



SUBMITTAL SUMMARY REPORT MajorSite-000762-2026

PLAN NAME: 441 Modular Home Dealership	LOCATION: 0
APPLICATION DATE: 05/12/2026	PARCEL: 36943-000-00
DESCRIPTION: 441 Modular Home Dealership - Major Site Plan	

CONTACTS	NAME	COMPANY
Applicant	Tillman Associates	Tillman & Associates Engineering, LLC
Applicant	Tillman Associates	Tillman & Associates Engineering, LLC
Engineer of Record	Robert Quinney	

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.1	05/14/2026	05/29/2026	06/01/2026	Requires Re-submit
OCE: Plan Review (DR) v.2				Not Received

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.1				
ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Janet Warbach	05/29/2026	05/20/2026	Requires Re-submit
<i>Corrections</i>	Additional 911 Comments (Not Resolved) - Corrective Action: Sheet 16.01 the official 911 designation is S US HWY 441 (quadrant of "S" is missing from label of US HWY 441). Also, Sheet 1 – Aerial Map has S US HWY 441 incorrectly labeled as US 27/US 301/US 441 and SE 92nd Place Rd incorrectly labeled as SE 92nd PL/BLVW BYPS. - Incorrect Road Name Label			
Environmental Health (Plans) (Environmental Health)	Evan Searcy	05/29/2026	05/29/2026	Approved
Fire Marshal (Plans) (Fire)	Jonathan Kenning	05/29/2026	05/14/2026	Requires Re-submit
<i>Comments</i>	1) The fire hydrants are currently shown downstream of the double check detector assembly, which is not permitted. Fire hydrants shall be connected upstream of any backflow prevention devices to ensure adequate and reliable fire flow. In accordance with NFPA 24, Section 7.3.6, no devices such as check valves, detector check valves, or backflow prevention valves shall be installed in the piping between the fire hydrant and the supply source.			
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Erik Kramer	05/29/2026	05/29/2026	Requires Re-submit
<i>Corrections</i>	2.12.4/6.11.8 - Parking (Not Resolved) - Corrective Action: This proposed use qualifies as a "MODEL HOME SALES LOT OR MODEL HOME COMPLEX" based on the following definition contained in the County's land development code: "Model homes designed in a cluster to create a sales facility." Accordingly, applicant will need to demonstrate compliance with LDC Section 4.3.13.A. - 2.12.4/6.11.8 - Parking: Provide number and calculation of required and proposed parking spaces in table format, per LDC Sec. 6.11.8. - Parking requirements.			
<i>Corrections</i>	Additional Growth Services Comments (Not Resolved) - Corrective Action: Staff could not locate labels for garbage collection area or outdoor AC components. Indicate where these would be and provide screening/landscaping per Sec. 6.8.9. - Service and equipment areas, sub-sections B and D. - Additional Growth Services Comments			
<i>Corrections</i>	2.12.5/1.8.2.F - Concurrency Deferral Statement (Not Resolved) - Corrective Action: Staff could not locate the concurrency statement on the cover sheet. Provide the concurrency statement on the cover sheet if deferring to the building permitting stage. - 2.12.5/1.8.2.F - Concurrency Deferral Statement: Please provide a concurrency statement on the cover sheet according to LDC Sec. 1.8.2 (F) - Concurrency Deferral. An owner may elect to defer required concurrency review and approval for a development application identified in Section 1.8.2.A to a subsequent development application review stage by executing the following "Concurrency Deferral Statement" on the development application plan, or in a separate sworn and notarized affidavit, a copy of which shall be provided to Growth Services and the original shall be recorded in Marion County's Public Records, as applicable: "This project has not been granted concurrency approval and/or granted and/or reserved any public facility capacities. Future rights to develop the resulting property(ies) are subject to a deferred concurrency determination, and final approval to develop the property has not been obtained. The completion of concurrency review and/or approval has been deferred to later development review stages, such as, but not limited to, [list subsequent applications expected pursuant to Section 1.8.2.C as applicable]."			
<i>Corrections</i>	2.12.4.L & Article 5 - Overlay zones (Not Resolved) - Corrective Action: Note on cover sheet says secondary springs zone. This property is in the primary springs zone. Correct note. - 2.12.4.L & Article 5 - Overlay zones: Provide a statement showing all applicable overlay zones on the subject properties such as Airport Overlay Zones (AOZ), Environmentally Sensitive Overlay Zone (ESOZ), Floodplain, Springs Protection Overlay Zone (SPOZ), Military Operating Area (MOA), Scenic Roads Area (SRA), Wellhead/Wellfield Protection Area (WHPA), Silver Springs Community Redevelopment Area (SSCRA), and CR 475A Visual Enhancement Gateway Development Overlay, etc. Refer to LDC Article 5 - OVERLAY ZONES AND SPECIAL AREAS.			

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Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Erik Kramer	05/29/2026	05/29/2026	Requires Re-submit
<i>Corrections</i>	<p>2.12.24 - Landscape requirements/6.8.6 - Buffering (Not Resolved) - Corrective Action: (1) A 15' C-Type buffer is required to the adjacent railroad ROW. Applicant currently labels it as a D-Type. Existing vegetation may be used as determined by the County's landscape review. Any gaps would need to be filled in.</p> <p>(2) A 15' D-Type buffer with a wall is required to the adjacent A-1 zoned property. Staff recognizes the applicant's note that a waiver to buffer wall requirement will be sought. Only trees located on the subject property can count toward buffer planting requirements. Consider reaching out to OCE property management about the possibility of abrogating the unpaved portion of ROW between the subject property and B-4/A-1 property owned by FABRICATORE ALEXANDER. Abrogating could provide the subject property with additional existing trees to count towards buffer requirements and provide more buffer trees to meet the intent of buffer wall screening for the applicant's waiver. Waiver requests to buffer wall requirements will need final approval from the Board of County Commissioners. Applicant will need to demonstrate alternative buffering that meets the intent of the wall (visual obstruction, sound barrier). Vegetation located off-site from the subject property will not count towards meeting the intent of the buffer wall. A tree survey demonstrating which trees are located on the subject property and which are located off-site (within ~10-20 feet) will be critical. - 2.12.24 - Landscape requirements/6.8.6 - Buffering: Show buffer types, locations, and dimensions of required buffering on plan. Show buffer descriptions and illustrations of each proposed buffer (including longitudinal and transverse cross-sections)</p>			
<i>Corrections</i>	<p>4.4 - Show proposed signs to meet LDC Sec 4.4 (Not Resolved) - Corrective Action: Label sign setback from front property line. - 4.4 - Show proposed signs to meet LDC Sec 4.4: If sign(s) is proposed on site, show proposed sign's location and design. The signs shall comply with LDC Sec. 4.4. A master sign plan and/or permit may be required.</p>			
<i>Corrections</i>	<p>2.12.27 - Location & screening of outside storage (Not Resolved) - Corrective Action: Indicate if there will be an outdoor storage area for items/equipment/goods other than the model homes for sale. If there is, show the location with dimensions and demonstrate compliance with Sec. 4.2.21.D.(2)(a). - 2.12.27 - Location & screening of outside storage: Provide a statement indicating any outside storage area is proposed. If applicable, show location of outside storage areas on plan. Check special requirements under zoning code sections.</p>			
<i>Corrections</i>	<p>2.12.19 - Dimension & location of site improvement (Not Resolved) - Corrective Action: Label dimensions of porch. - 2.12.19 - Dimension & location of site improvement: Provide dimensions and location of all existing site improvements; dimensions and location for all proposed site improvements.</p>			
<i>Corrections</i>	<p>2.12 - Waivers (Requested & Approved) (Not Resolved) - Corrective Action: Applicant indicated that a buffer waiver will be requested. This is a courtesy correction that will be resolved in second round review. Be sure to add any approved waivers to the cover sheet with code section being waived, description of waiver request, date of approval, and waiver plan reference number. - 2.12 - Waivers (Requested & Approved): List of all requested and approved waivers, conditions, and the date of approval.</p>			
<i>Corrections</i>	<p>2.12 - Site coverage (Not Resolved) - Corrective Action: Staff could not locate a site coverage breakdown on the cover, geometry, or drainage sheets. Provide a breakdown and specify which sheet the breakdown is located. Include modular home pads as impervious surface. - 2.12 - Site coverage: Provide list of site coverage in square footage, acreage, and percentage. Including existing and proposed building coverage by intended use with gross floor area, leasable/interior area, existing and proposed gross impervious area.</p>			
<i>Comments</i>	<p>If you have any questions or concerns regarding this Growth Services review, please contact me at erik.kramer@marionfl.org or 352-438-2604</p>			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	05/29/2026	05/29/2026	Requires Re-submit
<i>Comments</i>	<p>1. Please clarify the status of trees not in a clouded area, will they remain or be removed? 2. Any trees over 30" DBH should be assessed for condition to determine mitigation requirements. Please submit signed and sealed Landscape, irrigation and photometric plans for review</p>			
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	05/29/2026	05/28/2026	Approved

