

April 4, 2024

PROJECT NAME: POINTE GRAND OCALA SOUTH (REVISION TO 28702)

PROJECT NUMBER: 2002080018

APPLICATION: MAJOR SITE PLAN REVISION #30895

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI  
STATUS OF REVIEW: INFO  
REMARKS: Please provide a copy of the NPDES permit or NOI.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Additional Stormwater comments  
STATUS OF REVIEW: INFO  
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.
- 3 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: Additional Development Review Comments  
STATUS OF REVIEW: INFO  
REMARKS: The Board of County Commissioners of Marion County, Florida, as a condition of precedent to the approval and acceptance of this plat for recording in the Public Records, does hereby notify all present and future owners of the property described hereon that the lands included in this plat are subject to special assessments as may be permitted by law to finance cost incurred in connection with the maintenance, operation, and construction of infrastructure as determined necessary in the opinion of said Board or other governing body having jurisdiction.
- 4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.15.6 - Water Metering  
STATUS OF REVIEW: INFO  
REMARKS: 6.15.6.E - meters not in the public ROW shall require ingress/egress easement to be recorded with Marion County Property Management. The recorded easement will be required prior to DEP PWS Clearance approval for this project.
- 5 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.16.4 - Wastewater Collection Systems  
STATUS OF REVIEW: INFO  
REMARKS: 6.16.4.C(1)(e) - Manhole OS1 shall be accessible to Marion County Utilities at all times; this is a publicly-maintained manhole per notes on C015.
- 6 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH  
REVIEW ITEM: Additional Health comments  
STATUS OF REVIEW: INFO  
REMARKS: Proposed pool will require construction permit through the Department of Health in Marion County
- 7 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW  
REVIEW ITEM: Additional Planning Items:  
STATUS OF REVIEW: INFO  
REMARKS: Staff understands this AR 30895 is partial revision to previously approved AR 28702 and will provide for replacement pages to that plan, while all other plan sheet will remain functionally unchanged.

8 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."



# Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

## DEVELOPMENT REVIEW PLAN APPLICATION

Date: 11/22/2023

### A. PROJECT INFORMATION:

Project Name: Pointe Grand Ocala South  
Parcel Number(s): 35460-011-00 and 35460-010-00  
Section 5 Township 16S Range 21E Land Use UR and EC Zoning Classification PUD  
Commercial  Residential  Industrial  Institutional  Mixed Use  Other \_\_\_\_\_  
Type of Plan: MAJOR SITE PLAN  
Property Acreage +/- 38.62 Number of Lots \_\_\_\_\_ Miles of Roads \_\_\_\_\_  
Location of Property with Crossroads At the intersection of SW 59th Street and SW 60th Ave  
Additional information regarding this submittal: This is a revision to the previously approved site plan AR# 28702.  
Utilities have been revised to have only 1 water meter connection and stormwater has been revised to convert DRA#2 into a wet detention system.

### B. CONTACT INFORMATION *(Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.)*

**Engineer:**  
Firm Name: Kimley-Horn and Associates Contact Name: Jameson Frederick, P.E.  
Mailing Address: 1700 SE 17th Street City: Ocala State: FL Zip Code: 34471  
Phone # 352-438-3000 Alternate Phone # \_\_\_\_\_  
Email(s) for contact via ePlans: ocala.permits@kimley-horn.com

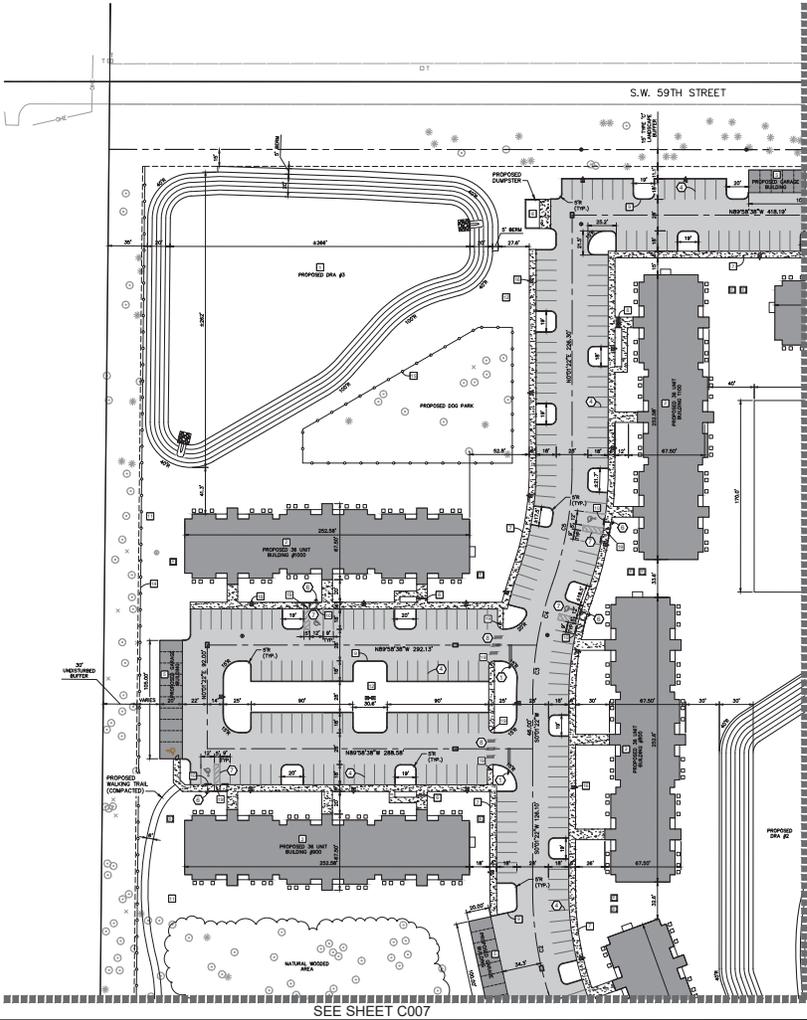
**Surveyor:**  
Firm Name: Atwell, LLC Contact Name: \_\_\_\_\_  
Mailing Address: 1800 Parkway Place, Suite 700 City: Marietta State: GA Zip Code: 30067  
Phone # 770-423-0807 Alternate Phone # \_\_\_\_\_  
Email(s) for contact via ePlans: \_\_\_\_\_

**Property Owner:**  
Owner: The Stetson Ocala, LLC Contact Name: \_\_\_\_\_  
Mailing Address: 101 S New York Ave, Suite 211 City: Winter Park State: FL Zip Code: 32789  
Phone # \_\_\_\_\_ Alternate Phone # \_\_\_\_\_  
Email address: \_\_\_\_\_

**Developer:**  
Developer: Hillpointe, LLC Contact Name: Steven Campisi  
Mailing Address: 101 S New York Ave, Unit 211 City: Winter Park State: FL Zip Code: 32789  
Phone # 407-221-0421 Alternate Phone # \_\_\_\_\_  
Email address: scampisi@hillpointe.com

Revised 6/2021





- PAVEMENT LEGEND**
- STANDARD DUTY PAVEMENT (SEE DETAILS SHEET C001)
  - CONCRETE PAVEMENT (SEE DETAILS SHEET C001)
  - CONCRETE SIDEWALK (SEE DETAILS SHEET C001)
- SIGN AND PAVEMENT MARKING LEGEND**
- 2" X 2" STOP SIGN WITH 1" WHITE STOP BAR, 4" MIN. FROM CROSS WALK AND STREET NAME SIGN
  - 2" X 2" STOP SIGN WITH 1" WHITE STOP BAR, 4" MIN. FROM CROSS WALK AND STREET NAME SIGN
  - 1" X 1" YELLOW STRIPES, 12" ON CENTER, 1/2" HIGH
  - 1" X 1" WHITE STRIPES
  - SPECIAL EMPHASIS CROSSWALK PER FOOT INDEX #11-01
  - REFLECTIVE ANCHOR BOLTS PER FOOT INDEX #11-01 (SEE DETAIL #11-01 AND #11-02)
  - REFLECTIVE STRIPES FOR CURB ACCESSIBILITY CODE WITH SIGNS (SEE SHEET C001 FOR DETAILS)
  - 4" WIDE CROSSWALK WITH 3" WHITE STRIPES SPACED AS SHOWN

- KEYNOTE LEGEND**
- CONSTRUCT DRAINAGE RETENTION AREAS AS SHOWN WITH SLOPED SIDE PAVING AND SLOPED OR BEHIND MAINTAINED BOTTOM. SEE GRADING SHEETS FOR CROSS SECTION AND MORE INFORMATION.
  - CONSTRUCT 1" THICK CRYSTAL REINFORCED CONCRETE CURBS AS SHOWN. SEE ARCHITECTURAL PLANS. NOTE THAT THESE ARE TRAP DIFFERENCE FOOTPRINTS AND FLOOR PLANS BY BUILDING CONTRACTOR.
  - CONSTRUCT CURB/GRASS BUILDING EXTERIOR BUILDING, POOL AREA AND OUTDOOR SPACES AS SHOWN. SEE ARCHITECTURAL PLANS AND LANDSCAPE PLANS (LUBHOUSE BY BUILDING CONTRACTOR).
  - CONSTRUCT MAINTENANCE BUILDING AND WALK WAYS AS SHOWN. SEE ARCHITECTURAL PLANS BY BUILDING CONTRACTOR.
  - CONSTRUCT DRAINAGE BUILDING AT LOCATIONS SHOWN. SEE ARCHITECTURAL PLANS BY BUILDING CONTRACTOR.
  - CONSTRUCT SIDEWALK RAMP AND/OR STEPS AS SHOWN WITH 4" HIGH CURB/GRASS BUILDING EXTERIOR BUILDING AND STAIRS W/RAILINGS ACCESSIBLE PER THE AMERICANS WITH DISABILITIES ACT. LATEST EDITION AND USE CURB/GRASS CODE.
  - CONSTRUCT 4" THICK CONCRETE WALK WITH 4" X 4" X 4" W x L TO MATCH UNFINISHED SIDEWALK ADJACENT TO IMPROVED SIDEWALK TO BE CONSTRUCTED WITH A THICKNESS. SEE ARCHITECTURAL PLANS FOR CURB/GRASS CONCRETE AND STAIRS LOCATIONS AND HOW TO CONSTRUCT. THICKNESS 4" DETAIL #11-01 IS APPLICABLE.

- NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL MARION COUNTY REGULATIONS AND CODES AND U.S.A. STANDARDS.
  - PRIOR TO CONSTRUCTION WITHIN ANY EXISTING PUBLIC RIGHT OF WAY, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE AUTHORITY HAVING JURISDICTION.
  - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF CONCRETE SLOPE PAVING, SIDEWALKS, SIDEWALKS, TRUCK CIRCLES, DRIVE BUILDING DIMENSIONS AND EXISTING BUILDING UTILITY ENTRANCE LOCATIONS.
  - SITE BOUNDARY, TOPOGRAPHY, UTILITIES AND ROAD INFORMATION PER SURVEY DATED SEPTEMBER 30, 2021, BY ATWELL, L.L.C.
  - REFER TO ARCH PLANS FOR PLYON AND/OR MONUMENT SIGNS.
  - MAXIMUM FINISH SLOPE ON SIDEWALKS SHALL NOT EXCEED 2% (1:48).
  - MAXIMUM CROSS SLOPE ON SIDEWALKS SHALL NOT EXCEED 2% (1:48).
  - MAXIMUM SLOPE IN ACCESSIBLE PAVEMENT SHALL NOT EXCEED 2% (1:48) IN ANY DIRECTION.
  - NO PLANTING SHALL BE DONE WITHIN 5 FEET OF THE BACK OF CURB OR WHEEL STOP.

CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD DELTA TANGENT
CR 1	300.00'	104.72'	N89°10'10"W	104.14'
CR 2	300.00'	104.72'	N89°10'10"W	104.14'
CR 3	300.00'	48.18'	S42°50'00"W	48.14'
CR 4	300.00'	102.67'	N89°10'10"W	102.14'
CR 5	300.00'	53.87'	S20°00'00"W	53.80'
CR 6	300.00'	48.18'	S42°50'00"W	48.14'
CR 7	400.00'	85.11'	S88°22'00"W	85.00'
CR 8	400.00'	85.11'	S88°22'00"W	85.00'



**POINTE GRAND OCALA SOUTH**  
 PREPARED FOR  
**HILLPOINTE, LLC**  
 MARION COUNTY, FLORIDA

**LAYOUT PLAN**

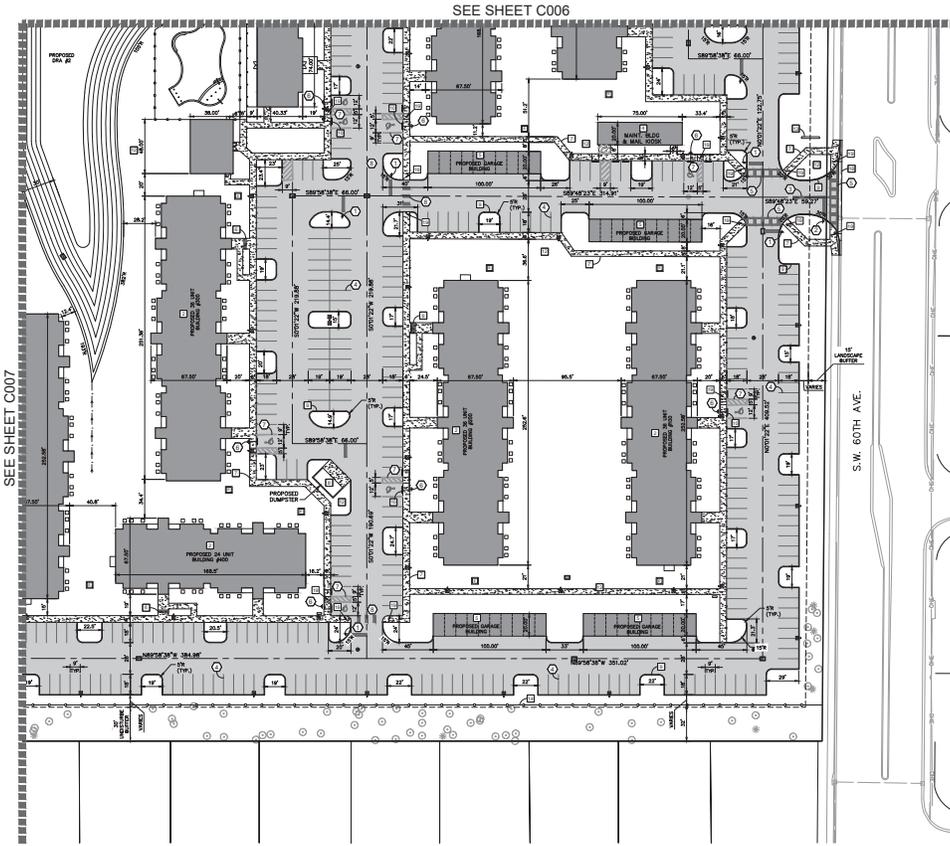
**Kimley-Horn**  
 1700 SOUTH BIRCHWOOD DRIVE, SUITE 100, Ocala, FL 34761  
 WWW.KIMLEY-HORN.COM RECEIPT: 11/13/2021

DATE: 11/13/2021  
 BY: [Signature]  
 REVISIONS: [Table with 3 columns: No., Description, Date]

SHEET NUMBER: C005







SEE SHEET C006

SEE SHEET C007



**PAVEMENT LEGEND**

[Symbol]	STANDARD DUTY PAVEMENT (SEE SHEET C007)
[Symbol]	CONCRETE PAVEMENT (SEE SHEET C007)
[Symbol]	CONCRETE SIDEWALK (SEE SHEET C007)

**SIGN AND PAVEMENT MARKING LEGEND**

[Symbol]	24" STOP SIGN (S-1) WITH 24" WHITE STOP BAR, 4" MIN. FROM CURB WALK AND STREET TANGENT SIGN
[Symbol]	36" STOP SIGN (S-1) WITH 24" WHITE STOP BAR, 4" MIN. FROM CURB WALK AND STREET TANGENT SIGN
[Symbol]	4" DOUBLE YELLOW STRIPES, WIDTHS 40" O.C. YELLOW/WHITE
[Symbol]	4" WHITE STRIPES
[Symbol]	SPECIAL MARKING CROSSWALK PER FOOT INDEX K71-101
[Symbol]	INSTALL HANDICAP SIGNS PER F.O.T. INDEX K71-101 (SIGN NO. FOR THESE SIGNS)
[Symbol]	HANDICAP SPACES PER FLORIDA ACCESSIBILITY CODE WITH SIGNS (SEE SHEET C007 FOR DETAILS)
[Symbol]	8" WALK CROSSWALK WITH 24" WHITE STRIPES SPACES AS SHOWN

**KEYNOTE LEGEND**

[Symbol]	CONSTRUCT FRAMEWORK DETENTION AREAS AS SHOWN WITH REOCCUP SIDE SLOPES AND EXPOSED REBAR AS SHOWN BOTTOM. SEE DRAWING SHEETS FOR CROSS SECTION AND MORE INFORMATION.
[Symbol]	CONSTRUCT THREE (3) INCH RECESSED, WHENTHIN BUILDING AS SHOWN. SEE ARCHITECTURAL PLANS. NOTE THAT THESE ARE TWO DIFFERENT FOOTPRINTS AND FLOOR PLANS BY BUILDING CONTRACTOR.
[Symbol]	CONSTRUCT CLUBHOUSE BUILDING, EXERCISE BUILDING, POOL AREA AND OUTDOOR SPACES AS SHOWN. SEE ARCHITECTURAL PLANS AND LANDSCAPE PLANS (LAWNSIDE) BY BUILDING CONTRACTOR.
[Symbol]	CONSTRUCT MANTHWING BUILDING AND WALK WALKS AS SHOWN. SEE ARCHITECTURAL PLANS BY BUILDING CONTRACTOR.
[Symbol]	CONSTRUCT GARAGE BUILDING AT LOCATIONS SHOWN. SEE ARCHITECTURAL PLANS BY BUILDING CONTRACTOR.
[Symbol]	CONSTRUCT SIDEWALK MARKS AND/OR STEPS AS SHOWN WITH 4" HIGH GULLY CHANNELS AND REBAR AS SHOWN. SEE ARCHITECTURAL PLANS AND LANDSCAPE PLANS (LAWNSIDE) BY BUILDING CONTRACTOR.
[Symbol]	CONSTRUCT 4" THICK CONCRETE WALK WITH FINISH WITH 1/4" IN. W. M. TO WITH RECESSED. SEE ARCHITECTURAL PLANS FOR PROPOSED ASPHALT PAVEMENT TO BE CONSTRUCTED WITH A THICKENED EDGE. SEE DRAWING SHEETS FOR PROPOSED CURBS AND ASPHALT TREATMENTS AND NOTES TO "CONCRETE WITH THICKENED EDGE" SITE DETAILS AS APPLICABLE.
[Symbol]	INSTALL DOUBLE DUMPER PAD WITH ENCLOSURE
[Symbol]	CONSTRUCT CONCRETE TYPE IV CURB ALONG EDGES OF ASPHALT PAVEMENT WHERE SHOWN
[Symbol]	INSTALL CONCRETE WHEEL STOP. WITH DISTANCE TO THE SIDE OF CURB BEING 4" FROM ENTRANCE INTO THE PARKING STALL.
[Symbol]	FINISH GRASS AND SOIL OR SEED & MULCH ALL DISTURBED ON-SITE AND OFF-SITE AREAS PER OTHERS CALLED OUT TO BE LANDSCAPED.
[Symbol]	SEE LANDSCAPE PLAN BY OTHERS FOR PLANTING THROUGHOUT SITE.
[Symbol]	INSTALL DEVELOPMENT SIGN PER ARCHITECTURAL PLANS.
[Symbol]	INSTALL 4" HIGH ORANGE FENCE AS DIRECTED BY OWNER.
[Symbol]	INSTALL 4" HIGH CHAIN LINK FENCE AS SHOWN FOR SOG FENCE.
[Symbol]	INSTALL SITE LIGHTING DESIGN BY OTHERS. POLE LOCATIONS SHOWN ON THE PHOTOGRAPHIC PLAN SHALL SUPERSEDE THOSE SHOWN ON THIS PLAN.
[Symbol]	RECONSTRUCT SW 59TH STREET FROM SW 59TH AVE TO PROJECT ENTRANCE AS SHOWN. SEE DETAILS FOR SHEET C007.
[Symbol]	INSTALL VALLEY CURB PER FOOT INDEX S28-101.
[Symbol]	INSTALL ACCESSIBLE CURB RAMP PER FOOT INDEX NO. S23-101.

