

December 5, 2024

PROJECT NAME: IGLESIA CRISTIANA FE Y ESPERANZA

PROJECT NUMBER: 2014010022

APPLICATION: MINOR SITE PLAN #31560

- 1 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.20.1.A - When any of the Minor Site Plan thresholds are exceeded, a Major Site Plan is required
STATUS OF REVIEW: INFO
REMARKS: Will have less impervious than currently exists.
- 2 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.27 - Show location of outside storage areas
STATUS OF REVIEW: INFO
REMARKS: Will there be outside storage? Show location.
- 3 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: Additional Zoning Comments
STATUS OF REVIEW: INFO
REMARKS: Cover sheet points to Levy County and Levy County's boundary is shown as Marion County. Please correct.
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: OCE fee in the amount of \$150.00
STATUS OF REVIEW: INFO
REMARKS: 11/15/24-fee due with resubmittal
6/6/24-fee due with resubmittal
- 5 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, conditions, date of approval
STATUS OF REVIEW: INFO
REMARKS: 6/6/24-add waivers if requested in future
- 6 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: N/A
- 7 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities Comments
STATUS OF REVIEW: INFO
REMARKS: Comments which are answered by "see drawing" shall specify where the revision was made. Since the drawings were uploaded as a complete set with all pages instead of the normal individual pages, it's difficult to pinpoint where each change is made.
- 8 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities Comments
STATUS OF REVIEW: INFO
REMARKS: There is no need to do a separate UTIL response letter - keep all of the response comments in a single comprehensive list. All staff/reviewers will look at the same list.

- 9 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 6.5 & 6.6 - Habitat Preservation/Mitigation Provided?
STATUS OF REVIEW: INFO
REMARKS: [11/21/2024] According to the EALS submitted by the applicant, potentially occupied gopher tortoise burrows were observed on-site. Please follow the recommendations in the report and coordinate with FWC for relocation permit. Submit a relocation/mitigation plan at a later stage.
[Original Comments] If listed species present on-site, habitat mitigation to be provided.
- 10 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.4.C - Owner and applicants name
STATUS OF REVIEW: NO
REMARKS: 6/12/24 - Include the owner and applicant names on the cover sheet.
11/22/24 - submit SunBiz to show applicant is a signee for Faith and Hope Temple.
11/22/24 - is shown on the application and resubmittal
- 11 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.4.L(1) - Parcel number
STATUS OF REVIEW: NO
REMARKS: 6/12/24 - Include the parcel number on the cover sheet.
11/22/24 - missing the parcel ID # on the Minor Site Plan submitted on 11/12/24
- 12 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.4.L(4) - Zoning requirements: lot width, area, setbacks, coverage (floor area ratios), and parking
STATUS OF REVIEW: NO
REMARKS: 6/12/24 - Need to include lot width, existing and proposed setbacks.
11/22/24- mark the lot width front and rear along with the depth property lines to the east and west on your minor site plan.
include the setbacks from all the nearby property lines to all structures on the minor site plan.
- 13 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.23/4.2 - Setbacks, dimensions for all improvements, and easements
STATUS OF REVIEW: NO
REMARKS: 6/12/24 - provide dimensions off all existing and proposed improvements.
11/22/24- mark all setbacks on the one minor site plan to all existing and proposed structures.
- 14 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.24 - Landscape requirements, (buffering) 6.8.6
STATUS OF REVIEW: NO
REMARKS: 11/22/24- must show on the minor site plan the buffer types for commercial use - see section 6.8.2 (K) ROW buffer must be type C and the south, west and east property lines must show you are using Buffer Type B's
(2)B-Type buffer shall consist of a 20-foot wide landscape strip with a buffer wall. The buffer shall contain at least two shade trees and three accent/ornamental trees for every 100 lineal feet or fractional part thereof. Shrubs and groundcovers, excluding turfgrass, shall comprise at least 50 percent of the required buffer.
(3)C-Type buffer shall consist of a 15-foot wide landscape strip without a buffer wall. The buffer shall contain at least two shade trees and three accent/ornamental trees for every 100 lineal feet or fractional part thereof. Shrubs and groundcovers, excluding turfgrass, shall comprise at least 50 percent of the required buffer and form a layered landscape screen with a minimum height of three feet achieved within one year.

- 15 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.32 - Modified environmental assessment or exemption if information is available to the county to indicate no habitat or existence of endangered species or vegetation (Article 6, Division 5, Sec. 6.5.4)
STATUS OF REVIEW: NO
REMARKS: 6/12/24 - Provide EALS or exemption.
11/22/24- EALS must submit a transect map of the perimeter from the field inspection see section 6.5.4 of LDC
- 16 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 4.4.4 - Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan.
STATUS OF REVIEW: NO
REMARKS: 6/12/24 - Provide size and location of proposed signage.
11/22/24- is there an existing monument sign on the property, if so mark it on the minor site plan along with the setbacks from the nearby property lines.
- 17 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.3 - Title block shall be shown on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions
STATUS OF REVIEW: NO
REMARKS: 11/15/24-Title block shall be shown on ALL sheets denoting type of application; project name, location, county, and state; and date of original and all revisions
6/6/24-Title block shall be shown on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions
- 18 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: NFPA 1 Chapter 18.2.3 - Fire Dept Access Roads
STATUS OF REVIEW: NO
REMARKS: Parking lot extends 216' feet, which is considered part of the fire apparatus access road and is excess of 150 feet and requires a turnaround.
- 19 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.9.B - Traffic signs
STATUS OF REVIEW: NO
REMARKS: 11/14/24 - Provide stop sign details - include geometry of sign and mounting specifications. See 7.3.1 TS031 for an example.
6/17/24 - Provide a 30" stop sign at the driveway placed 4' behind the crosswalk.
- 20 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.9.C - Pavement marking
STATUS OF REVIEW: NO
REMARKS: 11/14/24 - Show stop bar specifications. See 7.3.1 TS030 for an example.
6/17/24 - 1. Show the dimensions of the parking. The regular parking is required to be 9' wide by 18' long. The handicap parking is required to be 12' wide by 18' long with a 5' wide access aisle next to the handicap spot. 2. Mark all handicap parking including new and existing. 3. Provide a stop bar at the driveway placed 4' behind the crosswalk.

- 21 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.6 - Buffers
STATUS OF REVIEW: NO
REMARKS: 1. Clarify Contruction access area, will this be restored? 2. Is long rectangle near west buffer a DRA? 3. All buffers to be discussed with staff to determine if sufficient 4. Waiver needed for East, West and south buffers to use existing vegetation
- 22 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.9 - Service and equipment areas
STATUS OF REVIEW: NO
REMARKS: will there be a dumpster? if so, show location and screening
- 23 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.19.3 - Outdoor lighting plan requirements
STATUS OF REVIEW: NO
REMARKS: will there be outdoor lighting? If so a photometric plan is required. Plan must show footcandles on site and 25' outside of property boundary, Plan must be signed and sealed
- 24 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: Additional Landscape comments
STATUS OF REVIEW: NO
REMARKS: 1. Landscape and irrigation plan shall be signed and sealed for submittal (6.2.1 & 6.9.2)
- 25 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.4 - Water (irrigation) Capital Charges and Flow Rates - total irrigated area identified
STATUS OF REVIEW: NO
REMARKS: 11/25/24 review remains unaddressed
ORIGINAL COMMENT: how is this parcel being irrigated? If by irrigation meter, show placement ON UTILITY PLAN, size, backflow, and state total irrigated SF in response letter. "See Landscape Sheet" is not an acceptable response - all information relating to the utility system shall be shown on the Utility Plan
- 26 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.A(1) - Submittal Reqs - Existing on-site & off-site mains and service connections
STATUS OF REVIEW: NO
REMARKS: 11/25/24 review remains unaddressed; the copies of the pages referenced in the "UTIL" response is blurry & unreadable - identify where on which page the information can be found, or just answer in response. ORIGINAL COMMENT: (1) Show water main - page labeled "63" (2) some water features appear to be called out as "W" - identify where legend can be found (3) show water tap & meter location
- 27 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.B - Construction Notes - UT DETAILS - current LDC version
STATUS OF REVIEW: NO
REMARKS: 11/25/24 review remains unaddressed - include the UT details as shown in the LDC, including title, date (ensure all details are 4/13/23 version), and for all work to be completed.
ORIGINAL COMMENT: There are no utility details for tapping construction - show/add

- 28 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.7 - Construction Inspection - PLAN NOTE:
STATUS OF REVIEW: NO
REMARKS: Add & identify where noted: "MCU personnel are to inspect any work performed on or around existing MCU infrastructure. A pre-construction meeting is required to be held a minimum of 48 hours prior to start of any construction. If the pre-construction meeting is not completed, any work may be halted. To schedule, contact MCU's Construction Officer at 352-307-6163."
- 29 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.9.B - Transfer of Facilities to Marion County Utilities - PLAN NOTE:
STATUS OF REVIEW: NO
REMARKS: Any assets to be conveyed to MCU after construction shall be called out clearly on the Utility/Site plan. They can be called out by arrow, color or other method that clearly identifies the separation between public/private ownership.
- 30 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.5 - Water Service and Connection
STATUS OF REVIEW: NO
REMARKS: show water main tap and service placement - indicate size of service, size of meter
- 31 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities Comments
STATUS OF REVIEW: NO
REMARKS: When you submit the revision of this plan, DO NOT add a separately titled document, this will add more files to your review. INSTEAD, replace the last version of the plan set. If you have questions on how to "reversion" the plans, contact Development Review at 352-671-8686. As of 11/25/24 review, you have 3 versions of the plan in review - 5/20, 8/20, 11/12. The same is true for the "Kickbacks" document - it should be getting REPLACED each submittal, not a new document added. Be sure Development Review knows to move all outdated files out of this Drawings folder before final-approving the set.
- 32 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities Comments
STATUS OF REVIEW: NO
REMARKS: See changemarks in ePlans for & resolve comments on the "2024-11-12 MSP" signed set in ePlans for tracking purposes. If you are unable to access ePlans to see these changemarks, contact Development Review staff at 352-671-8686 for assistance.



**Marion County
Board of County Commissioners**

AR 31560

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 11-27-2024 Parcel Number(s): 8002-0000-04 Permit Number: _____

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Iglesia Cristiana Fe y Esperanza, Inc. Commercial or Residential
Subdivision Name (if applicable): Marion Oaks Unit 2
Unit 2 Block _____ Lot _____ Tract D

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Iglesia Cristiana Fe y Esperanza, Inc.
Signature: _____
Mailing Address: 15050 29th Terrace Rd. City: Ocala
State: FL Zip Code: 34473 Phone # _____
Email address: faithandhope360@gmail.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Iglesia Cristiana Fe y Esperanza Contact Name: Harry A. Quinones-Marcano
Mailing Address: 3108 SW 137th Loop City: Ocala
State: FL Zip Code: 34473 Phone # 352-405-0111
Email address: faithandhope360@gmail.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 6.8.6 Buffers and 6.8.7 Buffers
Reason/Justification for Request (be specific): 6.8.6 North buffer - waiver to allow natural vegetation in areas shown. 6.8.6 East, West and South buffers - waiver to 1) allow to natural vegetation for all tree and shrub plantings, 2) Waiver of wall requirement because of natural vegetation. 6.8.7 Parking areas - Waiver of requirement for hedge plantings along parking areas because the fronts of the cars do not face the street and there is sufficient natural vegetation to screen all adjacent residential lots.

DEVELOPMENT REVIEW USE:

Received By: Walk-in Date Processed: 11/27/24 Project # 2014 01 0022 AR # 31560

ZONING USE: Parcel of record: Yes No Eligible to apply for Family Division: Yes No
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes No
Date Reviewed: _____ Verified by (print & initial): _____

PARCEL ID#
8002-0000-04

LEGAL DESCRIPTION

PER WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 2698, PAGE 183 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, TRACT "D" OF MARION OAKS UNIT TWO, A SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, AT PAGES 19 THROUGH 35, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA

SURVEY WORK PROVIDED BY OTHERS

Land use is residential and or House of Worship.

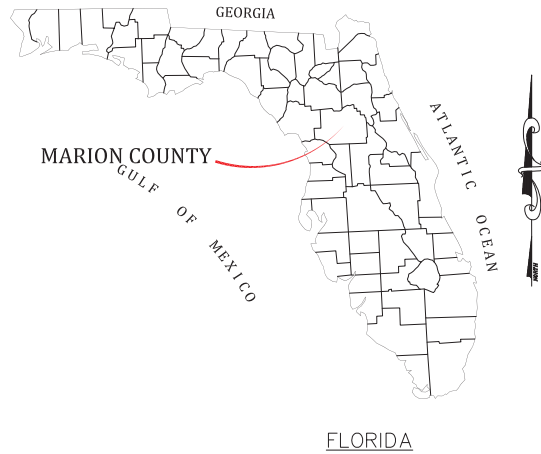
SPRINGS PROTECTION ZONE: SECONDARY ZONE

PROJECT NOT IN FLOOD PLAIN AREA

"This project has not been granted concurrency approval and/or granted and/or reserved any public facility capacities. Future rights to develop the resulting property(ies) are subject to a deferred concurrency determination, and final approval to develop the property has not been obtained. The completion of concurrency review and/or approval has been deferred to later development review stages, such as, but not limited to, pursuant to Section 1.8.2.C as applicable"

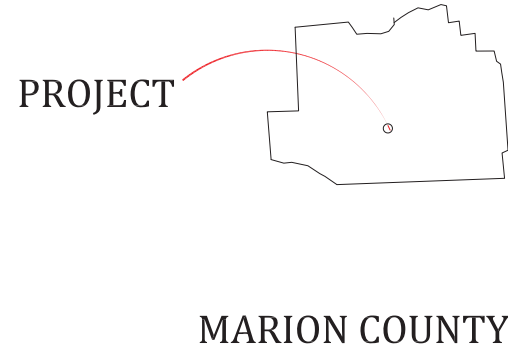
PROPOSED PLANS FOR MINOR SITE PLAN

Iglesia Cristiana Fe y Esperanza



CIVIL CONSTRUCTION PLANS CONTENTS:

- 1. COVER
- 2. EXISTING
- 3. SITE PLAN
- 4. UTILITY
- 5. UTILITY DETAILS



PROJECT LOCATION:

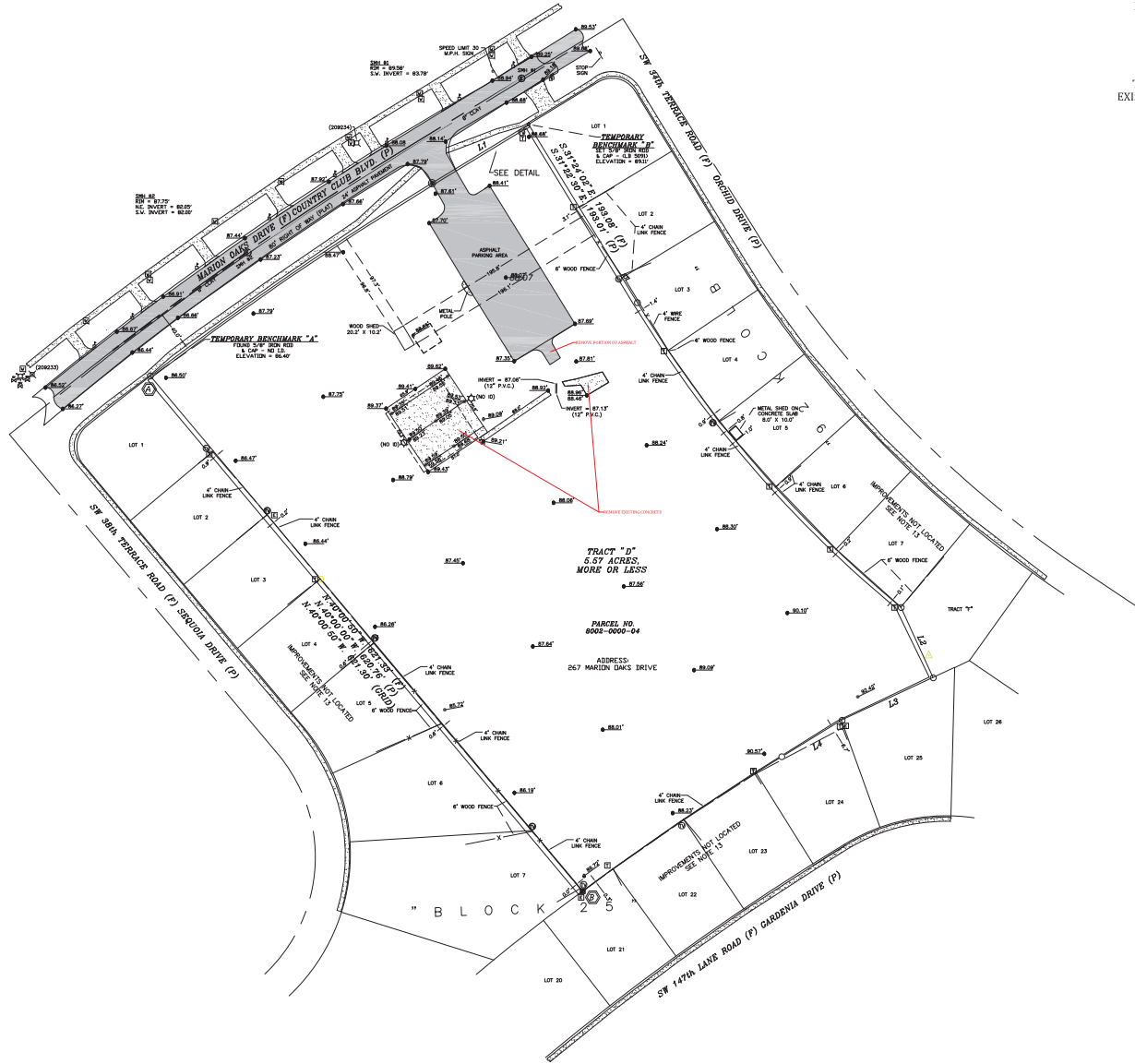
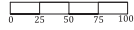
267 MARION OAKS DR. OCALA, FL 34473



This item has been digitally signed and sealed by Michael D. Wilburn, PE, on 10/14/2024. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

ENGINEERING PAGE 1 SCALE: NTS	INSPECTIONS Iglesia Cristiana Fe y Esperanza DATE: 12/19/22 REV: 8/14/24	DRAFTING ENGINEER OF RECORD: MICHAEL D. WILBURN, P.E. PO BOX 938 FEDERAL CITY, FL 34436 PHONE (352)-697-5384	DESIGN MICHAEL D. WILBURN, P.E. LICENSE NO. 76061
	COVER PAGE		CERTIFICATE OF AUTHORIZATION 32355





SITE DATA
 PARCEL AREA = 229,772 SF / 5.27 ACRES
 PROJECT AREA = 229,772 SF / 5.27 ACRES

IMPERVIOUS SURFACE
 EXISTING BUILDINGS = 0.00 SF
 EXISTING ASPHALT PARKING = 10,684 SF
 EXISTING SIDEWALK = 5,579 SF
 TOTAL EXISTING IMPERVIOUS = 16,263 SF
 EXISTING IMPERVIOUS SURFACE RATIO = 7.07%

DESIGN
 MICHAEL D. WILSBURN, P.L.D., P.E.
 LICENSE NO. 76861

DRAFTING
 ENGINEER OF RECORD:
 MICHAEL D. WILSBURN, P.L.D., P.E.
 PO BOX 938
 OCALA, FL 34436
 PHONE (352)-097-5384

INSPECTIONS
 Ighona Christiana Fe y Esperanza
 DATE: 12/19/22 REV 8/14/24

ENGINEERING
 PAGE 2
 SCALE: 1" = 50'