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OCE Property Management (Plans) (Office of the County Engineer)	Delenie Roman	05/29/2026	05/29/2026	Requires Re-submit
<p><i>Comments</i></p> <p>Map -- Good/Sunbiz checked. Property Owner certification does not match property appraiser's information. Please update Owner's Certification or in the alternative show new ownership documentation/Provide documentation of owner authorization. Please ensure that signer's authority documents are uploaded at time of correction.</p> <p>IF APPLICABLE: Sec. 2.18.1.I - Show connections to other phases. Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc. Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public." Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]." Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate: 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities." 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]." - DR 5/29/26</p>				
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	05/29/2026	05/18/2026	Requires Re-submit
<i>Corrections</i>	7.1.3.B. - Drainage Construction Specifications (Not Resolved) - Info: Alternative pipe material request is being processed. Proposed plans identify all pipes as RCP. Is the intent behind the request to give the contractor the option to use HDPE & PP?			
<i>Corrections</i>	6.13.4.D - Recovery Analysis (Not Resolved) - See Comment under "6.13.2.B(4) <input type="checkbox"/> Hydrologic Analysis"			
<i>Corrections</i>	Additional Stormwater comments (Not Resolved) - (1) Please provide a copy of the NPDES permit or NOI as well as the district permit prior to construction. (2) If you have questions or would like to discuss the stormwater review comments, please contact Alexander Turnipseed at (352) 671-8376 or at alexander.turnipseed@marionfl.org.			
<i>Corrections</i>	6.13.2.B(4) - Hydrologic Analysis (Not Resolved) - None of the Kv values in the geotech report exceed 3.6. Why is 7 fpd being used in the calculations?			
<i>Corrections</i>	6.13.12 - Operation and Maintenance (Not Resolved) - 6.13.12 - Operation and Maintenance: Provide an O&M manual detailing the steps for operating and maintaining the proposed private system of DRAs, pipes, inlets, swales, etc. Manual shall be signed by Owner and owner's certification statement shall be on the manual. Owner's certification statement: "I hereby certify that I, my successors, and assigns shall perpetually operate and maintain the stormwater management and associated elements in accordance with the specifications shown herein and on the approved plan".			
<i>Corrections</i>	6.13.4 - Stormwater Quantity Criteria (Not Resolved) - See Comment under "6.13.2.B(4) <input type="checkbox"/> Hydrologic Analysis"			
<i>Corrections</i>	6.13.2.B(6) - Freeboard (Not Resolved) - See Comment under "6.13.2.B(4) <input type="checkbox"/> Hydrologic Analysis"			
<i>Corrections</i>	Final signed and sealed hard copy signature page (Not Resolved) - After all stormwater comments are resolved, please upload a scanned copy of the digitally signed and sealed certification page of the stormwater report. Alternatively, a hard copy can be submitted. If you choose to submit a hard copy, you only need to submit the certification page of the report. A full report is not necessary. However, full reports are accepted if desired.			
<i>Corrections</i>	6.13.2.B(8) - Calculation & Plan Consistency (Not Resolved) - Info: This item will be reviewed upon resubmittal			
<i>Corrections</i>	6.13.6 - Stormwater Quality Criteria (Not Resolved) - See Comment under "6.13.2.B(4) <input type="checkbox"/> Hydrologic Analysis"			
<i>Corrections</i>	6.13.4.C - Discharge Conditions (Not Resolved) - See Comment under "6.13.2.B(4) <input type="checkbox"/> Hydrologic Analysis"			
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	05/29/2026	05/28/2026	Approved

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OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	05/29/2026	05/17/2026	Requires Re-submit
<i>Corrections</i>	6.12.12 - Sidewalks (Not Resolved) - Corrective Action: Sidewalk is required along US 441. Staff supports payment of a fee in-lieu of sidewalk construction. The Development Review Committee must approve the payment of a fee through the waiver process. If approved by the DRC, the fee comes out to \$19,337.50 and must be paid prior to plan approval - 6.12.12 - Sidewalks: Show sidewalk on the plans as required in section 6.12.12.			
<i>Corrections</i>	6.11.5 - Driveway access (Not Resolved) - Corrective Action: The driveway does not meet spacing requirements. Staff will support a deviation to the spacing requirements subject to either locating the driveway half-way between the two existing driveways on the neighboring properties or providing verification from FDOT that they are willing to issue a permit for the driveway in the location as proposed. - 6.11.5 - Driveway access: The driveways must meet the requirements of section 6.11.5.			
<i>Corrections</i>	6.11.4.B - Cross access (Not Resolved) - Corrective Action: 1. Provide the executed cross access easement. The easement template can be obtained by contacting the Development Review Office at 352-671-8686 or developmentreview@marionfl.org. The executed easement and recording fees must be provided to the Development Review Office prior to plan approval. 2. The easement is required to be paved. Staff supports a deviation from the paving requirement subject to providing a paving covenant. The covenant template can be obtained from the Development Review Office and the executed covenant and recording fees must be provided to the Development Review Office prior to plan approval. - 6.11.4.B - Cross access: Provide a 24' wide paved cross access easement as specified in 6.11.4.B			
Utilities (OCE Plans) (Utilities)	Heather Proctor	05/29/2026	05/27/2026	Requires Re-submit
<i>Corrections</i>	Parcel numbers match project area (Resolved) - Correct parcel number and project area			
<i>Corrections</i>	MCU Contact Info on Project Cover Sheet (Not Resolved) - Corrective Action: Confirm with the City of Belleview that the contact information on the cover sheet is correct for their department.			
<i>Corrections</i>	6.14.2.A(1) - Letter from utility provider (Not Resolved) - Corrective Action: Parcel is within the City of Belleview Service Area. A letter from the City of Belleview stating service availability and connection requirements shall be submitted prior to building permit issuance. Insure the City of Belleview has seen and approved utility connections, as they are not part of MCU's review process. - 6.14.2.A(1) - Letter from utility provider: Letter of availability and capacity from service area's utility provider, including map of water and sewer mains with distances shown to determine if connection is required.			
<i>Comments</i>	The project is located within the City of Belleview utility service area. A letter from the utility provider stating that utility service availability and capacity exist, and confirming that the plans have been reviewed, is required before Marion County Utilities can approve the plans.			

