



SUBMITTAL SUMMARY REPORT 33139

PLAN NAME: THE HOME DEPOT - OCALA SOUTH

LOCATION:

APPLICATION DATE: 07/25/2025

PARCEL:

DESCRIPTION:

CONTACTS	NAME	COMPANY
Applicant	Kimley Horn	KIMLEY-HORN AND ASSOCIATES, INC
Applicant	Kimley Horn	KIMLEY-HORN AND ASSOCIATES, INC
Engineer of Record	Kimley Horn	KIMLEY-HORN AND ASSOCIATES, INC
Engineer of Record	Kimley Horn	KIMLEY-HORN AND ASSOCIATES, INC

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.4	04/30/2026	05/07/2026	05/13/2026	Approved
OCE: Plan Review (DR) v.3	02/26/2026	03/05/2026	03/30/2026	Requires Re-submit
OCE: Plan Review (DR) v.2	01/13/2026	01/21/2026	01/29/2026	Requires Re-submit
OCE: Plan Review (DR) v.1	08/19/2025	09/02/2025	11/13/2025	Requires Re-submit

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.4				
ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Kristie Wright	05/07/2026	05/05/2026	Approved
<i>Corrections</i>	Additional 911 Comments (Resolved) - Sheet C-000 of the Civil Plans still have SW 99th Street Rd listed as SW 99th Street at the top of the sheet.			
Environmental Health (Plans) (Environmental Health)	Evan Searcy	05/07/2026	05/07/2026	Approved
Fire Marshal (Plans) (Fire)	Anthony Marino	05/07/2026	04/30/2026	Approved
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Kenneth Odom	05/07/2026	05/06/2026	Approved
<i>Corrections</i>	2.12.27 - Location & screening of outside storage (Resolved) - 2.12.27 - Location & screening of outside storage: Provide a statement indicating any outside storage area is proposed. If applicable, show location of outside storage areas on plan. Check special requirements under zoning code sections.			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	05/07/2026	05/01/2026	Approved
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	05/07/2026	05/04/2026	Approved

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ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)	Delenie Roman	05/07/2026	05/08/2026	Informational
<i>Comments</i>	<p>Checked map/Sunbiz. IF APPLICABLE: Sec. 2.18.1.1 - Show connections to other phases. Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc. Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public." Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]." Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate: 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities." 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]." - DR 5/8/26</p>			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Kevin Vickers	05/07/2026	05/11/2026	Approved
<i>Corrections</i>	6.13.4.C - Discharge Conditions (Resolved) - 6.13.4.C - Discharge Conditions: All stormwater facilities shall be designed to limit discharges considering open or closed basins per Table 6.13-1. A discharge structure shall be required for all retention/detention areas not designed to retain the entire 100-year 24-hour post-development design storm. Discharge structures shall include a skimmer at a minimum.			
<i>Corrections</i>	6.13.4 - Stormwater Quantity Criteria (Resolved) - 6.13.4 - Stormwater Quantity Criteria: Methodologies, rainfall distribution and intensities shall be consistent with those approved by the governing water management district. Assumed parameters must be supported by conventional methods. Design storms shall consider open or closed basins as provided in Table 6.13-1.			
<i>Corrections</i>	6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations (Resolved) - 6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations: Calculations shall minimally include: Runoff analysis that reflects the project basin soil type, area, and ground cover based on pre-conditions and post-conditions for ultimate development. Time of concentration and travel time analysis for hydrology and hydraulic systems.			
<i>Corrections</i>	6.13.4.D - Recovery Analysis (Resolved) - 6.13.4.D - Recovery Analysis: All retention/detention areas shall recover the total volume required to meet the discharge volume limitations within 14 days following the design rainfall event. For retention/detention areas not able to recover the total required volume within 14 days, the stormwater facility volume shall be increased to retain an additional volume from a second design storm.			
<i>Corrections</i>	6.13.2.B(6) - Freeboard (Resolved) - 6.13.2.B(6) - Freeboard: A minimum freeboard of six inches shall be provided for all retention/detention areas.			
<i>Corrections</i>	6.13.2 A(1)/(2) - Contributing Basins/Tc (Resolved) - 6.13.2 A(1)/(2) - Contributing Basins/Tc: Plan sheets shall minimally show: All pre-development and post-development basins that contribute runoff to the area proposed for development, including all off-site contributions, and areas that may be impacted by the development fully delineated and quantified. The time of concentration, and travel path, for each watershed shall be shown.			
<i>Corrections</i>	Final signed and sealed hard copy signature page (Resolved) - Final signed and sealed hard copy signature page: A hard copy of the final signed and sealed drainage report cover or complete drainage report shall be submitted to the Office of the County Engineer.			
<i>Corrections</i>	6.13.2.B(4) - Hydrologic Analysis (Resolved) - 6.13.2.B(4) - Hydrologic Analysis: Hydrologic stormwater model analysis including all input parameters, supporting calculations, assumptions, documentation for design and results.			
<i>Corrections</i>	6.13.2.B(5) - Hydraulic Analysis (Resolved) - 6.13.2.B(5) - Hydraulic Analysis: Hydraulic stormwater model analysis including all input parameters, supporting calculations, assumptions, documentation for design and results. Provide a sub-basin map for each sub-basin; label each sub-basin and provide total area as well as area of impervious coverage within each sub-basin.			
<i>Recommendations</i>	If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.			

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ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Kevin Vickers	05/07/2026	05/11/2026	Approved
<i>Recommendations</i>	2.12.9/10 <input type="checkbox"/> Existing Drainage Right of Way/Easements - Please ensure the drainage easements extending across the site are vacated as part of the development.			
<i>Recommendations</i>	2.12.9/10 <input type="checkbox"/> Proposed Drainage Right of Way/Easements - Please ensure that necessary drainage easements extending across the site are recorded as part of the development.			
<i>Recommendations</i>	Upon field review of the site conditions in the west commercial plaza site, there appears to be deferred maintenance in the DRAs. Several of the DRAs appear to have sediment that has raised the bottom of the DRAs enough to partially/fully block pipes that interconnect the DRAs. There appears to be a sinkhole in one of the DRAs and significant vegetation that could be influencing performance of the systems.			
<i>Recommendations</i>	6.13.10.B <input type="checkbox"/> Copy of NPDES Permit or NOI - Please provide a copy of the NPDES permit or NOI prior to construction.			
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	05/07/2026	05/06/2026	Approved
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	05/07/2026	04/30/2026	Approved
Utilities (OCE Plans) (Utilities)	Heather Proctor	05/07/2026	05/04/2026	Approved
<i>Comments</i>	Project is within the Bay Laurel Center Community Development District. A letter from the Utility provider has been added.			
<i>Corrections</i>	6.14.2.A(1) - Letter from utility provider (Resolved) - 6.14.2.A(1) - Parcel is within the Bay Laurel Center Community Development District Bay Laurel Center (BLCCDD) Service Area. A letter from BLCDD stating service availability and connection requirements shall be submitted prior to building permit issuance. Insure BLCDD has seen and approved utility connections, as they are not part of MCU's review process.			

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OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	03/05/2026	03/04/2026	Informational
<i>Comments</i>	Previous comments address. No further comments. -EMW 03.04.2026			
	IF APPLICABLE:			
	Sec. 2.18.1.I - Show connections to other phases.			
	Sec.2.19.2.H – Legal Documents			
	Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.			
	Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)			
	For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."			
	Sec. 6.3.1.B.2 – Required Right of Way Dedication			
	For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."			
	Sec. 6.3.1.D.3 - Cross Access Easements			
	For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."			
	Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)			
	"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."			
	Sec. 6.3.1.C.2 – Utility Easements			
	"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."			
	Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:			
	"[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."			
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OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Kevin Vickers	03/05/2026	03/30/2026	Requires Re-submit
<i>Corrections</i>	6.13.2 A(1)/(2) - Contributing Basins/Tc (Not Resolved) - 6.13.2 A(1)/(2) - Contributing Basins/Tc: Plan sheets shall minimally show: All pre-development and post-development basins that contribute runoff to the area proposed for development, including all off-site contributions, and areas that may be impacted by the development fully delineated and quantified. The time of concentration, and travel path, for each watershed shall be shown.			
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<i>Corrections</i>	6.13.4.C - Discharge Conditions (Not Resolved) - 6.13.4.C - Discharge Conditions: All stormwater facilities shall be designed to limit discharges considering open or closed basins per Table 6.13-1. A discharge structure shall be required for all retention/detention areas not designed to retain the entire 100-year 24-hour post-development design storm. Discharge structures shall include a skimmer at a minimum.			
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<i>Corrections</i>	Final signed and sealed hard copy signature page (Not Resolved) - Final signed and sealed hard copy signature page: A hard copy of the final signed and sealed drainage report cover or complete drainage report shall be submitted to the Office of the County Engineer.			
<i>Recommendations</i>	If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.			
<i>Recommendations</i>	Upon field review of the site conditions in the west commercial plaza site, there appears to be deferred maintenance in the DRAs. Several of the DRAs appear to have sediment that has raised the bottom of the DRAs enough to partially/fully block pipes that interconnect the DRAs. There appears to be a sinkhole in one of the DRAs and significant vegetation that could be influencing performance of the systems.			
<i>Recommendations</i>	6.13.10.B <input type="checkbox"/> Copy of NPDES Permit or NOI - Please provide a copy of the NPDES permit or NOI prior to construction.			
<i>Recommendations</i>	2.12.9/10 <input type="checkbox"/> Existing Drainage Right of Way/Easements - Please ensure the drainage easements extending across the site are vacated as part of the development.			
<i>Recommendations</i>	2.12.9/10 <input type="checkbox"/> Proposed Drainage Right of Way/Easements - Please ensure that necessary drainage easements extending across the site are recorded as part of the development.			
<i>Recommendations</i>	6.13.2.B(8) <input type="checkbox"/> Calculation & Plan Consistency - This criteria to be reviewed with resubmittal.			
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	03/05/2026	03/02/2026	Approved
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	03/05/2026	03/01/2026	Approved
Utilities (OCE Plans) (Utilities)	Heather Proctor	03/05/2026	03/02/2026	Approved
<i>Comments</i>	Project is within the Bay Laurel Center Community Development District. A letter from the Utility provider has been added.			
<i>Corrections</i>	6.14.2.A(1) - Letter from utility provider (Resolved) - 6.14.2.A(1) - Parcel is within the Bay Laurel Center Community Development District Bay Laurel Center (BLCCDD) Service Area. A letter from BLCDD stating service availability and connection requirements shall be submitted prior to building permit issuance. Insure BLCDD has seen and approved utility connections, as they are not part of MCU's review process.			

OCE: Plan Review (DR) v.2

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Janet Warbach	01/21/2026	01/13/2026	Requires Re-submit
<i>Corrections</i>	Additional 911 Comments (Not Resolved) - Sheet C-000 of the Civil Plans still have SW 99th Street Rd listed as SW 99th Street at the top of the sheet.			
Environmental Health (Plans) (Environmental Health)	Evan Searcy	01/21/2026	01/15/2026	Approved
Fire Marshal (Plans) (Fire)	Jonathan Kenning	01/21/2026	01/13/2026	Approved
<i>Comments</i>	Previously Approved			
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Kenneth Odom	01/21/2026	01/21/2026	Approved
<i>Corrections</i>	2.12 - Site coverage (Resolved) - 2.12 - Site coverage: Provide list of site coverage in square footage, acreage, and percentage. Including existing and proposed building coverage by intended use with gross floor area, leasable/interior area, existing and proposed gross impervious area.			
<i>Corrections</i>	2.12.5/1.8.2.A - Traffic Capacity Available (Resolved) - 2.12.5/1.8.2.A - Traffic Capacity Available?: The adjoining roadway(s) are currently identified as exceeding their acceptable Level of Service, as such they are not eligible for further development unless and until sufficient capacity is demonstrated to be available or alternative approaches for the proposed development are proposed for consideration and potential approval (e.g., proportionate share, etc.).			
<i>Corrections</i>	2.12.27 - Location & screening of outside storage (Resolved) - 2.12.27 - Location & screening of outside storage: Provide a statement indicating any outside storage area is proposed. If applicable, show location of outside storage areas on plan. Check special requirements under zoning code sections.			
<i>Corrections</i>	2.12 - Variances (Resolved) - 2.12 - Variances: List of approved Variance, case numbers, conditions, and the date of approval.			
<i>Corrections</i>	2.12 - Waivers (Requested & Approved) (Resolved) - 2.12 - Waivers (Requested & Approved): List of all requested and approved waivers, conditions, and the date of approval.			

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ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Kenneth Odom	01/21/2026	01/21/2026	Approved
<i>Corrections</i>	2.12.5/1.8.2.F - Concurrency Deferral Statement (Resolved) - 2.12.5/1.8.2.F - Concurrency Deferral Statement: Please provide a concurrency statement on the cover sheet according to LDC Sec. 1.8.2 (F) - Concurrency Deferral. An owner may elect to defer required concurrency review and approval for a development application identified in Section 1.8.2.A to a subsequent development application review stage by executing the following "Concurrency Deferral Statement" on the development application plan, or in a separate sworn and notarized affidavit, a copy of which shall be provided to Growth Services and the original shall be recorded in Marion County's Public Records, as applicable: "This project has not been granted concurrency approval and/or granted and/or reserved any public facility capacities. Future rights to develop the resulting property(ies) are subject to a deferred concurrency determination, and final approval to develop the property has not been obtained. The completion of concurrency review and/or approval has been deferred to later development review stages, such as, but not limited to, [list subsequent applications expected pursuant to Section 1.8.2.C as applicable]."			
<i>Corrections</i>	3.2.3 - NON-RESIDENTIAL - Complies with FAR (Resolved) - 3.2.3 - NON-RESIDENTIAL - Complies with FAR: For non-residential project, show maximum allowable Floor Area Ratio (FAR) and proposed FAR.			
<i>Corrections</i>	2.12 - Zoning Classification-subject property (Resolved) - 2.12 - Zoning Classification-subject property: Show existing zoning classification on the subject property.			
<i>Corrections</i>	2.12/2.12.21 - Open space and natural areas (Resolved) - 2.12/2.12.21 - Open space and natural areas: Provide list of open space and natural areas in square footage, acreage, and percentage. Including existing and proposed natural open space, improved open space, open water, wetland, and preserved natural areas. Also show them on the plan.			
<i>Corrections</i>	3.3.3 - Comply w Approved Hamlet Plan? (Resolved) - 3.3.3 - Comply w Approved Hamlet Plan?: For approved Hamlet Plan, provide required information on plan per LDC 3.3.3. See sub-checklist items.			
<i>Corrections</i>	2.12/4.2 - Lot setback (Resolved) - 2.12/4.2 - Lot setback: Provide required setback and proposed setback in the site data table and show them on the plan.			
<i>Corrections</i>	2.12.6 - Location of water and sewer (Resolved) - 2.12.6 - Location of water and sewer: Show location of septic systems and wells. Locations shall be outside setback and clearance.			
<i>Corrections</i>	2.12 - Owner and applicant name (Resolved) - 2.12 - Owner and applicant name: Show name, address, phone number, and signature of the owner and applicant on the cover sheet.			
<i>Corrections</i>	2.12 - Parcel number (Resolved) - 2.12 - Parcel number: Show parcel numbers on the cover sheet.			
<i>Corrections</i>	2.12 - Land Use Designation-adjacent properties (Resolved) - 2.12 - Land Use Designation-adjacent properties: Show existing land use designation on the adjacent properties.			
<i>Corrections</i>	4.4 - Show proposed signs to meet LDC Sec 4.4 (Resolved) - 4.4 - Show proposed signs to meet LDC Sec 4.4: If sign(s) is proposed on site, show proposed sign's location and design. The signs shall comply with LDC Sec. 4.4. A master sign plan and/or permit may be required.			
<i>Corrections</i>	2.12.4.L - DRI/FQD Compliance Note (Resolved) - 2.12.4.L - DRI/FQD Compliance Note?: Revise the plan to add the following advisory note: "DEVELOPMENT OF THE PROPERTY AS SHOWN ON THIS [SITE PLAN/SUBDIVISION PLAT] IS SUBJECT TO THE TERMS AND CONDITIONS OF THE [PROJECT NAME DRI/FQD] DEVELOPMENT ORDER, AS MAY BE AMENDED FROM TIME TO TIME, INCLUDING PROVISIONS REGARDING THE CONCURRENCY OF PUBLIC FACILITIES.			
<i>Corrections</i>	2.12 - Land Use Designation-subject property (Resolved) - 2.12 - Land Use Designation-subject property: Show existing land use designation the subject property.			
<i>Corrections</i>	2.12.4.L & Article 5 - Overlay zones (Resolved) - 2.12.4.L & Article 5 - Overlay zones: Provide a statement showing all applicable overlay zones on the subject properties such as Airport Overlay Zones (AOZ), Environmentally Sensitive Overlay Zone (ESOZ), Floodplain, Springs Protection Overlay Zone (SPOZ), Military Operating Area (MOA), Scenic Roads Area (SRA), Wellhead/Wellfield Protection Area (WHPA), Silver Springs Community Redevelopment Area (SSCRA), and CR 475A Visual Enhancement Gateway Development Overlay, etc. Refer to LDC Article 5 - OVERLAY ZONES AND SPECIAL AREAS.			
<i>Corrections</i>	2.12.10 - Easement or land reservation (Resolved) - 2.12.10 - Easement or land reservation: Show any known existing or proposed easement or land reservation			
<i>Corrections</i>	2.12.23 - Building lot typicals (Resolved) - 2.12.23 - Building lot typicals: Show building lot typicals (primary and accessory structures) in table format and illustration.			
<i>Corrections</i>	2.12.24 - Landscape requirements/6.8.6 - Buffering (Resolved) - 2.12.24 - Landscape requirements/6.8.6 - Buffering: Show buffer types, locations, and dimensions of required buffering on plan. Show buffer descriptions and illustrations of each proposed buffer (including longitudinal and transverse cross-sections)			
<i>Corrections</i>	2.12.20 - Phases of development (Resolved) - 2.12.20 - Phases of development: Show all phases of development on plan. Improvements must be in place to support each phase of development at time of phase completion.			
<i>Corrections</i>	2.12.19 - Dimension & location of site improvement (Resolved) - 2.12.19 - Dimension & location of site improvement: Provide dimensions and location of all existing site improvements; dimensions and location for all proposed site improvements.			
<i>Corrections</i>	2.12 - Zoning Classification-adjacent properties (Resolved) - 2.12 - Zoning Classification-adjacent properties: Show existing zoning classification on the adjacent properties.			
<i>Corrections</i>	2.12/3.2.3 - Land Use Consistency (Resolved) - 2.12/3.2.3 - Land Use Consistency: Provide a list of existing and proposed uses. Provide list of area in square footage/acreage for each existing and proposed uses. Verify if existing and proposed uses are allowed under land use designation and zoning classification.			
<i>Corrections</i>	2.12.4/6.11.7 - Loading area (Resolved) - 2.12.4/6.11.7 - Loading area: Show proposed loading areas on plan, per Sec. 6.11.7. - Loading areas.			
<i>Corrections</i>	2.12.32 - 100yr flood zone and flood prone areas (Resolved) - 2.12.32 - 100yr flood zone and flood prone areas: Show existing one percent (100-year) FEMA flood plain on plan with zone elevation and vertical datum noted; water line of lakes, wetlands, rivers, streams and canals; and other manmade or natural features. A note shall be provided detailing source and survey field methods used to obtain and verify data field methods of delineation of all lines shown.			
<i>Corrections</i>	2.12.5/1.8.2.D - Traffic Concurrency Evaluation? (Resolved) - 2.12.5/1.8.2.D - Traffic Concurrency Evaluation?: In order to propose alternative solutions to addressing the lack of roadway capacity, a traffic study will be required and a traffic methodology must be submitted for review and approval prior to the traffic study being completed. Please contact OCE-Traffic Review for further information on completing the necessary methodology and study.			

SUBMITTAL SUMMARY REPORT (33139)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Kenneth Odom	01/21/2026	01/21/2026	Approved
<i>Corrections</i>	2.1.3 - Order of plan approval and consistency (Resolved) - 2.1.3 - Order of plan approval and consistency: The plans shall be consistent with approved PUD/Master Plan/Final Plat. Plans listed below may be reviewed concurrently, but must be approved in the order listed below, when applicable and when the proper land use and zoning are in place: A.Master Plan. B.Preliminary Plat. C.Improvement Plan. D.Final Plat. E.Major Site Plan. However, a Major Site Plan can be substituted for the Improvement Plan and can be approved before approval of the Final Plat in cases when the infrastructure improvements supporting the plat are proposed as part of the Major Site Plan application.			
<i>Corrections</i>	2.12 - Lot area & lot width (Resolved) - 2.12 - Lot area & lot width: Provide required lot area and lot width in the site data table. Show proposed lot area and lot width of all lots in the site data table and on the plan.			
<i>Corrections</i>	2.12.10 - Easement (Resolved) - 2.12.10 - Easement: Show existing and proposed easements on plan, and provide description of each easement.			
<i>Corrections</i>	2.12.4/6.11.6 - Construction access (Resolved) - 2.12.4/6.11.6 - Construction access: Show proposed construction access and route on plan, per Sec. 6.11.6. - Construction access/route,.			
<i>Corrections</i>	2.12.9 - Existing, proposed & adjacent ROWs (Resolved) - 2.12.9 - Existing, proposed & adjacent ROWs: Show name, location and dimensions of any existing, proposed, and adjacent streets, including all rights-of-way serving the project on plan.			
<i>Corrections</i>	Additional Growth Services Comments (Resolved) - Additional Growth Services Comments			
<i>Corrections</i>	2.12/4.2 - Building height (Resolved) - 2.12/4.2 - Building height: Show building height (primary and accessory structures) in the site data table.			
<i>Corrections</i>	2.12.22 - Tracts (Resolved) - 2.12.22 - Tracts : Show existing and proposed tracts on plan, and provide description of each tract.			
<i>Corrections</i>	2.12 - Special Use Permits (Resolved) - 2.12 - Special Use Permits: List of all approved special use permits, case number, conditions, and the date of approval.			
<i>Corrections</i>	2.12.16/6.5 - EALS or Exemption provided (Resolved) - 2.12.16/6.5 - EALS or Exemption provided?: Provide Environmental Assessment of Listed Species (EALS) or submit an Exemption (EALS-ER). Copy of the EALS/EALS-ER will be forwarded to review agency for comments. Refer to LDC Sec. 6.5 for submittal requirements and review procedures.			
<i>Corrections</i>	2.12 - Rezoning (Resolved) - 2.12 - Rezoning: List of approved Rezoning, case numbers, conditions, and the date of approval.			
<i>Corrections</i>	2.12.4/6.11.8 - Parking (Resolved) - 2.12.4/6.11.8 - Parking: Provide number and calculation of required and proposed parking spaces in table format, per LDC Sec. 6.11.8. - Parking requirements.			
<i>Corrections</i>	3.2.3/6.6/5.2.5 - RESIDENTIAL - Min/Max Density (Resolved) - 3.2.3/6.6/5.2.5 - RESIDENTIAL - Min/Max Density: For residential project, show maximum and minimum allowable density, and proposed density.			
<i>Corrections</i>	6.5 & 6.6 - Habitat Preservation/Mitigation (Resolved) - 6.5 & 6.6 - Habitat Preservation/Mitigation: Refer to LDC Sec. 6.6 for requirements and design standards if the site contains open water, wetland, listed species, native habitat vegetation, and/or natural open space. When a proposed development or land clearing site is found to include listed species, the application shall identify species and habitat protection as on-site or off-site. The selected option shall be a condition of approval and shall be completed at time of final inspection.			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	01/21/2026	01/14/2026	Requires Re-submit
<i>Comments</i>	1. see markups on plans (add callout for wall) 2. sign and seal photometric plan			
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	01/21/2026	01/21/2026	Approved

SUBMITTAL SUMMARY REPORT (33139)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	01/21/2026	01/28/2026	Informational
<i>Comments</i> Owner's Cert. added. No further comments from PM. -EMW 01.28.2026				
<p>IF APPLICABLE:</p> <p>Sec. 2.18.1.I - Show connections to other phases.</p> <p>Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.</p> <p>Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."</p> <p>Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."</p> <p>Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."</p> <p>Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."</p> <p>Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate: 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities." 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."</p>				
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Kevin Vickers	01/21/2026	01/26/2026	Requires Re-submit
<i>Corrections</i>	6.13.4 - Stormwater Quantity Criteria (Not Resolved) - 6.13.4 - Stormwater Quantity Criteria: Methodologies, rainfall distribution and intensities shall be consistent with those approved by the governing water management district. Assumed parameters must be supported by conventional methods. Design storms shall consider open or closed basins as provided in Table 6.13-1.			
<i>Corrections</i>	6.13.4.D - Recovery Analysis (Not Resolved) - 6.13.4.D - Recovery Analysis: All retention/detention areas shall recover the total volume required to meet the discharge volume limitations within 14 days following the design rainfall event. For retention/detention areas not able to recover the total required volume within 14 days, the stormwater facility volume shall be increased to retain an additional volume from a second design storm.			
<i>Corrections</i>	Final signed and sealed hard copy signature page (Not Resolved) - Final signed and sealed hard copy signature page: A hard copy of the final signed and sealed drainage report cover or complete drainage report shall be submitted to the Office of the County Engineer.			
<i>Corrections</i>	6.13.2 A(1)/(2) - Contributing Basins/Tc (Not Resolved) - 6.13.2 A(1)/(2) - Contributing Basins/Tc: Plan sheets shall minimally show: All pre-development and post-development basins that contribute runoff to the area proposed for development, including all off-site contributions, and areas that may be impacted by the development fully delineated and quantified. The time of concentration, and travel path, for each watershed shall be shown.			
<i>Corrections</i>	Additional Stormwater comments (Not Resolved) - Additional Stormwater comments			
<i>Corrections</i>	6.13.2.B(5) - Hydraulic Analysis (Not Resolved) - 6.13.2.B(5) - Hydraulic Analysis: Hydraulic stormwater model analysis including all input parameters, supporting calculations, assumptions, documentation for design and results. Provide a sub-basin map for each sub-basin; label each sub-basin and provide total area as well as area of impervious coverage within each sub-basin.			
<i>Corrections</i>	6.13.4.C - Discharge Conditions (Not Resolved) - 6.13.4.C - Discharge Conditions: All stormwater facilities shall be designed to limit discharges considering open or closed basins per Table 6.13-1. A discharge structure shall be required for all retention/detention areas not designed to retain the entire 100-year 24-hour post-development design storm. Discharge structures shall include a skimmer at a minimum.			
<i>Corrections</i>	6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations (Not Resolved) - 6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations: Calculations shall minimally include: Runoff analysis that reflects the project basin soil type, area, and ground cover based on pre-conditions and post-conditions for ultimate development. Time of concentration and travel time analysis for hydrology and hydraulic systems.			
<i>Corrections</i>	6.13.12 - Operation and Maintenance (Not Resolved) - 6.13.12 - Operation and Maintenance: Provide an O&M manual detailing the steps for operating and maintaining the proposed private system of DRAs, pipes, inlets, swales, etc. Manual shall be signed by Owner and owner's certification statement shall be on the manual. Owner's certification statement: "I hereby certify that I, my successors, and assigns shall perpetually operate and maintain the stormwater management and associated elements in accordance with the specifications shown herein and on the approved plan".			