EXISTING CONDITIONS



CERTIFICATE OF AUTHORIZATION
 32355

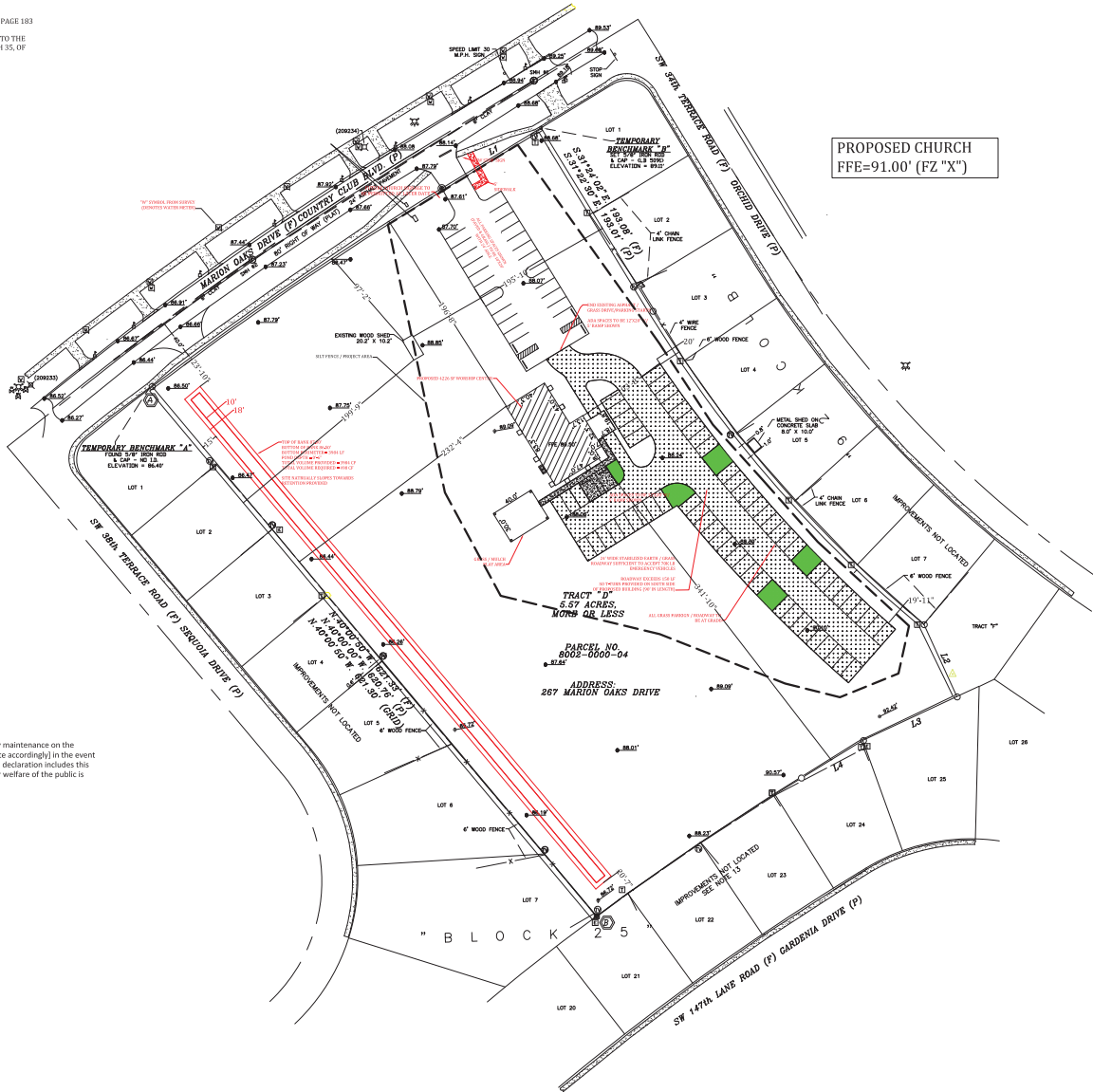
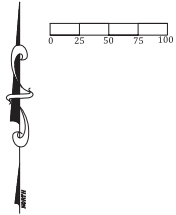
267 MARION OAKS DR. OCALA, FL 34473

PARCEL ID#
8002-0000-04

LEGAL DESCRIPTION

PER WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 2688, PAGE 193 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.
TRACT "D" OF MARION OAKS UNIT TWO, A SUBDIVISION, ACCORDING TO THE PLAN THEREOF, AS RECORDED IN PLAT BOOK 0, AT PAGES 19 THROUGH 35, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA

SURVEY WORK PROVIDED BY OTHERS



PROPOSED CHURCH
FFE=91.00' (FZ "X")

SITE DATA
PARCEL AREA = 229,772 SF / 5.27 ACRES
PROJECT AREA = 107,298 SF / 2.46 ACRES

IMPERVIOUS SURFACE
EXISTING BUILDINGS = 0,00 SF
EXISTING ASPHALT PARKING = 10,684 SF
EXISTING CONCRETE = 5,579 SF
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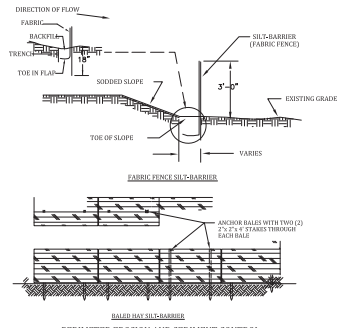
REMOVAL OF EXISTING CONCRETE AREAS = 5,579 SF
PROPOSED CONCRETE SIDEWALK/ADA SPACES = 1,064 SF
PROPOSED HOUSE OF WORSHIP = 4,226 SF
TOTAL PROPOSED IMPERVIOUS AREA = 5,290 SF
TOTAL NEW IMPERVIOUS AREA FOR SITE = 15,974 SF

TOTAL TREATMENT AREA OVER 10,000 SF = 5,974 SF
5974SF * 1' RUNOFF = 498 CF OF STORAGE REQUIRED

PARKING BASED ON SEATING / OCCUPANCY
196 TOTAL PERSONS

66 PARKING SPACES REQUIRED
26 EXISTING ASPHALT SPACES
64 PROPOSED GRASS PARKING SPACES
2 PROPOSED CONCRETE SPACES
TOTAL SPACES PROVIDED ON SITE = 92 SPACES

HOUSES OF WORSHIP ARE EXEMPT FROM ADA UNDER FEDERAL LAW



- PERIMETER EROSION AND SEDIMENT CONTROL**
- NOTES**
1. CONTRACTOR IS REQUIRED TO PREVENT ANY SEDIMENT TRANSPORT FROM THE PROJECT SITE ON TO ADJACENT PROPERTY. INSTALLATION OF EITHER BAILED HAY OR FABRIC FENCE TYPE SILT BARRIER IS ACCEPTABLE. THE BARRIER MUST REMAIN IN PLACE UNTIL COMPLETION
 2. BEFORE REMOVING SILT BARRIER, CONTRACTOR SHALL COLLECT AND DISPOSE OF ANY VEGETATION IS ESTABLISHED.
 3. SILT FENCE SPECIFIED DESIGNED FOR SHEET FLOW

"Marion County is granted the right to perform emergency maintenance on the (stormwater easement and/or management tract, complete accordingly) in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

267 MARION OAKS DR. OCALA, FL 34473

MICHAEL D. WILBURN, P.L.D., P.E.
DESIGN

MICHAEL D. WILBURN, P.L.D., P.E.
DRAFTING

IGNACIO CRISTIANI, Fe y Esperanza
INSPECTIONS

PAGE 63
ENGINEERING

SCALE: 1" = 50'

DATE: 12/16/22 RCL & RLC

SILT BARRIER (FABRIC FENCE)
SILT BARRIER (FIBERED HAY)
SILT BARRIER (FABRIC ENCASED)

LOCAL ENGINEERING, INC.

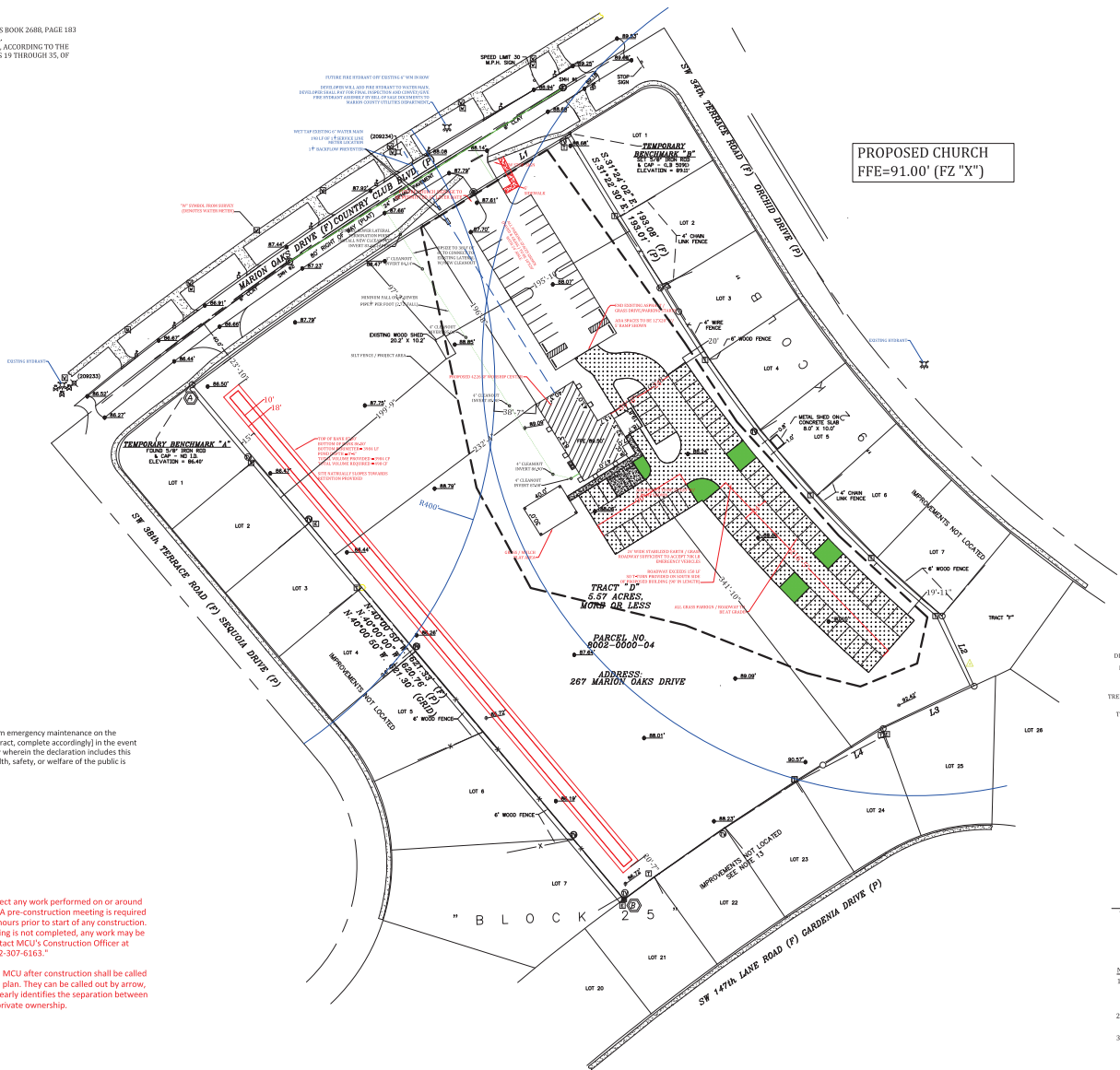
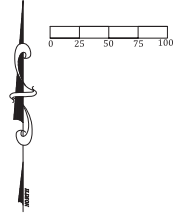
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32355

PARCEL ID#
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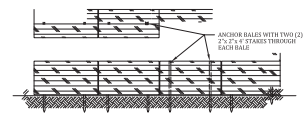
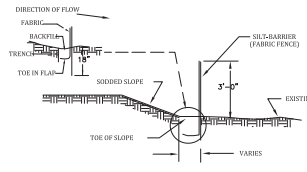
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DESIGN
MICHAEL D. WILBURN, P.H.D., P.E.
(LICENSE NO. 76867)

DRAFTING
ENGINEER OF RECORD:
MICHAEL D. WILBURN, P.H.D., P.E.
PO BOX 938
OCALA CITY, FL 34436
PHONE (352)-697-5384

INSPECTIONS
Iyolena Cristiana Fe y Esperanza
DATE: 12/16/22 REV 8/14/24

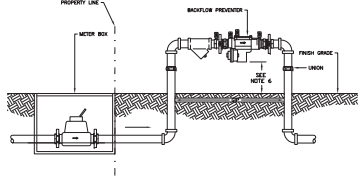
ENGINEERING
PAGE 4
SCALE: 1" = 50'



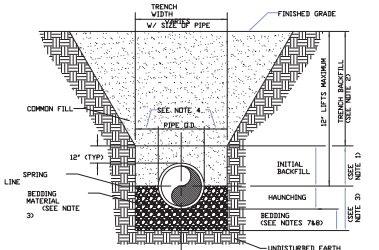
CERTIFICATE OF AUTHORIZATION
34796

267 MARION OAKS DR. OCALA, FL 34473

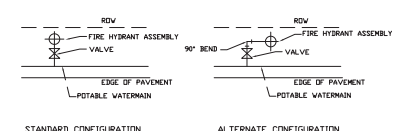
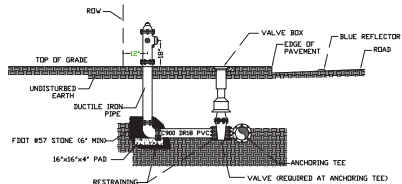
UTILITY DETAILS PROVIDED BY MARION COUNTY



- NOTES:**
1. BACKFLOW PREVENTION ASSEMBLY SHALL BE INSTALLED AND MAINTAINED AS PER MARION COUNTY CROSS CONNECTION CONTROL ORDINANCE AND/OR PLUMBING CODE.
 2. BACKFLOW PREVENTION ASSEMBLY TO BE INSTALLED LEVEL AND PLUMB.
 3. MINIMUM CLEARANCE OF 24" TO BE MAINTAINED AROUND ASSEMBLY FOR TESTING.
 4. ASSEMBLY MUST BE LISTED WITH THE UNIVERSITY OF SOUTHERN CALIFORNIA FOUNDATION FOR CROSS CONNECTION CONTROL AND HYDRULIC RESISTANCE.
 5. ALL BACKFLOW PREVENTION ASSEMBLIES MUST BE TESTED FOLLOWING INSTALLATION AND INITIATION OF WATER SERVICE. THE BACKFLOW PREVENTION ASSEMBLY TESTER MUST POSSESS A CURRENT AMERICAN WATER WORKS ASSOCIATION (AWWA) AND/OR AMERICAN BACKFLOW PREVENTION ASSOCIATION (ABPA) BACKFLOW TESTER CERTIFICATE A COPY OF THE BACKFLOW PREVENTION ASSEMBLY TEST REPORT MUST BE SUBMITTED TO THE BACKFLOW & CCC COORDINATOR AT MCU WITHIN 14 DAYS FROM THE DATE OF INSTALLATION.
 6. MIN 12" MAX 18" ABOVE FINISHED GRADE AND FLOODPLAIN.
 7. METERS LARGER THAN 6" WILL REQUIRE DISCUSSION WITH MCU.

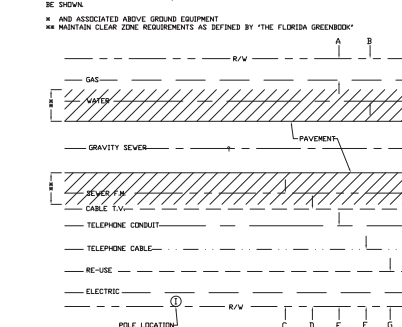


- NOTES:**
1. INITIAL BACKFILL: COMMON FILL COMPACTED TO 90% OMS UNDER PAVEMENT OF THE MAXIMUM DENSITY AS PER AASHTO T-99.
 2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 90% OMS UNDER PAVEMENT OF THE MAXIMUM DENSITY AS PER AASHTO T-99.
 3. BEDDING MATERIAL SHALL CONFORM TO FOOT NO. 57 AGGREGATE.
 4. 12" MAX. O.D. MIN. FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX. O.D. MIN. FOR PIPE DIAMETER 24" AND LARGER.
 5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 7. BEDDING DEPTH SHALL BE 4" MINIMUM FOR PIPE DIAMETER UP TO 12" AND 6" MINIMUM FOR PIPE DIAMETER 12" AND LARGER.
 8. DEPTH FOR REMOVAL OF UNSUITABLE MATERIAL SHALL GOVERN DEPTH OF BEDDING ROCK BELOW THE PIPE. UTILITIES SHALL RETENDE IN THE FIELD REQUIRED REMOVAL OF UNSUITABLE MATERIAL TO REACH SUITABLE FOUNDATION.
 9. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN MARION COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.
 10. ONE COMPACTION TEST SHALL BE REQUIRED FOR EACH LIFT NOT TO EXCEED 800'.

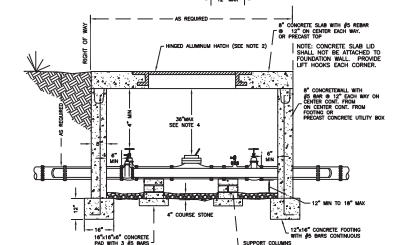
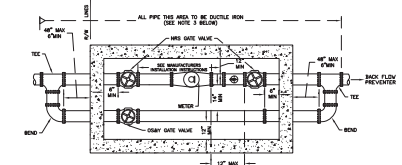


- NOTES:**
1. BARNET COLDERS SHALL BE IN ACCORDANCE WITH SEC. 6182-6.
 2. HYDRANT SHALL BE 1' INSIDE OF RIGHT-OF-WAY WHEN POSSIBLE.
 3. BLUE REFLECTOR SHALL BE PLACED IN THE MIDDLE OF THE ADJACENT TRAVEL LANE.
 4. RADIIUS OF CLEAR SPACE AROUND THE FIRE HYDRANT SHALL BE IN ACCORDANCE WITH NFPA STANDARDS (NFPA 1 SEC. 18.5.7, AS AMENDED).

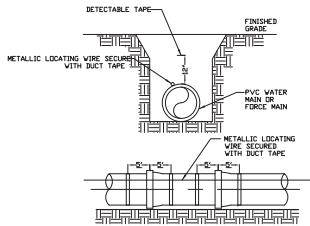
UTILITY	DIMENSION SYMBOL	LOCATION	UNDERGROUND DEPTH
GAS	A	7'	36"
WATER	B	11'	48"
SEWER F.M.	C	11'	24"
CABLE T.V.	D	10'	36"
TELEPHONE CONDUIT	E	9'	36"
TELEPHONE CABLE	F	7'	36"
RE-USE	G	7'	36"
ELECTRIC CONDUIT/UNDERGROUND	H	7'	36"
ELECTRIC POLES	I	TANGENT V. RIGHT-OF-WAY	N/A



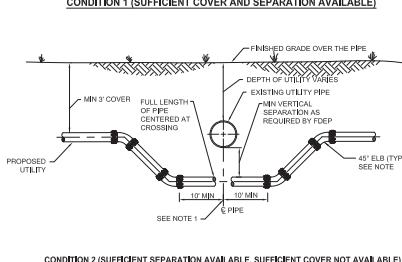
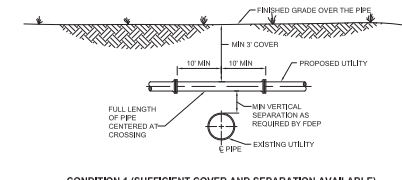
LEGEND
 R/W RIGHT-OF-WAY
 C CENTERLINE
 UNLESS OTHERWISE APPROVED BY COUNTY ENGINEER



- NOTES:**
1. METERS SHALL BE FURNISHED WITH STRAINERS APPROVED BY THE METER MANUFACTURER AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 2. ALUMINUM WATCH SHALL BE 30" X 30" FOR METERS 3" AND 4" WATCH FOR METERS 6" AND ABOVE SHALL BE 42" X 42".
 3. UNLESS OTHERWISE NOTED, ALL EXPOSED FITTINGS SHALL BE FLANGED AND ALL BARRIED FITTINGS SHALL BE MECHANICAL JOINT.
 4. METER INSTALLATION REQUIRES INSTALLATION OF A REMOTE READING SERVICE.
 5. BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED AFTER THE METER ASSEMBLY AND BYPASS AS APPROVED BY MCU.
 6. METER TO BE FURNISHED BY MCU.
 7. CHAIN TO BE PROVIDED BY CONTRACTOR, LOCK TO BE PROVIDED BY MCU.