eREVIEW SESSION FILES:

- 1- AerialMap.pdf
- 2- QuadMap.pdf
- 3- NWImap.pdf
- 4- FEMAMap.pdf
- 441 Modular Home Dealership 2026.05.12.pdf
- 5- SoilsMap.pdf
- Deed.pdf
- EcologicalAssessmentReport_M&A_2026-02-04.pdf
- Geological Assessment Report - Karst_26-11029.01.1.pdf
- Geotechnical Assessment Report_26-11029.01.2.pdf
- LeaseToOwnWithOption.pdf
- Master Utility Report_SS-RQ.pdf
- MC Submittal Letter _ Major Site Plan.pdf
- MCPA Property Record Card.pdf
- PropertyOfferLetter.pdf
- Stormwater Management Report_SS-RQ_2026-04-24.pdf
- Sunbiz - J&J Homes and Services, Inc.pdf
- Sunbiz - Solarium Properties, LLC.pdf
- Survey_441ModularHomeDealership_2026-03-25.pdf
- Use of Optional Pipe Material Request letter.pdf

REVIEWER	MARKUP	DATE/TIME	FILE NAME	PG #
Chris Zeigler	801'-6"	05/17/2026 9:37	PM441 Modular Home Dealership 2026.05.12.pdf	4
Janet W	Official 911 designation is S US HWY 441 (quadrant of "S" is missing.	05/18/2026 11:39	AM441 Modular Home Dealership 2026.05.12.pdf	23
Alexander	None of the borings show a Kv higher than 3.6	05/18/2026 1:13	PMStormwater Management Report_SS-RQ_2026-04-24.pdf	26
Janet W	Should be S US HWY 441	05/20/2026 9:57	AM1- AerialMap.pdf	1
Janet W	Should be SE 92nd Place Rd	05/20/2026 9:59	AM1- AerialMap.pdf	1



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 6/9/2026 Parcel Number(s): 36943-000-00 Permit Number: MajorSite-000762-2026

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: 441 Modular Home Dealership Commercial Residential
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): J & J HOMES AND SERVICES, INC.
Signature: _____
Mailing Address: 6330 OLD KINGS RD NORTH City: Jacksonville
State: FL Zip Code: 32254 Phone # (904) 475-2982
Email address: j.jhomesandservices@gmail.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Tillman & Associates Engineering, LLC Contact Name: Robert Quinney, P.E.
Mailing Address: 1720 SE 16th Ave., Bldg 100 City: Ocala
State: FL Zip Code: 34471 Phone # (352) 387-4540
Email address: permits@tillmaneng.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 2.18.4.C - Construction, completion, and close out
Reason/Justification for Request (be specific): Request to commence construction prior to plan approval and approve early site work permit (earthwork only) at the Developer's risk. All existing permitted trees to be preserved until tree preservation plan approval.

DEVELOPMENT REVIEW USE:

Received By: _____ Date Processed: _____ Project # _____ AR # _____

ZONING USE: Parcel of record: Yes No Eligible to apply for Family Division: Yes No
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes No
Date Reviewed: _____ Verified by (print & initial): _____

CLEAR FORM

Revised 6/2021

Empowering Marion for Success

marionfl.org

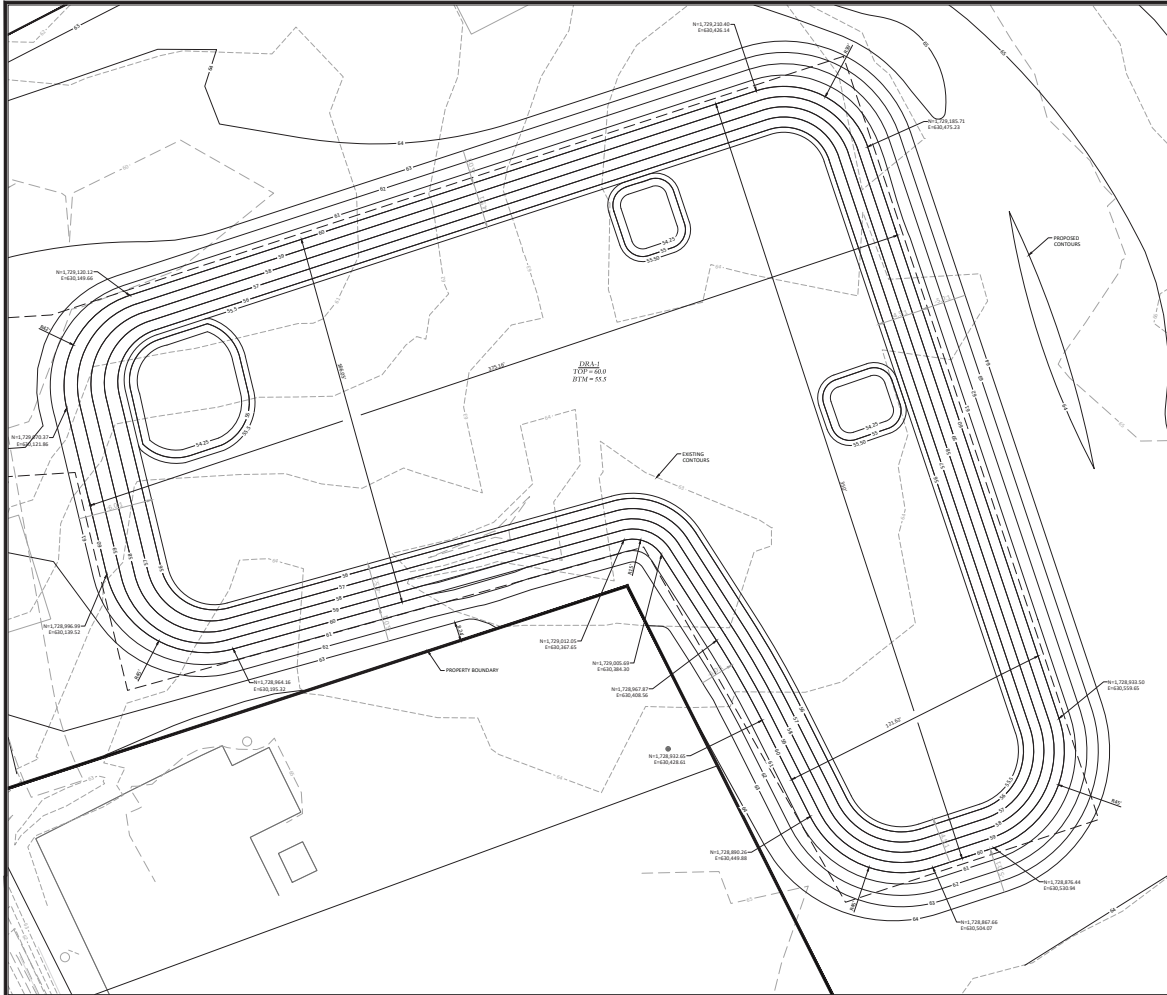


McMurry & Associates
ENGINEERING, LLC
 1720 SE 8th Ave Bldg 10A, Ocala, FL 34971
 OFFICE (352) 387-1590 Fax (352) 387-1595