SUBMITTAL SUMMARY REPORT (33139)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Kevin Vickers	01/21/2026	01/26/2026	Requires Re-submit
<i>Corrections</i>	6.13.2.B(5) - Hydraulic Analysis (Not Resolved) - 6.13.2.B(5) - Hydraulic Analysis: Hydraulic stormwater model analysis including all input parameters, supporting calculations, assumptions, documentation for design and results. Provide a sub-basin map for each sub-basin; label each sub-basin and provide total area as well as area of impervious coverage within each sub-basin.			
<i>Corrections</i>	6.13.2.B(6) - Freeboard (Not Resolved) - 6.13.2.B(6) - Freeboard: A minimum freeboard of six inches shall be provided for all retention/detention areas.			
<i>Corrections</i>	6.13.2.B(4) - Hydrologic Analysis (Not Resolved) - 6.13.2.B(4) - Hydrologic Analysis: Hydrologic stormwater model analysis including all input parameters, supporting calculations, assumptions, documentation for design and results.			
<i>Recommendations</i>	6.13.2.B(8) <input type="checkbox"/> Calculation & Plan Consistency - This criteria to be reviewed with resubmittal.			
<i>Recommendations</i>	6.13.10.B <input type="checkbox"/> Copy of NPDES Permit or NOI - Please provide a copy of the NPDES permit or NOI prior to construction.			
<i>Recommendations</i>	7.1.3 <input type="checkbox"/> Drainage Construction Specifications - A pipe material deviation request has been submitted to County Engineer for consideration. You will receive a letter in response to the request.			
<i>Recommendations</i>	2.12.20 <input type="checkbox"/> Stormwater Infrastructure Supports Phasing - Stormwater improvements must be in place to support each phase of development at time of phase completion.			
<i>Recommendations</i>	Additional Stormwater comments - If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.			
<i>Recommendations</i>	Copy of District Permit (County Interest) - Please provide a copy of the District permit prior to construction.			
<i>Recommendations</i>	2.12.9/10 <input type="checkbox"/> Existing Drainage Right of Way/Easements - Please ensure the drainage easements extending across the site are vacated as part of the development.			
<i>Recommendations</i>	2.12.9/10 <input type="checkbox"/> Proposed Drainage Right of Way/Easements - Please ensure that necessary drainage easements extending across the site are recorded as part of the development.			
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	01/21/2026	01/15/2026	Approved
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	01/21/2026	01/13/2026	Approved
Utilities (OCE Plans) (Utilities)	Heather Proctor	01/21/2026	01/13/2026	Requires Re-submit
<i>Comments</i>	Project is within the Bay Laurel Center Community Development District. Please see corrective comments.			
<i>Corrections</i>	6.14.2.A(1) - Letter from utility provider (Not Resolved) - 6.14.2.A(1) - Parcel is within the Bay Laurel Center Community Development District Bay Laurel Center (BLCCDD) Service Area. A letter from BLCCDD stating service availability and connection requirements shall be submitted prior to building permit issuance. Insure BLCCDD has seen and approved utility connections, as they are not part of MCU's review process.			

REVIEWER	MARKUP	DATE/TIME	FILE NAME	PG #
Janet Warbach	911 REQUIRES RESUBMIT	01/13/2026 3:45	PMFile Category Placeholder.pdf	1
Janet Warbach	SW 99TH STREET RD	01/13/2026 3:45	PMFile Category Placeholder.pdf	1
Susan Heyen	callout 6' buffer wall	01/14/2026 4:37	PM2025-12-17_HD-Ocala_LDSP+IRR-Plan-Sheets.pdf	3

OCE: Plan Review (DR) v.1				
ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)		09/02/2025	11/09/2025	Requires Re-submit
<i>Comments</i>	YES 2.12.8 - Legal description matches boundary on plan NO 2.12.28 - Correct road names supplied Sheet C-000 has SW HWY 200 incorrectly labeled as SR 200 and SW 99th Street Rd incorrectly labeled as SW 99th Street at the top of the sheet and in the Vicinity Map. YES 6.2.1.F - North arrow and graphic drawing and written scale N/A Additional 911 comments			
Environmental Health (Plans) (Environmental Health)		09/02/2025	11/09/2025	Approved
<i>Comments</i>	YES Central Sewer Central Sewer N/A Lot Size N/A Total Flow N/A Available Area YES DEP Water Approval Central Water N/A Operating Permit Required N/A 2.12.6 - Location of septic systems & wells N/A 2.12.36 - Location of water & septic systems INFO Additional Health comments Central Sewer/Central Water			

SUBMITTAL SUMMARY REPORT (33139)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Fire Marshal (Plans) (Fire)		09/02/2025	11/09/2025	Approved
<i>Comments</i>	<p>YES 6.18.2 - Fire Flow/Fire Hydrant N/A 6.18.3 - Gated Communities/Properties N/A 6.18.4 - Wildland Interface Area INFO 6.18.5 - Access Control Box Any commercial building which contains a fire sprinkler system and or fire alarm system must install an access control box. The access control box must be ordered on a specific form signed by MCFR to ensure the correct box is ordered for the jurisdiction. Please contact our office to obtain the form 352-291-8000. YES 6.18.2.D - Fire Department Connections INFO NFPA 1 Chapter 11.10.1 - In Building Minimum Radio Signal Strength All new buildings and buildings which conduct renovations increasing the total floor space by greater than 50 percent of the floor area must comply with NFPA 1 Chapter 11.10.1. NFPA 1 Chapter 11.10.1 provides for the AHJ to establish minimum standards for in building public safety radio communications. Please be aware that your building will be required to conduct a test for the minimum radio signal strength to determine coverage. If the minimum radio signal strength is deemed insufficient then a radio signal enhancement system must be installed and the building retested to ensure it meets the minimum criteria. Please plan for this early in your project and contact Marion County Fire Rescue with any questions 352-291-8000. YES 6.18.2.G - Painting and Marking of Fire Hydrants YES NFPA 1 Chapter 18.2.3 - Fire Dept Access Roads N/A Additional Fire comments</p>			
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)		09/02/2025	11/09/2025	Requires Re-submit

SUBMITTAL SUMMARY REPORT (33139)

Comments

LAND USE-REJECT

YES 2.12.4.L(2)/3.2.3 - Use Consistent with FLU Designation?
YES 2.12.4.L(3) - All applicable Developer's Agreements listed?
YES 2.12.4.L(2,3, & 5)/6.3.1C(15)(g) - DRI/FQD Compliance Note?
N/A 3.2.3/6.6/5.2.5/flood - RESIDENTIAL - Complies with Min/Max Density?
YES 3.2.3 - NON-RESIDENTIAL - Complies with FAR?
N/A 2.12.4.L(6) - Gross/wetland/floodplain acreage listed?
N/A 3.3.2.C - Complies with Approved ECSD PUD?
N/A 3.3.3.A(1)- Complies with Approved Rural Residential Cluster Plan?
N/A 3.3.3.A(2) - Complies with Approved Hamlet Plan?
N/A 2.12.4.L(5)/5.2 - [Applicable ESOZ/FPOZ Status Listed?]
N/A 2.12.4.L(5)/5.4 - [Applicable Springs Protection Zone Listed?]
N/A 2.12.4.L(5)/5.7 - Wellhead Protection - P/S/T Zones Shown/Listed?
YES 2.12.4.L(7 & 9) - Building Uses/Identifiers/Designations Provided for 911?
N/A 4.1.4.J - [Greenway Setback Provided?]
YES 2.12.16/6.5 - [EALS or EALS-ER provided?]
YES 6.5 & 6.6 - Habitat Preservation/Mitigation Provided?
N/A 2.12.9 - [Show All Existing Surrounding & Intersecting R/Ws?]
N/A 6.12.2.A - [Local Road right-of-Way Provided?]
N/A 6.12.2.A - [Access Improvements R/W Provided (decel/accel/turn lanes)?]
N/A 2.12.9/6.12.2.B - Comp Plan Future Thoroughfares R/W Provided (TE Map)?
N/A 6.11.4.C - [Additional/Alternate/Interconnected Access (S/QS-L) Provided?]
NO 6.11.2, 4 & 5 - Internal Access Consistent with PUD/Master Plan/Plat? Current zoning is PUD for multifamily. Please change the zoning to allow for the proposed use and finish SUP process for outdoor storage
N/A 6.11.4.B & D/7.3.1 - [Cross/Parallel Access Required/Suitable?]
N/A 6.11.5 - [Driveways to Intersections Separated/Coordinated?]
N/A 6.11.4.E - [Sight Triangle Provided?]
N/A 6.11.5 - [Driveways to Driveways Separated/Coordinated?]
N/A 6.12.12 - [Sidewalks Internal/External Provided?]
N/A 2.12.5/1.8.2.A - Concurrency/Traffic - Study/Capacity Available?
N/A 2.12.5/1.8.2.D - Concurrency - PRELIM Evaluation Required?
NO 2.12.5/1.8.2.F - Is Concurrency Approval or Deferral Elected? Revise the plan Cover Sheet to provide the following note:
"This proposed project has not been granted concurrency approval and/or granted and/or reserved any public facility capacities. Future rights to develop the property are subject to a deferred concurrency determination, and final approval to develop the property has not been obtained. The completion of concurrency review and/or approval has been deferred to later development review stages, such as, but not limited to, Building Permit review."

N/A 2.12.6, 35, & 36/6.14 - [Concurrency/Water Provided?]
N/A 2.12.6, 35, & 36/6.14 - [Concurrency/Sewer Provided?]
N/A Additional Planning Items:

ZONING-REJECT

YES 2.12.4.C - Owner and applicant name Included
YES 2.12.4.L(1) - Parcel number Included
NO 2.12.21/6.3.1.C(10) - Land use and zoning on project and on adjacent properties shown Subject property currently has PUD zoning (case no. 240306ZP). This shall remain a NO until PUD zoning is reverted to B-2 and SUP is approved for outdoor storage/24-hour display.
Adjacent zoning is NOT PUD. Subject property has FLU designation of Circle Square Woods Vested Development of Regional Impact (VDRI). Please correct cover sheet and indicate on overall site plan sheet.
NO 2.12.4.L(4) - Zoning requirements: lot width, area, setbacks, coverage (floor area ratios) and parking This will be reviewed at the time of rezoning/SUP conditions, pending any additional conditions from SUP.
NO 2.12.23/4.2 -Setbacks, dimensions for all improvements, and easements This will be reviewed at the time of rezoning/SUP conditions, pending any additional conditions from SUP. Please provide required setback lines on site plan sheets.
NO 2.12.24 - Landscape requirements/6.8.6 - Buffering Staff notes multi-use path in the same place as proposed landscaped buffers. No structures are allowed in landscaped buffers.
Staff notes utility easements in the same place as proposed buffers. Please note that buffers were a condition for PUD approval. In the case that the buffers are cleared, a zoning code violation would exist and the site may be subject to the code enforcement process, at the property owner's risk.
Please indicate garage collection area/utility area (for emergency generators, etc.) meet screening requirements in LDC Sec. 6.8.9.
NO 2.12.4.L(7) - List and describe land use including floor area of particular use (example: office, warehouse, storage or assembly) these descriptions are often found in the summary of parking requirements but should be clearly shown on plan Indoor/outdoor area will be reviewed at the time of rezoning/SUP conditions, pending any additional conditions from SUP.
INFO 2.12.6 - Location of water and sewer. Does this need a special use permit? Within Bay Laurel Utilities (OTOW) service area
YES 2.12.9 - Show adjacent streets serving development Included
INFO 2.12.32 - Show 100yr flood zone FEMA Flood Zone X/AE
NO 2.12.32 - Modified Environmental Assessment for Listed Species (LDC 6.5.4) -OR- EALS Exemption Application (LDC 6.5.3) submitted (including habitat assessment as necessary per LDC 6.6.4) Please provide Environmental Assessment for Listed Species meeting all requirements in LDC Sec. 6.5.4, OR provide EALS exemption request (ER) explicitly indicating criteria in LDC Sec. 6.5.3 have been met.
NO 2.12.4.L(10) - Parking requirements, service entrances, space size paved parking isle and access to parking area/6.11.8 - Off-street parking requirements/6.11.7 - Loading Areas/ 6.11.6 - Construction access/route This will be reviewed at the time of rezoning/SUP conditions, pending any additional conditions from SUP. Staff notes parking spaces to be used for seasonal sales area and equipment rental displays.
Please indicate required accessible parking spaces on overall site plan. Please clarify difference between accessible stalls and accessible parking not included, as written in overall site plan sheet.
Please note loading areas shall be screened pursuant to LDC Sec. 6.8.9.
INFO 4.4.4 -Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan. On-site signs indicated on site plan. Will there be any off-site signs? All signs will require separate permits.
NO 2.12.19 - Provide dimensions and location of all existing site improvements; dimensions and location for all proposed site improvements with all setbacks This will be reviewed at the time of rezoning/SUP conditions, pending any additional conditions from SUP. Please provide required setback lines on site plan sheets.

SUBMITTAL SUMMARY REPORT (33139)

INFO 2.12.27 - Show location of outside storage areas This shall remain a NO until PUD zoning is reverted to B-2 and SUP is approved for outdoor storage.
 NO 5.2 & 5.3 - Verify any overlay zones such as ESOZ, Springs Protection, or Flood Plain Secondary Springs Protection Zone indicated. Please correct/indicate on cover sheet: FEMA Flood Zone X/AE, No ESOZ
 NO Additional Zoning comments This shall remain a NO until PUD zoning is reverted to B-2 and SUP is approved for outdoor storage.

Landscape (Plans) (Parks and Recreation)	09/02/2025	11/09/2025	Requires Re-submit
<p><i>Comments</i></p> <p>YES 2.12.18 - All trees 10" DBH and larger Provide size and species of all trees existing on site N/A 2.12.25 - Marion Friendly Landscape Areas NO 6.7.3 - Tree protection Show tree protection on the plan and in detail NO 6.7.4 - Shade tree requirements 1. Shade trees provided are 145, how will deficit of 51 shade trees be addressed. 2. per 6.8.10.4.C, Palms shall not be substituted for required SHADE trees. YES 6.7.6 - Tree removal submittal requirements YES 6.7.8 - Protected tree replacement requirements YES 6.7.9 - Replacement trees; general requirements YES 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes) YES 6.8.3 - Landscape design standards YES 6.8.4 - Landscape area requirements for non-residential development N/A 6.8.5 - Landscape area requirements for residential and mixed use developments NO 6.8.6 - Buffers 1. Waiver required to use existing vegetation for the buffer on the north instead of the required B type buffer with a wall 2. NO 6.8.7 - Parking areas and vehicular use areas 1. Square footage on labels indicates parking islands may be smaller than required, please confirm 2. waiver required to use understory trees in islands, except where light poles or utility conflicts are present. NO 6.8.8 - Building landscaping Landscape areas shall be provided adjacent to or within 25 feet from the building walls and shall extend along 60 percent of the total length of the wall, excluding those areas required for access to the building. Landscape areas shall be a minimum of five feet wide allowing for a minimum distance of two feet from the façade to the innermost plants. PEND 6.8.9 - Service and equipment areas N/A 6.13.3.C(5) - Landscaping of public stormwater management facilities N/A 6.13.3.D(4) - Landscaping of private stormwater management facilities NO 6.8.10 - General planting requirements (specifications) 1. To promote biological diversity, no more than 50 percent of the required shade trees for a development shall be of one species. Please show how this is met YES 6.8.11 - Landscape installation NO 6.8.12 - Landscape completion inspection requirements add note from this section of code NO 6.9.2 - Irrigation plan requirements (details, legend, notes) Please submit a signed and sealed irrigation plan PEND 6.9.3 - Irrigation design standards PEND 6.9.5 - Irrigation system installation PEND 6.9.6 - Completion inspection requirements NO 6.19.3 - Outdoor lighting plan requirements Please submit a signed and sealed photometric plan PEND 6.19.4 - Exterior lighting design standards N/A 5.5.4.B - Permitted uses within Springs Protection Overlay Zone INFO Additional Landscape comments O16 - consider stating that mulch should be kept a min of 12" from the tree trunk and should be a max. of 1" deep over the rootball 2. Could some of the shade trees on the East and west sides put adjusted to the north area of the building? Trees seem to be crowded?</p>			

OCE Design (Plans) (Office of the County Engineer)	09/02/2025	11/09/2025	Requires Re-submit

SUBMITTAL SUMMARY REPORT (33139)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Design (Plans) (Office of the County Engineer)		09/02/2025	11/09/2025	Requires Re-submit
<i>Comments</i>	<p>YES 2.21.2.B - Major Site Plan fee of \$1,000.00 + (\$10.00 x total site acreage) 8/21/25-fee due with resubmittal</p> <p>N/A 2.21.2.B - Plan review fee of \$40.00 made payable to Marion County Health Department</p> <p>N/A Traffic study / methodology fee of \$200.00 made payable to Marion County BCC is required prior to plan approval. Refer to Resolution 10-R-630 for the current fee schedule.</p> <p>N/A 2.1.6.A - \$100 Resubmittal fee payable to Marion County BCC</p> <p>N/A 2.1.7.A - \$100 Revision fee payable to Marion County BCC</p> <p>N/A 2.1.3 - Order of plan approval</p> <p>NO 2.12.3 - Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions 8/21/25-Title block on ALL sheets denoting type of application; Major Site Plan</p> <p>NO 2.12.4.A - Type of application on front page 8/21/25-Type of application on front page; MISSING Major Site Plan</p> <p>YES 2.12.4.B - Project name centered at top of front page</p> <p>YES 2.12.4.C - Name, address, phone number, and signature of owner and applicant on front sheet</p> <p>YES 2.12.4.D - Owner's certification on front sheet: I hereby certify that I, my successors, and assigns shall perpetually maintain the improvements as shown on this plan</p> <p>PEND 2.12.4.E - The name, address, phone number, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet</p> <p>PEND 6.2.1.A - Name, street address, signature, date, license number, and seal of licensed professional on each sheet</p> <p>PEND 2.12.4.F - Licensed professional certification on cover sheet with signature and seal on all sheets after plan approval</p> <p>NO 2.12.4.F(1) - Licensed Design Professional Certification: I hereby certify that these plans and calculations were completed in accordance with all applicable requirements of the Marion County Land Development Code, except as waived. 8/21/25-Licensed Design Professional Certification: MISSING</p> <p>YES 2.12.4.G - A key location or vicinity map, with north arrow, with reference to surrounding properties, streets, municipal boundaries, sections, ranges, and township</p> <p>YES 2.12.4.H - A portrait oriented minimal 3 inches x 5 inches space, located 2.75 inches from the right edge of paper and .75 inches from the top edge of paper, shall remain blank to allow for a County approval stamp</p> <p>YES 2.12.4.I & 6.2.1.D - Index of sheets and numbering</p> <p>INFO 2.12.4.K - List of approved waivers, their conditions, and the date of approval 8/21/25-add waivers if requested in future</p> <p>YES 2.12.4.L(1) - Parcel number</p> <p>YES 2.12.7 - A digital version of the plan in a format pre-approved by the Office of the County Engineer</p> <p>YES 2.21.2.A - Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application</p> <p>YES 6.2.1.B - Plans shall be legible and meet typical industry standards</p> <p>YES 6.2.1.C - Standardized sheet size shall be 24" x 36"</p> <p>YES 6.2.1.F - North arrow and graphic drawing and written scale</p> <p>N/A Legal Documents</p> <p>INFO Additional Development Review Comments After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.</p>			

SUBMITTAL SUMMARY REPORT (33139)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)		09/02/2025	11/09/2025	Requires Re-submit
<i>Comments</i>				
<p>NO Major Site Plan Owner's signature line needs to be on coversheet of the Site Plan. Check SunBiz and Project Map -EMW 8.25.25 IF APPLICABLE:</p> <p>Sec. 2.18.1.I - Show connections to other phases.</p> <p>Sec.2.19.2.H – Legal Documents</p> <p>Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.</p> <p>Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)</p> <p>For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."</p> <p>Sec. 6.3.1.B.2 – Required Right of Way Dedication</p> <p>For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."</p> <p>Sec. 6.3.1.D.3 - Cross Access Easements</p> <p>For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."</p> <p>Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)</p> <p>"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."</p> <p>Sec. 6.3.1.C.2 – Utility Easements</p> <p>"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:</p> <ol style="list-style-type: none"> 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities." 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." <p>Sec.6.3.1.D(f) –</p> <p>If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."</p>				
OCE Stormwater (Permits & Plans) (Office of the County Engineer)		09/02/2025	11/09/2025	Requires Re-submit

