

18.50 Rec



Marion County
Board of County Commissioners

Growth Services
2710 E. Silver Springs Blvd
Ocala, FL 34470
Phone: 352-438-2600
Fax: 352-438-2601

APPLICATION COMPLETE
DATE COMPLETED: 2/29/24
INITIALS: (Owa)
TENTATIVE MEETING DATES
P&Z PH: 4/29/24
BCC/P&Z PH: 5/21/24

STAFF/OFFICE USE ONLY	
Case No.:	
AR No.:	31230
PA:	

- New or Modification \$1,000
- Expired \$1,000
- Renewal (no changes) \$300

SPECIAL USE PERMIT APPLICATION

The undersigned hereby requests a Special Use Permit in accordance with Marion County Land Development Code, Articles 2 and 4, for the purpose of: Parking my truck behind my home.

Property/Site Address: 3170 SW 133RD Lane Rd.
 Property Dimensions: _____ Total Acreage: _____
 Legal Description: (Please attach a copy of the deed and location map.) Parcel Zoning: _____
 Parcel Account Number(s): 8007-1121-01

Each property owner(s) MUST sign this application or provide written authorization naming the applicant or agent below to act on their behalf. Please print all information, except for the Owner and Applicant/Agent signature. If multiple owners or applicants, please use additional pages.

Ausberto Desarden Carrero

Property Owner Name (please print)

Applicant or Agent Name (please print)

3170 SW 133RD Lane Rd

Mailing Address

Mailing Address

Ocala FL 34473

City, State, Zip Code

City, State, Zip Code

787-673-0540

Phone Number (include area code)

Phone Number (include area code)

a.desarden@gmail.com

E-Mail Address (include complete address)

E-Mail Address (include complete address)

Ausberto Desarden Carrero

Signatures

Signatures* adesarden@hotmail.com

*By signing this application, applicant hereby authorizes Growth Services to enter onto, inspect, and traverse the property indicated above, to the extent Growth Services deems necessary, for the purposes of assessing this application and inspecting for compliance with County ordinance and any applicable permits.

STAFF/OFFICE USE ONLY			
Project No.: <u>2024020101</u>	Code Case No.: <u>944783</u>	Application No.:	
Rcvd by: <u>EMAL</u>	Rcvd Date: <u>2/27/24</u>	FLUM:	AR No.: <u>31230</u> Rev: 10/20/21

Please note: The Special Use Permit will not become effective until after a final decision is made by the Marion County Board of County Commissioners. The owner, applicant or agent must be present at the public hearing to represent this application. If no representative is present and the board requires additional information, the request may be postponed or denied. Notice of said hearing will be mailed to the above-listed address(es). All information given by the applicant or agent must be correct and legible to be processed. The filing fee is non-refundable.
For more information, please contact the Zoning Division at 352-438-2675.