**NOTES:**

ALL WORK AND MATERIALS SHALL COMPLY WITH ALL HARRIS COUNTY REGULATIONS AND CODES AND C.S.A. STANDARDS.

BEFORE TO CONSTRUCTION WITHIN ANY EXISTING PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE AUTHORITY HAVING JURISDICTION.

CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF DOORWAYS, SLURS, FINISH, SIDEWALKS, SIDE FRONTS, SIDEWALKS, REBAR BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

SEE BIDDING INFORMATION UTILITY AND ROAD INFORMATION PER SURVEY DATED SEPTEMBER 30, 2011, BY ATWELL, LLC.

REFER TO ARCH PLANS FOR Pylon AND/OR MONUMENT SIGNS.

MAXIMUM FINISH SLOPE ON SIDEWALKS SHALL NOT EXCEED 2% IN 100'

MAXIMUM CROSS SLOPE ON SIDEWALKS SHALL NOT EXCEED 2% IN 48"

MAXIMUM SLOPE IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% IN 48" IN ANY DIRECTION.

NO PLANTING SHALL BE DONE WITHIN 2 FEET OF THE BACK OF CURB OR WHEEL STOP.

**CURVE TABLE**

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	300.00'	154.72'	89°58'29"W	154.10'	20°07'30"	53.80'
C2	300.00'	154.72'	89°58'29"W	154.10'	20°07'30"	53.80'
C3	300.00'	46.18'	84°23'39"W	46.14'	8°48'12"	13.14'
C4	300.00'	152.60'	89°58'29"W	152.10'	19°58'29"	51.84'
C5	300.00'	32.81'	87°04'05"E	32.80'	4°12'30"	16.37'
C6	300.00'	32.81'	87°04'05"E	32.80'	4°12'30"	16.37'
C7	400.00'	88.17'	88°53'30"E	87.87'	11°37'30"	44.30'
C8	400.00'	88.17'	88°53'30"E	87.87'	11°37'30"	44.30'



**POINTE GRAND OCALA SOUTH**  
PREPARED FOR  
**HILLPOINTE, LLC**  
HARRIS COUNTY, FLORIDA

**MAJOR SITE PLAN**

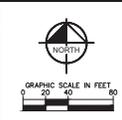
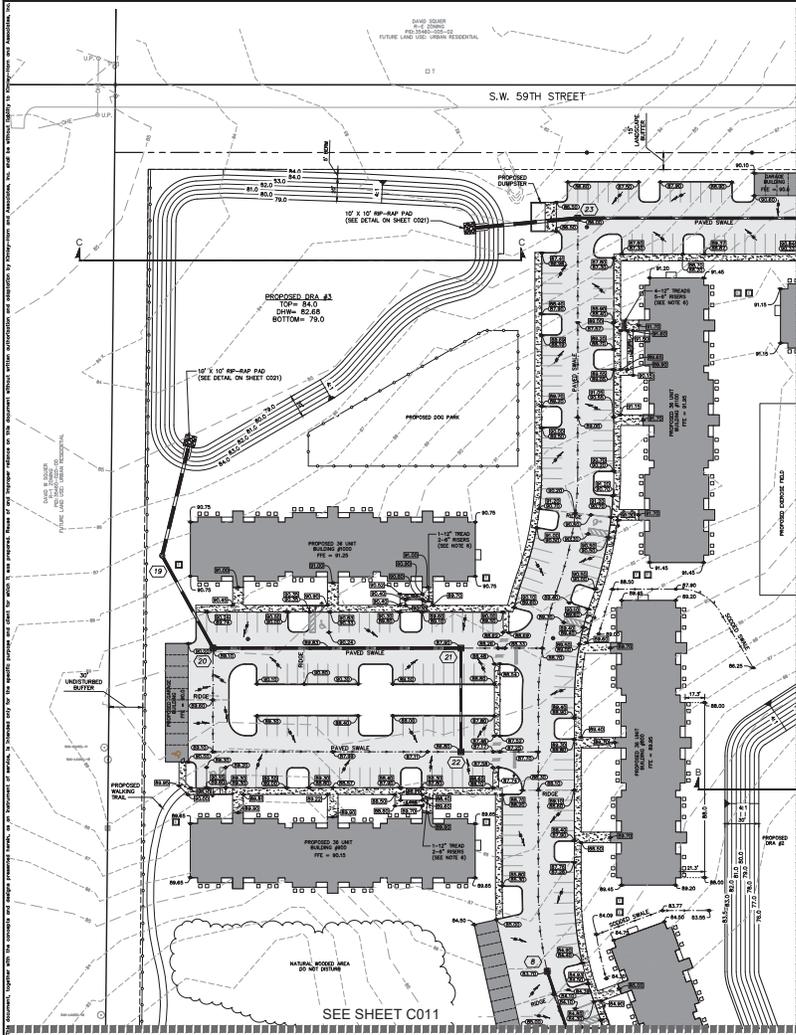
**LAYOUT PLAN**

**Kimley-Horn**  
1700 SOUTH BIRCH STREET, SUITE 200, AUSTIN, TEXAS 78746  
WWW.KIMLEY-HORN.COM RECEIVING: 03/08/2018

UNLIMITED PROFESSIONAL  
JASON K. FREDRICK, P.E.  
NO. 11926, STATE OF FLORIDA  
MECHANICAL ENGINEERING  
DRAWN BY: JTF  
CHECKED BY: JTF  
DATE: 03/08/2018

SHEET NUMBER  
**C008**

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**PAVEMENT LEGEND**

- PROPOSED DRIVEWAY PAVEMENT (SEE DETAIL SHEET C-2)
- CONCRETE PAVEMENT (SEE DETAIL SHEETS C-4 TO C-8)
- CONCRETE SIDEWALK (SEE DETAIL SHEET C-2)

**LEGEND**

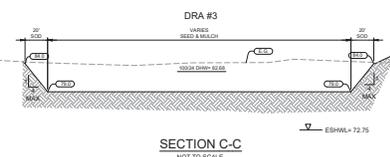
- PROPOSED GRADING SPOT ELEVATION
- PROPOSED CONCRETE SPOT ELEVATION
- PROPOSED ASPHALT SPOT ELEVATION
- PROPOSED DRAINAGE INLET
- PROPOSED STORMWATER MANHOLE
- PROPOSED METERED END SECTION
- PROPOSED STORM DRAINAGE INLET (SEE DETAIL SHEET C-4)
- PROPOSED STORMWATER INLET
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED FLOW DIRECTION ARROWS
- PROPOSED STORM DRAINAGE CONNECTION (CONNECTION PER ARCHITECTURAL PLANS)
- PROPOSED SWALE

**NOTES**

1. ALL GRADES ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
2. MINIMUM FINISHING SLOPE ON SIDEWALKS OR PEDESTRIAN CROSSWALKS SHALL NOT EXCEED 2% (1:48).
3. MINIMUM FINISHING SLOPE ON DRIVEWAYS OR PEDESTRIAN CROSSWALKS SHALL NOT EXCEED 2% (1:48) IN ANY DIRECTION.
4. SLOPE FOR THE FINISHING SLOPE SHALL BE AS SHOWN ON THE EXISTING RECORD PLANS. SLOPE SHALL BE AS SHOWN ON THE EXISTING RECORD PLANS. SLOPE SHALL BE AS SHOWN ON THE EXISTING RECORD PLANS. SLOPE SHALL BE AS SHOWN ON THE EXISTING RECORD PLANS.
5. ALL FINAL STORMWATER MATERIALS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND NOTED ON THE RECORD DRAWINGS.
6. DISCHARGE INTO DRAINAGE RETENTION AREAS REQUIRES INSTALLATION OF CONCRETE RETENTION WALLS AND REVISIONS FOR PROTECTIVE WALLS AT 4:1 SLOPE. SEE SITE DETAILS FOR ADDITION OF SP-RAP PAD.
7. INSTALLATION OF HIGH-GALVANIZED MATERIALS ALONG BOTH SIDES OF TRENCHES & STORMWATER MANHOLES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA BUILDING CODE.
8. A MINIMUM OF THREE FEET OF UNDISTURBED SOIL SURROUNDING SHALL BE MAINTAINED BETWEEN THE SURFACE OF EXISTING STRUCTURE AND THE BOTTOM AND SIDE OF ANY STORMWATER FACILITY. EXCAVATION AND BACKFILL OF EXISTING MATERIAL SHALL BE MADE TO MEET THE DESIGN.

