



SUBMITTAL SUMMARY REPORT MajorSite-000106-2025

PLAN NAME: Calesa Equine Amenity	LOCATION:
APPLICATION DATE: 12/04/2025	PARCEL: 35300-000-45
DESCRIPTION: This project consists of the construction of five barns, four arenas, paddock areas, and associated stormwater improvements.	

CONTACTS	NAME	COMPANY
Applicant	Kimley Horn	KIMLEY-HORN AND ASSOCIATES, INC
Applicant	Kimley Horn	KIMLEY-HORN AND ASSOCIATES, INC
Engineer of Record	Kimley Horn	KIMLEY-HORN AND ASSOCIATES, INC
Engineer of Record	Kimley Horn	KIMLEY-HORN AND ASSOCIATES, INC

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.2	02/26/2026	03/05/2026	03/11/2026	Requires Re-submit
OCE: Plan Review (DR) v.1	12/08/2025	12/22/2025	01/20/2026	Requires Re-submit
OCE: Plan Review (DR) v.3				Not Received

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.2				
ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Jamie Waldron	03/05/2026	03/03/2026	Approved
<i>Corrections</i>	2.12.8 - Legal description matches (Resolved) - 2.12.8 - Legal description matches: 2.12.8 - Legal description matches boundary on plan - On Sheet C01.00 under General Notes / Land Use Development Data the Parcel Identification Number should be Portion of 35300-000-45.			
<i>Corrections</i>	Additional 911 Comments (Resolved) - On Sheets C01.02, C01.03, and C06.05 SW 67th Avenue Road is labeled incorrectly as SW 67th Ave.			
Environmental Health (Plans) (Environmental Health)	Evan Searcy	03/05/2026	02/26/2026	Approved
Fire Marshal (Plans) (Fire)	Roxanna Coleman	03/05/2026	02/26/2026	Approved
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Kathleen Brugnoli	03/05/2026	02/27/2026	Approved
Landscape (Plans) (Parks and Recreation)	Susan Heyen	03/05/2026	03/02/2026	Requires Re-submit
<i>Comments</i>	1. Please show all parking with layout on plans 2. Please submit signed and sealed Irrigation and Photometric plans 3. See plans for additional markups			
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	03/05/2026	03/03/2026	Requires Re-submit
<i>Corrections</i>	2.12.4 - Front page of the plan (Resolved) - 2.12.4 - Front page of the plan: Front page of the plan shall minimally include A through L of this section of the LDC.			
<i>Corrections</i>	2.12.3 - Title block (Resolved) - 2.12.3 - Title block: Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions			

SUBMITTAL SUMMARY REPORT (MajorSite-000106-2025)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	03/05/2026	03/09/2026	Informational

Comments No further comments -EMW 03.09.2026

IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

13

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 03-26-2026 Parcel Number(s): 35300-000-45 Permit Number: _____

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Calesa Equine Amenity Commercial Residential
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): On Top of the World Communities, L.L.C.
Signature: _____
Mailing Address: 8445 SW 80th Street City: Ocala
State: FL Zip Code: 34481 Phone # 352-387-7480
Email address: ld_permits@colenbuilt.net

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): On Top of the World Communities, L.L.C. Contact Name: Lisa Lazaro
Mailing Address: 8445 SW 80th Street City: Ocala
State: FL Zip Code: 34481 Phone # 352-387-7480
Email address: ld_permits@colenbuilt.net

D. WAIVER INFORMATION:

Section & Title of Code (be specific): _____
Reason/Justification for Request (be specific): Waiver request to allow for the depth of DRA1 to be 7.5 feet due to the DRA accommodating offsite public roadway drainage from SW 38th Street and SW 60th Avenue.

DEVELOPMENT REVIEW USE:

Received By: _____ Date Processed: _____ Project # _____ AR # _____

ZONING USE: Parcel of record: Yes No Eligible to apply for Family Division: Yes No
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes No
Date Reviewed: _____ Verified by (print & initial): _____

GENERAL NOTES

LAND USE DESIGNATION
 PROJECT IDENTIFICATION NUMBER: 2026-001-01

PERMITS
 PERMITS REQUIRED: NONE
 PERMITS REQUIRED: NONE
 PERMITS REQUIRED: NONE
 PERMITS REQUIRED: NONE

LAND USE
 OTOB DR

AREA
 78.48 ACRES (3,331,899 SF)

ADJACENT AREAS
 TO THE NORTH: 150' AC (6,600,000 SF) (21.02)

NO CHANGE TO THE SCORE AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE CITY OF THE COUNTY ENGINEER.

ALL IMPROVEMENTS SHOWN ON THESE PLANS, INCLUDING ALL ROADS AND DRINKS ARE PRIVATELY OWNED AND SHALL BE MAINTAINED BY THE OWNER.

REGULATORY AGENCIES
 APPROVED BY:

DESIGNATION
 THE PROJECT IS SET WITHIN FEMA FLOOD ZONE "X" AS PER FLOOD INSURANCE RATE MAP. COMMUNITY PANEL NO. 15000-01-01, EFFECTIVE APRIL 15, 2017.

LOCAL ORDINANCES
 THIS PROJECT IS BASED ON BENCHMARK STAMPED "WOODRUFF TRANSMISSION" NVD 1008. CONVERT FROM NVD TO UTM 18N UTM COORDINATE SYSTEM.

DEVELOPMENT OF THE PROPERTY WITHIN THE OTOB DR. AS SHOWN ON THIS MASTER PLAN, IS SUBJECT TO THE LATEST AND MOST RECENT OF THE ORDINANCES AND REGULATIONS OF THE COUNTY OF MARION, FLORIDA. THE DEVELOPMENT OF THE PROPERTY SHALL BE SUBJECT TO THE LATEST AND MOST RECENT OF THE ORDINANCES AND REGULATIONS OF THE COUNTY OF MARION, FLORIDA. THE DEVELOPMENT OF THE PROPERTY SHALL BE SUBJECT TO THE LATEST AND MOST RECENT OF THE ORDINANCES AND REGULATIONS OF THE COUNTY OF MARION, FLORIDA. THE DEVELOPMENT OF THE PROPERTY SHALL BE SUBJECT TO THE LATEST AND MOST RECENT OF THE ORDINANCES AND REGULATIONS OF THE COUNTY OF MARION, FLORIDA.

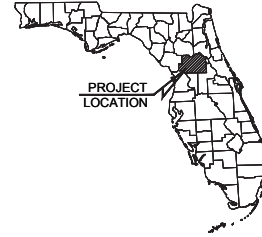
CONCURRENCE
 THE PROJECT HAS NOT BEEN GRANTED CONCURRENCE APPROVAL. ANY OTHER GRANTED APPROVALS RECEIVED BY PUBLIC AGENCY CANNOT BE USED TO DEVELOP THE REST OF THE PROJECT. THE PROJECT IS SUBJECT TO A CONCURRENCE APPROVAL AND SHALL BE SUBJECT TO THE LATEST AND MOST RECENT OF THE ORDINANCES AND REGULATIONS OF THE COUNTY OF MARION, FLORIDA. THE DEVELOPMENT OF THE PROPERTY SHALL BE SUBJECT TO THE LATEST AND MOST RECENT OF THE ORDINANCES AND REGULATIONS OF THE COUNTY OF MARION, FLORIDA.

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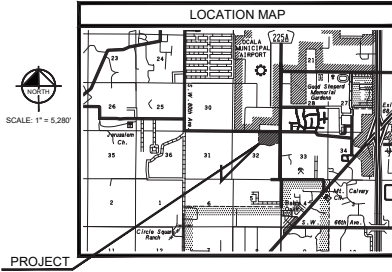
SITE PLAN FOR CALESA EQUINE AMENITY

MARION COUNTY, FLORIDA

SECTION 32, TOWNSHIP 15 SOUTH, RANGE 21 EAST



FEBRUARY 2026



I HEREBY CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS SHALL MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

TITLE: _____
 WALTER D. COLBY
 PRESIDENT
 ON TOP OF THE WORLD COMMUNITY L.L.C.

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS WAIVED.

DRAWING INDEX

- SHEET**
- C01.00 - COVER SHEET
 - C01.01 - GENERAL NOTES
 - C01.02 - MASTER DEVELOPMENT PLAN
 - C01.03 - EXISTING CONDITIONS AND DEMOLITION PLAN
 - C02.01 - EROSION CONTROL PLAN
 - C02.02 - EROSION CONTROL DETAILS
 - C02.03 - EROSION CONTROL NOTES
 - C03.01 - C03.04 - GEOMETRY MASTER PLAN
 - C04.01 - C04.04 - STORM DRAINAGE MASTER PLAN
 - C05.01 - C05.04 - SANITARY SEWER MASTER PLAN
 - C06.01 - C06.04 - WATER DISTRIBUTION MASTER PLAN
 - C07.01 - SW 42ND STREET PLAN AND PROFILE
 - C07.02 - SW 42ND STREET PLAN AND PROFILE
 - C07.03 - SW 42ND STREET PLAN AND PROFILE
 - C08.01 - C08.04 - SIGNING & MARKING PLAN
 - C09.01 - C09.04 - GRADING MASTER PLAN
 - C09.05 - POND DETAILS
 - C10.01 - CONSTRUCTION DETAILS
 - C11.01 - C11.03 - UTILITY DETAILS
 - C12.01 - LIFT STATION DETAILS

UTILITY CONTACT LISTING

FLORIDA POWER & LIGHT
 6701 W. BOYD STREET, SUITE 300
 COALA, FL 32841
 (407) 491-4000

FLORIDA WATER MANAGEMENT DISTRICT
 1700 W. 17TH STREET, SUITE 200
 COALA, FLORIDA 32841
 (407) 438-2000

FLORIDA HIGHWAY DEPARTMENT
 1000 W. 17TH STREET, SUITE 200
 COALA, FLORIDA 32841
 (407) 438-2000

FLORIDA DEPARTMENT OF TRANSPORTATION
 1000 W. 17TH STREET, SUITE 200
 COALA, FLORIDA 32841
 (407) 438-2000

FLORIDA DEPARTMENT OF TRANSPORTATION
 1000 W. 17TH STREET, SUITE 200
 COALA, FLORIDA 32841
 (407) 438-2000

PROJECT OWNER AND CONSULTANTS

ON TOP OF THE WORLD COMMUNITY L.L.C.
 1000 W. 17TH STREET, SUITE 300
 COALA, FL 32841
 (407) 491-4000

ENVIRONMENTAL
 1000 W. 17TH STREET, SUITE 300
 COALA, FLORIDA 32841
 (407) 491-4000

ENVIRONMENTAL
 1000 W. 17TH STREET, SUITE 300
 COALA, FLORIDA 32841
 (407) 491-4000



NO.	DATE	REVISIONS
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Kimley-Horn
 1000 W. 17TH STREET, SUITE 300
 COALA, FLORIDA 32841
 (407) 491-4000

COVER SHEET

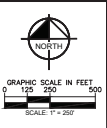
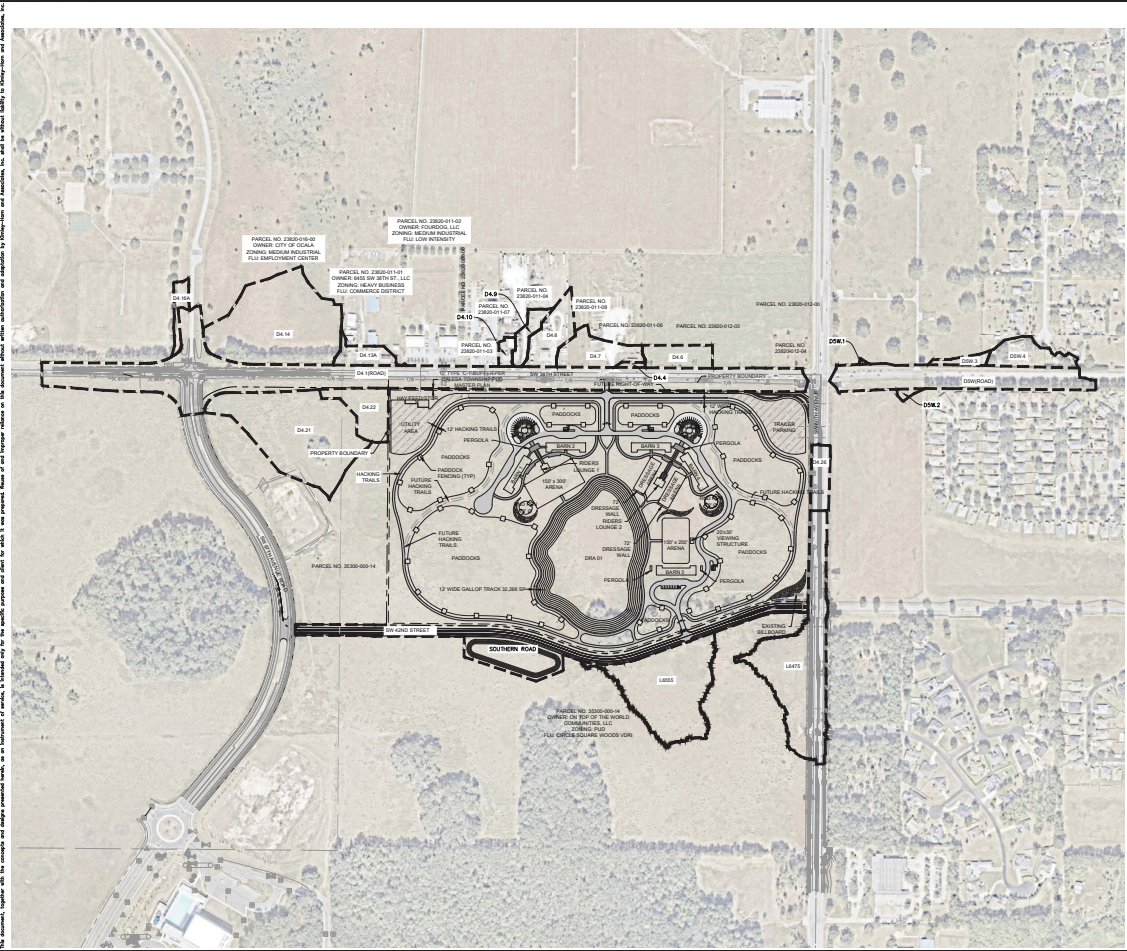
CALESA EQUINE AMENITY

ON TOP OF THE WORLD COMMUNITY L.L.C.
 MARION COUNTY, FLORIDA

C01.00

Project No. 2026-001-01, Section No. 01, Date: February 2026, Scale: 1" = 5,280', Prepared by: Walter D. Colby, P.E., License No. 11111, State of Florida.

Prepared by: Kimley-Horn and Associates, Inc. 1000 Peachtree Street, N.E., Atlanta, GA 30309
 Project: CALESA EQUINE AMENITY DEVELOPMENT
 Date: 02/15/2017
 Drawing No: C01.02
 Scale: 1" = 200'
 This drawing is a preliminary plan and is not to be used for construction purposes. It is subject to change without notice.



LEGEND

- PROPERTY BOUNDARY
- - - - - POST DEVELOPMENT BOUND LINES

PARKING REQUIREMENTS

TOTAL SPACES PROPOSED	1 SPACE / 2 STALLS
TOTAL SPACES PROVIDED	88 STALLS
TOTAL REQUIRED PARKING	40 SPACES (20x40)
TOTAL PROVIDED PARKING	47 SPACES (20x40+40 ADA)

SITE DATA

ON-SITE AREA	75.48 ACRES (3,331,804 SF)
ON-SITE IMPROVED AREA	10.47 ACRES (453,336 SF)
PADDOCK AREA	23.10 ACRES (1,004,416 SF)
OFF-SITE IMPROVED AREA	22.3 ACRES (971,388 SF)
MAXIMUM BUILDING HEIGHT	40 FT
PROPOSED BARN HEIGHT	20 FT
PROPOSED RIDES LOUNGE HEIGHT	20 FT
BARN 1 AREA	0.21 ACRES (9,275 SF)
BARN 2 AREA	0.21 ACRES (9,275 SF)
BARN 3 AREA	0.21 ACRES (9,275 SF)
BARN 4 AREA	0.21 ACRES (9,275 SF)
RIDES LOUNGE 1 AREA	0.16 ACRES (7,100 SF)
RIDES LOUNGE 2 AREA	0.16 ACRES (7,100 SF)
TOTAL BUILDING AREA	1.14 ACRES (50,004 SF)
FAR	1.0%

SETBACKS

FRONT (BARN)	10 FT
SIDE STREET (BARN)	5 FT
SIDE BARN	5 FT
REAR (BARN)	10 FT



DATE	02/15/17
REVISIONS	
NO.	DESCRIPTION



PROJECT NO.	70507
CLIENT	ON TOP OF THE WORLD COMMUNITY L.L.C.
LOCATION	FLORIDA
DATE	02/15/17

MASTER DEVELOPMENT PLAN

CALESA EQUINE AMENITY
 PREPARED FOR
ON TOP OF THE WORLD COMMUNITY L.L.C.
 FLORIDA
C01.02

TIMING OF SEDIMENT CONTROL PRACTICES:

SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL THROUGHOUT EARTH-SEDIMENTING ACTIVITY.

SETTLING FACILITIES, PERIMETER CONTROLS, AND OTHER PRACTICES INTENDED TO TRAP SEDIMENT SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UPSLOPE DEVELOPMENT AREA IS RE-STABILIZED.

STABILIZATION OF NON STRUCTURAL PRACTICES:

CONTROL PRACTICES SHALL PRESERVE EXISTING VEGETATION WHERE ATTAINABLE AND DISTURBED AREAS SHALL BE RE-VEGETATED AS SOON AS PRACTICAL AFTER GRADING OR CONSTRUCTION.

DEMUDED AREAS SHALL HAVE SOIL STABILIZATION APPLIED WITHIN FOURTEEN DAYS IF THEY ARE TO REMAIN DORMANT FOR MORE THAN FORTY-FIVE DAYS. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DEMUDED AREAS WITHIN FOURTEEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE, AND SHALL ALSO BE APPLIED WITHIN SEVEN DAYS TO DEMUDED AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN FORTY-FIVE DAYS.

SEDIMENT BARRIERS:

SHEET FLOW RUNOFF FROM DEMUDED AREAS SHALL BE INTERCEPTED BY SEDIMENT BARRIERS.

SEDIMENT BARRIERS SUCH AS SEDIMENT FENCE OR DIVERSIONS TO SETTLING FACILITIES SHALL PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SEDIMENT TRANSPORTED BY SHEET FLOW.

INLET PROTECTION:

ALL STORM SEWER INLETS WHICH ACCEPT WATER RUNOFF FROM THE DEVELOPMENT AREA SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER WILL NOT ENTER THE STORM SYSTEM WITHOUT FIRST BEING PONDED AND FILTERED.

MAINTENANCE:

TEMPORARY EROSION CONTROL FEATURES SHALL BE ACCEPTABLY MAINTAINED AND SHALL BE REMOVED OR REPLACED WHEN DIRECTED BY THE ENGINEER AT NO COST TO THE OWNER. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS.

STOCKPILES:

ALL SOIL STOCKPILES SHALL BE PROTECTED FROM EROSION BY PERIMETER CONTROL DEVICES SUCH AS STRAW BALE DIKES OR FILTER FABRIC FENCES. AND THESE PERIMETER CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.

PERMANENT VEGETATION:

PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL GROUND COVER IS ACHIEVED WHICH, IN THE OPINION OF THE ENGINEER, PROVIDES ADEQUATE COVER AND IS MATURE ENOUGH TO CONTROL SOIL EROSION SATISFACTORILY AND TO SURVIVE ADVERSE WEATHER CONDITIONS.

CONSTRUCTION ACCESS ROUTES:

MEASURES SHALL BE TAKEN TO PREVENT SOIL TRANSPORT ONTO SURFACES OR PUBLIC ROADS WHERE RUNOFF IS NOT CHECKED.

INSPECTION SCHEDULE:

1. DIMENSION SWALE AND STRUCTURAL PROTECTION - INSPECT EVERY 7 DAYS OR AFTER EACH RAINSTORM PRODUCING RUNOFF. REPAIR AS REQUIRED.
2. INLET PROTECTION - INSPECT FOR SEDIMENT ACCUMULATION AFTER EACH RAINFALL AND DAILY DURING CONTINUED RAINFALL. REPAIR OR REPLACE WHEN WATER FLOW IS RESTRICTED BY SEDIMENT.
3. VEGETATIVE PLANTING - INSPECT AFTER SPROUTING OCCURS AND REPLANT BARE AREAS. INSPECT ESTABLISHED COVER EVERY 15 DAYS FOR DAMAGE. REPLANT AS REQUIRED. MAINTAIN ESTABLISHED COVER AT MAXIMUM 6" HEIGHT. IRRIGATE AS REQUIRED DURING DRY PERIODS TO MAINTAIN LIVE VEGETATION.

CONSTRUCTION SEQUENCE:

1. INSTALL SEDIMENT CONTROL MEASURES
2. PERFORM DEMOLITION ACTIVITIES.
3. STABILIZE SITE WITH TEMPORARY VEGETATION AS NEEDED.
4. PERFORM IRRIGATION AND UNDERGROUND UTILITY CONSTRUCTION ACTIVITIES.
5. CONSTRUCT NEW TRAILS AND INSTALL LANDSCAPING.
6. PERFORM FINAL GRADING.
7. INSTALL PERMANENT VEGETATION.
8. PERFORM CONTINUING MAINTENANCE THROUGHOUT ALL CONSTRUCTION OPERATIONS.

DITCH BARRIERS:

BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE, ORIENTED PERPENDICULAR TO THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER.

THE REMAINING STEPS FOR INSTALLING A STRAW BALE BARRIER FOR SHEET FLOW APPLICATIONS APPLY HERE WITH THE FOLLOWING ADDITION: THE STRAW BALES SHALL BE INSTALLED SUCH THAT UNDERCUTTING BENEATH THE BALES IS MINIMIZED BY THE USE OF ROCK CHECK DAMS PLACED ADJACENT TO THE STRAW BALES.

THE BARRIER SHALL BE EXTENDED TO SUCH A LENGTH THAT THE BOTTOMS OF THE END BALES ARE HIGHER IN ELEVATION THAN THE TOP OF THE LOWEST MIDDLE BALE TO ASSURE THAT SEDIMENT-LADEN RUNOFF WILL FLOW EITHER THROUGH OR OVER THE BARRIER BUT NOT AROUND IT.

MAINTENANCE:

STRAW BALES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES.

NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE STRAW BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEED.

SEDIMENT FENCE:

- THIS SEDIMENT BARRIER UTILIZES STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS. IT IS DESIGNED FOR SITUATIONS IN WHICH ONLY SHEET OR OVERLAND FLOWS ARE EXPECTED.
1. THE HEIGHT OF A SEDIMENT FENCE SHALL NOT EXCEED 36-INCHES (HIGHER FENCES MAY IMPOSE VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE).
 2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED.
 3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). POST SPACING SHALL NOT EXCEED 6 FEET.
 4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
 5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1-INCH LONG, THE WIRES OR HOG RINGS, THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
 6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8-INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
 7. WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSURE POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED IN SUCH A CASE. THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF ITEM NO. 6 APPLYING.
 8. THE TRENCH SHALL BE BACKFILLED AND SOIL COMPACTED OVER THE FILTER FABRIC.
 9. SEDIMENT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

MAINTENANCE:

SEDIMENT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SHOULD THE FABRIC ON A SEDIMENT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SEDIMENT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED, AND SEED.

ADDITIONAL MEASURES:

THIS PLAN AND NARRATIVE REPRESENTS THE MINIMUM AMOUNT OF EROSION AND SEDIMENT CONTROL MEASURES, IN THE OPINION OF THE ENGINEER, THAT MAY BE NECESSARY UNDER FAVORABLE WEATHER CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL MEASURES OR PRACTICES THAT MAY BE NECESSARY TO CONTROL EROSION, TURBID DISCHARGE, FUGITIVE PARTICULATES, ETC., TO FULLY COMPLY WITH ALL GOVERNMENTAL RULES AND/OR PERMIT REQUIREMENTS.

EROSION AND SEDIMENT CONTROL NARRATIVE

PLAN DESIGNER: KIMLEY-HORN AND ASSOCIATES INC.
1700 SE 17TH STREET, SUITE 200
OCALA, FLORIDA 34471
PHONE: 352-438-3000

OWNER/ DEVELOPER: KENNETH D. COLEN/ON TOP OF THE WORLD COMMUNITIES, L.L.C.
8445 SW 80TH STREET
OCALA, FLORIDA 34481

ADJACENT AREAS: NORTH: MARION COUNTY R/W
SOUTH: FUTURE DEVELOPMENT
EAST: MARION COUNTY R/W
WEST: FUTURE DEVELOPMENT

EROSION CONTROL MEASURE: EROSION AND SITE RUNOFF WILL BE CONTROLLED BY THE USE OF SEDIMENT FENCE AND STABILIZED VEGETATION WHERE NEEDED.

SITE CONTACT: BLAKE WALDRON
COLEN BUILT DEVELOPMENT, LLC
8435 SW 80TH STREET, SUITE 3
OCALA, FLORIDA 34481
(352) 387-7480

NO.	DATE	REVISION

Kimley-Horn
INCORPORATED
1700 SE 17TH STREET, SUITE 200
OCALA, FLORIDA 34471
PHONE: 352-438-3000
WWW.KIMLEY-HORN.COM

STATE PROJECT NO. 75047
PROJECT NO. 75047
SHEET NO. 02
DATE: 08/11/11
SCALE: AS SHOWN

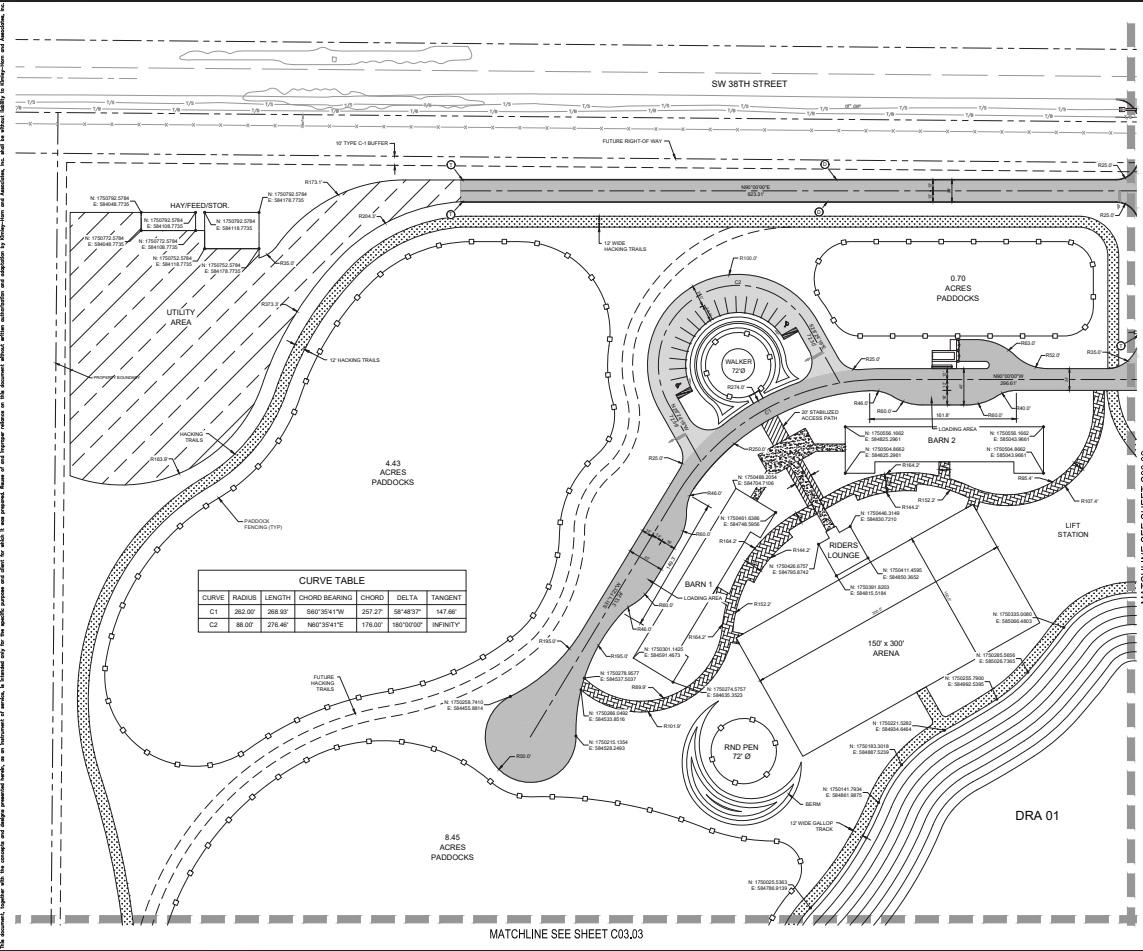
EROSION CONTROL NOTES

CALESA EQUINE AMENITY
PREPARED FOR
ON TOP OF THE WORLD COMMUNITY L.L.C.
MARION COUNTY
FLORIDA
SHEET NUMBER
C02.03

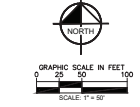


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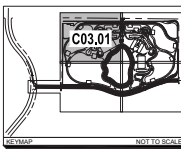
Prepared by: **Kimley-Horn**, 10000 N. Central Expressway, Suite 100, Raleigh, NC 27615. Date: 08/14/2018. Project: **CALESA EQUINE AMENITY**, 10000 N. Central Expressway, Suite 100, Raleigh, NC 27615. Scale: 1" = 50'. This drawing is a preliminary plan and is not to be used for construction. It is subject to change without notice. The client is responsible for providing accurate information. The engineer is not responsible for any errors or omissions. The engineer is not responsible for any construction or other actions taken in reliance on this drawing. The engineer is not responsible for any construction or other actions taken in reliance on this drawing.



CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
C1	262.00'	268.50'	S86°20'41"W	257.27'	58°48'37"
C2	88.00'	276.46'	N67°32'41"E	178.00'	180°00'00"



- CURB LEGEND** SEE SHEET C03.01 AND PERM FOR DETAILS
- TIME TO CURB
 - CURB TRANSITION
- PAVEMENT LEGEND**
- HEAVY DUTY ASPHALT PAVEMENT (SEE DETAILS SHEET - C03.01)
 - LIGHT DUTY ASPHALT PAVEMENT (SEE DETAILS SHEET - C03.01)
 - STABILIZED ACCESS PATH (SEE DETAILS SHEET - C03.01)
 - CONCRETE SIDEWALK (SEE DETAILS SHEET - C03.01)
 - COORDINATE SIDEWALK (REFER TO ARCHITECTURAL PLANS)
 - GALLOP TRACK AND RIDING TRAIL (REFER TO ARCHITECTURAL PLANS)



CALL FOR MORE DETAILS BEFORE YOU BID.
 GET THE LOWEST PRICE.
 WE'VE GOT YOU COVERED.

Kimley-Horn

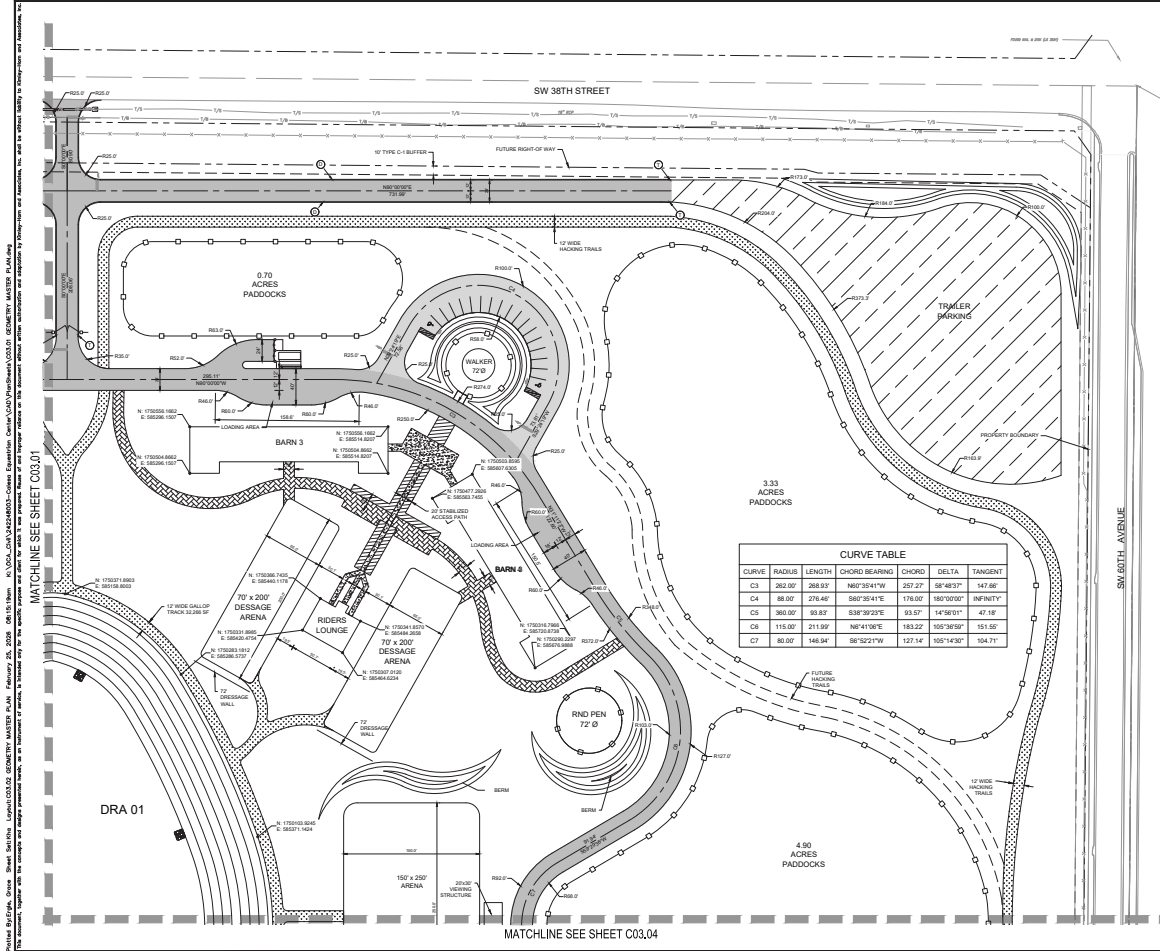
10000 N. CENTRAL EXPRESSWAY, SUITE 100, RALEIGH, NC 27615
 TEL: 919.873.8800 FAX: 919.873.8801
 WWW.KIMLEY-HORN.COM

GEOMETRY MASTER PLAN

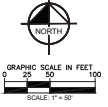
CALESA EQUINE AMENITY

ON TOP OF THE WORLD COMMUNITY L.L.C.

PROJECT NO. 18-001
 SHEET NO. C03.01
 DATE: 08/14/2018



CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C3	262.00'	208.63'	N80°35'41"W	237.27'	88°48'37"	147.66'
C4	88.00'	276.40'	S80°35'41"E	176.00'	180°00'00"	INFINITY
C5	360.00'	63.83'	S38°39'23"E	63.01'	14°56'01"	47.18'
C6	115.00'	211.99'	N6°41'00"E	183.22'	105°38'59"	151.55'
C7	80.00'	146.94'	S6°52'21"W	127.14'	105°14'30"	104.71'



- CURVE LEGEND** SEE SHEET C03.01 AND PERM FOR DETAILS
- TIME TO CURVE
 - 7 CURVE TRANSITION
- PAVEMENT LEGEND**
- HEAVY DUTY ASPHALT PAVEMENT (SEE DETAILS SHEET - C03.01)
 - LIGHT DUTY ASPHALT PAVEMENT (SEE DETAILS SHEET - C03.01)
 - STABILIZED ACCESS PATH (SEE DETAILS SHEET - C03.01)
 - CONCRETE SIDEWALK (REFER TO ARCHITECTURAL PLANS)
 - ODD-SHAPED SIDEWALK (REFER TO ARCHITECTURAL PLANS)
 - GULLY TRACK AND HANDING TRAIL (REFER TO ARCHITECTURAL PLANS)

CALL YOUR AGENT BEFORE YOU BUY

FOR MORE INFORMATION VISIT US AT www.kimley-horn.com

70507

DATE: _____

REVISION: _____

Kimley-Horn

INCORPORATED IN FLORIDA

10000 WINDY HOLLOW ROAD, SUITE 100
MARIETTA, GEORGIA 30067

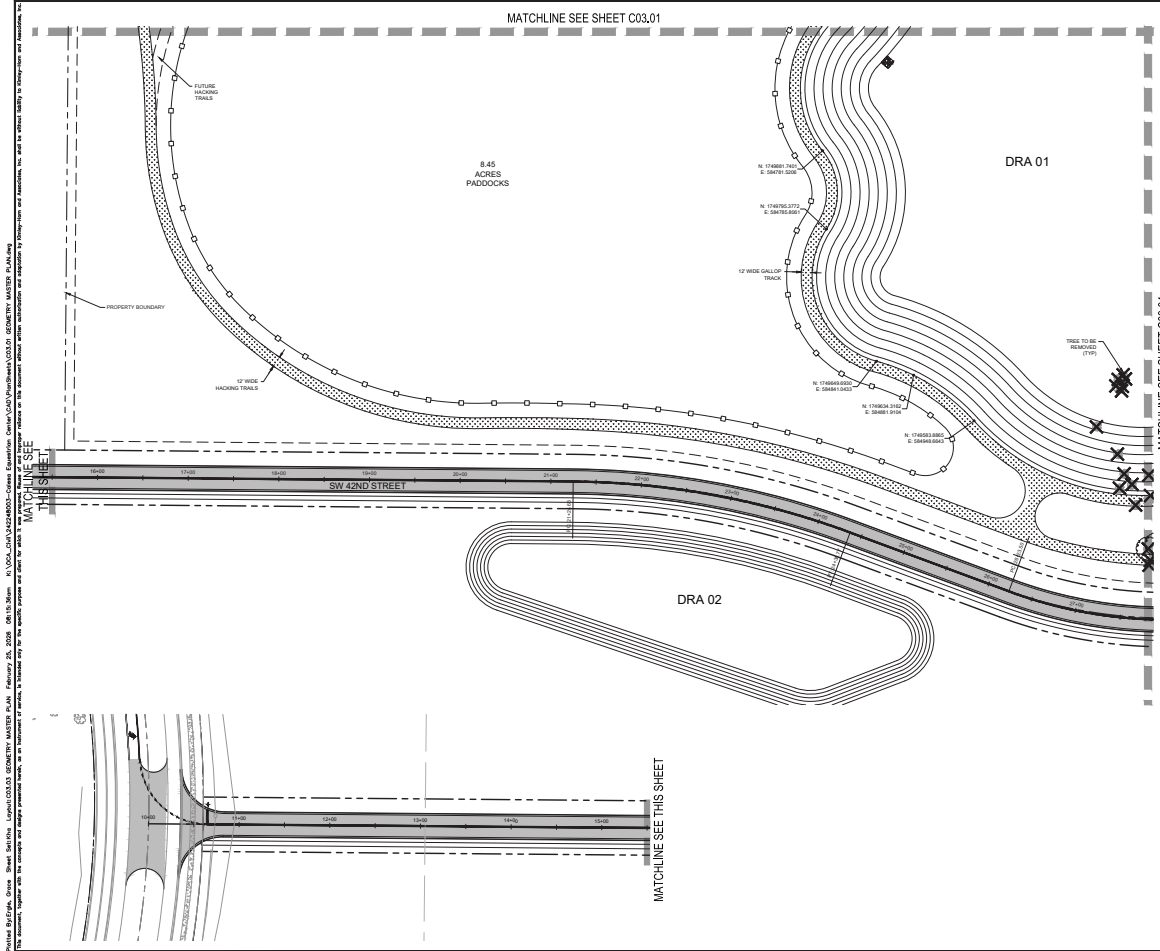
PH: 770.426.1000
FAX: 770.426.1001
WWW.KIMLEY-HORN.COM

GEOMETRY MASTER PLAN

CALESA EQUINE AMENITY PREPARED FOR ON TOP OF THE WORLD COMMUNITY L.L.C. FLORIDA

SHEET NUMBER: **C03.02**

Prepared by: [Name], Checked by: [Name], Drawn by: [Name], Date: [Date].
 This drawing is the property of Kimley-Horn and should not be used for any other project without the written consent of Kimley-Horn.



Prepared by: Kimley-Horn and Associates, Inc. 1000 Peachtree Street, N.E., Atlanta, GA 30309. Date: 08/14/14. Project: CALESA EQUINE AMENITY. PREPARED FOR: ON TOP OF THE WORLD COMMUNITY L.L.C. 1000 Peachtree Street, N.E., Atlanta, GA 30309. Scale: AS SHOWN. This drawing is a preliminary design and is not to be used for construction. It is subject to change without notice. All dimensions are in feet and inches. All bearings are in degrees, minutes and seconds. All elevations are in feet above mean sea level. All utility lines are shown as existing unless otherwise noted. All easements are shown as existing unless otherwise noted. All rights are reserved. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Kimley-Horn and Associates, Inc.

NO.	REVISION	DATE



- CURB LEGEND** SEE SHEET C-01.01 AND #8888 FOR DETAILS
- TIME TO CURB
 - 7 CURB TRANSITION
- PAVEMENT LEGEND**
- HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL SHEET - C-01.01)
 - LIGHT DUTY ASPHALT PAVEMENT (SEE DETAIL SHEET - C-01.01)
 - STABILIZED ACCESS PATH (SEE DETAIL SHEET - C-01.01)
 - CONCRETE SIDEWALK (SEE DETAIL SHEET - C-01.01)
 - GEOTECHNICAL SIDEWALK (REFER TO ARCHITECTURAL PLANS)
 - GALLOP TRACK AND HANDING TRAIL (REFER TO ARCHITECTURAL PLANS)

C03.03

NOT TO SCALE

CALL YOUR AGENT OR ARCHITECT BEFORE YOU BUY
IT'S THE LAW
SEEKING ADVICE FROM A REAL ESTATE PROFESSIONAL

Kimley-Horn

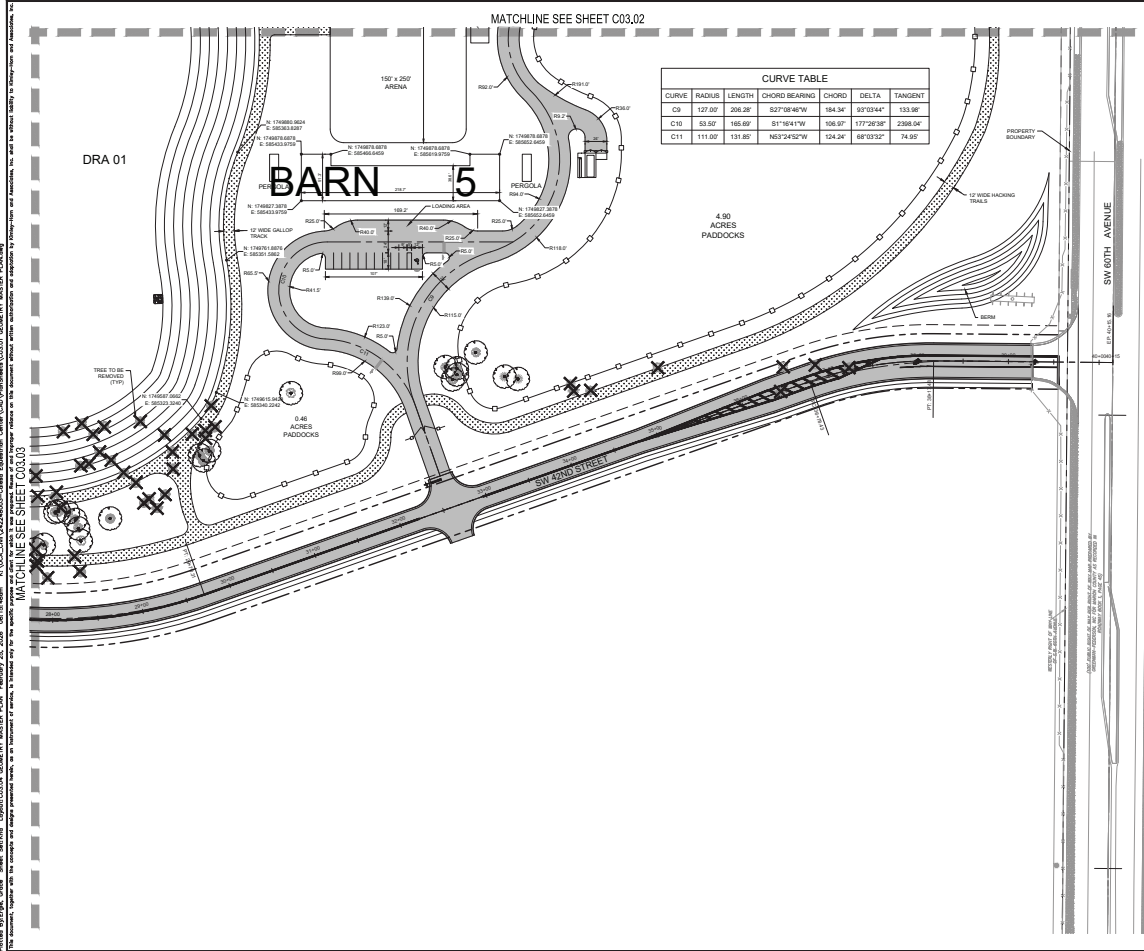
KIMLEY-HORN AND ASSOCIATES, INC.
1000 PEACHTREE STREET, N.E.
ATLANTA, GEORGIA 30309
PH: 404.521.0600 FAX: 404.521.0601
WWW.KIMLEY-HORN.COM

CALESA EQUINE AMENITY
PREPARED FOR
ON TOP OF THE WORLD COMMUNITY L.L.C.
MARION COUNTY, FLORIDA

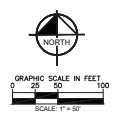
GEOMETRY MASTER PLAN

SHEET NUMBER
C03.03

Prepared by: [Firm Name] Date: [Date] Scale: [Scale] Project: [Project Name]



CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C0	127.00'	200.20'	S27°36'48"W	184.24'	87°01'44"	133.98'
C10	53.50'	165.00'	S17°04'17"W	136.02'	177°30'24"	238.04'
C11	111.00'	151.80'	N63°24'25"W	124.24'	88°03'52"	74.50'



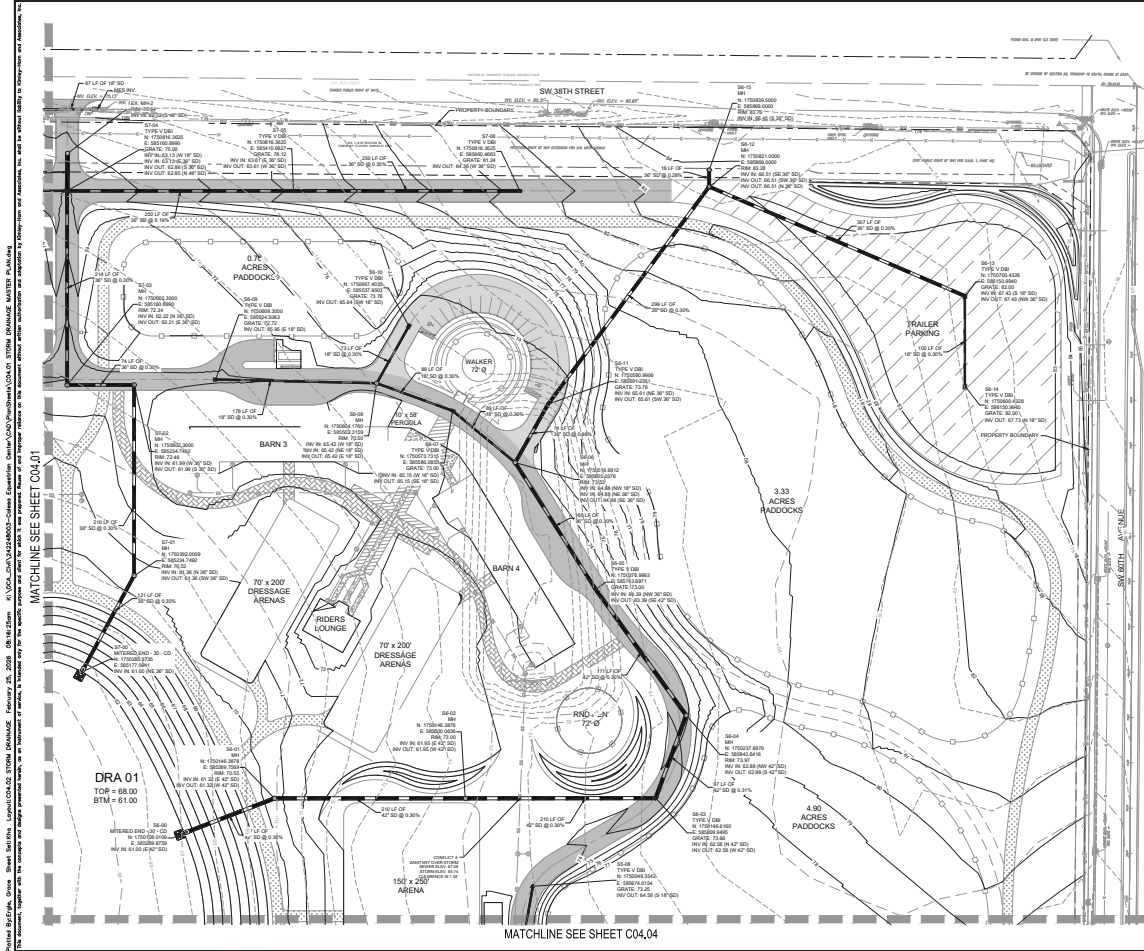
- CURB LEGEND** SEE SHEET C03.01 AND #8888 FOR DETAILS
- 1/2" CURB
 - 3" CURB TRANSITION
- PAVEMENT LEGEND**
- HEAVY DUTY ASPHALT PAVEMENT (SEE DETAILS SHEET - C03.01)
 - LIGHT DUTY ASPHALT PAVEMENT (SEE DETAILS SHEET - C03.01)
 - STABILIZED ACCESS PATH (SEE DETAILS SHEET - C03.01)
 - CONCRETE SIDEWALK (SEE DETAILS SHEET - C03.01)
 - ORGANIC SIDEWALK (REFER TO ARCHITECTURAL PLANS)
 - GALLOP TRACK AND HANDING TRAIL (REFER TO ARCHITECTURAL PLANS)

C03.04

KEYMAP NOT TO SCALE

CALL WORKING DAYS BEFORE YOU LEAVE THE LAB!

<p>Kimley-Horn INCORPORATED 1000 WEST STREET SUITE 1000 WILKINSON, NC 27675 PH: 704.762.1000 FAX: 704.762.1001</p>	<p>GEOMETRY MASTER PLAN</p> <p>CALESA EQUINE AMENITY PREPARED FOR ON TOP OF THE WORLD COMMUNITY L.L.C. MADISON COUNTY, FLORIDA</p>
<p>DATE: _____</p> <p>REVISION: _____</p>	<p>SHEET NUMBER C03.04</p>



Prepared by: [Firm Name], [Address], [City], [State], [Zip]

LEGEND

- STORM DRAINAGE STRUCTURE LABEL
- PROPOSED CATCH BASIN
- PROPOSED STORMWATER MANHOLE
- PROPOSED STORM PIPE

NOTES:

1. STORM PIPE MATERIALS LINED TOP SHALL BE ASSUMED UNLESS SPECIFIED OTHERWISE. WATER TIGHT JOINTS, OR SCLP, AND CONFORM WITH THE LATEST EDITION OF THE EIGHT EDITION SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. STORM PIPES WITH A REQUIRED SLOPE MATERIAL ARE NOTED ON THE PLAN.
2. ALL FINAL STORM DRAIN MATERIALS SHALL BE APPROVED BY THE JURISDICTION OF RECORDING AND NOTED ON THE RECORD DRAWING.
3. SHOP DRAWINGS ARE TO BE REVIEWED BY THE ENGINEER OF RECORD.
4. DIMENSIONS WITH SHOWN DETENTION AREAS REQUIRE INSTALLATION OF CONCRETE RETENTION WALLS PER EIGHT EDITION SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. DETAIL OF SHOP DRAWINGS.
5. SEE GRADING MASTER PLAN SHEETS AND DRA PLAN SHEETS FOR SPECIFIC POND INFORMATION.

GRAPHIC SCALE IN FEET
 0 25 100
 SCALE: 1" = 50'

NOT TO SCALE

CALL US NOW!
 LET'S GET THE JOB DONE RIGHT!

Kimley-Horn

LARRY F. FORTNEY, P.E.
 GREG BRINDLEY, P.E.
 JAMES W. HORN, P.E.
 JOHN W. HORN, P.E.
 JAMES W. HORN, P.E.
 JAMES W. HORN, P.E.

7507 F
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CALESA EQUINE AMENITY
 PREPARED FOR
ON TOP OF THE WORLD COMMUNITY L.L.C.
 MADISON COUNTY, FLORIDA

STORM DRAINAGE MASTER PLAN

C04.02

SHEET NUMBER
C04.02

Matchline SEE SHEET C04.03
 MATCHLINE SEE SHEET C04.02

DRA 01
 TOP = 68.00
 BTM = 61.00

MATCHLINE SEE SHEET C04.02

4.90
 ACRES
 PADDOCKS

4.80
 ACRES
 PADDOCKS

BARN

POND

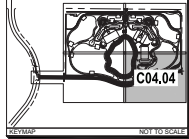


LEGEND

- XXXXXX STORM DRAINAGE STRUCTURE LABEL
- PROPOSED DRAINAGE INLET
- PROPOSED CURB INLET
- PROPOSED STORMDRAIN MANHOLE
- PROPOSED STORM PIPE

NOTES

1. STORM PIPE MATERIALS LINED BY TOP SHALL BE ASSUMED 18" STORM RIGID WALL WATER TIGHT HDPE OR RCP, AND CONFORM WITH THE LATEST EDITION OF THE EIGHT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. STORM PIPES WITH A REQUIRED SPECIFIC MATERIAL ARE NOTED ON THE PLAN.
2. ALL FINAL STORM DRAIN MATERIALS SHALL BE APPROVED BY THE JURISDICTION OF RECORDING AND NOTED ON THE RECORD DRAWING.
3. SHOP DRAWINGS ARE TO BE REVIEWED BY THE ENGINEER OF RECORD.
4. REQUIREMENTS INTO DRAINAGE DETENTION AREAS REQUIRE INSTALLATION OF CONCRETE RETENTION WALLS PER EIGHT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. DETAIL OF RETENTION WALLS TO BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW.
5. SEE DRAWING MASTER PLAN SHEETS AND DRA PLAN SHEETS FOR SPECIFIC POND INFORMATION.