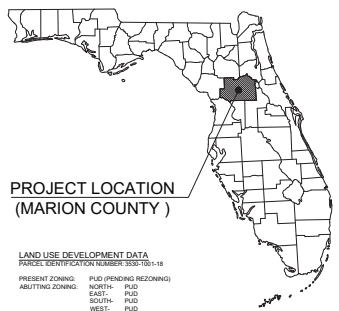
SUBMITTAL SUMMARY REPORT (33139)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Survey (Plans) (Office of the County Engineer)		09/02/2025	11/09/2025	Requires Re-submit
<i>Comments</i>	YES 6.2.1.A - The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet. YES 6.2.1.E - Provide drawing legend YES 6.2.1.F - Provide north arrow and graphic drawing and written scale NO 6.4.7.A(1) - Show a minimum of two bench marks per site Please provide. NO 6.4.7.A(2 & 3) - Bench mark information shown Please provide. N/A 6.4.7.A(2 & 3) - One copy of the vertical control field notes shall be submitted to the Office of the County Engineer for review YES 6.4.7.B(1) - Show a minimum of two intervisible horizontal control points per site YES 6.4.7.B(2) - Horizontal control points shall be monumented and referenced to the Florida State Plane Coordinate System YES 6.4.7.B(4) - Provide a statement or table detailing horizontal datum, adjustment, and coordinate values N/A 6.4.7.B(4) - One copy of the horizontal control notes along with reduction reports shall be submitted to the Office of the County Engineer for review YES 6.4.7.D - The location of the existing one percent (100-year) flood plain as shown on FEMA FIRM, with zone, elevation, and vertical datum noted YES 6.4.7.D - A note shall appear on the construction plans detailing source and survey field methods used to obtain and delineate the flood plain line shown YES 6.4.7.E - Line and curve table must be shown on the sheet to which they apply YES 6.4.7.F - All abbreviations used shall be clearly defined in the legend YES 2.12.4.F.(2) - Surveyor and Mapper certification YES 2.12.4.G - Show a location or vicinity map YES 2.12.8 - Provide current boundary and topographic survey less than one year old YES 2.12.9 - Provide location and dimensions of all rights-of-way serving the project YES 2.12.10 - Show any known existing or proposed easement or land reservation NO 2.12.11 - Provide an aerial map of the site with a layout of the development Please provide overlay of Sheet C-100 Overall Site Plan on aerial map of location. YES 2.12.32 - Provide site analysis map depicting the existing (100-year) flood plain N/A Additional Survey comments			

OCE Traffic (Permits & Plans) (Office of the County Engineer)		09/02/2025	11/09/2025	Requires Re-submit
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<i>Comments</i>	YES 2.12.9 - Location and dimensions of streets and right-of-way N/A 2.12.20 - Phases of development N/A 2.12.30 - Route Plan N/A 2.12.38 - Maintenance of improvements YES 6.2.1.E - Drawing legend NO 6.11.3 - Traffic Impact Analysis 8/27/25 - 1) As indicated during the pre-application meeting, an operational analysis is needed to understand how the traffic volume will be managed, and golf cart circulation will occur. N/A 6.11.4.B - Cross access PEND 6.11.4.E - Sight triangle NO 6.11.5 - Driveway access 8/27/25 - 1) As indicated during the pre-application meeting, the driveway connecting to the access road must align with existing driveway for the property east of lot 10. Include existing (and any known future) driveway(s) on plan sheets to show alignment for coordination purposes during future submittals. 2) Other proposed driveways must be spaced a minimum of 245'. 3) The multi-use path connection to the parking lot should be aligned with a drive aisle for maximum visibility upon entrance, especially since cars may be parked on either side. N/A 6.11.6 - Construction route N/A 6.11.9.A - Traffic signals NO 6.11.9.B - Traffic signs 8/27/25 - 1) Stop sign at multi-use path connection to parking lot should indicate cross-traffic does not stop unless a yield feature is incorporated into drive aisle design. NO 6.11.9.C - Pavement marking 8/27/25 - Multi-use path crossing into parking lot should be marked such that vehicle operators can be aware of the likelihood of golf carts entering the drive aisle. N/A 6.12.1.A - Transportation Facilities - Purpose and Intent N/A 6.12.2 - Right-of-way N/A 6.12.11 - Turn lanes NO 6.12.12 - Sidewalks 8/27/25 - Extend the multi-use path (shown on plans) to the west for connection to the multi-use path along SW 99th Street Road to preclude golf carts having to transition to the street. N/A 6.12.13 - Utility position in right-of-way N/A Additional Traffic comments			
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**PROJECT LOCATION
(MARION COUNTY)**

LAND USE DEVELOPMENT DATA
 PARCEL IDENTIFICATION NUMBER: 333370-14
 PRESENT ZONING: PUD (PUD00) (REZONING)
 ADJUTING ZONING: NORTH: PUD
 EAST: PUD
 SOUTH: PUD
 WEST: PUD
 LAND USE: CIRCLE SQUARE WOODS VDR
 HOME DEPOT STORE # TBD AREA: 13.20 ACRES
 EXISTING IMPERVIOUS AREA: 0.00 AC
 PROPOSED IMPERVIOUS AREA: 9.47 AC (71.7%)

NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
 ALL IMPROVEMENTS SHOWN ON THESE PLANS, INCLUDING ALL ROADS AND DRAINS ARE PRIVATELY OWNED AND SHALL BE MAINTAINED BY THE OWNER.

MARION COUNTY SPRINGS PROTECTION ZONE
 SECONDARY ZONE

FEASIBILITY
 THE PROJECT LIES WITHIN FEMA FLOOD ZONE "X", AS PER FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NOS. 208-00000E, EFFECTIVE APRIL 19, 2017.

LOCAL BENCHMARK
 VERTICAL DATUM BASED ON BENCHMARK STAMPED "WOOLPERT TRAVERSE", ELEVATION 69.272; NGVD 1929.
 BEARINGS AND COORDINATES SHOWN HEREON AREA BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83), WITH 2011 ADJUSTMENT AS DERIVED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION VERTICAL REFERENCE STATION NETWORK.

EXISTMENTS
 ALL EXISTMENTS ARE DESIGNATED ON THE PLANS.
 TREE LOCATIONS ARE NOTED ON THE PLANS.

SURVEY
 TOPOGRAPHIC AND OTHER DATA IS BASED ON A SURVEY BY JCH CONSULTING GROUP, INC. DATED APRIL 21, 2025. TOPOGRAPHY SHALL BE REVISIT PRIOR TO CONSTRUCTION.

BASIS OF BEARING
 BEARINGS AND COORDINATES SHOWN HEREON AREA BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83), WITH 2011 ADJUSTMENT AS DERIVED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION VERTICAL REFERENCE STATION NETWORK.

VERTICAL DATUM
 VERTICAL DATUM BASED ON NATIONAL GEODETIC SURVEY CONTROL POINT 175 W.A. ELEVATION 91.46 NAVD 1989.

PERMITS
 THIS PROJECT WILL REQUIRE ADDITIONAL PERMITS FROM:
 - SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT
 - FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

WATERS APPROVER
 19272925 LDC 6.8.8 - BUILDING LANDSCAPE

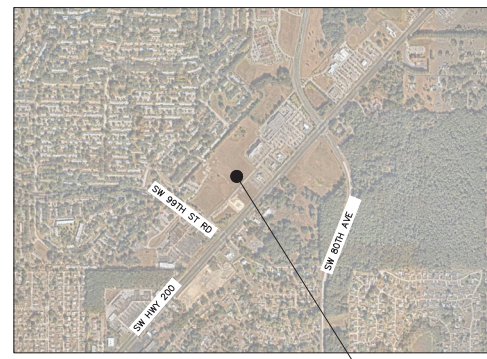
CONSTRUCTION PLANS

FOR

HOME DEPOT STORE # TBD

Ocala

SW HWY 200 AND SW 99TH STREET ROAD
 LOCATED IN
 MARION COUNTY, FLORIDA 34481
 SECTION 24, TOWNSHIP 16S, RANGE 20E



VICINITY MAP
 SCALE: 1" = 1000'

PROJECT LOCATION

CONTRACTOR IS TO REFER TO THE HOME DEPOT SPECIFICATIONS, WHERE MORE STRINGENT THAN AGENCY HAVING JURISDICTION. THE HOME DEPOT SPECIFICATIONS SHALL BE FOLLOWED.

Sheet Number	Sheet Title
C-000	COVER
C-001	GENERAL NOTES
C-002	ALTA - NPS/LAND TITLE SURVEY
C-004	STORMWATER POLLUTION PREVENTION PLAN PHASE I
C-005	DEMOLITION PLAN
C-006	STORMWATER POLLUTION PREVENTION PLAN PHASE II
C-007	STORMWATER POLLUTION PREVENTION PLAN - PHASE III
C-008	EROSION CONTROL DETAILS
C-009	EROSION CONTROL DETAILS
C-010	PHASE A PIPING PLAN
C-011	PHASE A PIPING PLAN
C-100	OVERALL SITE PLAN
C-101	HORIZONTAL CONTROL PLAN
C-102	HORIZONTAL CONTROL PLAN
C-104	SIGNING AND MARKING DETAILS
C-105	SITE DETAILS
C-109	TRUCK ACCESS PLAN
C-200	OVERALL PAVING AND GRADING PLAN
C-201	PAVING, GRADING AND DRAINAGE PLAN
C-202	PAVING, GRADING AND DRAINAGE PLAN
C-203	OVERALL STORMWATER PLAN
C-204	STORMWATER PLAN
C-205	STORMWATER PLAN
C-206	STORMWATER PLAN
C-207	STRUCTURE TABLES
C-208	STORM PROFILES - 25YR
C-209	STORM PROFILES - 100YR
C-210	PERIMETER CROSS SECTIONS
C-300	OVERALL UTILITY PLAN
C-301	UTILITY PLAN
C-302	UTILITY PLAN
C-303	UTILITY DETAILS
C-304	UTILITY DETAILS
C-400	SANITARY PROFILES
C-401	SANITARY PROFILES
L-000	TREE DISPOSITION PLAN
L-100	LANDSCAPE PLAN
L-101	LANDSCAPE SCHEDULE
L-102	LANDSCAPE DETAILS
L-103	LANDSCAPE NOTES
L-300	IRRIGATION PLAN
L-350	IRRIGATION DETAILS
L-351	LANDSCAPE NOTES

PROJECT TEAM

DEVELOPER KENNETH DAVID STEELE HOME DEPOT U.S.A., INC. 2455 PACES FERRY ROAD ATLANTA, GA, 30339 PHONE: (770) 384-4442	CIVIL ENGINEER GARY R. LEVENGOOD, P.E. KIMLEY-HORN AND ASSOCIATES, INC. 1700 SE 17TH STREET, SUITE 200 Ocala, FLORIDA 34471 PHONE: (352) 438-3000	LANDSCAPE ARCHITECT PROJECT LA KIMLEY-HORN AND ASSOCIATES, INC. 445 24TH STREET, SUITE 200 VERO BEACH, FLORIDA 32960 PHONE: (772) 794-4100
ARCHITECT PROJECT ARCHITECT WD PARTNERS 7007 DISCOVERY BLVD. DUBLIN, OHIO PHONE: (614) 634-7000	SURVEYOR CHRISTOPHER J. HOWSON, P.S.M., C.F.M. JCH CONSULTING GROUP 426 SW 20TH STREET Ocala, FLORIDA 34471 PHONE: (352) 435-1482	PROPERTY OWNER ON TOP OF THE WORLD COMMUNITIES, L.L.C. 8445 SW 80TH STREET Ocala, FLORIDA 34481 PHONE: (352) 387-7480

LIST OF CONTACTS:

STORMWATER SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT PHONE: (352) 754-3456	ZONING MARION COUNTY 2710 E SILVER SPRINGS BLVD Ocala, FL 34470 PHONE: (352) 438-2600	GAS TECO PEOPLES GAS 2710 E SILVER SPRINGS BLVD Ocala, FL 34470 CONTACT: LONDON MEAHL
WATER BAY LAUREL COMMUNITY CENTER DEVELOPMENT DISTRICT PHONE: (352) 414-5454 (EXT. 4105) CONTACT: BRYAN SCHMALZ	BUILDING/ENGINEERING MARION COUNTY 412 SE 25TH AVE Ocala, FL 34471 PHONE: (352) 671-8886	ELECTRIC DUKE ENERGY PHONE: (352) 304-0740 CONTACT: CHARLES PITTS
SANITARY SEWER BAY LAUREL COMMUNITY CENTER DEVELOPMENT DISTRICT PHONE: (352) 414-5454 (EXT. 4105) CONTACT: BRYAN SCHMALZ	HEALTH DEPARTMENT MARION COUNTY 1801 SE 32ND AVE Ocala, FL 34471 PHONE: (352) 629-0137	FIBER/ CATV DIGITAL COMMUNICATION MEDIA PHONE: (352) 873-4817 CONTACT: JORGE SANTIAGO
FIRE PREVENTION MARION COUNTY 11800 S US HWY 441 BELLEVUE, FL 34420 PHONE: (352) 307-6000 CONTACT: TONY CUNNINGHAM	SOLID WASTE MARION COUNTY 5601 SE 66TH ST Ocala, FL 34480 PHONE: (352) 671-8465	TELEPHONE DIGITAL COMMUNICATION MEDIA PHONE: (352) 873-4817 CONTACT: JORGE SANTIAGO

PREPARED BY:
Kimley»Horn

I HEREBY CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS SHALL REPRESENTATIVELY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.
 KENNETH DAVID STEELE
 HOME DEPOT U.S.A., INC.

PROJECT DATUM: NGVD '29

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

Always call 811 two full business days before you dig to have underground utilities located and marked.

CONTRACTOR IS TO REFER TO THE HOME DEPOT SPECIFICATIONS, WHERE MORE STRINGENT THAN AGENCY HAVING JURISDICTION, THE HOME DEPOT SPECIFICATIONS SHALL BE FOLLOWED.



No.	REVISIONS	DATE	BY
	BID SET	02/19/26	GRJ

Kimley»Horn
 © 2025 KIMLEY-HORN AND ASSOCIATES, INC.
 1700 SE 17TH STREET, SUITE 200, Ocala, FL 34471
 WWW.KIMLEY-HORN.COM REGISTRATION NO. 35106

I HEREBY CERTIFY THAT THESE PLANS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS WAIVED.

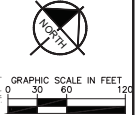
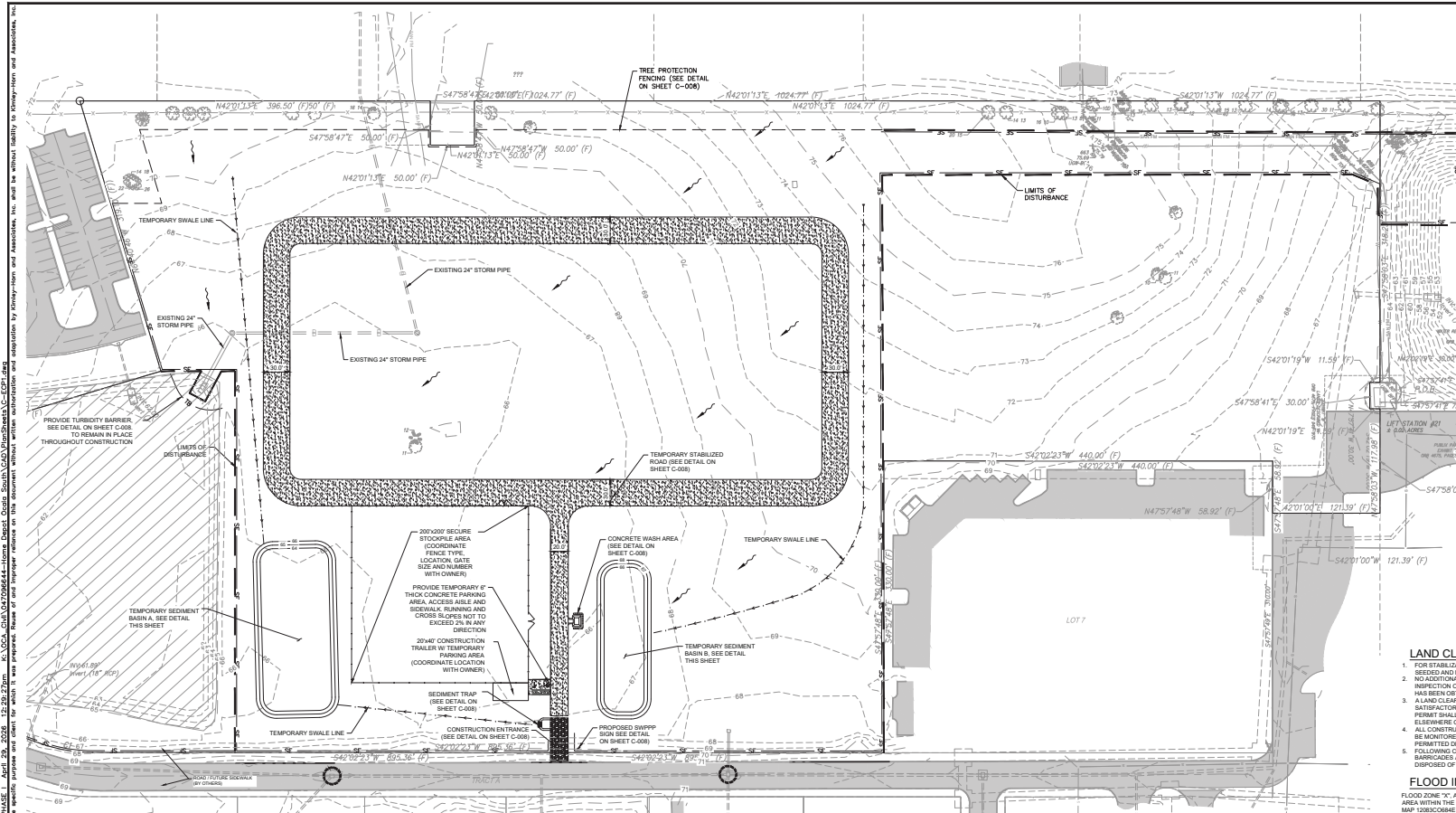
GARY R. LEVENGOOD, P.E.
 FLORIDA LICENSE NUMBER 94185

KHA PROJECT 047426B-04
 DATE APRIL 2026
 SCALE AS SHOWN
 DESIGNED BY KEB
 DRAWN BY KEB
 CHECKED BY P.VZ

COVER

OCALA #0000
 MAJOR SITE PLAN
 PREPARED FOR
 THE HOME DEPOT
 MARION COUNTY
 FLORIDA

SHEET NUMBER
C-000



- EROSION CONTROL LEGEND**
- PROPOSED INLET PROTECTION PER DETAIL ON SHEET C-008
 - PROPOSED SILT FENCE PER DETAIL ON SHEET C-008
 - PROPOSED SILT DIKE PER DETAIL ON SHEET C-009
 - FLOW ARROW
 - PROPOSED CONSTRUCTION FENCE
 - PROPOSED TREE PROTECTION PER DETAIL ON SHEET C-008
- UTILITY LEGEND**
- EXISTING OVERHEAD LINE
 - EXISTING BURIED TELEPHONE LINE
 - EXISTING BURIED FIBER OPTIC LINE
 - EXISTING WATER MAIN
 - EXISTING FORCE MAIN
 - EXISTING STORMWATER PIPE

LAND CLEARING NOTES

1. FOR STABILIZATION FOLLOWING LAND CLEARING, SOIL TO BE SOODED OR UNDERDRAIN OR EXTENSION.
2. NO ADDITIONAL LAND CLEARING SHALL COMMENCE UNTIL A SATISFACTORY INSPECTION OF THE REQUIRED EROSION CONTROL DEVICES AND BARRICADES HAS BEEN OBTAINED.
3. A LAND CLEARING PERMIT MAY BE OBTAINED SUBSEQUENT TO THE SATISFACTORY INSPECTION OF THE CONTROL STRUCTURE BARRICADES. THIS PERMIT SHALL BE POSTED IN THE PERMIT AREA. ITS LOCATION SHOWN ELSEWHERE ON THIS PAGE.
4. ALL CONSTRUCTION BARRICADES AND SILT FENCES WILL REMAIN IN PLACE AND BE MONITORED FOR COMPLIANCE BY THE PERMIT HOLDER DURING THE PERMITTED DEVELOPMENT ACTIVITIES.
5. FOLLOWING CERTIFICATION OF OCCUPANCY FOR THE DEVELOPMENT, ALL BARRICADES AND EROSION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.

FLOOD INFORMATION

FLOOD ZONE "X" AN AREA OF REDUCED FLOOD HAZARD, AND FLOOD ZONE "AE" AN AREA WITHIN THE 100 YEARS FLOOD HAZARD PER THE FLOOD INSURANCE RATE MAP 1286303048E EFFECTIVE APRIL 19, 2017.

SEQUENCE OF CONSTRUCTION

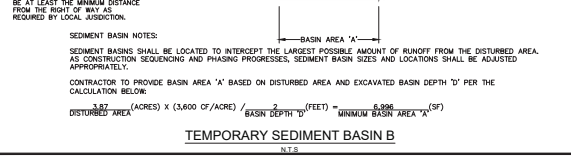
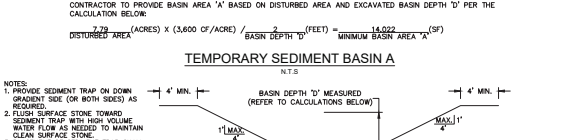
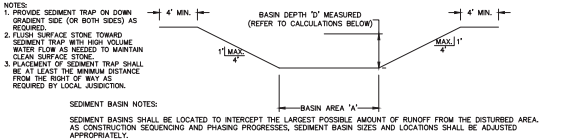
- UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
- PHASE 1 (BEFORE AND DURING GRADING)**
1. CONSTRUCT AND STABILIZE SEDIMENT BASIN AND DRAINAGE SWALES WITH APPROPRIATE OUTFALL STRUCTURES (CLEAR ONLY THOSE AREAS NECESSARY TO INITIAL CONTROL, DEVICES LISTED ABOVE).
 2. INSTALL AND STABILIZE ANY NECESSARY HYDRULIC CONTROL STRUCTURES (CHECKS, CHECK DAMS, OUTLET TRAPS, ETC.)
 3. PREPARE CLEARING AND GRUBBING OF THE SITE, IF APPLICABLE.
- PHASE 2 (AFTER GRADING AND DURING CONSTRUCTION)**
1. START CONSTRUCTION OF THE BUILDING AND STRUCTURES.
 2. PERFORM MASS GRADING, ROUGH GRADE TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
 3. TEMPORARILY SEED THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE OR AS REQUIRED BY GENERIC PERMIT.
 4. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, AND CURBS.
 5. INSTALL RIP RAP AROUND OUTFALL STRUCTURES AS EACH OUTFALL STRUCTURE IS INSTALLED.
 6. PREPARE SITE FOR PAVING AND PAVE SITE.
 7. INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
 8. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
 9. CONTACT CIVIL ENGINEER ONCE THE SITE APPEARS TO BE FULLY STABILIZED.
 10. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER INSPECTION AND APPROVAL OF THE ENGINEER AND STABILIZE ANY AREA DISTURBED BY THE REMOVAL OF BMPs.
- PHASE 3**
1. CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION IS SIGNED OFF BY THE CONSTRUCTION MANAGER THAT THE SITE IS FULLY STABILIZED AND THE PERMIT MAY BE TERMINATED.
- NOTE:** THE SEQUENCE OF CONSTRUCTION SHOWN LISTED HERE IS A GENERAL OVERVIEW AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PAVING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND ALL OTHER APPLICABLE LAWS.

MAINTENANCE (ALL PHASES)

- ALL MEASURES STATED ON THIS SITE MAP AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED FULLY FUNCTIONAL, CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE CONTRACTOR. THESE MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT. WHICHEVER IS MORE STRINGENT, AND REPORTED IN ACCORDANCE WITH THE FOLLOWING:
1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR EXTENSION.
 2. ALL BARRIERS AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE. ON FLOW OF 100 CFS OR MORE, THE SILT FENCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRAPPING OF FLOW OR FLOW OF 100 CFS OR MORE.
 4. THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRAPPING OF FLOW OR FLOW OF 100 CFS OR MORE.
 5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR AS CONDITIONS DEMAND).
 6. OUTFALL STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
 7. SEE LANDSCAPE PLAN BY OTHERS FOR TREE REMOVAL AND PROTECTION.

