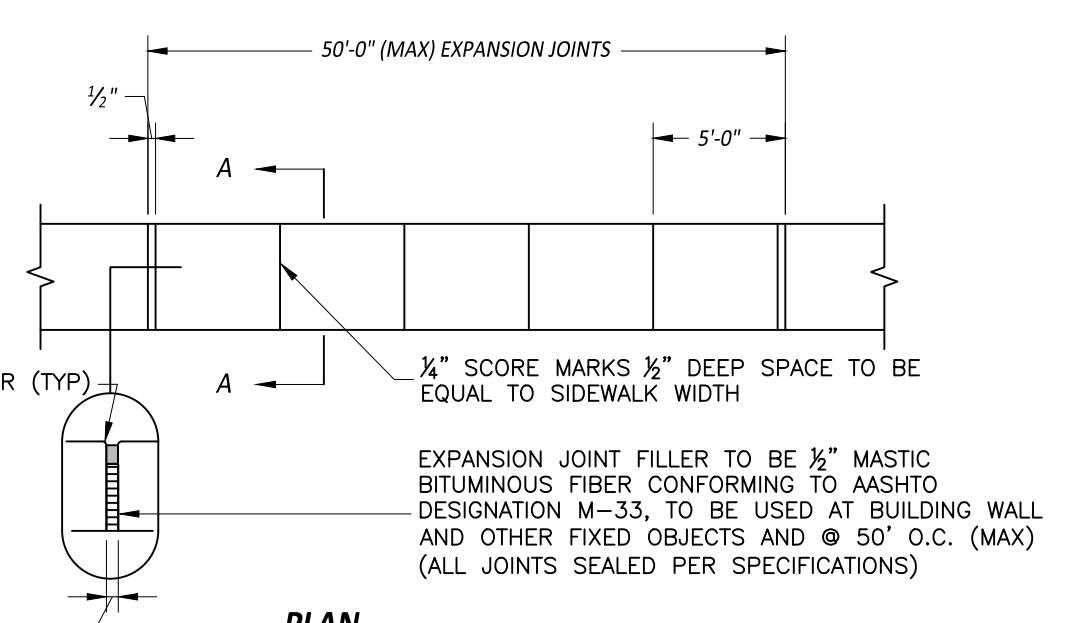
11 OF 17


**YARD INLET PROTECTION**  
 (CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)
**GENERAL NOTES:**

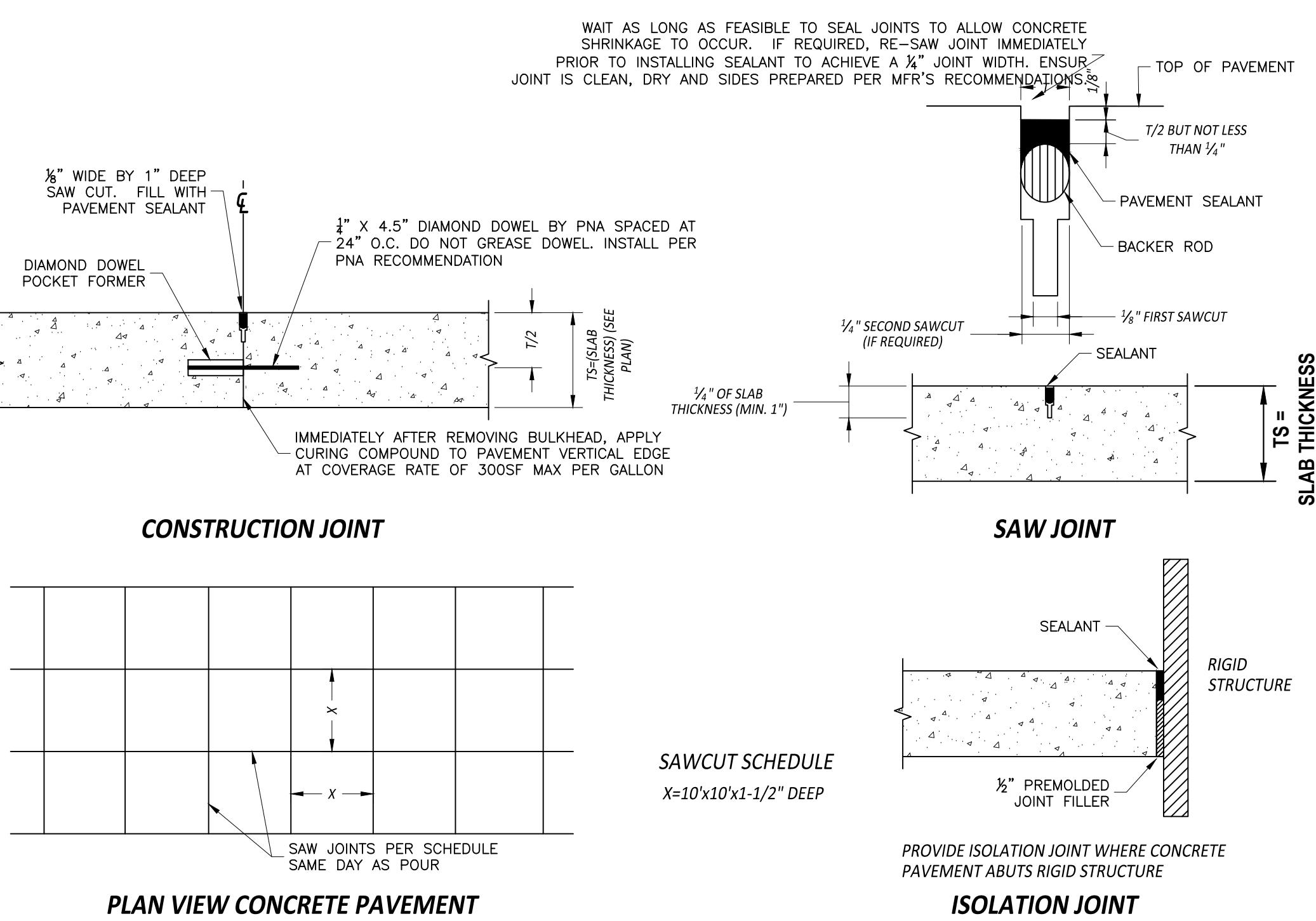
1. GEOTEXTILE TO BE MIRAFI FILTERWEAVE 402 OR GEOTEX 111F. ALTERNATIVES INCLUDE APPROVED EQUAL ASTM D4491 OR 100 TO 150 GALLON PER MINUTE PER SQUARE FOOT.
2. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
3. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
4. FOR CURB INLET PROTECTION AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
5. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF GRATE
6. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS, OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING INLET.

**GEOTEXTILE FABRIC INLET PROTECTION**

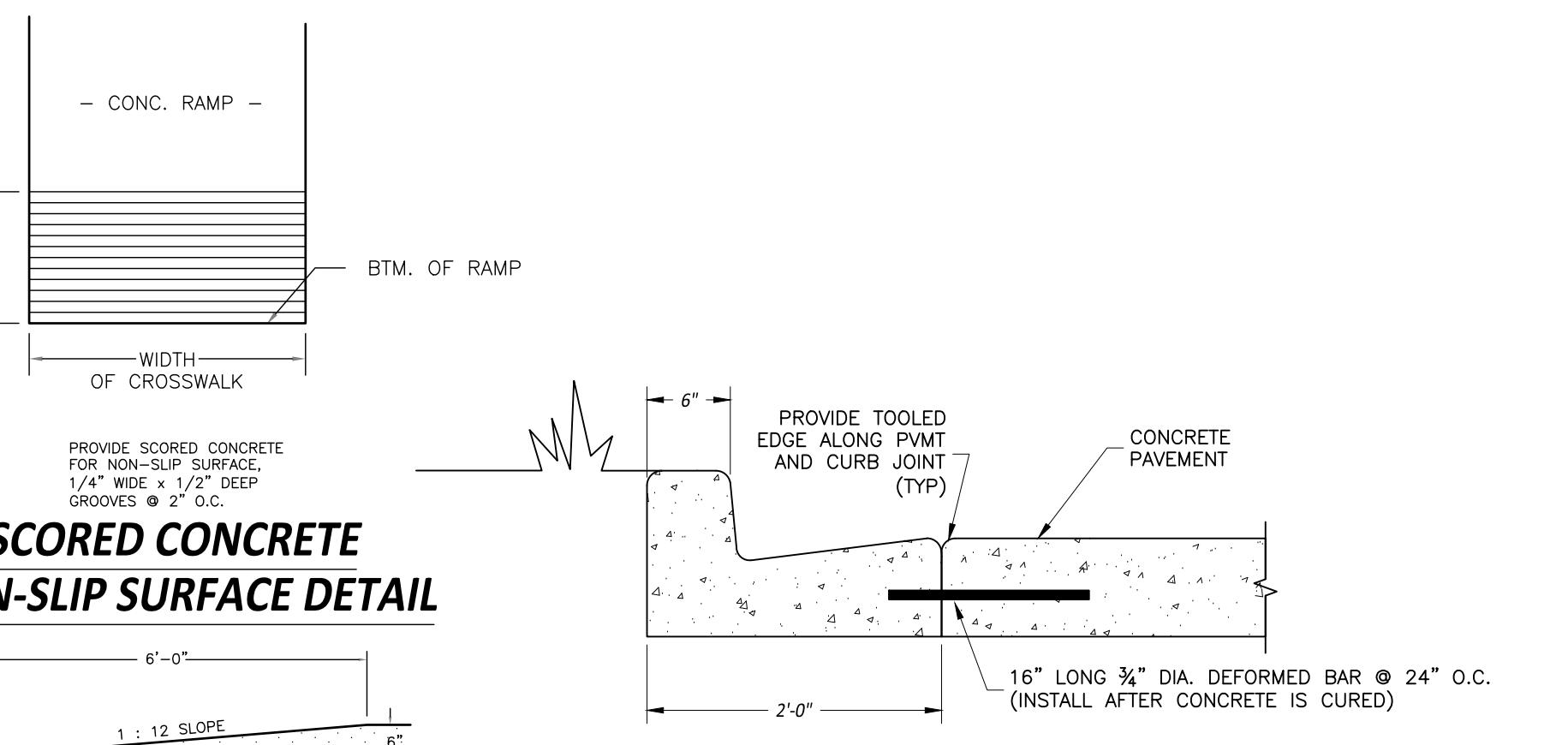
SCALE: NONE

 CONCRETE WALKS SHALL BE 4 INCHES THICK HAVING A 3,000 PSI STRENGTH, POURED OVER PROPERLY PREPARED SUBGRADE. ALL CONCRETE SIDEWALKS SHALL BE 8 INCHES THICK ACROSS DRIVEWAYS.  $\frac{1}{2}$  INCH EXPANSION JOINTS SHALL BE PLACED AT A MAXIMUM OF 50'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTERS.
**THICKENED EDGE  
ADJACENT TO PAVEMENT****SECTION A-A****SIDEWALK DETAILS**

SCALE: NONE

**CONCRETE PAVEMENT JOINT DETAILS**

SCALE: NONE

**SCORED CONCRETE  
NON-SLIP SURFACE DETAIL**

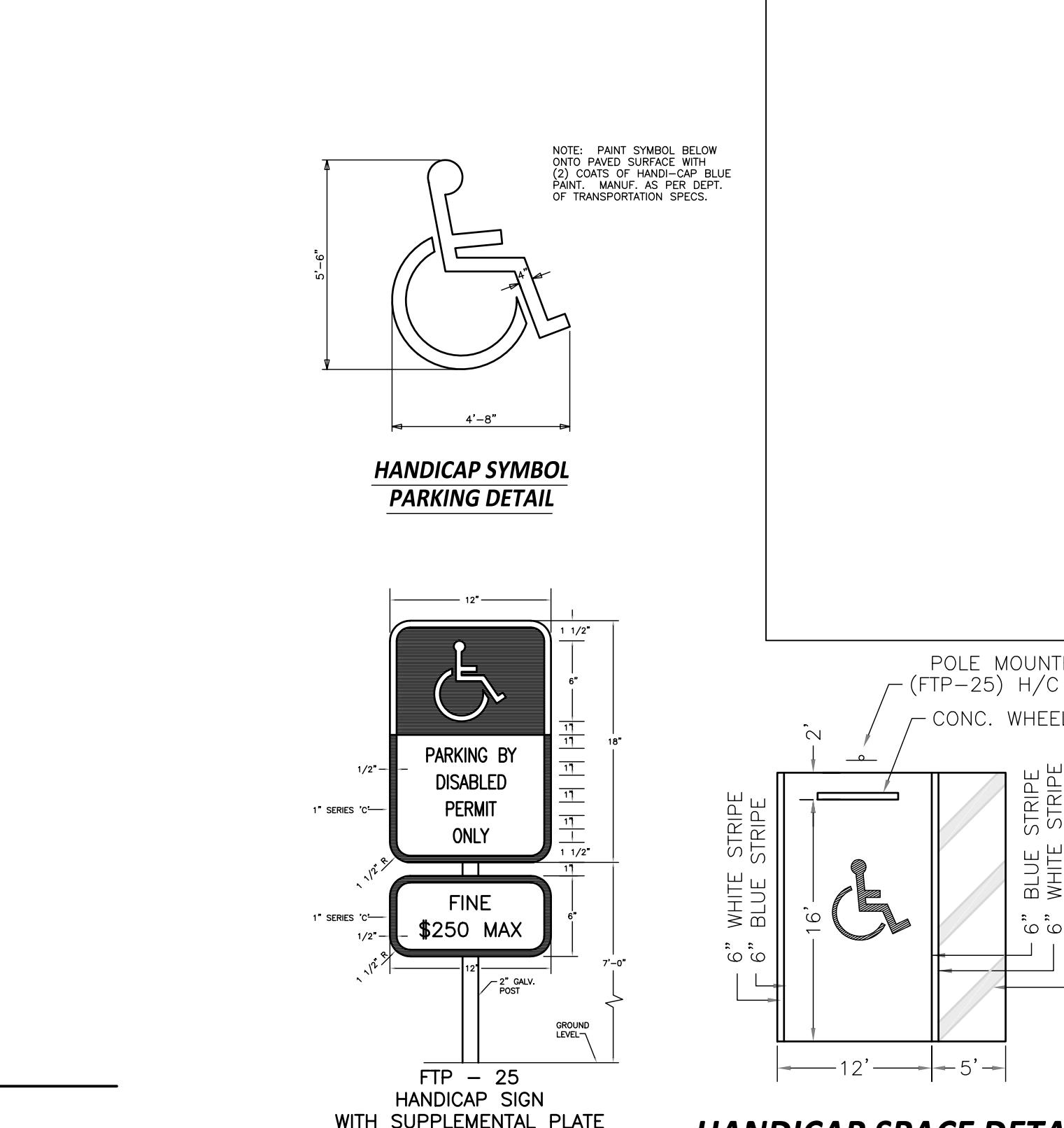
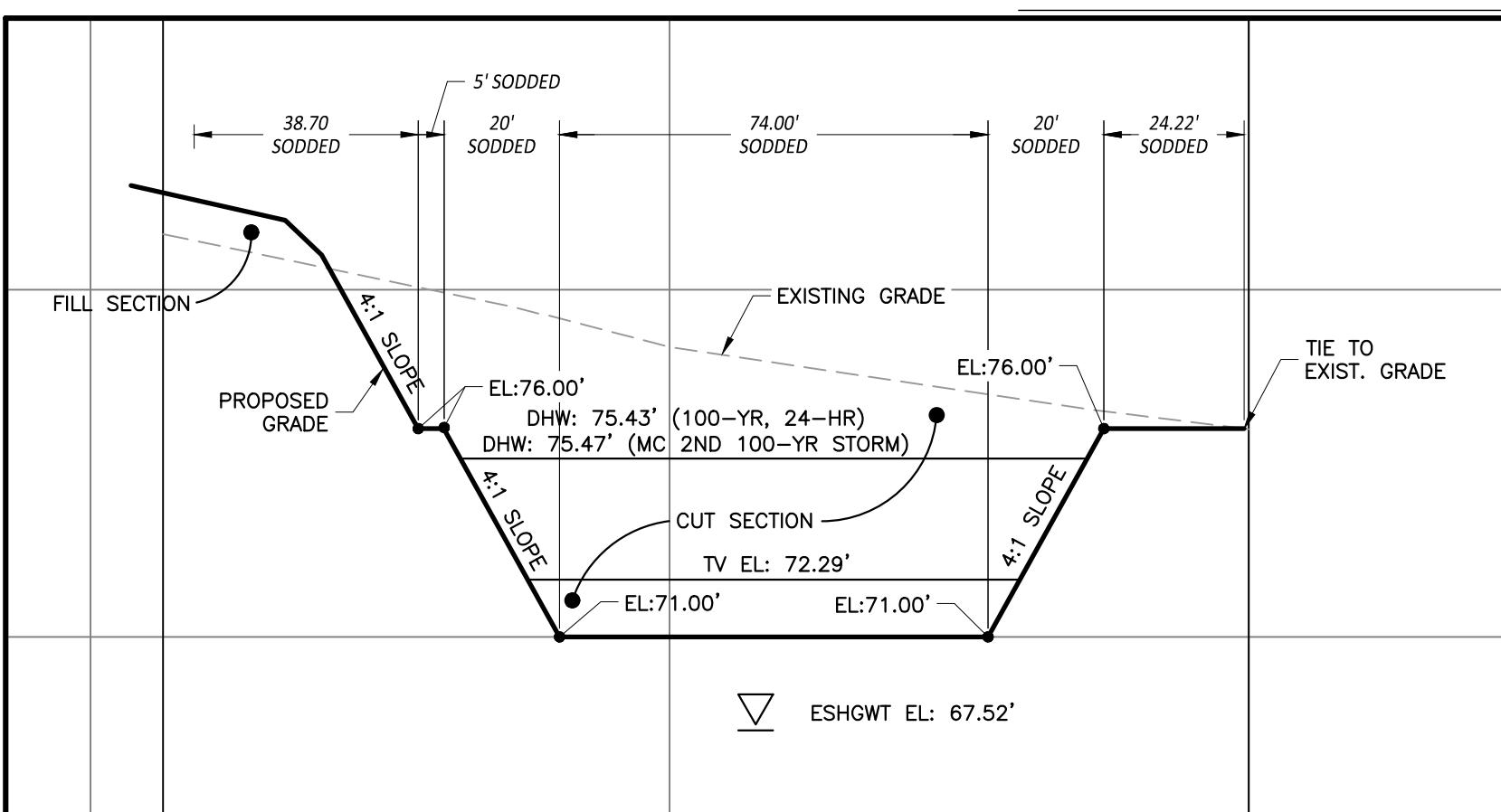
SCALE: NONE

**TYPICAL  
HANDICAP RAMP DETAIL**

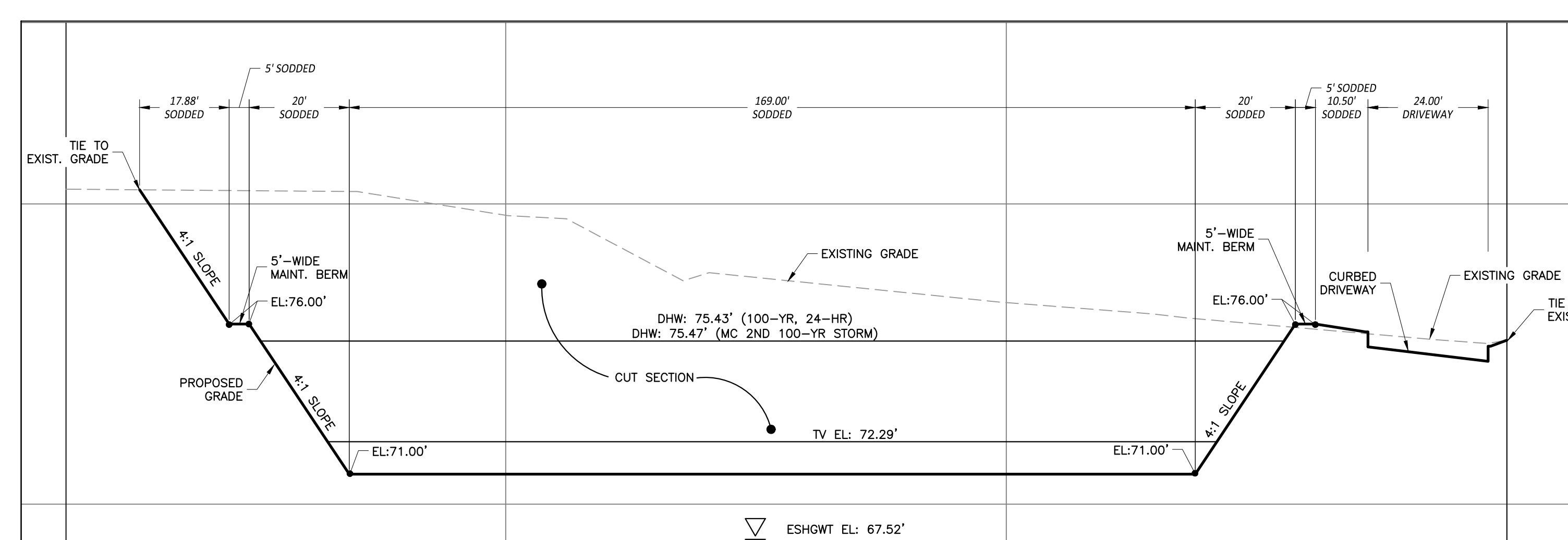
SCALE: NONE

**CONCRETE CURB AND GUTTER DOWELED JOINT DETAIL**

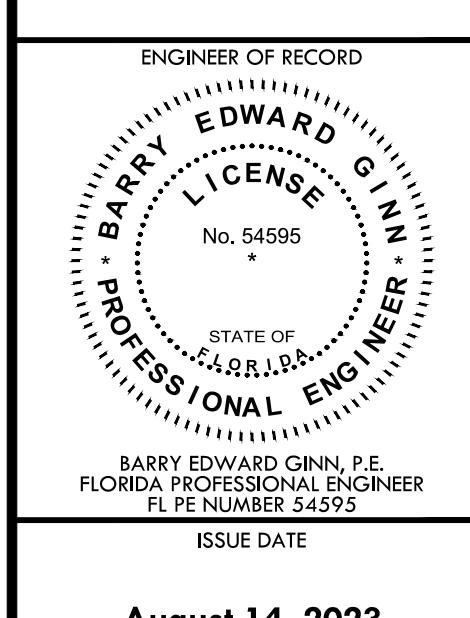
SCALE: NONE

**HANDICAP SPACE DETAIL****DRA SECTION A**

SCALE: 1" = 30'