NO.	REVISION	DATE

Kimley-Horn
 CONSULTING ENGINEERS
 1000 WEST 10TH AVENUE, SUITE 100
 DENVER, COLORADO 80202
 PHONE: 303.733.8900
 FAX: 303.733.8901
 WWW.KIMLEY-HORN.COM

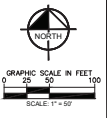
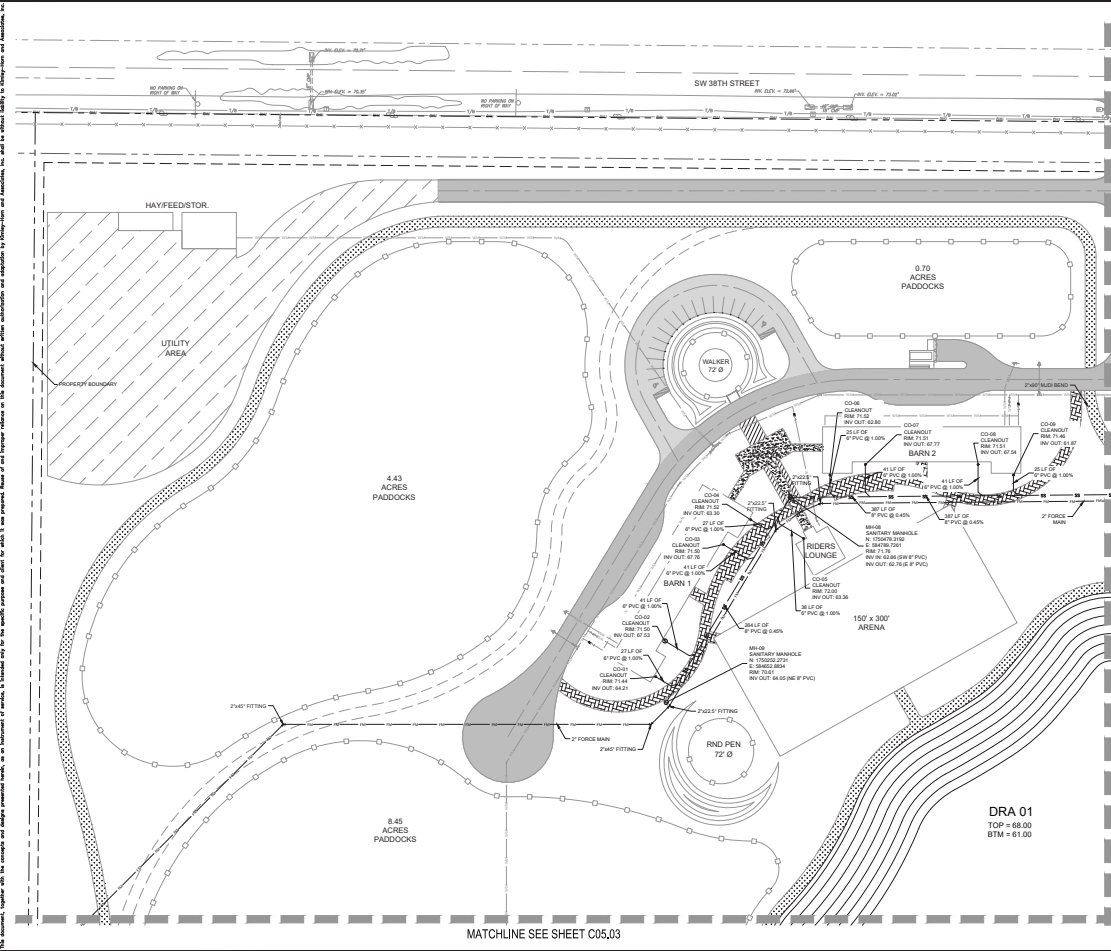
PROJECT NO. 75047
 SHEET NO. C04.04

**STORM DRAINAGE
 MASTER PLAN**

CALESA EQUINE
 AMENITY
 PREPARED FOR
**ON TOP OF THE WORLD
 COMMUNITY L.L.C.**
 MARICOPA COUNTY, FLORIDA

SHEET NUMBER
C04.04

Prepared by: [Firm Name], 1234 Main Street, Anytown, FL 32101. Date: 10/20/2023. Project: CALESA EQUINE AMENITY. This plan is a preliminary design and is not to be used for construction without the approval of the local health department. All dimensions are in feet unless otherwise noted.



LEGEND

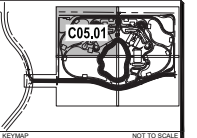
- PROPOSED SANITARY SEWER PIPE
- PROPOSED SANITARY FORCE MAIN
- PROPOSED SANITARY MANHOLE
- PROPOSED SANITARY CLEANOUT

SEE SHEETS C11-01 FOR DETAILS

NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER NOTIFICATION OF INSPECTING AUTHORITIES BEFORE AND DURING CONSTRUCTION.
2. FOR ALL UTILITY INFORMATION WITHIN 0' OF THE BUILDING, REFER TO ARCHITECTURE PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING CONSTRUCTION AND ADJUST FINAL CONNECTION POINTS FOR SERVICE LINES, CLEANOUT LOCATIONS, ROOF DRAINAGE, ETC. SUCH THAT ALL BUILDINGS ARE SERVED TO THE SATISFACTION OF THE BUILDING ARCHITECT.
3. ALL SANITARY SEWER MAINS SHALL BE POLYETHYLENE GLYCOL (PE) PIPE WITH A MINIMUM OF 18\"/>

4. ALL VALVE BOXES TO BE CONSTRUCTED PER MARION COUNTY STANDARD DETAIL SECTIONS.
5. UTILITY AS-BUILT DRAWINGS, INCLUDING MARION COUNTY WATER AND SEWER CONSTRUCTION MANUAL PROVISIONS, ARE TO BE PROVIDED TO THE CITY OF CALESON.
6. IT WILL BE THE RESPONSIBILITY OF THE MANUFACTURER TO PROVIDE ALTERNATE B STRUCTURE BOTTOMS AS NEEDED.
7. ANY STRUCTURE LABELS SHALL BE RETAINED OR REPRODUCED TO MATCH THE SHEET SUPPLIED WITH THE AS-BUILT SURVEY.



CALL FOR INFORMATION BEFORE YOU BUY.
 IT'S THE LAW.
 10/20/2023
 10:00 AM

MATCHLINE SEE SHEET C05.03

MATCHLINE SEE SHEET C05.02

DRA 01
TOP = 68.00
BTM = 61.00

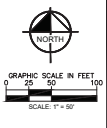
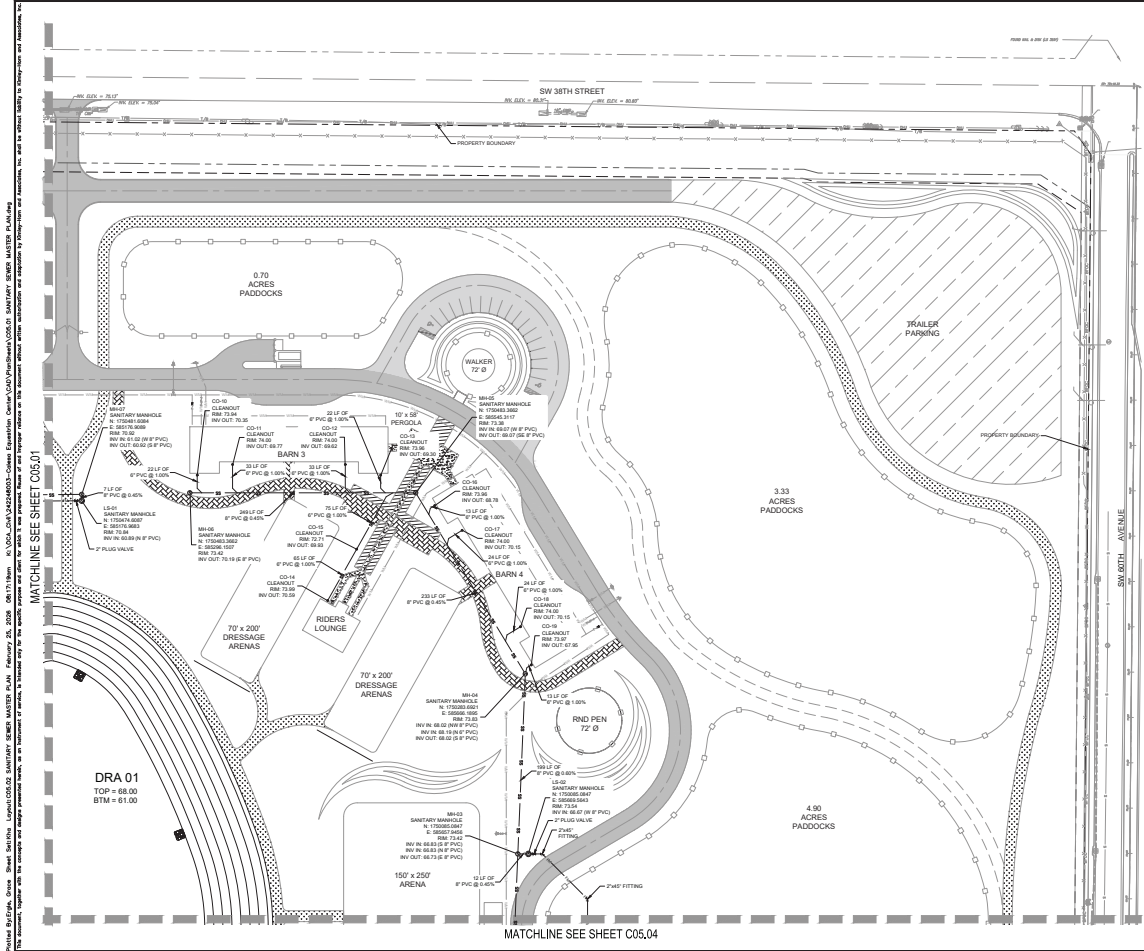
NO.	DATE	REVISIONS



LARRY HORN, P.E.
 GREG BRINDLEY, P.E.
 7505 F
 MARION COUNTY, FLORIDA

SANITARY SEWER MASTER PLAN

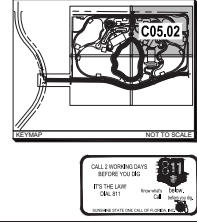
CALESA EQUINE AMENITY
 PREPARED FOR
 ON TOP OF THE WORLD COMMUNITY L.L.C.
 MARION COUNTY, FLORIDA
 SHEET NUMBER
C05.01



- LEGEND**
- PROPOSED SANITARY SEWER PIPE
 - PROPOSED SANITARY FORCE MAIN
 - PROPOSED SANITARY MANHOLE
 - PROPOSED SANITARY CLEANOUT
- SEE SHEETS C11.01 FOR DETAILS

- NOTES**
1. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER NOTIFICATION OF INSPECTING AUTHORITIES BEFORE AND DURING CONSTRUCTION.
 2. FOR ALL UTILITY INFORMATION WITHIN 2' OF THE BUILDING, REFER TO ARCHITECTURAL PLANS. THE CONTRACTOR SHALL PROVIDE THE BUILDING CONTRACTOR WITH THE NEAREST PANEL CONNECTION POINTS FOR SERVICE UNITS, CLEANOUTS, GAS/VENT, ROOF DRAIN, ETC. SUCH THAT ALL BUILDINGS ARE SERVED TO THE SATISFACTION OF THE BUILDING ARCHITECT.
 3. ALL SANITARY ARENAS SHALL BE POLYETHYLENE (PE) WITH 2" DIA. SDR 35 UNLESS OTHERWISE NOTED.
 4. ALL VALVES SHALL BE CONSTRUCTED PER MARION COUNTY STANDARD DETAIL SECTION.
 5. UTILITY AS-BUILT DRAWINGS, MEETING MARION COUNTY WATER AND SEWER CONSTRUCTION MANUAL REQUIREMENTS, ARE TO BE SUPPLIED TO THE CITY PRIOR TO ISSUANCE OF THE C.O.
 6. IT WILL BE THE RESPONSIBILITY OF THE MANUFACTURER TO PROVIDE ALL SERVICE & STRUCTURE DETAILS AS NEEDED.
 7. ANY 2" OR LARGER VALVES INSTALLED IS REQUIRED TO HAVE A VALVE TAG SHEET SUPPLIED WITH THE AS-BUILT SURVEY.

Prepared by: [Firm Name] - [Address] - [City, State, Zip] - [Phone Number] - [Fax Number] - [Email Address] - [Website] - [Year] - [Project Name] - [Sheet Title] - [Scale] - [Date] - [Revision] - [Notes]



NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Kimley-Horn

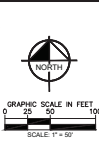
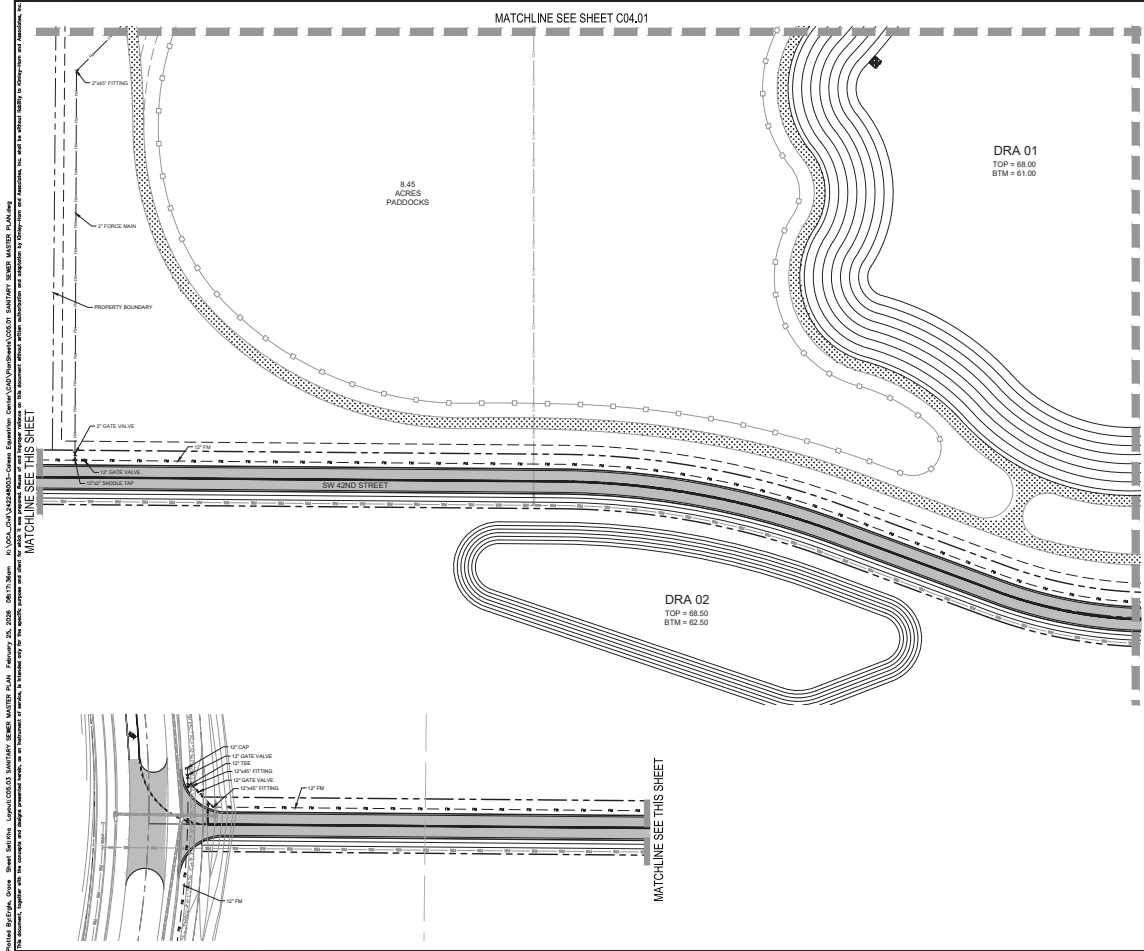
1000 N. UNIVERSITY AVENUE, SUITE 100
GAINESVILLE, FLORIDA 32609
TEL: 352.336.8000
WWW.KIMLEY-HORN.COM

LARRY P. HORN, P.E.
GREG BRINDLEY, P.E.
CITY OF GAINESVILLE
70507

SANITARY SEWER MASTER PLAN

CALESA EQUINE AMENITY
PREPARED FOR
ON TOP OF THE WORLD COMMUNITY L.L.C.
MARION COUNTY, FLORIDA

SHEET NUMBER
C05.02



LEGEND

- PROPOSED SANITARY SEWER PIPE
- PROPOSED SANITARY FORCE MAIN
- PROPOSED SANITARY MANHOLE
- ⊕ PROPOSED SANITARY CLEANOUT

SEE SHEETS C11.01 FOR DETAILS

NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER NOTIFICATION OF SUSPECTING AGENCIES BEFORE ANY COMMENCEMENT OF CONSTRUCTION.
2. FOR ALL UTILITY INFORMATION WITHIN 5' OF THE BUILDING, REFER TO ARCHITECTURAL PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING CONSTRUCTION AND ACQUIE PAVEMENT, TRENCHES FOR SERVICES, UNDERGROUND LOCATIONS, ROOF DRAINAGE, ETC. SUCH THAT ALL BUILDINGS ARE SERVED TO THE SATISFACTION OF THE BUILDING ARCHITECT.
3. ALL SANITARY SEWER MAINS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D-3034, SDR-35, UNLESS OTHERWISE NOTED.
4. ALL VALVE BOXES TO BE CONSTRUCTED PER MARION COUNTY STANDARD DETAIL SECTION.
5. UTILITY AS-BUILT DRAWINGS, MEETING MARION COUNTY WATER AND SEWER CONSTRUCTION MANUAL REQUIREMENTS, ARE TO BE SUPPLIED TO THE CITY PRIOR TO ISSUANCE OF THE C.O.
6. IT SHALL BE THE RESPONSIBILITY OF THE MANUFACTURER TO PROVIDE ALL TOLERANCE'S STRUCTURE SETTINGS AS NEEDED.
7. ANY 24" OR LARGER VALVE INSTALLED IS REQUIRED TO HAVE A VALVE TAG SHEET SUPPLIED WITH THE AS-BUILT SURVEY.

Prepared by: [Firm Name] - 8000 SW 42nd Street, Gainesville, FL 32608
 Project: [Project Name]
 Date: [Date]
 Scale: 1/4" = 50'
 This drawing is the property of [Firm Name] and is not to be reproduced or used in any way without the written consent of [Firm Name].

NO.	REVISION	DATE

Kimley-Horn

INCORPORATED
 1000 WEST UNIVERSITY AVENUE
 SUITE 100
 GAINESVILLE, FLORIDA 32607
 TEL: 352-369-8800
 FAX: 352-369-8801
 WWW.KIMLEY-HORN.COM

CALESA EQUINE AMENITY
 PREPARED FOR
ON TOP OF THE WORLD COMMUNITY, L.L.C.
 MARION COUNTY, FLORIDA

SANITARY SEWER MASTER PLAN

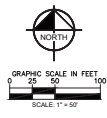
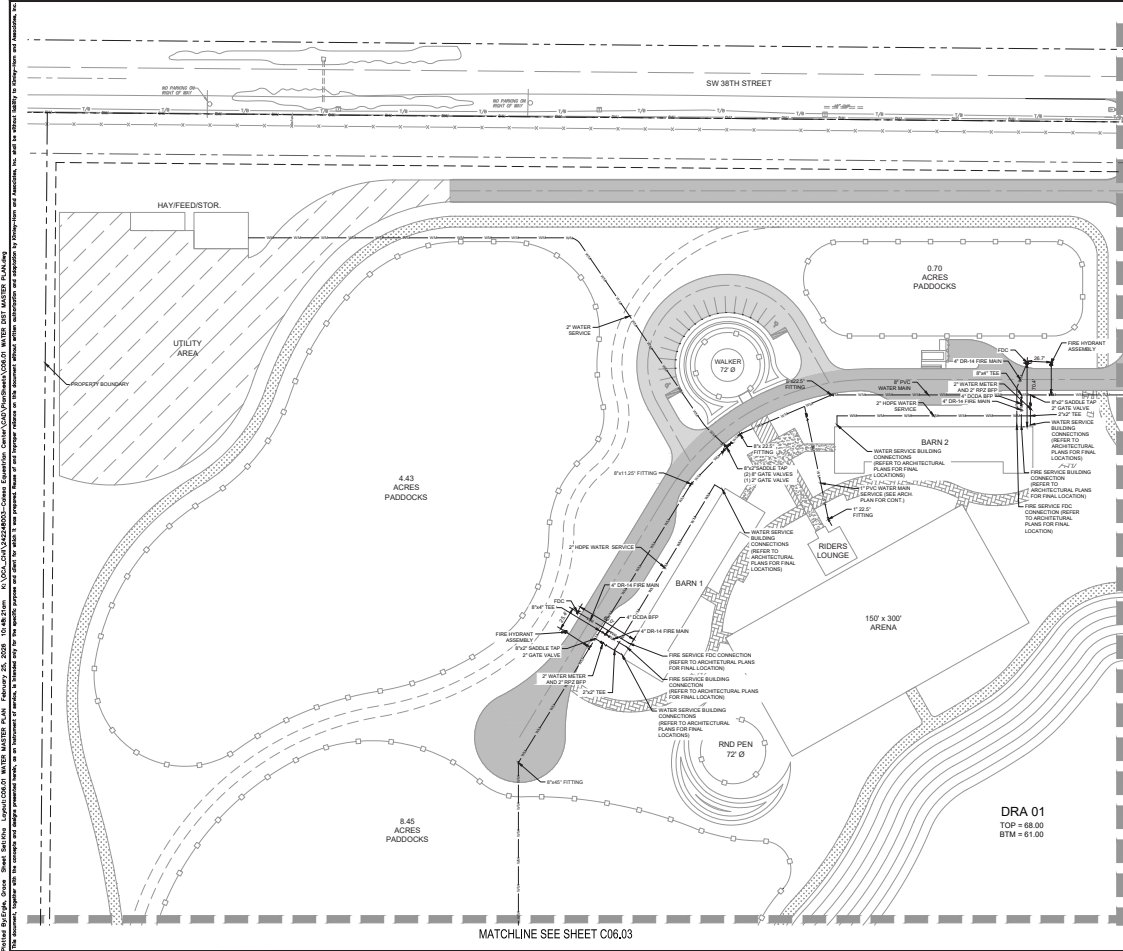
C05.03

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 WWW.CALSA.COM

KEY PLAN

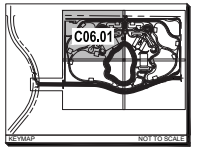
NOT TO SCALE

C05.03



- LEGEND**
- PROPOSED WATER MAIN
 - FIRE HYDRANT ASSEMBLY
 - GATE VALVE
 - TEE
 - BRANCH
 - FIRE LINE DOUBLE CHECK DETECTOR
 - WATER METER
 - WATER SAMPLE POINT
 - LIGHT POLE (DESIGN BY OTHERS)
 - ELECTRIC TRANSFORMER (DESIGN BY OTHERS)
 - ELECTRIC PULL BOX (DESIGN BY OTHERS)
- SEE SHEETS C-101 FOR DETAILS

- NOTES**
1. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER NOTIFICATION OF ALL NEIGHBORING PROPERTIES AND UTILITIES.
 2. FOR ALL UTILITY INFORMATION WITHIN 5' OF THE BUILDING, REFER TO ARCHITECTURAL PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING CONTRACTOR AND ADJUST FINAL CONNECTION POINTS FOR SERVICE. FIRE CLASSED LOCATIONS, ROOF BRANDS, ETC. SUCH THAT ALL BUILDINGS ARE SERVED TO THE SATISFACTION OF THE BUILDING ARCHITECT.
 3. ALL POSSIBLE WATER AND FIRE PROTECTION MAINS SHALL BE POLYETHYLENE GLYCOL (PE) AND/OR A-CAD, DR-14, 300 PSI PRESSURE RATED, UNLESS OTHERWISE NOTED. PROVIDE A MINIMUM OF 12" COVER FROM PROPOSED GRADE.
 4. ALL VALVE BOXES TO BE CONSTRUCTED PER MARION COUNTY STANDARD DETAIL SECTIONS.
 5. UTILITY AS-BUILT DRAWINGS, MEETING MARION COUNTY WATER AND SEWER CONSTRUCTION MANUAL REQUIREMENTS, ARE TO BE SUBMITTED TO THE CITY PRIOR TO GRADING OF THE SITE.
 6. IT WILL BE THE RESPONSIBILITY OF THE MANUFACTURER TO PROVIDE ALL NECESSARY STRUCTURE BOTTOMS AS NEEDED.
 7. ANY 1" THROUGH 4" MAINS SHALL BE INSTALLED AS REQUIRED TO HAVE A MINIMUM OF 12" COVER FROM THE FINISHED SURFACE.



Kimley-Horn
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10000 N. UNIVERSITY BLVD., SUITE 100
GAINESVILLE, FL 32609
TEL: 352-385-4300
WWW.KIMLEY-HORN.COM

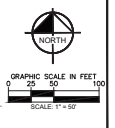
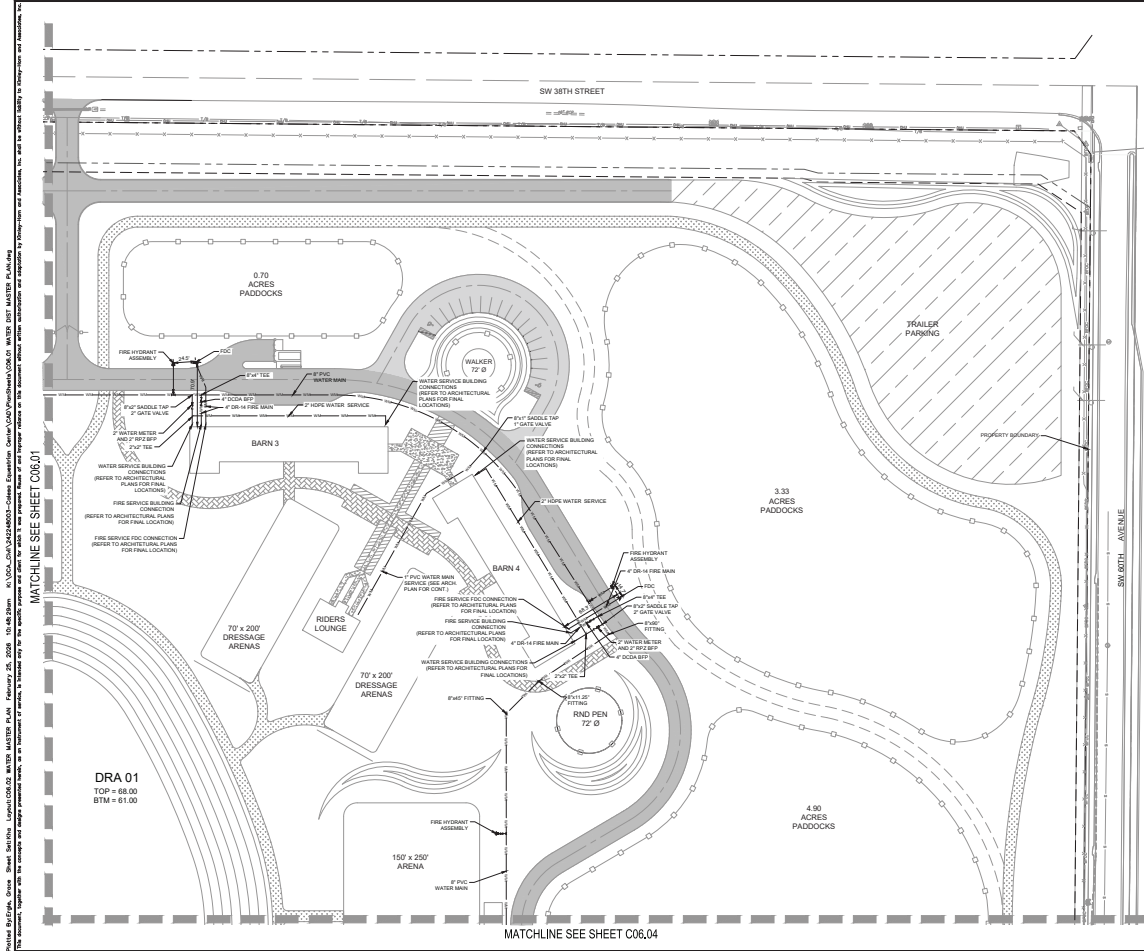
CALESA EQUINE AMENITY
PREPARED FOR
ON TOP OF THE WORLD COMMUNITY L.L.C.
MARION COUNTY, FLORIDA

WATER DISTRIBUTION MASTER PLAN

C06.01

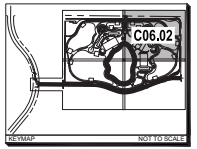
DATE	BY	REVISION

Prepared by: [Name], Checked by: [Name], Date: [Date]. All work shall be done in accordance with the Florida Building Code, Chapter 630, and the Florida Electrical Code, Chapter 690. The contractor shall be responsible for obtaining all necessary permits and for coordinating with all other utility providers. The contractor shall also be responsible for providing all necessary information to the building architect and the building contractor. The contractor shall also be responsible for providing all necessary information to the city prior to grading of the site. The contractor shall also be responsible for providing all necessary information to the manufacturer of the equipment to be installed. The contractor shall also be responsible for providing all necessary information to the building architect and the building contractor. The contractor shall also be responsible for providing all necessary information to the city prior to grading of the site. The contractor shall also be responsible for providing all necessary information to the manufacturer of the equipment to be installed.