Empowering Marion for Success

marionfl.org



Attachment A

APPLICANT'S CHECK LIST

SPECIAL USE PERMIT

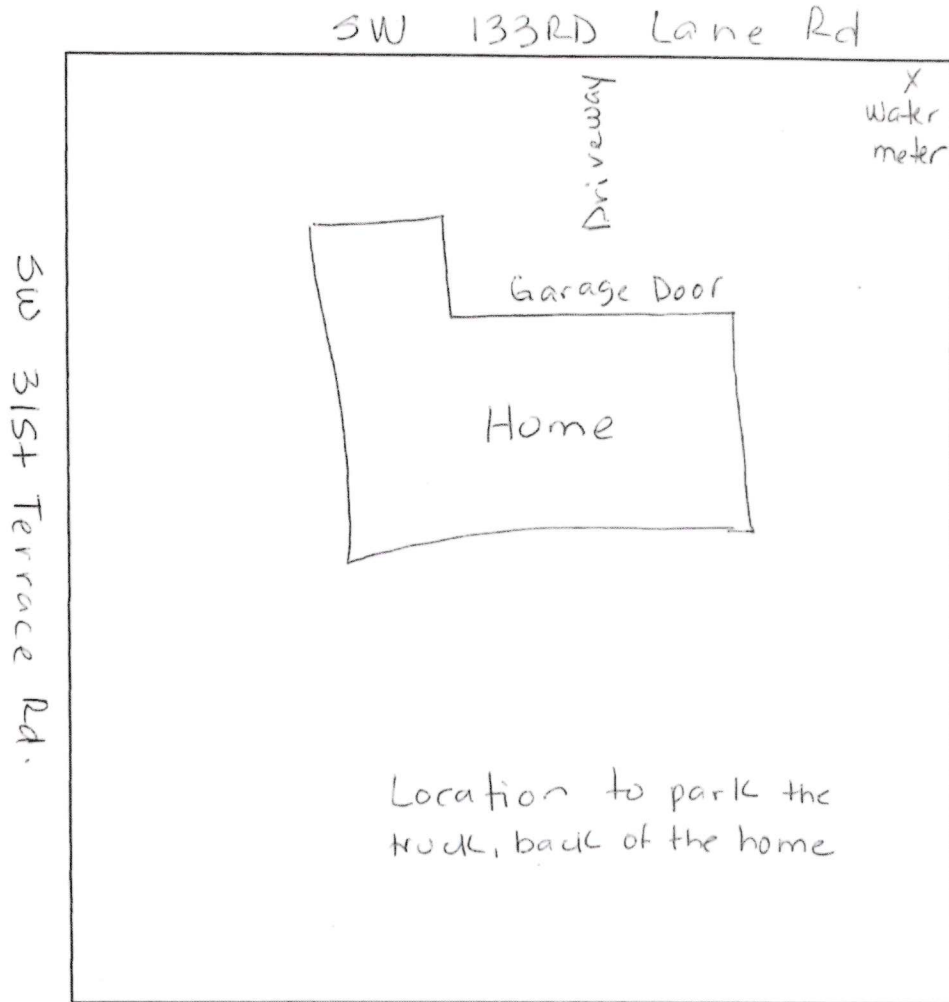
THE FOLLOWING ITEMS MUST BE COMPLETED AND SUBMITTED TO THE ZONING/DEVELOPMENT REVIEW DEPARTMENT.

1. Signed application with attached check in the proper amount.
2. Copy of deed to property.
3. Copy of legal description of property controlled.
4. Written findings of fact which will demonstrate that the proposed use will not adversely affect the public interest, the proposed use is consistent with the Comprehensive Plan, and the proposed use is compatible with land uses in the surrounding area. SEE PAGE 4-9 OF APPLICATION.
5. Twenty copies of a concept plan prepared in accordance with Article 9 of the Marion County Land Development Code.
6. If applicable, a high recharge area or KARST Sensitivity Study, twenty copies.
7. If applicable, a Modified Environmental Assessment Study, twenty copies.