DATE: 04/2/2009
DESIGNED BY: [Signature]
CHECKED BY: [Signature]
FOR NO.: [Signature]

DATE: 06.01

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



MARION COUNTY APPROVAL STAMP

0' 20' 40'

SCALE IN FEET
1" = 20'

NOTES

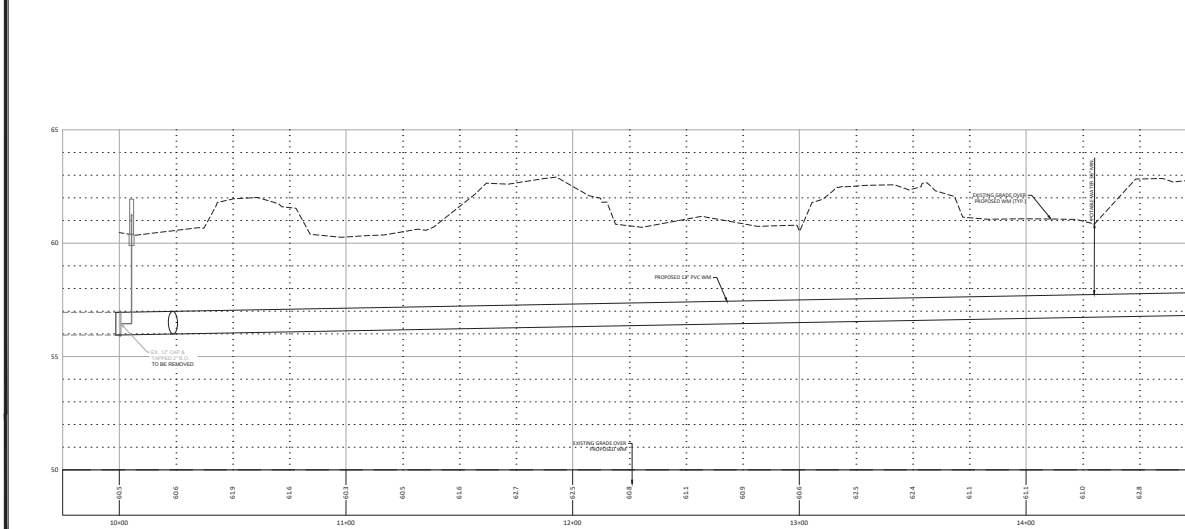
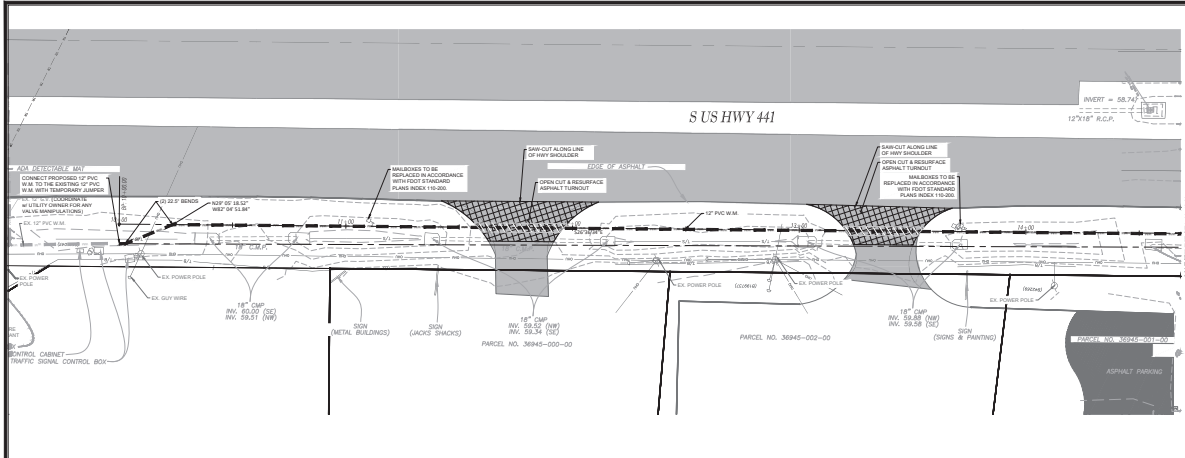
1. SEE PREPARATION SHALL BE IN ACCORDANCE WITH GEOTECHNICAL SITE EVALUATION REPORT PROJECT NO. 2013-001. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL RECORDS AND INFORMATION RE RECOMMENDED CONSTRUCTION SPECIFICATIONS.
2. OWNER SHALL RETAIN SERVICES OF FLORIDA LICENSED GEOTECHNICAL ENGINEER TO OBTAIN SITE CONSTRUCTION AND FURNISH TESTING DURING CONSTRUCTION IN ACCORDANCE WITH MARION COUNTY L.O.S. AND REPORT FROM #1 ABOVE.
3. ONLY USE LOW IMPACT TRACKED EQUIPMENT TO CONSTRUCT SIX (6) INCH DRAINAGE DRAINS.
4. SEE DRAINAGE DETAILS PLANS FOR ADDITIONAL SITE PREP DETAILS.
5. PRIOR TO BLACK FINAL STABILIZATION OF PROPOSED DRAINAGE BOTTOM BOTTOM AREA SHALL BE SHOWN.

Thomas & Associates
ENGINEERING, LLC

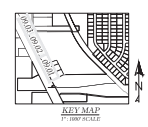
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 18th Ave, Room 100, Ocala, FL 34971
Office: (352) 387-4694 Fax: (352) 387-4695

DATE: 07/20/2024	DRAWN BY: [Redacted]
CHECK BY: [Redacted]	DATE: 07/20/24
PROJECT: [Redacted]	
SHEET: 07.01	