**STORM SEWER DATA - DRA #3**

STRUCTURE	TYPE	TOP EL.	INV. EL.	PIPES OUT	PIPE SIZE	PIPE LENGTH	SLOPE
19	STORM	88.57	88.57	19-DRA-3	30"	81.2'	0.45%
20	INLET	88.10	88.10	20-DRA-3	24"	81.5'	1.00%
21	INLET	87.80	87.80	21-DRA-3	24"	220.0'	0.58%
22	INLET	88.80	88.80	22-DRA-3	18"	81.5'	0.87%
23	INLET	88.00	88.00	23-DRA-3	30"	81.1'	0.50%



**Kimley-Horn**  
 17826 SOUTH BIRCHWOOD DRIVE, SUITE 100, ORLANDO, FLORIDA 32837  
 WWW.KIMLEY-HORN.COM RECEIVING: 08/08/2018

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**POINTE GRAND Ocala SOUTH HILLPOINTE, LLC**  
 PREPARED FOR  
 HILLPOINTE, LLC  
 ORLANDO, FLORIDA

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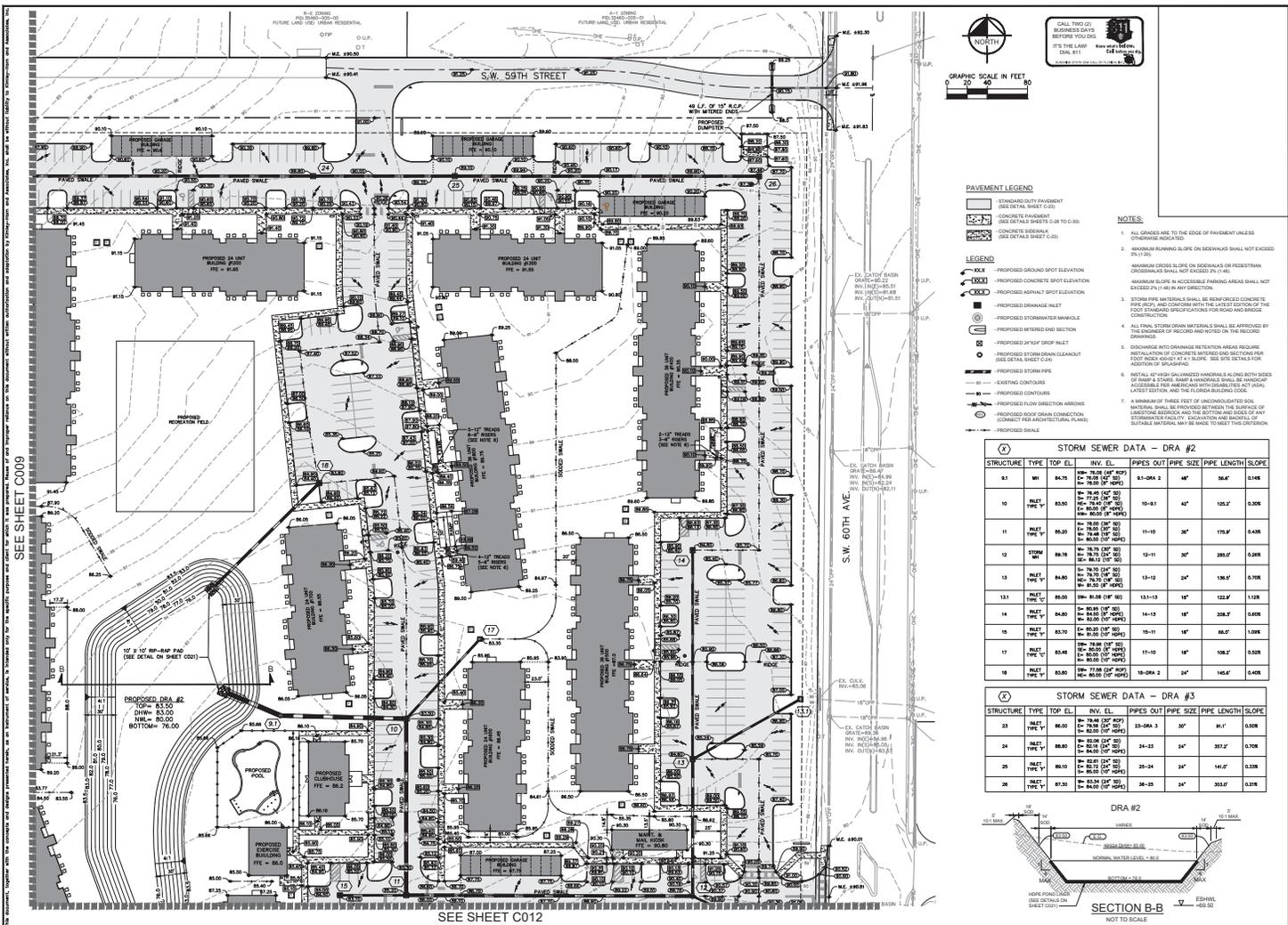
**GRADING PLAN**

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SHEET NUMBER **C009**

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NO.	DATE	BY	REVISIONS
1			NOT FOR CONSTRUCTION



**PAVEMENT LEGEND**

- STANDARD HOT PAVEMENT (SEE DETAIL SHEET C01)
- CONCRETE PAVEMENT (SEE DETAIL SHEETS C-08 TO C-30)
- CONCRETE SIDEWALK (SEE DETAIL SHEET C-03)

**LEGEND**

- PROPOSED GRADE/SPOT ELEVATION
- PROPOSED CONCRETE SPOT ELEVATION
- PROPOSED ASPHALT SPOT ELEVATION
- PROPOSED DRAINAGE MANHOLE
- PROPOSED STORMWATER MANHOLE
- PROPOSED 30" X 30" DROP INLET
- PROPOSED STORM DRAINAGE CLEANOUT (SEE DETAIL SHEET C-24)
- PROPOSED STORM PIPE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED FLOW DIRECTION ARROWS
- PROPOSED ROOF DRAIN CONNECTION (CONNECT FOR ARCHITECTURAL PLANS)
- PROPOSED SWALE

**NOTES**

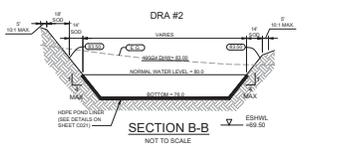
1. ALL GRADES ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED.
2. MINIMUM RUNNING SLOPE ON SIDEWALKS SHALL NOT EXCEED 0.15%.
3. MINIMUM CROSS SLOPE ON SIDEWALKS OR PEDESTRIAN CROSSINGS SHALL NOT EXCEED 2% IN ANY DIRECTION.
4. MINIMUM SLOPE IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
5. STORM PIPE MATERIAL SHALL BE REINFORCED CONCRETE PIPE (RCP) AND CONFORM WITH THE LATEST EDITION OF THE FOOT COUNCIL SPECIFICATIONS FOR STORM AND SEWER CONSTRUCTION.
6. ALL FINAL EXPOSURE MATERIALS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND NOTED ON THE RECORD DRAWINGS.
7. DISCHARGE INTO DRAINAGE RETENTION AREAS REQUIRE INSTALLATION OF CONCRETE BARRIERS AND BENTONITE FOOT LOCKS ADJUST AT 4% SLOPE. SEE SITE DETAILS FOR ADDITIONAL INFORMATION.
8. INSTALL AT LEAST GALVANNEED HANDRAILS ALONG BOTH SIDES OF ALL STAIRS AND RAMP HANDRAILS SHALL BE PROVIDED ACCORDING TO THE AMERICAN WITH DISABILITIES ACT (ADA) LATEST EDITION AND THE FLORIDA BUILDING CODE.
9. A MINIMUM OF THREE FEET OF UNCONSOLIDATED SOIL MATERIAL SHALL BE PROVIDED BETWEEN THE SURFACE OF EXISTING FINISH AND THE BOTTOM AND SIDES OF ANY STORMWATER FACILITY. ELEVATION AND ENDS OF SOILS MATERIAL SHALL BE MADE TO MEET THE CIRCULAR.

**STORM SEWER DATA - DRA #2**

STRUCTURE	TYPE	TOP EL.	INV. EL.	PIPES OUT	PIPE SIZE	PIPE LENGTH	SLOPE
23	MANHOLE	84.75	84.75	23-08A-2	48"	56.4'	0.14%
10	MANHOLE	83.00	83.00	10-8-1	48"	135.2'	0.20%
11	MANHOLE	85.00	85.00	11-10	36"	175.9'	0.43%
12	STORM MANHOLE	84.80	84.80	12-11	30"	289.0'	0.28%
13	MANHOLE	86.70	86.70	13-12	24"	130.2'	0.70%
13A	MANHOLE	86.00	86.00	13A-13	18"	122.9'	1.02%
14	MANHOLE	84.00	84.00	14-13	18"	208.3'	0.62%
15	MANHOLE	85.70	85.70	15-11	18"	66.0'	1.00%
17	MANHOLE	85.48	85.48	17-10	18"	108.2'	0.62%
18	MANHOLE	83.00	83.00	18-08A-2	24"	145.8'	0.40%

**STORM SEWER DATA - DRA #3**

STRUCTURE	TYPE	TOP EL.	INV. EL.	PIPES OUT	PIPE SIZE	PIPE LENGTH	SLOPE
23	MANHOLE	85.00	85.00	23-08A-3	36"	91.1'	0.50%
24	MANHOLE	86.80	86.80	24-23	24"	332.2'	0.70%
25	MANHOLE	86.10	86.10	25-24	24"	141.0'	0.23%
26	MANHOLE	87.30	87.30	26-25	24"	325.0'	0.21%



SEE SHEET C009

SEE SHEET C012

**POINTE GRAND OCALA SOUTH**  
 PREPARED FOR  
**HILLPOINTE, LLC**  
 FLORIDA

**Kimley-Horn**  
 1700 SOUTH BIRCH AVE. SUITE 200  
 GAITHERSBURG, MD 20878  
 WWW.KIMLEY-HORN.COM

**PROFESSIONAL ENGINEER**  
 JAMES K. FREDRICK, P.E.  
 REG. NO. 12000  
 SCALE: AS SHOWN  
 EXCEPT BY THIS SCALE  
 DRAWN BY: JTF  
 CHECKED BY: JTF  
 DATE: 08/20/2024