- NOTES:**
1. PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (10 GAUGE COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR AND SHALL BE BURIED ON TOP OF THE PIPE.
 2. LOCATING WIRE SHALL TERMINATE AT EACH VALVE BOX AND BE CAPABLE OF EXTENDING 12" ABOVE TOP OF BOX IN SUCH A MANNER SO AS NOT TO INTERFERE WITH VALVE OPERATION FOR UT LOG.
 3. ALL WIRE CONNECTIONS SHALL BE SPLICED TOGETHER USING WATER-TIGHT WIRE NUTS.
 4. FOR HORIZONTAL, DIRECTIONAL DRILLING, UTILIZE 2 LOCATING WIRES EACH WITH A BREAK LOAD OF 2000 POUNDS.
 5. DETECTABLE TAPE SHALL BE 1" ABOVE THE CENTERLINE OF THE PIPE.



- NOTES:**
1. PIPING SHALL BE DUCTILE IRON WHEN CROSSING UNDER SANITARY SEWER OR STORMWATER UTILITIES.
 2. IF NOT DIP, CONCRETE AND CASING PER FDEP.

MICHAEL D. WILBURN, P.H.D., P.E.
 LICENSE NO. 76487

DESIGN

DRAFTING

INSPECTIONS

ENGINEERING

PAGE 5

SCALE: NTS

DATE: 12/16/22 REV 8.14.24

Iglecia Cristiana Fe y Esperanza

ENGINEER OF RECORD:
 MICHAEL D. WILBURN, P.H.D., P.E.
 FLD # 34436
 PHONE (352) 497-5384

UTILITY DETAILS

LOCAL ENGINEERING, INC.

CERTIFICATE OF AUTHORIZATION
 34796

BUFFER CALCULATIONS

NORTH BUFFER - (30 - 24) 66 LF, TYPE 'C', IF WIDE 2400 SF
SHADE TREES REQUIRED = 55 (6 / 100 LF)
SHADE TREES PROVIDED = 5 (6 SF)

EAST BUFFER
MAINTENANCE REQUEST TO USE EXISTING VEGETATION AND ELIMINATE WALL

WEST BUFFER
MAINTENANCE REQUEST TO USE EXISTING VEGETATION AND ELIMINATE WALL

SOUTH BUFFER
MAINTENANCE REQUEST TO USE EXISTING VEGETATION AND ELIMINATE WALL

LANDSCAPE MATERIAL LIST

Table listing landscape materials including species like QUERCUS VIRGINIANA, LAURUS NOBILIS, and various palm species with their respective quantities and specifications.

NATIVE PLANTS
TOTAL PLANT MATERIAL = 42%
NATIVE PLANTS PROVIDED = 24% (58% INSIDE USE)

LANDSCAPE ISLANDS
TOTAL PLANT MATERIAL = 10300 SF
LANDSCAPE ISLANDS PROVIDED = 1400 SF (13%)

LANDSCAPE NOTES

- List of 30 landscape notes detailing installation requirements, material specifications, and maintenance instructions for the project.

TREE LIST

Table listing tree specifications including size (e.g., 24 1/2" O.K.), quantity, and notes for various tree types.

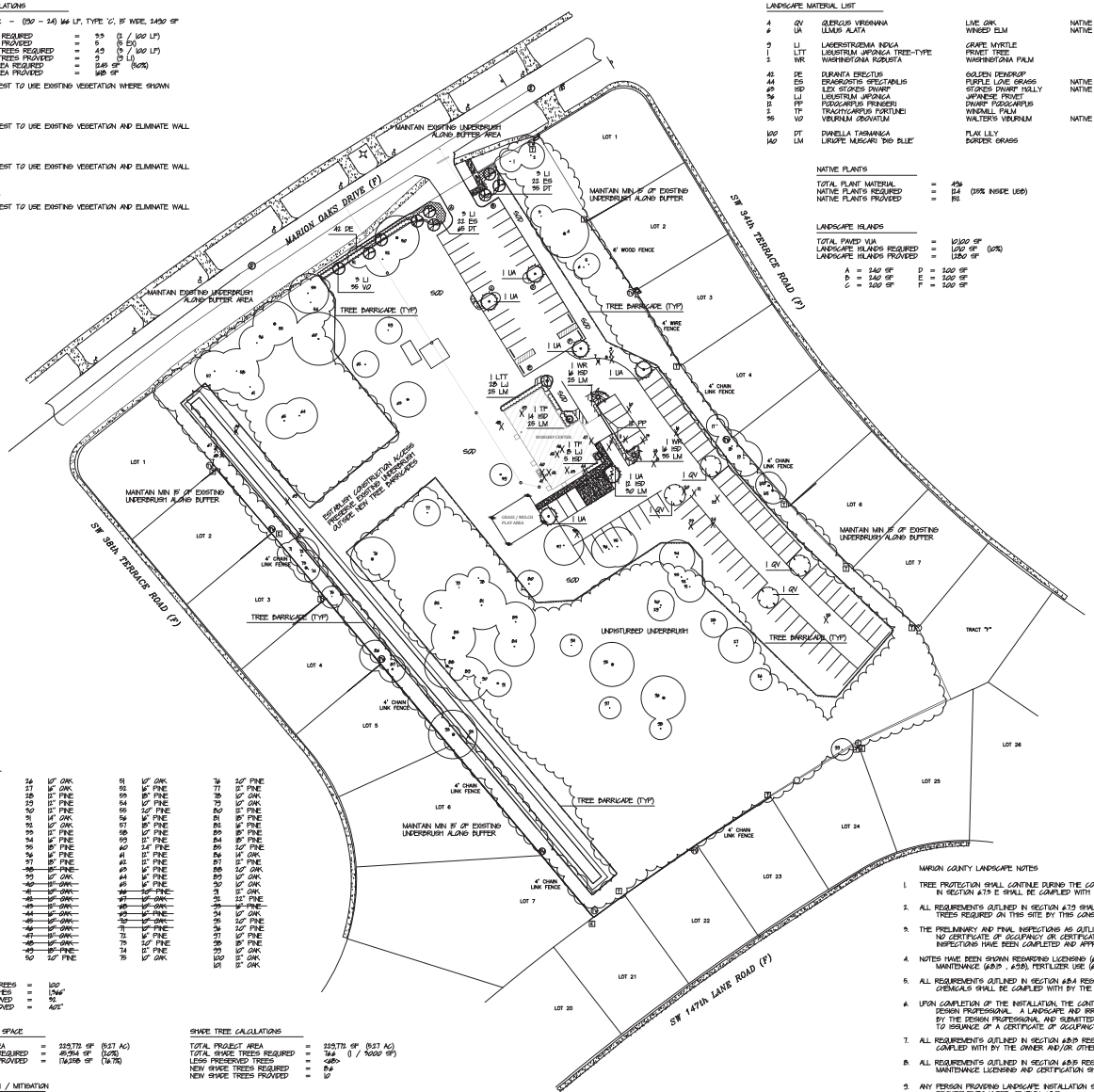
TOTAL HEDGEBACK TREES = 100
TOTAL EXISTING TREES = 156
TREES TO BE REMOVED = 56
INVEST TO BE REMOVED = 461'

LANDSCAPE / OPEN SPACE
TOTAL PROJECT AREA = 22572 SF (837 AC)
LANDSCAPE SPACE REQUIRED = 2634 SF (0.22 AC)

TREE PRESERVATION / MITIGATION
TOTAL PROJECT AREA = 22572 SF
TOTAL EXISTING HEDGEBACKS = 156'

BUILDING LANDSCAPING
TOTAL PROJECT AREA = 22572 SF (837 AC)
TOTAL TREES REQUIRED = 24 (0 / 2000 SF)

TOTAL BUILDING FRONTAGE = 42 LF (40%)
LANDSCAPE AREA REQUIRED = 24 LF



MARION COUNTY LANDSCAPE NOTES

- List of 10 Marion County landscape notes providing specific regulatory and technical requirements for the project.

SCALE 1" = 50'



RICHARD A. KESSELER, JR., P.L.A., A.S.L.A.
LANDSCAPE ARCHITECT - STATE OF FLORIDA #858

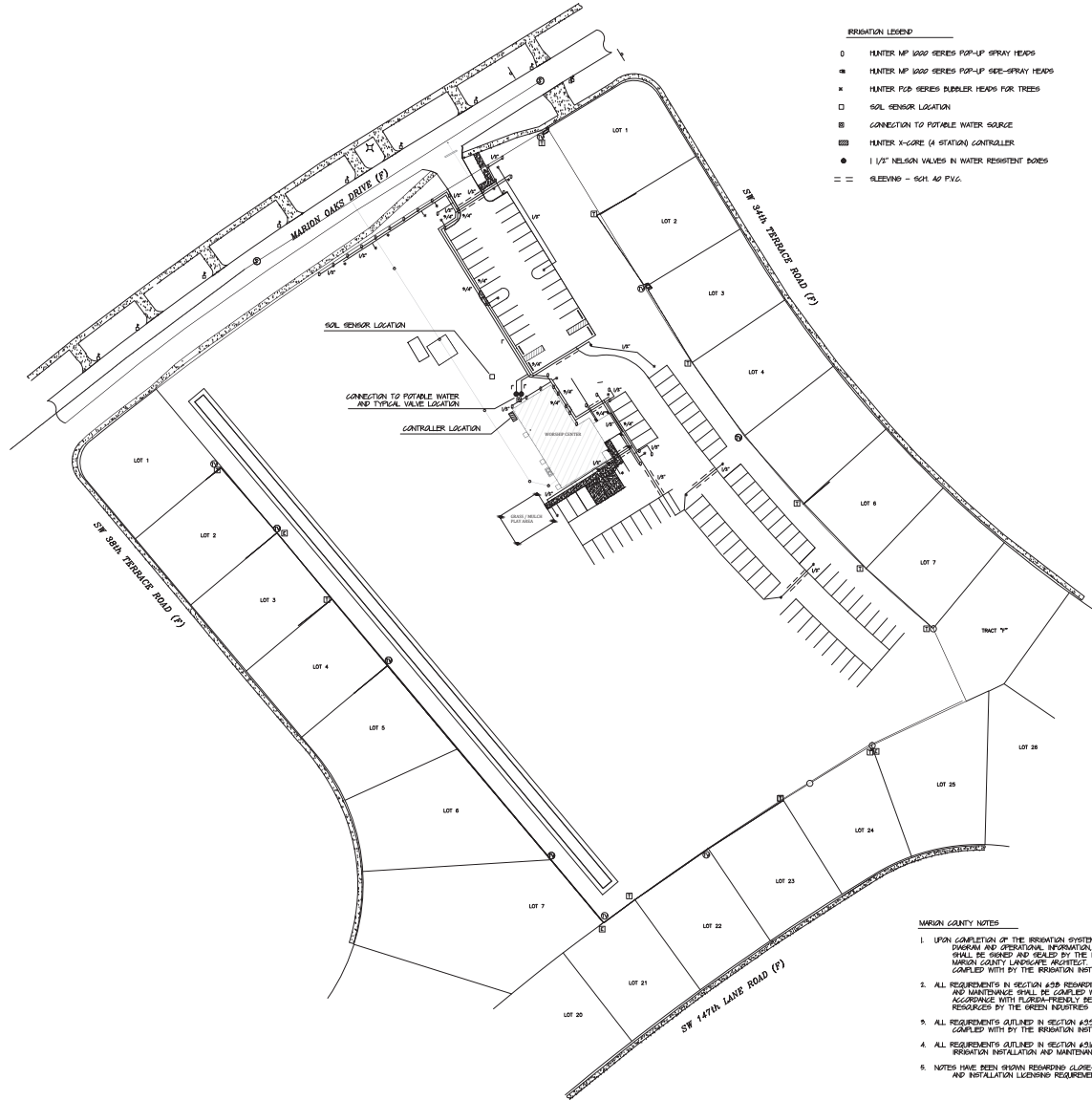
Table with columns for NO., DATE, and DESCRIPTION.

Table with columns for DATE, DRAWING NO., NEW NAME, SCALE, JOB NO., and JOB NO.

ENVIRONMENTAL DESIGN AND KESSELER, LANDSCAPE ARCHITECT
IGLESIA CRISTIANA FE Y ESPERANZA
MARION OAKS
MARION COUNTY
FLORIDA



LANDSCAPE PLAN
IGLESIA CRISTIANA FE Y ESPERANZA
MARION OAKS
MARION COUNTY
FLORIDA
SHEET 1222 of 1222



- IRRIGATION LEGEND**
- HUNTER MP 1000 SERIES POP-UP SPRAY HEADS
 - HUNTER MP 1000 SERIES POP-UP SEE-SPRAY HEADS
 - ⊗ HUNTER P20 SERIES BUBBLER HEADS FOR TREES
 - SOIL SENSOR LOCATION
 - ▢ CONNECTION TO POTABLE WATER SOURCE
 - HUNTER X-CORE 4 STATION CONTROLLER
 - 1/2" NELSON VALVES IN WATER RESISTANT BOXES
 - == SLEEVING - 1/2" AS P.V.C.

- IRRIGATION NOTES**
1. MAJOR CHANGES MAY BE MADE IN THIS LAYOUT WITH APPROVAL BY THE LANDSCAPE ARCHITECT
 2. ALL HEAD LOCATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION
 3. HEADS SHALL BE 1/4, 1/2, OR FULL CIRCLE AS EACH LOCATION REQUIRES
 4. SPRAYS PATTERNS SHALL BE SET TO MINIMIZE SPRAY ONTO ADJACENT WALKS, DRIVES, AND BUILDINGS
 5. IRRIGATION SYSTEM SHALL BE CONNECTED TO POTABLE WATER AT THE BUILDING
 6. THE CONTROLLER SHALL BE LOCATED IN THE GENERAL AREA SHOWN AND SHALL BE MOUNTED AS APPROVED BY THE LANDSCAPE ARCHITECT IN A LOCKABLE CABINET
 7. THE OWNER WILL PROVIDE AN ELECTRICAL OUTLET IN THE CONTROLLER AREA
 8. ALL VALVES SHALL BE INSTALLED IN WATER-RESISTANT BOXES
 9. ALL SLEEVINGS MUST BE INSTALLED PRIOR TO THE UNDERGRADING OF THE PAVED AREAS
 10. ALL SLEEVING SHALL BE 1/2" AS P.V.C. AND INSTALLED A MINIMUM OF 18" DEEP
 11. ALL FEEDER LINES SHALL BE INSTALLED A MINIMUM OF 18" DEEP
 12. RAINFALL SENSITIVE DEVICE SHALL BE INSTALLED TO MINIMIZE IRRIGATION DURING SUFFICIENT RAINFALL (50% SERIES). IN ADDITION AN ANOMALY (DT) SENSOR WITH SOIL CONTROL MONITOR MUST BE INSTALLED AS LOCATED BY THE LANDSCAPE ARCHITECT FOR PROPER IRRIGATION ADJUSTMENTS
 13. THE ENTIRE SYSTEM MUST BE OPERATIONAL, REVIEWED, AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
 14. THE CONTRACTOR SHALL RETURN WITHIN THE FIRST 30 DAYS TO ADJUST THE SYSTEM AS NECESSARY AND DIRECTED BY THE LANDSCAPE ARCHITECT
 15. ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR 1 YEAR FOR FINAL ACCEPTANCE
 16. THE CONTRACTOR MUST PROVIDE AN AS-BUILT DRAWING TO THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
 17. BACKFLOW PREVENTION DEVICE MUST BE INSTALLED BETWEEN IRRIGATION AND POTABLE WATER SOURCE
 18. SLEEVES MUST BE INSTALLED IN ALL AREAS WHERE IRRIGATION PIPING IS INSTALLED UNDER PAVEMENT
 19. ZONES ARE DESIGNED TO FUNCTION AT 35 PSI AND 40 PSI AT THE VALVE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING AT ALL HEADS TO INSURE PROPER PRESSURE AND WATER QUANTITY FOR THE DESIRED COVERAGE
 20. CONTRACTOR SHALL CONSULT WITH BOTH OWNER AND THE LANDSCAPE ARCHITECT FOR THE TUNING OF THE SYSTEM BASED ON CURRENT WATER RESTRICTIONS
 21. SYSTEM DOES NOT PROVIDE 100% COVERAGE OF THE ENTIRE PROJECT SITE. CONTRACTOR MUST ADJUST HEADS TO COVER NEW PLANT INSTALLATION AND SO2 AREAS AS DIRECTED BY THE LANDSCAPE ARCHITECT
 22. ALL LINE LOCATIONS MUST BE ADJUSTED ON-SITE TO INSURE THAT THEY DO NOT IMPACT THE MAJOR ROOT SYSTEMS OF THE TREES TO BE PRESERVED
 23. ALL IRRIGATION HEADS SHALL BE LOW-VOLUME MICRO-IRRIGATION TO MINIMIZE WATER CONSUMPTION
 24. SET RUN TIMES FOR THE SYSTEM PER RECOMMENDATIONS BY FWS @ EDK/PAM/PLEM/RESO
 25. ON HEADS LOCATED BELOW THE VALVE LOCATIONS, INVERT CHECK VALVES ARE INSTALLED AT THE HEAD
 26. POP-UP HEADS WITHIN SO2 AREAS SHALL BE SET AT 2"
 27. ALL VALVES SHALL HAVE A FACTORY-INSTALLED FILTER ENTRY AND VERIFIED BY CONTRACTOR
 28. VERIFY CONTROLLER SET-UP WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
 29. ALL IRRIGATION INSTALLATION SHALL MEET SO2 GRASSES AND STANDARDS
 30. NO IRRIGATION HEADS SHALL BE INSTALLED ON RISERS UNLESS SPECIFICALLY NOTED AND DETAILED
 31. ALL AS-BUILTS, VERIFICATIONS, ETC. MUST BE SUBMITTED PRIOR TO FINAL INSPECTION AND ACCEPTANCE
 32. BUBBLERS AT ALL TREES AND PALMS SHALL BE STAKED AT THEIR PROPER LOCATIONS

- MARION COUNTY NOTES**
1. UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION AND THE ACCEPTANCE OF THE AS-BUILT DRAWING AND OPERATIONAL INFORMATION A FINAL INSPECTION AND LANDSCAPE / IRRIGATION RELEASE SHALL BE SIGNED AND SEALED BY THE IRRIGATION DESIGN PROFESSIONAL AND SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT. ALL REQUIREMENTS OUTLINED IN SECTION 639 SHALL BE COMPLIED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS
 2. ALL REQUIREMENTS IN SECTION 639 REGARDING SYSTEM INSTALLATION, COVERINGS, OPERATION AND MAINTENANCE SHALL BE COMPLIED WITH. SYSTEM SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH FLORIDA-RESIDENT BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INITIATIVES OF THE FLORIDA WAYS AND NEIGHBORHOOD PROGRAM
 3. ALL REQUIREMENTS OUTLINED IN SECTION 639 REGARDING THE IRRIGATION SCHEDULING SHALL BE COMPLIED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS
 4. ALL REQUIREMENTS OUTLINED IN SECTION 639 REGARDING LOGGING AND CERTIFICATION OF THE IRRIGATION INSTALLATION AND MAINTENANCE PROFESSIONALS SHALL BE COMPLIED WITH
 5. NOTES HAVE BEEN SHOWN REGARDING GLOWE-UP REQUIREMENTS (636) WATERING INSTALLATION (635) AND INSTALLATION LOGGING REQUIREMENTS (638)