DRAINAGE DETAILS



- NOTE**
1. NOT SHALL BE IN ACCORDANCE WITH FOOT INDS 103-603, 103-603 AS WELL AS 103-603 IF ANY WORK OR STAGING WITHIN THE TRAVEL WAY.
 2. CONTRACTOR TO RESTORE DISTURBED AREA WITHIN THE ROW AND ON PRIVATE PROPERTY TO A CONDITION EQUAL TO OR BETTER THAN THAT OF THE PRE-DEVELOPMENT CONDITION. SOO ALL DISTURBED AREAS WITHIN ROW. OBTAIN FOOT APPROVAL FOR APPROPRIATE SPECIES OF SOO.
 3. CONTRACTOR SHALL COORDINATE ALL UTILITY LOCATES AND UTILITY RELOCATIONS NECESSARY FOR WATER MAIN INSTALLATIONS, DIAL #11 BEFORE DIGGING.
 4. SEE SHEET 04-01 GEOMETRY PLAN AND 06-01 GRADING AND DRAINAGE PLAN FOR FURTHER DETAILS.
 5. CONTRACTOR TO CONTRACT UNDER AND IN THE VICINITY OF BURIED FOC AND LOT. CONTRACTOR TO COORDINATE WITH FOC/LOT UTILITY INSPECTION TEAM ON THE SAFE HANDLING OF THESE BURIED UTILITIES. ANY DAMAGE TO FOC OR LOT SHALL BE AT CONTRACTOR COST AND REPAIRS SHALL BE MADE IMMEDIATELY WITH CONTRACTOR WORKING ON A 24 HOUR DUE SCHEDULE UNTIL REPAIRS ARE COMPLETED.
 6. CONTRACTOR TO CONTRACT UNDER OVERHEAD ELECTRICAL. CONTRACTOR TO TAKE NECESSARY SAFETY PRECAUTIONS IN AREA OF ELECTRICAL. CONTRACTOR TO MEET WITH DUKE ENERGY BEFORE CONSTRUCTION COMMENCES TO DETERMINE SAFETY PRECAUTIONS, COORDINATION, AND ACTION PLAN FOR ALL LOCATIONS THAT DO NOT MEET CLEARANCE PER DUKE SPECIFICATION 96-03-007 GUIDELINES FOR THIRD PARTY EXCAVATION AND TRENCHING BESIDE DISTRIBUTION POWER POLES.
 7. CONTRACTOR TO CONTRACT ACROSS EXISTING DRIVEWAY AT ONE TIME. CONTRACTOR WILL IMMEDIATELY PROCEED WITH RESTORATION TO A DRIVABLE SURFACE FOLLOWING INSTALLATION OF THE WATERLINE. NO HOLE SHALL BE LEFT OPEN. CONTRACTOR SHALL RESTORE DRIVEWAY TO THE EDGE OF ROAD IF PERFORMING OPEN CUT TRENCHING.
 8. CONTRACTOR TO DETERMINE EXACT AREA REQUIRED FOR STAGING. COORDINATION FOR STAGING ACCESS IS CONTRACTOR'S RESPONSIBILITY. RESTORATION OF ALL STAGING AREA INSIDE AND OUTSIDE OF RIGHT-OF-WAY TO EXISTING OR BETTER CONDITIONS IS REQUIRED.



Thomas & Associates
ENGINEERING, LLC
1720 SE 16th Ave, Room 104, Ocala, FL 34471
Office: (352) 307-6969 Fax: (352) 307-6965

PROJECT NO.	DATE
DRAWING NO.	SCALE
SHEET NO.	DATE

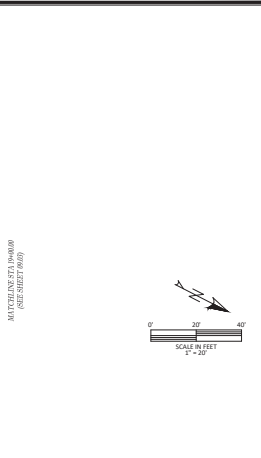
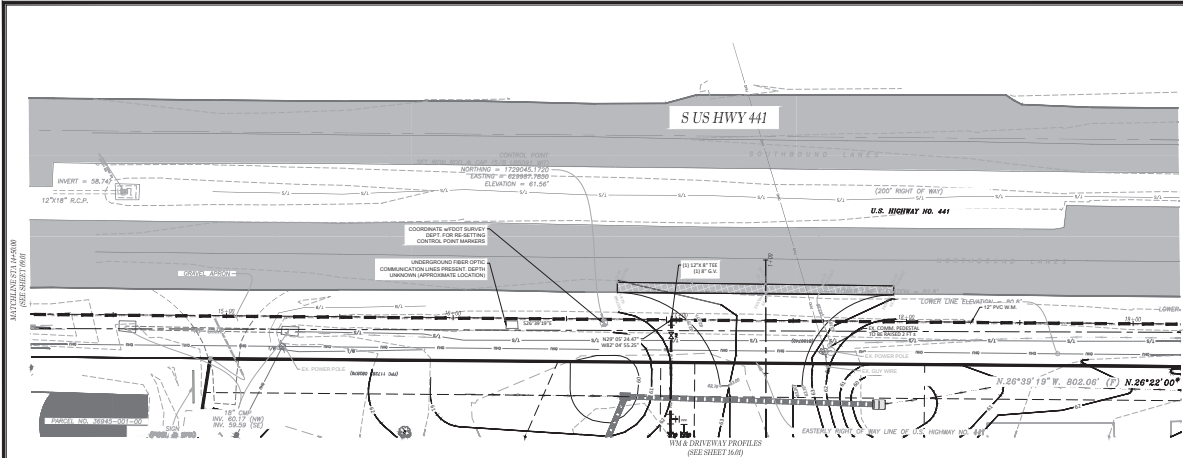
UTILITY PLAN & PROFILES

FOR REVIEW BY DUKE DEALERSHIP
MAJOR SITE PLAN
MARION COUNTY, FLORIDA

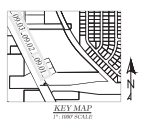
DATE: 01/12/26	DRAWN BY: RJD	CHECKED BY: RJD
DATE: 01/12/26	DATE: 01/12/26	DATE: 01/12/26

SHEET: **09.01**

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



- NOTE**
1. NOT SHALL BE IN ACCORDANCE WITH FOOT INDEX 102-601, 102-602 AS WELL AS 102-603 IF ANY WORK OR STAGING WITHIN THE TRAVEL WAY.
 2. CONTRACTOR TO RESTORE DISTURBED AREAS WITHIN THE ROW AND ON PRIVATE PROPERTY TO A CONDITION EQUAL TO OR BETTER THAN THAT OF THE PRE DEVELOPMENT CONDITION. SOE ALL DISTURBED AREAS WITHIN ROW. OBTAIN FOOT APPROVAL FOR APPROPRIATE SPECIES OF SOE.
 3. CONTRACTOR SHALL COORDINATE ALL UTILITY LOCATES AND UTILITY RELOCATIONS NECESSARY FOR WATER MAIN INSTALLATIONS. DIAL #11 BEFORE DIGGING.
 4. SEE SHEET 04.01 GEOMETRY PLAN AND 06.01 GRADINGS AND DRAINAGE PLAN FOR FURTHER DETAILS.
 5. CONTRACTOR TO CONSTRUCT UNDER AND IN THE VICINITY OF BURIED FOC AND USE CONTRACTOR TO TAKE EVERY PRECAUTION TO SUPPORT AND NOT DAMAGE FOC OR USE. CONTRACTOR TO COORDINATE WITH FOC / USE UTILITY INSPECTION TEAM ON THE SAFE HANDLING OF THESE BURIED UTILITIES. ANY DAMAGE TO FOC OR USE SHALL BE AT CONTRACTOR COST AND REPAIRS SHALL BE MADE IMMEDIATELY WITH CONTRACTOR WORKING ON A 24 HR/7 DAY SCHEDULE UNTIL REPAIRS ARE COMPLETED.
 6. CONTRACTOR TO CONSTRUCT UNDER OVERHEAD ELECTRICAL CONTRACTOR TO TAKE NECESSARY SAFETY PRECAUTIONS IN AREA OF ELECTRICAL. CONTRACTOR TO MEET WITH DUKES ENERGY BEFORE CONSTRUCTION COMMENCES TO DETERMINE SAFETY PRECAUTIONS, COORDINATION, AND ACTION PLAN FOR ALL LOCATIONS THAT DO NOT MEET CLEARANCES PER DUKES SPECIFICATION 36.02-107 GUIDELINES FOR THIRD PARTY EXCAVATION AND TRENCHING BESIDE DISTRIBUTION POWER POLES.
 7. CONTRACTOR TO CONSTRUCT ACROSS EXISTING DRIVEWAY AT ONE TIME. CONTRACTOR WILL IMMEDIATELY PROCEED WITH RESTORATION TO A DRIVEABLE SURFACE FOLLOWING INSTALLATION OF THE WATERLINE. NO HOLE SHALL BE LEFT OPEN. CONTRACTOR SHALL RESTORE DRIVEWAY TO THE EDGE OF ROAD IF PERFORMING OPEN CUT TRENCHING.
 8. CONTRACTOR TO DETERMINE EXACT AREA REQUIRED FOR STAGING. COORDINATION FOR STAGING ACCESS IS CONTRACTOR'S RESPONSIBILITY. RESTORATION OF ALL STAGING AREA INSIDE AND OUTSIDE OF RIGHT-OF-WAY TO EXISTING OR BETTER CONDITIONS IS REQUIRED.