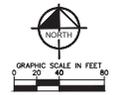
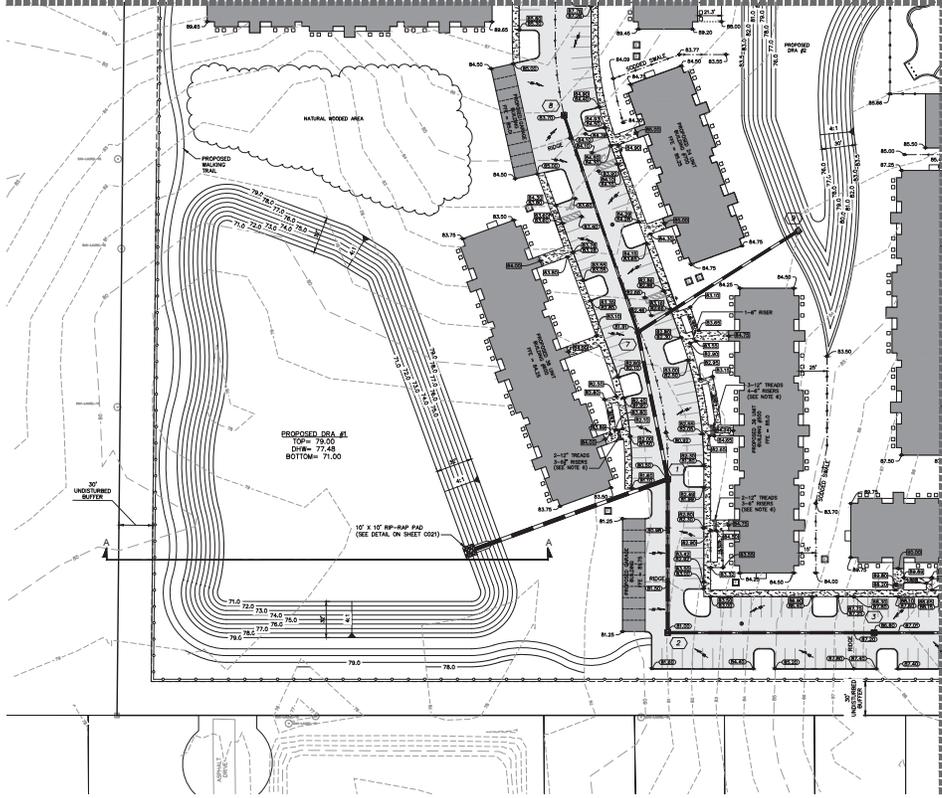
**GRADING PLAN**

SHEET NUMBER  
**C010**

MAJOR SITE PLAN

DATE: BY: REVISIONS: NO. DATE BY

SEE SHEET C009



**PAVEMENT LEGEND**

- TRANSVERSE PAVEMENT (SEE DETAIL SHEET C-03)
- CONCRETE FINISH (SEE DETAILS SHEETS C-8 TO C-9)
- CONCRETE IN BURIAL (SEE DETAILS SHEET C-05)

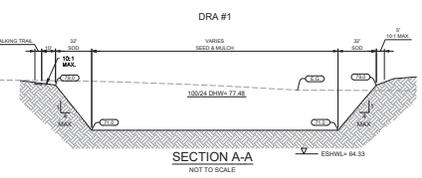
**LEGEND**

- PROPOSED GROUND SPOT ELEVATION
- PROPOSED CONCRETE SPOT ELEVATION
- PROPOSED ASPHALT SPOT ELEVATION
- PROPOSED STORMWATER INLET
- PROPOSED STORMWATER MANHOLE
- PROPOSED MANHOLE AND SECTION
- PROPOSED 30' OUT DROP INLET
- PROPOSED STORM DRAIN CLEANOUT (SEE DETAIL SHEET C-04)
- PROPOSED STORM INLET
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED FLOW DIRECTION ARROWS
- PROPOSED ROOF DRAIN CONNECTION (CONNECT PER ARCHITECTURAL PLANS)
- PROPOSED SHINGLE

**NOTES:**

1. ALL GRADES ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
2. MINIMUM RUNNING SLOPE ON SIDEWALKS SHALL NOT EXCEED 2%.
3. MINIMUM CROSS SLOPE ON SIDEWALKS OR SIDEWALK CROSSWALKS SHALL NOT EXCEED 2% IN ANY DIRECTION.
4. MINIMUM SLOPE IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
5. STORM INLET MATERIALS SHALL BE 1/2" THICK 1/4" STORM REEF WALL WATER TIGHT JOINT, OR JOINT AND COVERING AFTER THE LATEST EDITION OF THE FOOT FINISHED SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. EXISTING SLOPE SHALL BE MAINTAINED UNLESS OTHERWISE NOTED ON THE PLAN.
6. ALL FINAL STORM DRAIN MATERIALS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND NOTED ON THE RECORD DRAWINGS.
7. DRAINAGE INTO DRAINAGE RETENTION AREAS REQUIRES INSTALLATION OF CURBS TO BE SETTING AND STRUCTURES PER THE LATEST EDITION OF THE SLOPE. SEE SITE DETAILS FOR ADDITION OF 30'-30" PAD.
8. DETAIL OF HOW DRAINAGE MATERIALS ALONG WITH SLOPE OF CURBS & STAIRS, STAIR HANDRAILS SHALL BE INDICATED ACCORDING TO THE LATEST EDITION OF THE SLOPE, THE FLORIDA BUILDING CODE.
9. A MINIMUM OF THREE FEET OF UNDISTURBED SOIL MATERIAL SHALL BE PROVIDED BETWEEN THE SURFACES OF EXISTING SIDEWALK AND THE BOTTOM AND SIDE OF ANY STORMWATER FACILITY. EXCAVATION AND BACKFILL OF SIDEWALK MATERIAL MAY BE MADE TO MEET THIS CONDITION.

SEE SHEET C012



STORM SEWER DATA - DRA #1						
STRUCTURE	TYPE	TOP EL.	INV. EL.	PIPES OUT	PIPE SIZE	PIPE LENGTH / SLOPE
1	INLET TYPE 'Y'	85.50	IN= 75.82 (24" SD) EX= 74.50 (24" SD)	1-ORA 1	36"	181.7' 0.45%
2	INLET TYPE 'Y'	81.00	IN= 78.28 (24" SD) EX= 76.26 (24" SD)	2-1	30"	136.2' 0.65%
3	INLET TYPE 'Y'	86.80	IN= 84.84 (24" SD) EX= 81.52 (24" SD) IN= 82.00 (24" SD)	3-2	24"	183.0' 2.40%
7	STORM MP	81.81	IN= 75.81 (24" SD) EX= 78.09 (24" SD) IN= 77.50 (24" SD) EX= 76.00 (12" HDPE)	7-1	30"	133.1' 0.80%
8	INLET TYPE 'Y'	83.70	IN= 82.00 (24" SD) EX= 81.00 (24" SD)	8-7	18"	203.3' 1.00%
9	INLET TYPE 'Y'	81.75	IN= 78.84 (24" SD)	9-7	24"	168.5' 0.50%

**Kimley Horn**  
 1700 SOUTH BIRCHWOOD DRIVE, SUITE 100, WEST PALM BEACH, FLORIDA 33411  
 WWW.KIMLEY-HORN.COM RECEIVING: 08/14/2024

**POINTE GRAND OCALA SOUTH**  
 PREPARED FOR: HILLPOINTE, LLC  
 FLORIDA  
 HAWKINS COUNTY  
 MAJOR SITE PLAN

**GRADING PLAN**

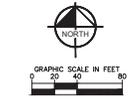
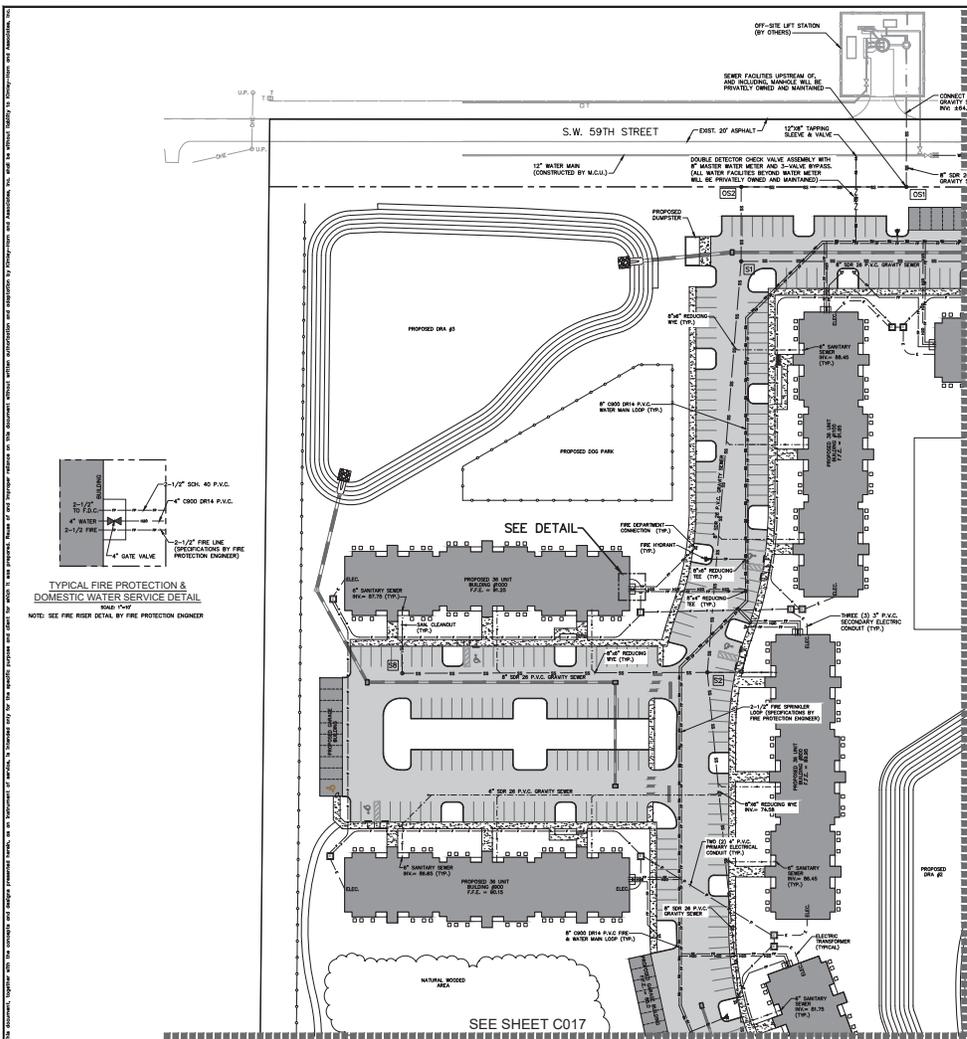
**POINTE GRAND OCALA SOUTH**  
 PREPARED FOR: HILLPOINTE, LLC  
 FLORIDA  
 HAWKINS COUNTY  
 MAJOR SITE PLAN