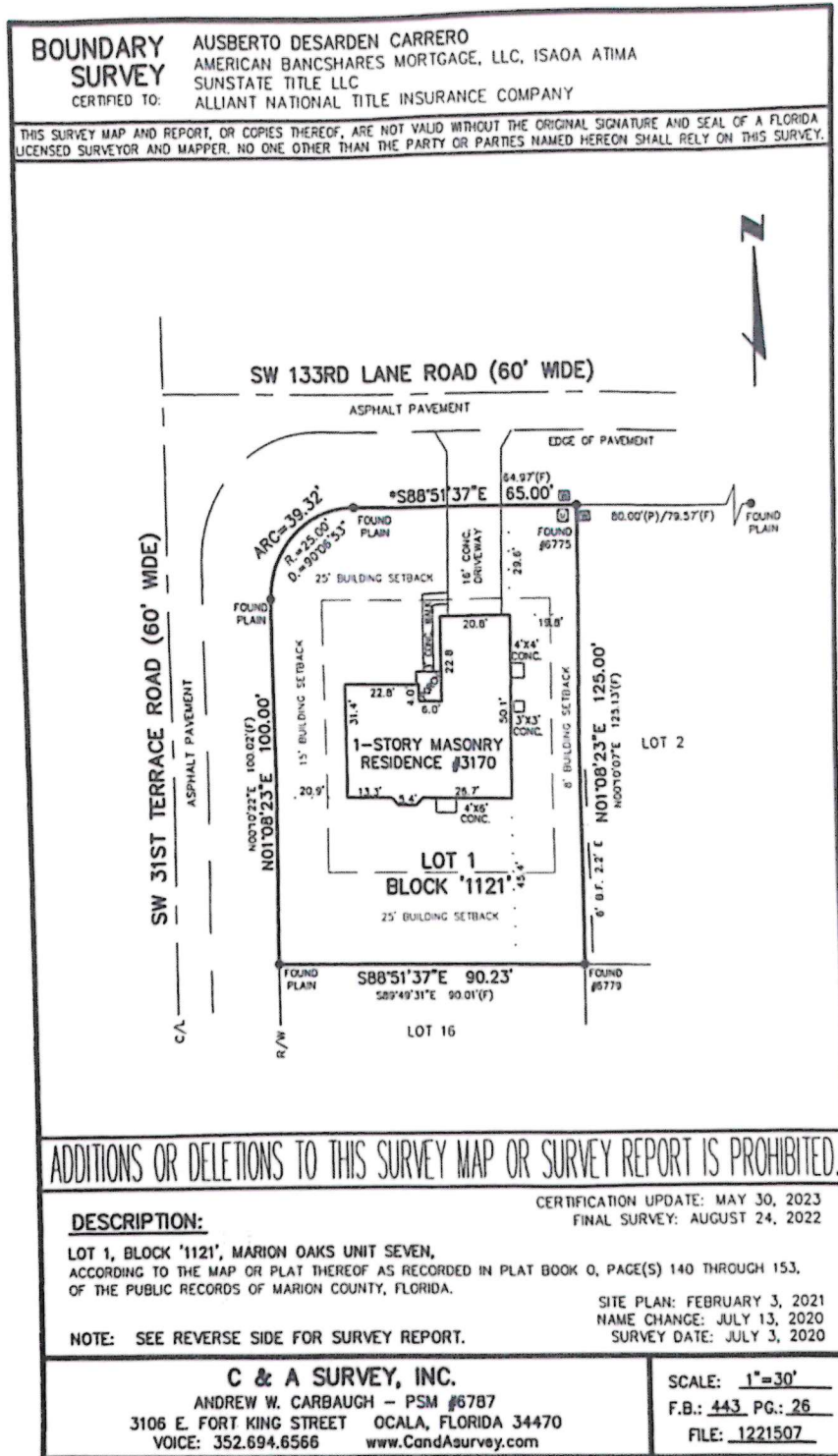
SITE PLAN

Applicants must show all existing and proposed improvements, including location of manufactured home, carport, or garage; well, septic tank, streets and driveways, and the dimensions of the property.

Setbacks from all property lines must also be shown.



Revised and Retyped: 05/22/06



MCBCC Interactive Map - Internal



A-5

2/29/2024, 4:04:13 PM



Aerial2023

- Parcels Labels
- Parcels
- Address Points
- Structure - Addressed
- Structure - Confidential Address
- No Address
- Vacant with Address
- WRA/DRA
- Marion County
- County Road Maintenance
- OCE Maintained Paved
- Streets
- Red: Band_1
- Green: Band_2
- Blue: Band_3

Marion County IT GIS Team, Marion County Property Appraiser, Esri Community Maps Contributors, Marion County Property Appraiser, FDEP, OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METINASA, USGS, EPA, NPS,

MCBCC ITGIS
FOR INTERNAL COUNTY USE ONLY; MAY CONTAIN CONFIDENTIAL INFORMATION. IMPROPER DISCLOSURE MAY RESULT IN CRIMINAL PENALTIES (F.S. 119.10).

Application's Finding of Facts Requirements

1. The ingress and egress to the proposed structure is via the streets in front of the house (SW 133RD Lane Rd and SW 31st. Terrace Rd.)
2. No street parking and loading areas will be required. The truck will be parked behind the house.
3. No trash pickup services have been requested for this property. Since I spent more than half the week on the road, trash is dumped at Marion County recycling centers/trash collection sites.
4. The water meter is in the front of the house on SW 133RD Lane Rd., near the neighboring house at 3160 SW 133RD Lane Rd. It not located near where the truck is requested to be park.
5. Provision for screening and buffering will not be required. This property does not have any trees.
6. Provision for signs, and exterior light will not be required. No proposing any sign.
7. The backyard is an undeveloped open space/area provided on the property. We have an open space on the property.
8. Provision for general compatibility with adjacent properties and other properties in the surrounding area will not be required. Normally I leave for work Monday or Tuesday, and I return home on Friday or Saturday. Once I get home, the truck is parked, and doesn't move until I leave for work the following Monday or Tuesday. My work is on the road. Therefore, the truck will not enter or exit the property multiple times a day.
9. I am willing to meet any special requirements requested.

Ausberto Desarden Carrero

Ausberto Desarden Carrero
3170 SW 133RD Lane Rd.