**DRA SECTION B**

SCALE: 1" = 20'



ISSUE DATE

August 14, 2023

PROJECT NUMBER NUMBER

2024-230

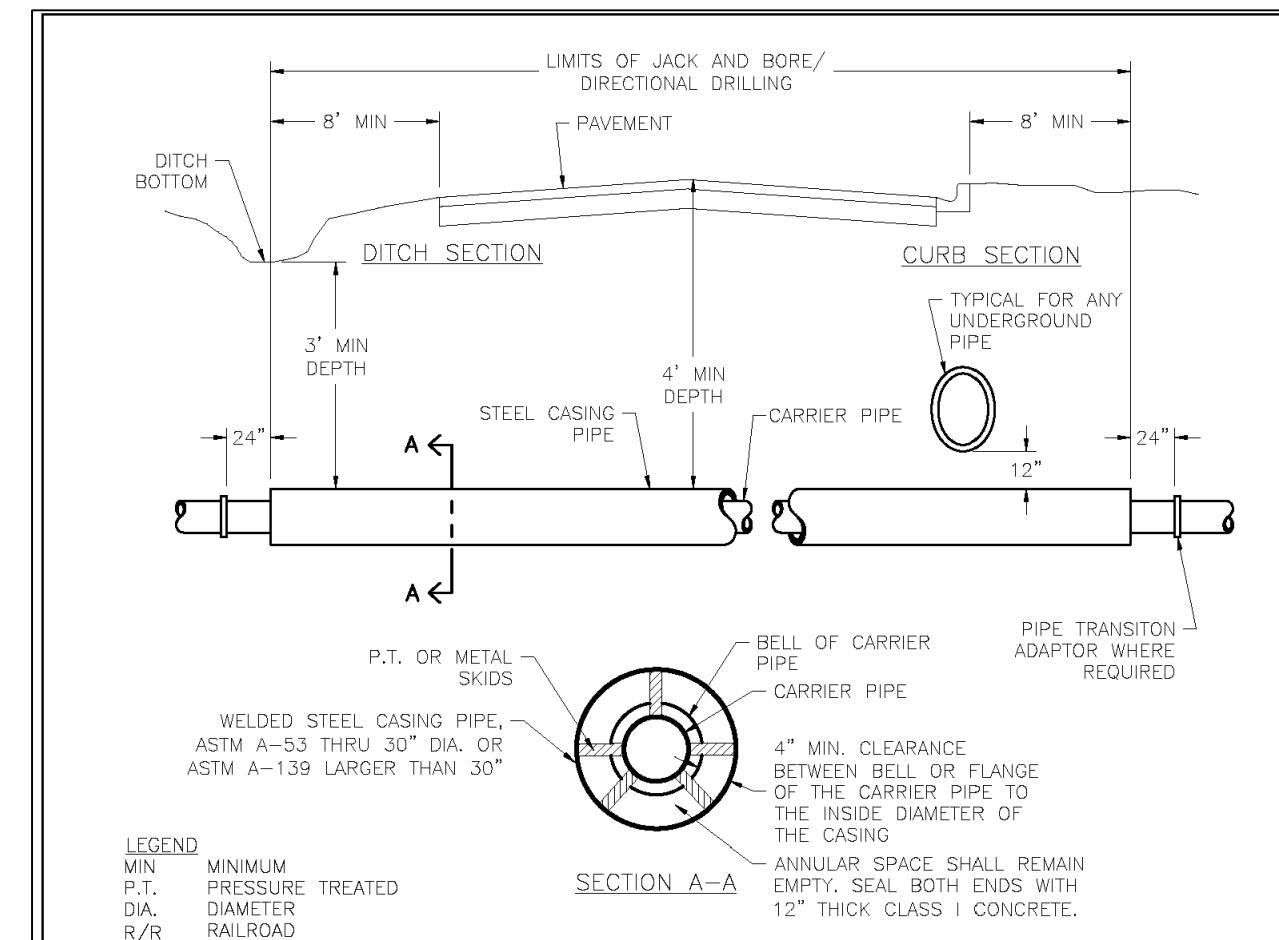
REVISIONS

DATE

3/25

MC COMMENTS

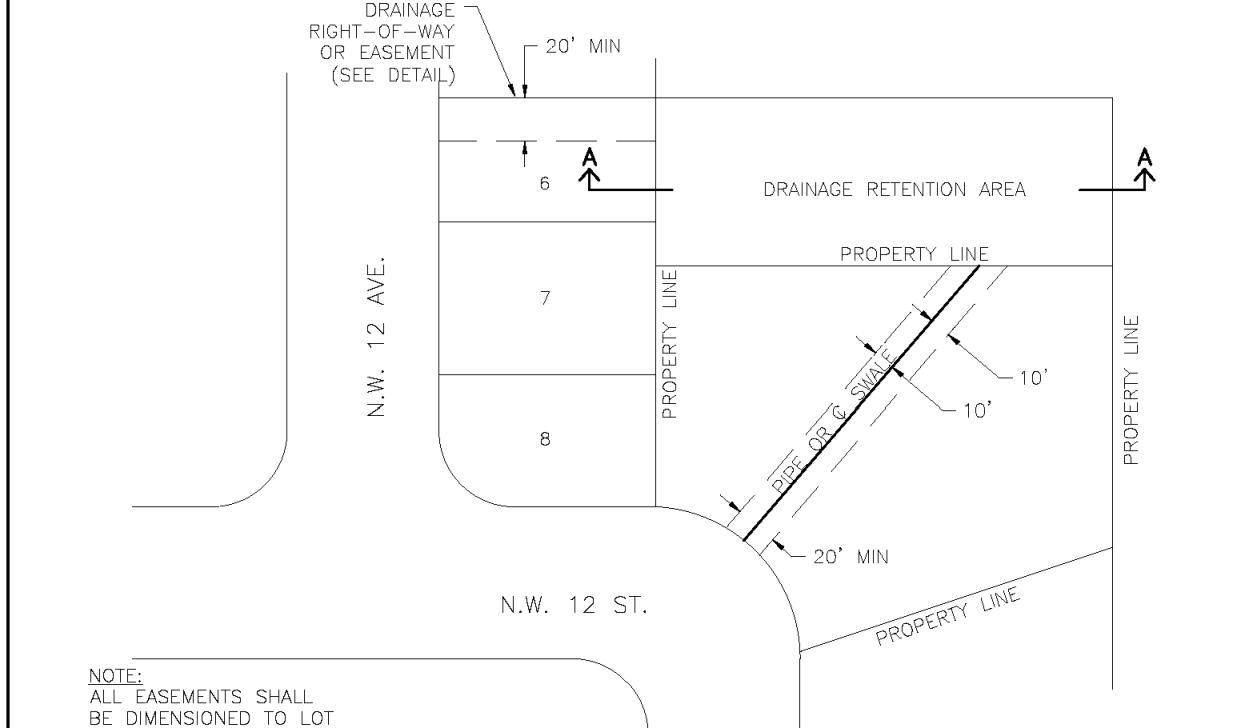
APPROVAL STAMP AREA



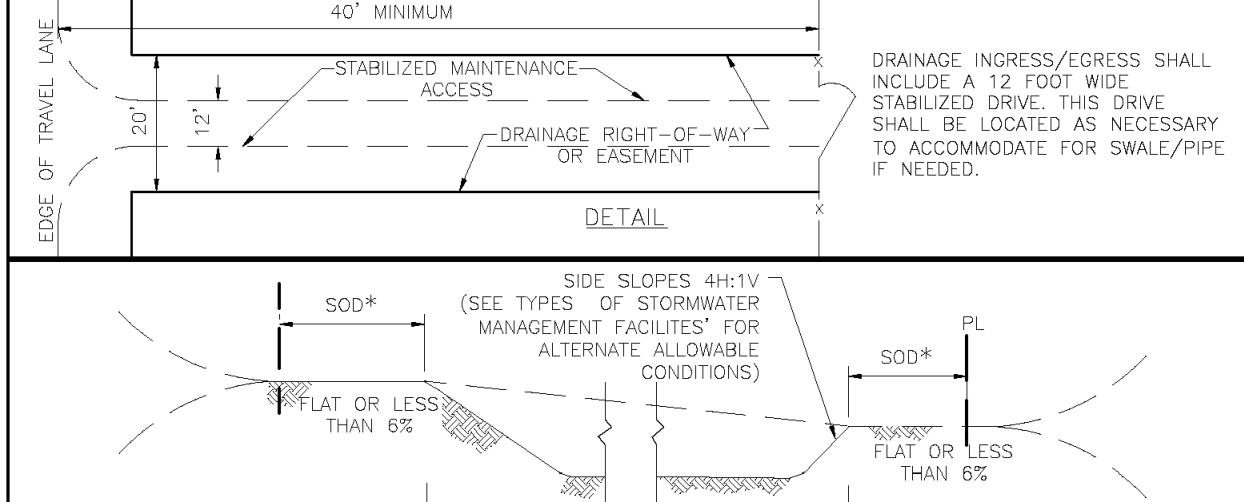
NOTES:

1. JACK AND BORE METHOD OR DIRECTIONAL DRILLING MAY BE USED FOR ANY CROSSING INVOLVING LARGER THAN DIAMETER 30". CROSSINGS INVOLVING 4" OR LESS IN DIAMETER PIPE MAY BE DONE BY THE SIMPLE METAL SKIDS OR DIRECTIONAL DRILLING FOR THE MANUFACTURER'S PROCEDURES. IN ALL CASES A PERMIT MUST BE ISSUED BY THE OFFICE OF THE COUNTY ENGINEER PRIOR TO THE WORK BEING PERFORMED AND A COUNTY INSPECTOR SHALL BE ON SITE WHILE SAID WORK IS BEING PERFORMED.
2. ROTATION OF CARRIER PIPE INSIDE THE CASING PIPE WILL NOT BE PERMITTED. MECHANICAL OR FLANGED JOINT PIPE SHALL BE USED TO HELP PREVENT SUCH ROTATION.
3. ALL REQUIREMENTS OF FOOT AS SPECIFIED IN THE FDOT "UTILITY ACCOMMODATION MANUAL" SHALL BE FOLLOWED. CROSSINGS INVOLVING 4" OR LESS IN DIAMETER PIPE SHALL FOLLOW THE REQUIREMENTS BETWEEN THE FOOT AND MARION COUNTY SHALL GOVERN IN ALL CASES OF CONFLICT.
4. THE INSIDE DIAMETER OF THE CASING SHALL BE A MINIMUM OF 4" GREATER THAN THE OUTSIDE DIAMETER OF THE CARRIER PIPE.
5. IN ADDITION TO THE SUPPORT ARRANGEMENT OF TIMBER OR METAL SKIDS, THE CONTRACTOR SHALL PROVIDE 4' LONG SKIDS FOR EACH LENGTH OF CARRIER PIPE AT THE SPRING LINE AND ON TOP JACQUARD. THE CONTRACTOR SHALL PROVIDE A 10' LONG SKID FOR EACH LENGTH OF CARRIER PIPE.
6. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF CASING OR TUNNEL LINER PIPE INSTALLATION FOR THE ENGINEER'S APPROVAL PRIOR TO FABRICATION OF PIPING, CASING, AND APPURTENANCES.
7. ALL REQUIREMENTS OF THE RAILROAD AS SPECIFIED BY THE AMERICAN RAILWAY ENGINEERING AND MATERIALS RAILROAD COMPANY SHALL BE ADHERED TO WHEN CROSSING RAILROADS. THE MORE STRINGENT REQUIREMENTS BETWEEN THE R/R AND MARION COUNTY SHALL GOVERN IN ALL CASES OF CONFLICT.

Marion County, Florida	MCBBC EFFECTIVE 10/12/2013	JACK AND BORE	7.3.1	TS 009
OFFICE OF THE COUNTY ENGINEER	REVISION # NA			



NOTE: ALL EASEMENTS SHALL BE DIMENSIONED TO LOT BOUNDARY LINES.



NOTES:

1. ALL DISCHARGE LOCATIONS SHALL HAVE SUFFICIENT PERMANENT EROSION CONTROL FEATURES, SUCH AS PLASMA, TO DISPENSE THE ENERGY RECEIVED.
2. \* S = PRIVATELY MAINTAINED
3. = PUBLICLY MAINTAINED

Marion County, Florida	MCBBC EFFECTIVE 10/12/2013	DRAINAGE RETENTION AREA (PUBLICLY OR PRIVATELY MAINTAINED SUBDIVISIONS)	7.3.1	TS 034
OFFICE OF THE COUNTY ENGINEER	REVISION # NA			

NOTE: ALL EASEMENTS SHALL BE DIMENSIONED TO LOT BOUNDARY LINES.

LEGEND: PL PROPERTY LINE, CENTERLINE

NOTE: ALL EASEMENTS SHALL BE DIMENSIONED TO LOT BOUNDARY LINES.

LEGEND: PL PROPERTY LINE, CENTERLINE

NOTE: ALL EASEMENTS SHALL BE DIMENSIONED TO LOT BOUNDARY LINES.

LEGEND: PL PROPERTY LINE, CENTERLINE

NOTE: ALL EASEMENTS SHALL BE DIMENSIONED TO LOT BOUNDARY LINES.

LEGEND: PL PROPERTY LINE, CENTERLINE

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LEGEND: PL PROPERTY LINE, CENTERLINE

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LEGEND: PL PROPERTY LINE, CENTERLINE

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LEGEND: PL PROPERTY LINE, CENTERLINE

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LEGEND: PL PROPERTY LINE, CENTERLINE

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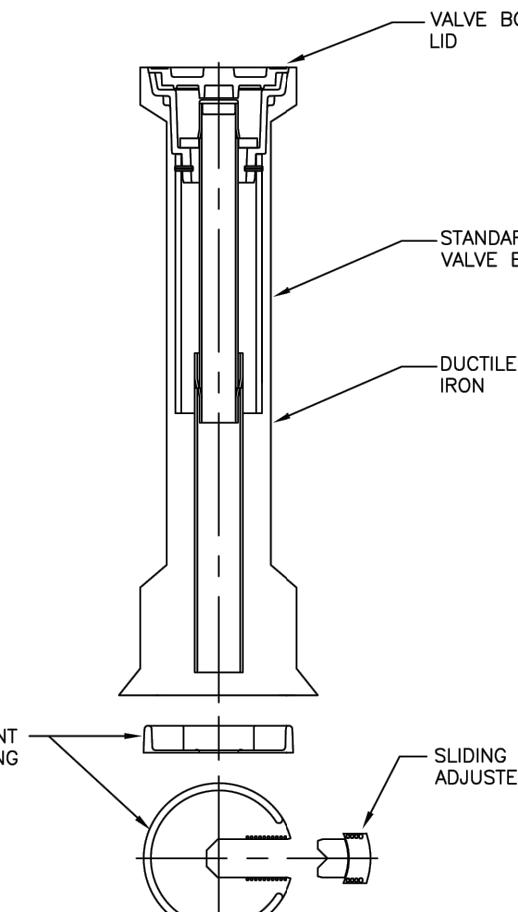
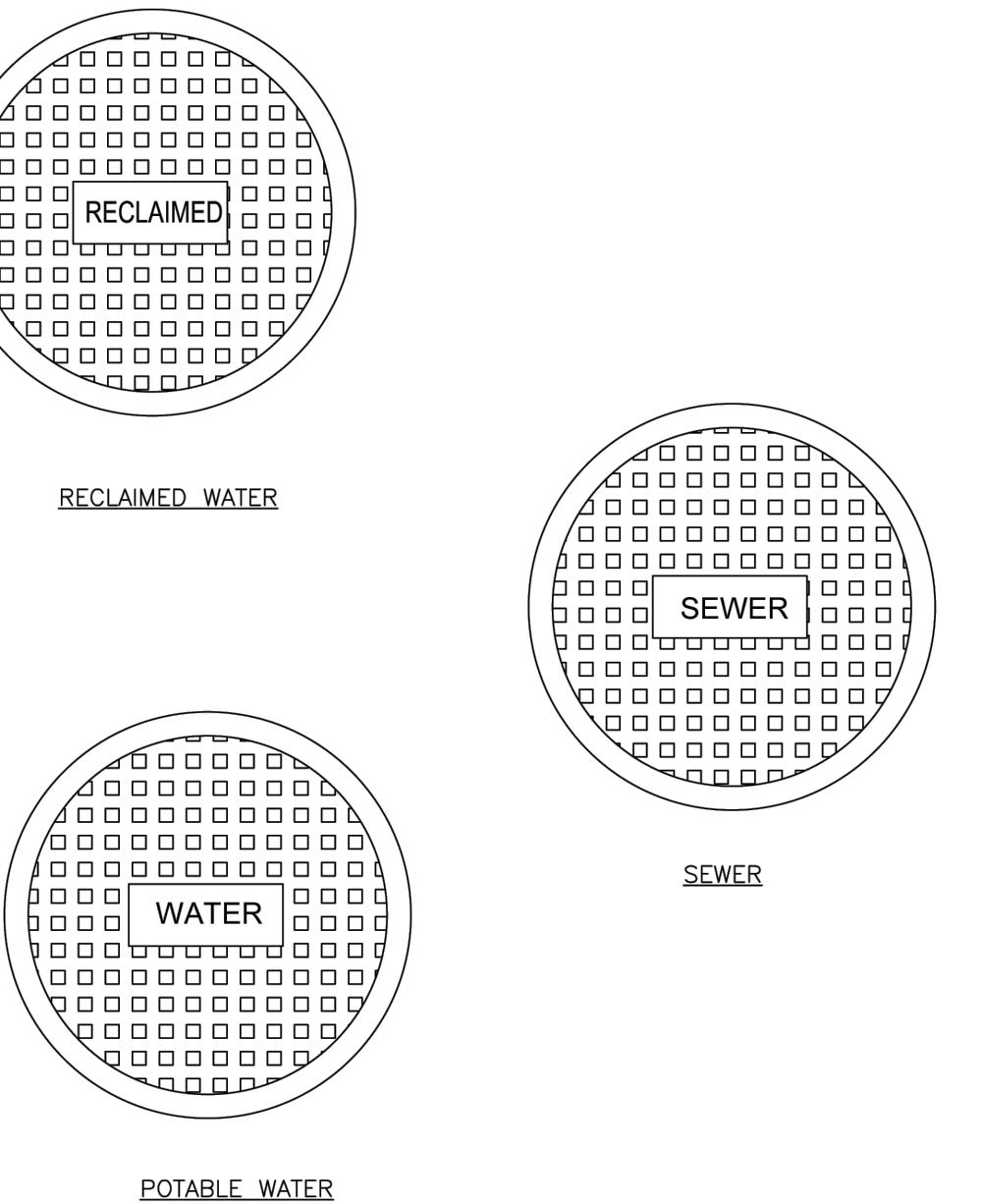
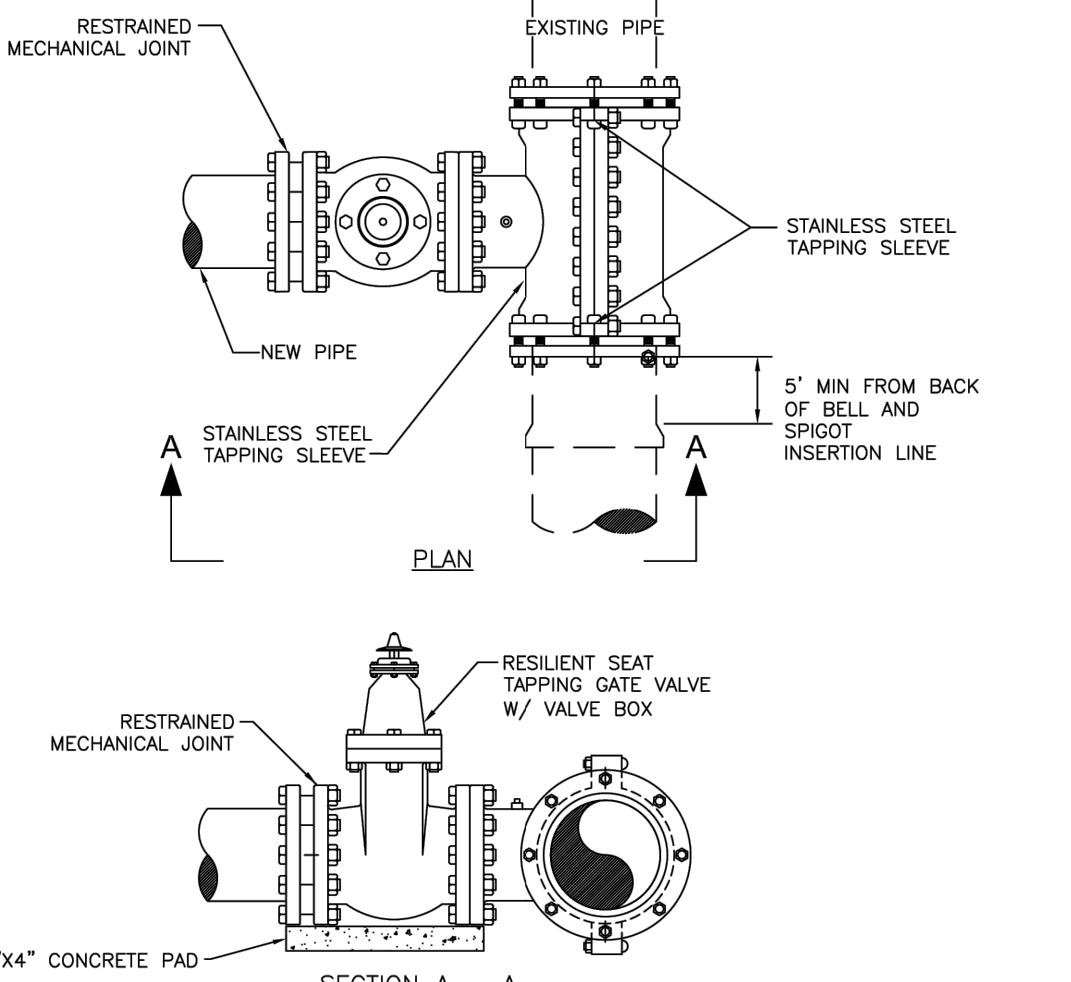
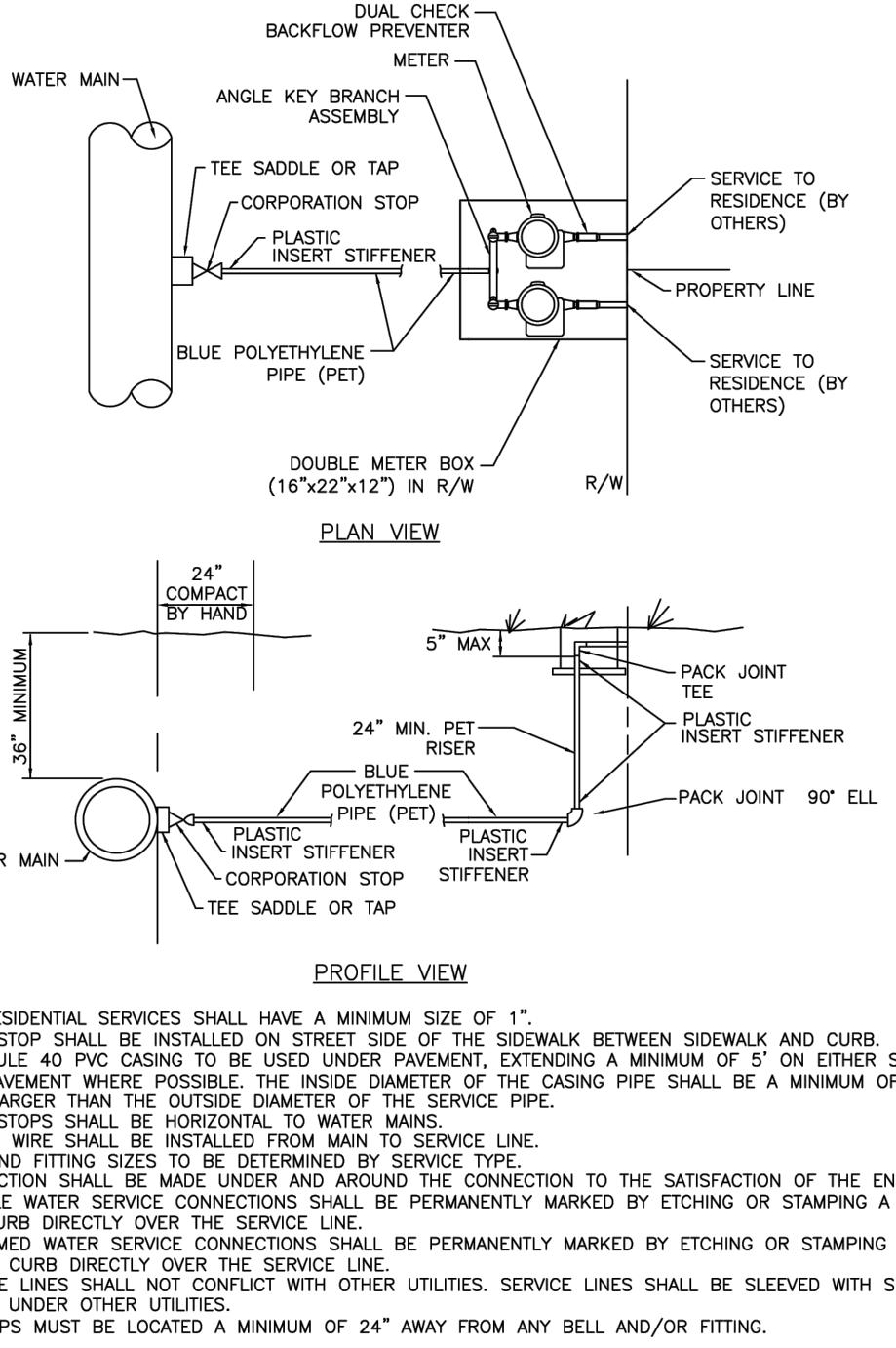
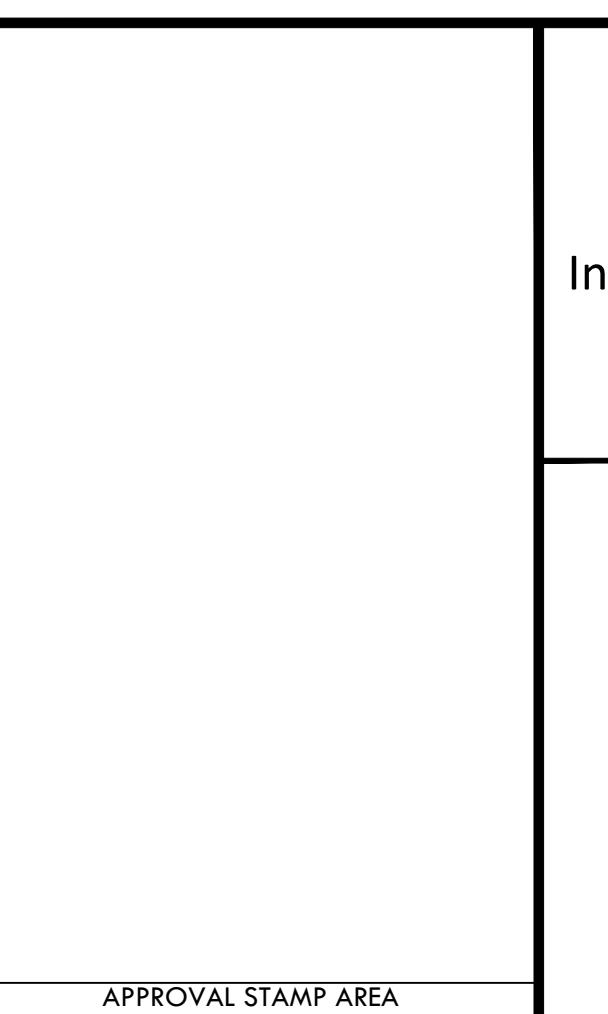
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Marion County, FLORIDA UTILITIES	MCBCC EFFECTIVE 04/13/2023	WATER AND RECLAIMED WATER SERVICES (TYPICAL)	7.3.2
		REVISION # 2	UT 107