I CERTIFY THAT THE PERMITTEE'S EROSION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF SILT MANAGEMENT PRACTICES REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNING AGENCIES MOST CURRENT REQUIREMENTS. ALSO THAT THE PLAN PROVIDES FOR THE ADEQUATE MAINTENANCE NOTIFICATIONS OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL PERMIT. ALSO CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION.

GARY R. LEVENGOOD, P.E.
P.E. CERT. NO. 94185 DATE: _____



SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEPT	OCT	NOV	DEC
TEMPORARY CONSTRUCTION EXITS												
TEMPORARY CONTROL MEASURES												
SEDIMENT CONTROL BASINS												
STRIP & STOCKPILE TOPSOIL												
ROUGH GRADE												
STORE FACILITIES												
SITE CONSTRUCTION												
PERMANENT CONTROL STRUCTURES												
DEMOLITION/BUILDING CONSTRUCTION												
FINISH GRADING												
LANDSCAPING/RESEED/STABILIZATION												

PROJECT DATUM: NGVD '29

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

Always call 811 one full business days before you dig to have underground utilities located and marked.



CONTRACTOR TO REFER TO THE HOME DEPOT SPECIFICATIONS WHERE MORE STRINGENT THAN AGENCY HAVING JURISDICTION, THE HOME DEPOT SPECIFICATIONS SHALL BE FOLLOWED.

No.	REVISIONS	DATE
	BID SET	02/19/26 SRL

Kimley Horn
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1700 8TH STREET, SUITE 200, OCALA, FL 34771
WWW.KIMLEY-HORN.COM, REGISTRATION NO. 35106

Kimley Horn
GARY R. LEVENGOOD, P.E.
FLORIDA LICENSE NUMBER 94185
DRAWN BY KEB
CHECKED BY PVE

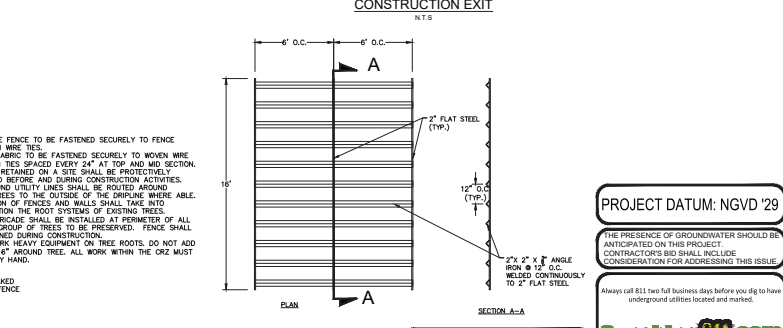
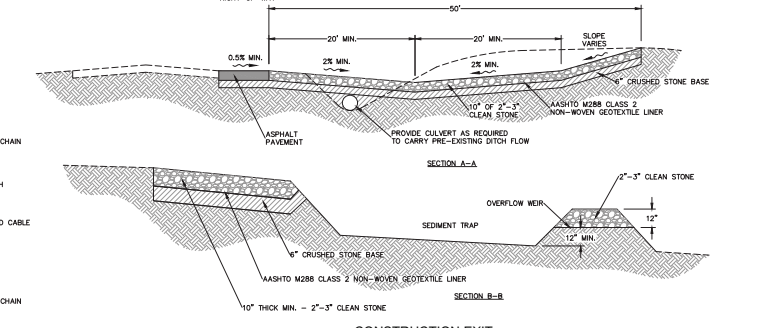
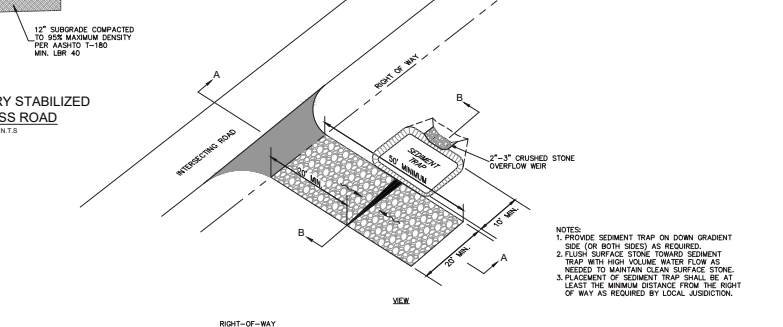
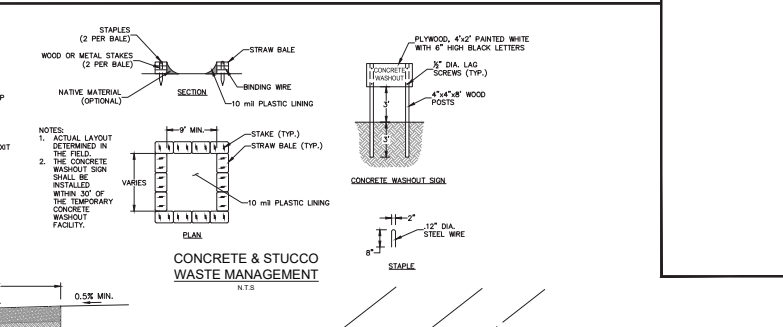
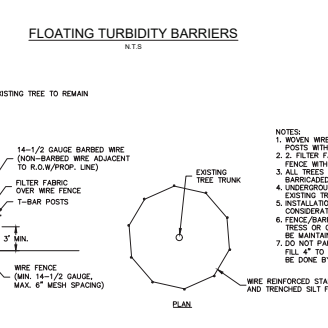
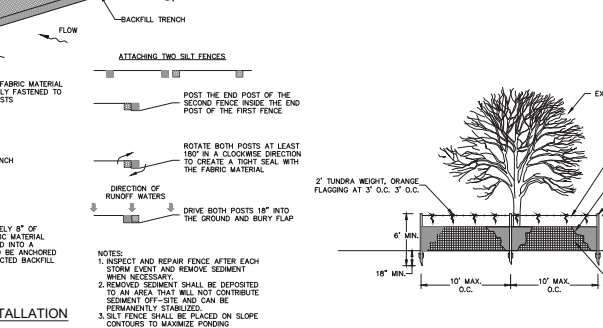
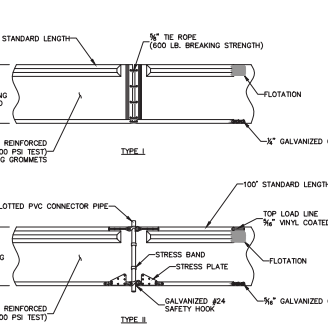
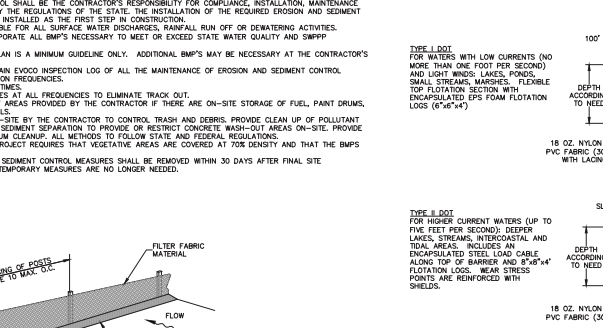
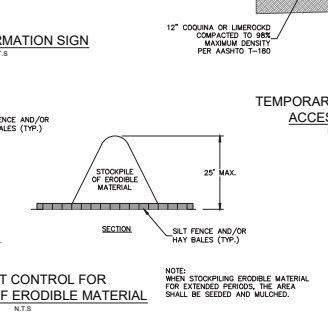
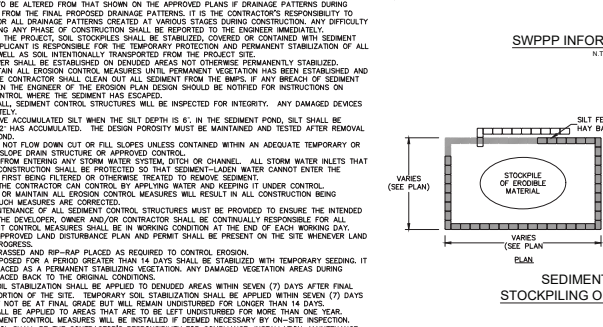
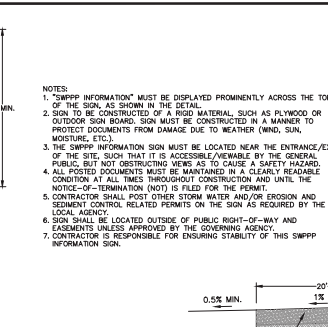
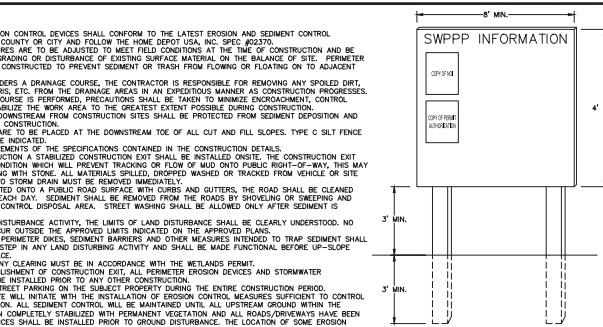
STORMWATER POLLUTION PREVENTION PLAN PHASE I

OCALA #0000 MAJOR SITE PLAN PREPARED FOR THE HOME DEPOT MARION COUNTY FLORIDA

SHEET NUMBER C-004

EROSION CONTROL NOTES:

1. ALL EROSION AND SEDIMENTATION CONTROL DEVICES SHALL CONFORM TO THE LATEST EROSION AND SEDIMENT CONTROL REGULATIONS FOR THE STATE, COUNTY OR CITY AND FOLLOW THE HOME DEPOT USA, INC. SPEC. #0320.
2. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
3. WHEN ANY CONSTRUCTION BORDERS A DRAINAGE COURSE, THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY SPOILED DIRT, CONSTRUCTION TRASH OR DEBRIS, ETC. FROM THE DRAINAGE AREAS IN AN EXPEDITIOUS MANNER AS CONSTRUCTION PROGRESSES.
4. WHEN WORK IN A LIVE WADWAY OR CHANNEL, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONSTRUCTION, SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION.
5. PERIMETER SEDIMENT BARRIERS ON DOWNSTREAM SITES SHALL BE PROTECTED FROM SEDIMENT EROSION AND CONSTRUCTION AND AT ALL TIMES DURING CONSTRUCTION.
6. EROSION CONTROL BARRIERS ARE TO BE PLACED AT THE DOWNSTREAM TOE OF ALL CUT AND FILL SLOPES. TYPE C SILT FENCE TO BE USED UNLESS OTHERWISE INDICATED.
7. SILT FENCE MUST MEET THE SPECIFICATIONS CONTAINED IN THE CONSTRUCTION DETAILS.
8. PRIOR TO ANY OTHER CONSTRUCTION A STABILIZED CONSTRUCTION EXIT SHALL BE INSTALLED ON-SITE. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT ANY PUBLIC HIGHWAY FROM BEING CLOSURED. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLE OR SITE ONTO PUBLIC ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED FROM THE ROADS BY SHOULDER OR SWEEPING.
9. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOULDER OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.
10. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY UNDERSTOOD. NO LAND DISTURBANCE SHALL BE DONE OUTSIDE THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.
11. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UP-SLOPE LAND DISTURBANCE TAKES PLACE.
12. IF NO LAND EXIST ON-SITE ANY CLEARING MUST BE IN ACCORDANCE WITH THE METADONS PERMIT.
13. IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION EXIT, ALL PERIMETER EROSION DEVICES AND STORMWATER MANAGEMENT DEVICES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
14. PROVIDE AND MAINTAIN OFF-STREET PARKING ON THE SUBJECT PROPERTY THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.
15. THE CONSTRUCTION OF THE SITE WILL INITIATE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVEWAYS HAVE BEEN PAVED. EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GROUND DISTURBANCE. THE LOCATION OF SOME EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
16. DURING THE CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
17. A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DISTURBED AREAS PERMANENTLY ESTABLISHED.
18. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED AND THE PAVING IS COMPLETED. THE CONTRACTOR SHALL CLEAN UP ALL SEDIMENT FROM THE BMP'S. IF ANY BREAK OF SEDIMENT IS RELEASED DOWNSTREAM THEN THE ENGINEER OF THE EROSION PLAN DESIGN SHOULD BE NOTIFIED FOR INSTRUCTIONS ON RESTORATION MEASURES. WHERE THE SEDIMENT HAS ESCAPED.
19. AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
20. THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN THE SILT DEPTH IS 6" IN THE SEDIMENT POND, SILT SHALL BE REMOVED WHEN A DEPTH OF 12" HAS ACCUMULATED. THE DESIGN PROVISIONS MUST BE MAINTAINED AND TESTED AFTER REMOVAL OF SILT IN ANY PERMANENT POND.
21. CONCENTRATED FLOW SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITH AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME, SLUICE, DRAIN STRUCTURE OR APPROVED CONTROL.
22. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM DRAIN OR CHANNEL. ALL STORM WATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONFORMANCE SYSTEM WITHOUT FIRST BEING TREATED TO REMOVE SEDIMENT.
23. DUST IS A POLLUTANT WHICH THE CONTRACTOR CAN CONTROL BY APPLYING WATER AND KEEPING IT UNDER CONTROL.
24. FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED.
25. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE THE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
26. A COPY OF THE SWPPP AND APPROVED LAND DISTURBANCE PLAN AND POINT SHALL BE PRESENT ON THE SITE THROUGHOUT LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
27. ALL OPEN SLOPES MUST BE GRAZED AND RIP-RAP PLACED AS REQUIRED TO CONTROL EROSION.
28. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING. IT IS PREFERRED THAT SOIL IS PLACED AS A PERMANENT STABILIZING VEGETATION. ANY DAMAGED VEGETATION AREAS DURING CONSTRUCTION SHALL BE REPLACED BACK TO THE ORIGINAL CONDITIONS.
29. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DISTURBED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO UNDISTURBED AREAS THAT MAY NOT BE AT FINAL GRADE BUT ARE UNDESIRABLE FOR LONGER THAN 14 DAYS.
30. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
31. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED AS DEEMED NECESSARY BY THE ENGINEER.
32. EROSION AND SEDIMENT CONTROL SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR COMPLIANCE, INSTALLATION, MAINTENANCE AND REMOVAL AS REQUIRED BY THE REGULATIONS OF THE STATE OF FLORIDA, FEDERAL, LOCAL, AND FEDERAL REGULATIONS.
33. THE CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES RAINFALL RUN OFF OR FLOWERING ACTIVITIES.
34. THE CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
35. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT THE CONTRACTOR'S EXPENSE.
36. THE CONTRACTOR IS TO MAINTAIN EVOCC INSPECTION LOG OF ALL THE MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES ON THE AGREED UPON FREQUENCIES.
37. MAINTAIN A BANK LOG AT ALL TIMES.
38. THERE SHALL BE CONTAINMENT AREAS PROVIDED BY THE CONTRACTOR IF THERE ARE ON-SITE STORAGE OF FUEL, PAINT DRUMS, AND POLLUTANT TYPICAL MATERIALS.
39. MAINTAIN A BANK LOG AT ALL TIMES.
40. THERE SHALL BE CONTAINMENT AREAS PROVIDED BY THE CONTRACTOR TO PREVENT POLLUTANT SPILLS, USE FILTER BAGS FOR SEDIMENT SEPARATION TO PROVIDE OR RESTRICT CONCRETE WASH-OUT AREAS ON-SITE. PROVIDE SILENT CLEAN UP METHODS FOR ALL MATERIALS TO FOLLOW STATE AND FEDERAL REGULATIONS.
41. FINAL STABILIZATION OF THE PROJECT REQUIRES THAT VEGETATIVE AREAS ARE COVERED AT 70% DENSITY AND THAT THE BMP'S HAVE BEEN REMOVED.
42. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
43. NOI TO BE POSTED ON SITE.



NO.	REVISIONS	DATE	BY

Kimley-Horn
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 1700 8TH STREET, SUITE 200, OCALA, FL 34701
 WWW.KIMLEY-HORN.COM REGISTRATION NO. 35106

PROJECT NO. 24-0000
 DATE: APRIL 2024
 SCALE: AS SHOWN
 DESIGNED BY: KE
 DRAWN BY: KE
 CHECKED BY: PVP

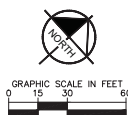
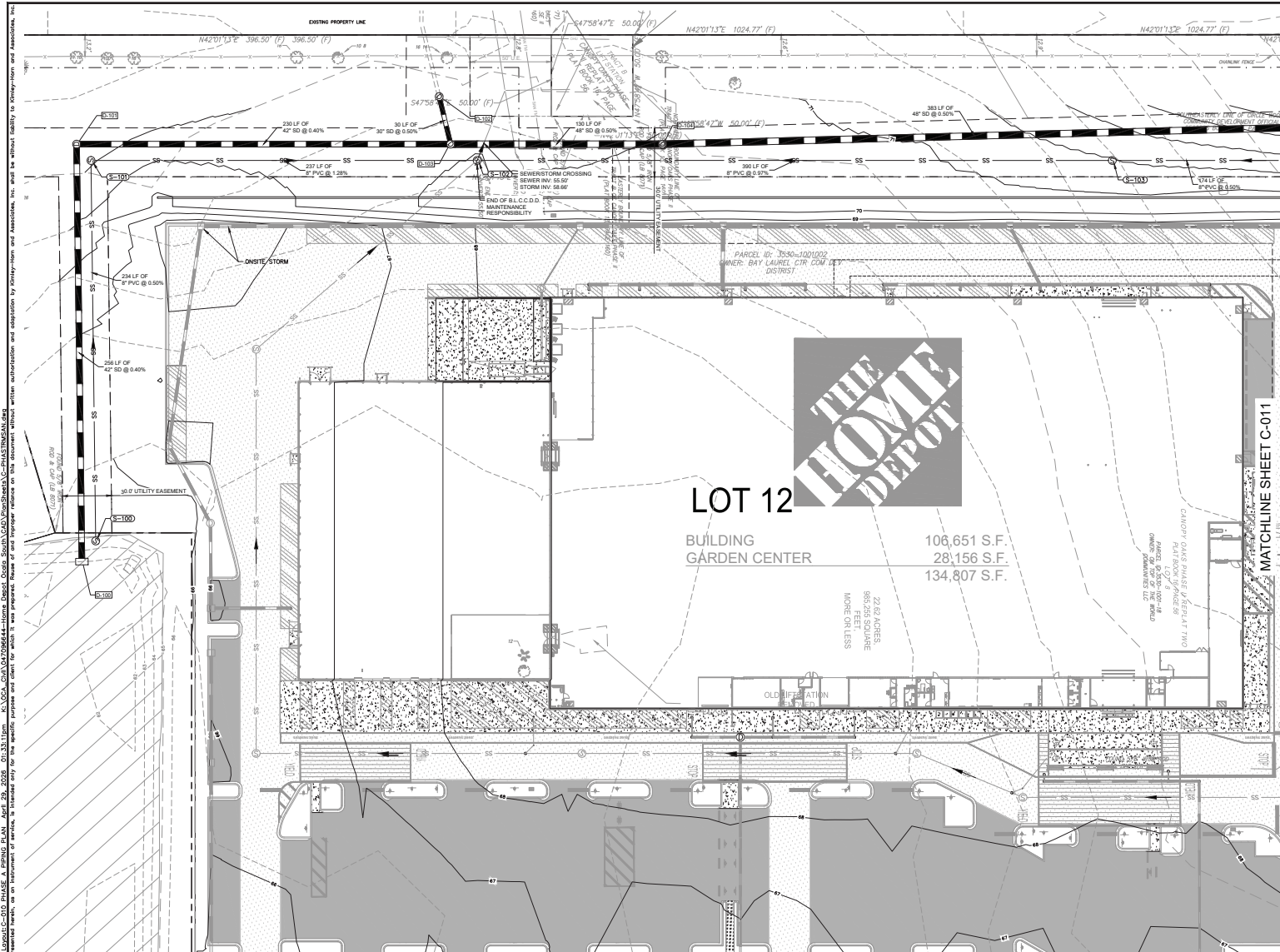
OCALA #0000
 PREPARED FOR
MAJOR SITE PLAN
 THE HOME DEPOT
 MARION COUNTY
 FLORIDA

EROSION CONTROL DETAILS

PROJECT DATUM: NGVD '29

Always call 811 two full business days before you dig to have underground utilities located and marked.

SHEET NUMBER
C-008



STRUCTURE NAME	DETAILS	STRUCTURE NAME	DETAILS				
D-100	TYPE H STRUCTURE (2 GRATE) PER FOOT STD PLAN 425-02 RM 64.00 INV OUT: 60.70 (NW)	S-100	MH RM 64.00 INV OUT: 59.00 (NW)				
D-101	8 DIA TYPE J-BOTTOM MANHOLE PER FOOT STD PLAN 425-01 425-010 RM 70.59 INV OUT: 59.67 (NE)	S-101	MH RM 70.26 INV IN: 58.73 (SE) INV OUT: 58.03 (NW)				
D-102	8 DIA TYPE J-BOTTOM MANHOLE PER FOOT STD PLAN 425-01 425-010 RM 69.57 INV OUT: 59.00 (SE)	S-102	SSMH RM 70.07 INV IN: 55.60 (S) INV IN: 55.60 (NE) INV OUT: 55.50 (NW)				
D-103	8 DIA TYPE J-BOTTOM MANHOLE PER FOOT STD PLAN 425-01 425-010 RM 69.79 INV IN: 58.75 (SW) INV OUT: 58.75 (NE)	S-103	MH RM 71.92 INV IN: 59.50 (NE) INV OUT: 59.40 (SW)				
D-104	8 DIA TYPE J-BOTTOM MANHOLE PER FOOT STD PLAN 425-01 425-010 RM 70.13 INV IN: 59.10 (SW) INV OUT: 58.10 (NE)	S-104	MH RM 76.51 INV OUT: 60.36 (SW)				
D-105	8 DIA TYPE J-BOTTOM MANHOLE PER FOOT STD PLAN 425-01 425-010 RM 70.49 INV IN: 59.19 (SW) INV OUT: 58.90 (NE)	<table border="1"> <thead> <tr> <th>STRUCTURE NAME</th> <th>DETAILS</th> </tr> </thead> <tbody> <tr> <td>D-108</td> <td>48" MS INV IN: 52.36 (W)</td> </tr> </tbody> </table>		STRUCTURE NAME	DETAILS	D-108	48" MS INV IN: 52.36 (W)
STRUCTURE NAME	DETAILS						
D-108	48" MS INV IN: 52.36 (W)						
D-106	8 DIA TYPE J-BOTTOM MANHOLE PER FOOT STD PLAN 425-01 425-010 RM 70.17 INV IN: 54.17 (SW) INV OUT: 52.07 (NE)						
D-107	8 DIA TYPE J-BOTTOM MANHOLE PER FOOT STD PLAN 425-01 425-010 RM 67.47 INV IN: 52.89 (SW) INV OUT: 52.82 (S)						

LEGEND	
	PROPOSED FORCE MAIN
	PROPOSED SANITARY SEWER
	PROPOSED FIRE MAIN
	PROPOSED DOMESTIC WATER SERVICE
	PROPOSED GAS SERVICE
	PROPOSED ELECTRIC SERVICE
	PROPOSED TELEPHONE/GATE SERVICE
	PROPOSED IRRIGATION LINE
	PROPOSED UTILITY (GEM)
	EXISTING FORCE MAIN
	EXISTING WATER MAIN
	EXISTING GAS SERVICE
	EXISTING OVERHEAD WIRE
	EXISTING TELEPHONE SERVICE
	EXISTING FIBER OPTIC LINE
	PROPOSED HAND HOLE
	PROPOSED LIGHT POLES
	PROPOSED DRAINAGE PIPE
	PROPOSED UTILITY CROSSING CALLOUT. SEE CROSSING INFORMATION THIS SHEET

PAVING AND GRADING NOTES

1. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY JCH CONSULTING GROUP. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR RECORD.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO OBTAIN THE EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RE-CHECK ALL EXISTING UTILITIES WHICH CONTACT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
4. ALL MATERIALS AND CONSTRUCTION WITHIN THE FOOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST FOOT DESIGN STANDARDS AND LATEST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
5. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE SPECIFICATIONS AND LOCAL JURISDICTIONAL AGENCY. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
6. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ACHIEVE A SMOOTH AND CONTIGUOUS GRADE.
7. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
8. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
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10. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW-CUT THE FULL DEPTH OF EXISTING PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
11. ELEVATIONS SHOWN AT CURB LINE ARE EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
12. CONTRACTOR SHALL EXCAVATE EXISTING PAVEMENT/SIDEWALK AREAS THAT ARE TO BE LANDSCAPED A MINIMUM OF 8" OR AS DEEP AS NECESSARY TO ENSURE ALL STONE BASE / PAVEMENT MATERIAL IS REMOVED (WHICHEVER IS GREATER) AND BACKFILL WITH CLEAN, DRAINING SAND TO WITHIN 4" OF TOP OF CURB TO ENSURE PROPER SOIL FOR PLANT MATERIAL.
13. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT OVER-COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY SOULCES OF A LEGAL MANNER.
14. ALL CUT OR FILL SLOPES SHALL BE AN 1V OR FLATTER UNLESS OTHERWISE NOTED.
15. ALL UNSURFACED AREAS EXISTING IN GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1 V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
16. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL RE-GRASS WASHPITS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
17. LANDSCAPE ISLANDS IN PARKING AREA TO BE SERVED 15' ABOVE BACK OF CURB ELEVATION.
18. FLOOD ZONE "X" AN AREA OF REDUCED FLOOD HAZARD, AND FLOOD ZONE "AE" AN AREA WITHIN THE 100 YEARS FLOOD HAZARD PER THE FLOOD INSURANCE RATE MAP 12060306E EFFECTIVE APRIL 19, 2017.
19. ADA PATH NOT TO EXCEED 3% RUNNING SLOPE, 2% CROSS SLOPE AT ANY POINT.
20. SEE SHEET C-105 FOR STRUCTURE S-100 DETAILS.