RICHARD A. KESSELING JR., P.E., A.S.L.A.
LANDSCAPE ARCHITECT - STATE OF FLORIDA #856

NO.	DATE	DESCRIPTION	BY

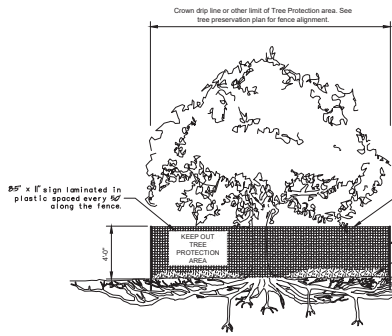
DATE	10 / 24
DRAWING NO.	
SCALE	1" = 50'
JOB NO.	
DRNAME: RAK	
DATE: 10 / 24	
SCALE: 1" = 50'	
JOB NO.:	

ENVIRONMENTAL DESIGN
ARCHITECT
1920 SE. 36. STREET
CORAL GABLES, FLORIDA 33149
(305) 422-8899
WWW.EDKARCHITECT.COM
EDK ARCHITECTURE, INC. ENVIRONMENTAL DESIGN



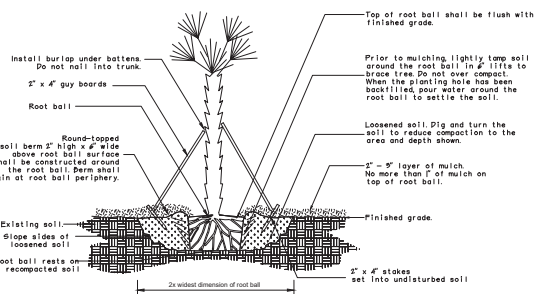
IRRIGATION PLAN
IGLESIA CRISTIANA FE Y ESPERAN
MARION OAKS
MARION COUNTY
FLORIDA

SHEET 1202 of 1202

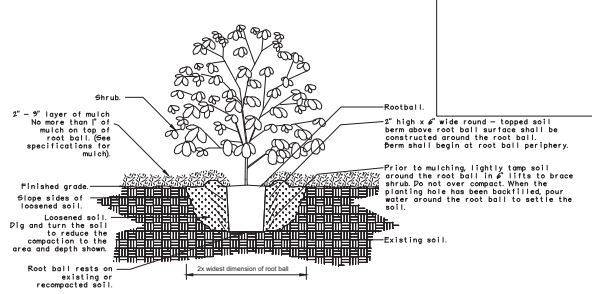


TREE PROTECTION

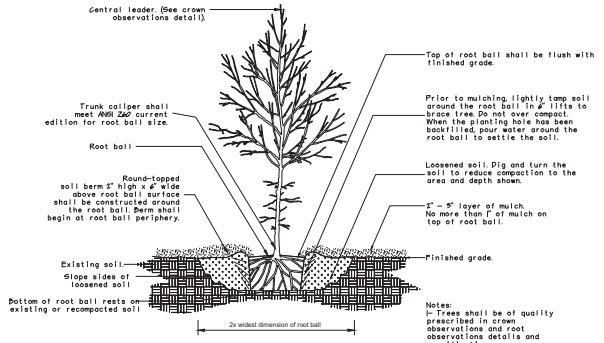
Notes:
 1- See specifications for additional tree protection requirements.
 2- No pruning shall be performed except as approved by a Certified Arborist.
 3- No equipment shall operate inside the protective fencing including during fence installation and removal.
 4- See site preservation plan for any modifications with the Tree Protection area.



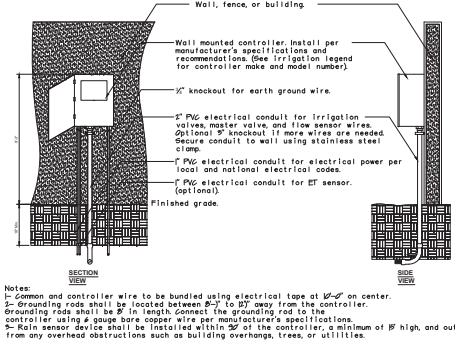
PALM INSTALLATION



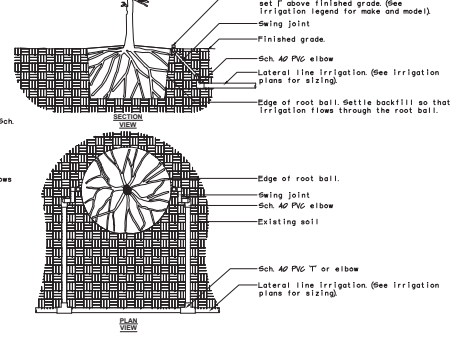
SHRUB INSTALLATION



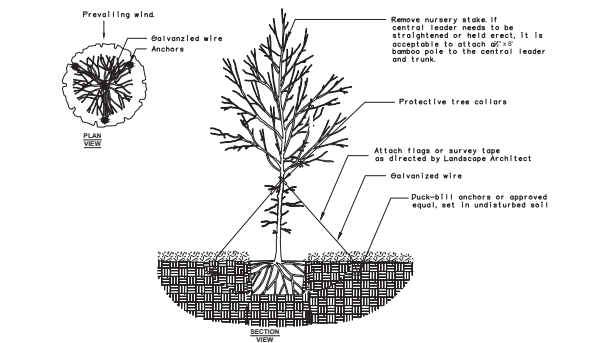
TREE INSTALLATION



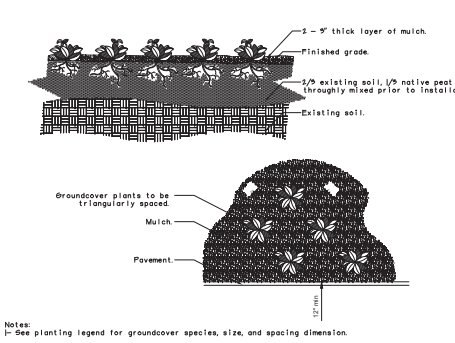
WALL MOUNTED CONTROLLER



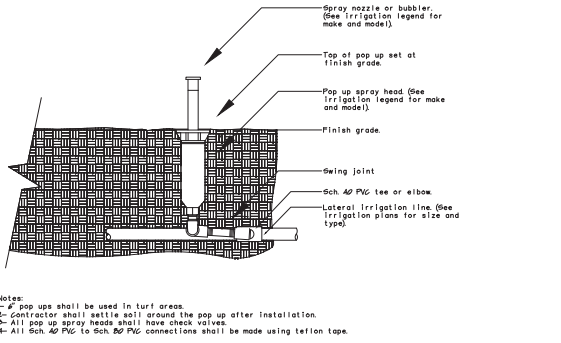
TREE BUBBLER LAYOUT



TREE STAKING - TREES < 2\"/>



GROUNDCOVER INSTALLATION



POP UP-SPRAY HEAD

NO.	DATE	DESCRIPTION

DATE:	10 / 24
DRAWING NO.:	
SCALE:	1" = 50'
JOB NO.:	
DR.:	RAK
PL.:	
CHK.:	
APP.:	

ENVIRONMENTAL DESIGN
 ANDY KESSLER, JR., ARCHITECT
 10000 W. MARION AVE., SUITE 100
 BOCA RATON, FLORIDA 33433
 (561) 832-8899
 LANDSCAPE ARCHITECTURE, SITE PLANNING, DESIGN
 COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN

LANDSCAPE & IRRIGATION DETAILS
 IGLESIA CRISTIANA FE Y ESPERAN
 MARION OAKS
 MARION COUNTY
 FLORIDA



DESIGN CRITERIA
10 MPH, EXPOSURE B

1. THE DESIGN OF THIS STRUCTURE HAS BEEN REVIEWED FOR COMPLIANCE WITH THE WINDLOAD PROVISIONS OF CHAPTER 16, 2023 FLORIDA BUILDING CODE, 8TH EDITION, BUILDING (FBC) 2023 AND ASCE 7-22, USING THE FOLLOWING CRITERIA:

- ULTIMATE DESIGN WIND SPEED, $V_u = 140$ M.P.H. (3 SECOND GUST)
- NOMINAL DESIGN WIND SPEED, $V_{50} = 108$ M.P.H.
- BUILDING RISK CATEGORY "II"
- EXPOSURE CATEGORY "B" (WORST CASE, ALL DIRECTIONS)
- INTERNAL PRESSURE COEFFICIENT:
 - + 0.18 FOR ENCLOSED STRUCTURES
 - 0.55 FOR PARTIALLY ENCLOSED STRUCTURES
 - + 0.50 FOR OPEN STRUCTURES

2. NOMINAL, LIVED, COMPONENTS AND CLADDING NET WIND PRESSURES IN POUNDS PER SQUARE FOOT (PSF) TO BE USED FOR DESIGN AND TESTING OF EXTERIOR COMPONENTS AND CLADDING MATERIALS SHALL BE IN COMPLIANCE WITH ASCE 7-22 CHAPTER 30 AS SHOWN BELOW UNLESS SHOWN OTHERWISE ON THE PLANS. THESE PRESSURES ARE FOR BUILDINGS WITH FLAT ROOFS, GABLE ROOFS AND HP ROOFS AND FOR ROOF SLOPES FROM ZERO TO 45 DEGREES.

COMPONENT TYPE	WIND ZONES	SIZE	MINIMUM DESIGN PRESSURE (PSF)
ROOF & SINGLES	ANYWALL WALL ZONES	4 SF OR LARGER	+18.4, -87.7
DOORS & WINDOWS	ANYWALL WALL ZONES	4 SF OR LARGER	-28
WALL COVERINGS	ANYWALL WALL ZONES	4 SF OR LARGER	-28
GARAGE DOORS	ANYWALL WALL ZONES	50 SF OR LARGER	-28
SOFFITS	ANYWALL WALL ZONES	ALL SIZES	+21.2, -28.3

3. MANUFACTURED SOFFITS SHALL BE APPROVED AND LABELED IN COMPLIANCE WITH FBCB 2023 SECTION 1709.10.

4. DESIGN LIVE AND DEAD LOADS USED IN THE ANALYSIS ARE AS FOLLOWS:

STRUCTURE TYPE	DEAD LOAD (PSF)	LIVE LOAD (PSF)
ROOF TRUSS TOP CORO WITH SHINGLES	7	20
ROOF TRUSS TOP CORO WITH TILES	20	20
ROOF TRUSS BOTTOM CORO	10	NA
FIRST ELEVATED FRAME FLOOR	10	40
SECOND ELEVATED FRAME FLOOR	10	40
BALCONY FRAME FLOOR	10	60
PORCH, LOFT OR DECK FRAME FLOOR	10	60
GARAGE CONCRETE FLOOR	60	60

5. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 8TH EDITION, BUILDING (FBC) 2023.

6. CONCRETE FOUNDATIONS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 18, FBCB. SUBSURFACE GEOTECHNICAL INFORMATION HAS NOT BEEN PROVIDED TO THE ENGINEER. THEREFORE FOUNDATIONS AND FOOTINGS ARE DESIGNED FOR THE FOLLOWING ASSUMED SOIL BEARING CONDITIONS: LOOSE GRANULAR MATERIAL WITH NO APPRECIABLE CLAY OR ORGANIC MATERIAL WITH A MINIMUM ALLOWABLE BEARING PRESSURE OF 2000 PSF PER FBCB TABLE 1804.2. COMPACT FILL TO 95% MODIFIED PROCTOR.

7. ALL EGRESS DOORS AND STAIRS SHALL HAVE A LANDING WIDTH NOT LESS THAN DOOR SERVED W/MIN. 36" DIMENSION IN DIRECTION OF TRAVEL.

8. MASONRY CONSTRUCTION SHALL CONFORM TO REQUIREMENTS OF CHAPTER 21, FBCB. NET AREA COMPRESSIVE STRENGTH OF MASONRY IS 1500 PSI, TYPE M, OR 5 MORTAR SHALL BE USED. ALL MASONRY SHALL BE Laid IN RUNNING BOND PATTERN WITH HEAD JOINTS IN SUCCESSIVE COURSES OFFSET BY NOT LESS THAN ONE-FOURTH THE UNIT LENGTH. THICKNESS OF BED JOINTS SHALL NOT EXCEED 5/8". GLASS UNIT MASONRY SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 2110, FBCB.

9. GROUT USED TO FILL CELLS, LINTELS AND BOND BEAMS SHALL CONFORM TO REQUIREMENTS OF ASTM C476 AND CHAPTER 21, FBCB. REQUIRED MINIMUM COMPRESSIVE STRENGTH IS 2000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED.

10. CONCRETE SHALL CONFORM TO REQUIREMENTS OF CHAPTER 19, FBCB, AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED.

11. REINFORCING BARS SHALL BE GRADE 40 OR 60 MINIMUM IN FOUNDATIONS, MASONRY FOUNDATION WALLS, AND CMU WALLS UNLESS OTHERWISE NOTED. REINFORCING BARS SHALL BE DEFORMED BILLET STEEL BARS AND COMPLY WITH ASTM A 615 REQUIREMENTS. JOINT REINFORCING IF USED, SHALL BE 9 GAUGE GALVANIZED STEEL CONFORMING TO ASTM A62 REQUIREMENTS. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 REQUIREMENTS. WIRE FABRIC SHALL BE SUPPORTED AS REQUIRED IN SECTION 1907, FBCB. SYNTHETIC FIBER REINFORCEMENT SHALL CONFORM TO REQUIREMENTS OF SECTION 1907, FBCB.

12. WOOD ROOF AND WALL SHEATHING SHALL BE APA-RATED PANELS AND FASTENERS SHALL CONFORM WITH TABLE 2304.10.1, FBCB. WALL SHEATHING FASTENERS SHALL BE 80 COMMON OR GALVANIZED BOX NAILS WITH SPACING ALONG PANEL EDGES 12" O.C. AND INTERMEDIATE FASTENERS AT 12" O.C. UNLESS OTHERWISE NOTED. ROOF SHEATHING FASTENERS SHALL BE 80 RING SHANK NAILS (RSN) COMPLIANT WITH THE REQUIREMENTS OF ASTM F1687 WITH SPACING 12" O.C. WITH A DISTANCE OF EYES, HPS, RIDGES, GABLE ENDS, THICKNESS OF WOOD PANELS ARE NOTED ON THE DRAWINGS. FRAME WALL BRACING (SHEAR WALLS) SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 2305, FBCB UNLESS OTHERWISE NOTED.

13. WOOD STUDS AND GIRDERS SUPPORT POSTS USED FOR BEARING WALL FRAMING SHALL BE MEM-FIR, S-P-F, OR S-Y-P #2 GRADE OR BETTER. ALL POSTS UNDER GIRDERS SHALL HAVE A MINIMUM OF ONE STUD PER GIRDER PLY. WALL OPENINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 2309, FBCB, UNLESS OTHERWISE NOTED. WOOD BEAMS, GIRDERS, RAFTERS AND OTHER HORIZONTAL LOAD BEARING ELEMENTS SHALL BE S-Y-P GRADE #2 OR BETTER.

14. FASTENING OF WOOD FRAMING SHALL CONFORM TO TABLE 2304.10.1, FBCB, UNLESS OTHERWISE NOTED. FOR EXTERIOR INSTALLATIONS WASHERS SHALL BE USED UNDER ALL NUTS AND BOLT HEADS BEARING DIRECTLY ON WOOD, AND ALL OF THOSE NUTS, BOLTS AND WASHERS SHALL BE CORROSION RESISTANT.

15. DESIGN OF PREFABRICATED WOOD TRUSSES IN FLOORS AND ROOFS IS DELEGATED TO THE TRUSS MANUFACTURER'S ENGINEER. THE TRUSS ENGINEER SHALL SUBMIT ENGINEERING DOCUMENTS FOR REVIEW FOR CONFORMANCE WITH THE DESIGN INTENT OF THE PROJECT. INSTALLATION OF PREFABRICATED WOOD TRUSSES SHALL FOLLOW THE RECOMMENDATIONS OF THE MANUFACTURER. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL TEMPORARY AND PERMANENT TRUSS BRACING REQUIRED BY THE MANUFACTURER IN ADDITION TO ANY SUPPLEMENTAL BRACING SHOWN ON THE DRAWINGS.

16. WOOD CONNECTION CONNECTORS SHOWN ON THE DRAWINGS REPRESENT THE DESIGNERS INTENT TO FURNISH A COMPLETE LOAD PATH FROM ROOF TO FOUNDATION. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND INSTALLING THE SPECIFIED CONNECTOR OR A SUBSTITUTE CONNECTOR WITH DOCUMENTED EQUIVALENT CAPACITY.

17. DEVIATIONS FROM THESE DRAWINGS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND OWNER. MODIFICATIONS OF STRUCTURAL DETAILS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL, PRIOR TO PROCEEDING WITH THE MODIFICATION. ALL CHANGES TO STRUCTURAL DETAILS CONSTRUCTED WITHOUT PRIOR APPROVAL OF THE ENGINEER ARE AT THE CONTRACTORS AND OWNERS RISK.

DRAWING INDEX

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P1	SANITARY SEWER PLAN
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LS1	LIFE SAFETY PLAN
O1	OCCUPANCY CALCCS
T1	ROOF TRUSS PLAN
E1	ELECTRICAL PLAN

GENERAL CONSTRUCTION NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND INSTALLING THE SPECIFIED CONNECTOR OR A SUBSTITUTE CONNECTOR WITH DOCUMENTED EQUIVALENT CAPACITY.
- ALL EGRESS DOORS SHALL HAVE A LANDING WIDTH NOT LESS THAN DOOR SERVED W/ A MIN. 36" DIMENSION IN DIRECTION OF TRAVEL.
- CONTRACTOR TO VERIFY GAS AND/OR ELECTRIC APPLIANCES.
- CONTRACTOR TO VERIFY LOCATION OF IN SLAB ELECTRIC AND PIPE LOCATIONS.
- CONTRACTOR TO PROVIDE FLORIDA PRODUCT APPROVAL NUMBERS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR TO VERIFY ALL DIMENSIONS. ANY DISCREPANCIES BETWEEN PORTIONS OF DRAWING OR BETWEEN THE DRAWINGS AND FIELD CONDITIONS SHALL BE REPORTED TO ENGINEER IMMEDIATELY FOR RESOLUTION BEFORE PROCEEDING WITH WORK.
- CONTRACTOR TO VERIFY SETBACKS, UTILITY LOCATIONS AND ZONING REQUIREMENTS AND FOLLOW ALL CONSTRUCTION GUIDELINES CONSISTENT W/ LOCAL BUILDING CODE AND ORDINANCES.
- DEVIATIONS FROM THESE DRAWINGS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND OWNER. MODIFICATIONS OF STRUCTURAL DETAILS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PROCEEDING WITH THE MODIFICATION. ALL CHANGES TO STRUCTURAL DETAILS CONSTRUCTED WITHOUT PRIOR APPROVAL OF THE ENGINEER ARE AT THE CONTRACTORS AND OWNERS RISK.