Marion County, FLORIDA UTILITIES	MCBCC EFFECTIVE 04/13/2023	TAPPING SLEEVE AND GATE VALVE ASSEMBLY	7.3.2
		REVISION # 1	UT 108

Marion County, FLORIDA UTILITIES	MCBCC EFFECTIVE 04/13/2023	TYPICAL VALVE BOX COVER	7.3.2
		REVISION # NA	UT 110

Marion County, FLORIDA UTILITIES	MCBCC EFFECTIVE 04/13/2023	SEALED VALVE BOX, ADJUSTABLE	7.3.2
		REVISION # 1	UT 111

Marion County, FLORIDA UTILITIES	MCBCC EFFECTIVE 04/13/2023	OUTSIDE PAVEMENT	7.3.2
		REVISION # 2	UT 112

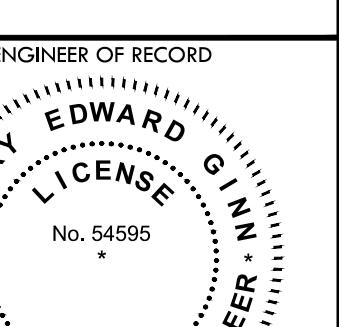
Marion County, FLORIDA UTILITIES	MCBCC EFFECTIVE 04/13/2023	INSIDE PAVEMENT	7.3.2
		REVISION # 1	UT 113

Marion County, FLORIDA UTILITIES	MCBCC EFFECTIVE 04/13/2023	VALVE BOX PAD	7.3.2
		REVISION # 1	UT 112

Marion County, FLORIDA UTILITIES	MCBCC EFFECTIVE 04/13/2023	THRUST COLLAR WATER MAINS	7.3.2
		REVISION # NA	UT 201

Marion County, FLORIDA UTILITIES	MCBCC EFFECTIVE 04/13/2023	GATE VALVE	7.3.2
		REVISION # 2	UT 204

Marion County, FLORIDA UTILITIES	MCBCC EFFECTIVE 04/13/2023	2" AND SMALLER REDUCED PRESSURE AND/OR DOUBLE CHECK BACKFLOW ASSEMBLY	7.3.2
		REVISION # 1	UT 209