SHEET NUMBER: C011

DATE: 08/14/2024  
 BY: [Signature]  
 CHECKED BY: [Signature]  
 REVISIONS: [Table with 3 columns: No., Description, Date]







**PAVEMENT LEGEND**

- CHANGED OUT PAVEMENT (SEE DETAIL SHEET C031)
- CONCRETE PAVEMENT (SEE DETAIL SHEET C031)
- CONCRETE SIDEWALK (SEE DETAIL SHEET C031)

**LEGEND**

- STORM STRUCTURE LABEL
- SANITARY MANHOLE LABEL
- PROPOSED SANITARY SEWER MAIN
- PROPOSED SANITARY SEWER PIPE
- PROPOSED WATER & FIRE MAIN
- PROPOSED FIRE PROTECTION LINE
- PROPOSED SANITARY MANHOLE
- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION
- LOOSE VALVE
- FIRE LINE DOUBLE CHECK DETECTOR
- MASTER WATER METER
- ELECTRICAL TRANSFORMER
- PRIMARY ELECTRICAL
- SECONDARY ELECTRICAL

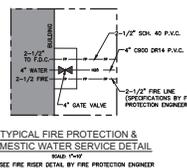
**NOTES:**

- ALL UTILITY CONSTRUCTION SHALL COMPLY WITH THE MARION COUNTY HEALTH DEPARTMENT CODES AND ORDINANCES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE MARION COUNTY HEALTH DEPARTMENT.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER INSTALLATION OF ALL UTILITY LINES AND STRUCTURES IN ACCORDANCE WITH THE MARION COUNTY HEALTH DEPARTMENT CODES AND ORDINANCES.
- ALL UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE MARION COUNTY HEALTH DEPARTMENT CODES AND ORDINANCES.
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**FIRE HYDRANT ASSEMBLY NOTES:**

- ALL FIRE HYDRANT ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH THE MARION COUNTY HEALTH DEPARTMENT CODES AND ORDINANCES.
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- ALL FIRE HYDRANT ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH THE MARION COUNTY HEALTH DEPARTMENT CODES AND ORDINANCES.

STRUCTURE	TOP EL.	INV. EL.	PIPES OUT	PIPE SIZE	PIPE LENGTH	SLOPE
001	87.34	86.41	001 - STUB OUT	8"	65.0'	0.50R
002	82.62	81.69	002-001	8"	146.4'	3.74R
01	86.30	85.37	01-002	8"	66.1'	0.60R
02	88.90	87.97	02-01	8"	366.0'	0.60R
03	89.60	88.67	03-02	8"	370.0'	0.60R



**POINTE GRAND OCALA SOUTH**  
 PREPARED FOR  
**HILLPOINTE, LLC**  
 MARION COUNTY FLORIDA

**UTILITY PLAN**

**Kimley-Horn**  
 1700 SOUTH BIRCHLICK DRIVE, SUITE 100, Ocala, FL 34761  
 WWW.KIMLEY-HORN.COM RECEIVING: 03/08/2018

**PROJECT INFORMATION**

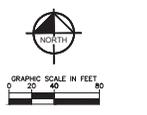
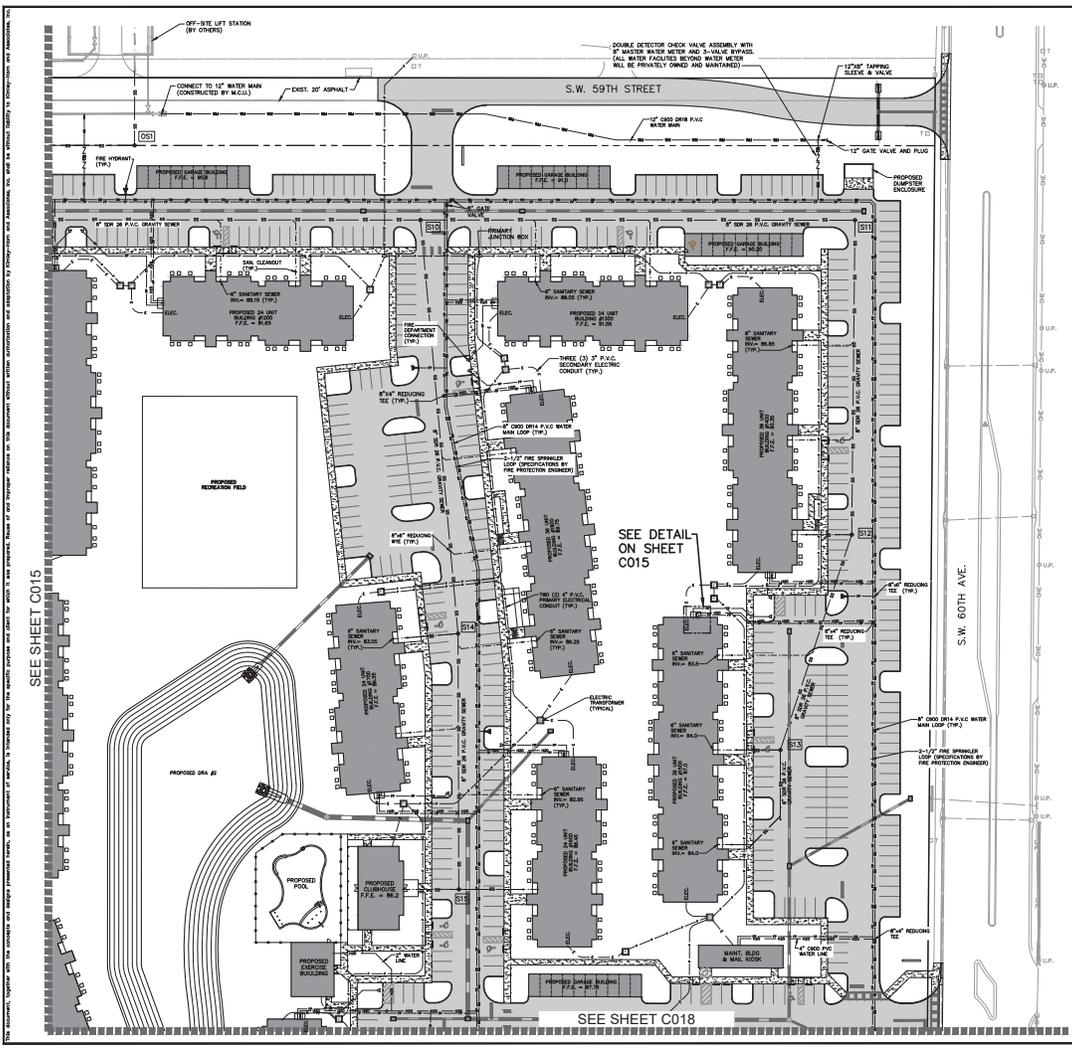
PROJECT NO.	180000002
DATE	MARCH 2018
SCALE	AS SHOWN
DESIGNED BY	DAVE PETERSON
CHECKED BY	DAVE PETERSON
DATE	JAN 2018

**REVISIONS**

NO.	DATE	BY	REVISIONS

SHEET NUMBER  
**C015**

MAJOR SITE PLAN



- NOTES:**
- ALL UTILITY CONSTRUCTION SHALL CONFORM WITH THE MARION COUNTY STANDARD SPECIFICATIONS FOR ROAD AND HIGHWAYS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DEPT. AND ALL BILLS AND PROPOSED CONSTRUCTION.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER INSTALLATION OF ALL UTILITY LINES AND FITTINGS IN ACCORDANCE WITH THE MARION COUNTY STANDARD SPECIFICATIONS FOR ROAD AND HIGHWAYS.
  - ALL UTILITY LINES SHALL BE CONSTRUCTED PER MARION COUNTY STANDARD SPECIFICATIONS FOR ROAD AND HIGHWAYS. LOCATIONS SHALL BE SUBMITTED TO MARION COUNTY.
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- FIRE HYDRANT ASSEMBLY NOTES:**
- NEW HYDRANTS SHALL BE INSTALLED, TESTED, AND PAINTED PER AFD. ALL HYDRANT CONSTRUCTION SHALL BE APPROVED BY MARION COUNTY FIRE DEPARTMENT.
  - ALL FIRE HYDRANT CONSTRUCTION SHALL BE APPROVED BY MARION COUNTY FIRE DEPARTMENT.
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STRUCTURE	TOP EL.	INV. EL.	PIPES OUT	PIPE SIZE	PIPE LENGTH	SLOPE
051	87.34	86.43	051 - 510B OUT	8"	65.0'	0.50%
510	89.88	77.77	510-51	8"	405.0'	0.87%
511	87.62	79.00	511-510	8"	386.3'	0.45%
512	87.40	82.75	512-511	8"	279.1'	0.44%
513	85.87	82.80	513-512	8"	201.3'	0.70%
514	85.43	78.54	514-513	8"	358.9'	0.45%
515	84.23	81.00	515-514	8"	227.0'	0.43%