- LEGEND**
- PROPOSED WATERMAIN
 - FIRE HYDRANT ASSEMBLY
 - ▲ GATE VALVE
 - ▲ TEE
 - ▲ BENDS
 - FIRE LINE DOUBLE CHECK DETECTOR
 - WATER METER
 - FIRE LINE SHOCK POINT
 - LIGHT POLE (DESIGN BY OTHERS)
 - ELECTRIC PULL BOX (DESIGN BY OTHERS)
 - ELECTRIC TRANSFORMER (DESIGN BY OTHERS)
- SEE SHEETS C11-01 FOR DETAILS

- NOTES**
1. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER INSTALLATION OF ALL PIPING AND EQUIPMENT BEFORE AND DURING CONSTRUCTION.
 2. FOR ALL UTILITY INFORMATION WITHIN 2' OF THE BUILDING REFER TO ARCHITECTURAL PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING CONTRACTOR ON ALL BUILDING CONNECTION POINTS FOR SERVICE LINES, CLEANOUT LOCATIONS, ROOF DRAINS, ETC. SUCH THAT ALL BUILDINGS ARE SERVED TO THE SATISFACTION OF THE BUILDING ARCHITECT.
 3. ALL PORTABLE WATER AND FIRE PROTECTION MAINS SHALL BE PROTECTED UNDERGROUND PER MARION COUNTY CODE, 2014, 2009 & 2008. ALL OTHERS SHALL BE PROTECTED AS PER THE CITY OF MARIETTA. PROVIDE A MINIMUM 4\"/>
 - 4. ALL VALVE BOXES TO BE CONSTRUCTED PER MARION COUNTY STANDARD DETAIL SECTIONS.
 - 5. UTILITY AS-BUILT DRAWINGS, MEETING MARION COUNTY WATER AND SEWER CONSTRUCTION MANUAL REQUIREMENTS, ARE TO BE SUPPLIED TO THE CITY PRIOR TO ISSUANCE OF THE C.O.
 - 6. IT WILL BE THE RESPONSIBILITY OF THE MANUFACTURER TO PROVIDE A SERVICE LINE STRUCTURE BEFORE AS NEEDED.
 - 7. ANY 1/2 INCH OR LARGER VALVE INSTALLED IS REQUIRED TO HAVE A 1/2 INCH TIE SHEET SUPPLIED WITH THE AS-BUILT SURVEY.



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FLA. STAT. § 349.04
MARION COUNTY, FLORIDA

NO.	DATE	REVISIONS

Kimley-Horn
INCORPORATED
1000 WEST BROADWAY, SUITE 200
MARIETTA, GEORGIA 30067
PH: 770.426.1000
WWW.KIMLEY-HORN.COM

PROJECT NO. 70507
SHEET NO. C06.02
DATE: 08/14/2014

WATER DISTRIBUTION MASTER PLAN

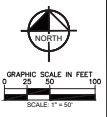
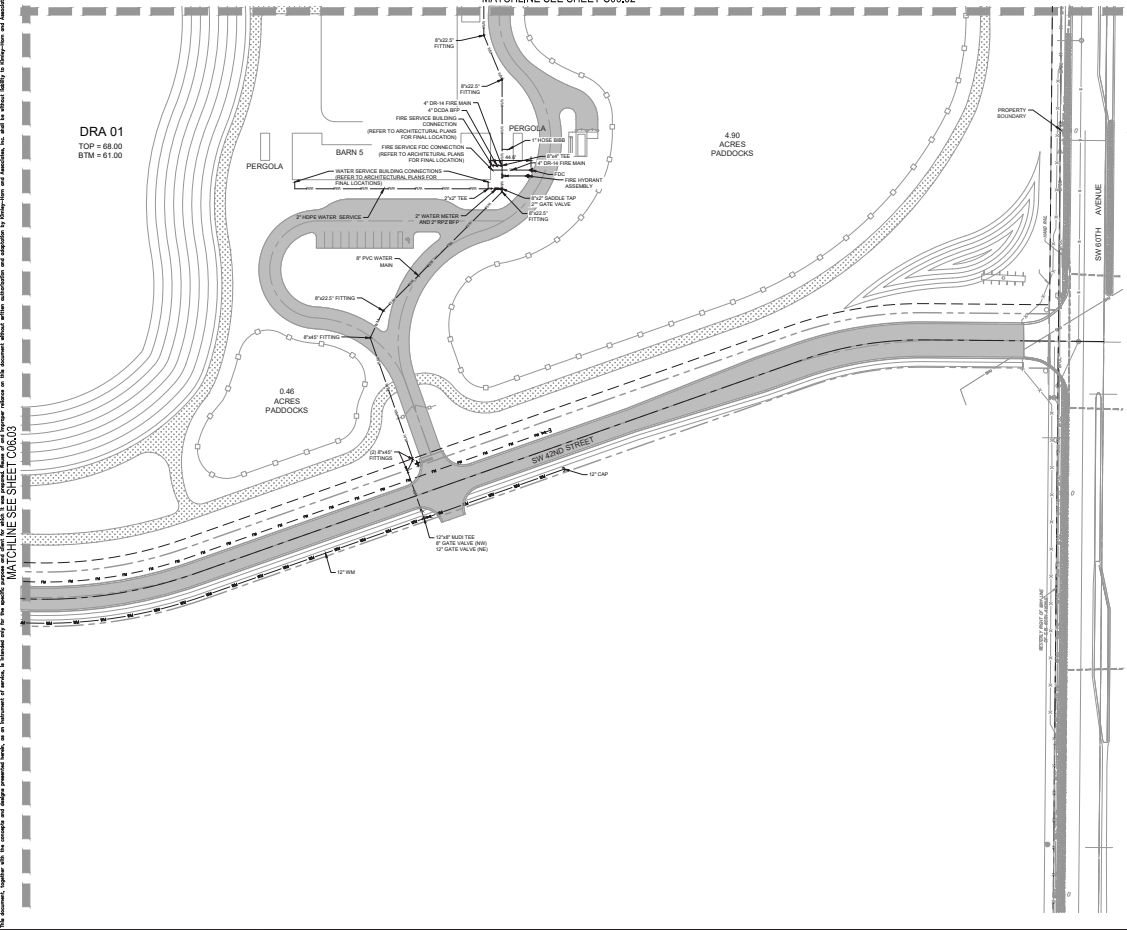
CALESA EQUINE AMENITY
PREPARED FOR
ON TOP OF THE WORLD COMMUNITY L.L.C.
MARION COUNTY, FLORIDA
SHEET NUMBER
C06.02

Prepared by: [Name], Checked by: [Name], Date: [Date]. This drawing is the property of Kimley-Horn and Associates, Inc. and shall remain confidential. No part of this drawing may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Kimley-Horn and Associates, Inc.

Prepared by: **Equine Solutions, LLC** 10000 SW 10th Street, Suite 100, Davie, FL 33317
 Project: **CALESA EQUINE AMENITY** 10000 SW 10th Street, Suite 100, Davie, FL 33317
 Date: **08/20/2024**
 Scale: **AS SHOWN**
 Matchlines: **SEE SHEET C06.03** (Left), **SEE SHEET C06.02** (Top), **SEE SHEET C06.04** (Right)

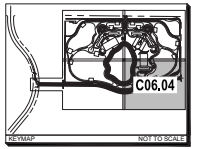
DRA 01
 TOP = 68.00
 BTM = 61.00

MATCHLINE SEE SHEET C06.02



- LEGEND**
- PROPOSED WATERMAIN
 - FIRE HYDRANT ASSEMBLY
 - GATE VALVE
 - TEE
 - ELBOW
 - FIRE LINE DOUBLE CHECK DETECTOR
 - WATER METER
 - FIRE LINE DOUBLE CHECK DETECTOR
 - GATE VALVE
 - LIGHT POLE (DESIGN BY OTHERS)
 - ELECTRIC TRANSFORMER (DESIGN BY OTHERS)
 - ELECTRIC PULL BOX (DESIGN BY OTHERS)
- SEE SHEETS C11-01 FOR DETAILS

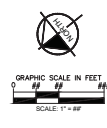
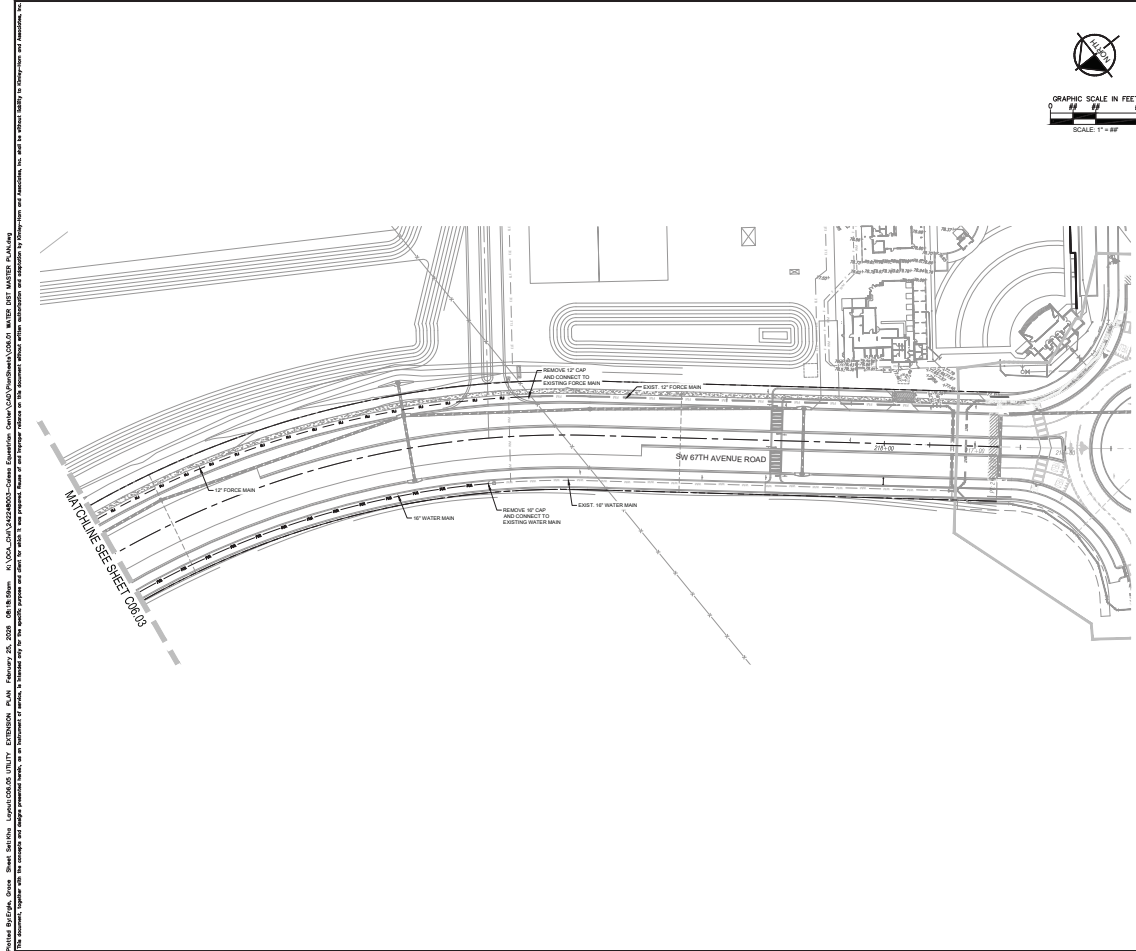
- NOTES:**
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER INTERPRETATION OF ANY UTILITY RECORDS AND AUTHORITY BEFORE AND DURING CONSTRUCTION.
 - FOR ALL UTILITY INFORMATION WITHIN 2' OF THE BUILDING, REFER TO ARCHITECTURAL PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING CONTRACTOR ON ALL UTILITY CONNECTION POINTS FOR SERVICE LINES, CLEANOUT LOCATIONS, ROOF DRAINS, ETC. SUCH THAT ALL SERVICES ARE SERVED TO THE SATISFACTION OF THE BUILDING ARCHITECT.
 - ALL PORTABLE WATER AND FIRE PROTECTION MAINS SHALL BE PROVIDED UNDERGROUND PER MARSHON COUNTY SPECIFICATIONS AND SHALL BE INSTALLED TO THE DEPTH OF THE RECORDS. PROVIDE A MINIMUM 4\"/>



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	WATER DISTRIBUTION MASTER PLAN
CALESA EQUINE AMENITY PREPARED FOR ON TOP OF THE WORLD COMMUNITY L.L.C. MARSHON COUNTY, FLORIDA	SHEET NUMBER C06.04

Prepared by: **Kimley-Horn and Associates, Inc.**, 100 North Salisbury Street, Raleigh, NC 27601. Date: **08/14/2014**.
 Project: **CALESA EQUINE AMENITY**, 10000 SW 67th Avenue, Miami, FL 33156.
 Drawing: **UTILITY EXTENSION PLAN**.
 Scale: **AS SHOWN**.
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- LEGEND**
- PROPOSED WATERMAIN
 - FIRE HYDRANT ASSEMBLY
 - GATE VALVE
 - TEE
 - BENDS
 - FIRE LINE DOUBLE CHECK DETECTOR
 - WATER METER
 - SMOKE SHUTTER/COINT
 - LIGHT POLE (DESIGN BY OTHERS)
 - ELECTRIC TRANSFORMER (DESIGN BY OTHERS)
 - ELECTRIC PULL BOX (DESIGN BY OTHERS)
- SEE SHEETS C1151 FOR DETAILS

- NOTES**
1. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER NOTIFICATION OF AFFECTING AUTHORITIES BEFORE AND DURING CONSTRUCTION.
 2. FOR ALL UTILITY INFORMATION WITHIN OF THE BUILDING, REFER TO ARCHITECTURAL PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING CONSTRUCTION AND ADJUST FINAL CONSTRUCTION POINTS FOR SERVICE LINES. SEE SHEET C1151 FOR SERVICE LINES. ALL SERVICE LINES SHALL BE SERVED TO THE SATISFACTION OF THE BUILDING ARCHITECT.
 3. ALL PORTABLE WATER AND FIRE PROTECTION MAINS SHALL BE ROCKING CALCULATED PER MARION COUNTY SPECIFICATIONS. PROVIDE A MINIMUM OF COVER FROM FINISHED GRADE.
 4. ALL VALVE BOXES TO BE CONSTRUCTED PER MARION COUNTY SPECIFICATIONS DETAIL SECTION.
 5. UTILITY AS-BUILT DRAWINGS MEETING MARION COUNTY WATER AND SEWER CONSTRUCTION MANUAL REQUIREMENTS ARE TO BE SUPPLIED TO THE CITY PRIOR TO ISSUANCE OF THE I.C.
 6. IT WILL BE THE RESPONSIBILITY OF THE MANUFACTURER TO PROVIDE A SIGNATURE & STRUCTURE BOTTOMS AS NEEDED.
 7. ANY 2 INCH OR LARGER VALVE INSTALLED IS REQUIRED TO HAVE A VALVE THE SHEET SUPPLIED WITH THE AS-BUILT SURVEY.



NO.	REVISION	DATE

Kimley-Horn
 CONSULTING ENGINEERS
 100 NORTH SALISBURY STREET
 RALEIGH, NORTH CAROLINA 27601
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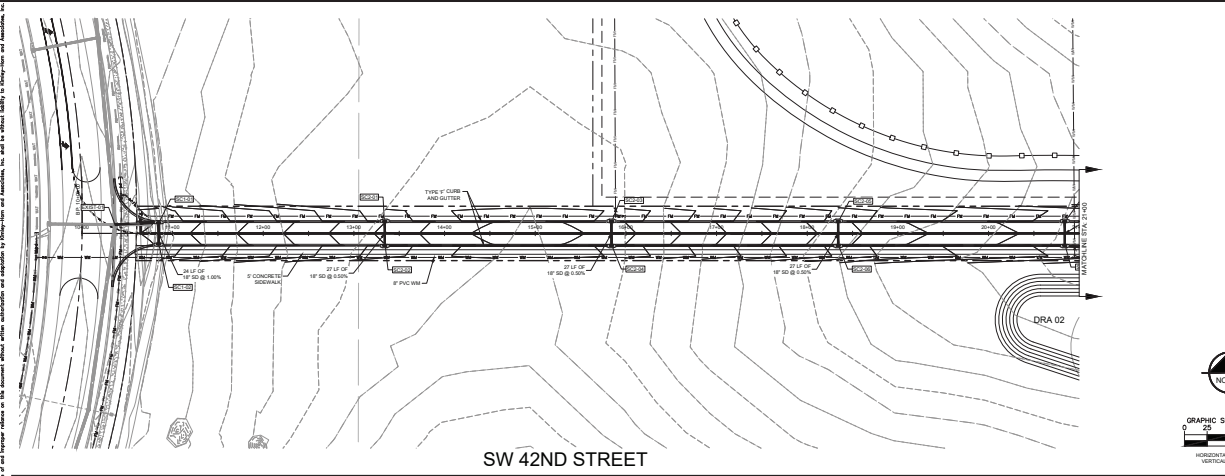
DATE PLOTTED	08/14/2014
DATE PRINTED	08/14/2014
PROJECT	CALESA EQUINE AMENITY
SHEET NO.	70507
TITLE	UTILITY EXTENSION PLAN

UTILITY EXTENSION PLAN

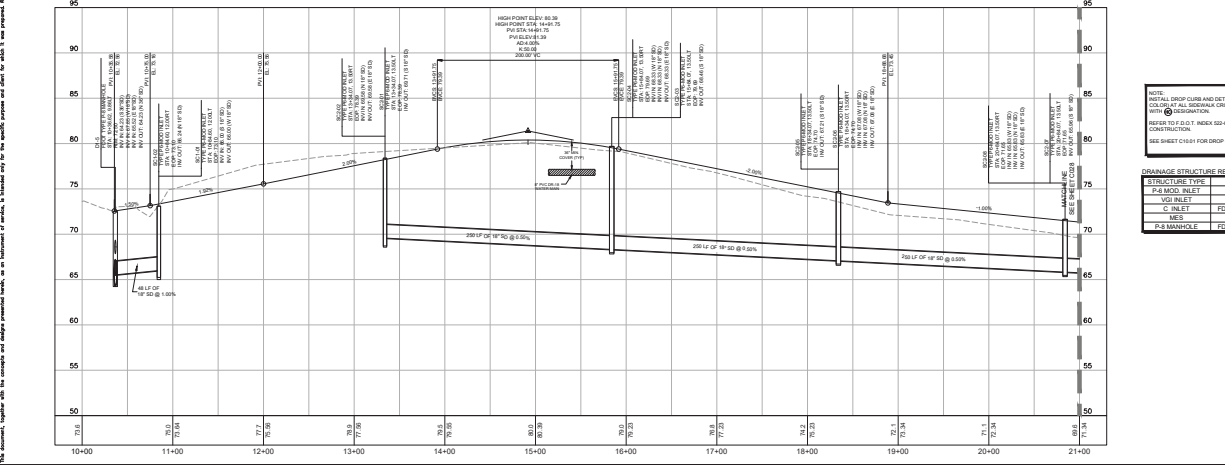
CALESA EQUINE AMENITY
 PREPARED FOR
ON TOP OF THE WORLD COMMUNITY L.L.C.
 MARION COUNTY, FLORIDA

SHEET NUMBER
C06.05

Project: Callesa Equine Amenities, 14500 SW 42nd Street, Miramar, FL 33187. Prepared by: Kimley-Horn and Associates, Inc. Date: 08/14/2018. Scale: 1" = 40'.
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SW 42ND STREET

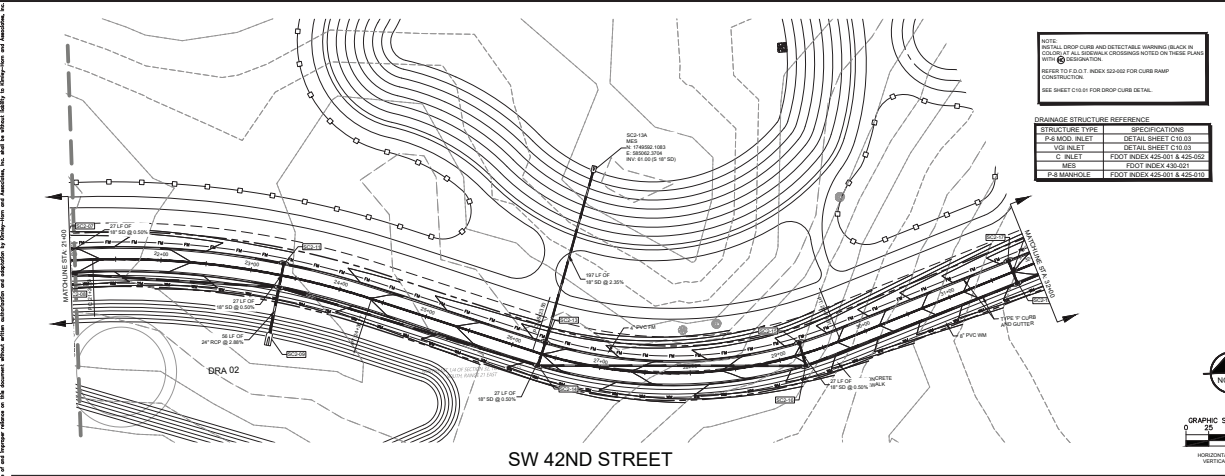


NOTE: INSTALL DROP CURBS AND DETECTABLE WARNING BLACK IN COLORED PAVEMENT CROSSINGS NOTED ON THESE PLANS AND CROSSINGS. REFER TO THE INDEX FOR CROSSING INFORMATION.
 REFER TO THE INDEX FOR CROSSING INFORMATION.
 SEE SHEET C1011 FOR DROP CURB DETAIL.

DRAINAGE STRUCTURE REFERENCE	SYMBOLS/TYPES	SPECIFICATIONS
P-6 MOD. INLET		DETAIL SHEET C1010
GR. INLET		DETAIL SHEET C1010
6" INLET		FOOT INDEX 425-201 & 425-202
18" INLET		FOOT INDEX 425-201
P-8 MANHOLE		FOOT INDEX 425-201 & 425-210

LARRY J. HORN, P.E. PROJECT MANAGER 14500 SW 42ND STREET, SUITE 200, MIRAMAR, FL 33187 TEL: 305.441.1111 FAX: 305.441.1112 WWW.KIMLEY-HORN.COM	
SW 42ND STREET PLAN AND PROFILE	CALESA EQUINE AMENITY PREPARED FOR ON TOP OF THE WORLD COMMUNITY L.L.C. MIAMI, FLORIDA
SHEET NUMBER C07.01	DATE 08/14/2018

Project: SW 42nd Street, Miami, Florida. Date: 08/14/2018. Scale: 1"=40'.
 Prepared by: CALESA EQUINE AMENITY. Checked by: J. [Name].
 This drawing is the property of CALESA EQUINE AMENITY and shall not be used for any other project without the written consent of CALESA EQUINE AMENITY.

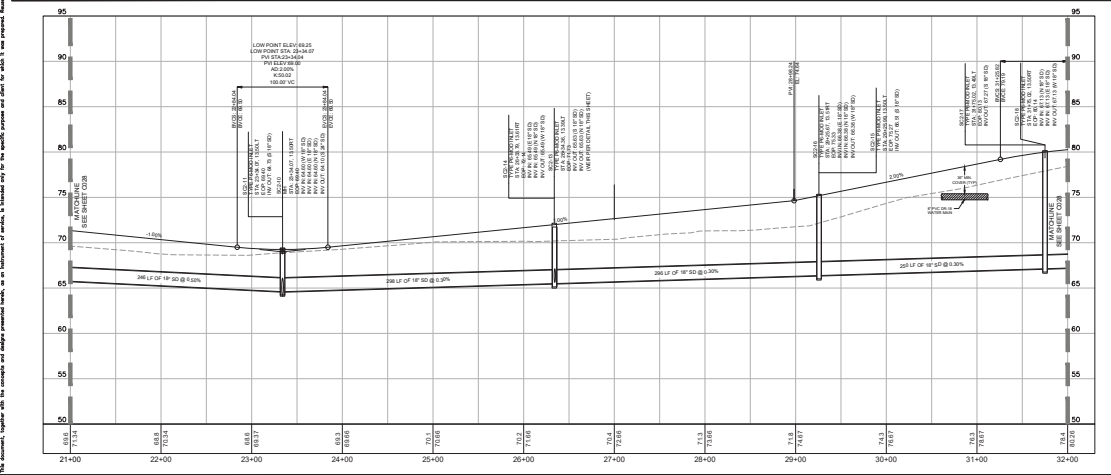


GRAPHIC SCALE IN FEET
 0 50 100
 HORIZONTAL SCALE: 1" = 40'
 VERTICAL SCALE: 1" = 5'

REVISIONS

NO.	DATE	DESCRIPTION

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 10000 N. CENTRAL EXPRESSWAY, SUITE 200, DALLAS, TEXAS 75243
 TEL: 972.961.8600 FAX: 972.961.8601
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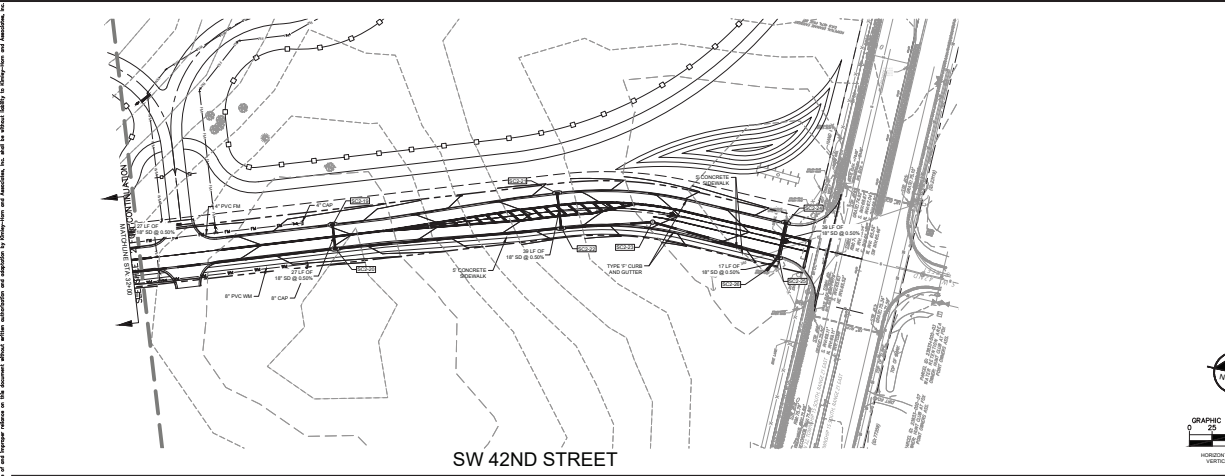
SECTION A-A
 INLET 2-2-02 STRUCTURE DETAIL
 NOT TO SCALE

SW 42ND STREET PLAN AND PROFILE

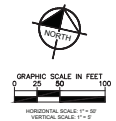
CALESA EQUINE AMENITY
 PREPARED FOR
 ON TOP OF THE WORLD
 COMMUNITY L.L.C.
 MIAMI, FLORIDA

SHEET NO. 007
C07.02

Prepared by: CAESA EQUINE AMENITY ON TOP OF THE WORLD COMMUNITY L.L.C. (Client)

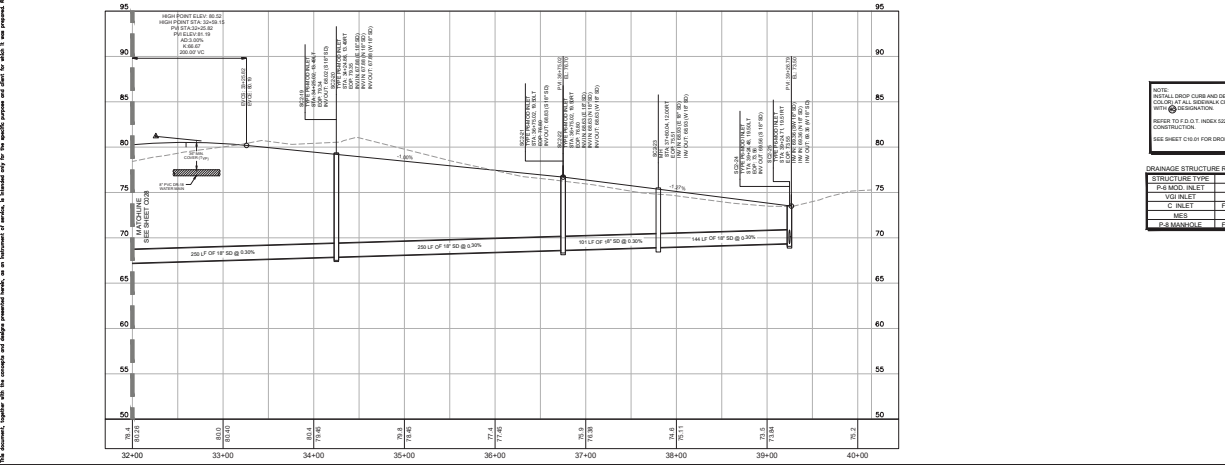


SW 42ND STREET



NO.	REVISION	DATE
1	ISSUED FOR PERMIT	07/15/2023
2	REVISED FOR COMMENTS	08/01/2023
3	REVISED FOR COMMENTS	08/15/2023
4	REVISED FOR COMMENTS	08/25/2023
5	REVISED FOR COMMENTS	09/05/2023
6	REVISED FOR COMMENTS	09/15/2023
7	REVISED FOR COMMENTS	09/25/2023
8	REVISED FOR COMMENTS	10/05/2023
9	REVISED FOR COMMENTS	10/15/2023
10	REVISED FOR COMMENTS	10/25/2023

Kimley-Horn
 10000 W. 11th Street, Suite 100
 Overland Park, KS 66211
 PH: 913.241.4100
 WWW.KIMLEY-HORN.COM



NOTE: METAL DROP CURB AND DETECTABLE WARNING BLACK IN COLOR. IF ANY SIDEWALK CROSSINGS NOTED ON THIS PLAN AND WITH DEGRADATION. REFER TO P.D.C.T. INDEX 425-400 FOR CURB RAMP CONSTRUCTION. SEE SHEET C-01.01 FOR DROP CURB DETAIL.