Jimmy H. Cowan, Jr., CFA
Marion County Property Appraiser

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

2024 Property Record Card
Real Estate

8007-1121-01

[GOOGLE Street View](#)

Prime Key: 1796164

[Beta MAP IT+](#)

Current as of 2/29/2024

[Property Information](#)

[M.S.T.U.](#)

[PC: 01](#)

Acres: .26

DESARDEN CARRERO AUSBERTO
3170 SW 133RD LANE RD
OCALA FL 34473-7892

[Taxes / Assessments:](#)

Map ID: 167

[Millage:](#) 8002 - UNINCORPORATED

Situs: 3170 SW 133RD LANE RD
OCALA

[2023 Certified Value](#)

Land Just Value	\$23,750		
Buildings	\$221,901		
Miscellaneous	\$2,738		
Total Just Value	\$248,389		
Total Assessed Value	\$235,953	Impact	(\$12,436)
Exemptions	\$0	Ex Codes: 01 38	
Total Taxable	\$235,953		
School Taxable	\$248,389		

[History of Assessed Values](#)

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2023	\$23,750	\$221,901	\$2,738	\$248,389	\$235,953	\$0	\$235,953
2022	\$16,900	\$0	\$0	\$16,900	\$10,285	\$0	\$10,285
2021	\$9,350	\$0	\$0	\$9,350	\$9,350	\$0	\$9,350

[Property Transfer History](#)

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
8070/0468	05/2023	07 WARRANTY	4 V-APPRAISERS OPINION	Q	I	\$267,000
7343/1650	12/2020	07 WARRANTY	4 V-APPRAISERS OPINION	Q	V	\$10,000
6911/1661	02/2019	61 FJDGMNT	0	U	V	\$100
6640/1582	09/2017	34 TAX	2 V-SALES VERIFICATION	U	V	\$2,100
4277/1046	12/2005	07 WARRANTY	4 V-APPRAISERS OPINION	U	V	\$52,000
3824/1871	09/2004	41 CORP	8 ALLOCATED	U	V	\$41,000
3767/0262	06/2004	07 WARRANTY	2 V-SALES VERIFICATION	Q	V	\$8,000
3767/0261	06/2004	77 AFFIDAVIT	0	U	V	\$100
3767/0260	04/1988	71 DTH CER	0	U	V	\$100
1191/0730	11/1983	07 WARRANTY	0	U	V	\$5,895