APPLICABLE CODES

BUILDING CODE:	2023 FLORIDA BUILDING CODE, 8TH EDITION
MECHANICAL CODE:	2023 FLORIDA MECHANICAL CODE, 8TH EDITION
PLUMBING CODE:	2023 FLORIDA PLUMBING CODE, 8TH EDITION
ELECTRICAL CODE:	2023 NEC
ACCESSIBILITY CODE:	2023 FLORIDA BUILDING CODE, 8TH EDITION CHAPTER 11, FLORIDA ACCESSIBILITY MANUAL
FIRE CODE:	FLORIDA FIRE PREVENTION CODE, 8TH EDITION

BUILDING DATA

OCCUPANCY CLASSIFICATION:	A-3 ASSEMBLY
CONSTRUCTION TYPE:	TYPE VB (UNSPRINKLERED)
FIRE PROTECTION TYPE:	NONE
EXPOSURE CATEGORY:	C
SQUARE FOOTAGE:	TOTAL SQ FT = 3,856 CONDITIONED
OCCUPANT LOAD:	256 PERSONS
PLUMBING FIXTURE CALCULATIONS:	
WATERCLOSETS:	
MALE:	REQUIRED: 1/150 -> PROVIDED: 2
FEMALE:	REQUIRED: 1/75 -> PROVIDED: 2
H.O.D DRINKING FOUNTAIN:	REQUIRED: 1/10000 -> PROVIDED: 1
SERVICE SINK:	REQUIRED: 1 -> PROVIDED: 1

FIRE EXTINGUISHERS
GENERAL CONTRACTOR SHALL INSTALL 2A 10BC RATED FIRE EXTINGUISHERS THROUGHOUT THE BUILDING WITH A MAXIMUM OF 75 FEET TO ANY EXTINGUISHER IN ACCORDANCE WITH NFPA 10, STANDARDS FOR PORTABLE FIRE EXTINGUISHERS, SECTION 9.7.4.

PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 10, STANDARD FOR PORTABLE FIRE EXTINGUISHERS.



THE CONTRACTOR SHALL BE RESPONSIBLE AND THAT ALL CONSTRUCTION COMPLIES WITH THE FLORIDA BUILDING CODE, 8TH EDITION, AND ALL APPLICABLE ORDINANCES, DEVISIONS, AND REGULATIONS WITH PROVIDED BY THE CLIENT. BLUEWATER DRAFTING, INC. SHALL BE RESPONSIBLE FOR THE PRODUCTION OF THESE DRAWINGS THROUGH THE PRODUCTION FROM THE CLIENT'S INFORMATION. ANY COPY RIGHT INFRINGEMENT, OWNER SHALL BE RESPONSIBLE FOR ANY LIABILITY.

A CUSTOM PLAN FOR:
FAITH AND HOPE TEMPLE

Project:	BW-8463
Date:	10-09-19
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Florida Registration No. 28317

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THE LAW REQUIRES THE OWNER OF ANY COMMERCIAL, INDUSTRIAL OR ANY MULTI-UNIT RESIDENTIAL STRUCTURE OF THREE UNITS OR MORE, THAT USES LIGHT-FRAME TRUSS-TYPE CONSTRUCTION TO MARK THE STRUCTURE WITH A SIGN OR SYMBOL APPROVED BY THE STATE FIRE MARSHAL IN A MANNER SUFFICIENT TO WARN PERSONS CONDUCTING FIRE CONTROL AND OTHER EMERGENCY OPERATIONS OF THE EXISTENCE OF LIGHT-FRAME TRUSS TYPE CONSTRUCTION IN THE STRUCTURE.

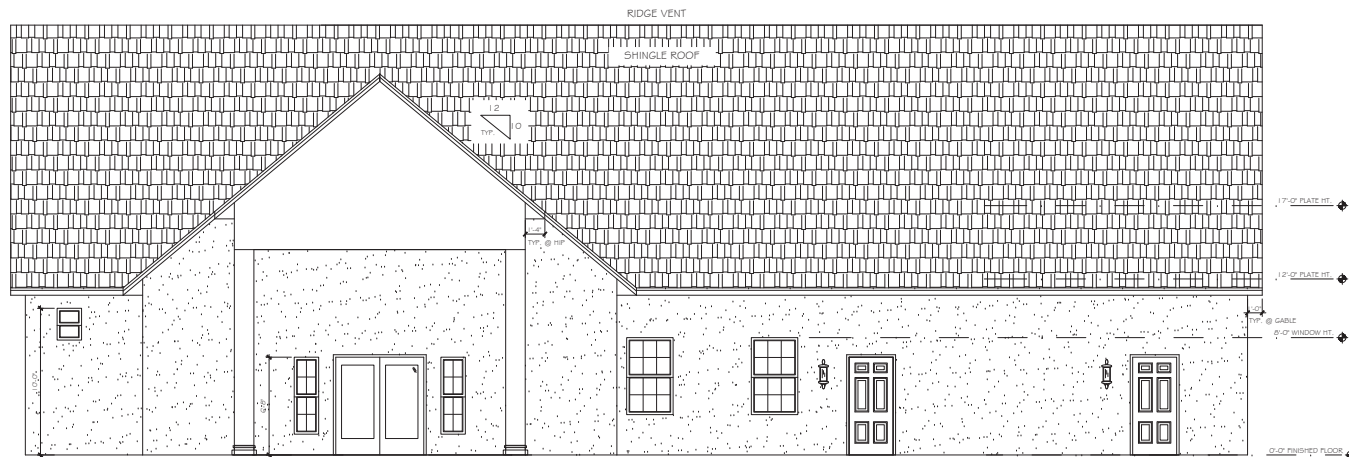
- SYMBOLS MUST BE ALL WEATHER AND CONTRASTING WITH BACKGROUND
- MALTESE CROSS SHALL MEASURE 8 INCHES HORIZONTALLY AND 8 INCHES VERTICALLY
- MALTESE CROSS SHALL BE A BRIGHT RED REFLECTIVE COLOR
- MALTESE CROSS SHALL BE WITHIN 24 INCHES TO THE LEFT OF THE MAIN ENTRY DOOR(S)
- MALTESE CROSS SHALL BE NOT LESS THAN 4 FEET ABOVE GRADE, WALKING SURFACE, FINISHED FLOOR
- MALTESE CROSS SHALL BE NOT MORE THAN 6 FEET ABOVE GRADE, WALKING SURFACE, FINISHED FLOOR



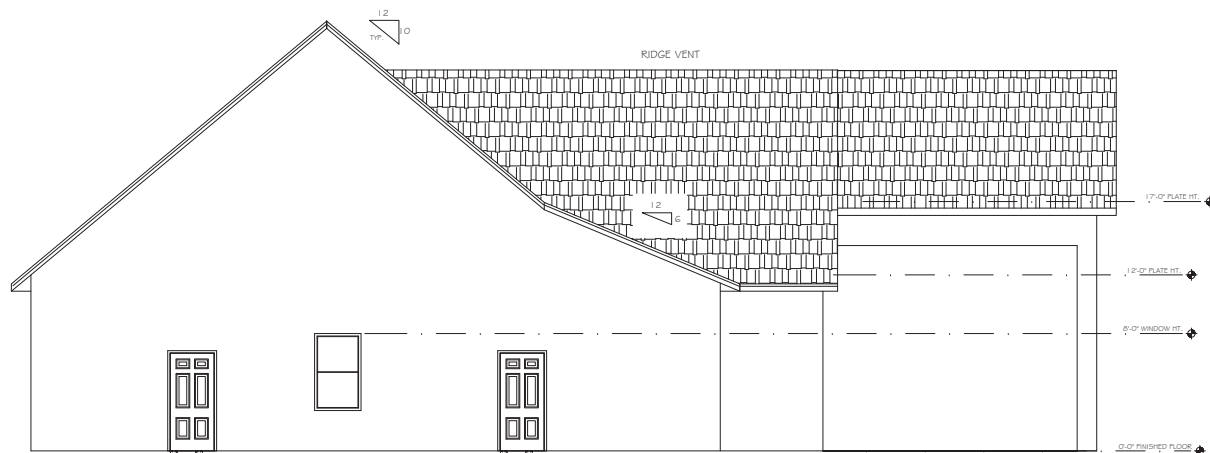
LIGHTWEIGHT TRUSS ROOF

VICINITY MAP

FAITH & HOPE TEMPLE



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

VENTILATION CALCULATION	ROOF CRITERIA
FORMULA = S.F. / 300 PER SECTION RIDGE = LINEAR FEET OF GAP MASTER FLOW RIDGE + SCOTTIE VENTS OR EQUAL 3854 SF = RIDGE VENT: 44' SCOTTIE VENT: 102'	- PLUMB CUT FASCIA - ROOF PITCH PER ELEVATION WINDLOAD CALC. PER ASCE 7-22 (REFER TO PLAN) - SHINGLE ROOF LOADING TYPED TOP CHORD, 10 LBS PER CHORD, TYP U.N.O. PER TRUSS MANUF. ADDRESS TO CONFIRM RE RIDGE VENT MANUF. PRIOR TO INSTAL.

THE CONTRACTOR SHALL BE RESPONSIBLE AND THAT ALL CONSTRUCTION COMPLIES WITH ALL APPLICABLE CODES AND ORDINANCES. BLUWATER DRAFTING, INC. SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY OCCUR THROUGH THE REPRODUCTION OF THIS DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BLUWATER DRAFTING, INC.

A CUSTOM PLAN FOR:
FAITH AND HOPE TEMPLE

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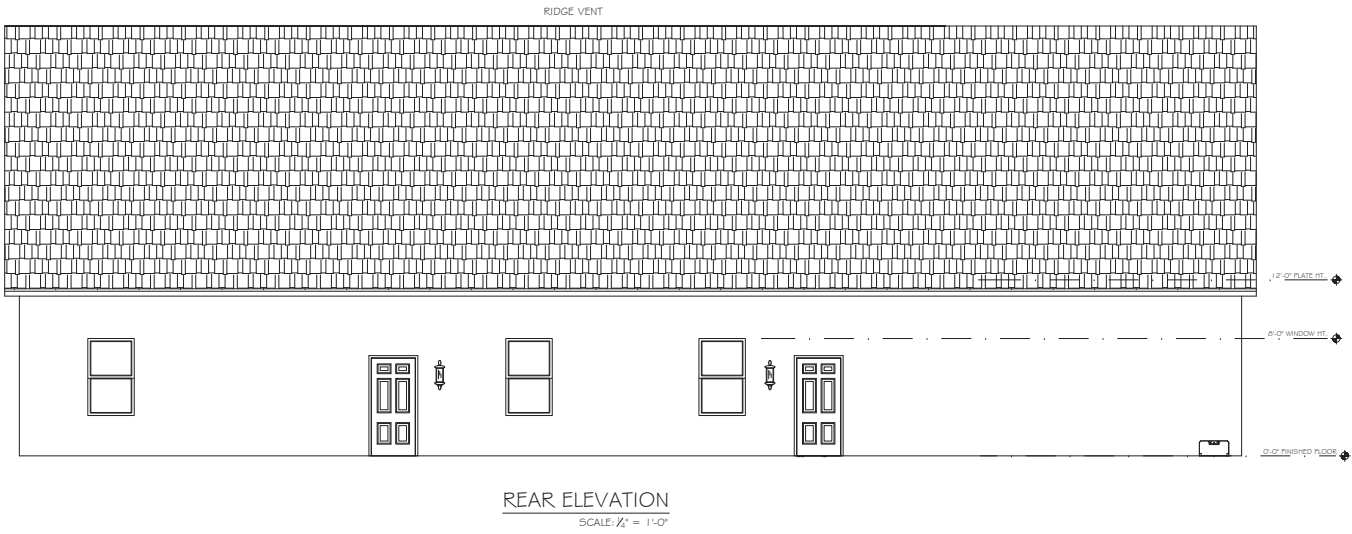
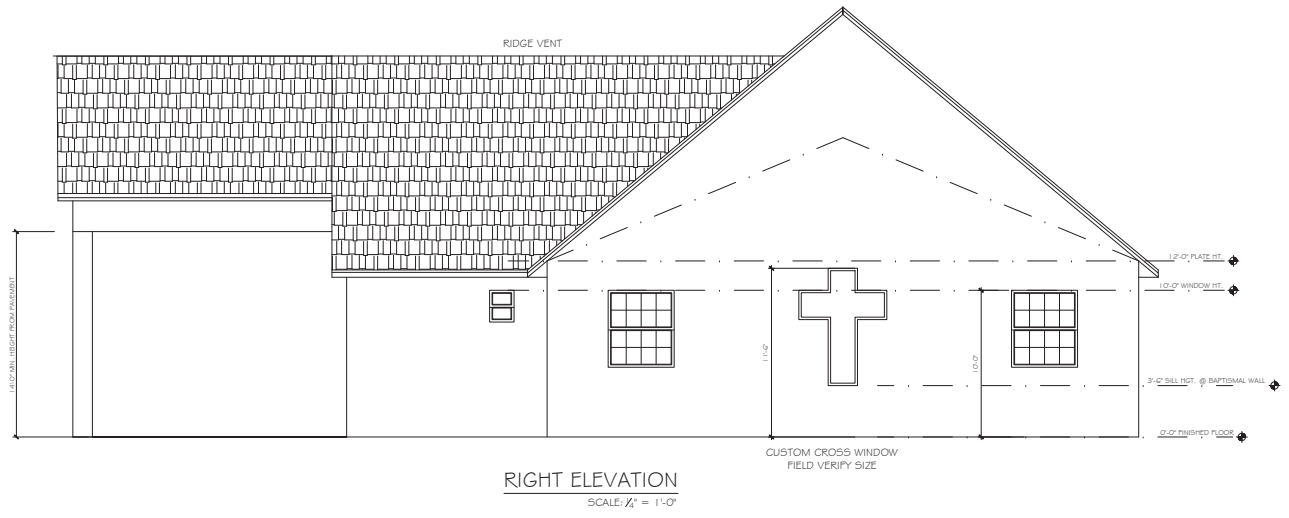
Kickbacks:
 04-10-24
 05-30-24
 06-11-24

THE STRUCTURAL SYSTEM FOR THIS BUILDING HAS BEEN REVIEWED FOR COMPLIANCE WITH CHAPTER 16 OF THE 2023 FLORIDA BUILDING CODE, 8TH EDITION, USING ASCE/SEI 7-22 148 M.P.H. 3 SECOND GUST.

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THE CONTRACTOR SHALL BE RESPONSIBLE AND THAT ALL CONSTRUCTION COMPLIES WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL DESIGN AND ELEVATIONS WILL BE PROVIDED BY THE CLIENT. BLUEWATER DRAFTING, INC. DOES NOT ASSUME RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS THAT MAY OCCUR FROM REPRODUCTION OF ANY DRAWING. BLUEWATER DRAFTING, INC. ASSUMES NO LIABILITY FOR ANY COPY, RIGHT INFRINGEMENT. OWNER SHALL ASSUME ALL COPYRIGHT RESPONSIBILITY.

A CUSTOM PLAN FOR:
FAITH AND HOPE TEMPLE

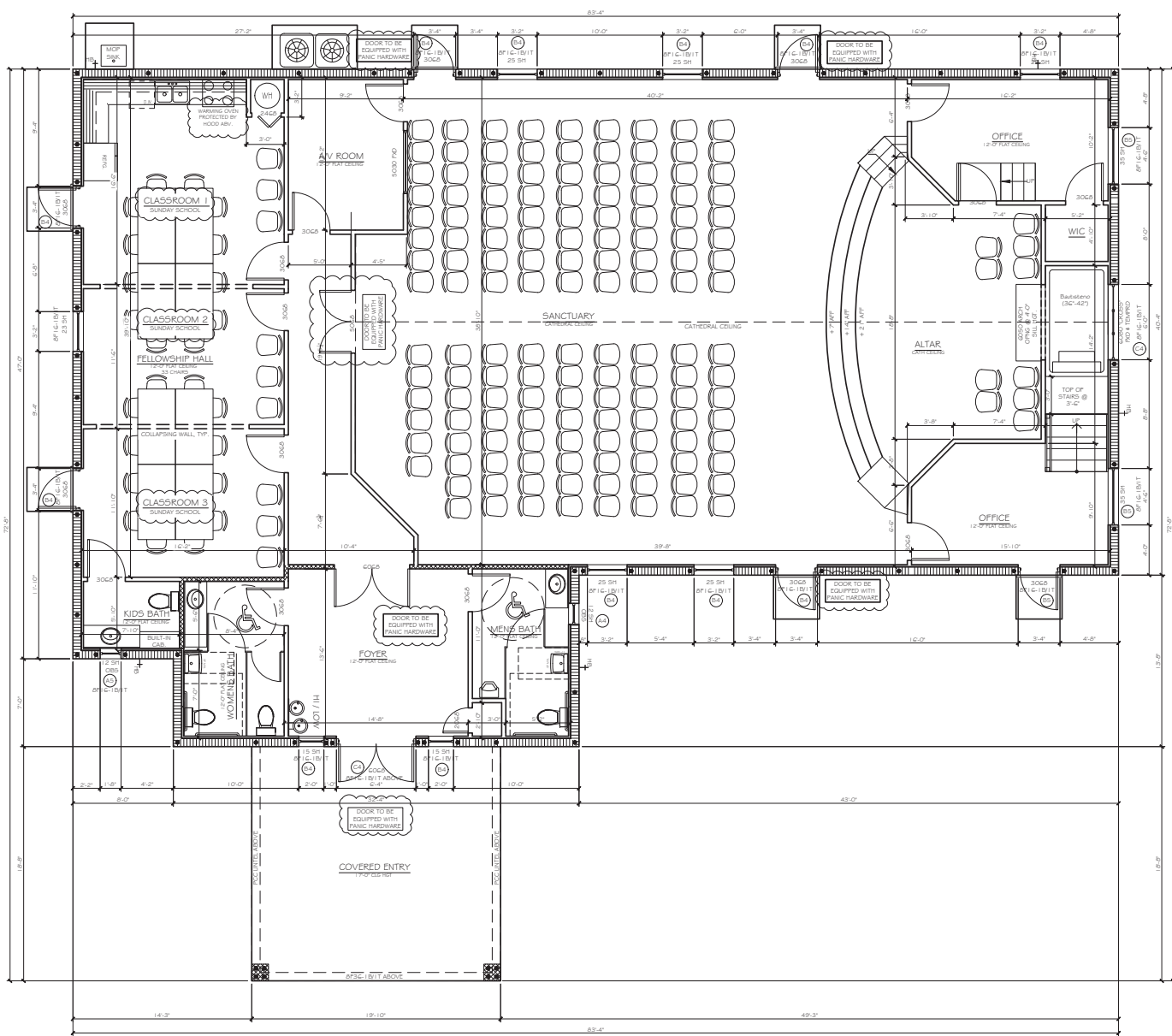
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SHEET
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FLOOR PLAN
SCALE: 1/4" = 1'-0"

- INSTALL 6" SOUND FIBERGLASS SOUND BATT INSULATION ABOVE THE RESTROOM CEILING. INSTALL 3" SOUND BATT IN ALL NEW WALLS.
- INSTALL 4'-0" WIDE R-19 FIBERGLASS BATT INSULATION CENTERED ATOP WALLS FOR ALL NEW WALLS.
- PAIN SHALL BE MANUF. BY SHERWIN WILLIAMS
 - INTERIOR GYPSUM BOARD WALLS:
 - SMOOTH LEVEL 4 FINISH
 - PRIMER TO BE MANUF. BY SHERWIN WILLIAMS
 - TWO COATS OF LATEX EGGSHELL MIN. (ASSURE FULL COVERAGE)
 - WALL PAINT COLOR: SELECTED BY TENANT
 - INTERIOR GYPSUM CEILING:
 - LIGHT KNOCK-DOWN TEXTURE
 - PRIMER TO BE MANUF. BY SHERWIN WILLIAMS
 - TWO COATS OF LATEX FLAT MIN. (ASSURE FULL COVERAGE)
 - CEILING PAINT COLOR: SELECTED BY TENANT
- INTERIOR WOOD DOORS, WINDOWS, WINDOW TRIM
 - STAIN & 3-COATS OF SATIN POLYURETHANE COLOR BY TENANT
- ACCUSTICAL TILE CEILING & GRID: CERTANTEED, PERFORMA SERIES, CASHMERE, NARROW REVEAL, CORNER BEVEL, 9/16 GRID, WHITE, 2'x2'x5/4"
- VINYL PLANK FLOORING, ROPPE, NORTHERN TIMBERS, STEELY ASH 045. (FINAL COLOR SELECTION T.O.D.) (SEE DOWN)
- EXIT ACCESS AND CORRIDORS WALLS & CEILING SHALL HAVE CLASS B FLAME SPREAD FINISHES OR BETTER (FLAME SPREAD INDEX 26-75; SMOKE-DEVELOPED INDEX 0-450)
- ROOMS AND ENCLOSED SPACES WALLS & CEILING SHALL HAVE CLASS C FLAME SPREAD FINISHES OR BETTER (FLAME SPREAD INDEX 76-200; SMOKE-DEVELOPED INDEX 0-450)