Thomas & Associates
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1720 SE 8th Ave, Room 104, Ocala, FL 34471
Office: (352) 381-6969 Fax: (352) 381-6965

PROVISIONS	
REVISIONS	
DATE	
BY	

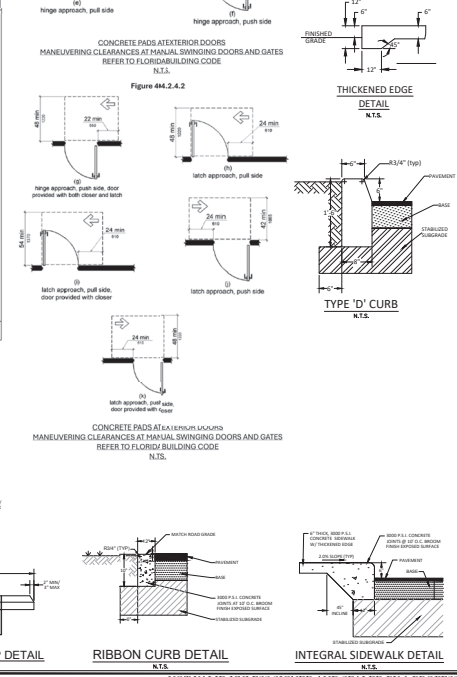
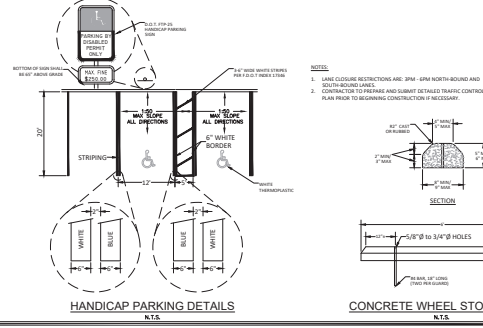
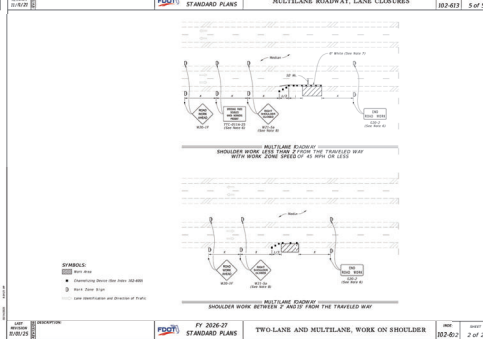
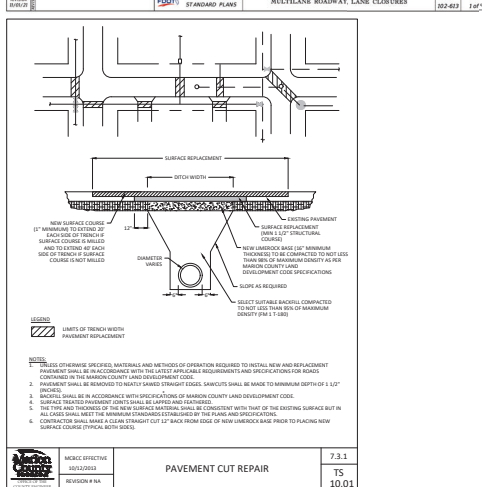
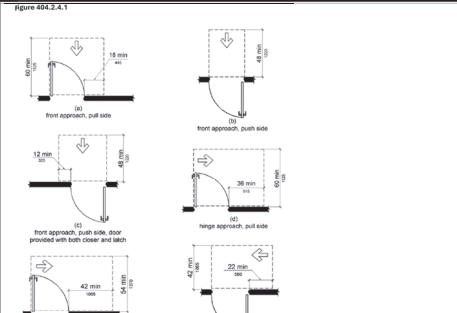
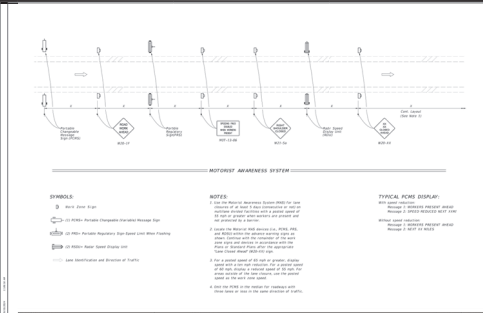
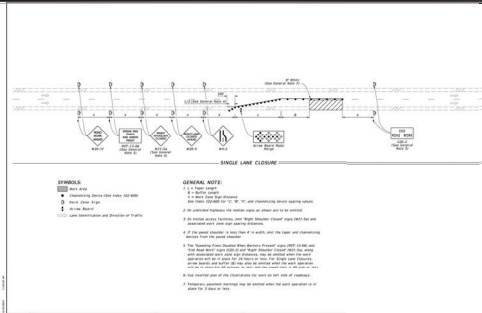
UTILITY PLAN & PROFILES

FOR REVIEW BY HOME DEPARTMENT
MADISON SITE PLAN
MADISON COUNTY, FLORIDA

DATE: 02/12/26
PREPARED BY: RJD
FOR NO. 26-0024

SHEET 09.02

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



THOMAS & Associates
ENGINEERING, LLC
1720 SE 16th Ave, Room 104, Ocala, FL 34471
Phone: (352) 381-6969 Fax: (352) 381-6965