A-7

SEC 11 TWP 17 RGE 21
PLAT BOOK O PAGE 140
MARION OAKS UNIT 7
BLK 1121 LOT 1

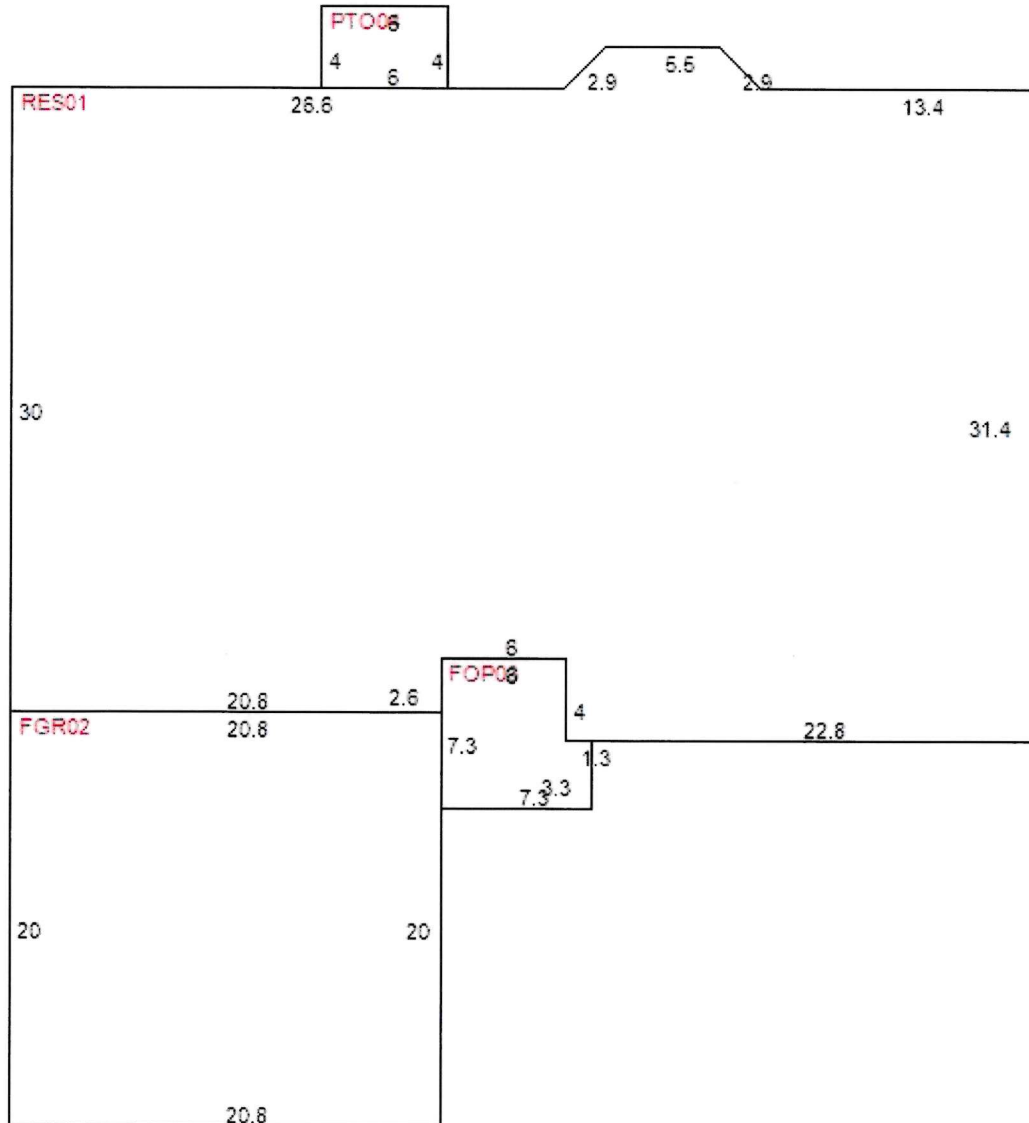
Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0100		90.0	125.0	R1	1.00 LT						
Neighborhood 9067 - MARION OAKS UNIT 7 INT LOTS											
Mkt: 9 70											

Traverse

Building 1 of 1

RES01=R20,8U2,6R6D4R22,8U31,4L13,4A315|2,9L5,5A225|2,9L26,6D30.
FGR02=D20R20,8U20L20,8.R20,8U2,6
FOP03=R6D4R1,3D3,3L7,3U7,3.D2,6L20,8U30R15
PTO04=U4R6D4L6.



Improvement 1F - SFR- 01 FAMILY RESID
Effective Age 1 - 00-04 YRS
Condition 3
Quality Grade 600 - AVERAGE
Inspected on 9/22/2022 by 210

Year Built 2022
Physical Deterioration 0%
Obsolescence: Functional 0%
Obsolescence: Locational 0%
Architecture 0 - STANDARD SFR
Base Perimeter 169

Type	ID	Exterior Walls	Stories	Year Built	Finished	Attic	Bsmt	Area	Bsmt	Finish	Ground	Floor Area	Total	Flr Area
RES	0132	- CONC BLK-STUCO	1.00	2022	N	0 %	0 %					1,520	1,520	
FGR	0232	- CONC BLK-STUCO	1.00	2022	N	0 %	0 %					416	416	
FOP	0301	- NO EXTERIOR	1.00	2022	N	0 %	0 %					48	48	
PTO	0401	- NO EXTERIOR	1.00	2022	N	0 %	0 %					24	24	

Section: 1

Roof Style: 12 HIP	Floor Finish: 24 CARPET	Bedrooms: 3	Blt-In Kitchen: Y
Roof Cover: 08 FBRGLASS SHNGL	Wall Finish: 16 DRYWALL-PAINT	4 Fixture Baths: 1	Dishwasher: Y
Heat Meth 1: 20 HEAT PUMP	Heat Fuel 1: 10 ELECTRIC	3 Fixture Baths: 1	Garbage Disposal: N
Heat Meth 2: 00	Heat Fuel 2: 00	2 Fixture Baths: 0	Garbage Compactor: N
Foundation: 6 MONOLITC SLAB	Fireplaces: 0	Extra Fixtures: 2	Intercom: N
A/C: Y			Vacuum: N

Miscellaneous Improvements

Type	Nbr	Units	Type	Life	Year In	Grade	Length	Width
159 PAV CONCRETE	946.00		SF	20	2022	3	0.0	0.0