ROOM FINISH SCHEDULE				
ROOM	FLOOR	BASE	WALLS	CEILING
DESCRIPTION				
RESTROOMS	POURED CONCRETE	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	ACCUSTICAL TILE
CLASSROOMS	POURED CONCRETE	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	ACCUSTICAL TILE
FOYER	POURED CONCRETE	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	ACCUSTICAL TILE
OFFICES	POURED CONCRETE	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	ACCUSTICAL TILE
SANCTUARY / ALTAR	POURED CONCRETE	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	ACCUSTICAL TILE
AV ROOM	POURED CONCRETE	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	ACCUSTICAL TILE

INTERIOR FINISH RATINGS:
 INTERIOR WALL AND FINISH RATINGS PER FSC TABLE 603.9
 CORRIDORS CLASS B OR BETTER
 ROOMS AND ENCLOSED SPACES CLASS C OR BETTER
 INTERIOR FLOOR FINISHES PER 604.1 NOT TO BE LESS THAN CLASS II

WINDOW LEGEND			
UNIT	FRAMING OPENING	BLOCK OPENING	NOTES
12	18'-0" x 35'-0"	18'-0" x 35'-0"	
13	18'-0" x 35'-0"	18'-0" x 35'-0"	
14	18'-0" x 50'-0"	18'-0" x 50'-0"	
15	18'-0" x 50'-0"	18'-0" x 50'-0"	
16	18'-0" x 50'-0"	18'-0" x 50'-0"	
432	26'-0" x 26'-0"	27'-0" x 26'-0"	
433	26'-0" x 38'-0"	27'-0" x 38'-0"	
434	26'-0" x 50'-0"	27'-0" x 50'-0"	
434B	26'-0" x 56'-0"	27'-0" x 56'-0"	
435	26'-0" x 62'-0"	27'-0" x 62'-0"	
436	26'-0" x 72'-0"	27'-0" x 72'-0"	
32	37'-0" x 30'-0"	37'-0" x 30'-0"	
23	37'-0" x 38'-0"	37'-0" x 38'-0"	
24	37'-0" x 50'-0"	37'-0" x 50'-0"	
24B	37'-0" x 56'-0"	37'-0" x 56'-0"	
25	37'-0" x 62'-0"	37'-0" x 62'-0"	
26	37'-0" x 72'-0"	37'-0" x 72'-0"	
DBL 2-UNIT	72' x (SEE ABOVE)	72' x (SEE ABOVE)	
32	53'-0" x 26'-0"	54' x 26'	
33	53'-0" x 38'-0"	54' x 38'	
34	53'-0" x 50'-0"	54' x 50'	
34B	53'-0" x 56'-0"	54' x 56'	
35	53'-0" x 62'-0"	54' x 62'	
36	53'-0" x 72'-0"	54' x 72'	
DBL 3-UNIT	107' x (SEE ABOVE)	107' x (SEE ABOVE)	

WALL LEGEND	
	LOAD-BEARING INTERIOR WALL
	2'-0" WALL HEIGHT
	NONBEARING FRAME WALL

LINTEL TYPE DESIGNATION	
F	FILLED WITH GROUT / U UNLITLED
Q	QUANTITY OF #5 REBAR AT BOTTOM OF LINTEL CAVITY
T	QUANTITY OF #5 REBAR AT TOP

NOTES:
 1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, STRUTS, AND OVERALL SITE CONDITIONS PRIOR TO CONSTRUCTION.
 2. IF ANY DISCREPANCIES BETWEEN THIS PLAN AND EXISTING CONSTRUCTION ARE FOUND THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.

SQUARE FOOTAGE		
CONDITIONED	3,856	S.F.
COVERED ENTRY	370	S.F.
TOTAL	4,226	S.F.

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 Michael A. Robinson, P.E.
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 1275 W. Gulf Dr. Suite 100, Leesville, FL 34687
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THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS SHOWN WITH LOCAL BUILDING CODES AND ORDINANCES. DESIGN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE BUILDING CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

A CUSTOM PLAN FOR:
FAITH AND HOPE TEMPLE

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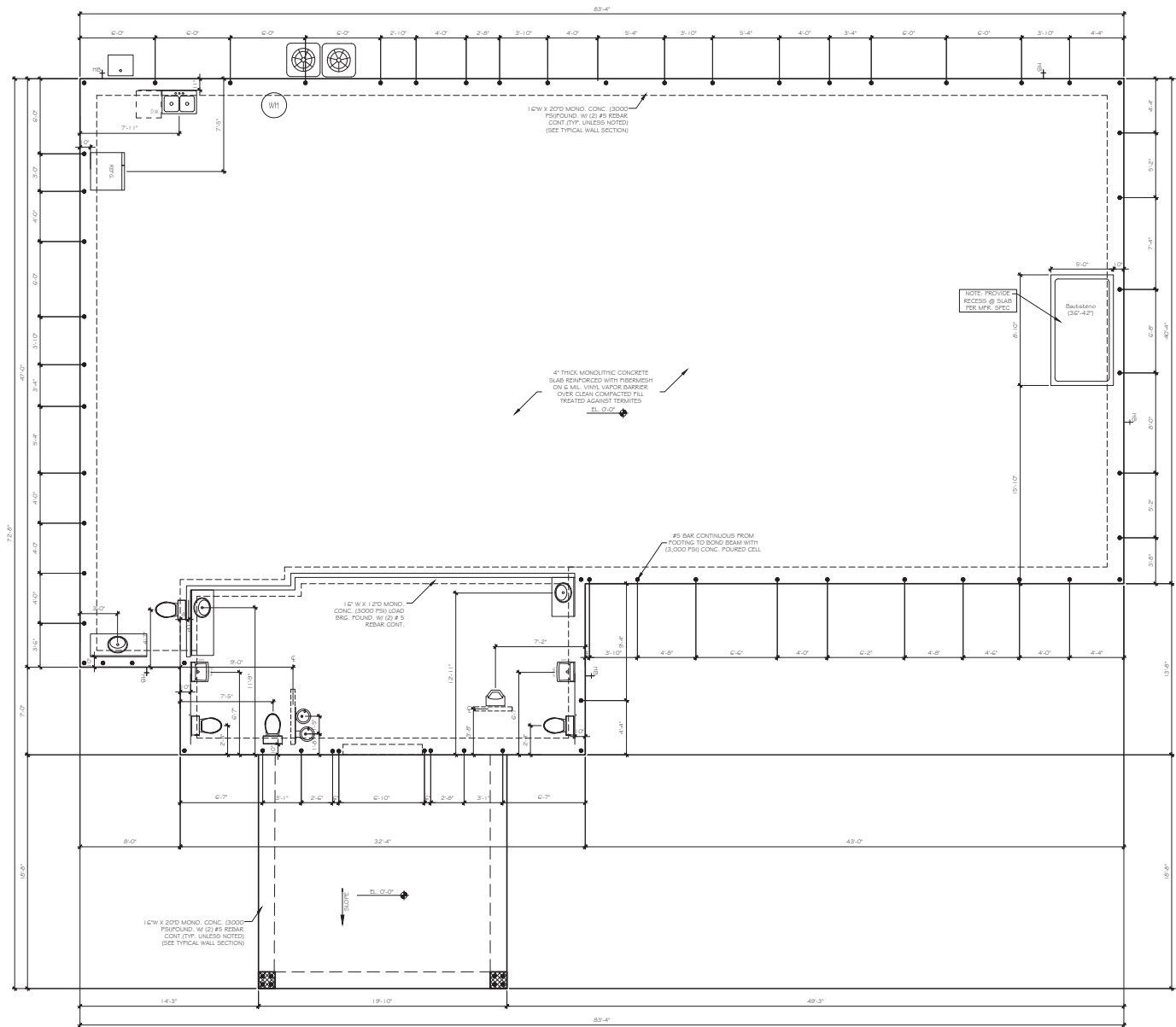
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Kickbacks: 04-10-24, 05-30-24, 06-11-24

SHEET

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FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS SHOWN. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH LOCAL BUILDING CODE & ORDINANCES BY THE CITY. FOLLOW THE BUILDING CODE. SHALL BE HELD HARMLESS FROM ANY CLAIMS OF ANY KIND OR NATURE, INCLUDING ANY CLAIMS RELATED TO OR ARISING OUT OF ANY DESIGN OR CONSTRUCTION OF ANY KIND. ASSUME ALL COPYRIGHT RESPONSIBILITY.

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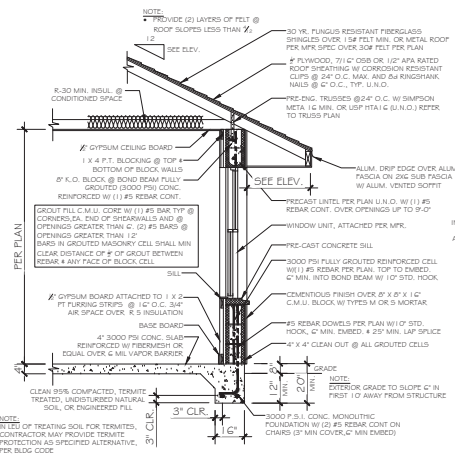
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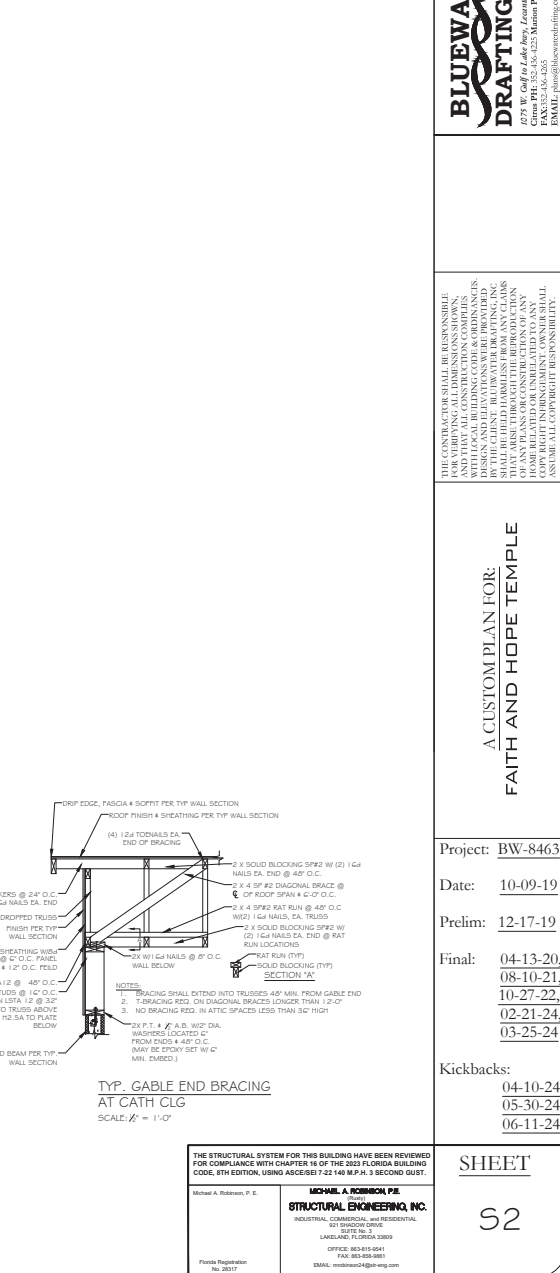
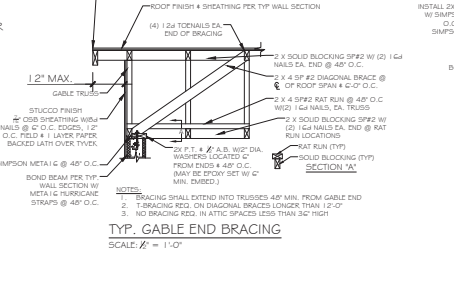
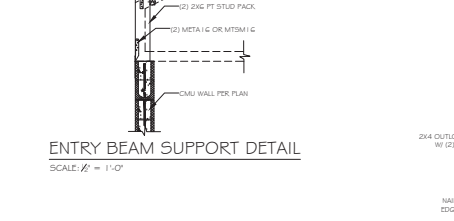
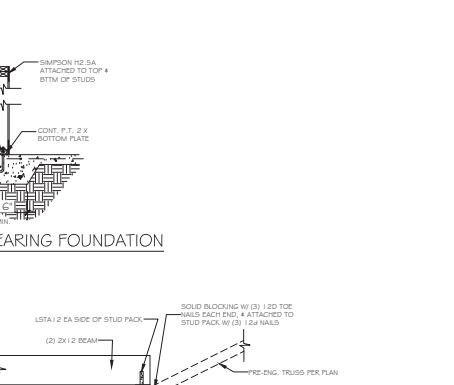
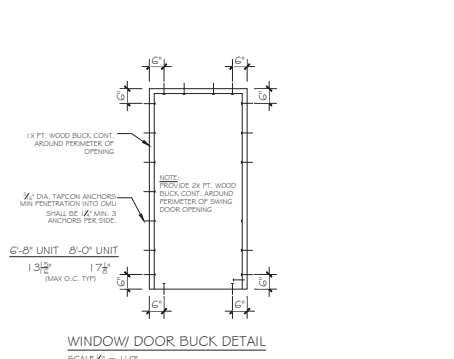
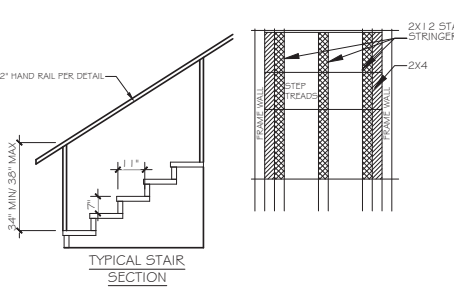
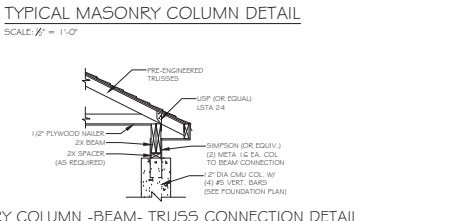
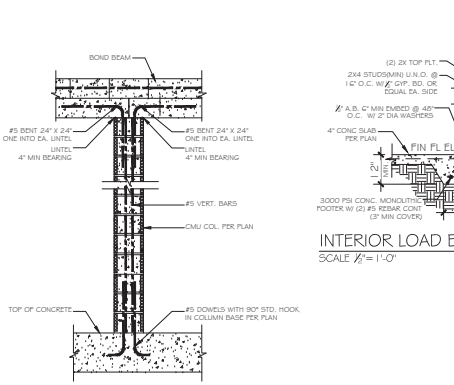
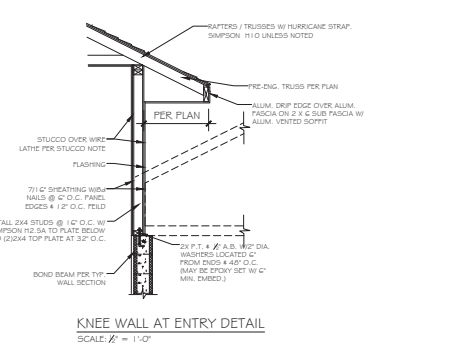
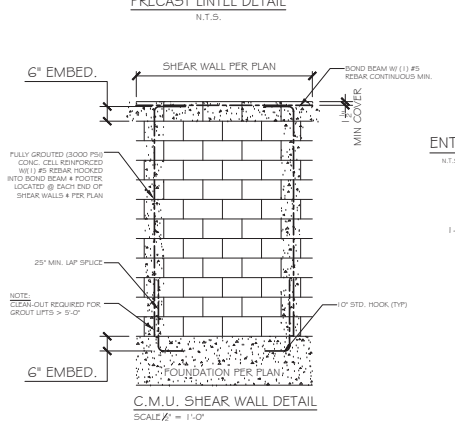
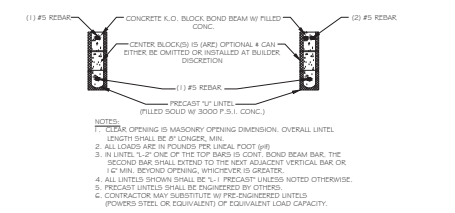
A CUSTOM PLAN FOR:
FAITH AND HOPE TEMPLE