BARRY EDWARD GINN, P.E.  
FLORIDA PROFESSIONAL ENGINEER  
FL PE NUMBER 54595

ISSUE DATE

August 14, 2023

PROJECT NUMBER NUMBER

2024-230

REVISIONS

DATE DESCRIPTION

11/23 MC COMMENTS

SHEET DESIGNATION

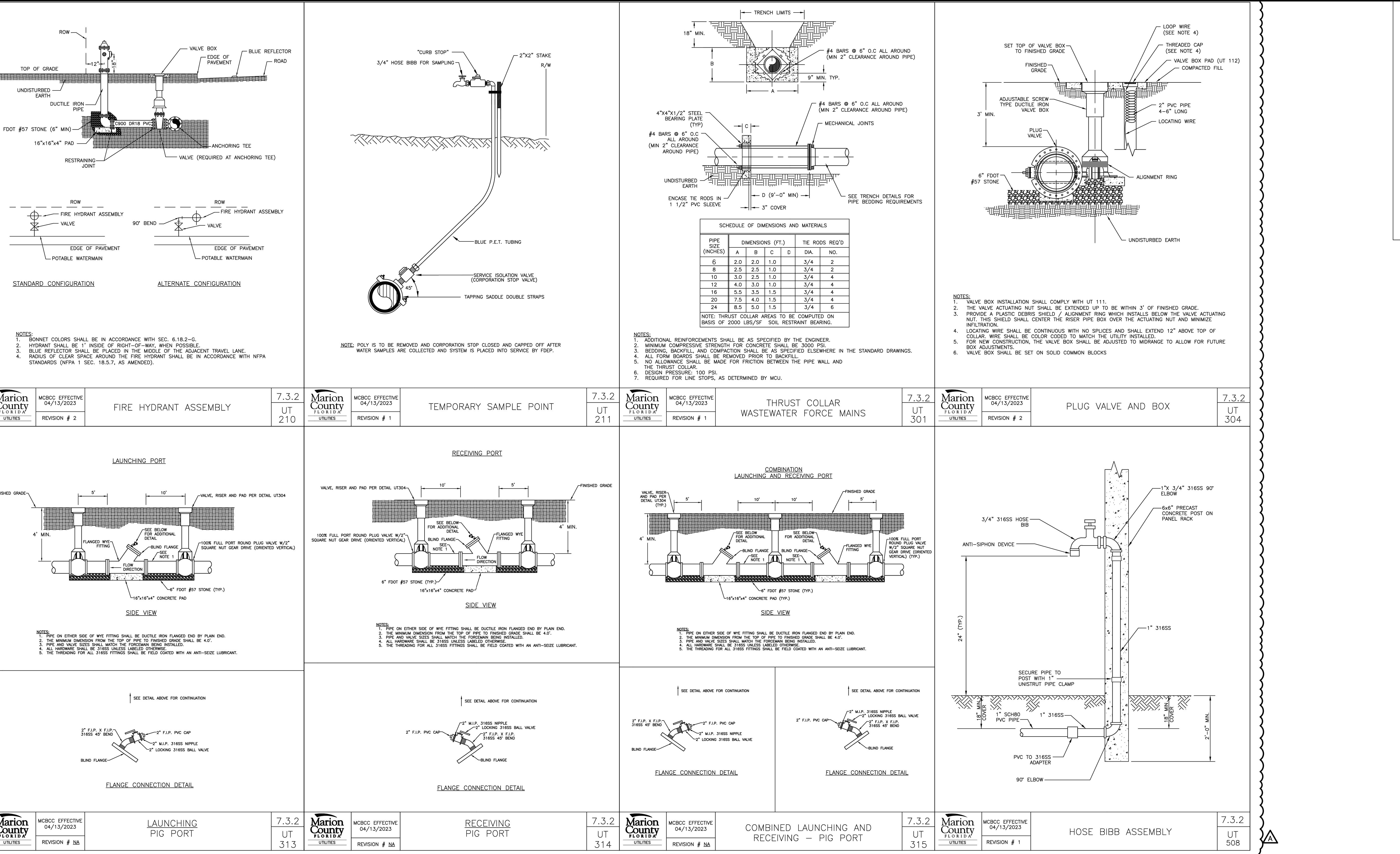
C502

SHEET

14 OF 17



SHEET TITLE  
**DETAILS**



BARRY GLEN, P.E.  
 FLORIDA PROFESSIONAL ENGINEER  
 FL PE NUMBER 54595

ISSUE DATE

August 14, 2023

PROJECT NUMBER NUMBER

2024-230

REVISIONS

DATE	DESCRIPTION
11/23	MC COMMENTS

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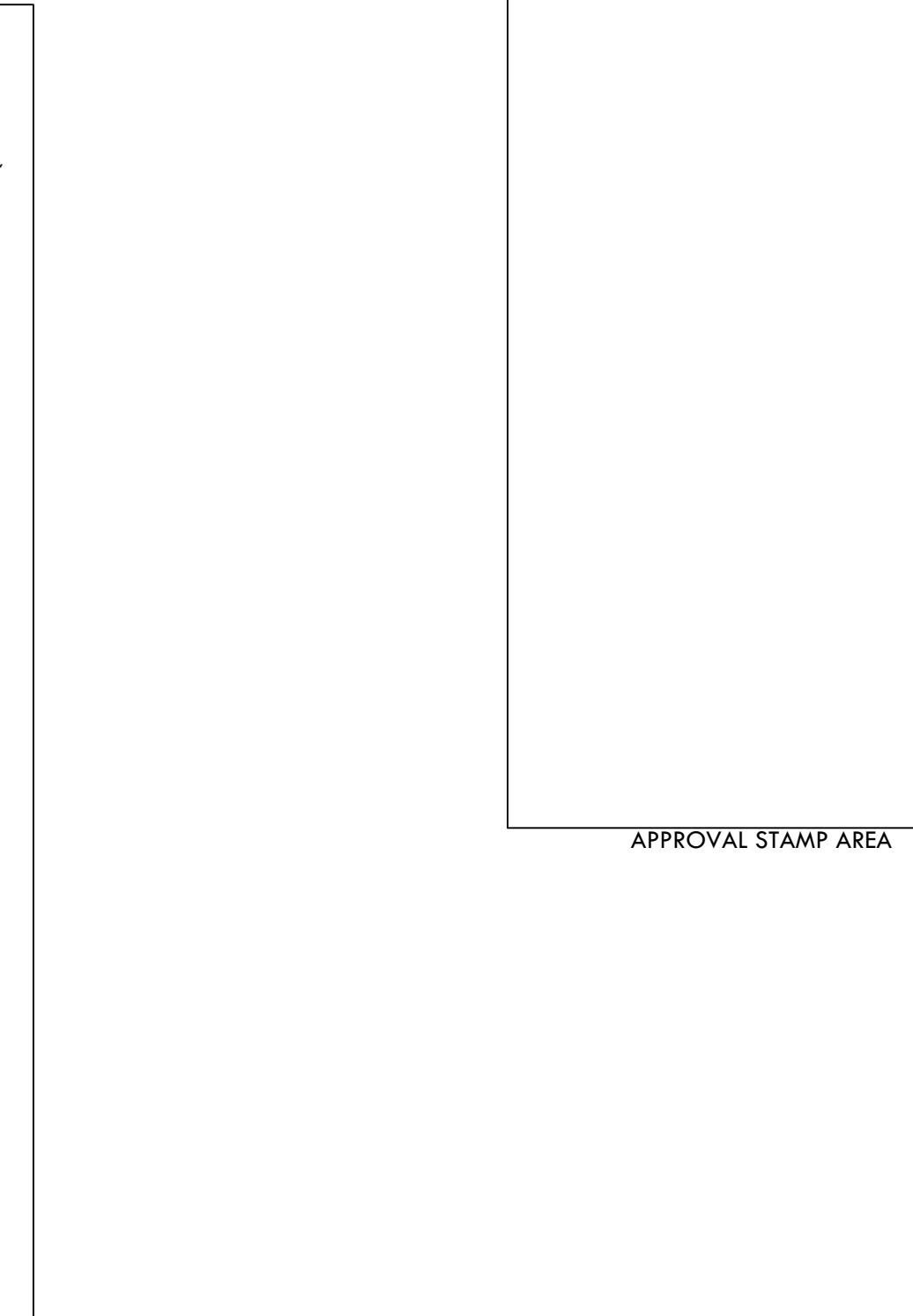
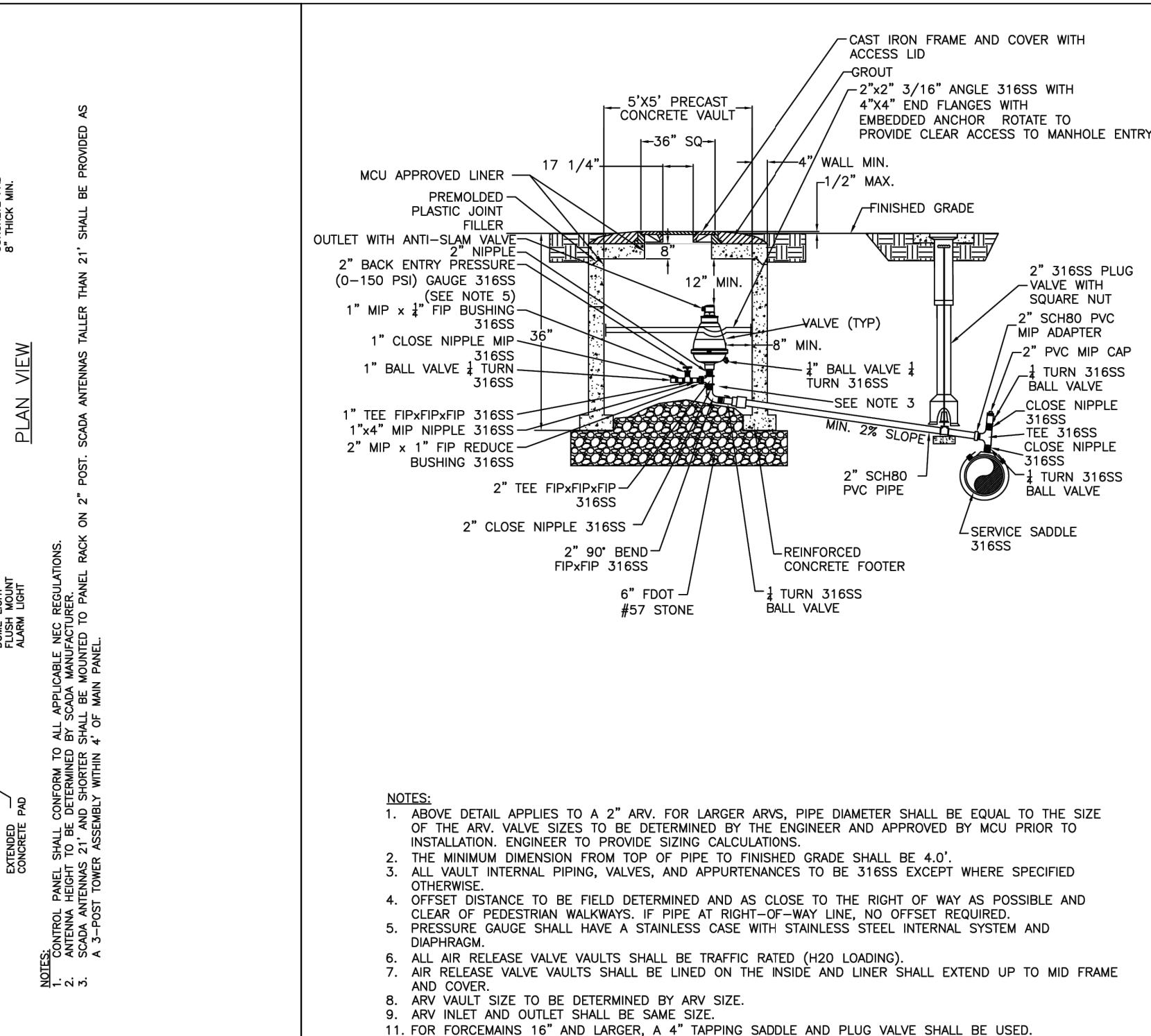
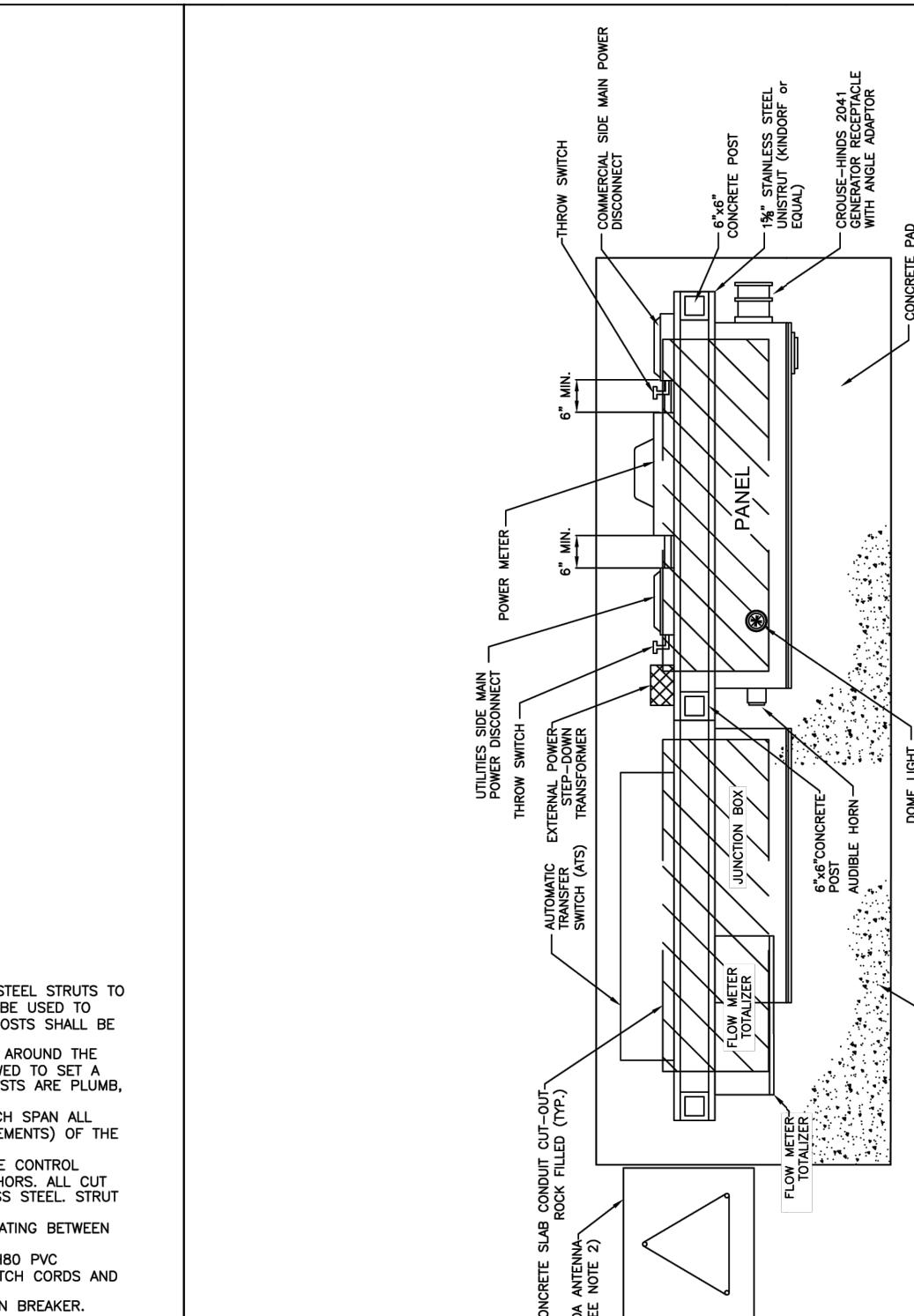
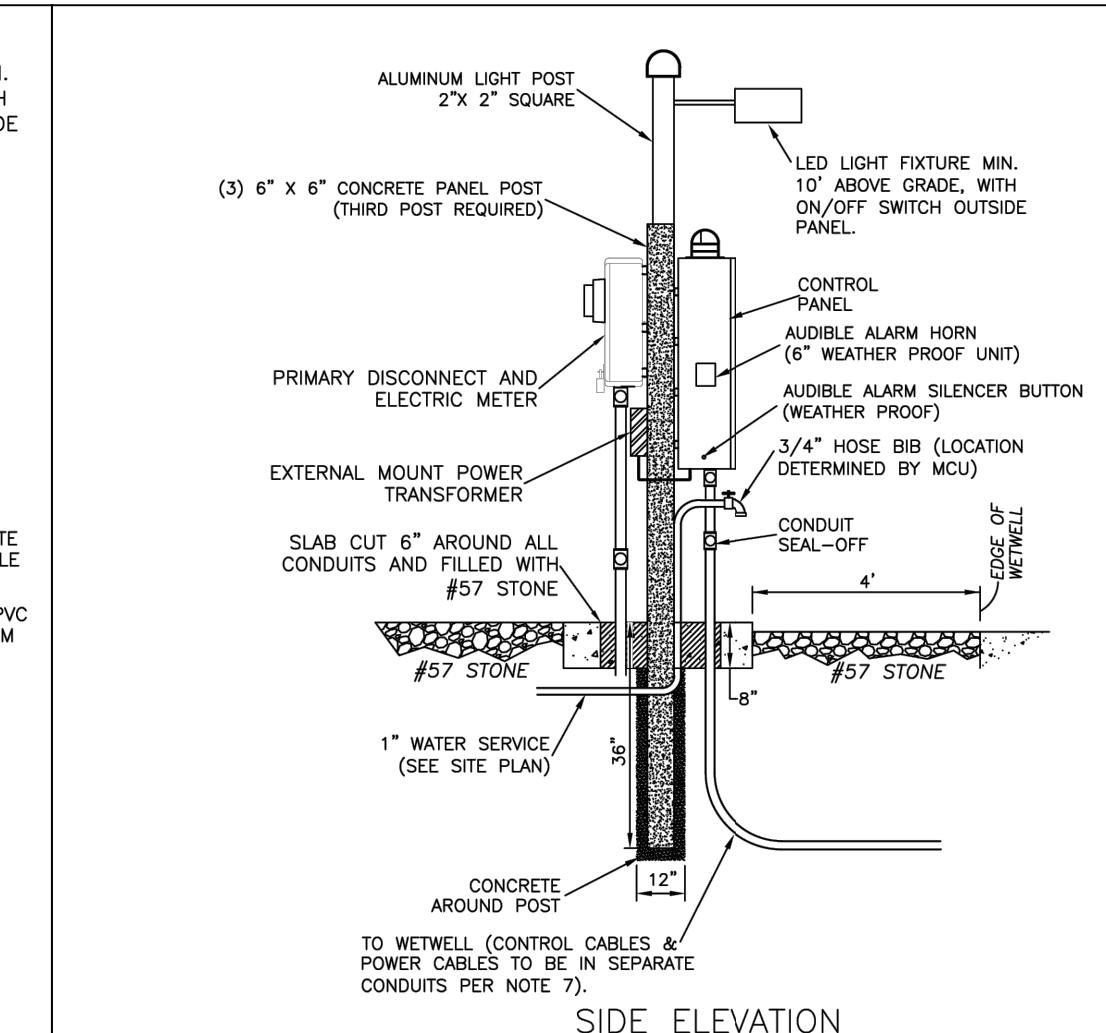
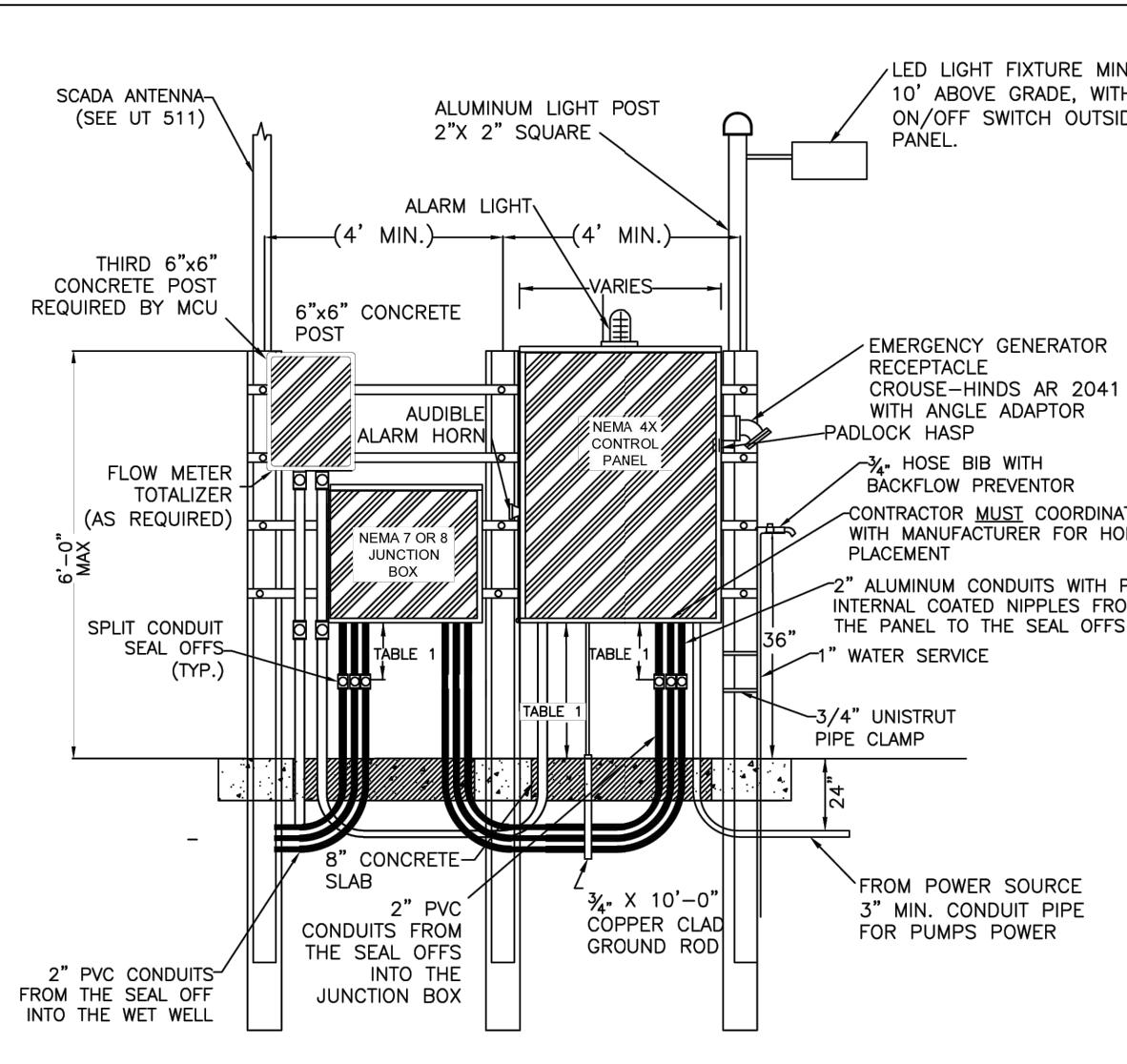
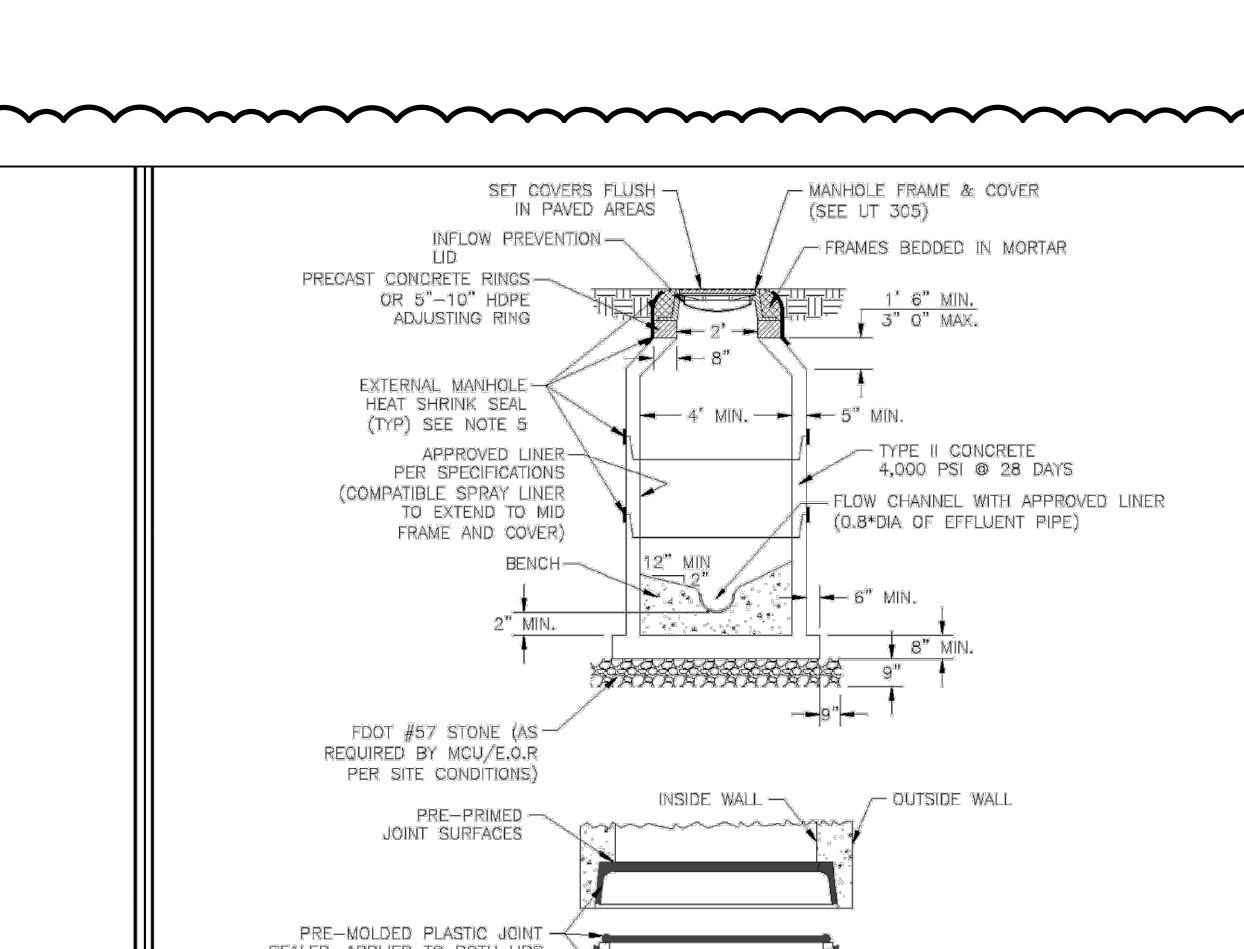
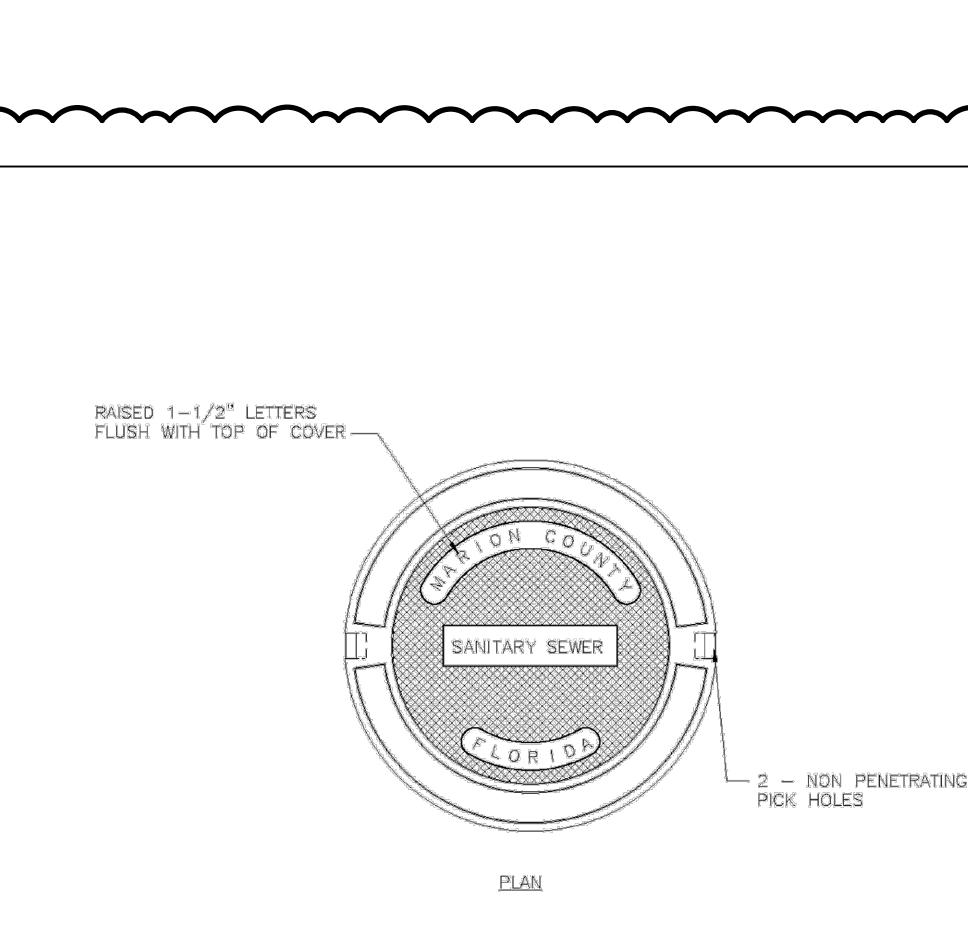
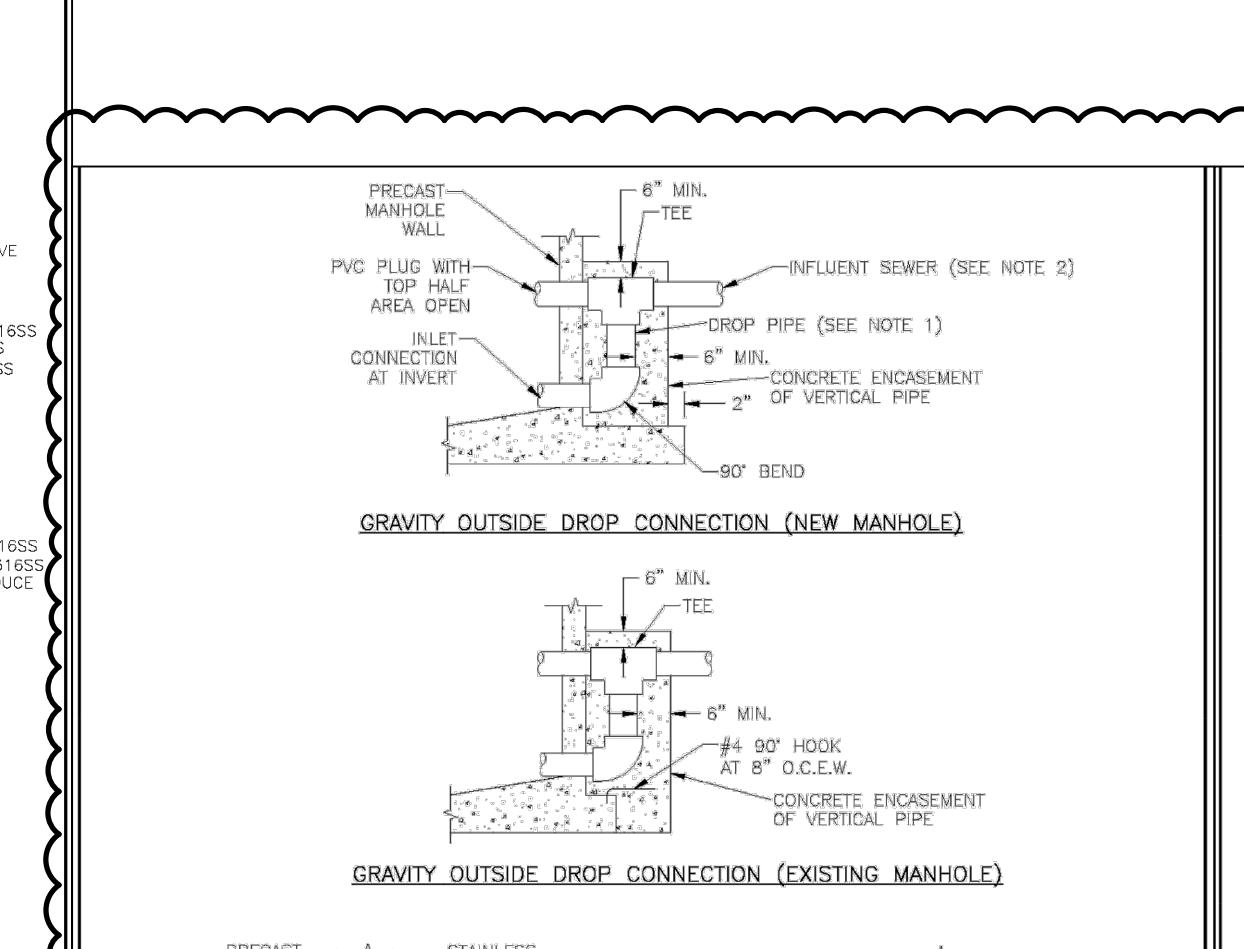
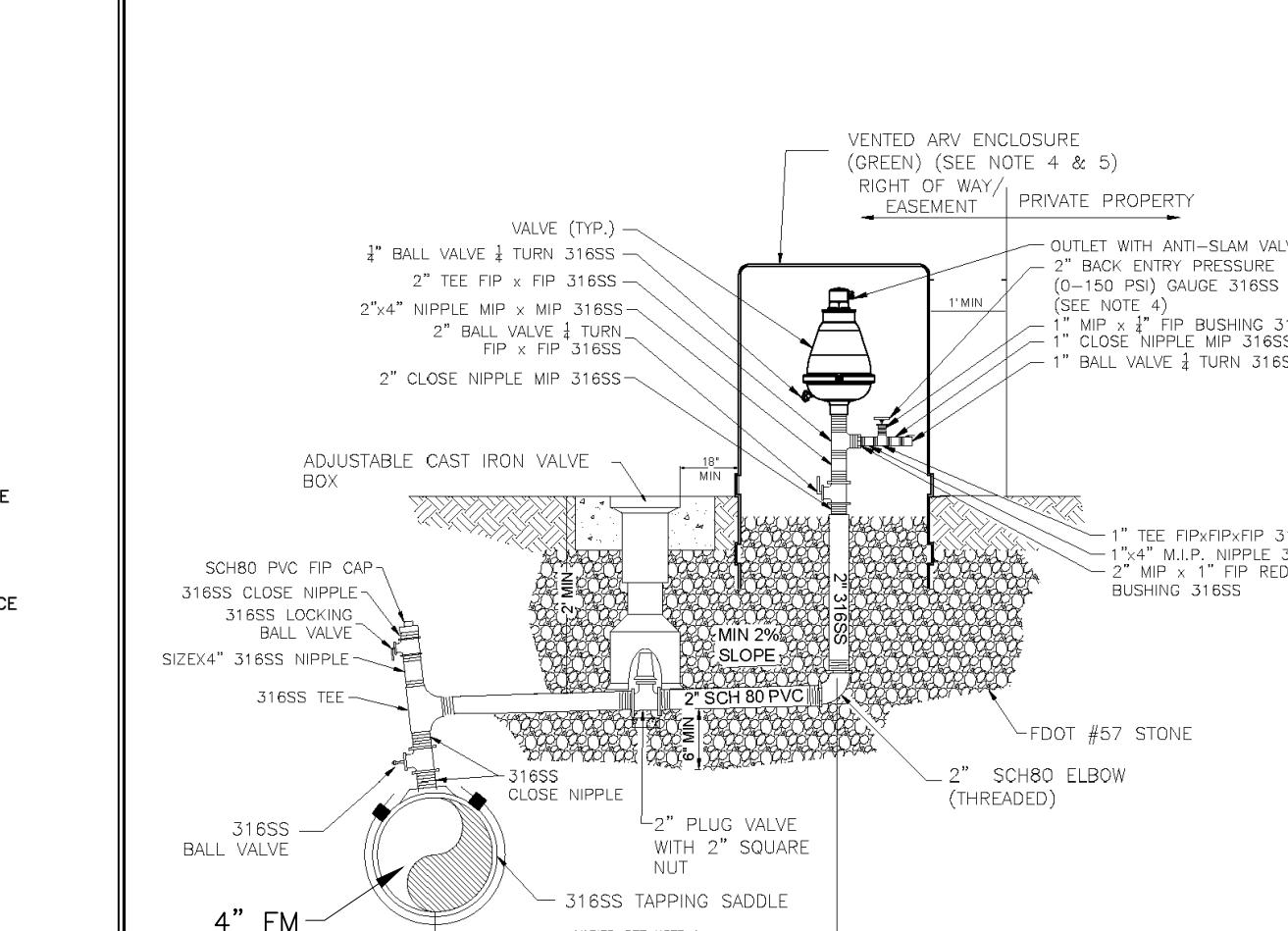
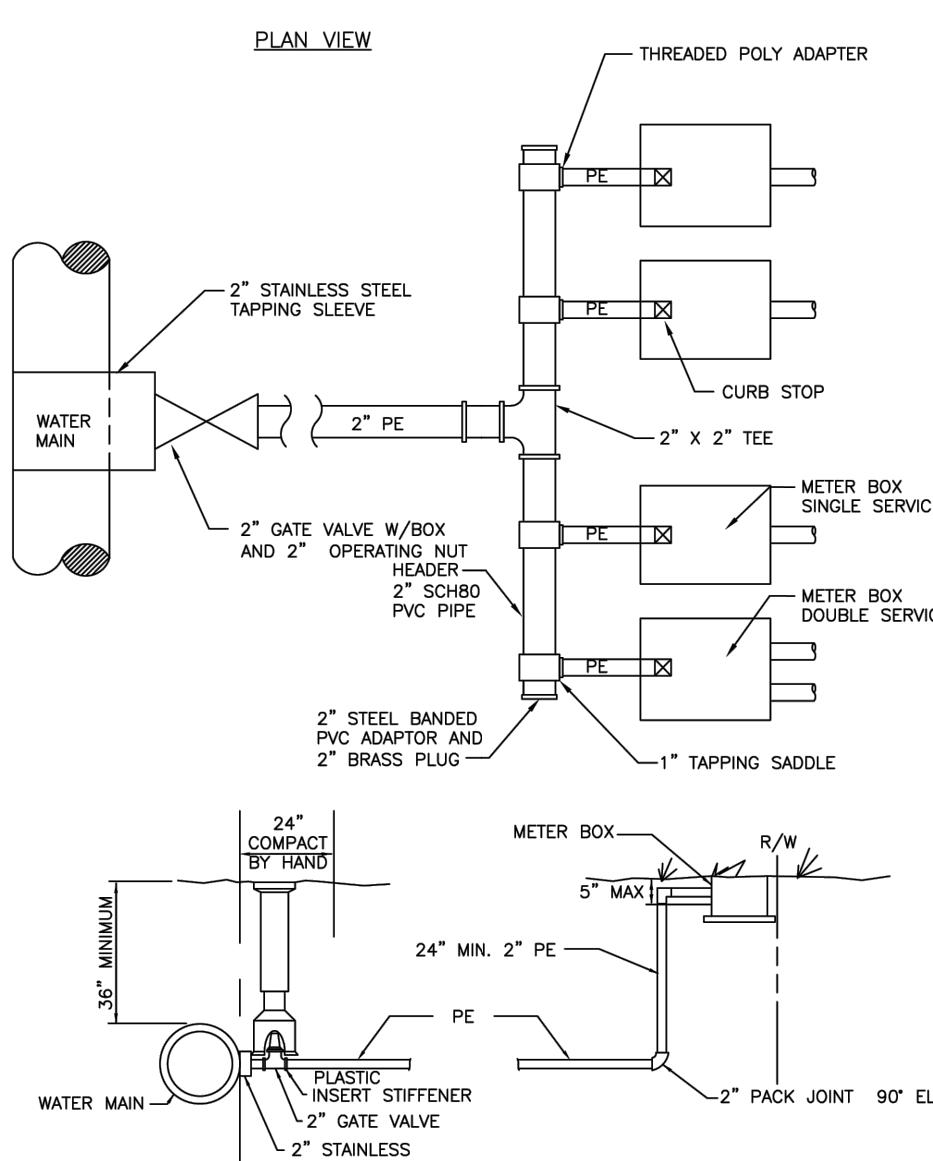
**C503**