PAVING HATCH LEGEND

- AREA OF EXISTING CONCRETE
- AREA OF NEW REGULAR DUTY CONCRETE PAVEMENT (SEE DETAIL ON SHT C-105)
- CONCRETE PAVING PER ARCHITECTURAL PLANS BY OTHERS
- AREA OF NEW HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL ON SHT C-105)
- AREA OF NEW REGULAR DUTY ASPHALT PAVEMENT (SEE DETAIL ON SHT C-105)

PROJECT DATUM: NGVD '29

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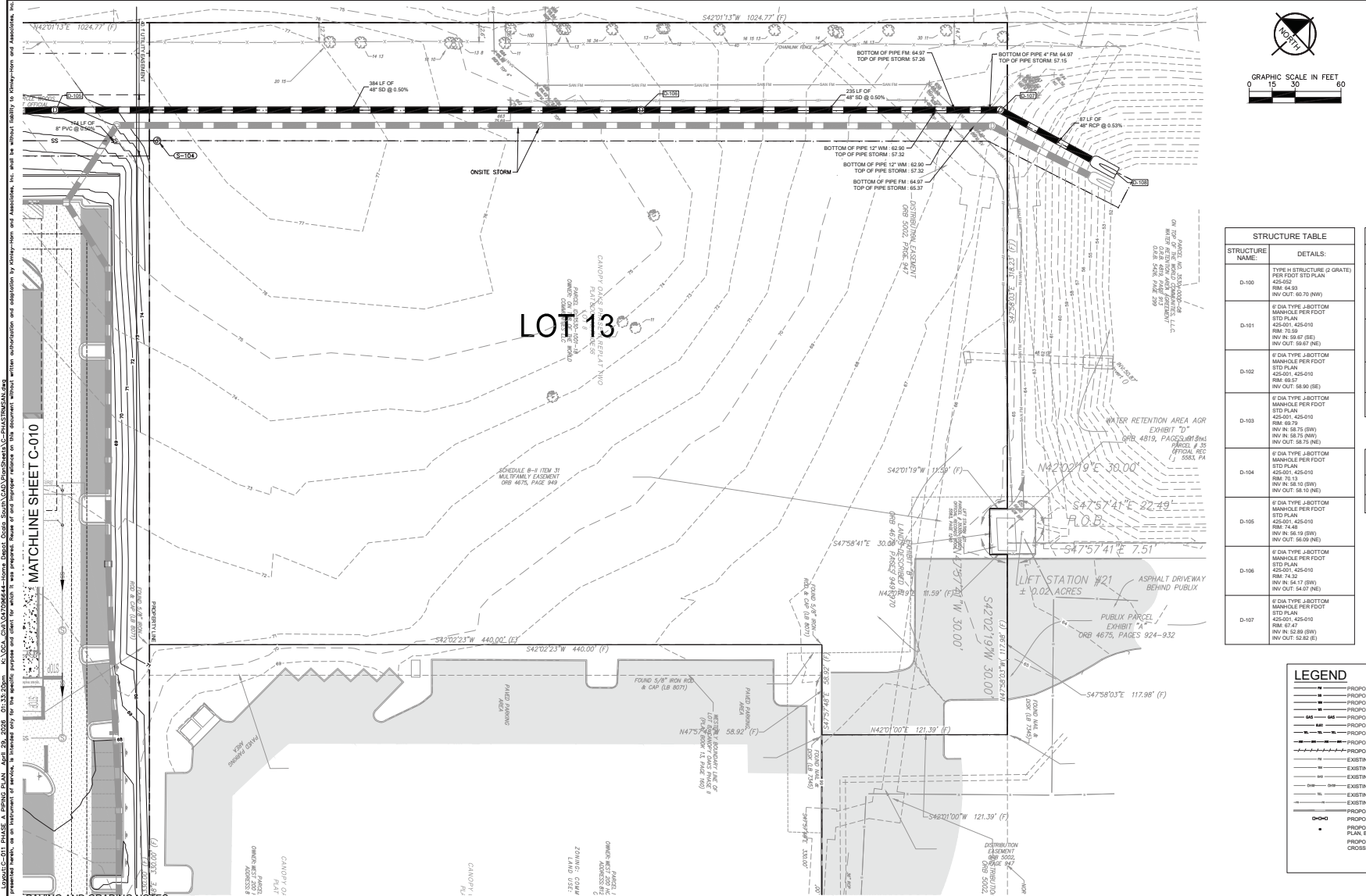
No.	REVISIONS	DATE	BY

Kimley Horn
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 1700 8TH STREET, SUITE 200, OCALA, FL 34771
 WWW.KIMLEY-HORN.COM, REGISTRATION NO. 35106

PROJECT: OCALA #0000
 DATE: APRIL 2026
 SCALE: AS SHOWN
 DESIGNED BY: KEB
 DRAWN BY: PWE
 CHECKED BY: PWE
 PROJECT MANAGER: GARY R. LEVENDORF, P.E.
 FLORIDA LICENSE NUMBER: 94185

PHASE A PIPING PLAN

OCALA #0000
 PREPARED FOR:
THE HOME DEPOT
 MARION COUNTY
 FLORIDA
 SHEET NUMBER
C-010



STRUCTURE NAME	DETAILS
D-100	TYPE H STRUCTURE (2 GRATE) PER FOOT STD PLAN 425-02 RIM 64.00 INV OUT: 59.00 (NW) INV OUT: 60.70 (NW)
D-101	6 DIA TYPE J-BOTTOM MANHOLE PER FOOT STD PLAN 425-01, 425-01 RIM 70.20 INV IN: 59.67 (NE) INV OUT: 59.67 (NE)
D-102	6 DIA TYPE J-BOTTOM MANHOLE PER FOOT STD PLAN 425-01, 425-01 RIM 69.57 INV IN: 59.67 (NE) INV OUT: 59.67 (NE)
D-103	6 DIA TYPE J-BOTTOM MANHOLE PER FOOT STD PLAN 425-01, 425-01 RIM 68.75 INV IN: 58.75 (SW) INV IN: 58.75 (SW) INV OUT: 58.75 (NE)
D-104	6 DIA TYPE J-BOTTOM MANHOLE PER FOOT STD PLAN 425-01, 425-01 RIM 71.12 INV IN: 59.50 (NE) INV OUT: 59.50 (NE)
D-105	6 DIA TYPE J-BOTTOM MANHOLE PER FOOT STD PLAN 425-01, 425-01 RIM 68.75 INV IN: 58.19 (SW) INV OUT: 58.19 (NE)
D-106	6 DIA TYPE J-BOTTOM MANHOLE PER FOOT STD PLAN 425-01, 425-01 RIM 65.47 INV IN: 54.17 (SW) INV OUT: 52.82 (S)
D-107	6 DIA TYPE J-BOTTOM MANHOLE PER FOOT STD PLAN 425-01, 425-01 RIM 65.47 INV IN: 52.89 (SW) INV OUT: 52.82 (S)

STRUCTURE NAME	DETAILS
S-100	MH RIM 64.00 INV OUT: 59.00 (NW)
S-101	MH RIM 70.20 INV IN: 58.73 (SE) INV OUT: 58.83 (SE)
S-102	SSMH RIM 70.07 INV IN: 55.60 (S) INV IN: 55.60 (NE) INV OUT: 55.50 (NW)
S-103	MH RIM 71.92 INV IN: 59.50 (NE) INV OUT: 59.40 (SW)
S-104	MH RIM 76.51 INV OUT: 60.36 (SW)

STRUCTURE NAME	DETAILS
D-108	48" RIM INV IN: 52.36 (W)

LEGEND

- PROPOSED FORCE MAIN
- PROPOSED SANITARY SEWER
- PROPOSED FIRE MAIN
- PROPOSED DOMESTIC WATER SERVICE
- PROPOSED GAS SERVICE
- PROPOSED ELECTRIC SERVICE
- PROPOSED TELEPHONE/GATA SERVICE
- PROPOSED IRRIGATION LINE
- PROPOSED UTILITY DEMO
- EXISTING FORCE MAIN
- EXISTING WATER MAIN
- EXISTING GAS SERVICE
- EXISTING OVERHEAD WIRE
- EXISTING TELEPHONE SERVICE
- EXISTING FIBER OPTIC LINE
- PROPOSED DRAINAGE PIPE
- PROPOSED LIGHT POLES
- PROPOSED HAND HOLE, SEE ELECTRICAL SITE PLAN BY OTHERS
- PROPOSED UTILITY CROSSING CALLOUT, SEE CROSSING INFORMATION THIS SHEET

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- AREA OF EXISTING CONCRETE
- AREA OF NEW REGULAR DUTY CONCRETE PAVEMENT (SEE DETAIL ON SHT C-105)
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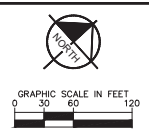
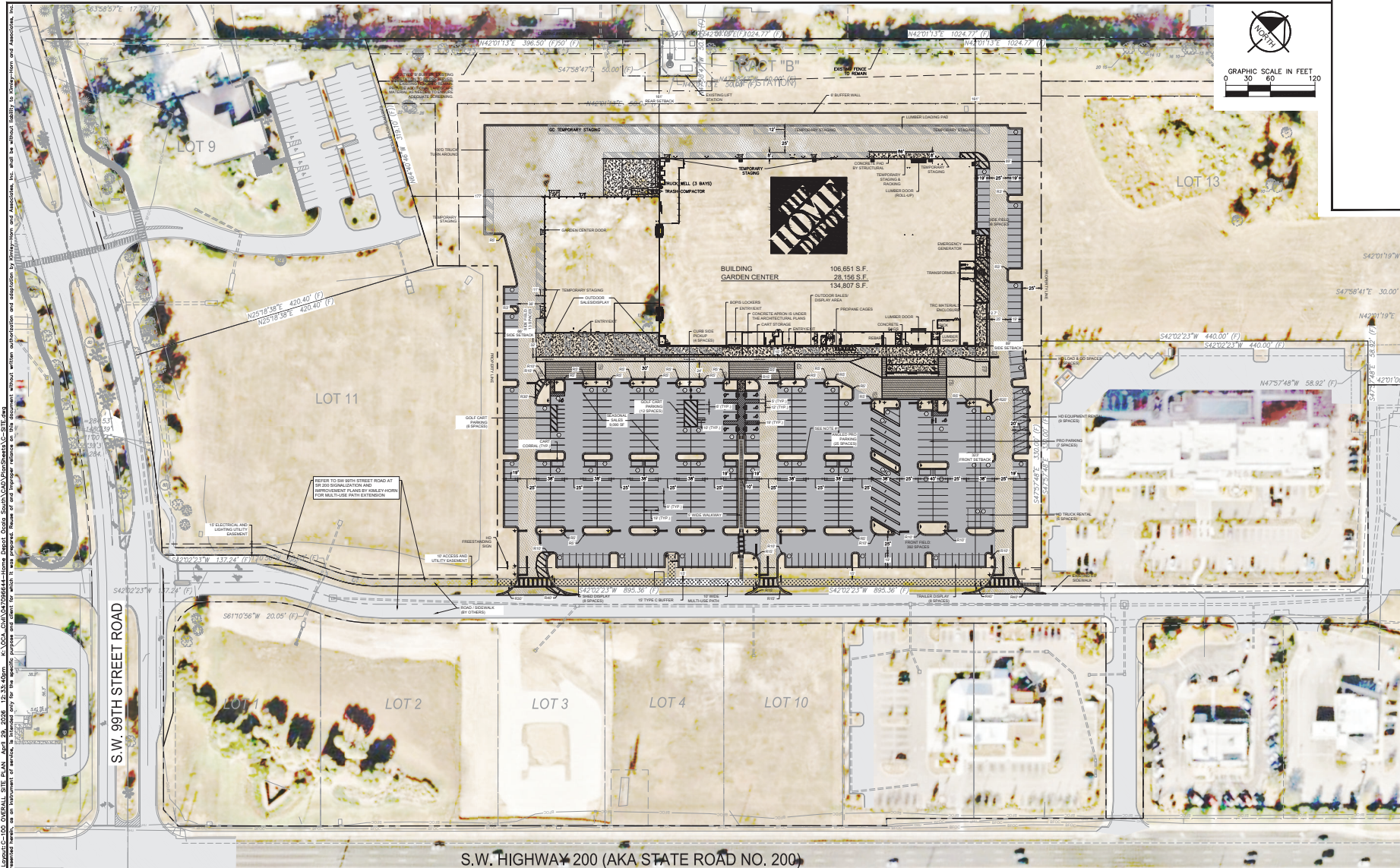
Kimley»Horn
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 1700 SE 17TH STREET, SUITE 200, OCALA, FL 34747
 WWW.KIMLEY-HORN.COM REGISTRATION NO. 35106

GARY R. LEVENDOFF, P.E.
 FLORIDA LICENSE NUMBER 94185
 DRAWN BY: KEJ
 CHECKED BY: PVE

PHASE A PIPING PLAN

OCALA #0000
 MAJOR SITE PLAN
 PREPARED FOR
THE HOME DEPOT
 MARION COUNTY, FLORIDA

SHEET NUMBER **C-011**



S.W. HIGHWAY 200 (AKA STATE ROAD NO. 200)

SITE AREA	
THE HOME DEPOT PARCEL	13.25 AC 577,208 SF
PRINTED IMPERVIOUS AREA	10.80 AC 465,706 SF (80%)
PERMITTED PERVIOUS AREA	2.66 AC 115,442 SF (20%)
PROPOSED IMPERVIOUS AREA	
PROPOSED IMPERVIOUS AREA	9.47 AC 407,482 (72%)
PROPOSED PERVIOUS AREA	3.73 AC 152,478 (28%)
BUILDING AREA	
THE HOME DEPOT	106,651 SF
GARDEN CENTER	28,156 SF
TOTAL THIS AREA	134,807 SF
PARKING REQUIRED	
THE HOME DEPOT	1,300 SF 369 STALLS
GARDEN CENTER	1,300 SF 369 STALLS
ADA PARKING SPACES	18 STALLS
TOTAL THIS AREA	415 STALLS
PARKING PROVIDED	
FRONT FIELD	300 STALLS
REAR FIELD	21 STALLS
TOTAL THIS PARKING	421 STALLS

INCLUDED IN PARKING PROVIDED	
ADA SPACES	18 STALLS
PRO PARKING	28 STALLS
VETERANS PARKING	2 STALLS
CURBSIDE PICKUP	4 STALLS
ADA CURB STALLS	18 STALLS
LOAD/UNLOAD	2 STALLS
THE TRUCK CENTER	9 STALLS
THE EQUIPMENT RENTAL	9 STALLS
SEASONAL SALES AREA	40 STALLS
NOT INCLUDED IN PARKING PROVIDED	
TRAILER DISPLAY	8 STALLS
SHOW DISPLAY	8 STALLS
CASH CORRAL	13 STALLS
ADDITIONAL PARKING NOT INCLUDED	28 STALLS
TOTAL THIS PARKING PROVIDED	485 STALLS

ZONING DATA		
TERRITORY DESIGNATION	3033-A01-08	
JURISDICTION	MARION COUNTY	
FUTURE ZONING	PUD (PRELIMINARY ZONING)	
FUTURE LAND USE CLASSIFICATION	CIRCLE SQUARE WOODS V08R1	
THIS USE PERMITTED BY RIGHT	YES	
OUTDOOR STORAGE/DISPLAY PERMITTED BY RIGHT	NO SUP (PENDING)	
BULK REGULATIONS		
FRONT SETBACK (BUILDING)	REQUIRE	PROPOSED
MINIMUM SIDE RETRACK (BUILDING)	10'	60'
MINIMUM REAR SETBACK (BUILDING)	20'	30'
LANDSCAPE BUFFER FRONTAGE	20'	30'
LANDSCAPE FRONTIER BUFFER (SIDE & REAR)	0' SIDE, 20' REAR	0' SIDE, 20' REAR
MINIMUM IMPERVIOUS SURFACE RATIO (B1)	N/A	0.71
MAXIMUM FLOOR AREA RATIO	0.14 MAX	0.23
MAXIMUM BUILDING HEIGHT	57'	33'

- GENERAL NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED. ALL RADIIUS NOT DIMENSIONED ARE 3'.
 - ALL SIDEWALKS SHALL HAVE A 2% MAX CROSS SLOPE AND 0.5% MAX LONGITUDINAL SLOPE.
 - ALL SIDEWALK RAMP SHALL HAVE A 4" RISE AT 1:12 MAX. REFER TO GRADING PLAN AND UTILITY PLAN FOR UNDERGROUND UTILITIES.
 - PARKING STRIPING TO BE ALKYD-READY MIXED RAPID DRYING TRAFFIC PAVEMENT STRIPING. DRY FILM THICKNESS (DFT) SHALL BE A TOTAL OF 9 MILS APPLIED IN TWO COATS PER HOME DEPOT STANDARD CRITERIA.

- PAVING HATCH LEGEND**
- AREA OF EXISTING CONCRETE
 - AREA OF NEW REGULAR DUTY CONCRETE PAVEMENT (SEE DETAIL ON SHT C-105)
 - CONCRETE PAVING PER ARCHITECTURAL PLANS BY OTHERS
 - AREA OF NEW HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL ON SHT C-105)
 - AREA OF NEW REGULAR DUTY ASPHALT PAVEMENT (SEE DETAIL ON SHT C-105)
 - AREA OF MULTISELVE TRAIL (SEE DETAIL ON SHT C-105)

- OUTDOOR STORAGE**
- DESIGNATED AREA OF OUTDOOR STORAGE AND/OR SALES NOT A PAVEMENT MARKING
- STRIPING COLOR LEGEND**
- | ITEM | COLOR |
|--|-------------------------|
| PARKING STALL | WHITE |
| LETTERING "NO PARKING" | RED |
| LETTERING "COMPACT" | YELLOW |
| LETTERING "RESERVED" | WHITE |
| "STOP" AND "YIELD" LEGENDS | BLUE WITH WHITE SYMBOLS |
| ACCESSIBILITY SYMBOL | BLUE |
| ACCESSIBILITY LOADING ZONE | YELLOW |
| DIRECTIONAL SIGNAGE CENTER LINE STRIPING | YELLOW |
| PERVIOUS PAVEMENT | GREEN |

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OCALA #0000 MAJOR SITE PLAN

PREPARED FOR THE HOME DEPOT

FLORIDA

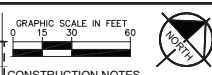
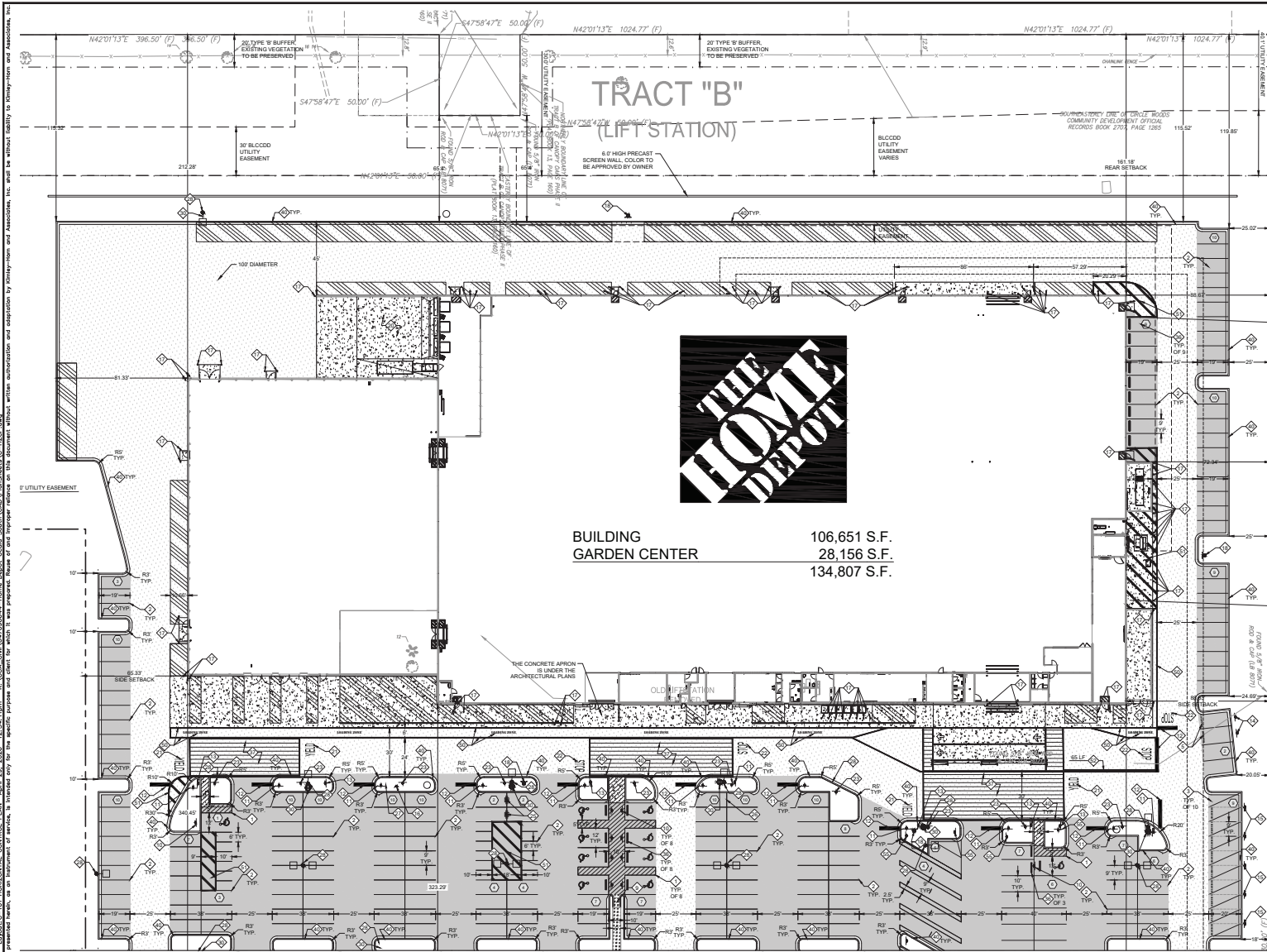
Kimley Horn

GARY R. LEVENDOFF, P.E.
FLORIDA LICENSE NUMBER 94185

DATE: APRIL 2026
SCALE: AS SHOWN
DESIGNED BY: KEB
DRAWN BY: KEB
CHECKED BY: P.W.F.