SEE SHEET C015

SEE DETAIL ON SHEET C015

SEE SHEET C018

**POINTE GRAND OCALA SOUTH**  
 PREPARED FOR  
**HILLPOINTE, LLC**  
 MARION COUNTY FLORIDA

**UTILITY PLAN**

**Kimley-Horn**  
 1700 SOUTH BIRCH AVE. SUITE 100  
 GAITHERSBURG, MD 20878  
 TEL: 301-981-9800  
 WWW.KIMLEY-HORN.COM

PROJECT NO. 14-0000000  
 DATE: 04/20/14  
 SCALE: AS SHOWN  
 DESIGNED BY: JAH  
 CHECKED BY: JAH  
 IN CHARGE BY: JAH

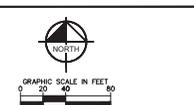
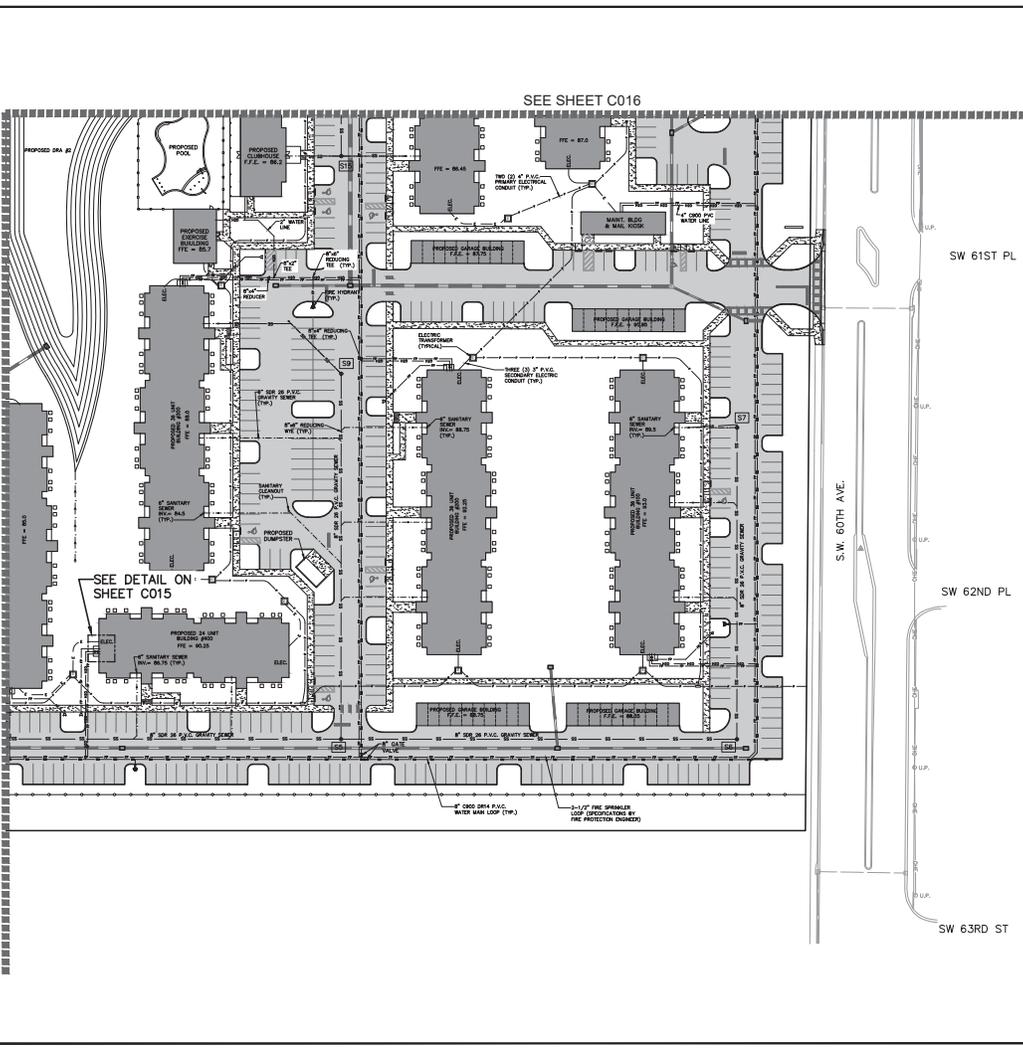
SHEET NUMBER  
**C016**

MAJOR SITE FOR

DATE: BY: REVISIONS



SEE SHEET C017



- GOVERNMENT LEGEND**
- STORM STRUCTURE LABEL
  - SANITARY MANHOLE LABEL
  - CONCRETE FUNDAMENT (SEE DETAIL SHEET C031)
  - CONCRETE FUNDAMENT (SEE DETAIL SHEET C031)
  - CONCRETE FUNDAMENT (SEE DETAIL SHEET C031)
- LEGEND**
- STORM STRUCTURE LABEL
  - SANITARY MANHOLE LABEL
  - PROPOSED SANITARY SEWER MAIN
  - PROPOSED SANITARY SEWER PIPE
  - PROPOSED WATER & FIRE MAIN
  - PROPOSED FIRE PROTECTION LINE
  - PROPOSED SANITARY MANHOLE
  - FIRE HYDRANT ASSEMBLY
  - FIRE DEPARTMENT CONNECTION
  - GATE VALVE
  - FIRE LINE DOUBLE CHECK DETECTOR
  - MASTER WATER METER
  - ELECTRICAL TRANSFORMER
  - PRIMARY ELECTRICAL
  - SECONDARY ELECTRICAL

- NOTES:**
- ALL UTILITY CONSTRUCTION SHALL CONFORM WITH THE MARION COUNTY SANITARY SEWER CODE FOR THE PROPOSED PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE MARION COUNTY HEALTH DEPARTMENT AND THE MARION COUNTY UTILITY DEPARTMENT.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER IDENTIFICATION OF EXISTING UTILITIES AND FOR THE PROTECTION OF ALL UTILITIES NOT TO BE DISTURBED.
  - ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED AT ALL TIMES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
  - ALL VALVE BOXES TO BE CONSTRUCTED PER MARION COUNTY STANDARD DETAILS OF SEWER SYSTEMS.
  - ALL WATER MAINS AND SERVICES SHALL INCLUDE LOCATOR WIRE AND GDS TAP.
  - ALL FIRE PROTECTION LINE CONSTRUCTION SHALL CONFORM WITH THE MARION COUNTY HEALTH DEPARTMENT CODE REQUIREMENTS. ALL VALVE BOXES SHALL BE CONSTRUCTED TO A MINIMUM OF 18" ABOVE FINISHED GRADE.
  - ALL VALVE BOXES TO BE CONSTRUCTED PER MARION COUNTY STANDARD DETAILS OF SEWER SYSTEMS.
  - IF ALL, BE THE RESPONSIBILITY OF THE MANUFACTURER TO PROVIDE A MINIMUM OF 18" ABOVE FINISHED GRADE.
  - CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE MARION COUNTY HEALTH DEPARTMENT AND THE MARION COUNTY UTILITY DEPARTMENT. ALL PERMITS SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
  - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MARION COUNTY UTILITY DEPARTMENT STANDARD DETAILS OF SEWER SYSTEMS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES NOT TO BE DISTURBED.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES NOT TO BE DISTURBED.
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  - CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES NOT TO BE DISTURBED.
- FIRE HYDRANT ASSEMBLY NOTES:**
- NEW HYDRANTS SHALL BE METALLIC, TESTED, AND PAINTED PER MARION COUNTY HEALTH DEPARTMENT CODE REQUIREMENTS AND APPROVED BY MARION COUNTY HEALTH DEPARTMENT.
  - ALL HYDRANTS SHALL BE INSTALLED WITH THE HYDRANT BODY ABOVE FINISHED GRADE.
  - ALL HYDRANTS SHALL BE INSTALLED WITH THE HYDRANT BODY ABOVE FINISHED GRADE.
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  - ALL HYDRANTS SHALL BE INSTALLED WITH THE HYDRANT BODY ABOVE FINISHED GRADE.

SANITARY SEWER DATA						
STRUCTURE	TOP EL.	INV. EL.	PIPES OUT	PIPE SIZE	PIPE LENGTH	SLOPE
55	88.82	88.82	55-54	8"	311.0'	0.45%
56	88.26	88.26	56-55	8"	301.0'	0.45%
57	91.41	91.41	57-58	8"	279.2'	0.45%
59	86.66	86.66	59-58	8"	334.2'	0.45%
615	84.23	80.72	615-614	8"	227.0'	0.45%

CALL TWO (2) BUSINESS DAYS BEFORE YOU DIG ITS THE LAW

**Kimley-Horn**

UNLIMITED PROFESSIONAL LIABILITY INSURANCE

JAMON K. FREDRICK, P.E.  
DATE: 01/14/2024  
SCALE: AS SHOWN  
DRAWN BY: JTF  
CHECKED BY: JTF

**UTILITY PLAN**

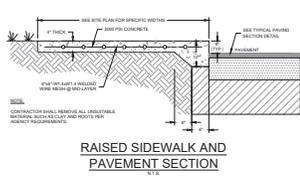
POINTE GRAND  
OCALA SOUTH  
PREPARED FOR  
HILLPOINTE, LLC

FLORIDA  
MARION COUNTY  
MAJOR SITE PLAN

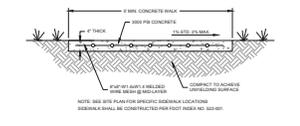
SHEET NUMBER  
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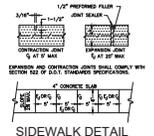
This document, together with the contract and any amendments thereto, shall constitute the entire agreement between the undersigned and the City of Ocala, Florida. It is understood that the undersigned has prepared the drawings in accordance with the specifications of the City of Ocala, Florida, and that the undersigned shall be held responsible for the accuracy of the drawings and specifications. The undersigned shall not be held responsible for any errors or omissions in the drawings and specifications. The undersigned shall not be held responsible for any damage to property or injury to persons resulting from the use of the drawings and specifications. The undersigned shall not be held responsible for any delay in the construction of the project. The undersigned shall not be held responsible for any cost overruns or other financial matters. The undersigned shall not be held responsible for any other matters.



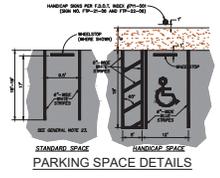
**RAISED SIDEWALK AND PAVEMENT SECTION**  
N.T.S.