SHEET

15 OF 17



APPROVAL STAMP AREA

Marion County  
FLORIDA  
UTILITIESMCBCC EFFECTIVE  
04/13/2023  
REVISION # 1SERVICE PEDESTAL  
1 OF 3  
7.3.2  
UT  
509Marion County  
FLORIDA  
UTILITIESMCBCC EFFECTIVE  
04/13/2023  
REVISION # 1SERVICE PEDESTAL  
2 OF 3  
7.3.2  
UT  
510Marion County  
FLORIDA  
UTILITIESMCBCC EFFECTIVE  
04/13/2023  
REVISION # 1SERVICE PEDESTAL - PANEL RACK  
3 OF 3  
7.3.2  
UT  
511Marion County  
FLORIDA  
UTILITIESMCBCC EFFECTIVE  
04/13/2023  
REVISION # 2AIR OR COMBINATION AIR RELEASE  
VALVE IN VAULT, SEWER  
7.3.2  
UT  
308Marion County  
FLORIDA  
UTILITIESMCBCC EFFECTIVE  
04/13/2023  
REVISION # 1METER BANK  
2" SUPPLY  
7.3.2  
UT  
202Marion County  
FLORIDA  
UTILITIESMCBCC EFFECTIVE  
04/13/2023  
REVISION # 1AABOVE GROUND AIR OR COMBINATION  
AIR RELEASE VALVE  
AND ENCLOSURE ASSEMBLY  
7.3.2  
UT  
316Marion County  
FLORIDA  
UTILITIESMCBCC EFFECTIVE  
04/13/2023  
REVISION # 2GRAVITY MANHOLE CONNECTION  
7.3.2  
UT  
303Marion County  
FLORIDA  
UTILITIESMCBCC EFFECTIVE  
04/13/2023  
REVISION # 2STANDARD SEWER MANHOLE  
FRAME AND COVER  
7.3.2  
UT  
305Marion County  
FLORIDA  
UTILITIESMCBCC EFFECTIVE  
04/13/2023  
REVISION # 2PRECAST CONCRETE MANHOLE  
7.3.2  
UT  
306

## DETAILS

## CLIENT INFORMATION

NEXT DIMENSION CONSTRUCTION, INC.  
120-29 SE HIGHWAY 441  
SUITE 101  
SUMMERFIELD, FLORIDA 34491  
(352) 857-1469

## SUBCONSULTANTS

EDWARD GINN, P.E.  
FLORIDA PROFESSIONAL ENGINEER  
FL. NO. 54595

ISSUE DATE

August 14, 2023

PROJECT NUMBER

2024-230

## REVISIONS

DATE

DESCRIPTION

11/23 MC COMMENTS

5/25 MC COMMENTS

8/25 FDEP COMMENTS

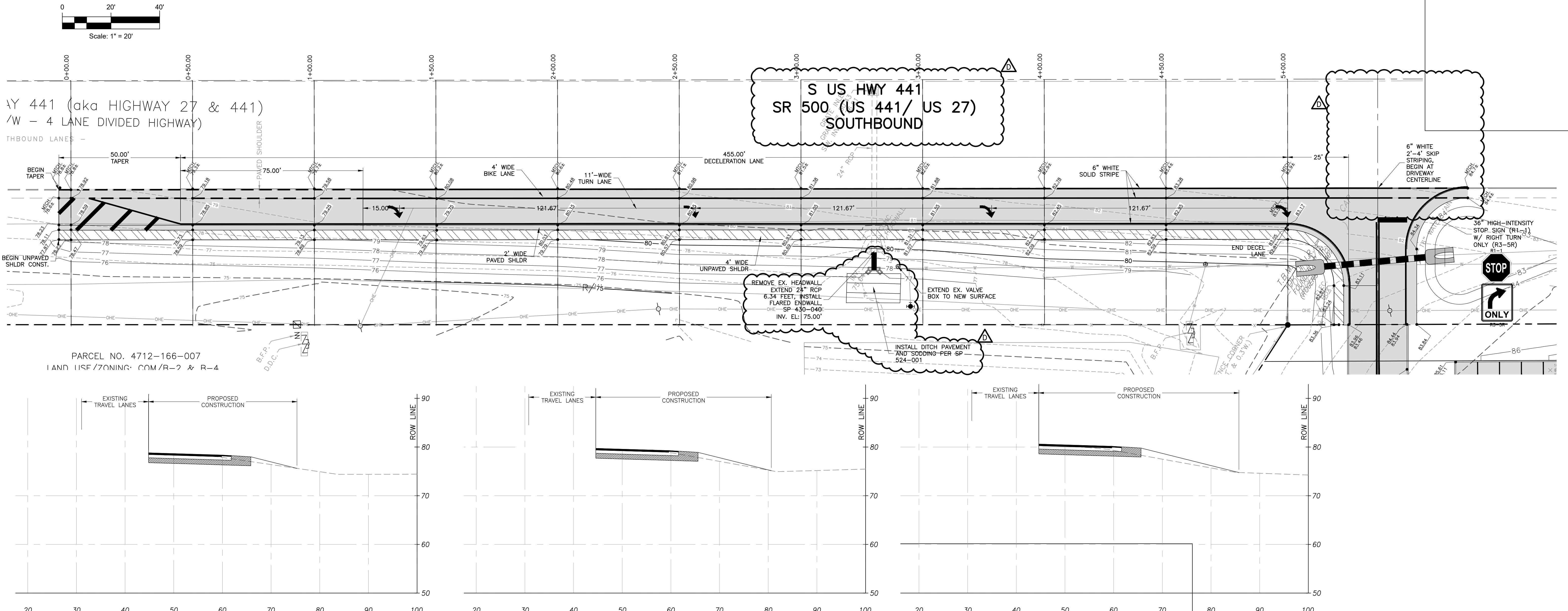
## SHEET DESIGNATION

C504

SHEET

16 OF 17

NORTH



A MAJOR SITE PLAN FOR  
NEXT DIMENSION  
CONSTRUCTION  
TBD S US HIGHWAY 441  
SUMMERFIELD, FLORIDA 34491

PROJECT TITLE

FDOT TURN LANE

CLIENT INFORMATION  
NEXT DIMENSION CONSTRUCTION, INC.  
150-29 SE HIGHWAY 441  
SUITE 101  
SUMMERFIELD, FLORIDA 34491  
(352) 857-1469

SUBCONSULTANTS

ENGINEER OF RECORD  
BARRY EDWARD GINN, P.E.  
FLORIDA PROFESSIONAL ENGINEER  
FL PE NUMBER 54595  
ISSUE DATE  
August 14, 2023

PROJECT NUMBER NUMBER  
2024-230

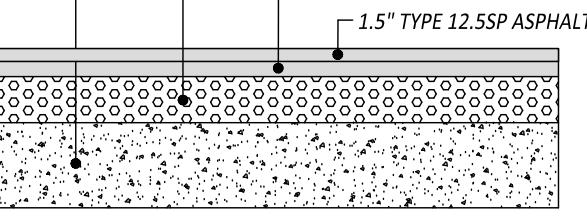
REVISIONS

DATE	DESCRIPTION
3/25	MC COMMENTS
5/25	MC COMMENTS
7/25	FDOT TURN LANE
8/25	MC/FDOT COMMENTS

SHEET DESIGNATION  
C700

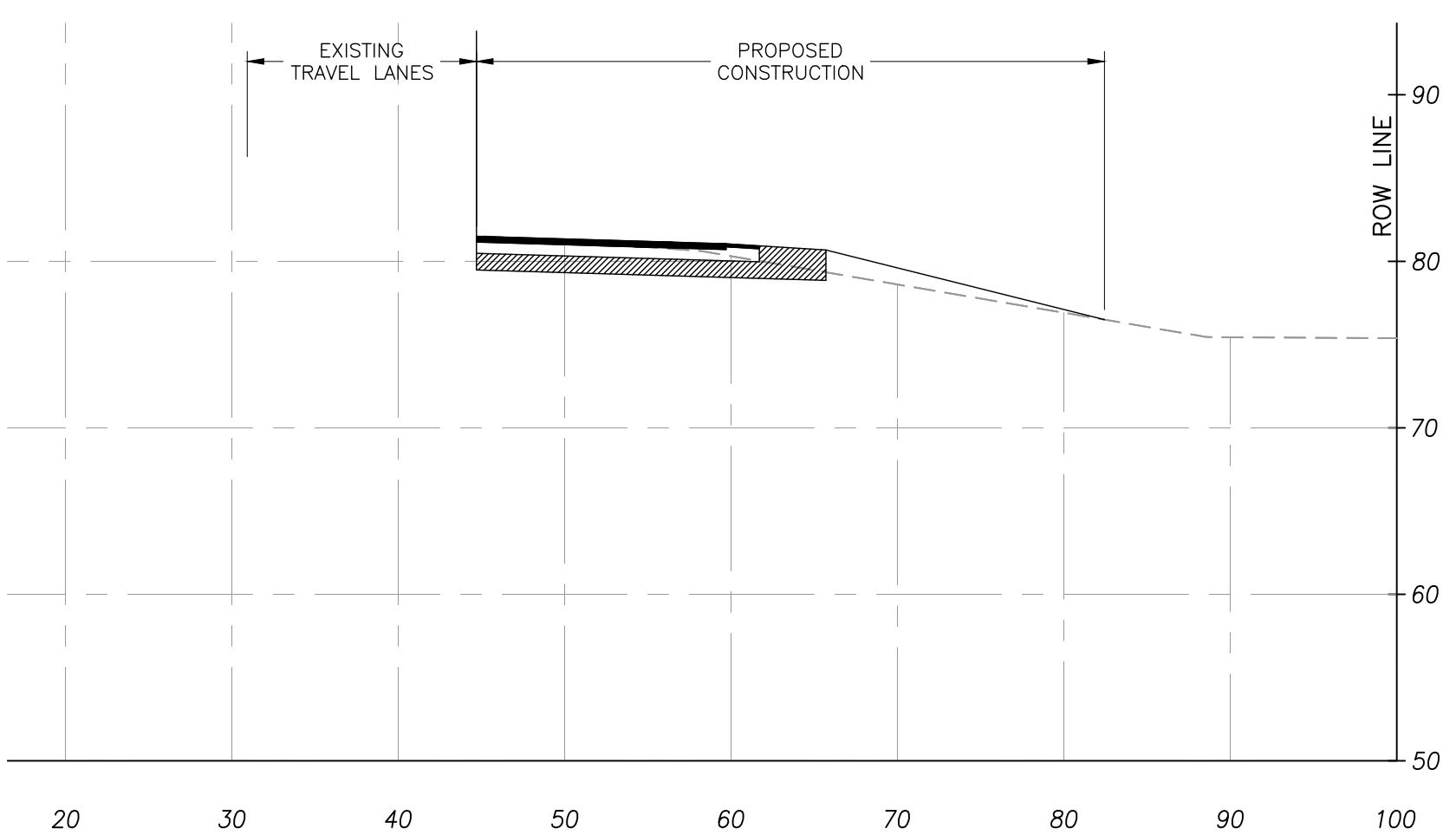
SHEET  
17A OF 17

NOTE:  
THIS SECTION PERTAINS TO SHOULDER AND  
DRIVEWAY CONSTRUCTION WITHIN FDOT  
ROW.