NO. _____
REV. _____
DATE: 02/19/26
BY: _____

SHEET NUMBER C-100



CONSTRUCTION NOTES

- PROPOSED ACCESSIBLE PARKING SPACE. SEE ACCESSIBLE PAVEMENT MARKINGS ON SHEET C-104.
- INSTALL 4" WHITE SOLID 90° PARKING STRIPE. SEE GENERAL NOTE #5, THIS SHEET.
- INSTALL YELLOW "RESERVED" PARKING SPACE MARKING. SEE GENERAL NOTE #5, THIS SHEET AND DETAIL ON SHEET C-104.
- NOT USED
- INSTALL WHITE "LOAD N GO" PARKING SPACE MARKING. SEE GENERAL NOTE #5, THIS SHEET AND DETAIL ON SHEET C-104.
- INSTALL WHITE "CURBSIDE PICKUP" PARKING SPACE MARKING. SEE GENERAL NOTE #5, THIS SHEET.
- CONSTRUCT 6" VERTICAL CURB TYPE 1/2 PER FOOT STD DET 520-01.
- MATCH EXISTING.
- PROVIDE ADA SIDEWALK RAMP PER FOOT STD DET 520-02.
- INSTALL FTP-21-06 & FTP-20-06 ACCESSIBLE PARKING SIGNS. SEE DETAIL ON SHEET C-104.
- INSTALL R1-1 STOP SIGN. SEE DETAIL ON SHEET C-104.
- INSTALL 24" WIDE WHITE STOP BAR, 2 COATS MIN.
- INSTALL W11-2 PEDESTRIAN CROSSING SIGN. SEE DETAIL ON THIS SHEET.
- INSTALL LOAD-N-GO SIGN WITH BOLLARD. PER THE HOME DEPOT STANDARD. SEE DETAIL ON SHEET C-104.
- INSTALL RENTAL EQUIPMENT SIGN WITH BOLLARD. PER THE HOME DEPOT STANDARD. SEE DETAIL ON SHEET C-104.
- INSTALL YARD HYDRANT. SEE DETAIL ON SHEET C-105.
- PROPOSED PROTECTED BOLLARD. SEE ARCHITECTURAL PLANS BY OTHERS.
- PROPOSED FIRE HYDRANT ASSEMBLY.
- PROPOSED FDC. SEE UTILITY PLAN SHEET C-300.
- PROPOSED TRUCK WELL. REFER TO ARCHITECT PLANS.
- INSTALL 6" TALL PAINTED LETTERING WITH THE TEXT "YIELD" FOR THE PEDESTRIAN CROSSING. COLOR PER STRIPING LEGEND.
- INSTALL 6" TALL PAINTED LETTERING WITH THE TEXT "STOP" FOR THE PEDESTRIAN CROSSING. COLOR PER STRIPING LEGEND.
- INSTALL R30 NO PARKING FIRE-LINE SIGN TO BE PLACED EVERY 60' ALONG FRONTAGE. SEE DETAIL ON THIS SHEET.
- CART CORRAL BY OWNER.
- INSTALL CURBSIDE PICKUP SIGN WITH BOLLARD - TYPE R. SEE DETAIL ON SHEET C-104.
- INSTALL VETERANS PARKING SIGN WITH BOLLARD. SEE DETAIL ON SHEET C-104.
- INSTALL POWER PEDESTAL IN SEASONAL SALES AREA. SEE ELECTRICAL SITE PLAN BY OTHERS.
- PROPOSED LIGHT POLE. SEE PHOTOMETRIC PLANS BY OTHERS.
- PROPOSED LOW VOLTAGE SUB-STATION 25KVA EQUIPMENT RACK, W/ A DARK GREEN FINISH. SEE MEP PLANS BY OTHERS FOR DETAILS.
- PROPOSED ELECTRICAL HAND HOLE. SEE MEP PLANS BY OTHERS FOR DETAILS.
- SOILS INTERCEPTOR. SEE MEP PLANS BY OTHERS.
- PROPOSED SANITARY SEWER MANHOLE. SEE PLAN SHEET C-300.
- CATCH BASIN/STRUCTURE. REF GRADING AND DRAINAGE PLAN SHEET C-300.
- EXISTING UTILITY POLE TO REMAIN.
- WHITE DIRECTIONAL ARROW. SEE DETAIL ON SHEET C-104.
- INSTALL WHEELSTOP. SEE DETAIL ON SHEET C-105.
- INSTALL CROSSWALK WHITE STRIPE, 4" WIDTH, 3/8" APART. SEE DETAIL ON SHEET C-104.
- PROVIDE TRIANGLED DOMES DETECTABLE WARNING STRIP PER FOOT STD DET 522-02.
- INSTALL SPECIAL EMPHASIS CROSSWALK PER FOOT 711-01.
- CONSTRUCT TYPE 1/2 PER FOOT STD DET 520-01.
- CONSTRUCT VALLEY GUTTER PER FOOT STD DET 520-01.
- CONSTRUCT TYPE 1/2 CURBS PER FOOT STD DET 520-01.
- INSTALL 3/8" TALL PAINTED LETTERING WITH THE TEXT "DO NOT ENTER" IN WHITE.
- INSTALL RS-1 DO NOT ENTER SIGN. SEE DETAIL ON THIS SHEET.
- INSTALL RS-7 KEEP RIGHT SIGN. SEE DETAIL ON THIS SHEET.
- INSTALL RS-1 NO RIGHT TURN SIGN. SEE DETAIL ON THIS SHEET.
- INSTALL RS-6 ONE WAY SIGN. SEE DETAIL ON THIS SHEET.
- INSTALL RS-6R ONE WAY SIGN. SEE DETAIL ON THIS SHEET.
- INSTALL 0M-1 END OF ROAD MARKER.
- INSTALL 6" YELLOW STRIPE WITH "LOADING ZONE" MARKING PER HOME DEPOT STANDARD SPECIFICATIONS.
- 6" WHITE STRIPE WITH 12" WHITE GORE STRIPING.
- INSTALL 6" DOUBLE YELLOW, LENGTH PER PLAN.
- INSTALL 6" WHITE STRIPE, LENGTH PER PLAN.
- INSTALL 6" YELLOW STRIPE WITH 18" GORE STRIPING, 6" O.C.
- INSTALL WHITE "90° PARKING" PARKING SPACE SIGN. SEE THIS SHEET AND DETAIL ON SHEET C-104.



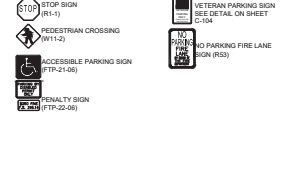
BUILDING GARDEN CENTER
 106,651 S.F.
 28,156 S.F.
 134,807 S.F.

MATCHLINE A-A SEE SHEET C-102

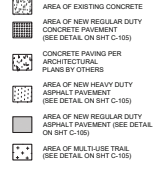
GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL SIDEWALKS SHALL HAVE A 2% MAX CROSS SLOPE AND 0% MAX LONGITUDINAL SLOPE.
3. ALL SIDEWALK RAMPS SHALL HAVE A 6" RISE AT 12" MAX. REFER TO GRADING PLAN AND UTILITY PLAN FOR UNDERGROUND UTILITIES.
4. PARKING STRIPING TO BE ALKYD-READY MIXED RAPID DRYING TRAFFIC PAVEMENT STRIPING, DRY FILM THICKNESS (DFT) SHALL BE A TOTAL OF 8 MILS APPLIED IN TWO COATS PER HOME DEPOT STANDARD CRITERIA.

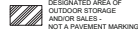
SIGN LEGEND



PAVING HATCH LEGEND



OUTDOOR STORAGE



STRIPING COLOR LEGEND



CONTRACTOR IS TO REFER TO THE HOME DEPOT SPECIFICATIONS WHERE MORE STRINGENT THAN AGENCY HAVING JURISDICTION, THE HOME DEPOT SPECIFICATIONS SHALL BE FOLLOWED.

PROJECT DATUM: NGVD '29

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Always call 811 two full business days before you dig to have underground utilities located and marked.



NO.	REV.	DATE	BY
02/19/26	GR		

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 WWW.KIMLEY-HORN.COM REGISTERED NO. 35106

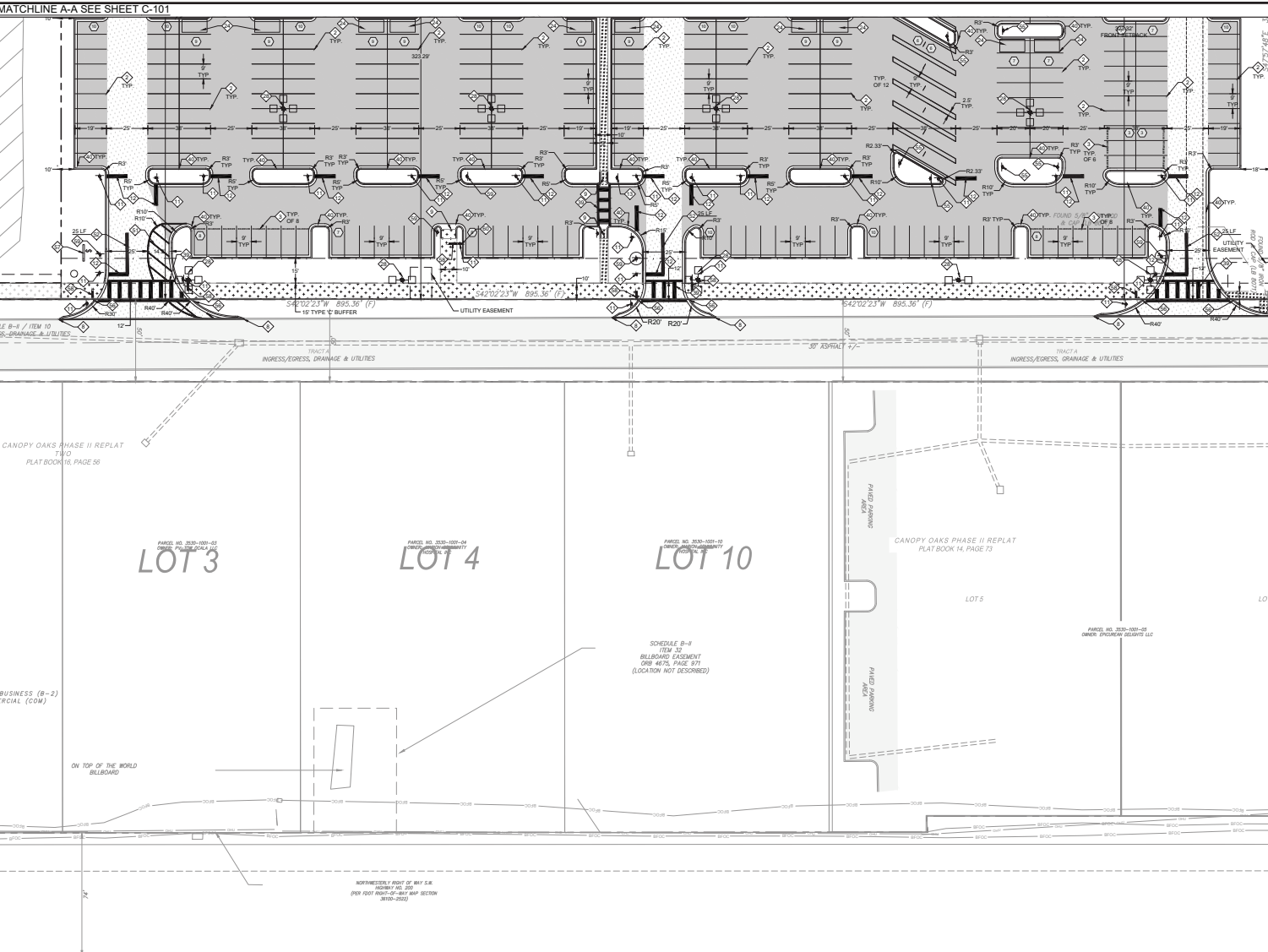
R/K/A PROJECT: 04726B-04
 DATE: APRIL 2026
 SCALE: AS SHOWN
 DESIGNED BY: KEB
 DRAWN BY: KEB
 CHECKED BY: P/W

HORIZONTAL CONTROL PLAN

OCALA #0000
 PREPARED FOR
 THE HOME DEPOT
 FLORIDA
 MARION COUNTY

SHEET NUMBER
C-101

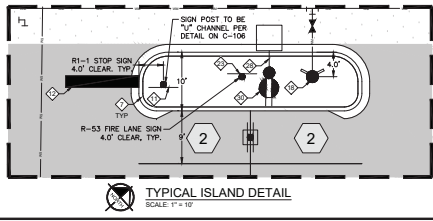
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- GRAPHIC SCALE IN FEET**
0 15 30 60
- CONSTRUCTION NOTES**
- PROPOSED ACCESSIBLE PARKING SPACE. SEE ACCESSIBLE PAVEMENT MARKINGS ON SHEET C-104.
 - INSTALL 4" WHITE SOLID 90° PARKING STRIPE. SEE GENERAL NOTE #5, THIS SHEET.
 - INSTALL YELLOW RESERVED PARKING SPACE MARKING. SEE GENERAL NOTE #5, THIS SHEET AND DETAIL ON SHEET C-104.
 - NOT USED
 - INSTALL WHITE 'LOAD N GO' PARKING SPACE MARKING. SEE GENERAL NOTE #5, THIS SHEET AND DETAIL ON SHEET C-104.
 - INSTALL WHITE 'CURBSIDE PICKUP' PARKING SPACE MARKING. SEE GENERAL NOTE #5, THIS SHEET.
 - CONSTRUCT 6" VERTICAL CURB TYPE 'D' PER FOOT STD DET 520-061.
 - MATCH EXISTING
 - PROVIDE ADA SIDEWALK RAMP PER FOOT STD DET 520-002.
 - INSTALL FTR-21-06 & FTR-26-06 ACCESSIBLE PARKING SIGNS. SEE DETAIL ON SHEET C-104.
 - INSTALL R-11 STOP SIGN. SEE DETAIL ON SHEET C-104.
 - INSTALL 24" WIDE WHITE STOP BAR. 2 COATS MIN.
 - INSTALL W11-2 PEDESTRIAN CROSSING SIGN. SEE DETAIL ON THIS SHEET.
 - INSTALL LOAD-N-GO SIGN WITH BOLLARD. PER THE HOME DEPOT STANDARDS SEE DETAIL ON SHEET C-104.
 - INSTALL RENTAL EQUIPMENT SIGN WITH BOLLARD. PER THE HOME DEPOT STANDARDS SEE DETAIL ON SHEET C-104.
 - INSTALL YARD HYDRANT. SEE DETAIL ON SHEET C-105.
 - PROPOSED BUILDING PROTECTION BOLLARD. SEE ARCHITECTURAL PLANS BY OTHERS.
 - PROPOSED FIRE HYDRANT ASSEMBLY.
 - PROPOSED FDC. SEE UTILITY PLAN SHEET C-300.
 - PROPOSED TRUCK WELL. REFER TO ARCHITECT PLANS.
 - INSTALL 6" TALL PAINTED LETTERING WITH THE TEXT "YIELD" FOR THE PEDESTRIAN CROSSING. COLOR PER STRIPING LEGEND.
 - INSTALL 6" TALL PAINTED LETTERING WITH THE TEXT "STOP" FOR THE PEDESTRIAN CROSSING. COLOR PER STRIPING LEGEND.
 - INSTALL R31 NO PARKING FIRE LANE SIGN TO BE PLACED EVERY 60' ALONG FRONTAGE. SEE DETAIL ON THIS SHEET.
 - CART CORRAL BY OWNER.
 - INSTALL CURBSIDE PICKUP SIGN WITH BOLLARD - TYPE R. SEE DETAIL ON SHEET C-104.
 - INSTALL VETERANS PARKING SIGN WITH BOLLARD. SEE DETAIL ON SHEET C-104.
 - INSTALL POWER PEDESTAL IN SEASONAL SALES AREA. SEE ELECTRICAL SITE PLAN BY OTHERS.
 - PROPOSED LIGHT POLE. SEE PHOTOMETRIC PLANS BY OTHERS.
 - PROPOSED LOW VOLTAGE SUB-STATION SIGMA EQUIPMENT RACK. W/ A DARK GREEN FINISH. SEE MEP PLANS BY OTHERS FOR DETAILS.
 - PROPOSED ELECTRICAL HAND HOLE. SEE MEP PLANS BY OTHERS FOR DETAILS.
 - SOLIDS INTERCEPTOR. SEE MEP PLANS BY OTHERS.
 - PROPOSED SANITARY SEWER MANHOLE. SEE PLAN SHEET C-300.
 - CATCH BASIN/STRUCTURE. REF GRADING AND DRAINAGE PLAN SHEET C-200.
 - EXISTING UTILITY POLE TO REMAIN.
 - WHITE DIRECTIONAL ARROW. SEE DETAIL ON SHEET C-104.
 - INSTALL WHEELSTOP. SEE DETAIL ON SHEET C-105.
 - INSTALL CROSSWALK WHITE STRIPE. 6" WIDTH. 3.5' APART. SEE DETAIL ON SHEET C-104.
 - PROVIDE TRUNCATED DOMES DETECTABLE WARNING STRIP PER FOOT STD DET 520-002.
 - INSTALL SPECIAL EMPHASIS CROSSWALK PER FOOT 71-1001.
 - CONSTRUCT TYPE 'E' PER FOOT STD DET 520-061.
 - CONSTRUCT VALLEY GUTTER PER FOOT STD DET 520-001.
 - CONSTRUCT TYPE 'B' CURB PER FOOT STD DET 520-001.
 - INSTALL 35" TALL PAINTED LETTERING WITH THE TEXT "DO NOT ENTER" IN VIEWS.
 - INSTALL RS-1 DO NOT ENTER SIGN. SEE DETAIL ON THIS SHEET.
 - INSTALL RA7 KEEP RIGHT SIGN. SEE DETAIL ON THIS SHEET.
 - INSTALL RS-1 NO RIGHT TURN SIGN. SEE DETAIL ON THIS SHEET.
 - INSTALL RS-1R ONE WAY SIGN. SEE DETAIL ON THIS SHEET.
 - INSTALL RS-1R ONE WAY SIGN. SEE DETAIL ON THIS SHEET.
 - INSTALL 0M-1 END OF ROAD MARKER.
 - INSTALL 6" YELLOW STRIPE WITH "LOADING ZONE" MARKING PER HOME DEPOT STANDARDS SPECIFICATIONS.
 - 6" WHITE STRIPE WITH 12" WHITE GORE STRIPING.
 - INSTALL 6" DOUBLE YELLOW. LENGTH PER PLAN.
 - INSTALL 6" WHITE STRIPE. LENGTH PER PLAN.
 - INSTALL 6" YELLOW STRIPE WITH 18" GORE STRIPING. 6" O.C.
 - INSTALL WHITE "NO PARKING" PARKING SPACE SIGN. SEE THIS SHEET AND DETAIL ON SHEET C-104.
 - INSTALL 3" CURB TRANSITION. DETAIL ON SHEET C-105.
 - INSTALL ENTRANCE SIGN
 - INSTALL 12" WIDE WHITE STOP BAR. 2 COATS MIN.
 - INSTALL CART CROSSING SIGN
 - INSTALL W-49 CROSS TRAFFIC DOES NOT STOP SIGN

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL SIDEWALKS SHALL HAVE A 2% MAX CROSS SLOPE AND 0% MAX LONGITUDINAL SLOPE.
3. ALL SIDEWALK RAMPS SHALL HAVE A 6" RISE AT 1:12 MAX. REFER TO GRADING PLAN AND UTILITY PLAN FOR UNDERGROUND UTILITIES.
4. PARKING STRIPING TO BE ALKYD-READY MIXED RAPID DRYING TRAFFIC PAVEMENT STRIPING. DRY FILM THICKNESS (DFT) SHALL BE A TOTAL OF 3 MILS APPLIED IN TWO COATS PER HOME DEPOT STANDARD CRITERIA.