PROFESSIONAL ENGINEER

STANDARD DETAILS

DATE: 02/20/24
DESIGNED BY: [Name]
CHECKED BY: [Name]
FOR NO.: 24-0024

10.01

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

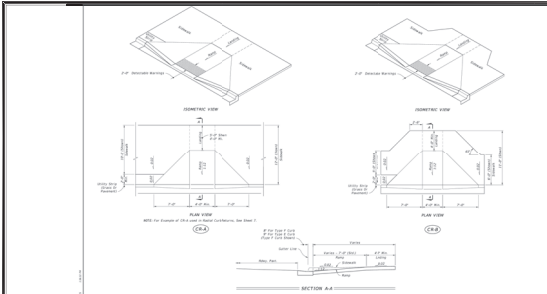


FIGURE 2036-27
STANDARD PLANS
DETECTABLE WARNINGS AND 3/8\"/>

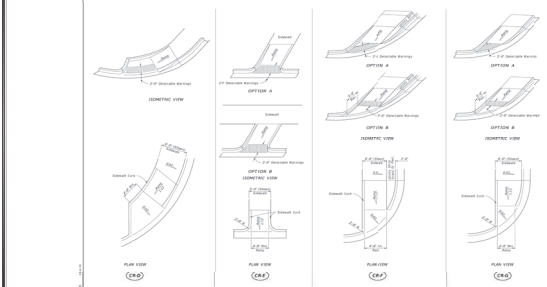


FIGURE 2036-27
STANDARD PLANS
DETECTABLE WARNINGS AND SIDEWALK CURB RAMP 4\"/>

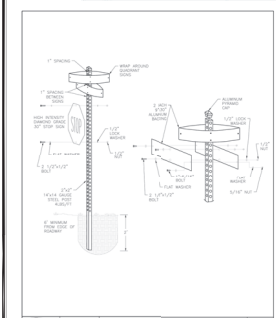


FIGURE 2036-27
STANDARD PLANS
COMBINED STREET NAME & STOP SIGN INSTALLATION 7.3.1 TS 03.1

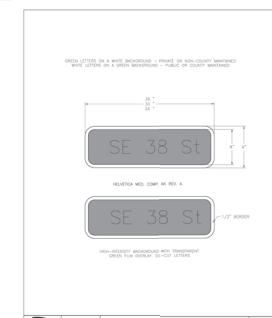


FIGURE 2036-27
STANDARD PLANS
STREET SIGN 7.3.1 TS 03.2



FIGURE 2036-27
STANDARD PLANS
SIGHT TRIANGLE 7.3.1 TS 03.8



FIGURE 2036-27
STANDARD PLANS
INTERSECTION SIGN AND STRIPING DETAIL 7.3.1 TS 03.5

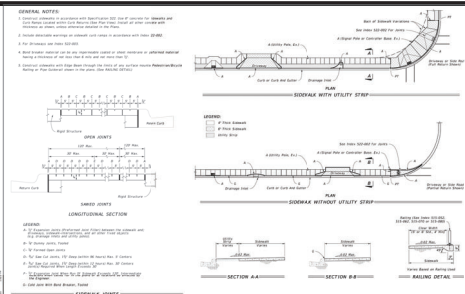


FIGURE 2036-27
STANDARD PLANS
CONCRETE SIDEWALK ON CURBED ROADWAYS 522-001 1 of 2

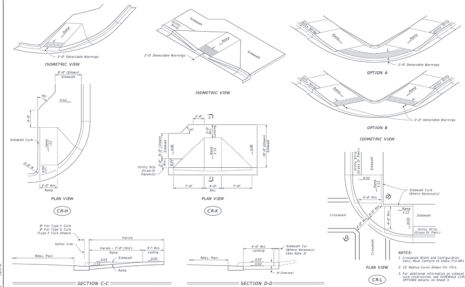


FIGURE 2036-27
STANDARD PLANS
DETECTABLE WARNINGS AND SIDEWALK CURB RAMP 522-001 5 of 7

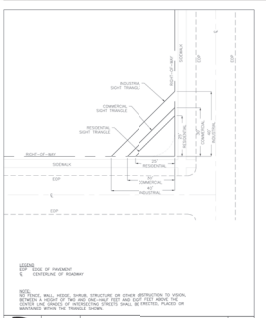


FIGURE 2036-27
STANDARD PLANS
PAVEMENT SECTION 522-001 1 of 2

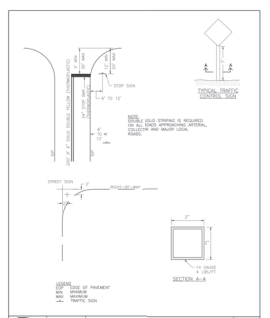


FIGURE 2036-27
STANDARD PLANS
FDOT SHOULDER SECTION 522-001 1 of 2

"ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE."

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1720 SE 86th AVE, SUITE 100, OLVEN, FL 32071
OFFICE: (321) 338-4500 FAX: (321) 338-7595

REVISIONS	
NO.	DATE

FOR REVIEW BY THE DEALERSHIP
MAJOR SITE PLAN
MARION COUNTY, FLORIDA

DATE: 8/26/20
DRAWN BY: [Redacted]
CHECK BY: [Redacted]
JOB NO.: 22-0020

SCALE: 1/8" = 1'-0"
SHEET: 10.02

GENERAL NOTES:

1. All dimensions are in feet and inches.
2. All materials shall be as specified in the Schedule of Materials.
3. All materials shall be of standard weight and grade.
4. All materials shall be of standard weight and grade.
5. All materials shall be of standard weight and grade.
6. All materials shall be of standard weight and grade.
7. All materials shall be of standard weight and grade.
8. All materials shall be of standard weight and grade.
9. All materials shall be of standard weight and grade.
10. All materials shall be of standard weight and grade.

TABLE OF CONTENTS:

SECTION	DESCRIPTION	DATE	BY	CHKD.
PP-208-27	STANDARD PLANS	4/23/26	CHAD B.	CHAD B.
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THOMAS & Associates
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 Office: (352) 387-6560 Fax: (352) 387-4595

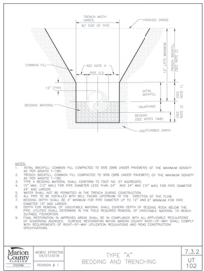
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441 MODULAR HOME DEALERSHIP
 MARION COUNTY, FLORIDA

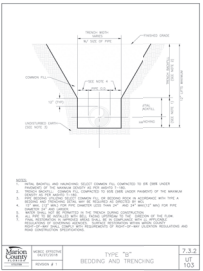
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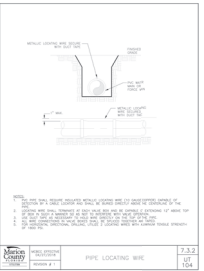
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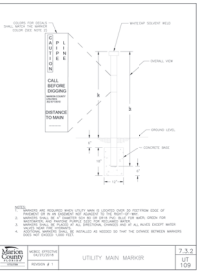
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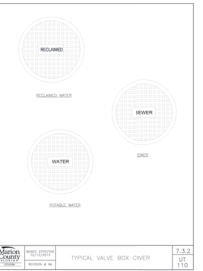
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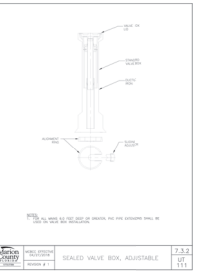
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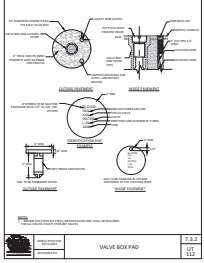
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 UTILITY MAN MARKER



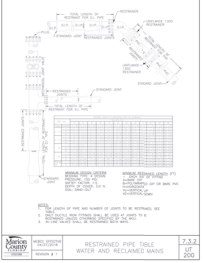
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 TYPICAL VALVE BOX COVER



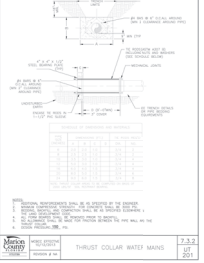
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 SCALED VALVE BOX, ADJUSTABLE