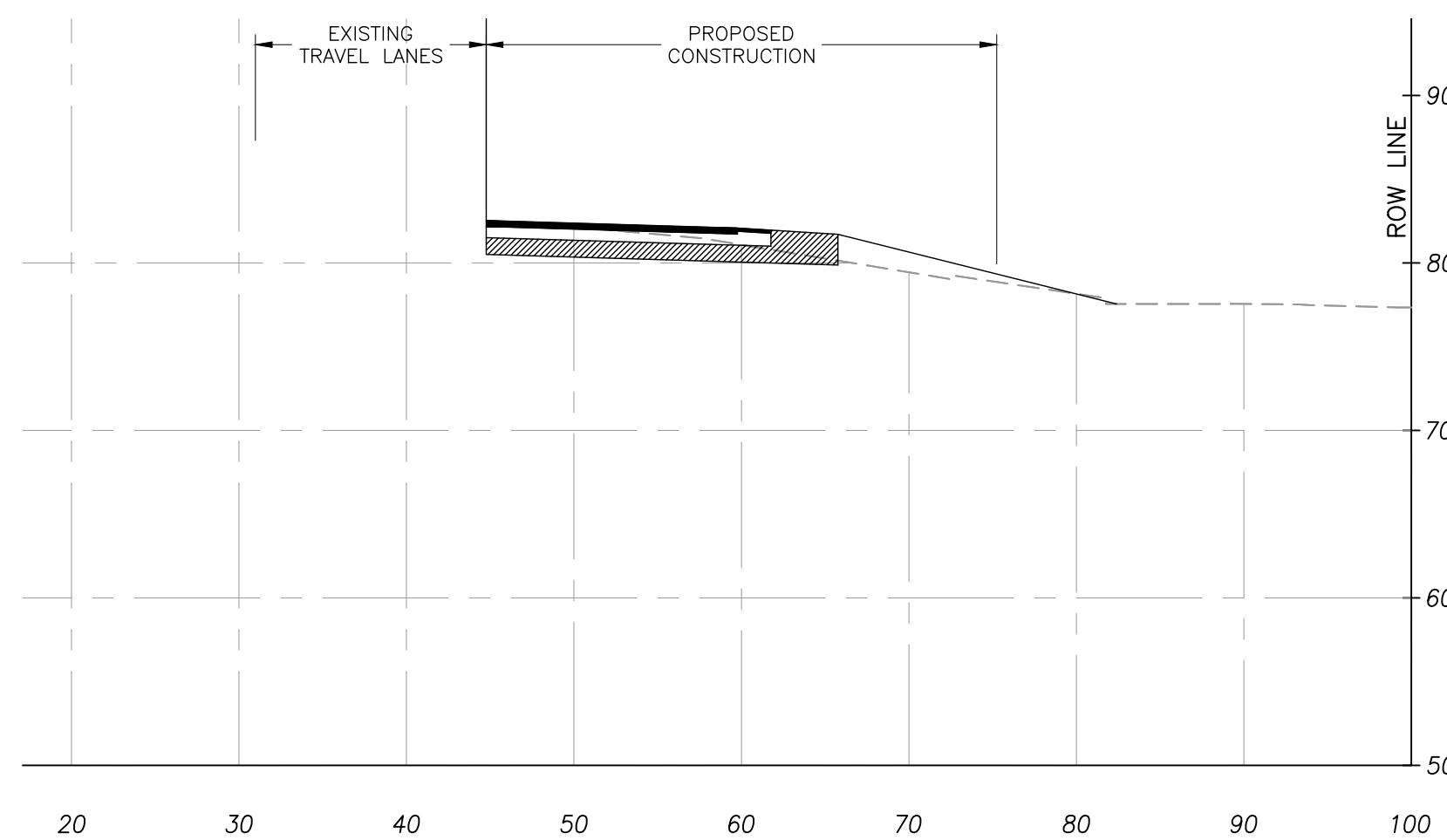


FDOT PAVEMENT SECTION

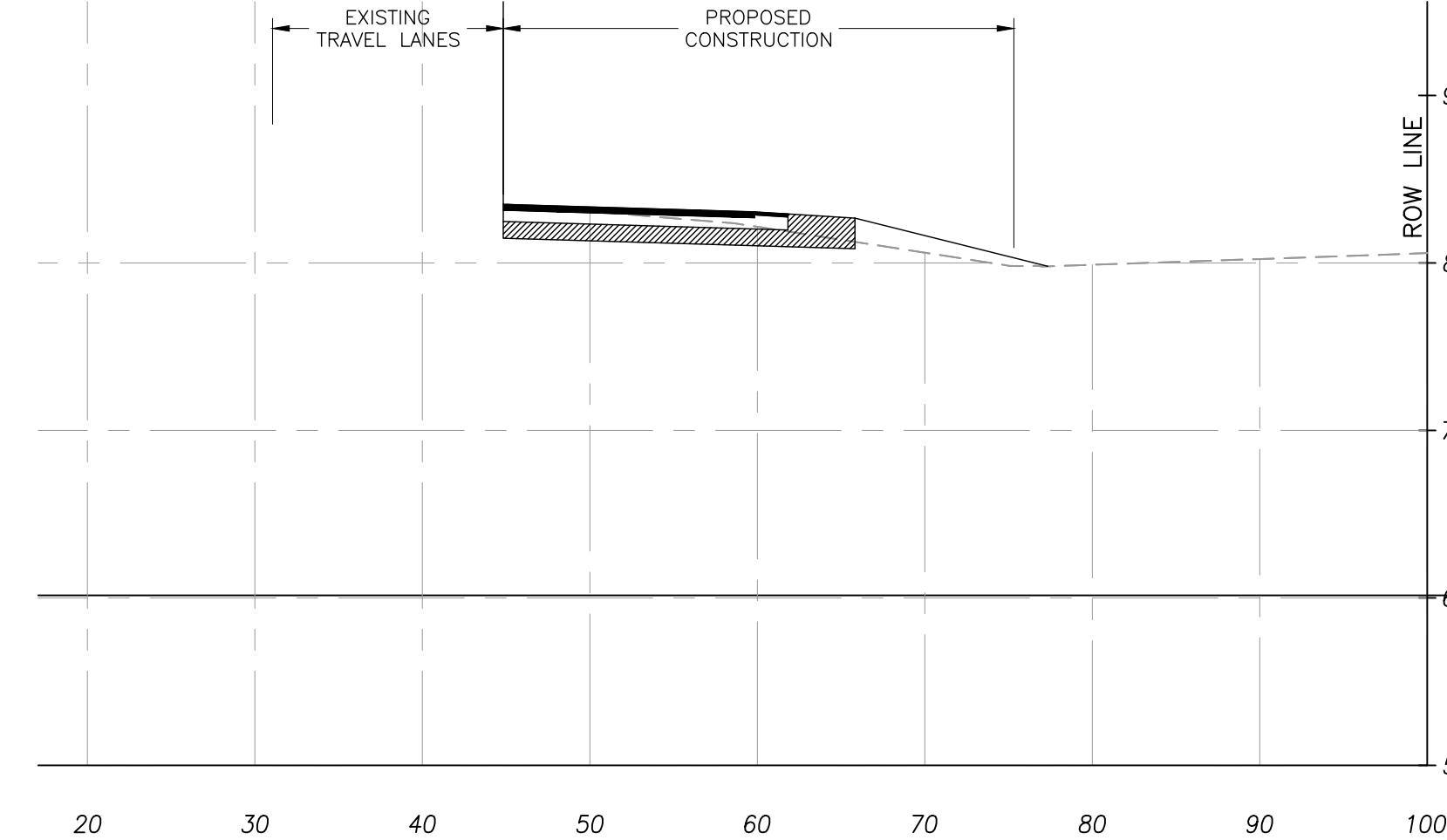
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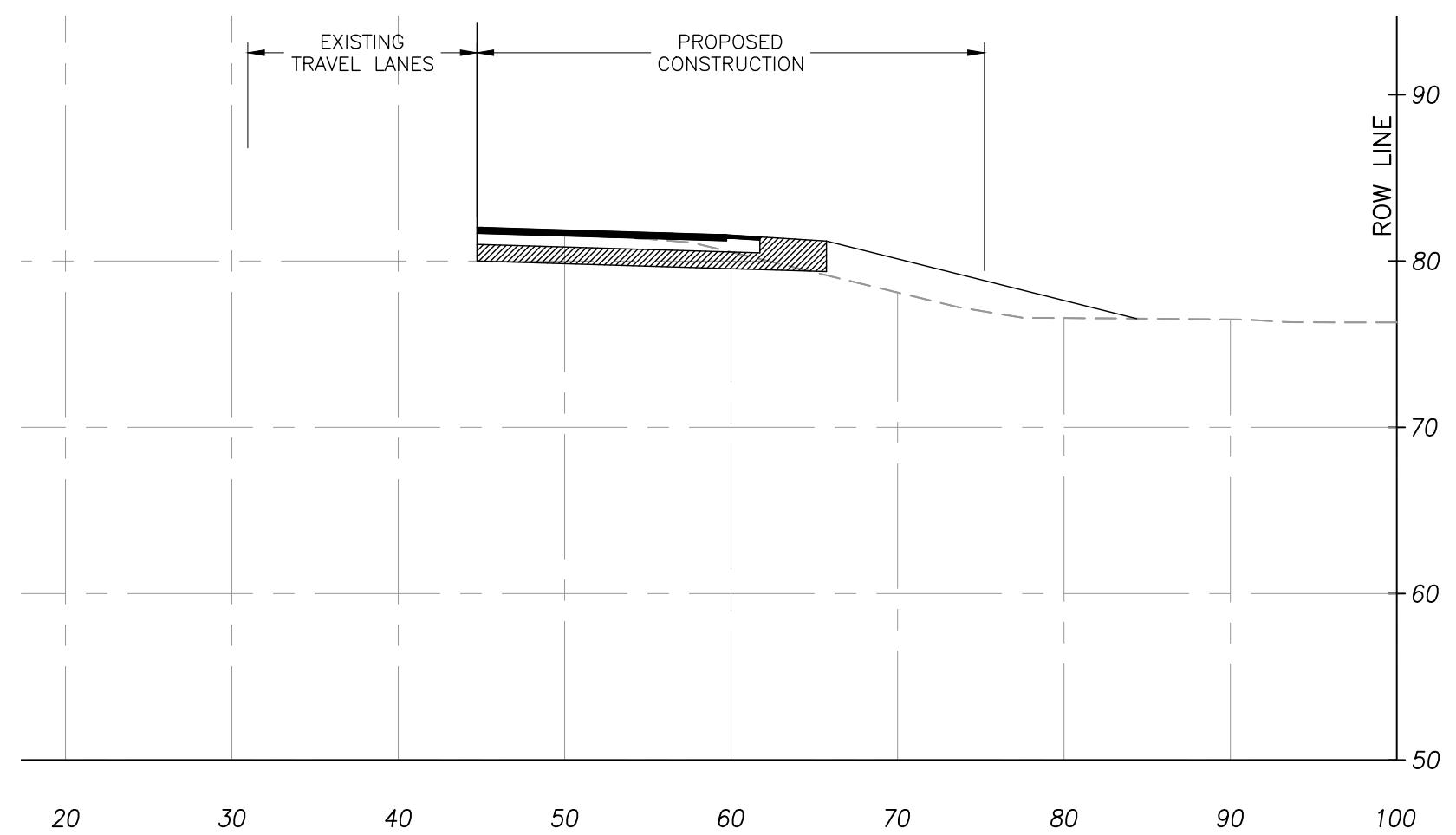
SECTION STA. 3+00



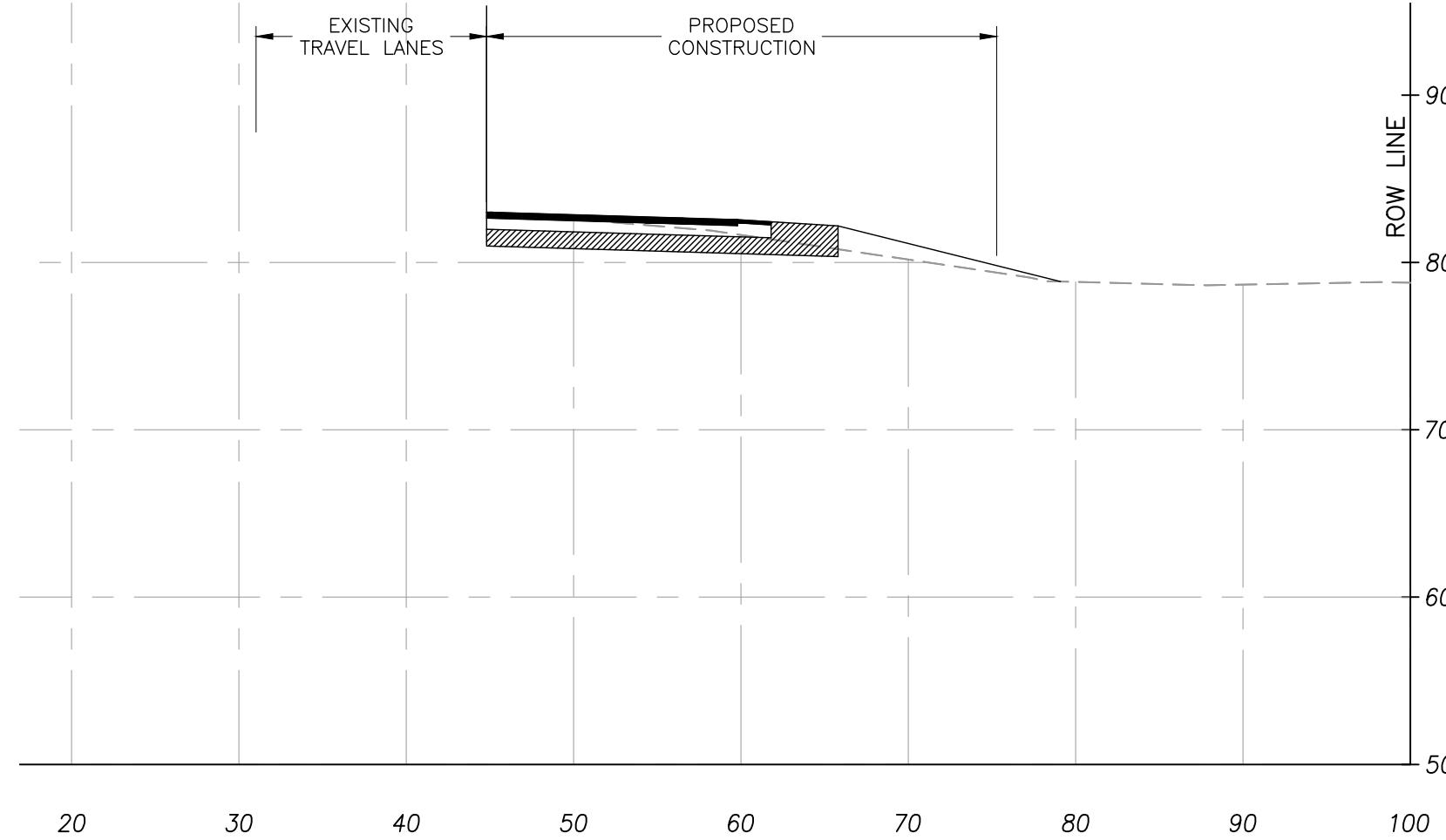
## SECTION STA. 4+00



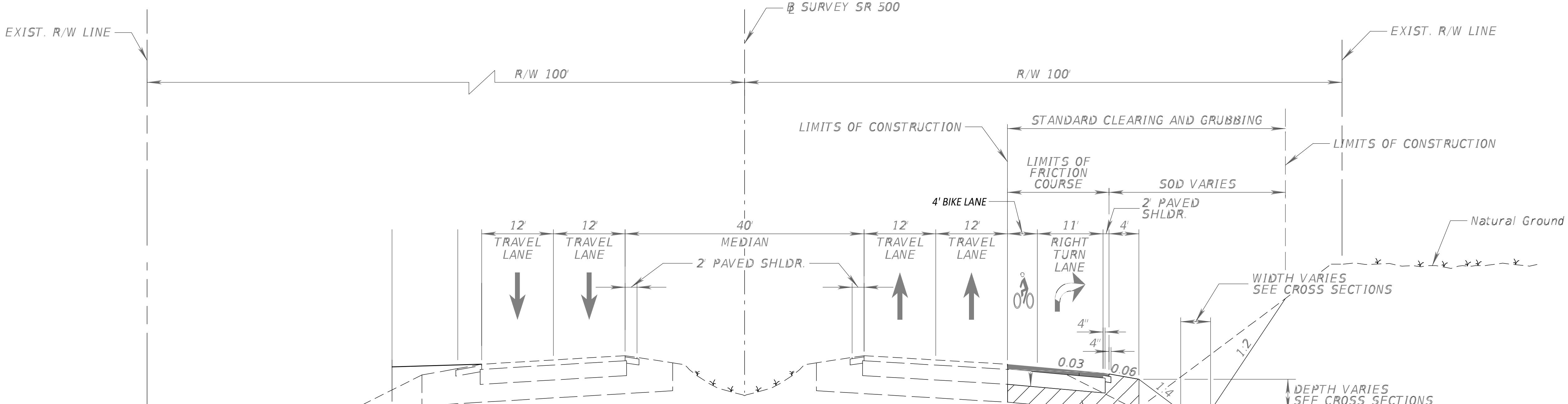
SECTION STA. 5+00



SECTION STA. 3+50



SECTION STA. 4+50



*SR 500 (US 441/US 27)*  
*STA. 0+00.00 TO STA. 5+00.00*

**OPTIONAL BASE GROUP 9 WITH  
TYPE SP STRUCTURAL COURSE (LEVEL C) (3 1/2")  
AND FRICTION COURSE FC-5 (3/4") (PG 76-22)**

## **SHOULDER PAVEMENT**

**OPTIONAL BASE GROUP 1 WITH  
TYPE SP STRUCTURAL COURSE (LEVEL C) (1 1/2")  
AND FRICTION COURSE FC-5 (3/4") (PG 76-22)**

## TYPICAL TURN LANE SECTION

SHEET TITLE

**NEXT DIMENSION CONSTRUCTION, INC.**  
13624 SE HIGHWAY 441  
SUITE 101  
SUMMERFIELD, FLORIDA 34491  
(252) 857-1462

## SUBCONSULTANTS

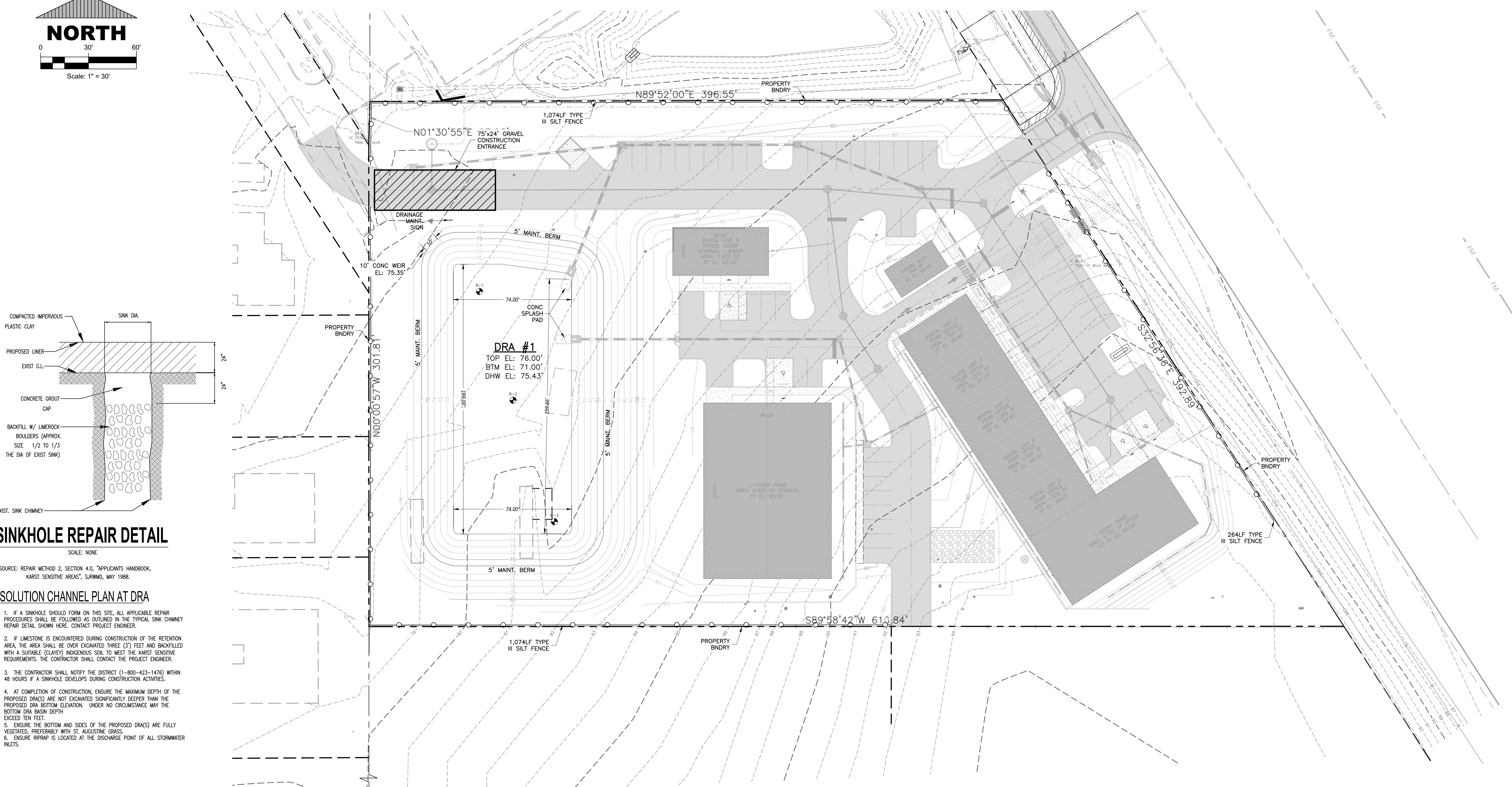
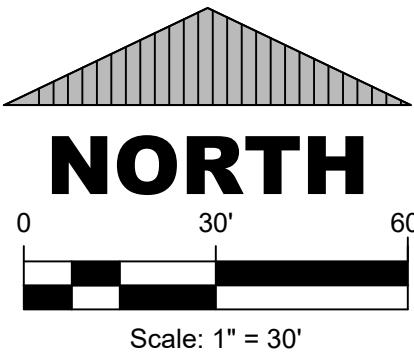
EDWARD  
BARRY  
LICENSE  
No. 54595  
\*  
STATE OF  
FLORIDA  
PROFESSIONAL ENGINEER  
\* GINN  
\* BARRY  
\* EDWARD  
\* ENGINEER OF RECORD

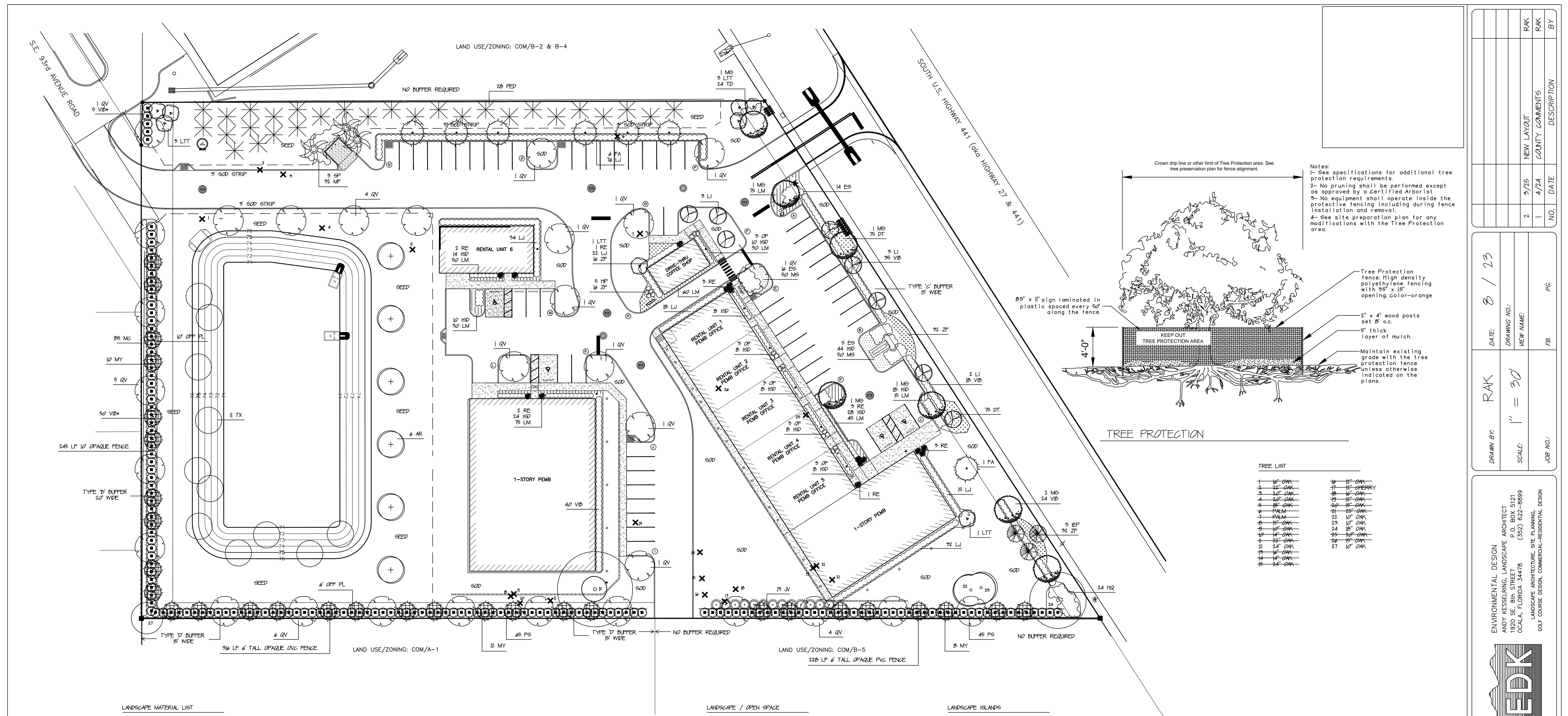
August 14, 2023

PROJECT NUMBER NUMBER

<b>REVISIONS</b>	
<b>DATE</b>	<b>DESCRIPTION</b>
3/25	MC COMMENTS
5/25	MC COMMENTS


**C701**





#### LANDSCAPE MATERIAL LIST

**SHADE TREES**

- 6 AR ACRE RUBRUM FLORIDA FLAME'
- 7 FA FRAXINUS ALBA
- 7 MG MAGNOLIA GRANDIFLORA 'D.D. BLANCHARD'
- 28 PED PINUS ELLIOTTII TENSA
- 30 QV QUERCUS VIRENS
- 11 TX TAXODIUM DISTICHUM

**ORNAMENTAL TREES**

- 3 EP ILEX ATTENUATA 'EAST PALATKA'
- 3 LU LAGERSTREMA INDICA 'NATCHez'
- 3 LTT LIGustrUM JAPONICA 'TREE-TYPE'
- 30 MY MYRTUS CERIFERA
- 9 SP SABAL PALM

**SHRUBS**

- 35 ES ERASOTIS SPECTACULIS
- 10 FS FIRESTERA SEGRERATA
- 5 HP HAMELIA PATENS
- 24 HQ HYDRANGEA QUERCIFOLIA
- 13 JU JUNIPERUS COMMUNIS
- 37 LJ LIGustrUM JAPONICA
- 32 MF MIRTICANTHES FRANGENS
- 18 OF OSMANTHUS FRANGENS
- 15 PR RHOEBOCARYON
- 24 TD TRIPHAGUM PACTYLOIDES
- 17 VIP VIBURNUM ODRATIGRUM
- 55 VIP VIBURNUM ODRATIGRUM

**GROUNDCOVERS**

- 50 DT DIANTHUS TAZETANICA
- 20 DT LIGustrUM DODDII
- 200 LM LIRIOPE MUSCARI 'BIG BLUE'
- 100 MS MIMOSA STRIOLLOSA
- 36 ZF ZAMIA FLORIDANA

**LAND USE/ZONING:** COM/A-1, COM/B-5, COM/B-2 & B-4

#### LANDSCAPE / OPEN SPACE

TOTAL PROJECT AREA = 166,071 SF (38 AC)  
LANDSCAPE AREA REQUIRED = 53,214 SF (20%)  
LANDSCAPE AREA PROVIDED = 71,261 SF (DRA N/C)