- SIGN LEGEND**
- STOP SIGN
 - PEDESTRIAN CROSSING (W11-2)
 - ACCESSIBLE PARKING SIGN (FTR-21-06)
 - GENERAL SIGN (FTR-21-06)
 - GOLF CART CROSSING SIGN (W11-1)
 - VETERAN PARKING SIGN (SEE DETAIL ON SHEET C-104)
 - NO PARKING FIRE LANE SIGN (R53)

- PAVING HATCH LEGEND**
- AREA OF EXISTING CONCRETE
 - AREA OF NEW REGULAR DUTY CONCRETE PAVEMENT (SEE DETAIL ON SHEET C-105)
 - CONCRETE PAVING PER ARCHITECTURAL PLANS BY OTHERS
 - AREA OF NEW HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL ON SHEET C-105)
 - AREA OF NEW REGULAR DUTY ASPHALT PAVEMENT (SEE DETAIL ON SHEET C-105)
 - AREA OF MULTI-USE TRAIL (SEE DETAIL ON SHEET C-105)
- OUTDOOR STORAGE**
- RESERVED AREA FOR OUTDOOR STORAGE AND/OR SALES NOT A PAVEMENT MARKING
- STRIPING COLOR LEGEND**
- | ITEM | PARKING SPACE LETTERING | COLOR |
|----------------------------|-------------------------|-------------------------|
| "NO PARKING" | LETTERING "COMPACT" | WHITE |
| "STOP" | AND "YIELD" LEGENDS | RED |
| ACCESSIBILITY SYMBOL | | YELLOW |
| ACCESSIBILITY LOADING ZONE | | YELLOW |
| DIRECTIONAL SIGNAGE | | BLUE WITH WHITE SYMBOLS |
| CENTER LINE STRIPING | | WHITE |
| PERVIOUS PAVEMENT | | YELLOW |
| | | GREEN |

PROJECT DATUM: NGVD '29

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Greenline 811

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WWW.KIMLEY-HORN.COM REGISTRATION NO. 35106

OCALA #0000
MAJOR SITE PLAN
PREPARED FOR
THE HOME DEPOT
FLORIDA
MARION COUNTY

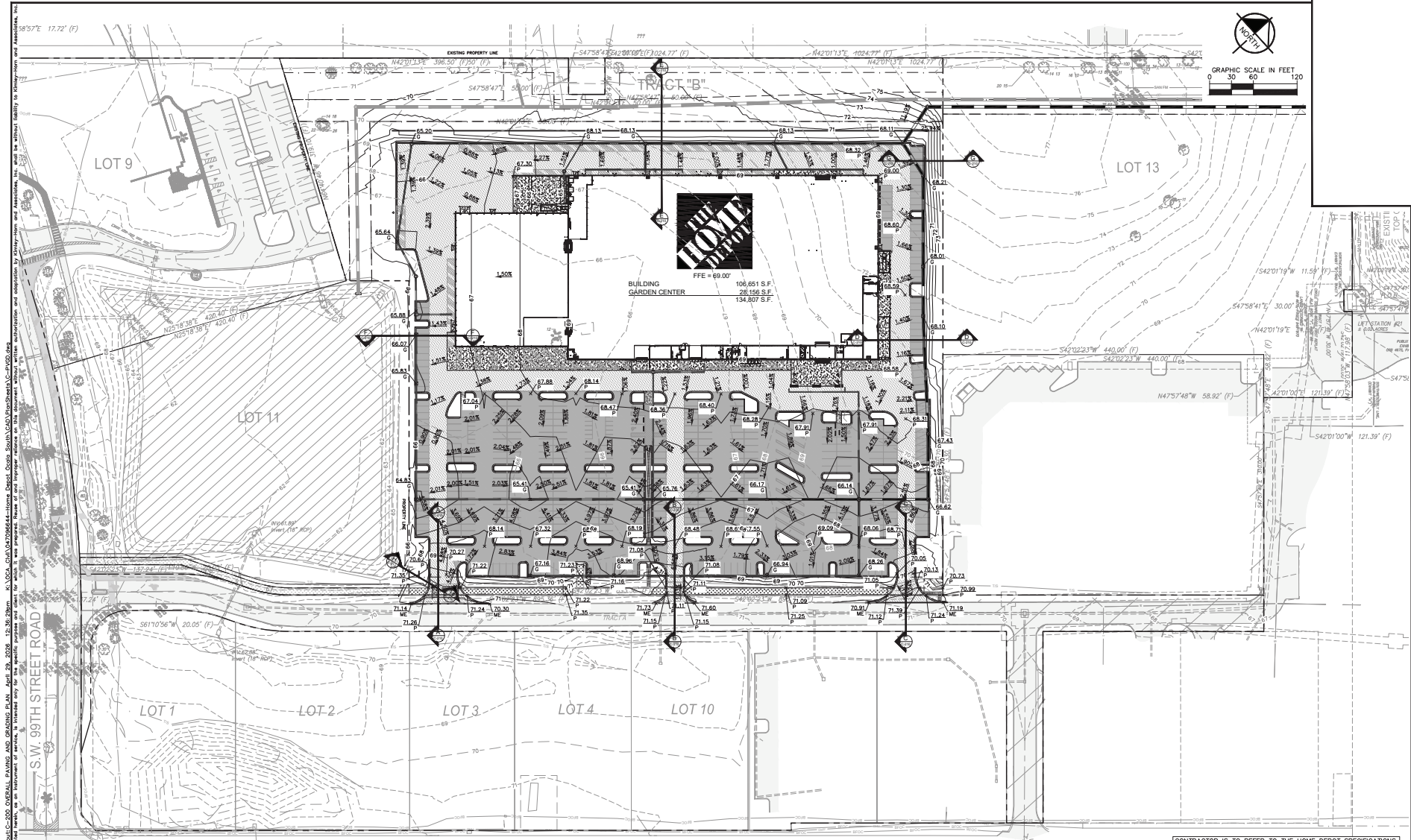
HORIZONTAL CONTROL PLAN

OCALA #0000
APRIL 2026
SCALE AS SHOWN
DESIGNED BY
DRAWN BY
CHECKED BY

PROJECT DATUM: NGVD '29

SHEET NUMBER C-102

NO.	REV.	DATE	BY
	BD SET	02/19/26	GR
	REVISED		



PAVING AND GRADING NOTES

1. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHOWN IS BELIEVED TO BE AS ACCURATE AS POSSIBLE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION IS TO BE PERFORMED TO LOCATE ALL EXISTING UTILITIES WHICH MAY BE AFFECTED BY THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTION TO SAME.
4. ALL MATERIALS AND CONSTRUCTION WITHIN THE FOOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST FOOT DESIGN STANDARDS AND LATEST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
5. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE SPECIFICATIONS AND LOCAL JURISDICTIONAL AGENCY. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
6. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTIGUOUS GRADE.
7. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
8. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
9. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAWCUT THE FULL DEPTH OF PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
10. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAWCUT THE FULL DEPTH OF EXISTING PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
11. ELEVATIONS SHOWN AT CURB LINE ARE EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
12. CONTRACTOR SHALL EXCAVATE EXISTING PAVEMENT/SIDEWALK AREAS THAT ARE TO BE LANDSCAPED A MINIMUM OF 3" OR AS DEEP AS NECESSARY TO ENCASE ALL STONE BASE. PAVEMENT MATERIAL IS REMOVED (WHICHEVER IS GREATER) AND BACKFILL WITH CLEAN DRAINING SAND TO WITHIN 4" OF TOP OF CURB TO INSURE PROPER SOIL FOR PLANT MATERIALS.
13. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT OVER-COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
14. ALL CUT OR FILL SLOPES SHALL BE 4:1V OR FLATTER UNLESS OTHERWISE NOTED.
15. ALL UNPAVED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 4:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING REGULATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
16. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL RE-SURFACE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED ON ADEQUATE STABILIZATION OCCURS.
17. LANDSCAPE ISLANDS IN PARKING AREA TO BE BERMED 1" ABOVE BACK OF CURB ELEVATION.
18. FLOOD ZONE "X" - AN AREA OF REDUCED FLOOD HAZARD, AND FLOOD ZONE "AE" - AN AREA WITHIN THE 100-YEAR FLOOD HAZARD FOR THE FLOOD INSURANCE RATE MAP 128508046E EFFECTIVE APRIL 15, 2017.

PAVING CONSTRUCTION NOTES

1. THE CONCRETE APRON TO BUILDING FOUNDATION, SEE STRUCTURAL PLANS, BY OTHERS.
2. THE CONCRETE APRON TO LAMBER CANOPY APRON, SEE STRUCTURAL PLANS, BY OTHERS.

NOTE:

TOPOGRAPHIC SURVEY PROVIDED BY JCH CONSULTING GROUP, INC. ON APRIL 21, 2025. THIS PLAN IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83). PREVIOUSLY PERMITTED PLANS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1988 (NGVD83). THE CONVERSION FACTOR IS 0.99 FEET SUBTRACTED FROM THE NGVD83 ELEVATIONS.

PAVING HATCH LEGEND

- AREA OF EXISTING CONCRETE
- AREA OF NEW REGULAR DUTY CONCRETE PAVEMENT (SEE DETAIL ON SHT C-105)
- CONCRETE PAVING PER ARCHITECTURAL PLANS BY OTHERS
- AREA OF NEW HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL ON SHT C-105)
- AREA OF NEW REGULAR DUTY ASPHALT PAVEMENT (SEE ON SHT C-105)

GRADING LEGEND

- P PROPOSED PAVING GRADE
- G PROPOSED GRATE GRADE
- ME MATCH EXISTING GRADE
- FF PROPOSED FINISHED FLOOR GRADE
- SW PROPOSED SIDEWALK GRADE
- 8.0— PROPOSED CONTOUR LINE

CONTRACTOR IS TO REFER TO THE HOME DEPOT SPECIFICATIONS, WHERE MORE STRINGENT THAN AGENCY HAVING JURISDICTION, THE HOME DEPOT SPECIFICATIONS SHALL BE FOLLOWED.

PROJECT DATUM: NGVD '29

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CONTRACTOR IS TO REFER TO THE HOME DEPOT SPECIFICATIONS, WHERE MORE STRINGENT THAN AGENCY HAVING JURISDICTION, THE HOME DEPOT SPECIFICATIONS SHALL BE FOLLOWED.

NO.	REVISIONS	DATE
02	SET	02/19/26
01	BY	

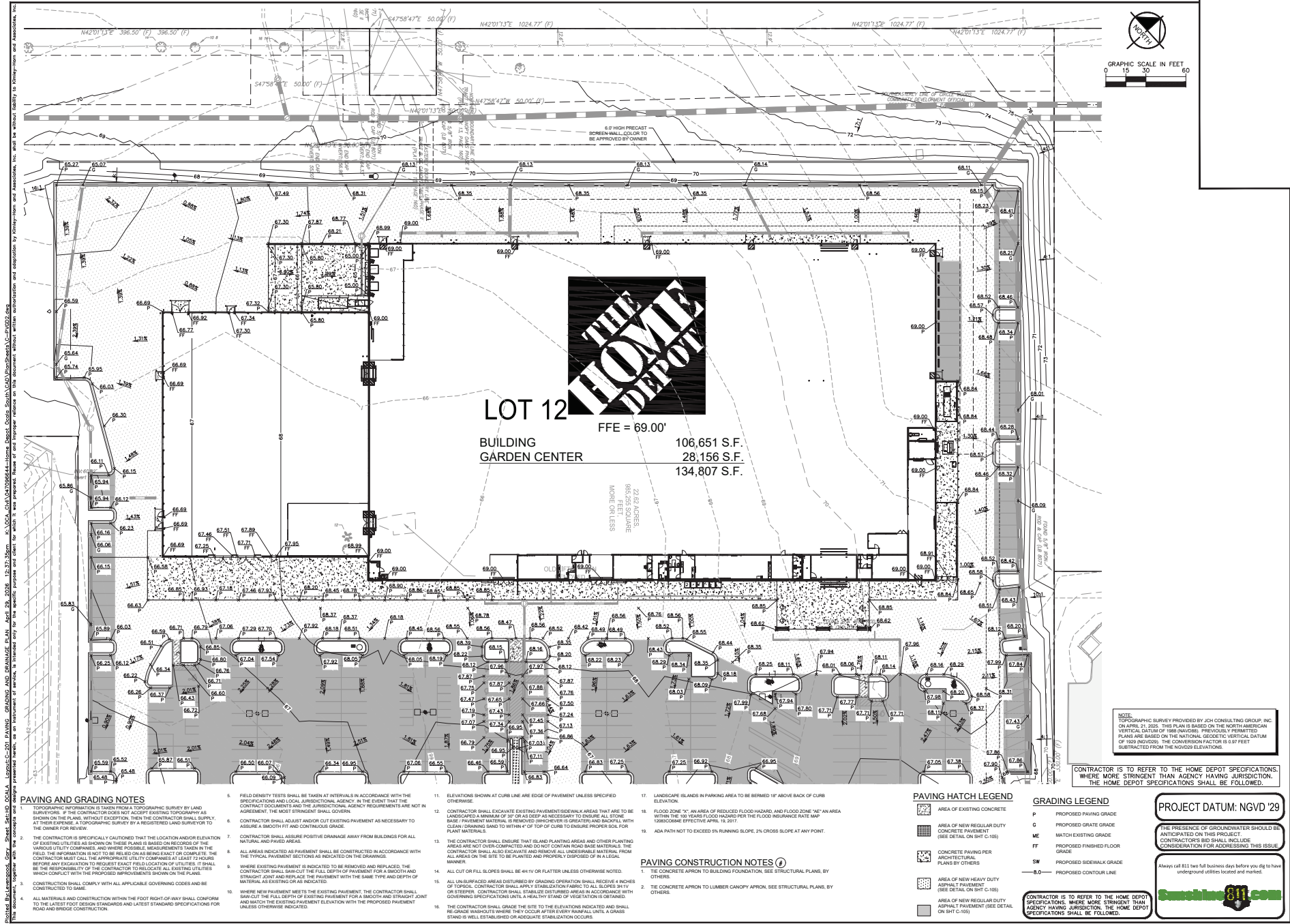
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KHA PROJECT: 047526044
 DATE: APRIL 2026
 SCALE: AS SHOWN
 DESIGNED BY: KEB
 DRAWN BY: KEB
 CHECKED BY: P.W.P.

OVERALL PAVING AND GRADING PLAN

OCALA #0000
 MAJOR SITE PLAN
 PREPARED FOR
 THE HOME DEPOT
 FLORIDA

SHEET NUMBER
 C-200



LOT 12
 BUILDING GARDEN CENTER
 FFE = 69.00'
 106,651 S.F.
 28,156 S.F.
 134,807 S.F.

PAVING AND GRADING NOTES

1. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BENCHMARK DATA. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
4. ALL MATERIALS AND CONSTRUCTION WITHIN THE FOOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST FOOT DESIGN STANDARDS AND LATEST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
5. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
6. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTIGUOUS GRADE.
7. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
8. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
9. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT THE FULL DEPTH OF PAVEMENT FOR A SMOOTH AND STRONG JOINT AND REPAIR TO THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
10. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE FULL LENGTH OF EXISTING PAVEMENT FOR A SMOOTH AND STRONG JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
11. ELEVATIONS SHOWN AT CURB LINE ARE EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
12. CONTRACTOR SHALL EXCAVATE EXISTING PAVEMENT/SIDEWALK AREAS THAT ARE TO BE LANDSCAPED A MINIMUM OF 3" OR AS DEEP AS NECESSARY TO ENSURE ALL STONE BASE / PAVEMENT MATERIAL IS REMOVED WHEREVER IS GREATER AND ROOTS WITH CLEAN DRAINING SAND TO WITHIN 4" OF TOP OF CURB TO ENSURE PROPER SOIL FOR PLANT MATERIALS.
13. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT OVER-COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
14. ALL CUT OR FILL SLOPES SHALL BE 4H:1V OR FLATTER UNLESS OTHERWISE NOTED.
15. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
16. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL BE GRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED ON ADEQUATE STABILIZATION OCCURS.
17. LANDSCAPE ISLANDS IN PARKING AREA TO BE BERMED 1" ABOVE BACK OF CURB ELEVATION.
18. FLOOD ZONE "C" AN AREA OF REDUCED FLOOD HAZARD; AND FLOOD ZONE "M" AN AREA WITHIN THE 100 YEAR FLOOD HAZARD PER THE FLOOD INSURANCE RATE MAP 12803DOME EFFECTIVE APRIL 15, 2011.
19. ADA PATH NOT TO EXCEED 5% RUNNING SLOPE, 2% CROSS SLOPE AT ANY POINT.

PAVING CONSTRUCTION NOTES

1. THE CONCRETE APRON TO BUILDING FOUNDATION, SEE STRUCTURAL PLANS, BY OTHERS.
2. THE CONCRETE APRON TO LUMBER CANOPY APRON, SEE STRUCTURAL PLANS, BY OTHERS.

PAVING HATCH LEGEND

- AREA OF EXISTING CONCRETE
- AREA OF NEW REGULAR DUTY CONCRETE PAVEMENT (SEE DETAIL ON SHT C-105)
- CONCRETE PAVING PER ARCHITECTURAL PLANS BY OTHERS
- AREA OF NEW HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL ON SHT C-105)
- AREA OF NEW REGULAR DUTY ASPHALT PAVEMENT (SEE DETAIL ON SHT C-105)

GRADING LEGEND

- P PROPOSED PAVING GRADE
- G PROPOSED GRATE GRADE
- ME MATCH EXISTING FLOOR GRADE
- FF PROPOSED FINISHED FLOOR GRADE
- SW PROPOSED SIDEWALK GRADE
- 0.00 — PROPOSED CONTOUR LINE

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NO.	REVISIONS	DATE

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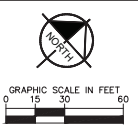
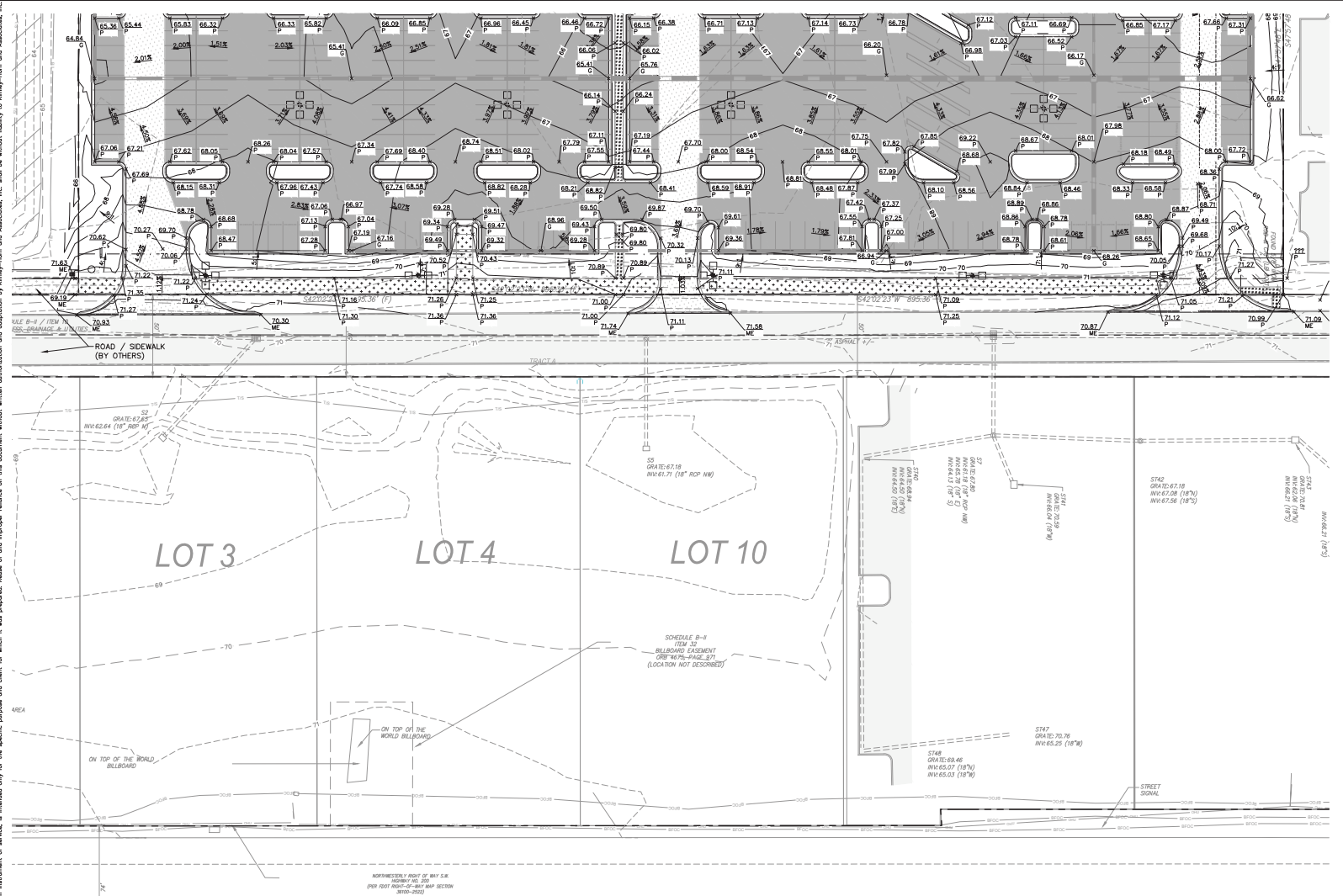
KHA PROJECT: 047428144
 DATE: APRIL 2025
 SCALE: AS SHOWN
 DESIGNED BY: KEB
 DRAWN BY: KEB
 CHECKED BY: P.W.F.

PAVING, GRADING AND DRAINAGE PLAN
 AND DRAINAGE PLAN

OCALA #0000
 PREPARED FOR
 THE HOME DEPOT
 FLORIDA
 MARION COUNTY

SHEET NUMBER
C-201

THIS PLAN IS THE PROPERTY OF KIMLEY-HORN AND ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF KIMLEY-HORN AND ASSOCIATES, INC.



S.W. HIGHWAY 200 (AKA STATE ROAD NO. 200)

PAVING AND GRADING NOTES

1. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
4. ALL MATERIALS AND CONSTRUCTION WITHIN THE FOOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST FOOT DESIGN STANDARDS AND LATEST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
5. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE SPECIFICATIONS AND LOCAL JURISDICTIONAL AGENCY IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
6. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
7. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
8. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
9. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW-CUT THE FULL DEPTH OF PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND REPAVE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
10. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW-CUT THE FULL DEPTH OF EXISTING PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.

11. ELEVATIONS SHOWN AT CURB LINE ARE EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
12. CONTRACTOR SHALL EXCAVATE EXISTING PAVEMENT/SIDEWALK AREAS THAT ARE TO BE LANDSCAPED A MINIMUM OF 3" OR AS DEEP AS NECESSARY TO ENSURE ALL STONE BASE/PAVEMENT MATERIAL IS REMOVED PRIOR TO BEING REPLACED AND BACKFILL WITH CLEAN DRAINING SAND TO WITHIN 4" OF TOP OF CURB TO ENSURE PROPER SOIL FOR PLANT MATERIALS.
13. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT OVER-COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO LOCATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
14. ALL CUT OR FILL SLOPES SHALL BE 4H:1V OR FLATTER UNLESS OTHERWISE NOTED.
15. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZER FIBER TO ALL SLOPES 3:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
16. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL RE-GRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED ON ADEQUATE STABILIZATION OCCURS.

PAVING CONSTRUCTION NOTES

1. THE CONCRETE APRON TO BUILDING FOUNDATION, SEE STRUCTURAL PLANS, BY OTHERS.
2. THE CONCRETE APRON TO LUMBER CANOPY APRON, SEE STRUCTURAL PLANS, BY OTHERS.

PAVING HATCH LEGEND

- AREA OF EXISTING CONCRETE
- AREA OF NEW REGULAR DUTY CONCRETE PAVEMENT (SEE DETAIL ON SHT C-105)
- CONCRETE PAVING PER ARCHITECTURAL PLANS BY OTHERS
- AREA OF NEW HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL ON SHT C-105)
- AREA OF NEW REGULAR DUTY ASPHALT PAVEMENT (SEE DETAIL ON SHT C-105)

GRADING LEGEND

- P PROPOSED PAVING GRADE
- G PROPOSED GRATE GRADE
- ME MATCH EXISTING GRADE
- FF PROPOSED FINISHED FLOOR GRADE
- SW PROPOSED SIDEWALK GRADE
- 8.0— PROPOSED CONTOUR LINE

NOTE: TOPOGRAPHIC SURVEY PROVIDED BY JCH CONSULTING GROUP, INC. ON APRIL 21, 2022. THIS PLAN IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). PREVIOUSLY PREPARED PLANS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29). THE CONVERSION FACTOR IS 0.97 FEET SUBTRACTED FROM THE NGVD29 ELEVATIONS.

CONTRACTOR IS TO REFER TO THE HOME DEPOT SPECIFICATIONS, WHERE MORE STRINGENT THAN AGENCY HAVING JURISDICTION, THE HOME DEPOT SPECIFICATIONS SHALL BE FOLLOWED.

PROJECT DATUM: NGVD '29

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

Always call 811 two full business days before you dig to have underground utilities located and marked.