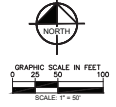
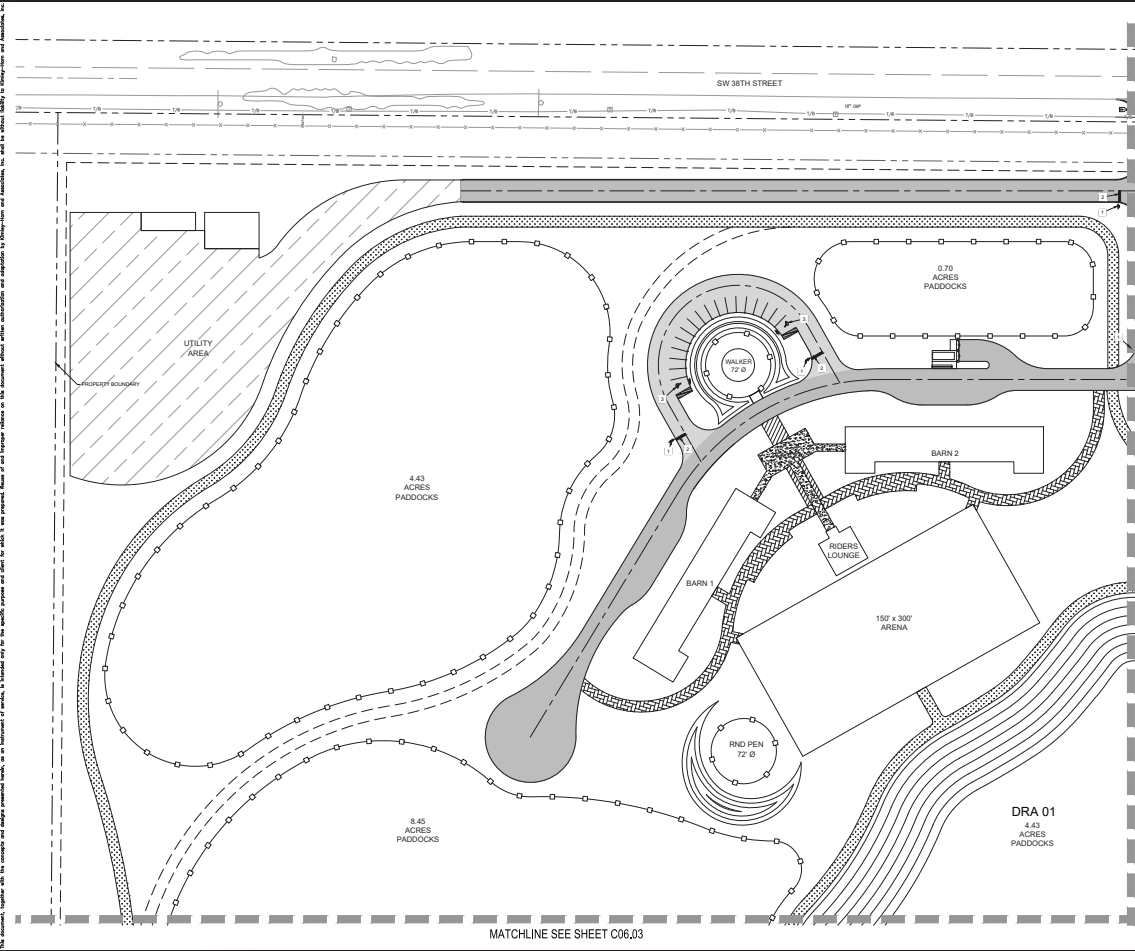
STRUCTURE TYPE	SPECIFICATIONS
P-8 MOD. INLET	DETAIL SHEET C10.01
Y-0 INLET	DETAIL SHEET C10.02
C INLET	FDOT INDEX 425-011 & 425-052
MANHOLE	FDOT INDEX 425-011
P-8 MANHOLE	FDOT INDEX 425-011 & 425-012

CAESA EQUINE AMENITY ON TOP OF THE WORLD COMMUNITY L.L.C.
 70507

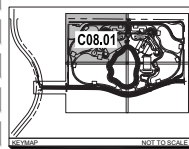
SW 42ND STREET PLAN AND PROFILE

SHEET NUMBER
C07.03

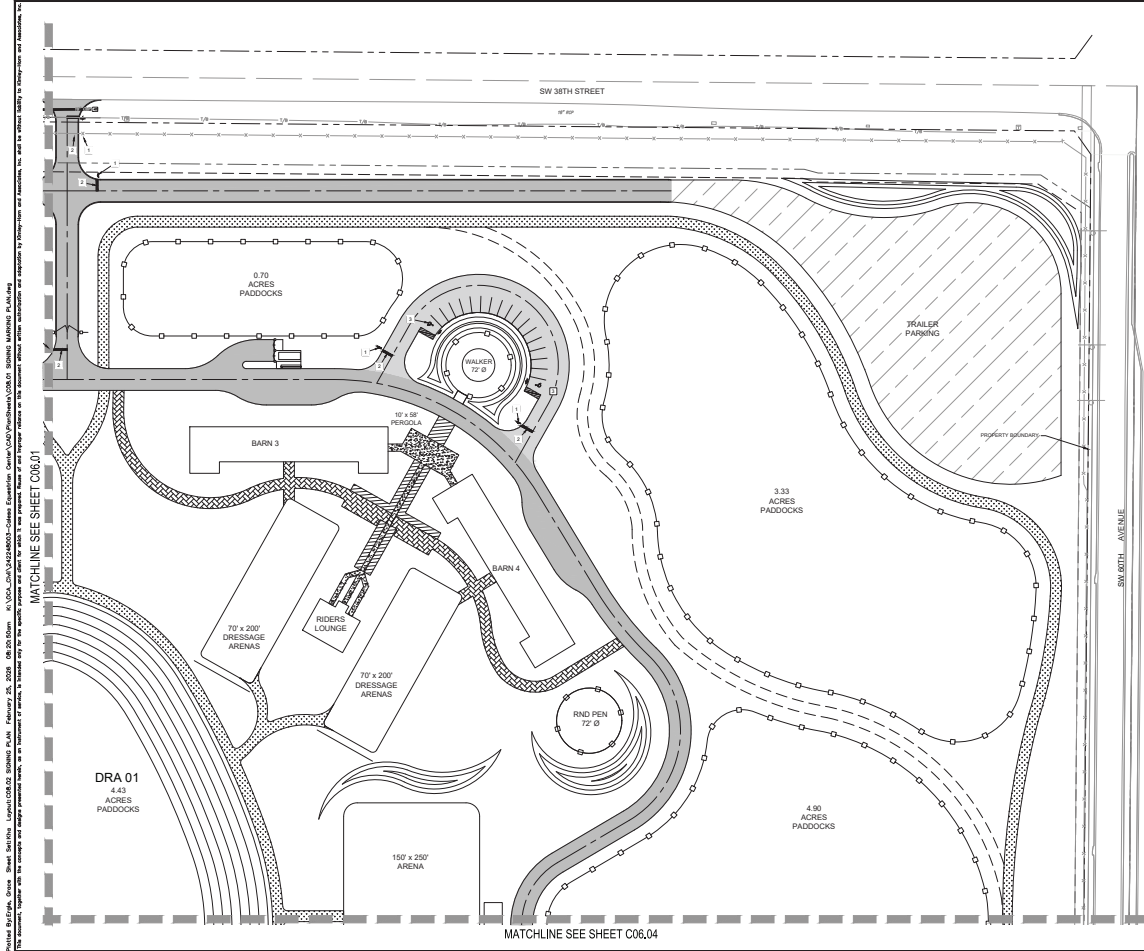
Project: Caledonia Equine Amenity, 10000 SW 10th St, Davie, FL 33317. Prepared by: Kimley-Horn and Associates, Inc. (KHA) on 08/14/2024. Scale: 1" = 50'. This drawing is a site plan showing the proposed layout of the Caledonia Equine Amenity. It is intended for informational purposes only and does not constitute a contract. All dimensions and locations are approximate. The information shown on this drawing is based on the information provided to KHA by the client. KHA does not warrant the accuracy or completeness of the information provided. KHA is not responsible for any errors or omissions on this drawing. © 2024 Kimley-Horn and Associates, Inc. All rights reserved.



- SIGN AND PAVEMENT MARKING LEGEND**
- 30" STOP SIGN (R1-1)
 - 34" WHITE STOP BAR
 - HORIZONTAL SPACES FOR FLORIDA'S ACCESSIBILITY CODE WITH RIBBES (SEE SHEET C06.01 FOR DETAILS)
 - 4" SOLID DOUBLE YELLOW LINES
 - 4" SOLID SINGLE WHITE LINE
 - 4" SOLID YELLOW GORE STRIPING
 - DIRECTIONAL ARROW



	SIGNING & MARKING PLAN
CALESONA EQUINE AMENITY PREPARED FOR ON TOP OF THE WORLD COMMUNITY L.L.C. <small>MARION COUNTY FLORIDA</small>	C08.01
PROJECT NO. 24-0001 SHEET NO. 08 DATE: 08/14/2024	REVISIONS:



Project: Calesa Equine Amenity, 10000 SW 38th Avenue, Miramar, FL 33187. Prepared by: Kimley-Horn and Associates, Inc. 10000 SW 38th Avenue, Miramar, FL 33187. Date: 08/14/2014. Scale: 1" = 50'. This drawing is a preliminary design and is not to be used for construction without the approval of the appropriate regulatory agencies. The owner shall verify all dimensions and locations.

GRAPHIC SCALE IN FEET

0 25 50 100

SCALE: 1" = 50'

SIGN AND PAVEMENT MARKING LEGEND

- 30" STOP SIGN (R1-1)
- 30" WHITE STOP BAR
- FRONT-LOAD SPACES FOR FL GREEN-PAVEMENT SIDEWALK CURBS WITH SIGNS (SEE SHEET C06.01 FOR DETAILS)
- 4" SOLID DOUBLE YELLOW LINES
- 4" SOLID SINGLE WHITE LINE
- 4" SOLID YELLOW SIDE STOPPING
- DIRECTIONAL ARROW

Kimley-Horn

INCORPORATED

10000 SW 38th Avenue, Miramar, FL 33187

TEL: 305.466.1000

FAX: 305.466.1001

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DR 01

4.43 ACRES PADDOCKS

C08.02

NOT TO SCALE

CALL FOR MORE SIGNS BEFORE YOU GO!

IT'S THE LAW!

CALESA EQUINE AMENITY

PREPARED FOR:

ON TOP OF THE WORLD COMMUNITY L.L.C.

MARICOPA COUNTY, FLORIDA

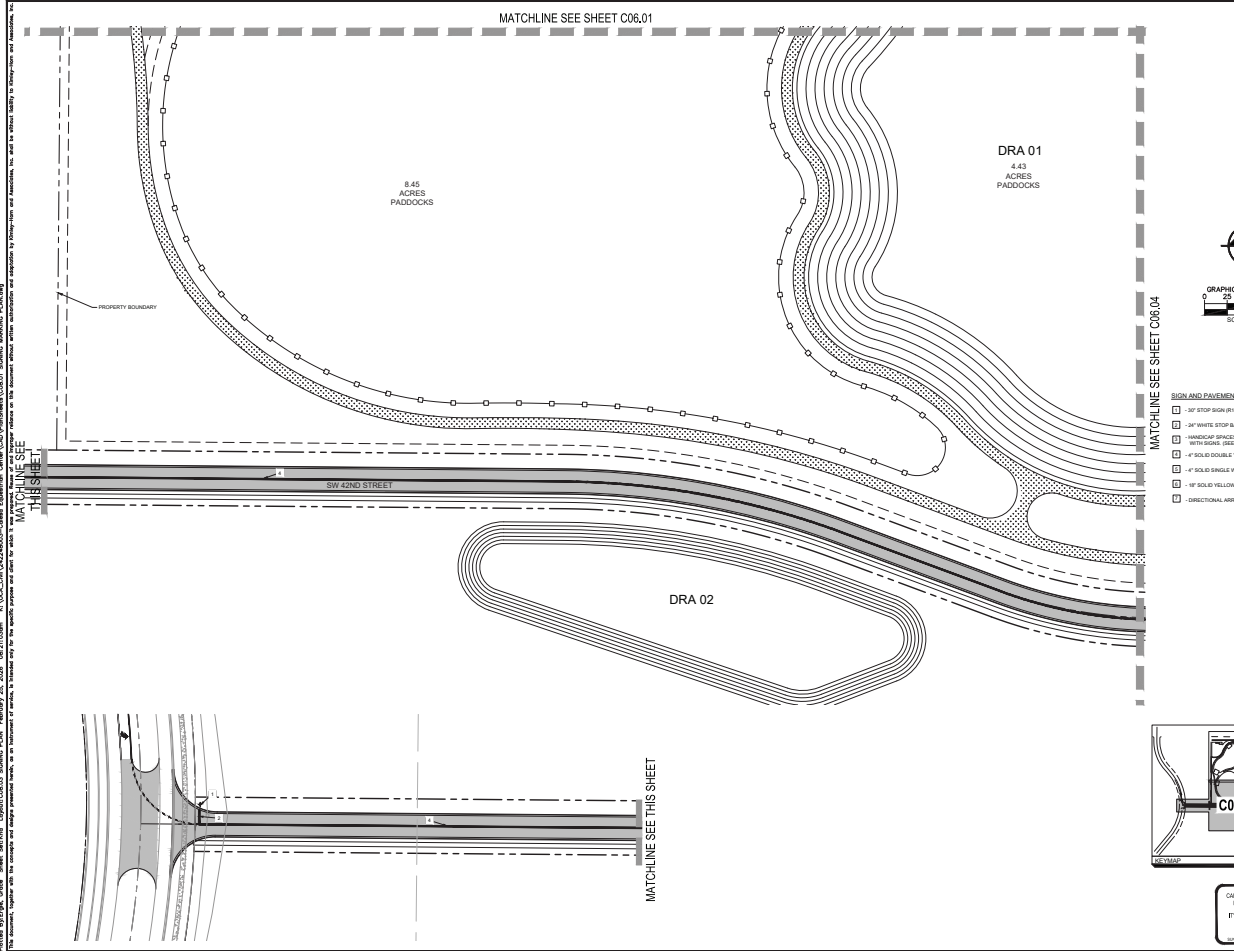
SW 38TH STREET

SW 38TH AVENUE

MATCHLINE SEE SHEET C06.01

MATCHLINE SEE SHEET C06.04

Project: Caledonia, Florida. Site: Caledonia. Prepared by: Kimley-Horn and Associates, Inc. Date: 05/20/2014. Scale: 1" = 50'.
 This drawing is prepared for the use of the Florida Department of Transportation (FDOT) and is not to be used for any other purpose without the written consent of Kimley-Horn and Associates, Inc. The user of this drawing is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user of this drawing is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user of this drawing is responsible for obtaining all necessary permits and approvals from the appropriate authorities.



NO.	REVISION	DATE

Kimley-Horn
 10000 W. STATE ROAD 70, SUITE 200
 TAMPA, FLORIDA 33634
 TEL: 813.251.1000
 WWW.KIMLEY-HORN.COM

SIGNING & MARKING PLAN

DATE: 05/20/2014
 DRAWN BY: J. HORN
 CHECKED BY: J. HORN
 PROJECT NO.: 70507

CALESA EQUINE AMENITY
 PREPARED FOR:
ON TOP OF THE WORLD COMMUNITY L.L.C.
 MARICOPA COUNTY, FLORIDA

SHEET NUMBER
C08.03

CALL FOR MORE SHEETS BEFORE YOU BUY.
 IT'S THE WAY WE SELL IT!

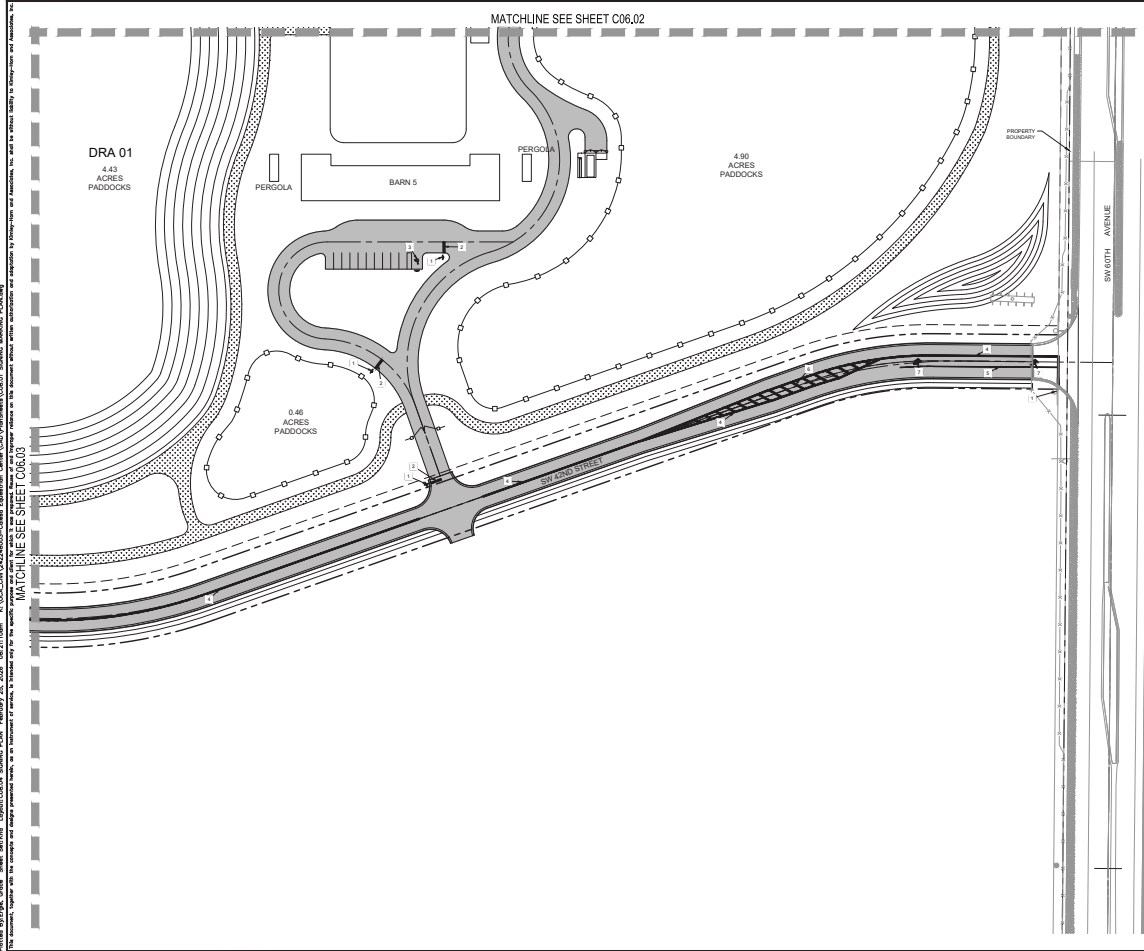
SIGN AND PAVEMENT MARKINGS LEGEND

- 3" STOP SIGN (W-1)
- 3" WHITE STOP BAR
- WHEELCHAIR SPACES PER FLORIDA'S ACCESSIBILITY CODE WITH SLOPE (SEE SHEET C08.04 FOR DETAILS)
- 4" SOLID DOUBLE YELLOW LINES
- 4" SOLID SINGLE WHITE LINE
- 4" SOLID YELLOW GORE STRIPING
- DIRECTIONAL ARROW

GRAPHIC SCALE IN FEET
 0 25 50 100
 SCALE: 1" = 50'

C08.03

Project: Caledonia, 3000 SW 11th St, Ft. Lauderdale, FL 33309. Prepared by Kimley-Horn & Associates, Inc. for Caledonia, 3000 SW 11th St, Ft. Lauderdale, FL 33309. This drawing is the property of Kimley-Horn & Associates, Inc. and is not to be used for any other project without the written consent of Kimley-Horn & Associates, Inc.



GRAPHIC SCALE IN FEET

0 25 50 100

SCALE: 1" = 50'

SIGN AND PAVEMENT MARKINGS LEGEND

- 30" STOP SIGN (W-1)
- 24" WHITE STOP BAR
- WINDUP SPACES PER FLORIDA ACCESSIBILITY CODE WITH SLOPE (SEE SHEET C08.03 FOR DETAILS)
- 4" SOLID DOUBLE YELLOW LINES
- 4" SOLID SINGLE WHITE LINE
- 4" SOLID YELLOW GORE STRIPING
- DIRECTIONAL ARROW

CALESA EQUINE AMENITY
 PREPARED FOR
ON TOP OF THE WORLD COMMUNITY L.L.C.
 MARION COUNTY, FLORIDA

Kimley & Horn
 10000 W. BOCA RATON BLVD., SUITE 200
 BOCA RATON, FL 33433
 TEL: 561-997-0800
 WWW.KIMLEY-HORN.COM

PROJECT INFORMATION

PROJECT NO. 2024-001

DATE: 08/20/24

SCALE: 1" = 50'

REVISIONS

NO.	DATE	DESCRIPTION
1	08/20/24	ISSUED FOR PERMIT

CALESA EQUINE AMENITY
 PREPARED FOR
ON TOP OF THE WORLD COMMUNITY L.L.C.
 MARION COUNTY, FLORIDA

Kimley & Horn
 10000 W. BOCA RATON BLVD., SUITE 200
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 TEL: 561-997-0800
 WWW.KIMLEY-HORN.COM

PROJECT INFORMATION

PROJECT NO. 2024-001

DATE: 08/20/24

SCALE: 1" = 50'

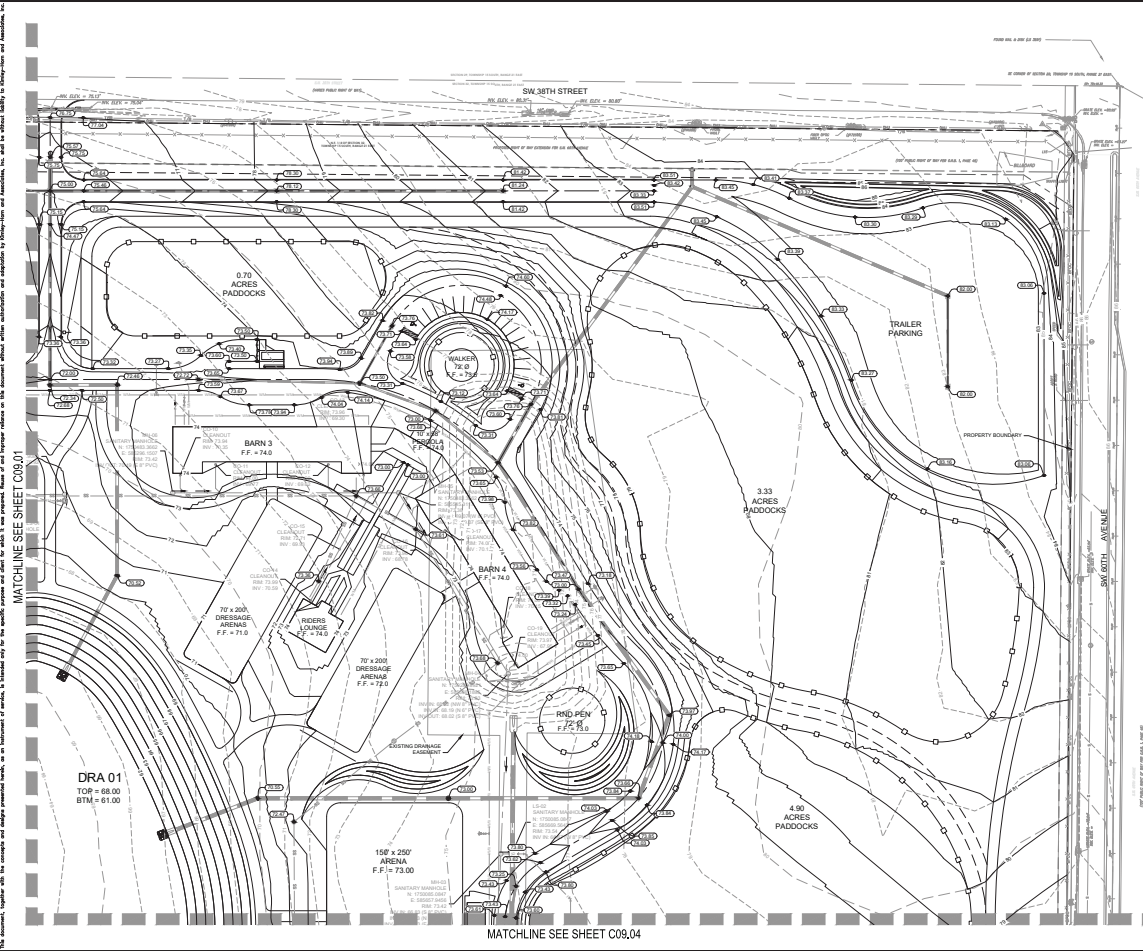
REVISIONS

NO.	DATE	DESCRIPTION
1	08/20/24	ISSUED FOR PERMIT

CALESA EQUINE AMENITY
 PREPARED FOR
ON TOP OF THE WORLD COMMUNITY L.L.C.
 MARION COUNTY, FLORIDA

Kimley & Horn
 10000 W. BOCA RATON BLVD., SUITE 200
 BOCA RATON, FL 33433
 TEL: 561-997-0800
 WWW.KIMLEY-HORN.COM

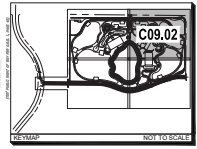
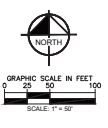
Project: CALESA EQUINE AMENITY, 1500 S. STATE ROAD 100, #200, BOCA RATON, FL 33432. Prepared by: KIMLEY-HORN AND ASSOCIATES, INC., 10000 W. BOCA RATON BLVD., SUITE 200, BOCA RATON, FL 33433. Date: 08/14/2018. Scale: 1" = 50'. This drawing is a preliminary design and is not to be used for construction. It is subject to change without notice. The client is responsible for providing accurate information and for obtaining all necessary permits. The engineer is not responsible for any errors or omissions in this drawing.



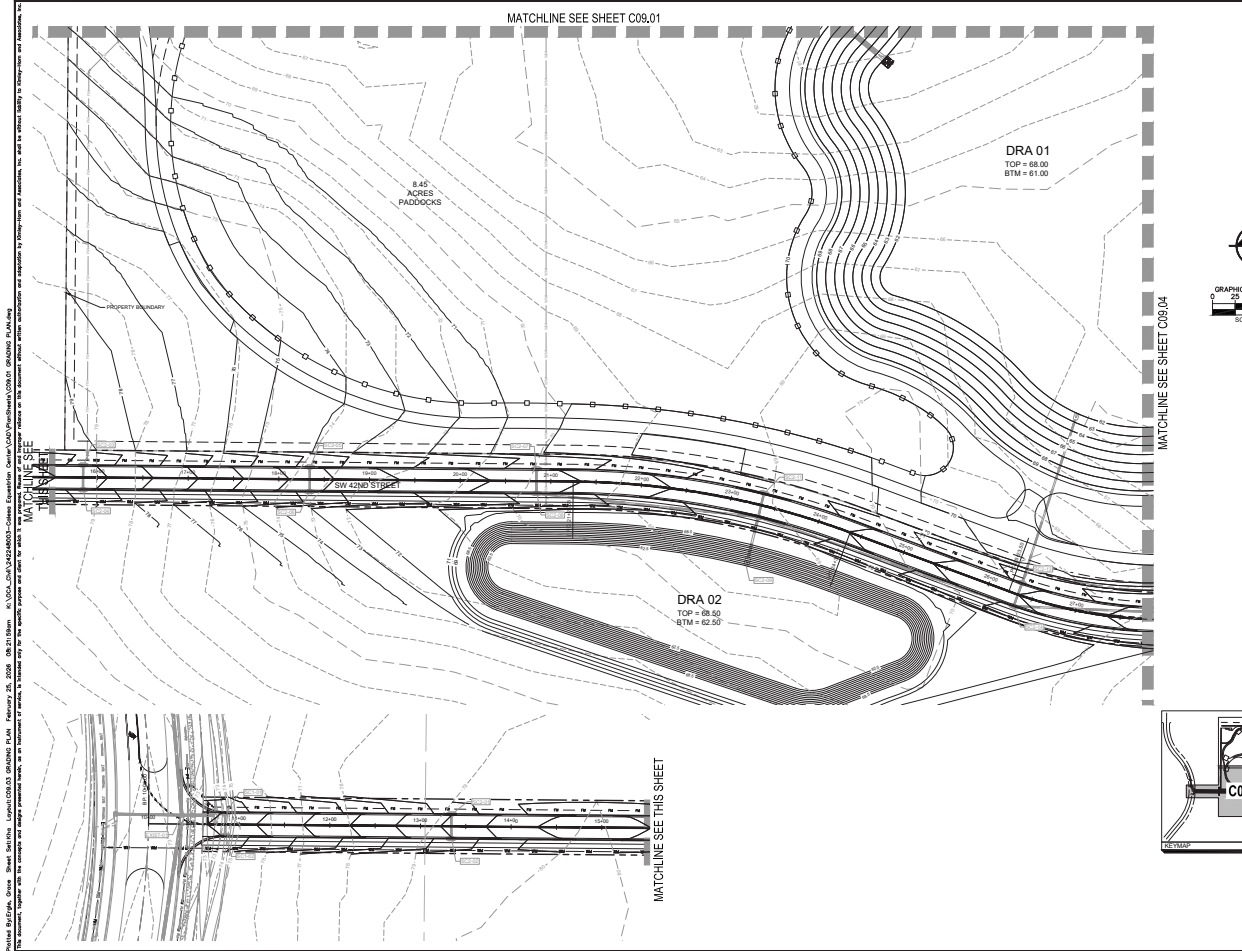
DRA 01
 TOP = 68.00
 BTM = 61.00

MATCHLINE SEE SHEET C09.04

MATCHLINE SEE SHEET C09.01

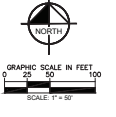


Kimley-Horn <small>INCORPORATED</small> <small>10000 W. BOCA RATON BLVD., SUITE 200, BOCA RATON, FL 33433</small> <small>TEL: 561-991-1000 FAX: 561-991-1001</small> <small>WWW.KIMLEY-HORN.COM</small>	CALESA EQUINE AMENITY GRADING MASTER PLAN <small>PREPARED FOR</small> ON TOP OF THE WORLD COMMUNITY L.L.C. <small>BOCA RATON, FLORIDA</small>
<small>DATE: 08/14/2018</small> <small>SCALE: 1" = 50'</small> <small>PROJECT NO: 180000000000000000</small>	<small>PROJECT NO: 180000000000000000</small> <small>DATE: 08/14/2018</small> <small>SCALE: 1" = 50'</small> <small>PROJECT NO: 180000000000000000</small>



Prepared by: [Firm Name] - 12345 Main Street, Suite 100, Orlando, FL 32801
 Project: CALESA EQUINE AMENITY - PREPARED FOR ON TOP OF THE WORLD COMMUNITY L.L.C.
 Date: 10/26/2023
 Scale: 1" = 50'
 This drawing is a preliminary design and is not to be used for construction without the approval of the local authority having jurisdiction.

NO.	REVISION	DATE

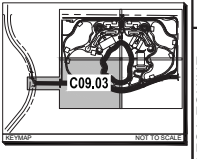


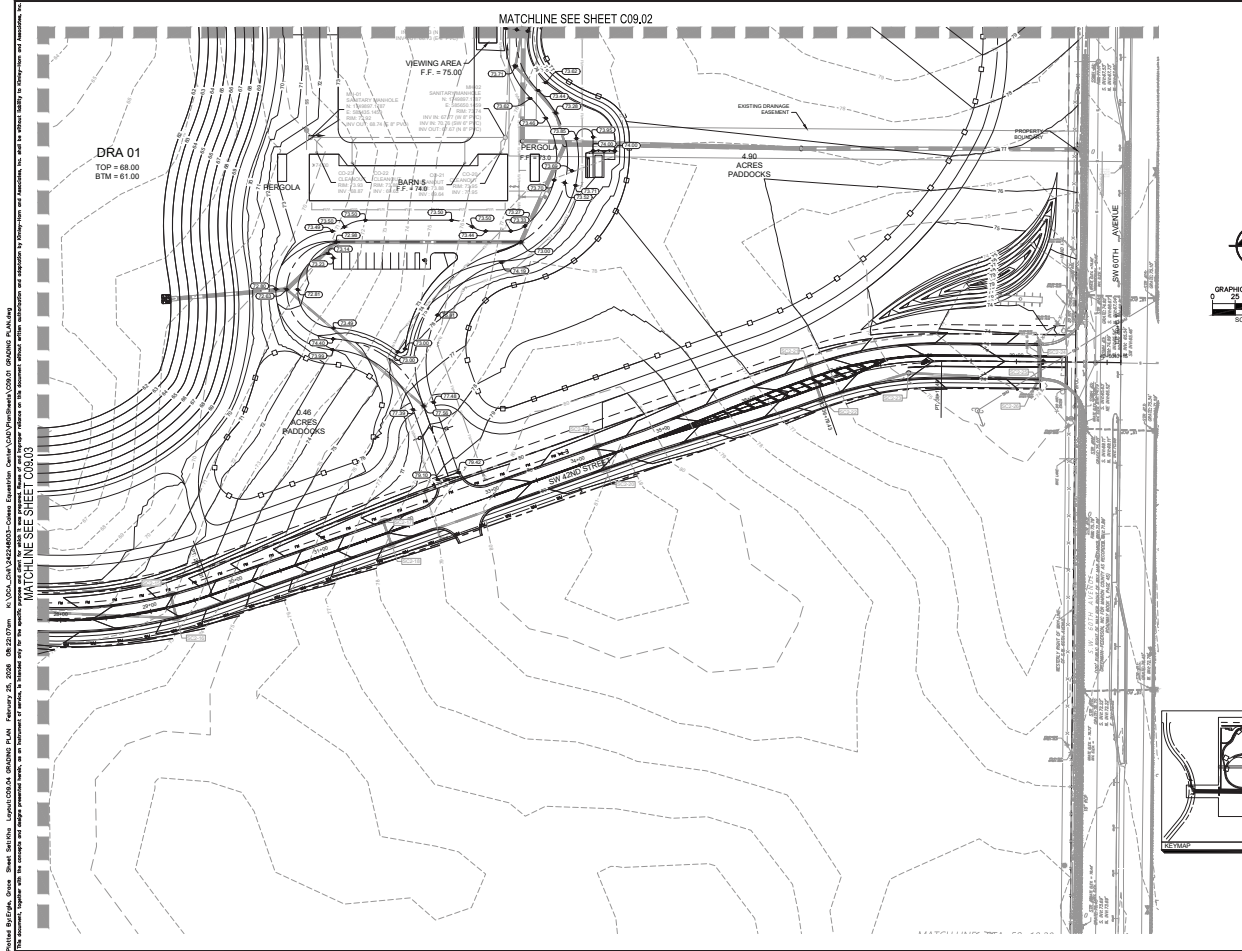
Kimley-Horn
 INCORPORATED
 7507 F
 WINTER HAVEN, FLORIDA 33884
 WWW.KIMLEY-HORN.COM

CALESA EQUINE AMENITY
 PREPARED FOR
 ON TOP OF THE WORLD
 COMMUNITY L.L.C.
 WINTER HAVEN, FLORIDA

GRADING MASTER PLAN

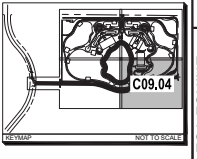
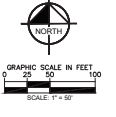
C09.03
 SHEET NUMBER
 WINTER HAVEN, FLORIDA





DRA 01
 TOP = 68.00
 BTM = 61.00

NO.	REVISIONS	DATE



Kimley-Horn

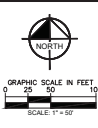
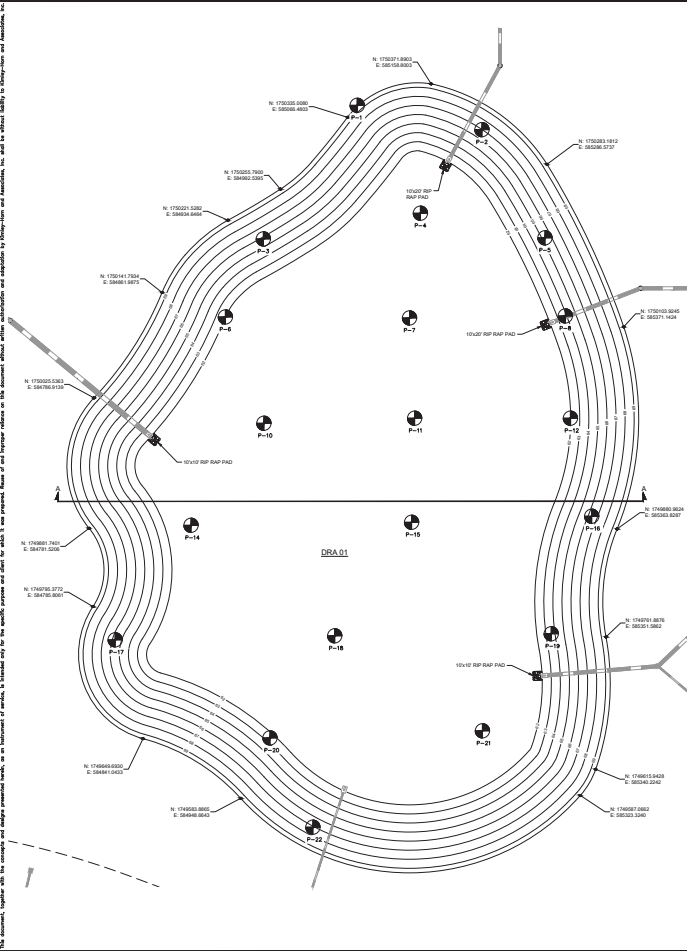
1000 WEST BAY STREET, SUITE 200
 TAMPA, FLORIDA 33606
 TEL: 813.289.7700
 WWW.KIMLEY-HORN.COM

GRADING MASTER PLAN

CALESA EQUINE AMENITY
 PREPARED FOR
 ON TOP OF THE WORLD
 COMMUNITY L.L.C.
 HAMILTON COUNTY, FLORIDA

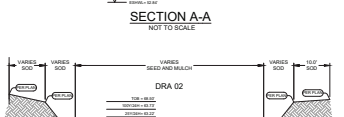
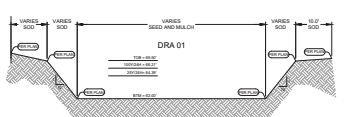
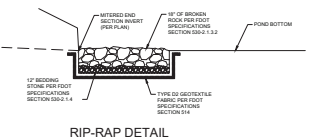
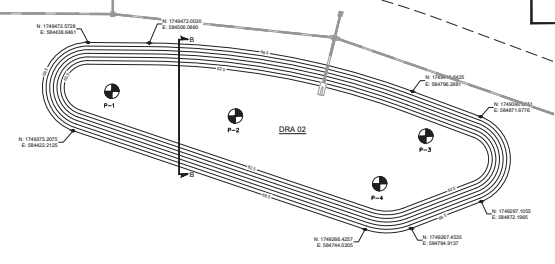
SHEET NUMBER
C09.04

NOTED: ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.



CONTIGUOUS SUMMARY:
 THE DESIGNER HAS REVIEWED THE CALESA EQUINE AMENITY PROJECT AND HAS ADVISED THAT THE STORMWATER RETENTION POND (DRA) IS A SWAY RETENTION FACILITY THAT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CALESA EQUINE AMENITY PROJECT MANUAL FOR THE CALESA EQUINE AMENITY PROJECT PREPARED FOR ON TOP OF THE WORLD COMMUNITY L.L.C. BY HORN & HORNE AND ASSOCIATES, INC.

1. STORMWATER RETENTION POND (DRA) IS DESIGNED TO BE TRIPLE STORMWATER. THE POND IS SUBJECT TO FLOODING FROM CONSTRUCTION EQUIPMENT. THEREFORE, THE POND SHALL BE CONSTRUCTED TO THE FOLLOWING:
 - a) INITIAL ELEVATION RETENTION POND TO AN ELEVATION THAT IS APPROXIMATELY 1 FOOT HIGHER THAN THE FINAL FLOOR FINISH ELEVATION.
 - b) AFTER THE DRAINAGE AREA CONTRIBUTING TO THE POND IS ESTABLISHED, CALCULATE THE REMAINING AREA CONTRIBUTING TO THE POND AND RE-EVALUATE THE POND'S ELEVATION. THE POND SHALL BE RE-EVALUATED IN A MANNER TO ENSURE THAT THE POND'S ELEVATION AND OTHER ALL SECTIONS THAT ARE AFFECTED BY THE POND'S ELEVATION ARE RE-EVALUATED.
 - c) ALL MATERIAL SHALL BE PLACED IN LEVEL LIFTS NO GREATER THAN THREE (3) FEET. EACH LIFT SHALL BE COMPACTED TO NINETY (90) PERCENT OF THE MAXIMUM ALLOWED PROCTOR DRY DENSITY. DENSITY TESTS SHALL BE PERFORMED ON EACH LIFT TO CONFIRM REQUIRED COMPACTION. RECORD THE PLACEMENT OF THE LIFTING BY THE GEOTECHNICAL REPORT, PROVIDED BY GEO-TECH, INC. ON AUGUST 4, 2020.
 - d) RIP-RAP PADS SHALL BE PLACED A MINIMUM OF 6" THICK TO THE DIMENSIONS SHOWN ON THE DRAWING AND SHALL BE ENCASED IN 3" THICK TYPE III PORTLAND CEMENT CONCRETE. SEE TYPICAL RIP-RAP DETAIL ON SHEET C09.05.



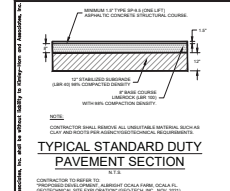
NO.	DATE	REVISIONS

Kimley-Horn
 CONSULTING ENGINEERS
 10000 WEST 10TH AVENUE, SUITE 300
 DENVER, COLORADO 80202

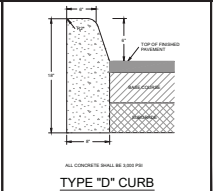
OWNER: CALESA EQUINE AMENITY
 PROJECT: CALESA EQUINE AMENITY
 SHEET: C09.05
 DATE: 08/04/2020

POND DETAILS

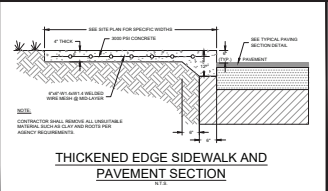
CALESA EQUINE AMENITY
 PREPARED FOR
 ON TOP OF THE WORLD COMMUNITY L.L.C.
 HORN & HORNE AND ASSOCIATES, INC.
 FLORIDA
 SHEET NUMBER
C09.05



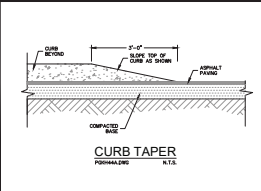
TYPICAL STANDARD DUTY PAVEMENT SECTION
N.T.S.



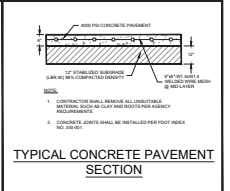
TYPE 'D' CURB
FOURTEENING N.T.S.



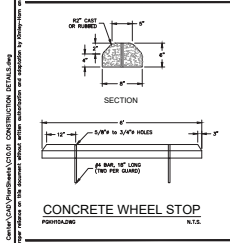
THICKENED EDGE SIDEWALK AND PAVEMENT SECTION
N.T.S.



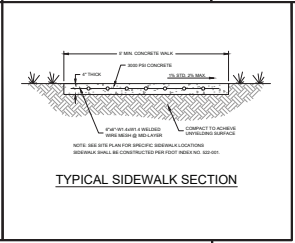
CURB TAPER
FOURTEENING N.T.S.



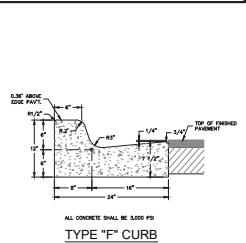
TYPICAL CONCRETE PAVEMENT SECTION
N.T.S.



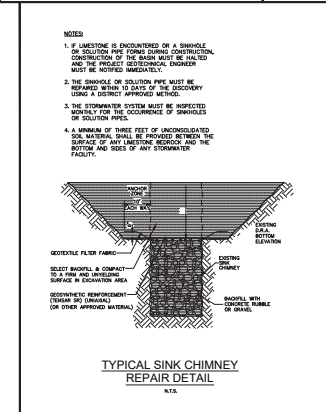
CONCRETE WHEEL STOP
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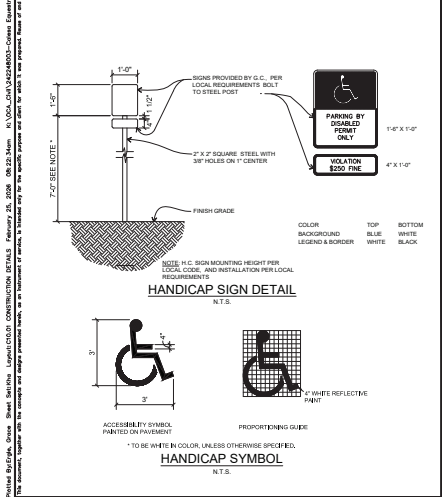
TYPICAL SIDEWALK SECTION
N.T.S.



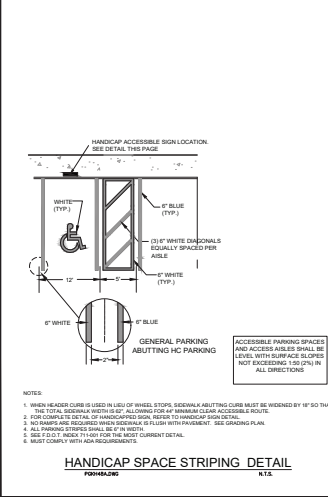
TYPE 'F' CURB
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TYPICAL SINK CHIMNEY REPAIR DETAIL
N.T.S.



HANDICAP SIGN DETAIL
N.T.S.

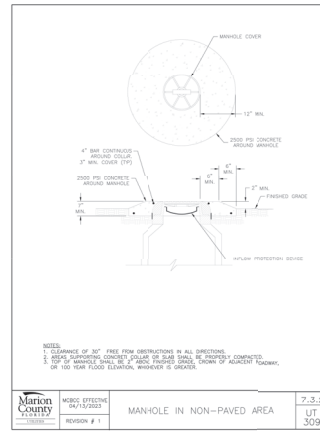
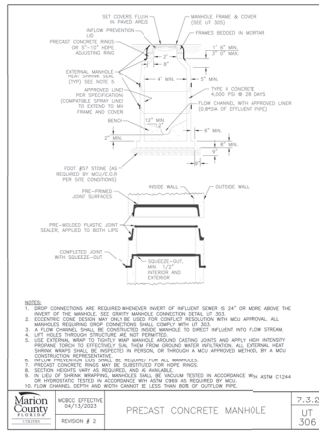
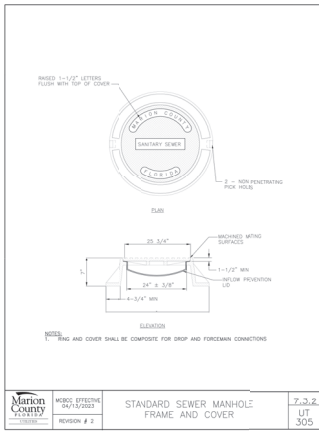
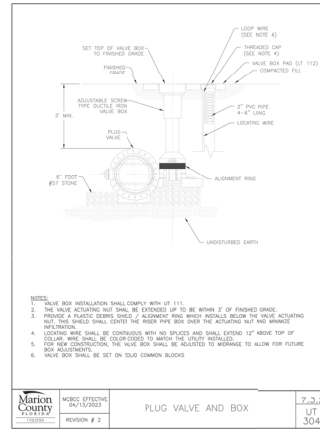
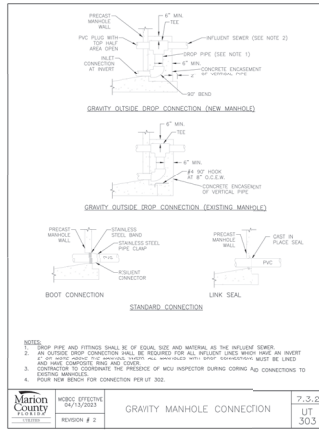
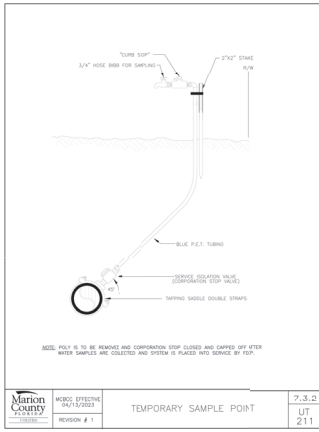


HANDICAP SPACE STRIPING DETAIL
FOURTEENING N.T.S.

Prepared by: [Firm Name] - [Address] - [City, State, Zip] - [Phone] - [Fax] - [Website] - [Email] - [Date] - [Revision]

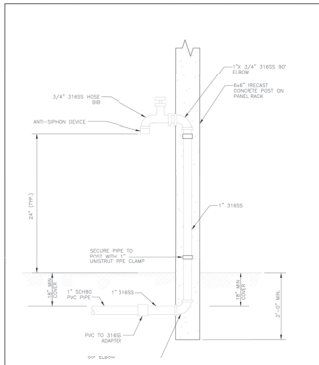
	CONSTRUCTION DETAILS
CALESA EQUINE AMENITY PREPARED FOR ON TOP OF THE WORLD COMMUNITY L.L.C.	SHEET NUMBER C10.01

Prepared by: **James R. Smith, P.E.**, **Professional Engineer**, License No. 10000, State of Florida, 11150 E. Lake Nona Blvd., Suite 100, Lake Nona, FL 32159
 Project: **7.3.3.2 UT 211**
 Date: **09/15/2023**
 Revision: **1**
 Description: **TEMPORARY SAMPLE POINT**
 Scale: **AS SHOWN**
 Notes: **SEE NOTES AND SPECIFICATIONS FOR MATERIALS AND CONSTRUCTION. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE SPECIFIED. DIMENSIONS IN PARENT PARENTHESIS ARE FOR INFORMATION ONLY. DIMENSIONS IN BRACKETED PARENTHESIS ARE FOR INFORMATION ONLY. DIMENSIONS IN PARENT PARENTHESIS ARE FOR INFORMATION ONLY. DIMENSIONS IN BRACKETED PARENTHESIS ARE FOR INFORMATION ONLY.**

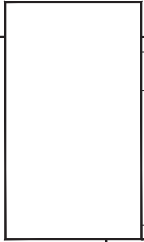


	CALESA EQUINE AMENITY PREPARED FOR ON TOP OF THE WORLD COMMUNITY L.L.C. FLORIDA
LARRY F. HORN, P.E. GREG BRINDLEY, P.E. 70507	UTILITY DETAILS
SHEET NUMBER C11.02	DATE

Project: Callesa Equine Amenity, Marion County, Florida. Prepared by: Kimley-Horn and Associates, Inc. (KHA) for Callesa Equine Amenity, Marion County, Florida. Date: 04/15/2023. Scale: As Shown. KHA warrants that the information contained herein was prepared by KHA in accordance with the professional standards and practices of the engineering profession and that the information is true and correct to the best of KHA's knowledge and belief. KHA warrants that the information is true and correct to the best of KHA's knowledge and belief. KHA warrants that the information is true and correct to the best of KHA's knowledge and belief.



	MODEL EFFECTIVE 04/15/2023	40SE BIBB ASSEMBLY	7.3.2
	REVISION # 1		UT 508



NO.	REVISION	DATE

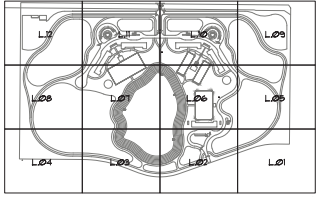


LARRY J. HORN, P.E. LICENSED PROFESSIONAL ENGINEER 70507	DONALD R. HORN, P.E. LICENSED PROFESSIONAL ENGINEER 70507
--	---

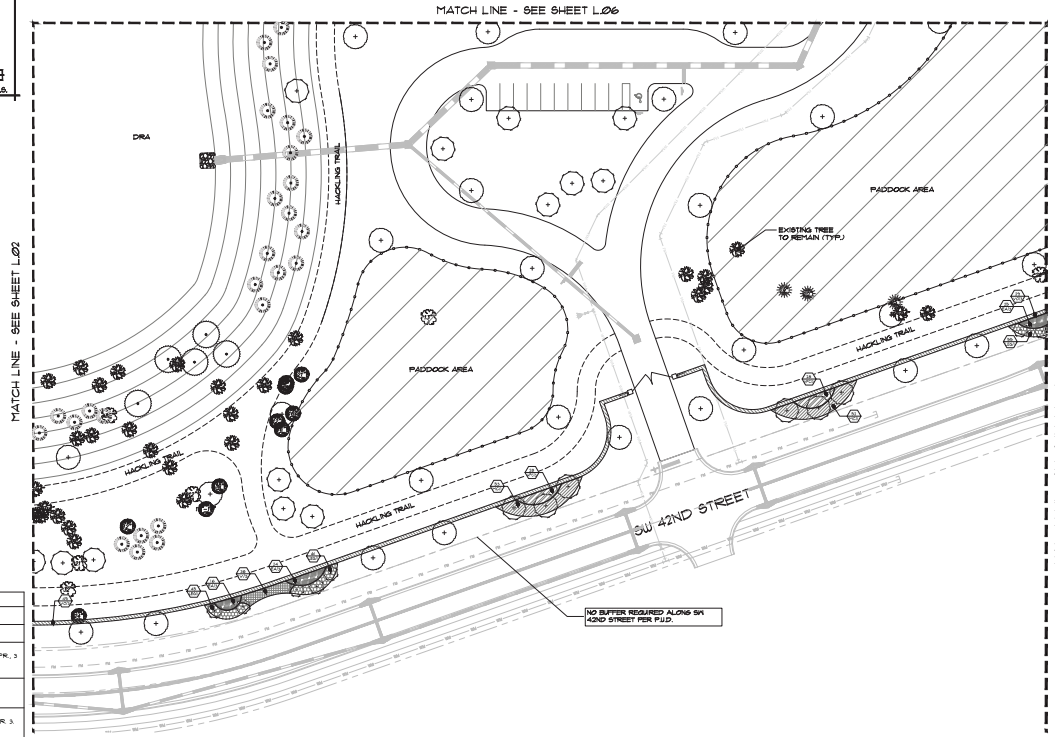
UTILITY DETAILS

CALESA EQUINE AMENITY
 PREPARED FOR
 ON TOP OF THE WORLD COMMUNITY L.L.C.
 MARION COUNTY, FLORIDA

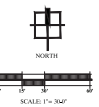
SHEET NUMBER
C11.03



SHEET KEY MAP



PLANT SCHEDULE		
SYMBOL	COMMON NAME	REMARKS
CANOPY TREES		
(Symbol: Circle with a dot)	BALD CYPRRESS	45 GAL. OR RFG. 13'-14' HT., 6"-1" DBH, 3'-10" CAL. PIN. NATIVE
(Symbol: Circle with a star)	DENSA SLASH PINE	DBS, 1'-8" X 3'-4", 3'-10" CAL. PIN.
(Symbol: Circle with a cross)	SOUTHERN LIVE OAK	45 GAL. OR RFG. 12'-13' HT., 6"-1" DBH, 3'-10" CAL. PIN.
(Symbol: Circle with a plus)	SOUTHERN MAGNOLIA	CONT. OR RFG. 15' HT., 1'-8" DBH, 3'-3" 1/2" CAL., 2'-10" DBH. PIN. PER CITY CODE
UNDERSTORY TREES		
(Symbol: Circle with a dot and cross)	JAPANESE PRIVET	RFG. 8'-5" X 6'-5" "MULTI-TRUNK" 5" TRUNKS PIN. 1" CAL. PER TRUNK. TOTAL DB OF 5" CAL. FOR ALL TRUNKS COINED TOGETHER AND SPHEREGALLY PRUNED.
(Symbol: Circle with a cross and dot)	LAVENDER GRAPE HYDRATE - STANDARD	45 GAL. 1'-8" X 4'-9", 3" CAL. PIN. STANDARD



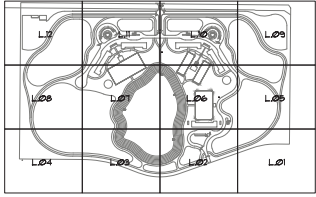
NO.	DATE	DESCRIPTION

Caleta Equestrian Facility
 MAJOR SITE PLAN
 PERMIT PLANS
 MADISON COUNTY, FLORIDA
 PROJECT NO. 2016-0000003
 KIMBERLY HERR
 LANDSCAPE PLAN

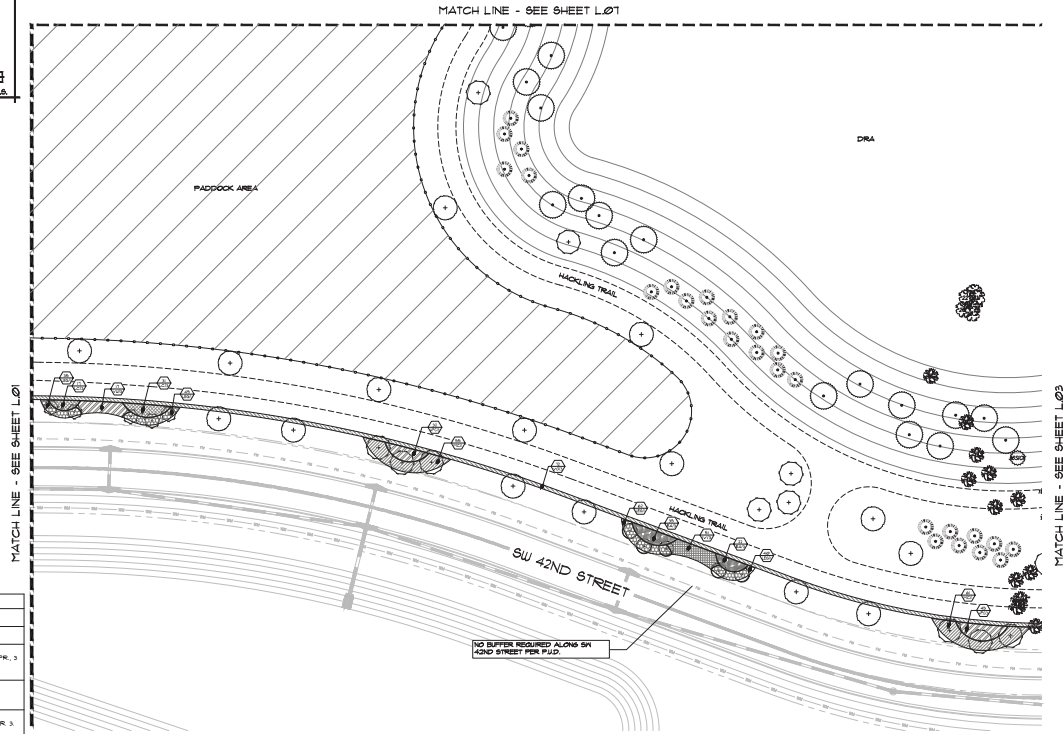


DATE: 02-02-2016
 PROJECT NO.: KH0026-09.01
 DRAWN BY: JWS/JHB
 DESIGNED BY: JHB
 CHECKED BY: JHB

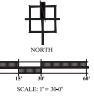
SHEET NO.
L.02



SHEET KEY MAP



PLANT SCHEDULE		
SYMBOL	COMMON NAME	REMARKS
CANOPY TREES		
(Symbol)	BALD CYPRRESS	45 GAL. OR RFG. 13'-14' HT., 6"-1" DBH, 3 1/2" CAL. PN. NATIVE
(Symbol)	DENSA SLASH PINE	DBS, 1'-8" X 3'-4", 3 1/2" CAL. PN.
(Symbol)	SOUTHERN LIVE OAK	45 GAL. OR RFG. 12'-13' HT., 6"-1" DBH, 3 1/2" CAL. PN.
(Symbol)	SOUTHERN MAGNOLIA	CONT. OR RFG. 15' HT., 1'-8" DBH, 3'-3 1/2" CAL., 2 1/2" DBH. PN. PER CITY CODE
UNDERSTORY TREES		
(Symbol)	JAPANESE PRIVET	RFG. 8"-9" X 8"-9" "MULTI-TRUNK" 5" TRUNKS PER 1" CAL. PER TRUNK. TOTAL OF 4" CAL. FOR ALL TRUNKS COMBINED. TIGHTLY AND SYMMETRICALLY PRUNED.
(Symbol)	LAVENDER DRAPE HYDRANGEA - STANDARD	45 GAL. 1'-8" X 4'-9", 3" CAL. PN. STANDARD



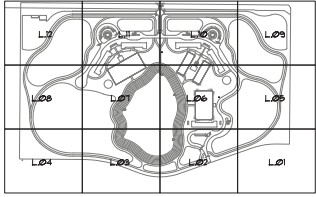
NO.	DATE	DESCRIPTION

Calesa Equestrian Facility
 MAJOR SITE PLAN
 PERMIT PLANS
 MADISON COUNTY, FLORIDA
 PROJECT NO. 02-02-2026
 KHA026-09.01



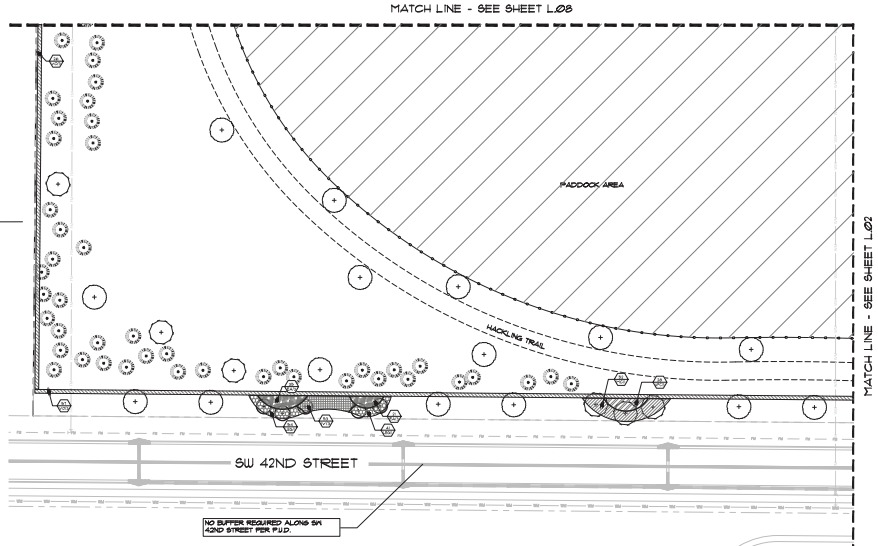
DATE:	02-02-2026
PROJECT NO.:	KHA026-09.01
DRAWN BY:	JWS/JHB
DESIGNED BY:	JHB
CHECKED BY:	JHB

SHEET NO.
L.03

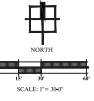


SHEET KEY MAP

NO BUFFER REQUIRED PER P.U.D.



PLANT SCHEDULE		
SYMBOL	COMMON NAME	REMARKS
CANOPY TREES		
(Symbol: Circle with dot)	BALD CYPRESS	45 GAL. OR RFG. 13'-14' HT., 6"-1" DBH., 3 1/2" CAL. PIN. NATIVE
(Symbol: Circle with star)	DENSA SLASH PINE	DBB, 1'-8" X 3'-4", 3 1/2" CAL. PIN.
(Symbol: Circle with cross)	SOUTHERN LIVE OAK	45 GAL. OR RFG. 12'-13' HT., 6"-1" DBH., 3 1/2" CAL. PIN.
(Symbol: Circle with plus)	SOUTHERN MAGNOLIA	CONT. OR RFG. 15' HT., 1'-8" DBH., 3'-3 1/2" CAL., 2 1/2" DBH. PIN. PER CITY CODE
UNDERSTORY TREES		
(Symbol: Circle with vertical line)	JAPANESE PRIVET	RFG. 6'-5" X 6'-5" "MULTI-TRUNK" 5" TRUNKS PIN. 1" CAL. PER TRUNK. TOTAL DBH. 5" CAL. FOR ALL TRUNKS COINED, TIGHTLY AND SYMMETRICALLY PRUNED.
(Symbol: Circle with horizontal line)	LAVENDER DRAPE HYDRANGEA - STANDARD	45 GAL., 1'-8" X 4'-9", 3" CAL. PIN. STANDARD



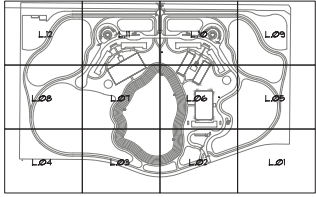
NO.	DATE	DESCRIPTION

Calea Equestrian Facility
 MAJOR SITE PLAN
 PERMIT PLANS
 MADISON COUNTY, FLORIDA
 KIMBLE HORN
 LANDSCAPE PLAN

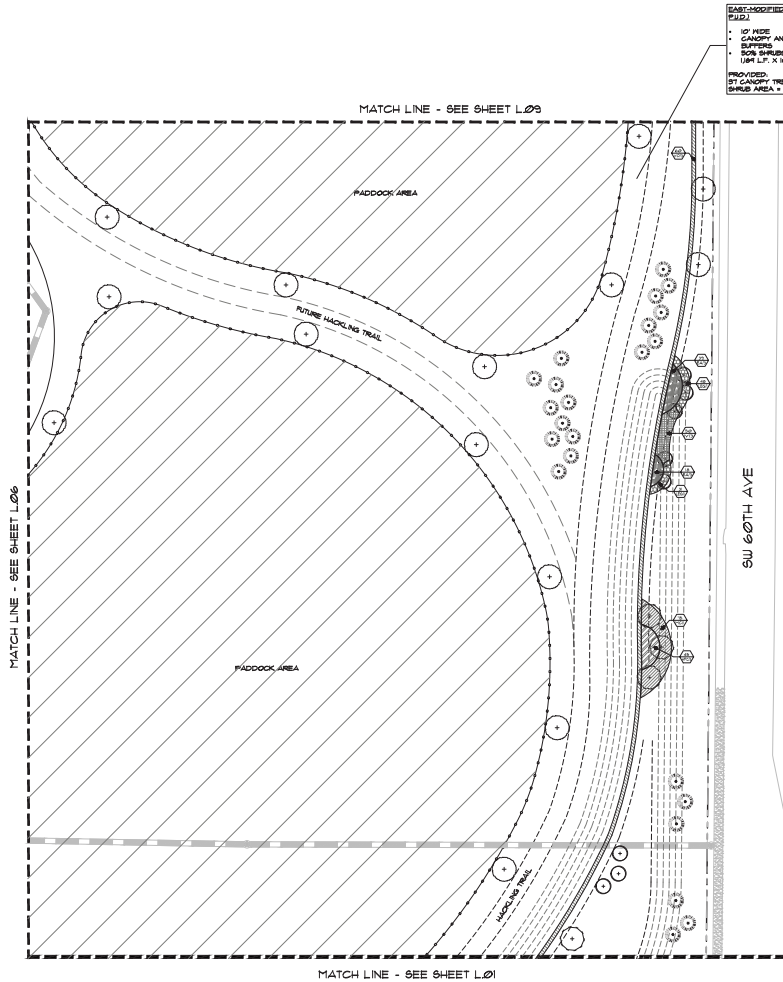


DATE:	02-02-2026
PROJECT NO.:	KHA026-09.01
DRAWN BY:	JWS/JHB
DESIGNED BY:	JHB
CHECKED BY:	JHB

SHEET NO.
L.04



SHEET KEY MAP

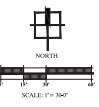


LAST-MODIFIED TYPE C-BUFFER (UM I.P.) BUFFER REQUIREMENT PER F.U.D.

- 12" BURE
- CANOPY AND UNDERSTORY TREES TO COMPARABLE TO SIMILAR O.T.O.M
- SHRUBS
- ROCK SHRUBS AND GROUNDCOVER PLANTINGS
- 1.0M L.P. X 1.0" = 1.0M D.P. X .50" = 2.0M B.C. OF PLANTING

PROVIDED:
 21 CANOPY TREES, 21 PROPOSED UNDERSTORY TREES, AND PROPOSED THESE AREA = 5.0M B.C.

PLANT SCHEDULE		
SYMBOL	COMMON NAME	REMARKS
CANOPY TREES		
(Symbol)	BALD CYPRESS	45 GAL. OR RFG. 13'-14' HT., 6"-1" DBH, 3 1/2" CAL. PIN. NATIVE
(Symbol)	DENSA SLASH PINE	DBS, 1'-8" X 3'-4", 3 1/2" CAL. PIN.
(Symbol)	SOUTHERN LIVE OAK	45 GAL. OR RFG. 12'-13' HT., 6"-1" DBH, 3 1/2" CAL. PIN.
(Symbol)	SOUTHERN MAGNOLIA	CONT. OR RFG. 15' HT., 1'-8" DBH, 3'-3 1/2" CAL., 2 1/2" DBH. PIN. PER CITY CODE
UNDERSTORY TREES		
(Symbol)	JAPANESE PRIVET	RFG. 8'-5" X 6'-5" "MULTI-TRUNK" 5" TRUNKS PIN. 1" CAL. PER TRUNK. TOTAL DB. 6" CAL. FOR ALL TRUNKS COMPACTED TIGHTLY AND SYMMETRICALLY PRUNED.
(Symbol)	LAVENDER GRAPE HYDRATE - STANDARD	45 GAL. 1'-8" X 4'-9", 2" CAL. PIN. STANDARD



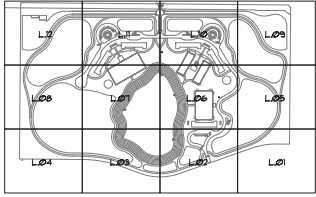
NO.	DATE	DESCRIPTION

Calesa Equestrian Facility
 MAJOR SITE PLAN
 PERMIT PLANS
 MADISON COUNTY, FLORIDA
 KIMBLE HORN
 LANDSCAPE PLAN

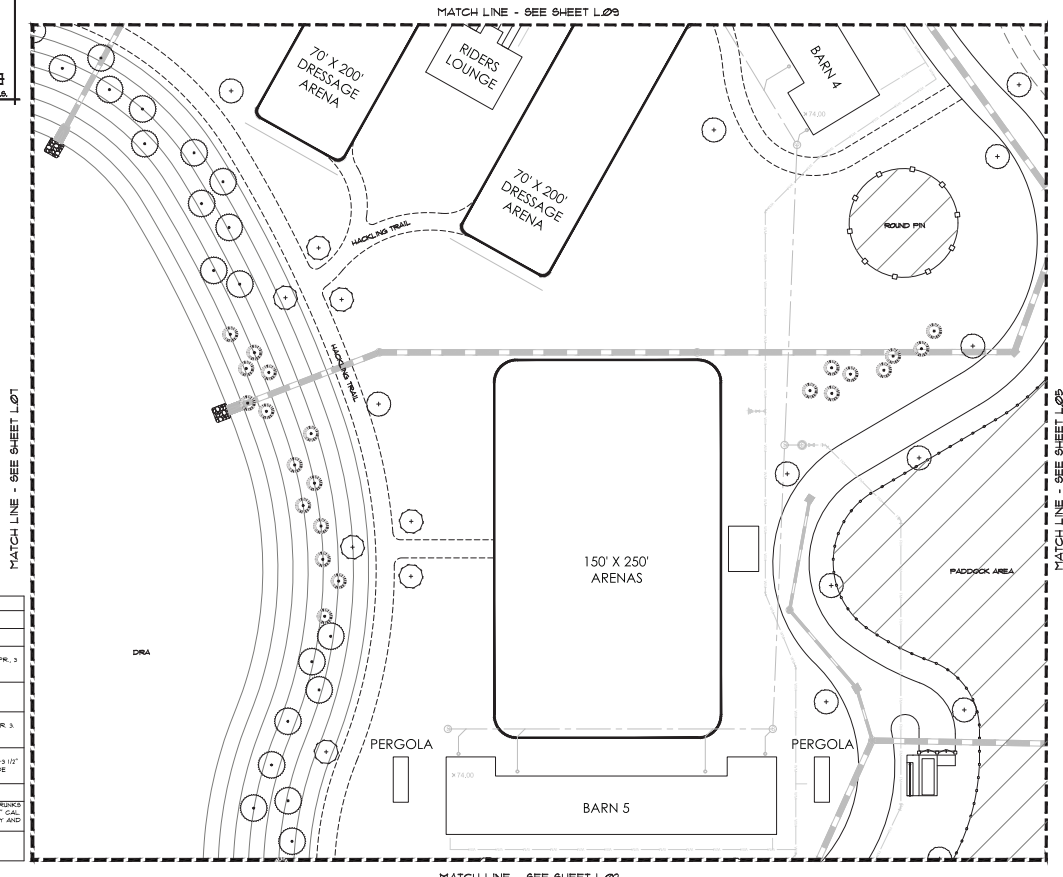


DATE	02-02-2026
PROJECT NO.	KHA026-09-01
DRAWN BY	JWS/JHB
DESIGNED BY	JHB
CHECKED BY	JHB

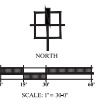
SHEET NO.
L.05



SHEET KEY MAP



PLANT SCHEDULE		
SYMBOL	COMMON NAME	REMARKS
GANOPY TREES		
(Symbol)	BALD CYPRRESS	45 GAL. OR RFG. 13'-14' HT., 6"-1" SFR. 3 1/2" GAL. P.N. NATIVE
(Symbol)	DENSA SLASH PINE	660, 1'-8" X 3'-4", 3 1/2" GAL. P.N.
(Symbol)	SOUTHERN LIVE OAK	45 GAL. OR RFG. 12'-13' HT., 6"-1" SFR. 3 1/2" GAL. P.N.
(Symbol)	SOUTHERN MAGNOLIA	CONT. OR RFG. 15' HT., 1'-8" SFR., 3'-3 1/2" GAL., 2 1/2" DEN. P.N., PER CITY CODE
UNDERSTORY TREES		
(Symbol)	JAPANESE PRIVET	RFG. 8'-5" X 6'-5" FULLY-BRANCHED TRUNKS P.N. 1" GAL. PER TRUNK, TOTAL 8" P. GAL. FOR ALL TRUNKS CORNED, TIGHTLY AND SYMMETRICALLY BRANCHED
(Symbol)	LAVENDER DRAPE HYDRANGEA - STANDARD	45 GAL., 1'-8" X 4'-9", 3" GAL. P.N. STANDARD



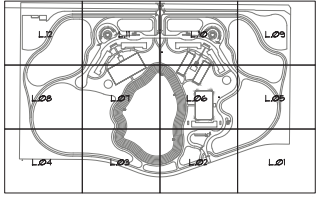
NO.	DATE	DESCRIPTION

Calea Equestrian Facility
 MAJOR SITE PLAN
 PERMIT PLANS
 MADISON COUNTY, FLORIDA
 KIMBERLY HERR
 LANDSCAPE PLAN

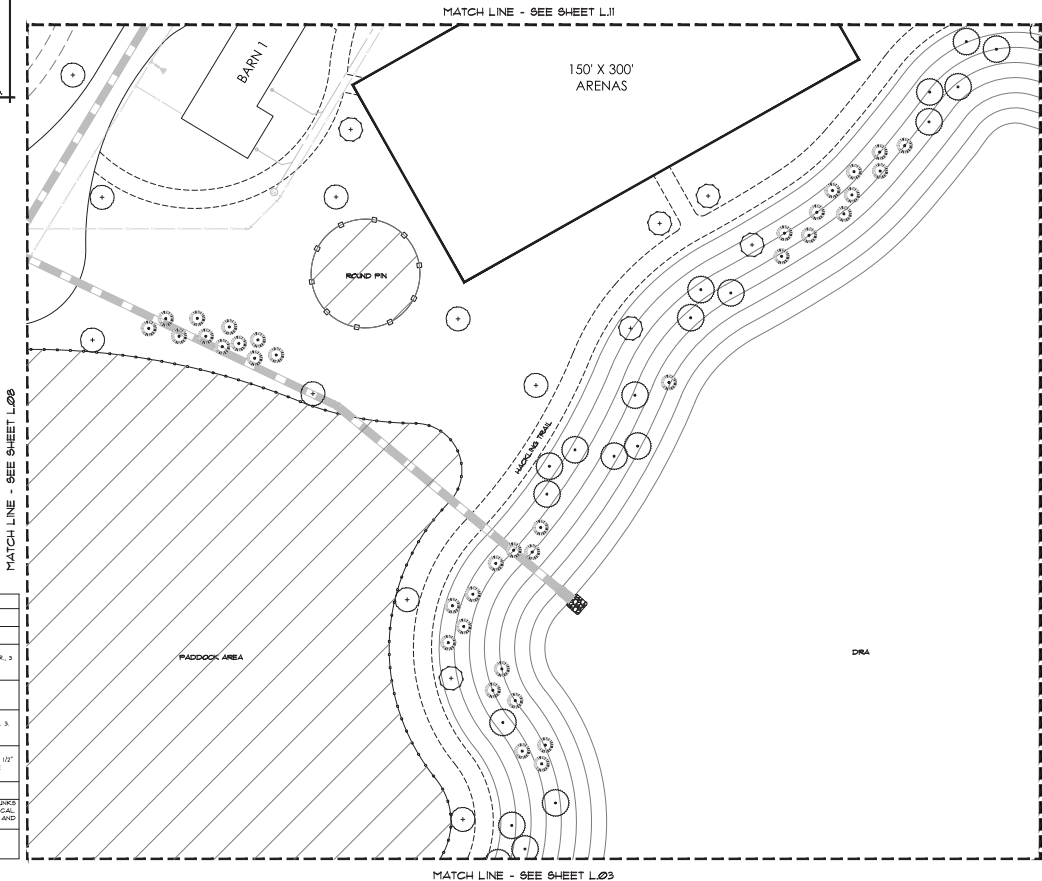


DATE: 02-02-2026
 PROJECT NO.: KHA026-09.01
 DRAWN BY: JWS/JHB
 DESIGNED BY: JHB
 CHECKED BY: JHB

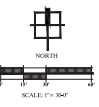
SHEET NO.
L.06



SHEET KEY MAP



PLANT SCHEDULE		
SYMBOL	COMMON NAME	REMARKS
CANOPY TREES		
(Symbol)	BALD CYPRRESS	45 GAL. OR RFG. 13'-14' HT., 6"-1" DBH, 3 1/2" CAL. PIN. NATIVE
(Symbol)	DENSA SLASH PINE	DBS, 1'-8" X 3'-4", 3 1/2" CAL. PIN.
(Symbol)	SOUTHERN LIVE OAK	45 GAL. OR RFG. 12'-13' HT., 6"-1" DBH, 3 1/2" CAL. PIN.
(Symbol)	SOUTHERN MAGNOLIA	CONT. OR RFG. 15' HT., 1'-8" DBH, 3'-3 1/2" CAL., 2 1/2" DBH. PIN. PER CITY CODE
UNDERSTORY TREES		
(Symbol)	JAPANESE PRIVET	RFG. 8'-5" X 6'-5" "MULTI-TRUNK" 5" TRUNKS PIN. 1" CAL. PER TRUNK. TOTAL DBH. 6" CAL. FOR ALL TRUNKS COINED TOGETHER AND SPHEREGALLY PRUNED.
(Symbol)	LAVENDER DRAPE HYDRATE - STANDARD	45 GAL., 1'-8" X 4'-9", 2" CAL. PIN. STANDARD



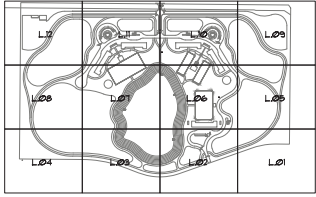
NO.	DATE	DESCRIPTION

Caleta Equestrian Facility
 MAJOR SITE PLAN
 PERMIT PLAN
 MADISON COUNTY, FLORIDA
 KIMBERLY HERR
 LANDSCAPE PLAN

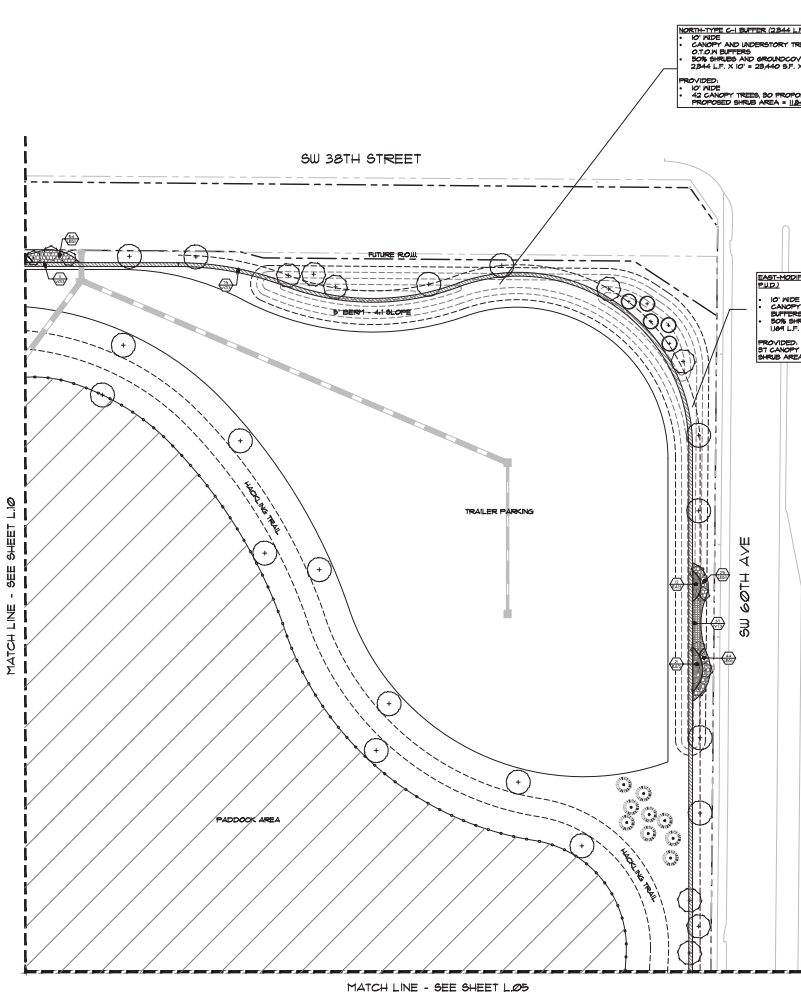


DATE: 02-02-2026
 PROJECT NO: KHA026-09-01
 DRAWN BY: JWS/JHB
 DESIGNED BY: JHB
 CHECKED BY: JHB

SHEET NO.
L.07



SHEET KEY MAP



NORTH-TYPE C-1 BUFFER (2844 L.F.) BUFFER REQUIREMENT PER F.P.D.

- 27' WIDE CANOPY AND UNDERSTORY TREES TO COMPARABLE TO SIMILAR O.T.O.N. BUFFER.
- 20% SHRUBS AND GROUNDCOVER PLANTING
- 2844 L.F. X 10' X 28,440 S.F. X .80 = 1,822 S.F. OF PLANTING

PROVIDED:

- 12' WIDE
- 42 CANOPY TREES, 80 PROPOSED UNDERSTORY TREES, AND PROPOSED SHRUB AREA = 1,822 S.F.

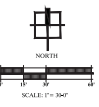
EAST-MODIFIED TYPE C-1 BUFFER (1048 L.F.) BUFFER REQUIREMENT PER F.P.D.

- 10' WIDE CANOPY AND UNDERSTORY TREES TO COMPARABLE TO SIMILAR O.T.O.N. BUFFER.
- 20% SHRUBS AND GROUNDCOVER PLANTING
- 1048 L.F. X 10' X 10,480 S.F. X .80 = 838 S.F. OF PLANTING

PROVIDED:

- 57 CANOPY TREES, 80 PROPOSED UNDERSTORY TREES, AND PROPOSED SHRUB AREA = 838 S.F.

PLANT SCHEDULE		
SYMBOL	COMMON NAME	REMARKS
CANOPY TREES		
(Symbol)	DALE CYPRRESS	65 GAL. OR RFG. 13'-14' HT., 6"-1" SFR., 3 1/2" GAL. PIN. NATIVE
(Symbol)	DENSA SLASH PINE	65 G., 7'-8' X 3'-4", 3 1/2" GAL. PIN.
(Symbol)	SOUTHERN LIVE OAK	65 GAL. OR RFG. 12'-13' HT., 6"-1" SFR., 3 1/2" GAL. PIN.
(Symbol)	SOUTHERN MAGNOLIA	65 GAL. OR RFG. 15' HT., 1'-8" SFR., 3'-3 1/2" GAL., 2 1/2" DEN. PIN. PER CITY CODE
UNDERSTORY TREES		
(Symbol)	JAPANESE PRIVET	RFG. 8'-5' X 6'-5" "MULTI-TRUNK" 5" TRUNKS PER 1" CAL. PER TRUNK. TOTAL 8" CAL. FOR ALL TRUNKS COINED, TIGHTLY AND SYMMETRICALLY PRUNED.
(Symbol)	LAVENDER GRAPE HYDRATE - STANDARD	45 GAL. 7'-8' X 4'-9", 3" GAL. PIN. STANDARD



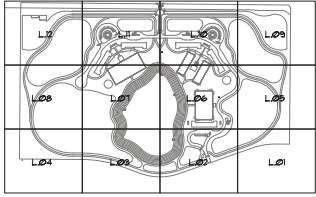
NO.	DATE	DESCRIPTION

Calea Equestrian Facility
 LANDSCAPE PLAN
 PERMIT PLANS
 MADISON COUNTY, FLORIDA
 Kandy Hearn



DATE: 02-02-2026
 PROJECT NO: KHA026-09-01
 DRAWN BY: JWS/JHB
 DESIGNED BY: JHB
 CHECKED BY: JHB

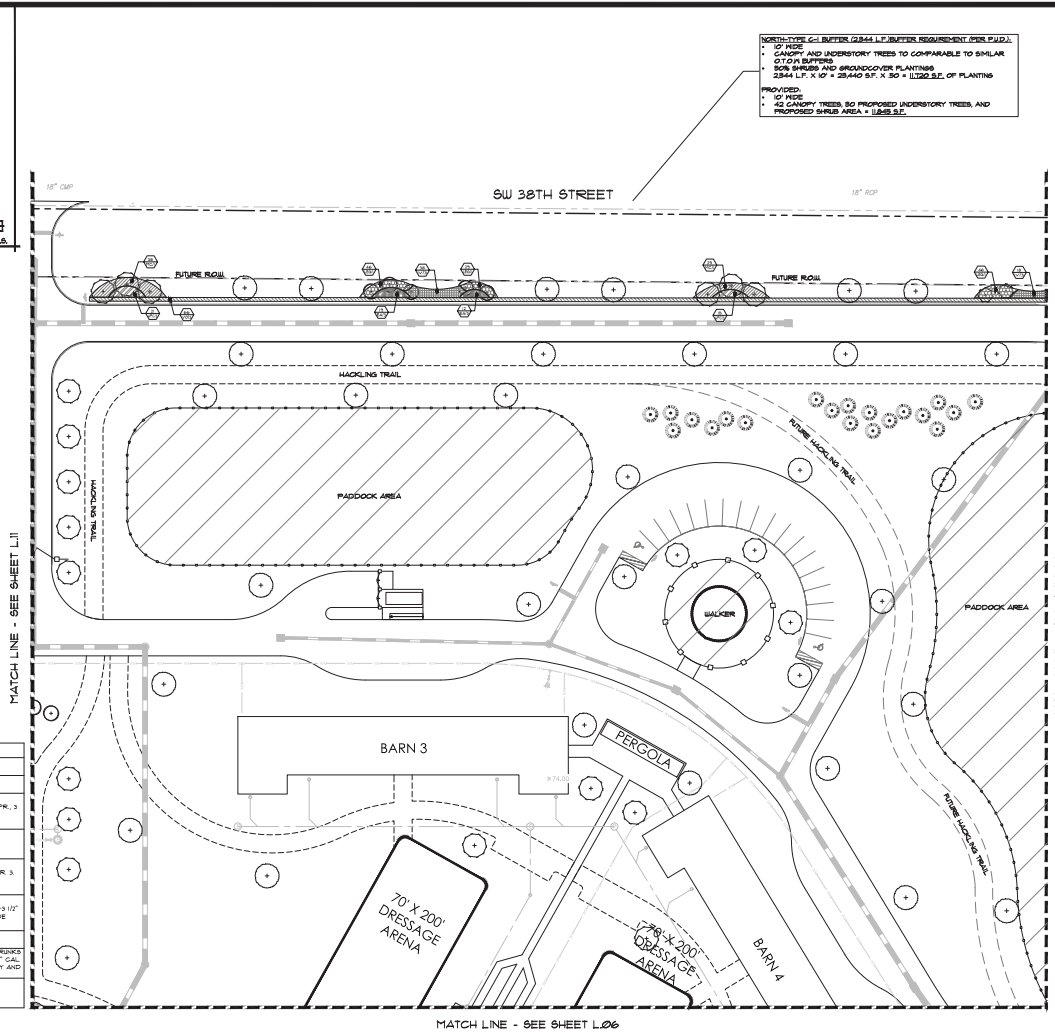
SHEET NO.
L.09



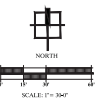
SHEET KEY MAP

NORTH-TYPE C-3 BUFFER (2544 L.P. BUFFER REQUIREMENT PER P.U.D.)

- 10' WIDE
- CANOPY AND UNDERSTORY TREES TO COMPARABLE TO SIMILAR CITY BUFFER
- 50% SHRUBS AND GROUNDCOVER PLANTINGS
- 25% 1.5' X 1.5' + 25% 40" HT. X 30" + 10% D.B.E. OF PLANTING PROVIDED
- 10' WIDE
- 40% CANOPY TREES, 50% PROPOSED UNDERSTORY TREES AND PROPOSED SHRUB AREA + 10% D.B.E.



PLANT SCHEDULE		
SYMBOL	COMMON NAME	REMARKS
CANOPY TREES		
(Symbol)	BALD CYPRESS	45 GAL. OR RFG. 13'-14' HT., 6"-1" DBH, 3" 10" GAL. PIN. NATIVE
(Symbol)	DENSA SLASH PINE	DBO, 1'-8" X 3'-4", 3" 10" GAL. PIN.
(Symbol)	SOUTHERN LIVE OAK	45 GAL. OR RFG. 12'-13' HT., 6"-1" DBH, 3" 10" GAL. PIN.
(Symbol)	SOUTHERN MAGNOLIA	CONT. OR RFG. 15' HT., 1'-8" DBH, 3'-3" 10" GAL., 2" 10" DEN. PIN. PER CITY CODE
UNDERSTORY TREES		
(Symbol)	JAPANESE PRIVET	RFG. 8'-5" X 8'-5" "MULTI-TRUNK" 5" TRUNKS PER 1" CAL. PER TRUNK. TOTAL DBH 8" CAL. FOR ALL TRUNKS COMPACTED TIGHTLY AND SYMMETRICALLY PRUNED.
(Symbol)	LAVENDER DRAPE HYDRATE - STANDARD	45 GAL. 1'-8" X 4'-9", 3" CAL. PIN. STANDARD



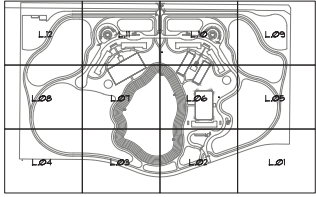
NO.	DATE	DESCRIPTION

Calea Equestrian Facility
 MAJOR SITE PLAN
 PERMIT PLANS
 MADISON COUNTY, FLORIDA
 KIMBERLY HERR
 LANDSCAPE PLAN



DATE: 02-02-2026
 PROJECT NO: KHA026-09-01
 DRAWN BY: JWS/JHB
 DESIGNED BY: JHB
 CHECKED BY: JHB

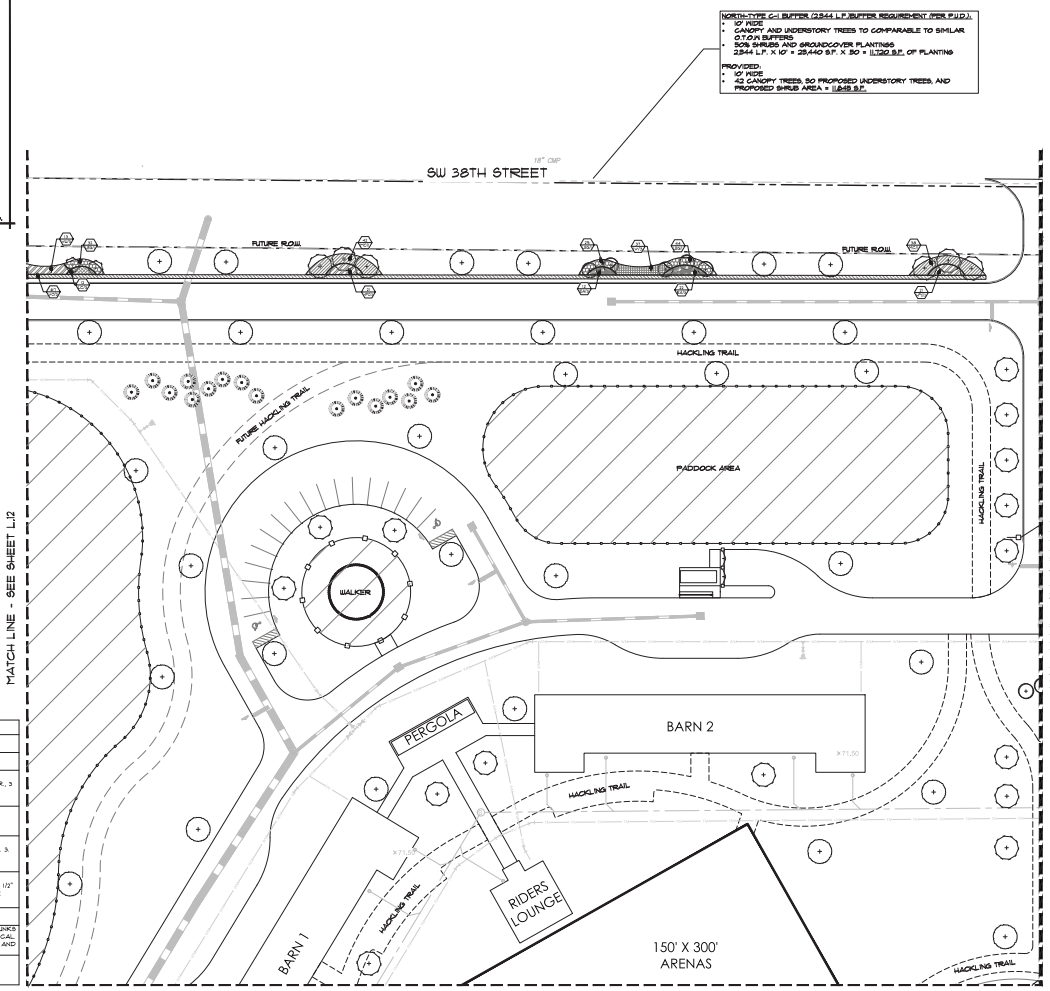
SHEET NO.
L.10



SHEET KEY MAP

NORTH-TYPE C-1 BUFFER (2544 L.P. BUFFER REQUIREMENT PER F.A.P.D.)

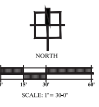
- 5' OF BUIE
- CANOPY AND UNDERSTORY TREES TO COMPARABLE TO SIMILAR
- 0.75' DIA BUFFER
- 50% SHRUBS AND GROUNDCOVER PLANTINGS
- 2544 L.P. X 10' X 20' AND 8' X 80' = 1/2500 L.P. OF PLANTING PROVIDED.
- 12' OF BUIE
- 42 CANOPY TREES, 50 PROPOSED UNDERSTORY TREES, AND PROPOSED SHRUB AREA = 1/2544 L.P.



MATCH LINE - SEE SHEET L.12

MATCH LINE - SEE SHEET L.10

PLANT SCHEDULE		
SYMBOL	COMMON NAME	REMARKS
CANOPY TREES		
(Symbol)	BALD CYPRESS	45 GAL. OR RFG. 13'-14' HT., 6"-1" DBH, 3" 10" GAL. PIN. NATIVE
(Symbol)	DENSA SLASH PINE	6" DB, 1'-8" X 3'-4", 3" 10" GAL. PIN.
(Symbol)	SOUTHERN LIVE OAK	45 GAL. OR RFG. 12'-13' HT., 6"-1" DBH, 3" 10" GAL. PIN.
(Symbol)	SOUTHERN MAGNOLIA	60" DB. OR RFG. 15' HT., 1'-8" DBH, 3'-3" 10" GAL., 2" 10" DBH. PIN. PER CITY CODE
UNDERSTORY TREES		
(Symbol)	JAPANESE PRIVET	RFG. 6"-8" X 6"-8" "KILL-TRUNK" 5" TRUNKS PER 1" CAL. PER TRUNK. TOTAL DBH 8" DBH. FOR ALL TRUNKS COINED, TIGHTLY AND SPHEREGICALLY PRUNED.
(Symbol)	LAVENDER GRAPE HYDRATE - STANDARD	45 GAL. 1'-8" X 4'-9", 3" GAL. PIN. STANDARD



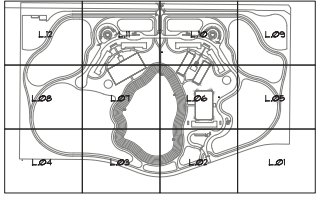
NO.	DATE	DESCRIPTION

Calea Equestrian Facility
 MAJOR SITE PLAN
 PERMIT PLAN
 MADISON COUNTY, FLORIDA
 KIMBERLY HERR
 LANDSCAPE PLAN



DATE: 02-02-2026
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SHEET NO.
L.11



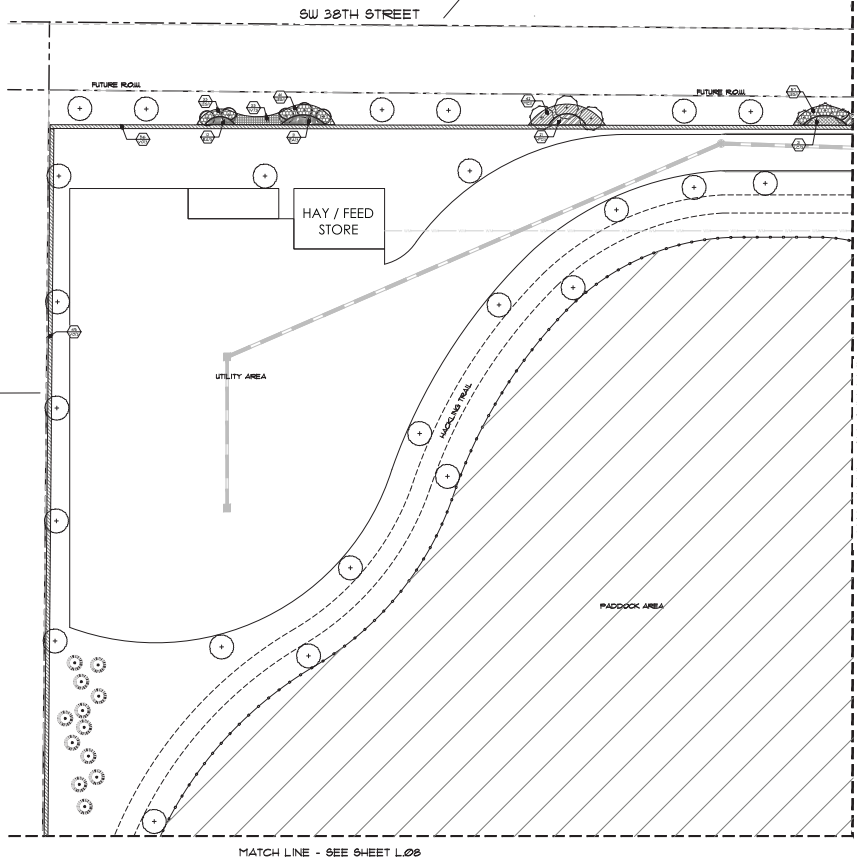
SHEET KEY MAP

NORTH-SIDE C-1 BUFFER (2844 L.P. BUFFER REQUIREMENT PER F.U.D.)

- 10' WIDE
- CANOPY AND UNDERSTORY TREES TO COMPARABLE TO SIMILAR CITY BUFFER
- 2844 L.P. X 10' = 28440 S.F. X 30' = 85320 S.F. OF PLANTING

PROVIDED:

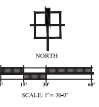
- 10' WIDE
- 42 CANOPY TREES, 80 PROPOSED UNDERSTORY TREES, AND PROPOSED 8484 S.F. AREA = 1258 S.F.



NO BUFFER REQUIRED PER F.U.D.

MATCH LINE - SEE SHEET L.11

PLANT SCHEDULE		
SYMBOL	COMMON NAME	REMARKS
CANOPY TREES		
(Symbol)	BALD CYPRRESS	45 GAL. OR RFG. 13'-14' HT., 6"-1" SFR., 3 1/2" CAL. P.N. NATIVE
(Symbol)	DENSA SLASH PINE	660, 1'-8" X 3'-4", 3 1/2" CAL. P.N.
(Symbol)	SOUTHERN LIVE OAK	45 GAL. OR RFG. 12'-13' HT., 6"-1" SFR., 3 1/2" CAL. P.N.
(Symbol)	SOUTHERN MAGNOLIA	60" HT. OR RFG. 15' HT., 1'-8" SFR., 3'-3 1/2" CAL., 2 1/2" DEN. P.N., PER CITY CODE
UNDERSTORY TREES		
(Symbol)	JAPANESE PRIVET	RFG. 8'-5" X 6'-5" "MULTI-TRUNK" 5" TRUNKS P.N. 1" CAL. PER TRUNK, TOTAL 8" CAL. FOR ALL TRUNKS CORDED TOGETHER AND SYMMETRICALLY PRUNED
(Symbol)	LAVENDER DRAPE HYDRATE - STANDARD	45 GAL. 1'-8" X 4'-9", 3" CAL. P.N. STANDARD



NO.	DATE	DESCRIPTION

Calea Equestrian Facility
 MAJOR SITE PLAN
 PERMIT PLANS
 MADISON COUNTY, FLORIDA
 KIMBERLY HERR
 LANDSCAPE PLAN



DATE: 02-02-2026
 PROJECT NO.: KHA026-09-01
 DRAWN BY: JWS/JHB
 DESIGNED BY: JHB
 CHECKED BY: JHB
 SHEET NO. **L.12**

LANDSCAPE WORK- SECTION 02950

PART 1.1 GENERAL

1.01 WORK INCLUDED

- 1. Provide all labor, materials, plant materials, soil, mulch, and all equipment, tools, and supplies necessary for the completion of the work.
- 2. The Contractor shall be responsible for obtaining all necessary permits and licenses for the work.
- 3. The Contractor shall be responsible for obtaining all necessary insurance for the work.

1.02 BID OCCUPANTS

- 1. The Contractor shall be responsible for providing access to the work area for all bid occupants.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.03 QUALITY ASSURANCE

- 1. Inspection as established by the Florida Nursery Growers Association (FNMA).
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.04 SUBSTITUTIONS

- 1. The Contractor shall be responsible for providing access to the work area for all bid occupants.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.05 PERFORMANCE

- 1. All planting shall be performed by personnel familiar with planting procedures and proper watering of a landscape installation.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.06 WARRANTY

- 1. The Contractor shall be responsible for providing access to the work area for all bid occupants.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.07 PRODUCT HANDLING

- 1. Plant transportation shall comply with all Federal and State regulations.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.08 VERIFICATION OF DIMENSIONS AND QUANTITIES

- 1. All actual dimensions are approximate. Before proceeding with any work, carefully check and verify all dimensions and quantities. Immediately inform the Owner's Representative of any discrepancies between the Drawings, Specifications, and actual

conditions. Do not do work in any area where there is a significant discrepancy until approved or proposed has been received from the Owner's Representative.

1.09 OWNER TAGGED MATERIALS

- 1. The Contractor shall be responsible for providing access to the work area for all bid occupants.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.10 JOB CONDITIONS

- 1. The Contractor shall be responsible for providing access to the work area for all bid occupants.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.11 INSPECTION

- 1. The Contractor shall be responsible for providing access to the work area for all bid occupants.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.12 SUPPLIES AND TESTS

- 1. The Contractor shall be responsible for providing access to the work area for all bid occupants.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.13 MATERIALS

- 1. All materials shall be of the highest quality and shall be delivered to the job site in accordance with the specifications.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.14 GENERAL

- 1. The Contractor shall be responsible for providing access to the work area for all bid occupants.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.15 PLANT MATERIALS

- 1. All plant materials shall be of the highest quality and shall be delivered to the job site in accordance with the specifications.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.16 PLANTING METHODS

- 1. All planting shall be performed by personnel familiar with planting procedures and proper watering of a landscape installation.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.17 MATERIALS CONDITION

- 1. All materials shall be of the highest quality and shall be delivered to the job site in accordance with the specifications.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.18 PLANTING METHODS

- 1. All planting shall be performed by personnel familiar with planting procedures and proper watering of a landscape installation.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.19 PLANTING METHODS

- 1. All planting shall be performed by personnel familiar with planting procedures and proper watering of a landscape installation.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.20 PLANTING METHODS

- 1. All planting shall be performed by personnel familiar with planting procedures and proper watering of a landscape installation.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

contractor site on each state of alternate approved method. It shall be the contractor's responsibility to verify with the Owner and governing agencies the location and depth of all underground utilities and obstructions.

1.21 PLANTING METHODS

- 1. The Contractor shall be responsible for providing access to the work area for all bid occupants.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.22 PLANTING METHODS

- 1. The Contractor shall be responsible for providing access to the work area for all bid occupants.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.23 PLANTING METHODS

- 1. The Contractor shall be responsible for providing access to the work area for all bid occupants.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.24 PLANTING METHODS

- 1. The Contractor shall be responsible for providing access to the work area for all bid occupants.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.25 PLANTING METHODS

- 1. The Contractor shall be responsible for providing access to the work area for all bid occupants.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.26 PLANTING METHODS

- 1. The Contractor shall be responsible for providing access to the work area for all bid occupants.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.27 PLANTING METHODS

- 1. The Contractor shall be responsible for providing access to the work area for all bid occupants.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.28 PLANTING METHODS

- 1. The Contractor shall be responsible for providing access to the work area for all bid occupants.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.29 PLANTING METHODS

- 1. The Contractor shall be responsible for providing access to the work area for all bid occupants.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

1.30 PLANTING METHODS

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3.04 CLEAN-UP

- 1. After all planting operations have been completed, remove all trash, excess soil, mulch, and debris from the project. All work areas shall be cleaned up and returned to the original condition.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

3.05 OBSERVATION SCHEDULE

- 1. The Contractor shall be responsible for providing access to the work area for all bid occupants.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

3.06 FIELD QUALITY CONTROL

- 1. The Contractor shall be responsible for providing access to the work area for all bid occupants.
- 2. The Contractor shall be responsible for providing access to the work area for all bid occupants.

3.07 PROTECTION

- 1. The Contractor shall be responsible for providing access to the work area for all bid occupants.
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3.08 FINAL ACCEPTANCE OF INSTALLATION

- 1. The Contractor shall be responsible for providing access to the work area for all bid occupants.
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NO.	DESCRIPTION	DATE	STATUS
1	REVISION		
2	REVISION		
3	REVISION		
4	REVISION		
5	REVISION		
6	REVISION		
7	REVISION		
8	REVISION		
9	REVISION		
10	REVISION		

Caleta Equestrian Facility
 MAJOR SITE PLAN
 PERMIT PLANS
 MADISON COUNTY, FLORIDA
 Kimberly Harris

LANDSCAPE SPECIFICATIONS

DATE: 02-04-2016
 PROJECT: KHA026-09.01
 DRAWN BY: JWS/HKS
 DESIGNED BY: JHB
 CHECKED BY: JHB
 AUTHORIZED BY: JHB
 Registration No. 120000053

SHEET NO. **LD.03**