#### TREE PRESERVATION / MITIGATION

TOTAL EXISTING TREES = 27  
TOTAL EXISTING HARDWOODS = 25  
TOTAL EXISTING INCHES = 410'  
PRESERVATION REQUIRED = 261.3' (204.8' / AC)  
PRESERVATION PROVIDED = 72'  
REPLACEMENT INCHES REQUIRED = 203'  
REPLACEMENT INCHES PROVIDED = 201.5'

#### SHADE TREE CALCULATIONS

TOTAL PROJECT AREA = 166,071 SF  
SHADE TREES REQUIRED = 71 ((2 / 100 LF) (1 FA, 6 ME))  
SHADE TREES PROVIDED = 8 ((1 / 100 LF) (1 EP, 5 LI, 9 LTT))  
LESS EXISTING TREES PRESERVED = 63'  
NEW SHADE TREES REQUIRED = 32.4  
NEW SHADE TREES PROVIDED = 83'

#### BUILDING LANDSCAPE

BUILDING FRONTAGE = 230 LF  
LANDSCAPE AREA REQUIRED = 136 LF (60%)  
LANDSCAPE AREA PROVIDED = 200 LF

#### NATIVE PLANTS

TOTAL PLANT MATERIAL = 1745  
NATIVE PLANTS REQUIRED = 636 (25% INSIDE UEP)  
NATIVE PLANTS PROVIDED = 634

#### LANDSCAPE ISLANDS

TOTAL VUA = 13,971 SF  
LANDSCAPE ISLANDS REQUIRED = 4,328 SF (30%)  
LANDSCAPE ISLANDS PROVIDED = 6,321 SF

#### BUFFER CALCULATIONS

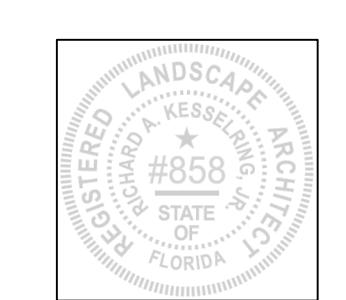
SIDE BUFFER - 35'L, TYPE 'C', 15' WIDE, 5355 SF  
SHADE TREES REQUIRED = 71 ((2 / 100 LF) (1 FA, 6 ME))  
SHADE TREES PROVIDED = 8 ((1 / 100 LF) (1 EP, 5 LI, 9 LTT))  
ORNAMENTAL TREES REQUIRED = 12 ((1 / 100 LF) (1 EP, 5 LI, 9 LTT))  
ORNAMENTAL TREES PROVIDED = 11 ((1 / 100 LF) (1 EP, 5 LI, 9 LTT))  
LANDSCAPE AREA REQUIRED = 2478 SF (20%)  
LANDSCAPE AREA PROVIDED = 2554 SF

#### SOUTH BUFFER - 90'L, TYPE 'D', 15' WIDE, 4950 SF

SHADE TREES REQUIRED = 66 ((2 / 100 LF) (1 FA, 6 ME))  
SHADE TREES PROVIDED = 7 ((1 / 100 LF) (1 FA, 6 ME))  
ORNAMENTAL TREES REQUIRED = 39 ((1 / 100 LF) (1 FA, 6 ME))  
ORNAMENTAL TREES PROVIDED = 12 ((1 / 100 LF) (1 FA, 6 ME))  
LANDSCAPE AREA REQUIRED = 1258 SF (25%)  
LANDSCAPE AREA PROVIDED = 1280 SF  
6' TALL OPAQUE PVC FENCE - 6' OFF PROPERTY LINE

WEST BUFFER - (90' - 24') 30'L, TYPE 'B', 20' WIDE, 6040 SF  
SHADE TREES REQUIRED = 60 ((2 / 100 LF) (1 FA, 6 ME))  
SHADE TREES PROVIDED = 7 ((1 / 100 LF) (1 FA, 6 ME))  
ORNAMENTAL TREES REQUIRED = 51 ((1 / 100 LF) (1 FA, 6 ME))  
ORNAMENTAL TREES PROVIDED = 13 ((1 / 100 LF) (1 FA, 6 ME))  
LANDSCAPE AREA REQUIRED = 3,010 SF (60%)  
LANDSCAPE AREA PROVIDED = 3,020 SF

10' TALL OPAQUE FENCE - 10' OFF PROPERTY LINE  
\*SEE APPROVED WAIVER FROM 8/10/14



RICHARD A KESSELING JR.

PLA, ASLA

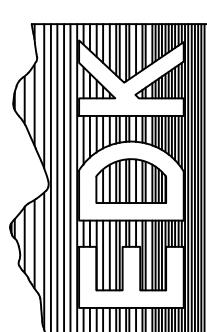
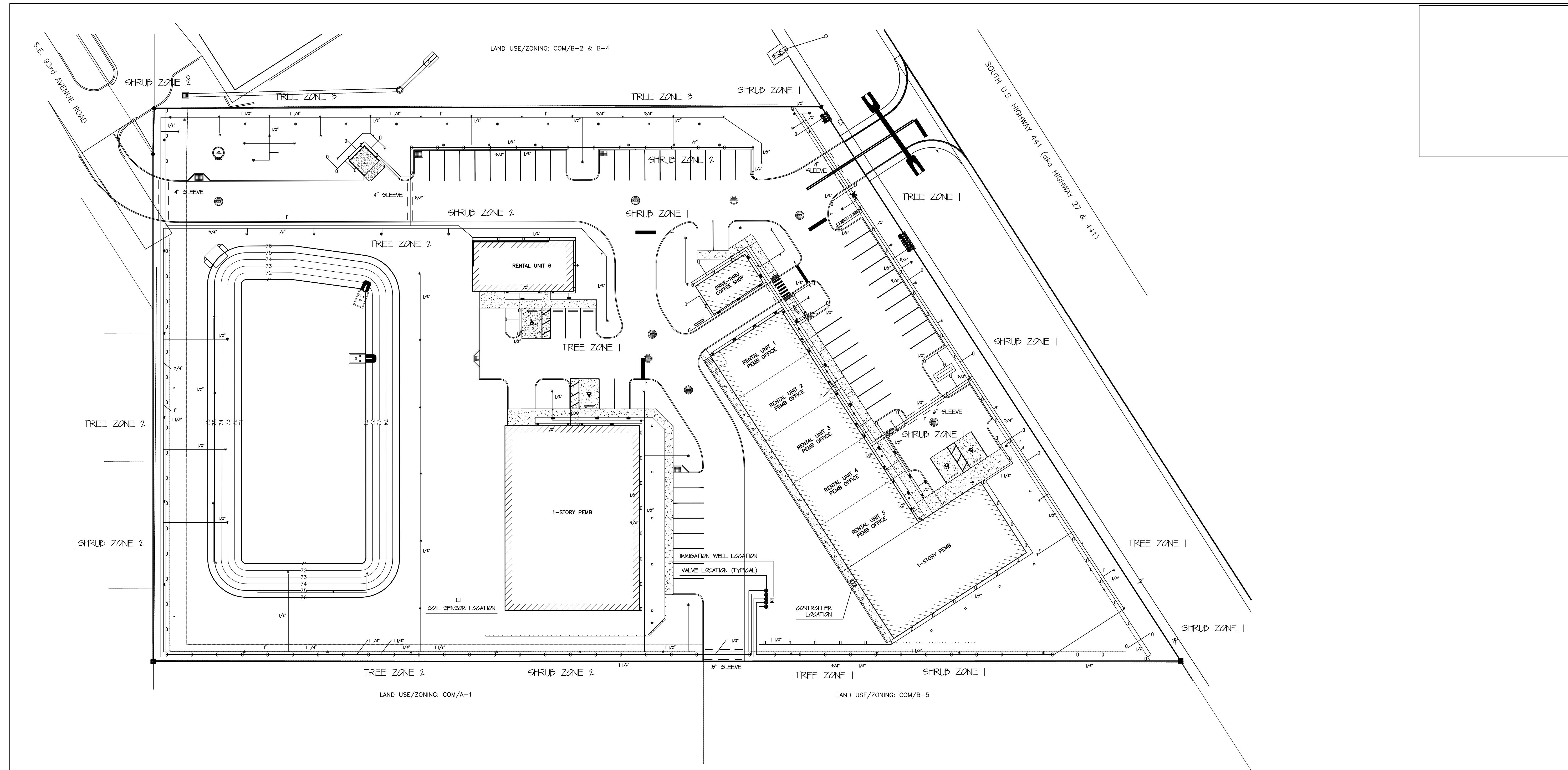
RICHARD A KESSELING JR., PLA, ASLA  
LANDSCAPE ARCHITECT, STATE OF FLORIDA #858

LANDSCAPE PLAN  
NEXT DIMENSION CONSTRUCTION  
SUMMERFIELD FLORIDA  
SHEET 100 of 100

ENVIRONMENTAL DESIGN  
ANDY KESSELING, LANDSCAPE ARCHITECT  
1920 SE 8th STREET  
Ocala, Florida 34478  
LANDSCAPE ARCHITECTURE, SITE PLANNING,  
GOLF COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN

**EDK**

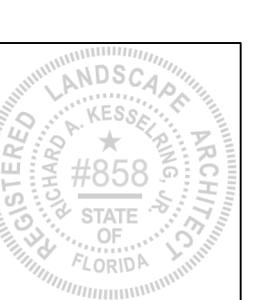
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# IRRIGATION PLAN NEXT DIMENSION CONSTRUCTION

111

CALE 1" = 30'



DIGITALLY SIGNED  
RICHARD A KESSELRING  
JR., LA  
DATED: 2025.03.20  
15:04:15

HARD A KESSELRING JR., PLA, ASLA  
SCAPE ARCHITECT, STATE OF FLORIDA #858

SHEET 1002 of 1

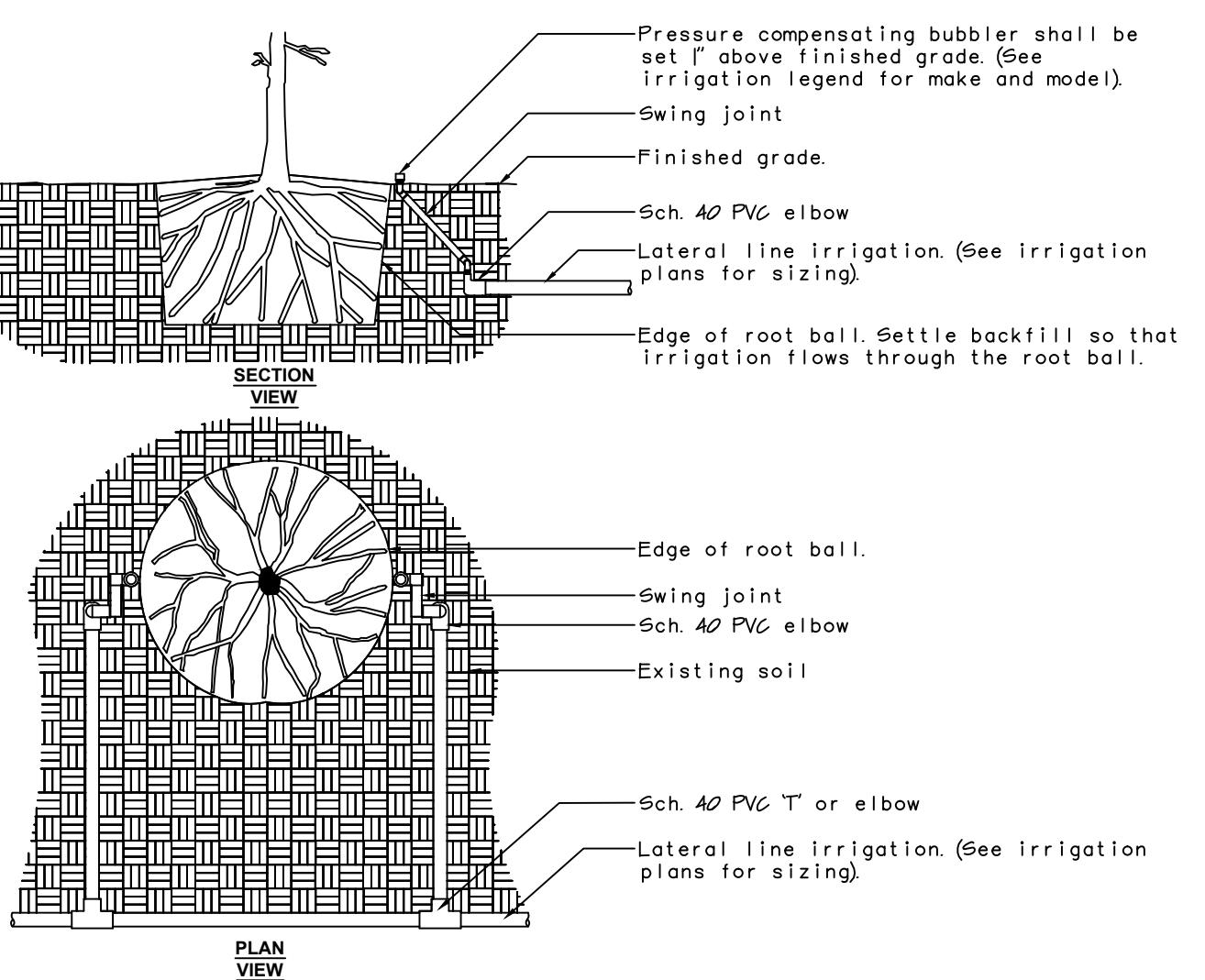
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			PG.



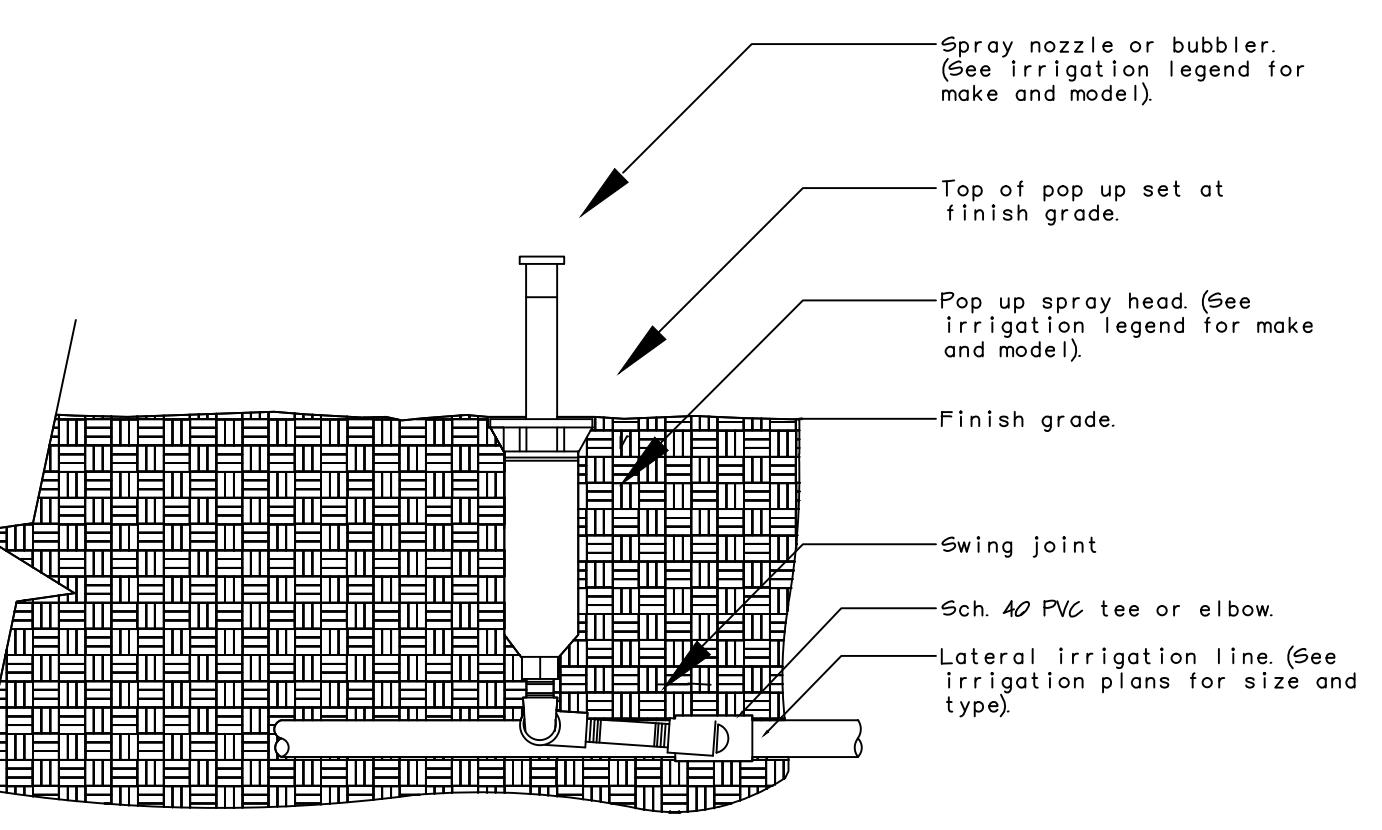
#### IRRIGATION NOTES

- MINOR CHANGES MAY BE MADE IN THIS LAYOUT WITH APPROVAL BY THE LANDSCAPE ARCHITECT
- ALL HEAD LOCATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION
- HEADS SHALL BE 1/4, 1/2, OR FULL CIRCLE AS EACH LOCATION REQUIRES
- SPRAYS PATTERN SHALL BE SET TO MINIMIZE SPRAY ONTO ADJACENT WALKS, DRIVES, AND BUILDINGS
- WATER SOURCE SHALL BE A NEW 4" WELL WITH 5 HP PUMP FOR IRRIGATION USE ONLY
- PRIOR TO ANY INSTALLATION, THE IRRIGATION CONTRACTOR SHALL INSPECT THE EXISTING SITE AND PROPOSED SYSTEM DESIGN AND PROVIDE ANY QUESTIONS TO THE LANDSCAPE ARCHITECT, IN WRITING, PRIOR TO THE START OF ANY INSTALLATION. ANY MODIFICATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION
- THE OWNER WILL PROVIDE ELECTRICAL SERVICE TO THE WELL SITE
- THE CONTROLLER SHALL BE LOCATED IN THE GENERAL AREA SHOWN AND SHALL BE MOUNTED AS APPROVED BY THE LANDSCAPE ARCHITECT IN A LOCKABLE CASE
- THE OWNER WILL PROVIDE AN ELECTRICAL OUTLET IN THE CONTROLLER AREA
- ALL VALVES SHALL BE INSTALLED IN WATER-RESISTANT BOXES
- ALL SLEEVING MUST BE INSTALLED PRIOR TO THE LIMEROCKING OF THE PAVED AREAS
- ALL SLEEVING SHALL BE SCH 40 PVC AND INSTALLED A MINIMUM OF 18" DEEP
- ALL FEEDER LINES SHALL BE INSTALLED A MINIMUM OF 12" DEEP
- RAINBIRD RAINCHECK DEVICE SHALL BE INSTALLED TO MINIMIZE IRRIGATION DURING SUFICIENT RAINFALL (RED SERIES). IN ADDITION, AN ACCUMA TDT SENSOR WITH SIX CONTROL MONITOR MUST BE INSTALLED AS LOCATED BY THE LANDSCAPE ARCHITECT FOR PROPER IRRIGATION AMOUNTS
- THE ENTIRE SYSTEM MUST BE OPERATIONAL, REVIEWED, AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
- THE CONTRACTOR SHALL RETURN WITHIN THE FIRST 30 DAYS TO ADJUST THE SYSTEM AS NECESSARY AND DICTATED BY THE LANDSCAPE ARCHITECT
- ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR 1 YEAR FOR FINAL ACCEPTANCE
- THE CONTRACTOR MUST PROVIDE AN AS-BUILT DRAWING TO THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
- BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED AT THE WELL PER ALL APPLICABLE CODES
- SLEEVES MUST BE INSTALLED IN ALL AREAS WHERE IRRIGATION PIPING IS INSTALLED UNDER PAVEMENT
- ZONES ARE DESIGNED TO FUNCTION AT 80 GPM AND 40 PSI AT THE VALVE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING AT ALL HEADS TO INSURE PROPER PRESSURE AND WATER QUANTITY FOR THE DESIGNED COVERAGE
- CONTRACTOR SHALL CONSULT WITH BOTH OWNER AND THE LANDSCAPE ARCHITECT FOR THE TIMING OF THE SYSTEM, BASED ON CURRENT WATER RESTRICTIONS
- SYSTEM DOES NOT PROVIDE 100% COVERAGE OF THE ENTIRE PROJECT SITE. CONTRACTOR MUST ADJUST HEADS TO COVER NEW TREE AND SHRUB PLANTINGS AS DIRECTED BY THE LANDSCAPE ARCHITECT
- ALL LINE LOCATIONS MUST BE ADJUSTED ON-SITE TO INSURE THAT THEY DO NOT IMPACT THE MAJOR ROOT SYSTEMS OF THE TREES TO BE PRESERVED
- ALL IRRIGATION HEADS SHALL BE LOW-VOLUME MICRO-IRRIGATION TO MINIMIZE WATER CONSUMPTION
- SET RUN TIMES FOR THE SYSTEM PER RECOMMENDATIONS BY IFAS @ EDIS/IFASFLORIDA/AC220
- ON HEADS LOCATED BELOW THE VALVE LOCATIONS, INSURE CHECK VALVES ARE INSTALLED AT THE HEAD
- POP-UP HEIGHTS WITHIN SOD AREAS SHALL BE SET AT 6"
- ALL VALVES SHALL HAVE A FACTORY-INSTALLED FILTER SENTRY AND VERIFIED BY CONTRACTOR
- VERIFY CONTROLLER SET-UP WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
- ALL IRRIGATION INSTALLATION SHALL MEET 2015 GRADES AND STANDARDS
- NO IRRIGATION HEADS SHALL BE INSTALLED ON RISERS UNLESS SPECIFICALLY NOTED AND DETAILED
- ALL AS-BUILTS, VERIFICATIONS, ETC. MUST BE SUBMITTED PRIOR TO FINAL INSPECTION AND ACCEPTANCE
- BUBBLERS AT ALL TREES AND PALMS SHALL BE STAKED AT THEIR PROPER LOCATIONS

Notes:  
 1- All irrigation fittings shall be Sch. 40 PVC unless specified otherwise.  
 2- All leaded connections from Sch. 40 to Sch. 80 PVC shall be made using teflon tape.  
 3- Contractor shall settle the area around the bubbler and edge of the root ball so that all irrigation flows through the root ball.