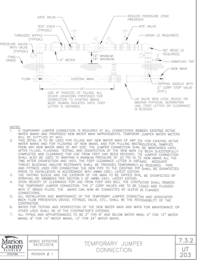
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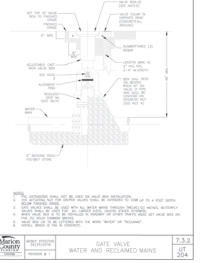
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 RESTRAINED PIPE TABLE
 WATER AND RECLAIMED MAINS



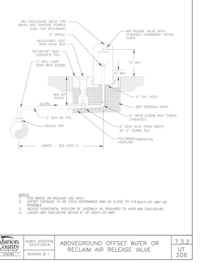
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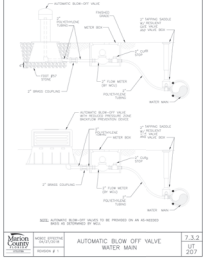
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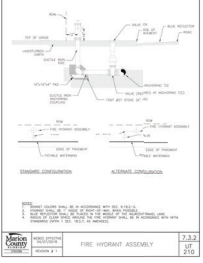
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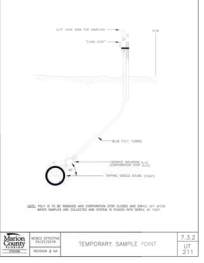
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 RECLAIM AIR RELEASE VALVE



7.3.2
 119
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7.3.2
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7.3.2
 121
 TEMPORARY SAMPLE POINT

Thomas & Associates
 ENGINEERING, LLC
 CIVIL ENGINEERING • PLANNING • LANDSCAPE ARCHITECTURE • ENVIRONMENTAL
 1720 DE SOTO AVE. SUITE 100, Ocala, FL 34471
 PHONE: (352) 381-4060 FAX: (352) 381-4065

REVISIONS	
NO.	DATE

FOR MAJOR OR HOME DEALERSHIP
 MARION COUNTY, FLORIDA
POTABLE WATER
 DISTRIBUTION DETAILS

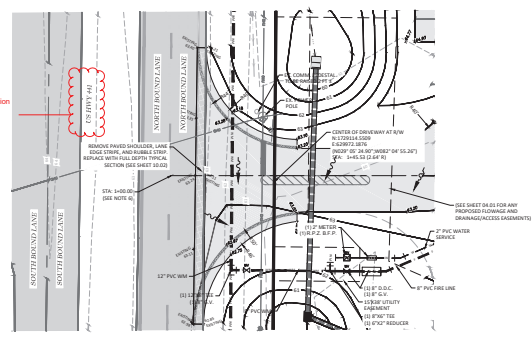
DATE: 12/2/26
 DRAWN BY:
 CHECK BY:
 FOR NO.: 22-0024

SHEET 12.01

WATER LEGEND		STORM LEGEND	
	WATER MAIN		STORM PIPE
	FIRE HYDRANT ASSEMBLY (FHA)		STORM STRUCTURE (S)
	TIE		GRATE INLET
	BANDS		TIE-IN INLET
	GATE VALVE & BOX		



Official 911 designation is S US HWY 441 (east of 'S' is missing)

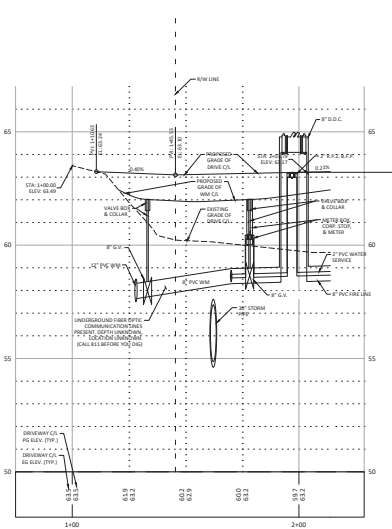


MARRON COUNTY APPROVAL STAMP

Wagner & Associates
ENGINEERING, LLC
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - SURVEILLING
1726 SE 18TH AVE, SUITE 100, OAKLAND, FL 32071
904.833.4444
WWW.WAGNERANDASSOCIATES.COM

NOTES:

- SEE SHEETS 16.01 GEOMETRY PLAN AND 16.02 DRAINAGE AND DRAINAGE PLAN FOR FURTHER DETAILS.
- RIGHT DISTANCE AT DRIVEWAY COMPLETES WITH FOOT REQUIREMENTS.
- MANHOLE TO BE RELOCATED TO OVERSEE SIDEWALK AND TREE IN PLACE OF SIDEWALK CONSTRUCTION.
- MANHOLE SHALL BE IN ACCORDANCE WITH FOOT TRENCH 100-400, 100-600, 100-800 FOR CONNECTION TO SHOWN MANHOLE.
- PAVEMENT MARKING SHALL BE THERMOPLASTIC.
- CONTRACTOR TO VERIFY EXISTING AND NOT BASED ON ANYTHING EXCEPT THE CENTERLINE OF THIS PROJECT'S DRIVEWAY.
- CONTRACTOR TO CONSTRUCT UNDER AND AROUND THE EXISTING 8" D.I.C. AND L.C. CONTRACTOR TO TAKE EXISTING PRECAUTION TO SUPPORT AND NOT DAMAGE EXISTING OR NEW CONTRACTOR TO COORDINATE WITH FIC (SEE EXISTING SECTION TIE ON THE DATE HANDING OF THESE BURRED UTILITIES. ANY DAMAGE TO EXISTING OR NEW SHALL BE AT CONTRACTOR'S RISK AND REPAIRS SHALL BE MADE IMMEDIATELY WITH CONTRACTOR'S RESPONSIBILITY ON A JUNE / JUNE SCHEDULE WITH A REPAIR DATE.
- CONTRACTOR TO CONSTRUCT UNDER OVERHEAD ELECTRICAL CONTRACTOR TO TAKE NECESSARY SAFETY PRECAUTIONS IN AREA OF ELECTRICAL CONTRACTOR TO MEET WITH THE OWNER BEFORE CONSTRUCTION COMMENCES TO FORM SAFETY PRECAUTIONS, COORDINATION, AND ACTION PLAN FOR ALL LOCATIONS THAT DO NOT MEET CLEARANCE PER DATE SPECIFICATION AS SET FORTH BY THESE PARTY EXCAVATION AND TRENCHING SHALL BE DISTRIBUTION FOR POWER LINE.
- CONTRACTOR SHALL IMMEDIATELY PROCEED WITH RESTORATION TO A DRAINABLE DRAINAGE INCLUDING INSTALLATION OF THE WATERLINE AND SHALL BE LEFT OPEN TO THE PUBLIC FOR THE FULL 24 HOURS AFTER THE DATE OF COMPLETION OF PERFORMING OPEN CUT TRENCHING.
- CONTRACTOR SHALL AT ALL TIMES MAINTAIN ACCESS TO ALL UTILITIES. COORDINATION FOR STAGING ACCESS IS CONTRACTOR'S RESPONSIBILITY. RESTORATION OF ALL EXCAVATION AREAS AND CLOSURE OF ROAD OR HIGHWAY TO TRAFFIC ON SITE IS CONTRACTOR'S RESPONSIBILITY.



REVISION	
DATE	

PLANNING & ENGINEERING
MARRON COUNTY, FLORIDA
DRIVEWAY PLAN & PROFILE

DATE: 6/12/2020
DRAWN BY: [Signature]
CHECKED BY: [Signature]
JOB NO.: 16.01.05

SHEET 16.01