NO.	REVISIONS	DATE	BY

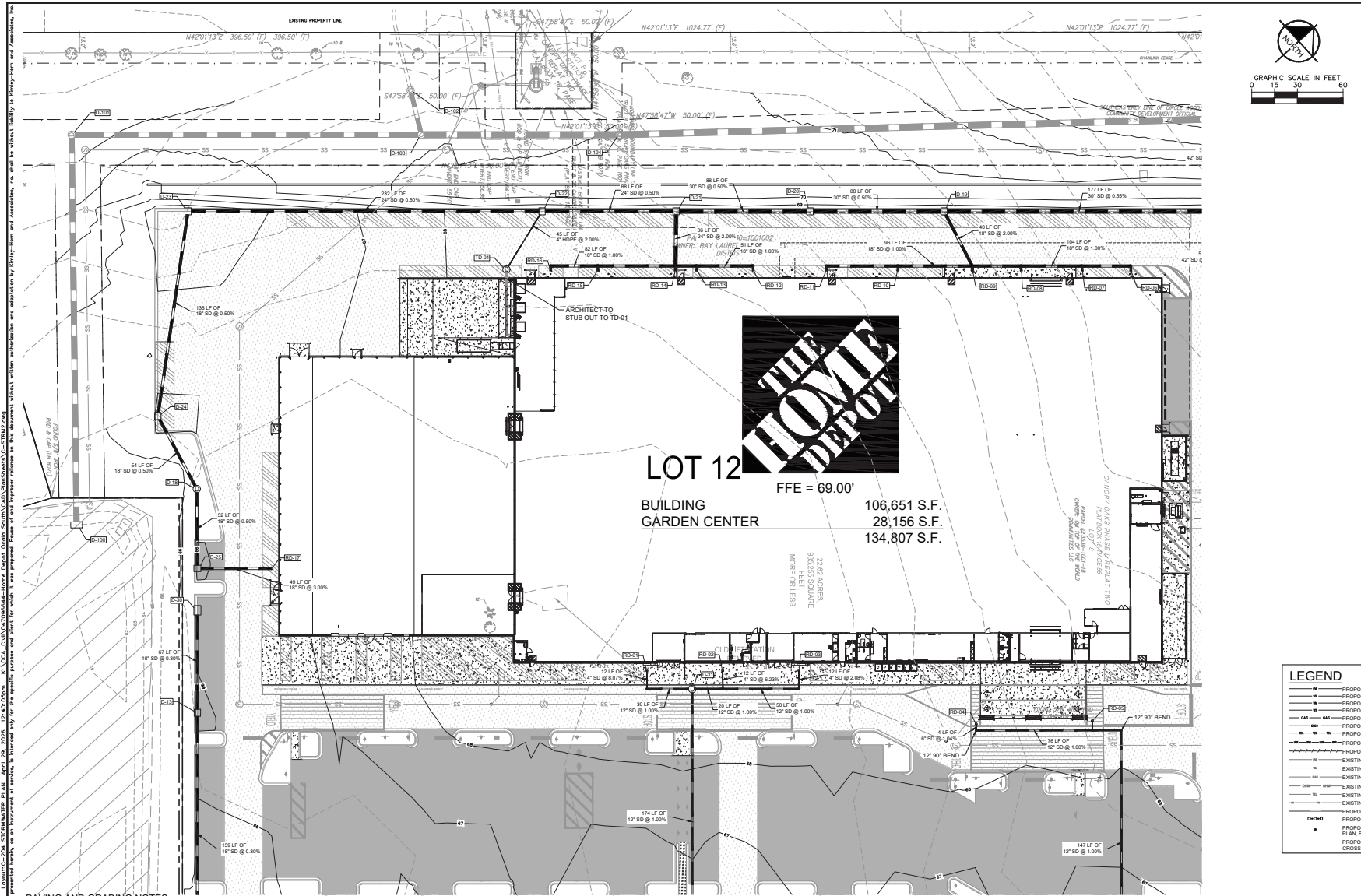
Kimley-Horn
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 1700 BE 17TH STREET, SUITE 200, OCALA, FL 34761
 WWW.KIMLEY-HORN.COM, REGISTRATION NO. 35106

GARY R. LEVENDOFF, P.E.
 FLORIDA LICENSE NUMBER 94185
 WWW.KIMLEY-HORN.COM, REGISTRATION NO. 35106

PAVING, GRADING AND DRAINAGE PLAN

OCALA #0000
 MAJOR SITE PLAN
 PREPARED FOR
 THE HOME DEPOT
 FLORIDA

SHEET NUMBER
C-202



LOT 12
BUILDING GARDEN CENTER
 FFE = 69.00'
 106,651 S.F.
 28,156 S.F.
 134,807 S.F.



LEGEND

- PROPOSED FORCE MAIN
- PROPOSED SANITARY SEWER
- PROPOSED FIRE MAIN
- PROPOSED DOMESTIC WATER SERVICE
- PROPOSED GAS SERVICE
- PROPOSED ELECTRIC SERVICE
- PROPOSED TELEPHONE/GATA SERVICE
- PROPOSED IRRIGATION LINE
- PROPOSED UTILITY DEMO
- EXISTING FORCE MAIN
- EXISTING WATER MAIN
- EXISTING GAS SERVICE
- EXISTING OVERHEAD WIRE
- EXISTING TELEPHONE SERVICE
- EXISTING FIBER OPTIC LINE
- PROPOSED DRAINAGE PIPE
- PROPOSED LIGHT POLES
- PROPOSED HAND HOLES, SEE ELECTRICAL SITE PLAN, BY OTHERS
- PROPOSED UTILITY CROSSING CALLOUT, SEE CROSSING INFORMATION THIS SHEET

PAVING HATCH LEGEND

- AREA OF EXISTING CONCRETE
- AREA OF NEW REGULAR DUTY CONCRETE PAVEMENT (SEE DETAIL ON SHT C-105)
- CONCRETE PAVING PER ARCHITECTURAL PLANS BY OTHERS
- AREA OF NEW HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL ON SHT C-105)
- AREA OF NEW REGULAR DUTY ASPHALT PAVEMENT (SEE DETAIL ON SHT C-105)

- PAVING AND GRADING NOTES**
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 2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION ANDOR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESOLVE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 3. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 4. ALL MATERIALS AND CONSTRUCTION WITHIN THE FOOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST FOOT DESIGN STANDARDS AND LATEST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 5. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE SPECIFICATIONS AND LOCAL JURISDICTIONAL AGENCY. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
 6. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ACHIEVE A SMOOTH AND CONTINUOUS GRADE.
 7. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 8. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
 9. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW-CUT THE FULL DEPTH OF PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
 10. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL RESURFACE BOTH PAVEMENTS TO THE SAME FINISH ELEVATION. A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
 11. ELEVATIONS SHOWN AT CURB LINE ARE EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
 12. CONTRACTOR SHALL EXCAVATE EXISTING PAVEMENT/SIDEWALK AREAS THAT ARE TO BE LANDSCAPED A MINIMUM OF 8" OR AS DEEP AS NECESSARY TO ENSURE ALL STONE BASE / PAVEMENT MATERIAL IS REMOVED (WHICHEVER IS GREATER) AND BACKFILL WITH CLEAN, DRAINING SAND TO WITHIN 4" OF TOP OF CURB TO ENSURE PROPER SOIL FOR PLANT MATERIALS.
 13. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT OVER-COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY SLOPED OF A LEGAL MANNER.
 14. ALL CUT OR FILL SLOPES SHALL BE AN 1V OR FLATTER UNLESS OTHERWISE NOTED.
 15. ALL UNSURFACED AREAS EXISTING IN GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1 V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
 16. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL RESURFACE WASHPITS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
 17. LANDSCAPE ISLANDS IN PARKING AREA TO BE SERVED 15' ABOVE BACK OF CURB ELEVATION.
 18. FLOOD ZONE "1" AN AREA OF REDUCED FLOOD HAZARD, AND FLOOD ZONE "AE" AN AREA WITHIN THE 100 YEAR FLOOD HAZARD PER THE FLOOD INSURANCE RATE MAP 2206C0306E EFFECTIVE APRIL 19, 2017.
 19. ADA PATH NOT TO EXCEED 5% RUNNING SLOPE, 2% CROSS SLOPE AT ANY POINT.

PROJECT DATUM: NGVD '29

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTORS BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

Always call 811 two full business days before you dig to have underground utilities located and marked.

www.kimley-horn.com

CONTRACTOR IS TO REFER TO THE HOME DEPOT SPECIFICATIONS, WHERE MORE STRINGENT THAN AGENCY HAVING JURISDICTION, THE HOME DEPOT SPECIFICATIONS SHALL BE FOLLOWED.

NO.	REVISIONS	DATE	BY

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 WWW.KIMLEY-HORN.COM, REGISTRATION NO. 35106

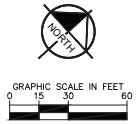
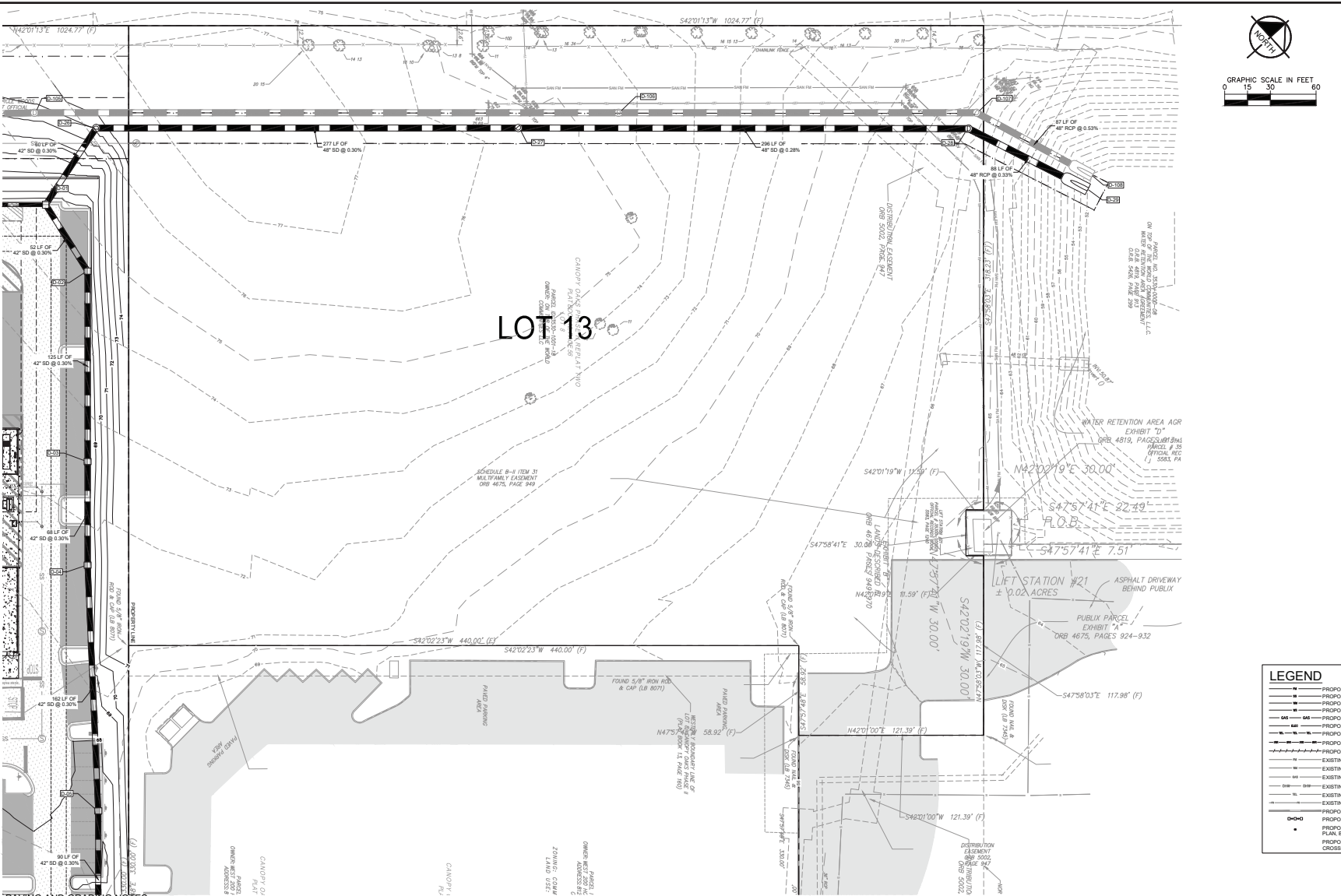
RHA PROJECT: 04782B-14
 DATE: APRIL 2026
 SCALE: AS SHOWN
 DESIGNED BY: KEB
 DRAWN BY: KEB
 CHECKED BY: P.W.P.

STORMWATER PLAN

OCALA #0000
 MAJOR SITE PLAN
 PREPARED FOR
THE HOME DEPOT
 FLORIDA

SHEET NUMBER
C-204

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES.



LEGEND

	PROPOSED FORCE MAIN
	PROPOSED SANITARY SEWER
	PROPOSED FIRE MAIN
	PROPOSED DOMESTIC WATER SERVICE
	PROPOSED GAS SERVICE
	PROPOSED ELECTRIC SERVICE
	PROPOSED TELEPHONE-GATA SERVICE
	PROPOSED IRRIGATION LINE
	PROPOSED UTILITY DEMO
	EXISTING FORCE MAIN
	EXISTING WATER MAIN
	EXISTING GAS SERVICE
	EXISTING OVERHEAD WIRE
	EXISTING TELEPHONE SERVICE
	EXISTING FIBER OPTIC LINE
	PROPOSED LIGHT POLES
	PROPOSED HAND HOLE, SEE ELECTRICAL SITE PLAN BY OTHERS
	PROPOSED UTILITY CROSSING CALLOUT, SEE CROSSING INFORMATION THIS SHEET

PAVING HATCH LEGEND

	AREA OF EXISTING CONCRETE
	AREA OF NEW REGULAR DUTY CONCRETE PAVEMENT (SEE DETAIL ON SHT C-105)
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11. LANDSCAPE ISLANDS IN PARKING AREA TO BE SERVED 15' ABOVE BACK OF CURB ELEVATION.
12. FLOOD ZONE "X" AN AREA OF REDUCED FLOOD HAZARD, AND FLOOD ZONE "AE" AN AREA WITHIN THE 100 YEARS FLOOD HAZARD PER THE FLOOD INSURANCE RATE MAP 220503086E EFFECTIVE APRIL 19, 2017.
13. ADA PATH NOT TO EXCEED 5% RUNNING SLOPE, 2% CROSS SLOPE AT ANY POINT.

14. ALL CUT OR FILL SLOPES SHALL BE 4H:1V OR FLATTER UNLESS OTHERWISE NOTED.
15. ALL UNSURFACED AREAS ESTABLISHED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL ISOPLES 5H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
16. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL RE-GRADE IMMEDIATELY WHERE IT OCCURS AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
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PROJECT DATUM: NGVD '29

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTORS BIDS SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

Always call 811 two full business days before you dig to have underground utilities located and marked.



CONTRACTOR IS TO REFER TO THE HOME DEPOT SPECIFICATIONS, WHERE MORE STRINGENT THAN AGENCY HAVING JURISDICTION, THE HOME DEPOT SPECIFICATIONS SHALL BE FOLLOWED.

NO.	REVISIONS	DATE

Kimley»Horn
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 1700 BE 17TH STREET, SUITE 200, OCALA, FL 34471
 WWW.KIMLEY-HORN.COM, REGISTRATION NO. 35106

KHA PROJECT: 04752B-044
 DATE: APRIL 2026
 SCALE: AS SHOWN
 DESIGNED BY: KEJ
 DRAWN BY: KEJ
 CHECKED BY: P.W.F.

STORMWATER PLAN

OCALA #0000
 MAJOR SITE PLAN
 PREPARED FOR
THE HOME DEPOT
 MARION COUNTY
 FLORIDA

SHEET NUMBER
C-206

KHA PROJECT	04796644
DATE	APRIL 2026
DESIGNED BY	KB
DRAWN BY	KB
CHECKED BY	PJH
FLORIDA LICENSE NUMBER	94185
CARR R. LEVINGS, P.E.	

Kimley-Horn
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1700 SE 17TH STREET, SUITE 200, OCALA, FL 34471
PHONE: 352-249-2000
WWW.KIMLEY-HORN.COM REGISTRY NO. 35109

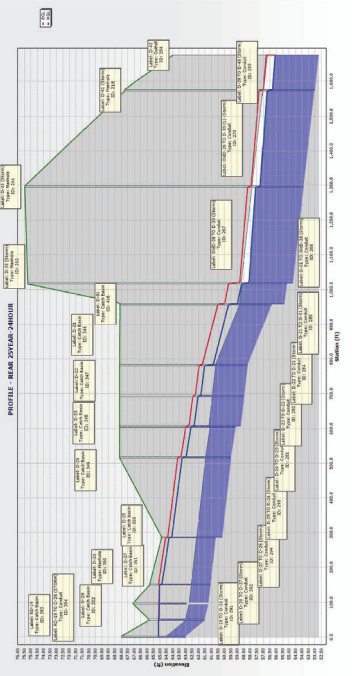
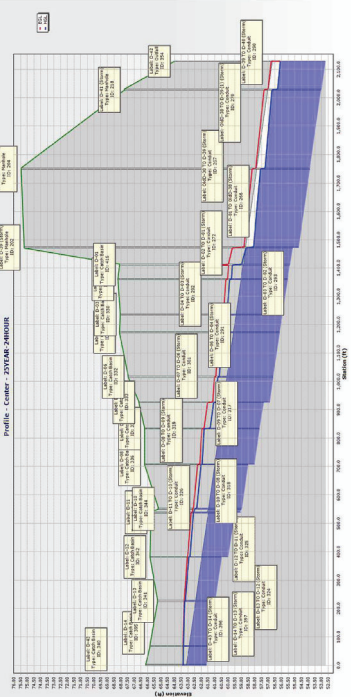
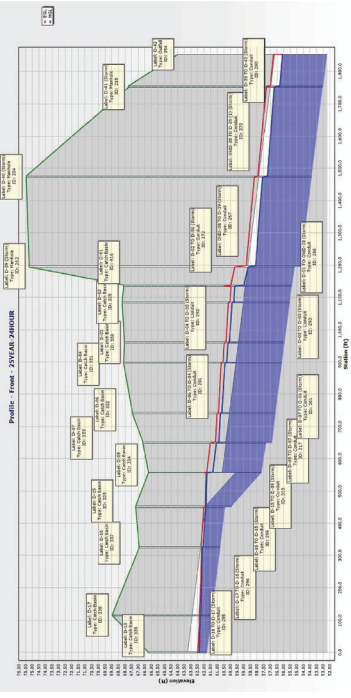
NO.	REVISIONS
	BID SET
DATE	BY
02/19/26	

PROJECT DATUM: NGVD '29

THE PRESENCE OF GROUNDWATER SHOULD BE
CONSIDERED. CONTRACTORS SHALL INCLUDE
CONSIDERATION FOR ADDRESSING THIS ISSUE.

Always call 811 prior to any excavation to identify
underground utilities located and marked.

CONTRACTOR IS TO REFER TO THE HOME DEPOT
SPECIFICATIONS WHERE MORE STRINGENT DRAINAGE
SPECIFICATIONS SHALL BE FOLLOWED.



NO.	REVISIONS
1	BID SET
2	DATE
3	BY

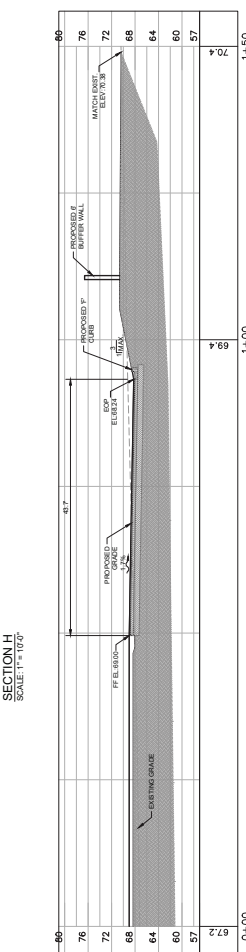
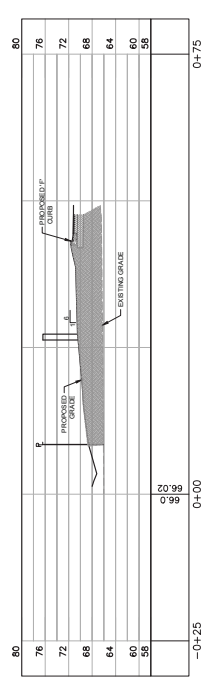
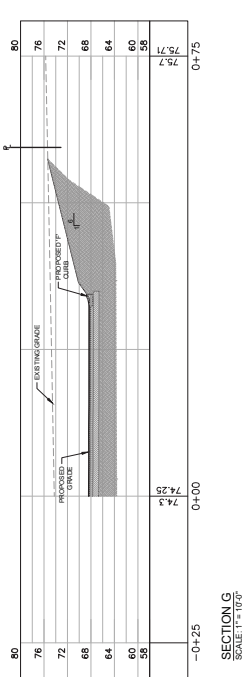
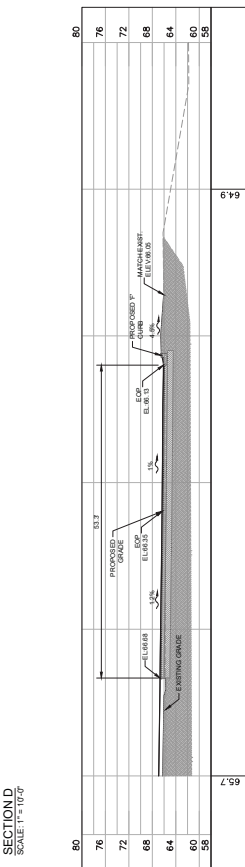
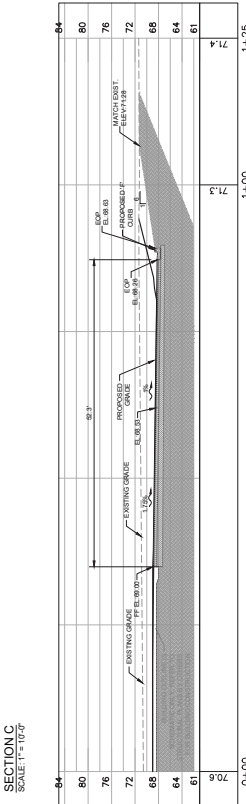
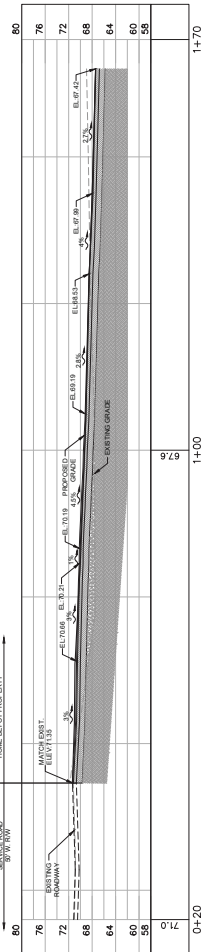
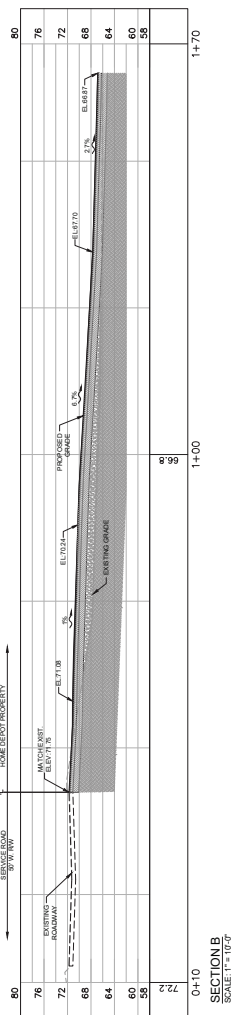
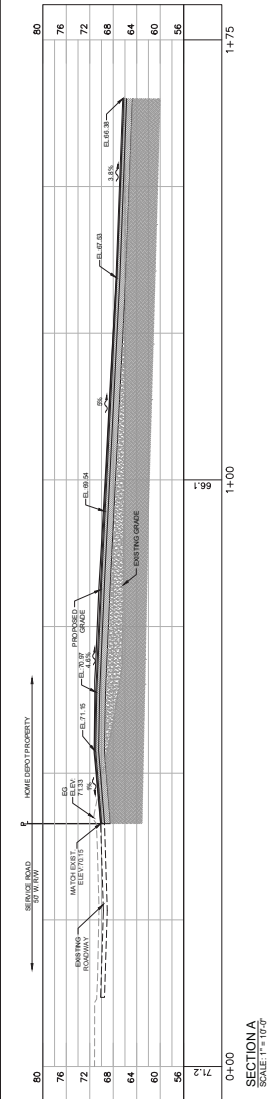
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 1700 SE 17TH STREET, SUITE 200, OCALA, FL 34747
 PHONE: 352-234-2000
 WWW.KIMLEY-HORN.COM REGISTRY NO. 35198

KHA PROJECT
 APRIL 2026
 DATE
 SCALE AS SHOWN
 DESIGNED BY KB
 DRAWN BY PAF
 CHECKED BY PAF
 FLORES LICENSE NUMBER 94185
 GARY R. LEVONCO, P.E.

PERIMETER CROSS SECTIONS

OCALA #0000
 MAJOR SITE PLAN
 PREPARED FOR
 THE HOME DEPOT
 FLORIDA

SHEET NUMBER
C-210



PROJECT DATUM: NGVD '29

THE PRESENCE OF GROUNDWATER SHOULD BE DETERMINED PRIOR TO CONSTRUCTION. CONTRACTORS SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

Always call 811 one day before any excavation to identify underground utilities located and marked.

811
 CALL BEFORE YOU DIG

CONTRACTOR IS TO REFER TO THE HOME DEPOT SPECIFICATIONS WHERE MORE STRINGENT DRAIN SPECIFICATIONS SHALL BE FOLLOWED.