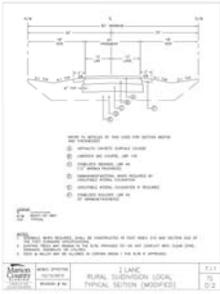
**TYPICAL SIDEWALK SECTION**  
N.T.S.



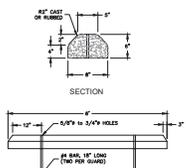
**SIDEWALK DETAIL**  
N.T.S.



**PARKING SPACE DETAILS**  
N.T.S.



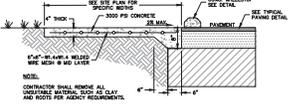
**TYPICAL SECTION (MODIFIED)**  
N.T.S.



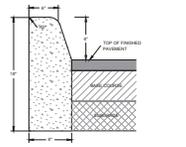
**CONCRETE WHEEL STOP**  
FOUR-SIDES N.T.S.



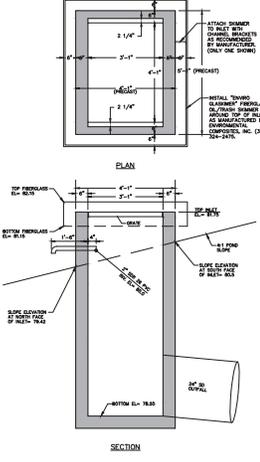
**TYPICAL STANDARD DUTY PAVEMENT SECTION**  
N.T.S.



**FLUSH SIDEWALK AND PAVEMENT SECTION**  
FOUR-SIDES N.T.S.

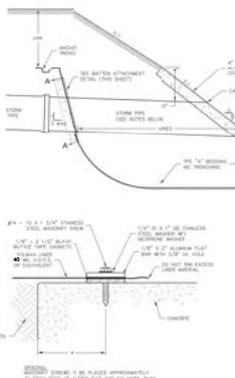


**TYPE 'D' CURB**  
FOUR-SIDES N.T.S.

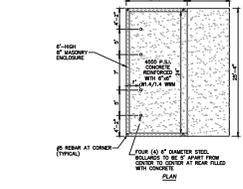


**DRA #2 DITCH BOTTOM INLET TYPE 'D' WITH OIL/TRASH SKIMMER**  
NOT TO SCALE

REFER TO P.D.O. 1000-00000 FOR STEEL REINFORCEMENT AND ADDITIONAL NOTES.



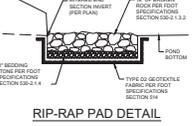
**LINER TO PIPE CONNECTION (SLOPE EMBEDDED OPTION)**  
N.T.S.



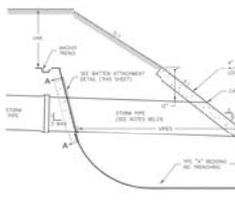
**DUMPSTER PAD AND ENCLOSURE DETAIL**  
N.T.S.



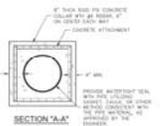
**POND LINER DETAIL**  
FOUR-SIDES N.T.S.



**RIP-RAP PAD DETAIL**  
N.T.S.



**PLAN VIEW ENERGY DISSIPATOR**  
N.T.S.

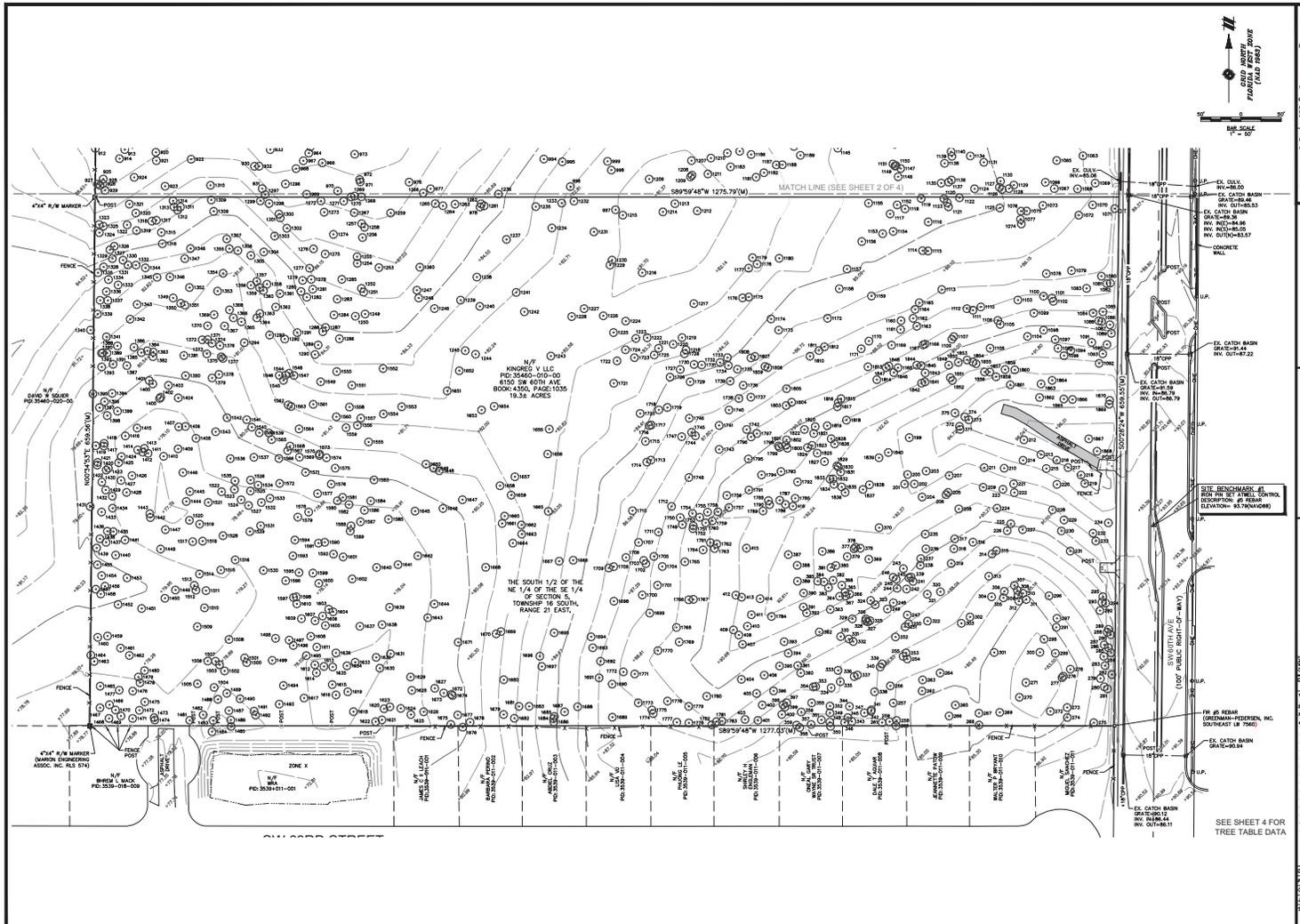


**SECTION 'A-A'**  
N.T.S.

		DATE: _____ BY: _____
PROJECT: _____ SHEET: _____		REVISIONS: _____ NO. _____
LICENSED PROFESSIONAL ENGINEER JAMESON K. FREDRICK, P.E. SCALE: AS SHOWN EXPIRES: _____ EXPIRES BY: _____ EXPIRES IN: _____	NORMAL LICENSE NUMBER: _____ STATE: FLA EXPIRES BY: _____ EXPIRES IN: _____	DATE: _____ BY: _____
<b>POINTE GRAND OCALA SOUTH</b> PREPARED FOR: <b>HILLPOINTE, LLC</b> HILLOINTE, LLC MAJOR SITE PLAN		SHEET NUMBER: <b>C021</b>







Know what's below.  
Call before you dig.

THE LOCATION OF ANY  
UNDERGROUND UTILITY  
OR STRUCTURE IS NOT  
GUARANTEED BY THIS  
SURVEY. THE SURVEYOR  
HAS CONDUCTED A VISUAL  
INSPECTION OF THE  
AREA AND HAS FOUND  
NO EVIDENCE OF ANY  
UNDERGROUND UTILITY  
OR STRUCTURE. THE  
SURVEYOR IS NOT  
RESPONSIBLE FOR  
DAMAGES TO ANY  
UNDERGROUND UTILITY  
OR STRUCTURE.

NOTICE:  
THIS SURVEY IS A  
REVISION OF A PREVIOUS  
SURVEY. THE PREVIOUS  
SURVEY IS IDENTIFIED  
BY THE FOLLOWING  
INFORMATION:  
PROJECT NO. 2018-001  
DATE 08/20/2021  
BY J. W. WALKER  
REGISTERED PROFESSIONAL  
SURVEYOR  
STATE OF FLORIDA  
NO. 12345

**ATWELL**  
SURVEYING & ENGINEERING, LLC  
1000 W. UNIVERSITY AVENUE  
SUITE 100  
OCALA, FLORIDA 34701  
(352) 237-1111  
WWW.ATWELLSURVEYING.COM

CLIENT: HILPOINTE, LLC  
ALTA MANS LAND TITLE AND BOUNDARY SURVEY  
CITY OF OCALA, FLORIDA  
OCALA 5884 SW 60TH AVE

DATE: 08/30/2021  
BY: J. W. WALKER  
CHECKED BY: J. W. WALKER  
PROJECT NO.: 2018-001

FOR THE RECORD:  
GREENMAN-FEDERSEN, INC.  
SOUTHWEST 18 7200  
OCALA, FLORIDA 34701  
PHONE: (352) 237-1111  
FAX: (352) 237-1112  
WWW.GREENMAN-FEDERSEN.COM

SEE SHEET 4 FOR TREE TABLE DATA

REVISIONS

CHK. STH: J. W. WALKER  
CHK. CRE: J. W. WALKER  
ZONE: 803  
JOB: 21003679  
SHEET NO.: 3 OF 4