Project: BW-8463
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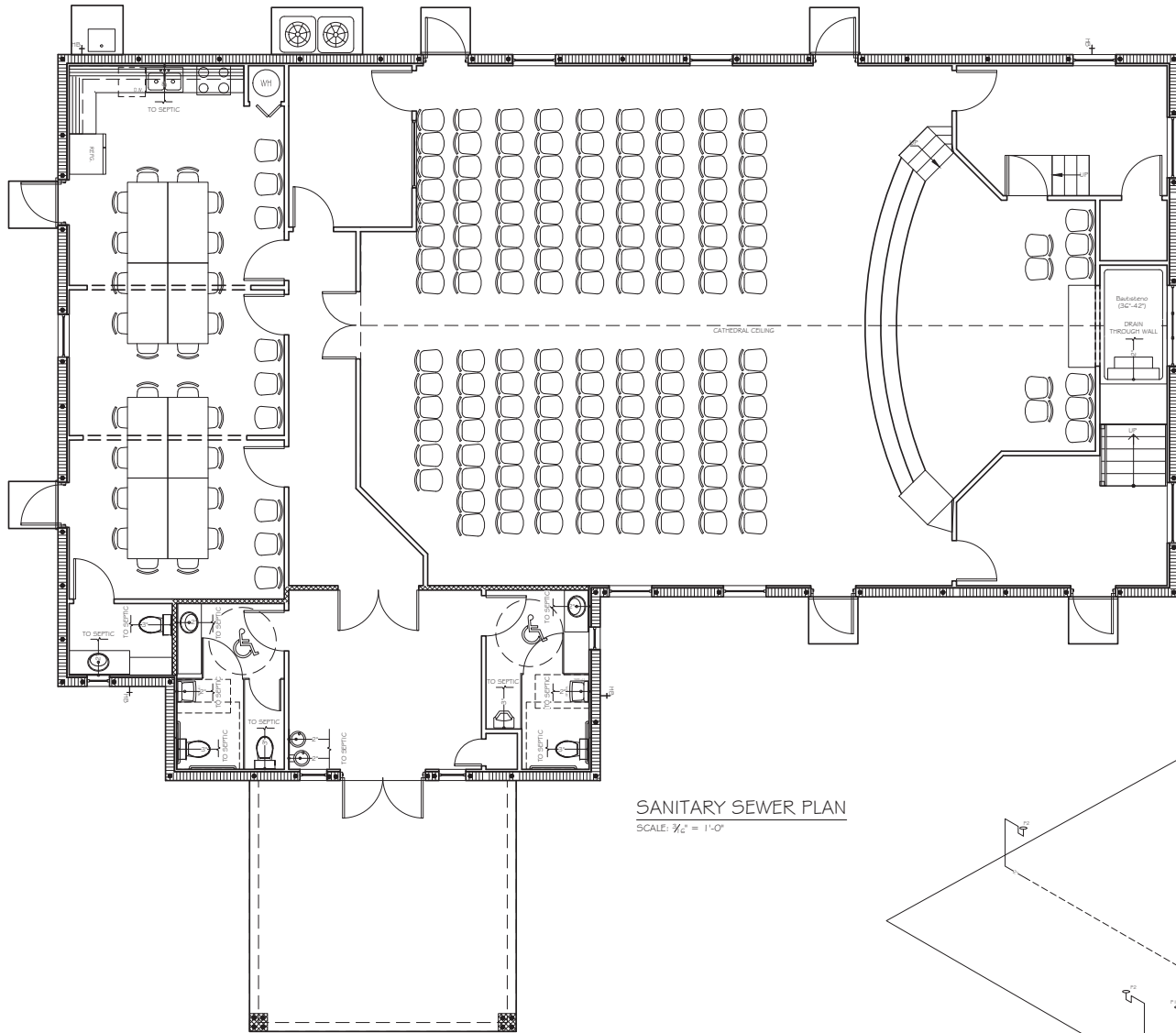
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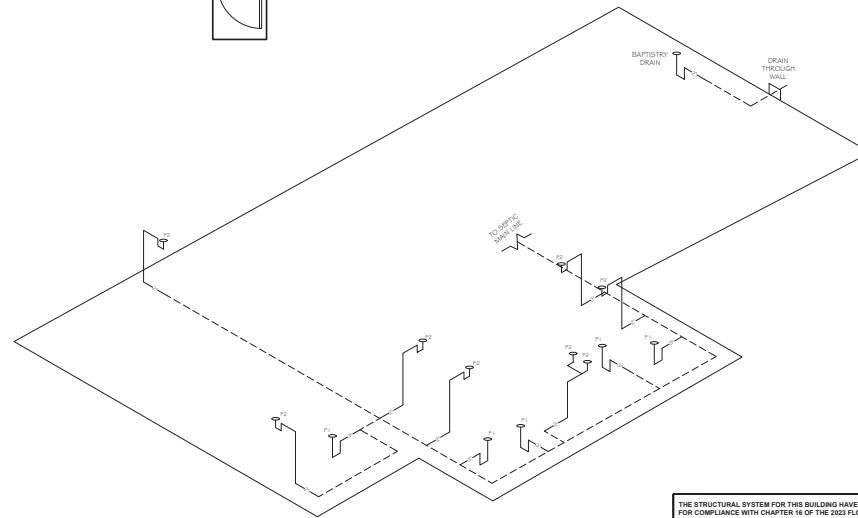
CLEAR OPENING	GRAVITY LOAD	UPLIFT	CLEAR OPENING	GRAVITY LOAD	UPLIFT
UP TO 8'-0"	125.4	5.80	UP TO 8'-0"	125.4	1.192
UP TO 11'-0"	125.4	6.81	UP TO 11'-0"	125.4	8.18
UP TO 14'-0"	350	36.1	UP TO 14'-0"	350	45.8
UP TO 18'-0"	750	31.3	UP TO 18'-0"	750	30.3



THE STRUCTURAL SYSTEM FOR THIS BUILDING HAVE BEEN REVIEWED FOR COMPLIANCE WITH CHAPTER 16 OF THE 2023 FLORIDA BUILDING CODE, 8TH EDITION, USING ASSESS 7.2.148 W.P.A. 3 SECOND GUST.
 Michael A. Robinson, P.E.
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 LEONIA, NJ 07647
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 EMAIL: michael@ma-robinson.com
 Florida Registration No. 26317

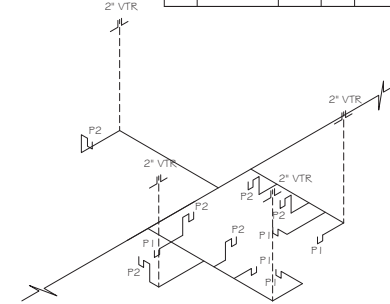


SANITARY SEWER PLAN
SCALE: 3/8" = 1'-0"



SANITARY SEWER ISOMETRIC VIEW
N.T.S.

PLUMBING FIXTURE SCHEDULE				
MARK	DESCRIPTION	W OR S	TRAP	VENT
P1	WATER CLOSET	3"	INT	2"
P2	SINK	2"	2"	2"
P3	SHOWER	2"	--	2"
F4	TUB	2"	--	2"
P5	WASHER	2"	2"	2"



PLUMBING RISER
N.T.S.

THE STRUCTURAL SYSTEM FOR THIS BUILDING HAVE BEEN REVIEWED FOR COMPLIANCE WITH CHAPTER 16 OF THE 2023 FLORIDA BUILDING CODE, 6TH EDITION, USING ASCE/SEI 7-22 140 M.F.P.A. 3 SECOND EDITION.

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THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS SHOWN, WITH LOCAL BUILDING CODES & ORDINANCES BY THE CLIENT. FOLLOW THE DRAINING SHALL BE HUNG FROM ANY GLASS FROM RELATED TO ANY PLAN. ASSUME ALL COPYRIGHT RESPONSIBILITY.

A CUSTOM PLAN FOR:
FAITH AND HOPE TEMPLE

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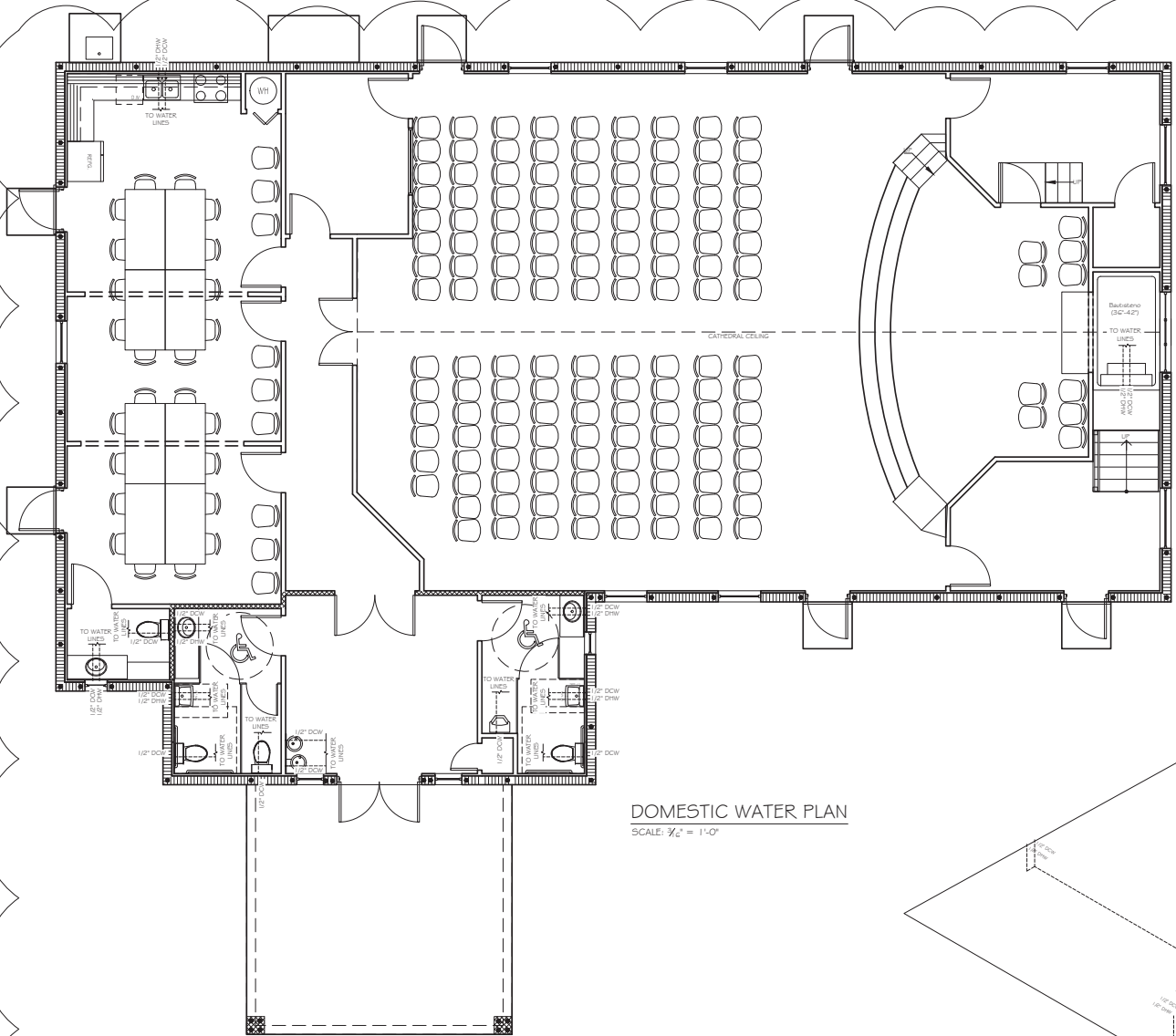
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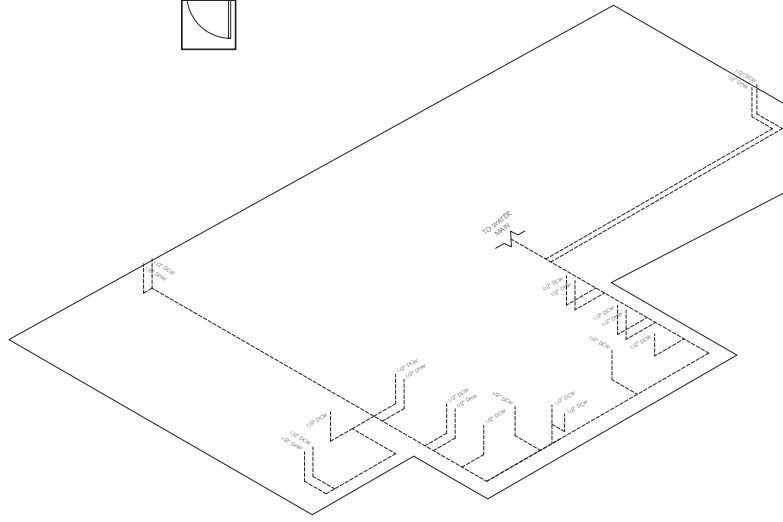
Kickbacks:
04-10-24,
05-30-24,
06-11-24

SHEET

PI



DOMESTIC WATER PLAN
SCALE: 3/8" = 1'-0"



DOMESTIC WATER ISOMETRIC VIEW
N.T.S.

THE STRUCTURAL SYSTEM FOR THIS BUILDING HAS BEEN REVIEWED FOR COMPLIANCE WITH CHAPTER 16 OF THE 2021 FLORIDA BUILDING CODE, 6TH EDITION, USING ASCE 05-17-21 140 M.S.A., 3 SECOND DUST.

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Florida Professional Seal
No. 28217

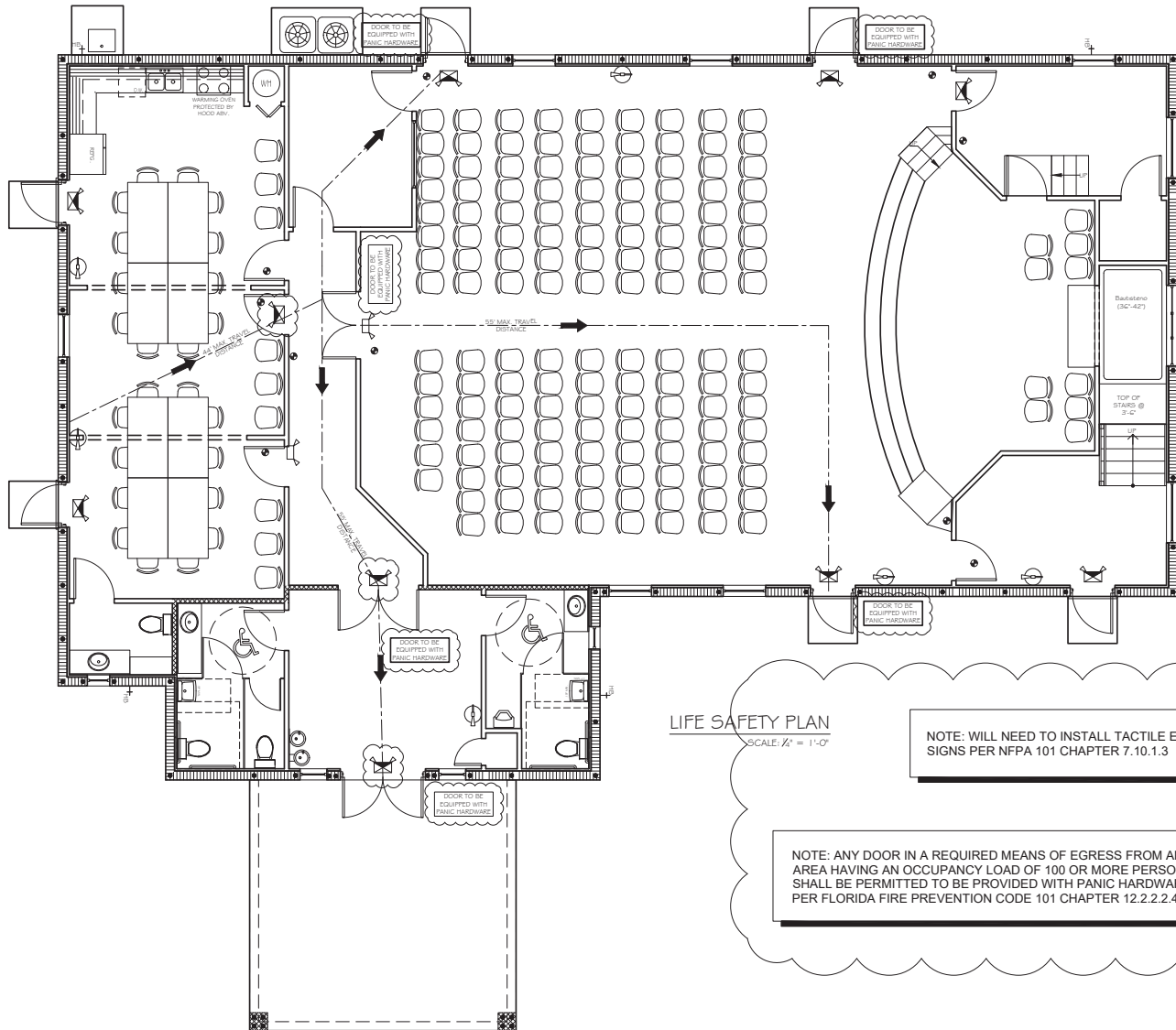
BLUEWATER DRAFTING, INC.
 1275 W. Collier Lakes Way, Leeway, FL 34667
 Class: PH: 352-335-4225, Marion PH: 352-322-6000
 EMAIL: phs@bluewaterdrafting.com

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS SHOWN, WITH LOCAL BUILDING CODE & ORDINANCES BY THE CLIENT. FOLLOW THE BUILDING SHALL BE HELD HARMLESS FROM ANY CLAIMS OF ANY PLANS OR CONSTRUCTION OF ANY KIND RELATED TO OR CONSEQUENT TO ANY ASSUMED. ALL COPYRIGHT RESPONSIBILITY.

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SHEET
P2



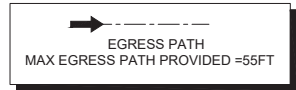
LIFE SAFETY PLAN
SCALE: 1/4" = 1'-0"

NOTE: WILL NEED TO INSTALL TACTILE EXIT SIGNS PER NFPA 101 CHAPTER 7.10.1.3

NOTE: ANY DOOR IN A REQUIRED MEANS OF EGRESS FROM AN AREA HAVING AN OCCUPANCY LOAD OF 100 OR MORE PERSONS SHALL BE PERMITTED TO BE PROVIDED WITH PANIC HARDWARE PER FLORIDA FIRE PREVENTION CODE 101 CHAPTER 12.2.2.2.4

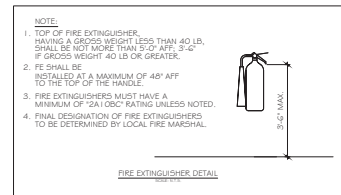
LIFE SAFETY NOTES

1. ALL EXIT DOORS DISCHARGE TO A PUBLIC PLACE.
2. ALL DOORS MEET MIN. 32" OF CLEARANCE FOR EGRESS.
3. ALL SERVICE COUNTERS ARE A MAX OF 34" AFF IN ACCORDANCE W/ F.B.C. AND A.D.A.
4. ALL AISLES ARE A MIN OF 44" WIDE.
5. ALL EMERGENCY LIGHTING AND EXIT SIGNS SHOWN ON THIS SHEET AND OR ELECTRICAL PLAN.



	DESIGNATES LOCATION OF WALL MTD. FIRE EXTINGUISHER MIN. CAP. 2A 10BC
	EXIT SIGN w/EMERGENCY LIGHT & BATTERY PACK BACK-UP.
	EXIT SIGN & BATTERY PACK BACK-UP.
	EMERGENCY LIGHT & BATTERY PACK BACK-UP.

BUILDING IS NOT EQUIPPED W/ SPRINKLER SYSTEM.



FIRE EXTINGUISHERS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 10 BY A LICENSED FIRE EQUIPMENT DEALER, AND SHALL BE INSPECTED TAGGED AND MOUNTED.

THE STRUCTURAL SYSTEM FOR THIS BUILDING HAVE BEEN REVIEWED FOR COMPLIANCE WITH CHAPTER 16 OF THE 2023 FLORIDA BUILDING CODE, 8TH EDITION, USING ASCE/SEI 7-22 148 W.F.H. 3 SECOND GUST.