Appraiser Notes

MODEL= BIRCH (L)
 BUILDER= WEITLAND CONST

Planning and Building

** Permit Search **

Permit Number	Date Issued	Date Completed	Description
2021033549	5/5/2021	3/1/2022	SFR JOB: NEW CONSTRUCTIONBIRCH

18.50 Rec
1869.00 Doc



GREGORY C HARRELL CLERK & COMPTROLLER MARION CO
DATE: 06/09/2023 01:24:36 PM
FILE #: 2023073243 OR BK 8070 PGS 468-469
REC FEES: \$18.50 INDEX FEES: \$0.00
DDS: \$1869.00 MDS: \$0 INT: \$0

This Instrument Prepared by and Return to:

TERRY E. STEWART

Sunstate Title LLC

15800 E. Hwy 40

Silver Springs, FL 34488

Our File No.: 23-67104

Property Appraisers Parcel Identification (Folio) Number: 8007-1121-01

Florida Documentary Stamps in the amount of \$1,869.00 have been paid hereon.

Space above this line for Recording Data

WARRANTY DEED

THIS WARRANTY DEED, made the 19 day of May, 2023 by MARILIN DEL ROSARIO, whose post office address is 16988 SW 141st Court, Miami FL 33177, herein called the Grantor, to AUSBERTO DESARDEN CARRERO whose post office address is 3170 SW 133RD LANE RD, OCALA, FL 34473, hereinafter called the Grantee:

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of a)

WITNESSETH: That the Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee all that certain land situate in MARION County, State of Florida, viz.:

Lot 1, Block 1121, Unit 7, MARION OAKS, as per plat thereof recorded in Plat Book O, Pages 140 - 153, of the Public Records of Marion County, Florida.

Subject to easements, restrictions and reservations of record and taxes for the year 2023 and thereafter.

Grantor hereby covenants that the above referenced property is not her homestead, nor any other members of the household of Grantor, and it is not adjacent or contiguous to her homestead, and further states that she resides in Miami, FL.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2022.

Continued next page

File No.: 23-67104

L17

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

[Signature]
Witness #1 Signature

Olga Pedraza
Witness #1 Printed Name

[Signature]
Witness #2 Signature

SANDRA CRESPO
Witness #2 Printed Name

[Signature] (Seal)
MARILIN DEL ROSARIO

State of Florida
County of MIAMI DADE

The foregoing instrument was acknowledged before me this 19 day of May, 2023, by MARILIN DEL ROSARIO who is appeared by physical presence or online notarization and has produced D482540708821 as identification.

SEAL



[Signature]
Notary Public
Olga Pedraza
Printed Notary Name

My Commission Expires:
March 16, 2027

File No.: 23-47104

LTP

MARION COUNTY
CONCURRENCY MANAGEMENT SYSTEM
AFFIDAVIT FOR DEFERRAL
OF CONCURRENCY TEST

NAME: Ausherto Desarden Carrero

ADDRESS: 3170 SW 133rd Lane Rd.

PROJECT ADDRESS: 3170 SW 133rd Lane Rd.

PROJECT PARCEL #: 8007-1121-01

PRELIMINARY DEVELOPMENT ORDER APPLIED FOR: _____

I hereby declare and affirm that I elect to defer the concurrency test that is required by Chapter 163, Florida Statutes, for the above listed property until a later time, but no later than the first application for a final development order/permit for the same property.

I understand and acknowledge that the above listed property will be subject to the concurrency test at a later time, in which case it cannot be developed until sufficient capacity of public facilities becomes available to maintain the standards for levels of service that are adopted in the Marion County Comprehensive Plan.

I further understand and acknowledge that Marion County's issuance of a preliminary development order without a concurrency test creates no vested or other rights to develop the subject property.