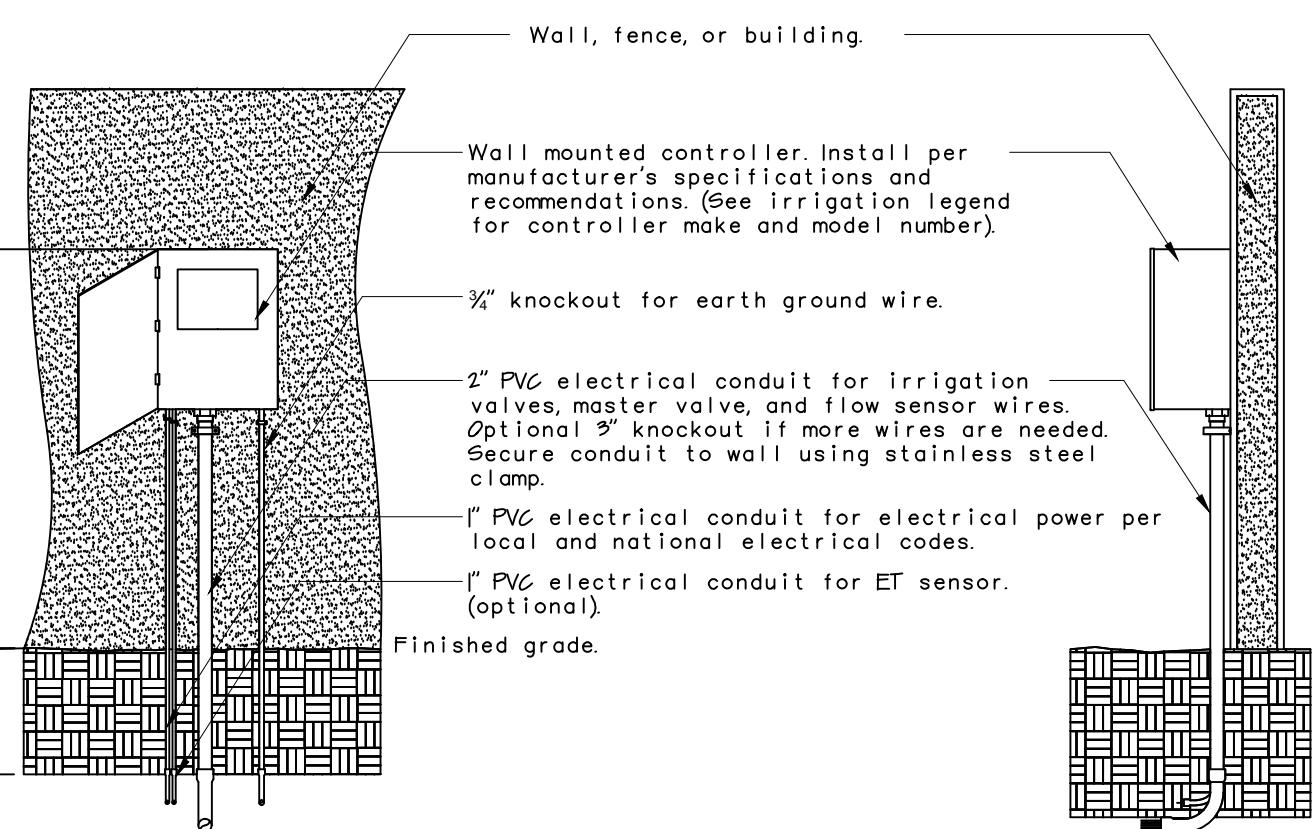


#### TREE BUBBLER LAYOUT



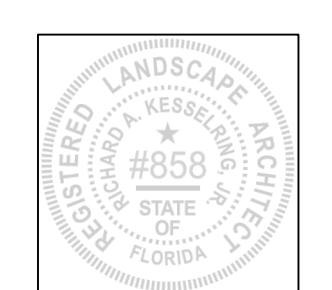
Notes:  
 1- Pop ups shall be used in turf areas.  
 2- Contractor shall settle soil around the pop up after installation.  
 3- All pop up spray heads shall have check valves.  
 4- All Sch. 40 PVC to Sch. 80 PVC connections shall be made using teflon tape.

#### POP UP-SPRAY HEAD



Notes:  
 1- Common and controller wire to be bundled using electrical tape at 10'-0" on center.  
 2- Grounding rods shall be located between 8'-0" to 10' away from the controller.  
 Grounding rods shall be 8' in length. Connect the grounding rod to the controller using 6 gauge bare copper wire per manufacturer's specifications.  
 3- Rain sensor device shall be installed within 20' of the controller, a minimum of 15' high, and out from any overhead obstructions such as building overhangs, trees, or utilities.

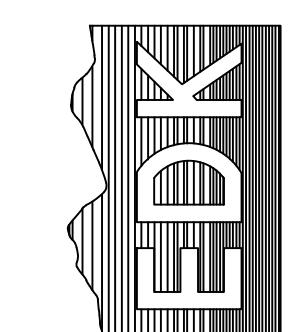
#### WALL MOUNTED CONTROLLER



DIGITALLY SIGNED  
RICHARD A. KESSELRING  
JR., PLA, ASLA  
DATED: 2025.03.20  
150415

RICHARD A. KESSELRING JR., PLA, ASLA  
LANDSCAPE ARCHITECT, STATE OF FLORIDA #558

IRRIGATION NOTES & DETAILS  
NEXT DIMENSION CONSTRUCTION  
SUMMERFIELD FLORIDA

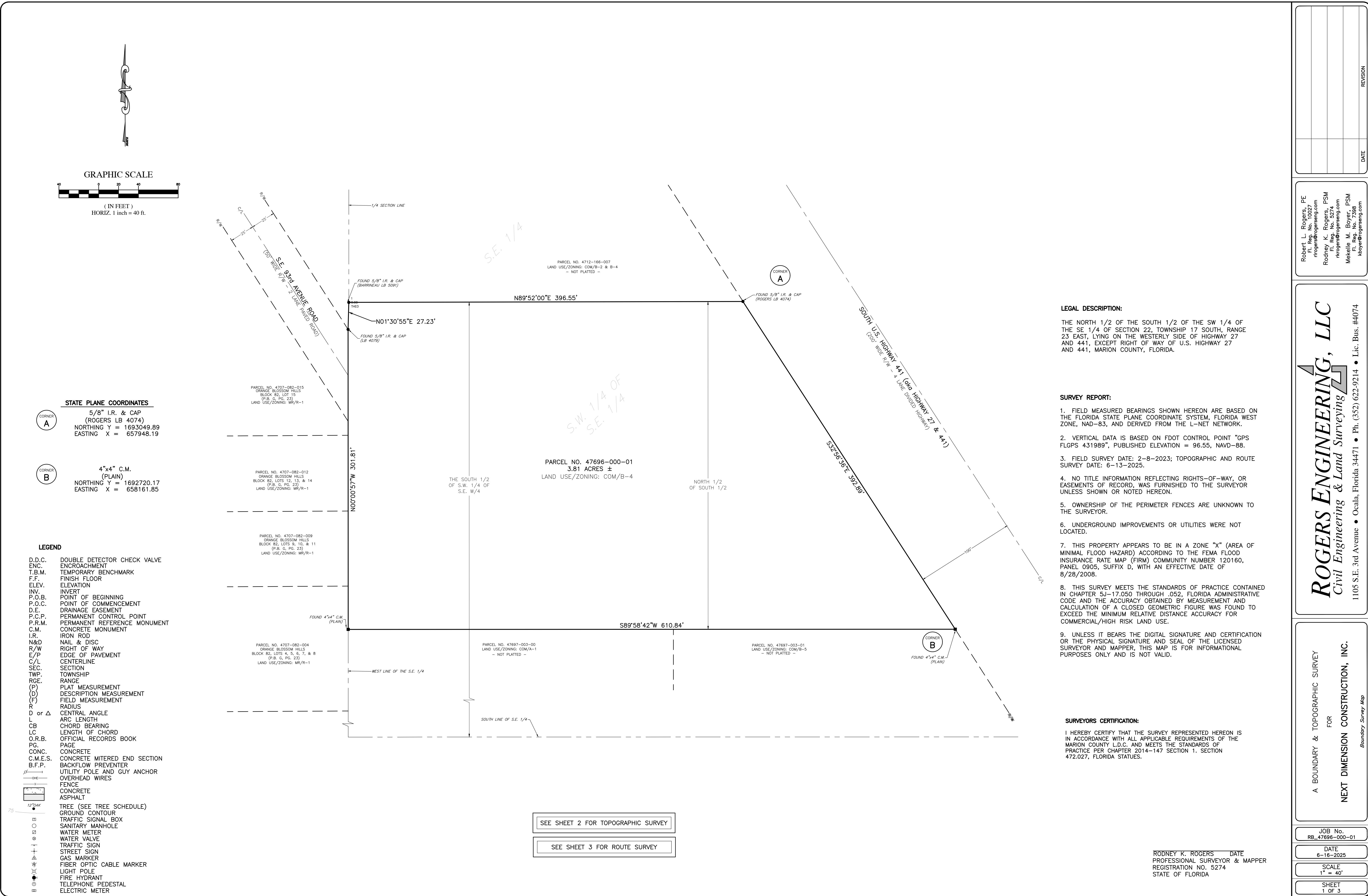


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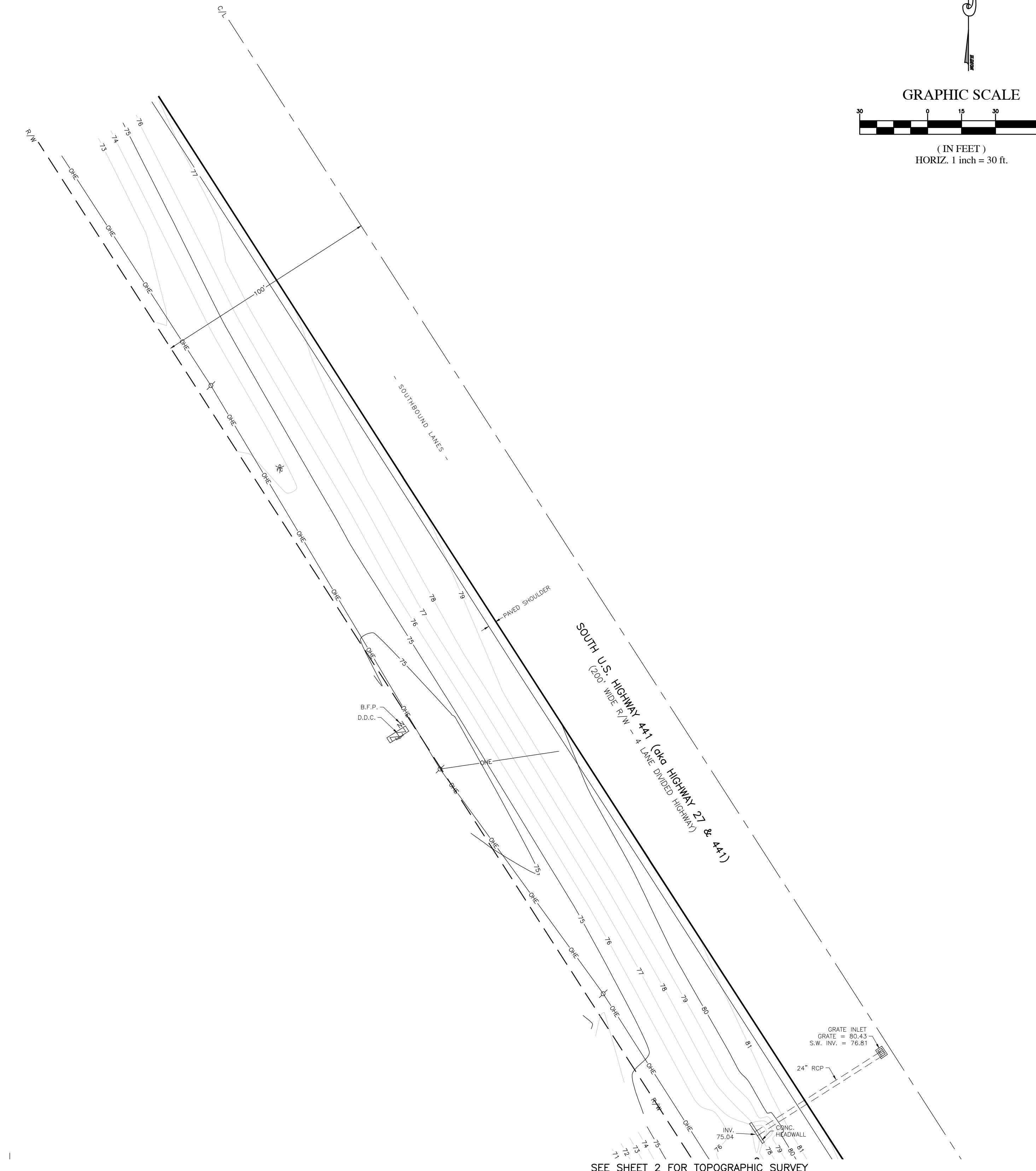
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SCALE:	1" = 30'	DRAWING NO.:	
JOB NO.:		VIEW NAME:	

ENVIRONMENTAL DESIGN ANDY KESSELRING, LANDSCAPE ARCHITECT P.O. BOX 5121 (352) 622-8899 1920 SE. 8th STREET Ocala, Florida 34478 LANDSCAPE ARCHITECT, SITE PLANNING, GOLF COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN			

SHEET 1004 of 1







RODNEY K. ROGERS DATE  
PROFESSIONAL SURVEYOR & MAPPER  
REGISTRATION NO. 5274  
STATE OF FLORIDA

A BOUNDARY & TOPOGRAPHIC SURVEY  
FOR  
NEXT DIMENSION CONSTRUCTION, INC.  
Topographic Survey Map

JOB No.  
RB\_47696-000-01

DATE  
6-16-2025

SCALE  
1" = 30'

SHEET  
2 OF 3

**ROGERS ENGINEERING, LLC**  
Civil Engineering & Land Surveying

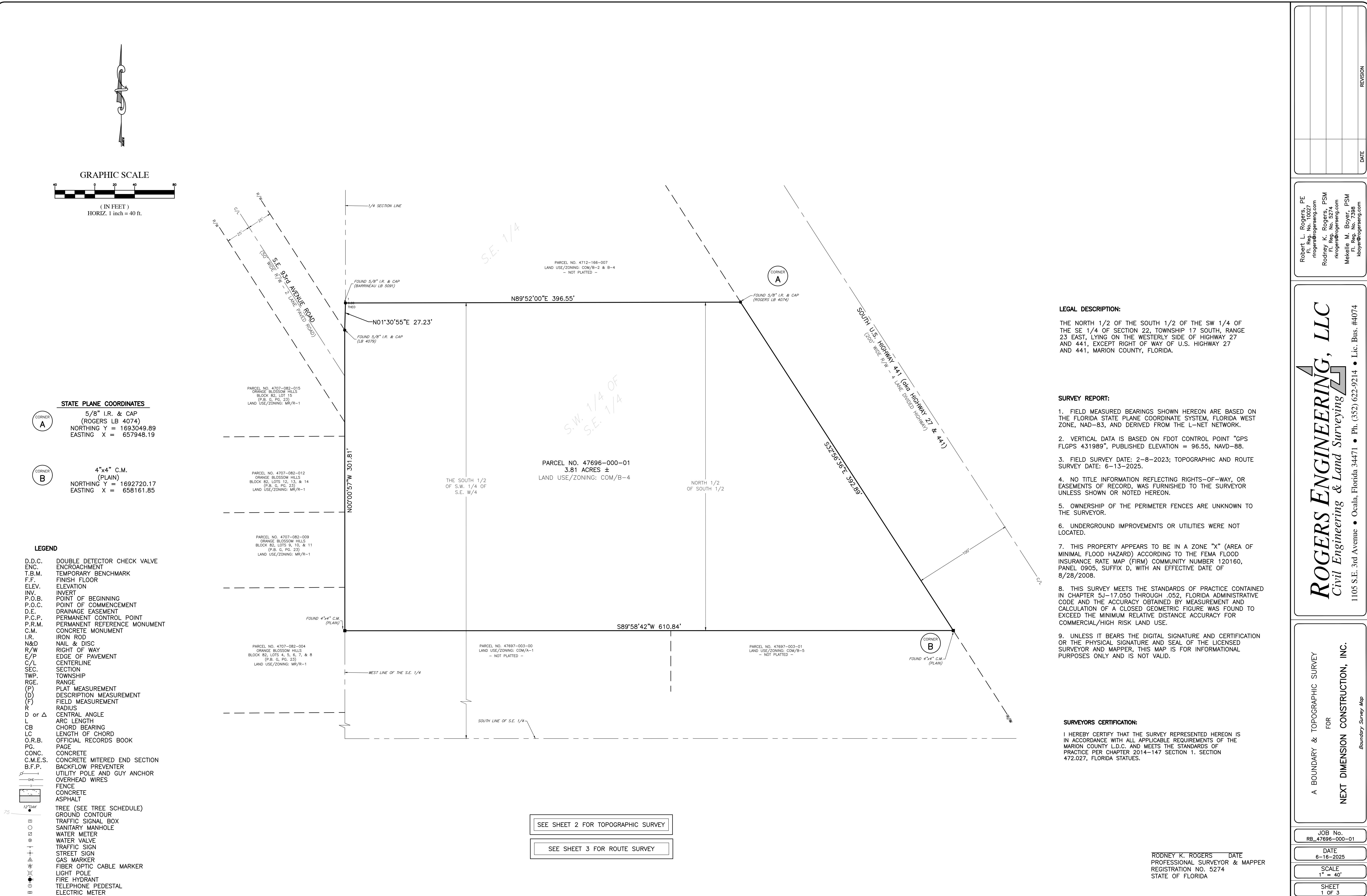
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

Robert L. Rogers, PE  
Fl. Reg. No. 10027  
rogers@rogerseng.com

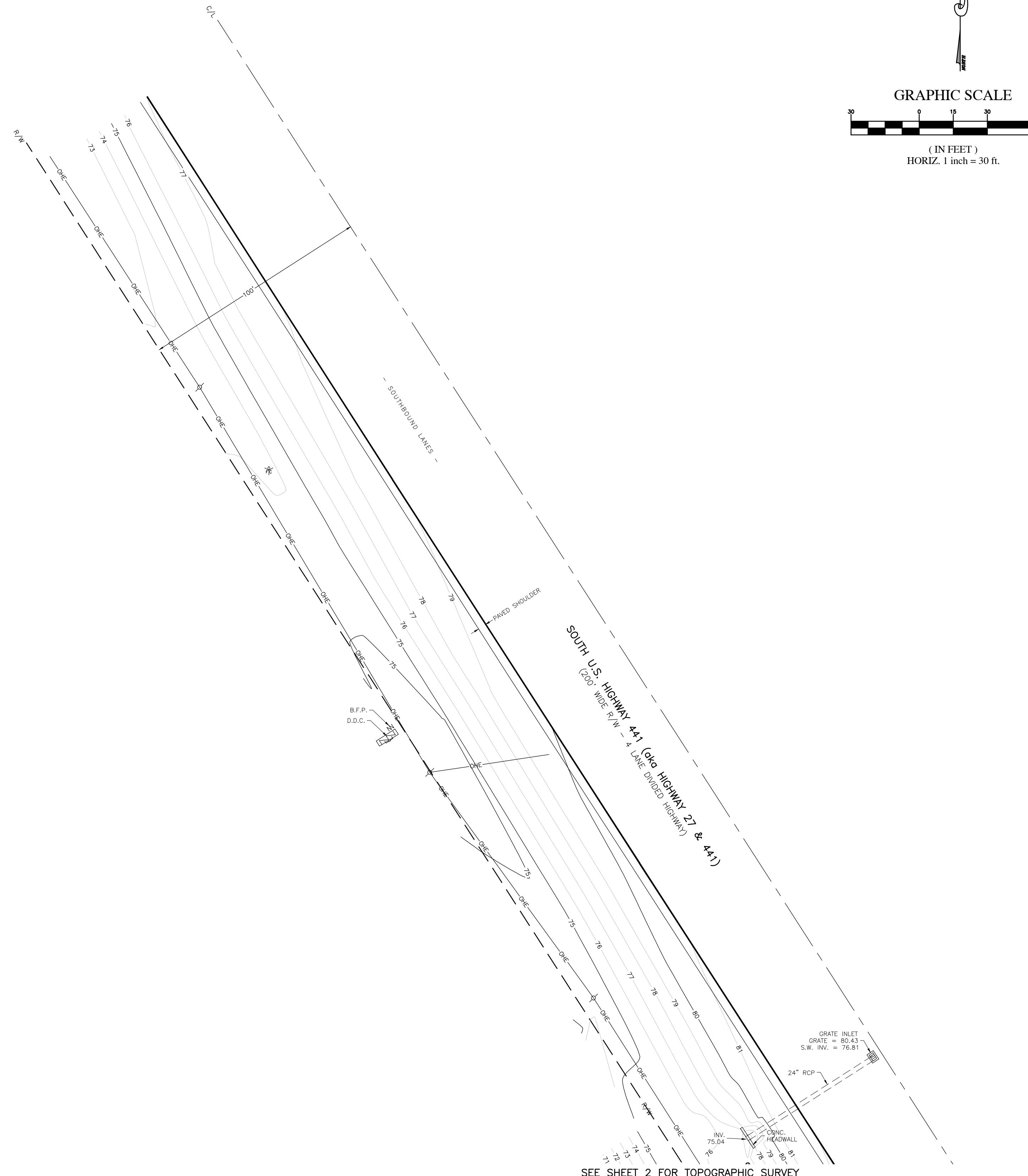
Rodney K. Rogers, PSM  
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rkrogers@rogerseng.com

Mekelle M. Boyer, PSM  
Fl. Reg. No. 7386  
kboyer@rogerseng.com

REVISION  
DATE







RODNEY K. ROGERS DATE  
PROFESSIONAL SURVEYOR & MAPPER  
REGISTRATION NO. 5274  
STATE OF FLORIDA

A BOUNDARY & TOPOGRAPHIC SURVEY  
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2 OF 3

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REVISION  
DATE