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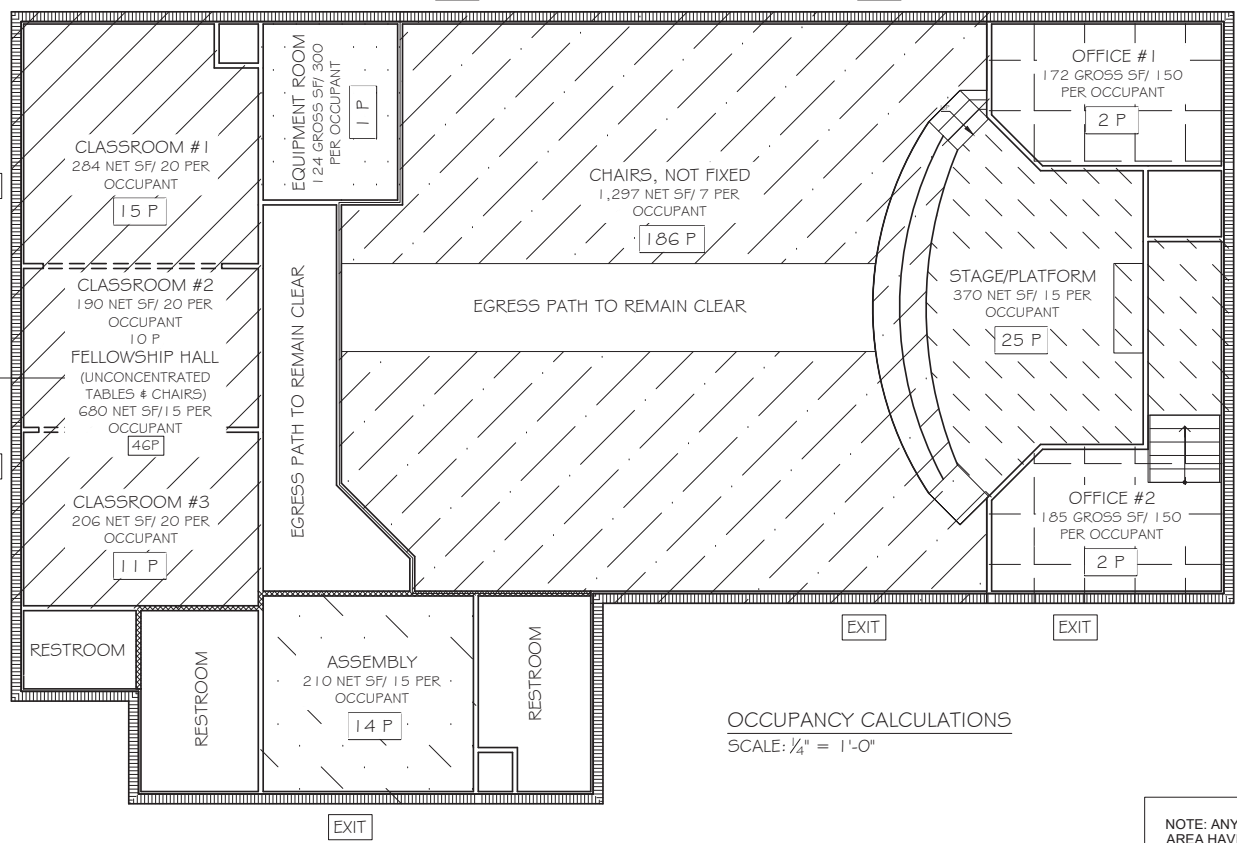
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THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS SHOWN. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL BUILDING CODES & ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

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TOTAL
 3,856 SQ.FT. = 266 PEOPLE



BUILDING DATA

OCCUPANCY CLASSIFICATION: A-3 ASSEMBLY

SQUARE FOOTAGE
 TOTAL SQ FT = 3,856 CONDITIONED

ASSEMBLY:
 210 SF / 15 SF PER OCC. = 14 PERSON(S)

CHAIRS, NOT FIXED:
 1,574 SF / 7 SF PER OCC. = 186 PERSON(S)

CLASSROOM #1:
 284 SF / 20 SF PER OCC. = 15 PERSON(S)

CLASSROOM #2:
 190 SF / 20 SF PER OCC. = 10 PERSON(S)

CLASSROOM #3:
 206 SF / 20 SF PER OCC. = 11 PERSON(S)

EQUIPMENT ROOM:
 124 SF / 300 SF PER OCC. = 1 PERSON(S)

OFFICE #1:
 172 SF / 150 SF PER OCC. = 2 PERSON(S)

OFFICE #2:
 185 SF / 150 SF PER OCC. = 2 PERSON(S)

STAGE/PLATFORM:
 370 SF / 15 SF PER OCC. = 25 PERSON(S)

TOTAL OCCUPANCY:
 266 PERSON(S)

FELLOWSHIP HALL
 46 PERSON(S)

FELLOWSHIP HALL
 OCCUPANCY APPLIES TO THE
 ENTIRE CLASSROOM AREA
 WHEN WALLS ARE COLLAPSED

OCCUPANCY CALCULATIONS
 SCALE: 1/4" = 1'-0"

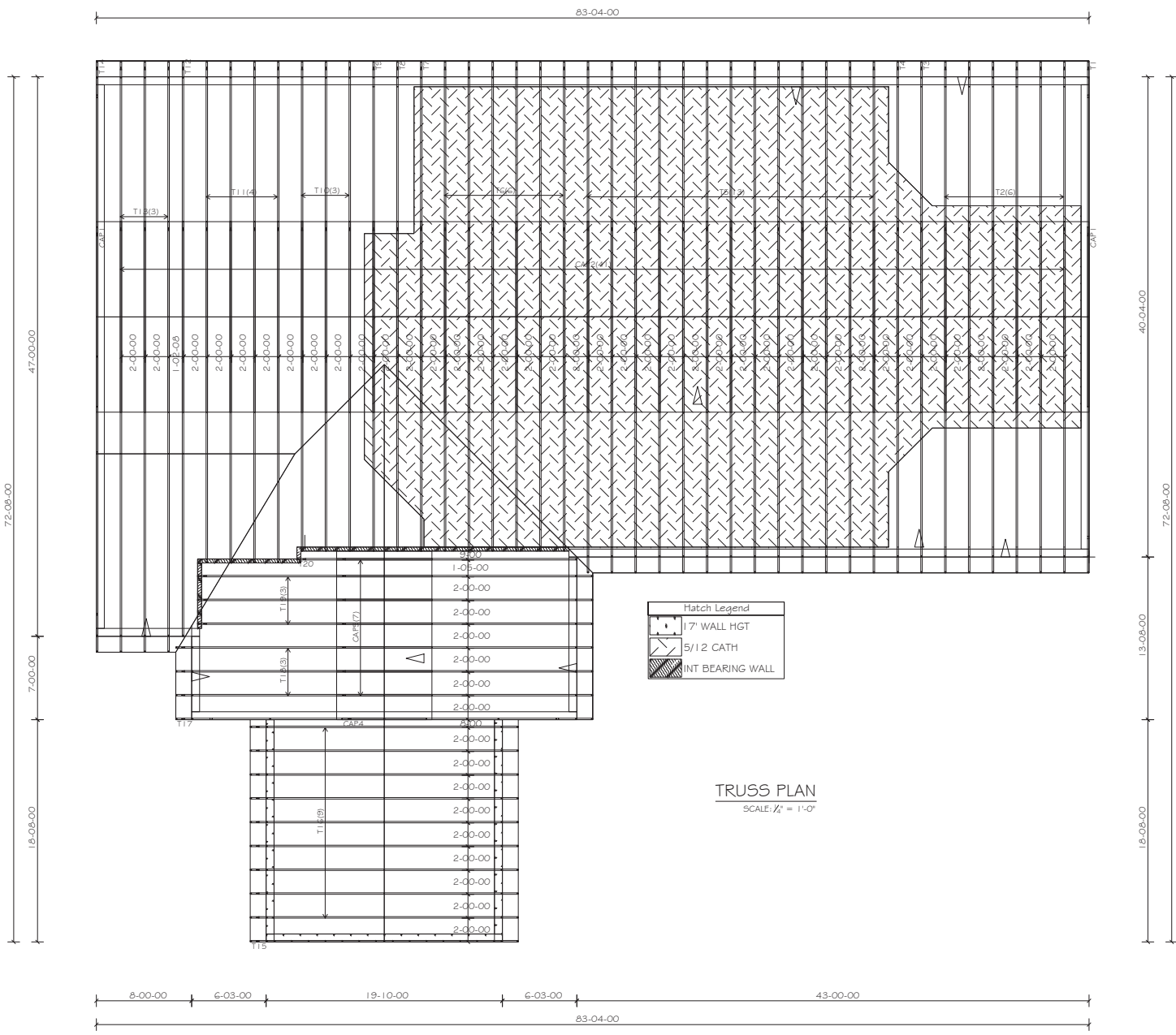
NOTE: WILL NEED TO INSTALL TACTILE EXIT
 SIGNS PER NFPA 101 CHAPTER 7.10.1.3

NOTE: ANY DOOR IN A REQUIRED MEANS OF EGRESS FROM AN
 AREA HAVING AN OCCUPANCY LOAD OF 100 OR MORE PERSONS
 SHALL BE PERMITTED TO BE PROVIDED WITH PANIC HARDWARE
 PER FLORIDA FIRE PREVENTION CODE 101 CHAPTER 12.2.2.2.4

THE STRUCTURAL SYSTEM FOR THIS BUILDING HAVE BEEN REVIEWED FOR COMPLIANCE WITH CHAPTER 16 OF THE 2023 FLORIDA BUILDING CODE, 8TH EDITION, USING ASCE/SEI 7-22 148 M.F.H. 3 SECOND DUST.

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Florida Registration No. 28317



TRUSS PLAN
SCALE: 1/8" = 1'-0"

TRUSS NOTES

- CONTRACTOR TO VERIFY COMPLIANCE OF PRE-ENGINEERED ROOF TRUSSES TO THIS PLAN BEFORE CONSTRUCTION OF THE FOUNDATION. DEVIATIONS FROM THIS LAYOUT ARE THE RESPONSIBILITY OF THE CONTRACTOR AND OWNER. NOTIFY ENGINEER IMMEDIATELY IF ANY DEVIATIONS ARE FOUND.
- TRUSS PLAN IS A GUIDE FOR TRUSS MANUFACTURER. REFER TO TRUSS MANUFACTURER'S DESIGN SHEETS FOR FINAL LAYOUT.
- PLATE HEIGHT AND CEILING PER PLAN
- SEE PLANS FOR GIRDER TIE-DOWNS
- ALL VALLEY MATERIAL BY BUILDER
- INSTALL SIMPSON META16 @ CMU BEARING LOCATIONS & H2.5A @ WOOD BEARING LOCATIONS, U.N.O. PER PLAN.
- (2) USP HTA 16 (OR 2 META 16) TYP. AT GIRDER TO CMU.
- TRUSS BRACING SPECIFICATION TO BE PROVIDED BY TRUSS MFR.
- ALL TRUSS TO TRUSS CONNECTIONS ARE BY TRUSS MFR.

CONNECTOR SCHEDULE		FASTENERS	
CONNECTOR	UP-LIFT	TRUSS	MEMBER
SIMPSON ABU44	2300	FL # 10549	SIP AB (1) 2" 1/2"
SIMPSON ABUGG	2300	FL # 10549	SIP AB (1) 2" 1/2"
SIMPSON ACA	1430	FL # 10560	(5) 1/2"
SIMPSON ACC	1430	FL # 10560	(5) 1/2"
SIMPSON BGC4	980	FL # 10560	(5) 1/2"
SIMPSON H1	400	FL # 1045C	(2) 8D x 1-1/2"
SIMPSON H2.5A	600	FL # 1045C	(5) 8D
SIMPSON H10A	1140	FL # 11478	(9) 1/2" x 1-1/2"
SIMPSON HETA 1G	1010	FL # 11473	(9) 1/2" x 1-1/2"
SIMPSON RUCA1G	1695	FL # 10035	(1) 8" 1/2"
SIMPSON RUS2C	1550	FL # 10035	(1) 4" 1/2"
SIMPSON LCE4	1905	FL # 11476	(1) 4" 1/2"
SIMPSON LSTA1Z	925	FL # 10552	(1) 1/2"
SIMPSON LSTA1B	1235	FL # 10552	(1) 4" 1/2"
SIMPSON META 1E	1450	FL # 11473	(7) 1/2" x 1-1/2"
(2) SIMPSON META 1C	1900	FL # 11473	(5) 8D x 1-1/2"
SIMPSON MFSM 1C	950	FL # 11473	(7) 1/2"
SIMPSON VGT	4840	FL # 11470	(1) 5/8" (1) 1/4" x 3 3/8"
SIMPSON MGT	3955	FL # 11473	(1) 5/8" (2) 1/4"



THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS SHOWN WITH LOCAL BUILDING CODES AND ORDINANCES. DESIGN CONSTRUCTION SHALL FOLLOW THE DRAWING. SHALL BE HELD HARMLESS FROM ANY CLAIMS OF ANY TYPE OR NATURE ARISING FROM ANY OPINION OR RECOMMENDATION OF ANY FORM RELATED OR UNRELATED TO ANY DESIGN OR CONSTRUCTION OF ANY KIND. ASSUME ALL COPYRIGHT RESPONSIBILITY.

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SHEET
T1

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS SHOWN WITH LOCAL BUILDING CODES AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS SHOWN WITH LOCAL BUILDING CODES AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS SHOWN WITH LOCAL BUILDING CODES AND ORDINANCES.

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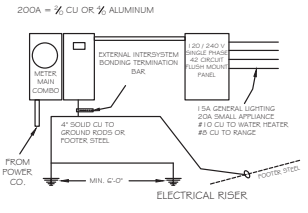
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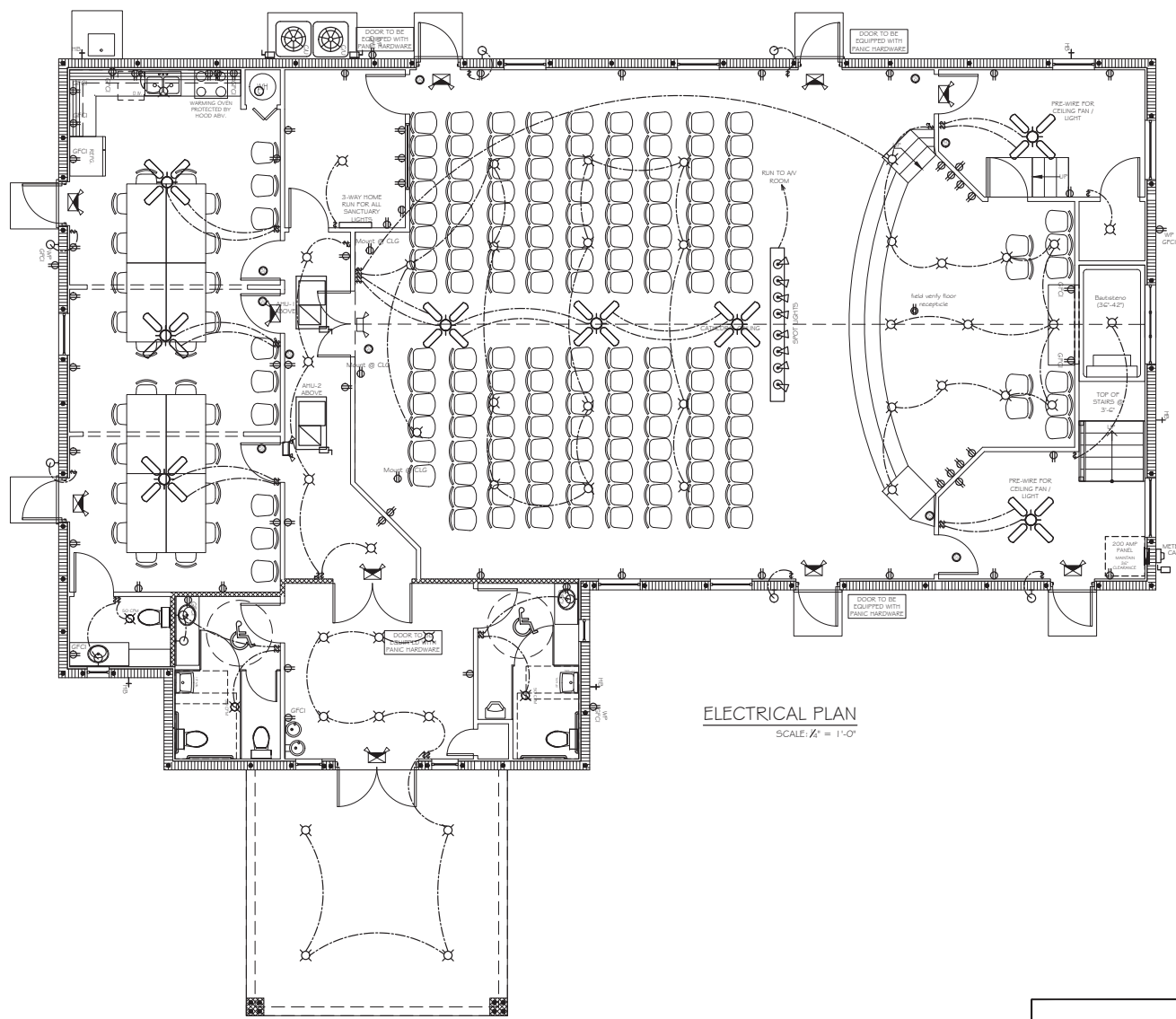
ELECTRICAL LEGEND

	SINGLE RECEPTACLE		SINGLE FLOOD - WALL MOUNTED
	DUPLEX RECEPTACLE		DOUBLE FLOOD - WALL MOUNTED
	SWITCHED RECEPTACLE		SINGLE FLOOD - SOFFIT MOUNTED
	QUADRUPLEX RECEPTACLE		DOUBLE FLOOD - SOFFIT MOUNTED
	SINGLE FLOOR RECEPTACLE		LIGHT FIXTURE - CEILING MOUNTED
	DUPLEX FLOOR RECEPTACLE		LIGHT FIXTURE - WALL MOUNTED
	SWITCHED FLOOR RECEPTACLE		VAPOR PROOF RECESSED HIGH HAT
	QUADRUPLEX FLOOR RECEPTACLE		RECESSED HIGH HAT
	GFCI		UNDER CABINET FLUOR. FIXTURE
	GFI		ABOVE HDR. FLUOR. FIXTURE
	AFBI		SINGLE POLE SWITCH
	VF		3-WAY SWITCH
	2448 FLUOR. FIXTURE		2-WAY SWITCH
	1248 FLUOR. FIXTURE		DIMMER SWITCH
	EXHAUST FAN w/ REC. LIGHT		PUSHBUTTON
	VAPOR PROOF w/ HT. AREAS 50 CFM MIN.		DISCONNECT SWITCH
	EXHAUST FAN 50 CFM MIN.		JUNCTION BOX
	CEILING FAN		TV JACK
	CEILING FAN w/ LIGHT		PHONE JACK
	ELECTRIC CO. METER		PUSHBUTTON ONLY
	GAS CO. METER		COMPUTER OUTLET (w/ GENERAL USE DUPLEX RECEPTACLE)
	BELL		PHOTOCELL - SOFFIT MOUNT
	KEY PAD		PHOTOCELL - WALL MOUNT
	DOOR CHIME		ELECTRICAL PANEL
	DOOR CHIME		ON DEMAND WATER
	DOOR CHIME		SMOKE DETECTOR
	DOOR CHIME		ALARM PANEL
	DOOR CHIME		DOOR CHIME

- NOTE:**
- ELECTRICAL PER NEC 2020, 2023 FLORIDA BUILDING CODE BUILDING, 8TH EDITION, CHAPTER 27 AND NFPA 70
 - ONE SMOKE DETECTOR LOCATED WITHIN 10' OF EA. BEDROOM SHALL BE EQUIPPED WITH CARBON MONOXIDE DETECTOR
 - ALL 120/240V SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT
 - ALL 120 VOLT, 15- AND 20-AMP RECEPTACLES INSTALLED IN A RESIDENCE SHALL BE LISTED TRAPPER RESISTANT RECEPTACLES. NO EXCEPTIONS FOR RECEPTACLES ON CEILING, ABOVE COUNTERS OR BEHIND APPLIANCES.
 - ALL GARAGE OUTLETS SHALL BE GFCI RATED
 - ALL SERVICE CONDUCTORS SHALL TERMINATE IN DISCONNECTING MEANS HAVING A SHORT-CIRCUIT CURRENT RATING EQUAL TO OR GREATER THAN THE AVAILABLE FAULT CURRENT. INSTALLED IN A READILY ACCESSIBLE OUTDOOR LOCATION. IF MORE THAN ONE DISCONNECT IS PROVIDED, THEY SHALL BE GROUPED. EACH DISCONNECT SHALL BE ONE OF THE FOLLOWING:
 - SERVICE DISCONNECTS MARKED AS FOLLOWS: EMERGENCY DISCONNECT, SERVICE DISCONNECT.
 - METER DISCONNECT SWITCHES THAT HAVE A SHORT-CIRCUIT CURRENT RATING EQUAL TO OR GREATER THAN THE AVAILABLE FAULT CURRENT AND ALL METAL HOUSINGS AND SERVICE ENCLOSURES ARE GROUNDED IN ACCORDANCE WITH SECTION E8000.7 AND BONDED IN ACCORDANCE WITH SECTION 3000.8. A METER DISCONNECT SWITCH SHALL BE CAPABLE OF INTERRUPTING THE LOAD SERVED AND SHALL BE MARKED AS FOLLOWS: EMERGENCY DISCONNECT, METER DISCONNECT, NOT SERVICE EQUIPMENT



BUILDING TO BE PROVIDED W/ ARC-FAULT PROTECTION
ALL DETECTORS OUTSIDE OF BEDROOM ARE SMOKE/CO COMBO DETECTORS
ALL OUTSIDE RECEPT. TO BE GFI AND W/ ALL RECEPT. TO BE TRAPPER RESISTANT



ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"