SIGNED: Ausherto Desarden Carrero

DATE: 2/24/2024

ACCEPTED: _____

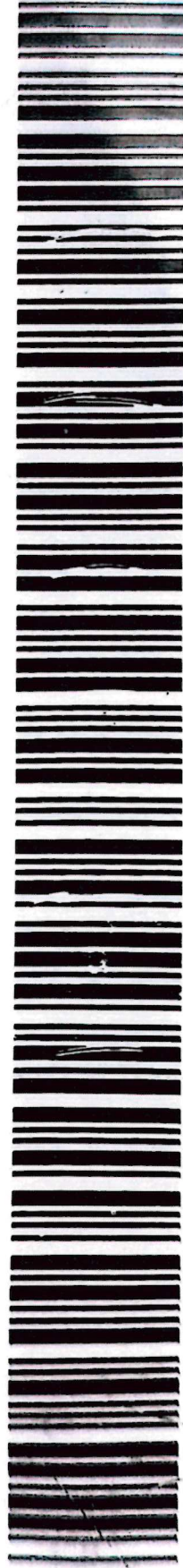
DATE: _____

Retyped May 2006

**NAVISTAR, INC.
LISLE, ILLINOIS**

VIN 3HSDJAPR4GN195876 **MODEL** PROSTAR+ 122 6x4

DATE MFG. 21-May-2015 **W.B.** / **PD LOC - DATE** 540



MADE IN MEXICO



Attachment A

Code Case Detail Report Attachment A

CDPR4204 - Code Case Detail Report

CASE NBR: 944783 **AO NBR:** 661796
OLD CASE NBR STATUS: OPEN INSPECTOR: JAMESON, SUMMER
CASE TYPE: LAND DEVELOPMENT FOLIO NBR: 8007-1121-01

AO INFORMATION

OPEN DATE 2/19/2024 OPEN USER CE344SJ
COMPL NAME CEO JAMESON COMPL PHONE
COMPL ADDRESS 2710 E SILVER SPRINGS BLVD COMPL FAX

CASE INFORMATION

ADDR NBR: 198603 LOCATION: 3170 SW 133RD LANE RD Ocala
OPEN DATE: 02/19/2024 DISPOSITION
CLOSE DATE: DISP BY: DISP DATE:

DIRECTIONS:

CATEGORY: CE - COMMERCIAL VEHICLE
PRIORITY: 0 LAST VISIT ID: 610715 ZIP: 344737892
HEARING DATE: CONTACT?:

DESCRIPTION: PHYSICAL FILE ID:
SEMI TRUCK

CONTACT INFORMATION:

DESARDEN CARRERO AUSBERTO
PHONE: FAX:

TENANT INFORMATION:

PHONE: FAX:

OWNER INFORMATION:

CARRERO AUSBERTO DESARDEN
3170 SW 133RD LANE RD
OCALA, FL 34473

VIOLATOR INFORMATION:

PHONE: FAX:

COMPLAINANT INFORMATION:

NAME/ADDRESS: PHONE: FAX:
CEO JAMESON
2710 E SILVER SPRINGS BLVD

ACTION ORDER NOTES:

HWY 484 / R ON SW 29TH AVE RD / L ON SW 133RD LANE RD

VISITS:

<u>VISIT NBR</u>	<u>INSPECTOR</u>	<u>NAME</u>	<u>SCHEDULED DATE</u>	<u>VISIT DATE</u>	<u>NBR DAYS COMP</u>
610715	CE344SJ	JAMESON, SUMMER		02/17/2024	
2-17-24 AT 1020 CEO JAMESON ARRIVED ON SITE AND OBSERVED A SEMI TRUCK ON PROPERTY.					

LETTERS:

<u>REF TYPE</u>	<u>LETTER NAME</u>	<u>RQST DATE</u>	<u>PRINT DATE</u>	<u>SEND DATE</u>	<u>STATUS</u>
CC	CEO-NOV COM VEH	02/19/2024	02/19/2024		ACTV

VIOLATIONS:

<u>STATUS</u>	<u>GROUP</u>	<u>CODE</u>	<u>VIOL. DATE</u>	<u>DESCRIPTION/REMARKS</u>
VIOLATION	CE	4.3.21	2/17/2024	COMMERCIAL VEHICLE

IMAGES:

CASE NBR: 944783

AO NBR: 661796

OLD CASE NBR

STATUS: **Attachment A** OPEN

INSPECTOR: JAMESON, SUMMER

CASE TYPE: LAND DEVELOPMENT

FOLIO NBR: 8007-1121-01

<u>IMAGE DATE</u>	<u>IMAGE DESCRIPTION</u>
2/17/2024	3170 SW 133LN RD PHOTO BY SJ
2/17/2024	3170 SW 133LN RD PHOTO BY SJ
2/17/2024	3170 SW 133LN RD PHOTO BY SJ
2/17/2024	3170 SW 133LN RD PHOTO BY SJ
2/17/2024	3170 SW 133LN RD PHOTO BY SJ

NOTES:
