

October 28, 2024

PROJECT NAME: MSP 8009-1274-14

PROJECT NUMBER: 2024080060

APPLICATION: MINOR SITE PLAN #31904

- 1 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.6 - Location of water and sewer. Does this need a special use permit? Verify if in primary springs protection zone. Will it need an enhanced septic system?
STATUS OF REVIEW: INFO
REMARKS: defer to MCU,
- 2 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 4.4.4 - Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan.
STATUS OF REVIEW: INFO
REMARKS: no sign proposed
- 3 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.3 - Title block shall be shown on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions
STATUS OF REVIEW: INFO
REMARKS: 9/10/24-add on all sheets - type of application; project name, location, county, and state
- 4 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: Apply for all septic and well permits through the Department of Health in Marion County. For future reference waste water calculations should be based off of 62-6 F.A.C. not 64E-6.
- 5 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2 A.1 - Public water service area/provider
STATUS OF REVIEW: INFO
REMARKS: MCU service area; within 1674' of closest water main - remains outside connection distance for max two duplex
- 6 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2 A.1 - Public sewer service area/provider
STATUS OF REVIEW: INFO
REMARKS: MCU service area; within 1321' of new sewer main as of 2/2024 - remains outside connection distance for max two duplexes
- 7 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.3 - Fire Protection/Fire Flow Capacity
STATUS OF REVIEW: INFO
REMARKS: defer to MCFR; outside connection distance to closest MCU water

8 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: Additional Utilities Comments

STATUS OF REVIEW: INFO

REMARKS: conflict on plans - under Site Data Block on sheet 1, intended use is for (1) duplex and (1) SFR, but layout suggests two duplexes. Confirm. Regardless of which is correct, both public water & sewer are outside connection distance & will be served by well & septic per DOH's review/authority. Comment already addressed by 9-1-1 Management changemark so this is INFO only by MCU.

9 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Minor Site Plan

STATUS OF REVIEW: INFO

REMARKS: IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1 "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

- 10 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.23/4.2 - Setbacks, dimensions for all improvements, and easements
STATUS OF REVIEW: NO
REMARKS: Please show dimensions and setbacks of all improvements.
- 11 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.32 - Modified environmental assessment or exemption if information is available to the county to indicate no habitat or existence of endangered species or vegetation (Article 6, Division 5, Sec. 6.5.4)
STATUS OF REVIEW: NO
REMARKS: Please provide environmental assessment
- 12 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.4.L(10) - Parking requirements, service entrances, space size paved parking isle and access to parking area (6.11.8) offstreet parking requirements, (6.11.7) Loading Areas
STATUS OF REVIEW: NO
REMARKS: parking spaces should be 18' deep, plan shows 16.5'
- 13 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.9.C - Pavement marking
STATUS OF REVIEW: NO
REMARKS: 9/12/24 - Parking aisle width of 24' is correct, however, spaces do not provide 18 ft. length and disabled permit parking spaces are not shown as described. Detailed parking plan is required.
- 14 DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: Additional 911 comments
STATUS OF REVIEW: NO
REMARKS: Sheet C001 has the Section Township and Range incorrectly as SEC 23 TWP 17 RGE 21. It should be SEC 8 TWP 17 RGE 21. Sheets C002 & C003 have the Section Township and Range incorrectly as SEC 23 TWP 17 RGE 21. It should be SEC 8 TWP 17 RGE 21
On Sheet C001 the Site Data is showing the Intended Use for this site as 1 Duplex Building & 1 Single Family Home. Parking and Traffic Requirements is showing information for 2 Duplex Buildings (4 Units total) and on the Site Plan it appears the buildings are both Duplex Buildings. Please update the Site Data area or update the other areas and identify buildings on the building footprint.
- 15 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes)
STATUS OF REVIEW: NO
REMARKS: 1. Show plant spacing, not sq ft in schedule 2. Provide common and scientific names of plants 3. Remove plants not being used from schedule, very confusing 4. Landscape and irrigation plans shall be signed and sealed by design professional (6.2.1 & 6.9.2)
- 16 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.4 - Landscape area requirements for non-residential development
STATUS OF REVIEW: NO
REMARKS: Provide landscape area calculation

- 17 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.6 - Buffers
STATUS OF REVIEW: NO
REMARKS: 1. Show shrubs and groundcovers in Type C buffer, plan only has groundcover 2. Why is Type E buffer modified? waiver required to modify 3. Type E buffer does not comply with canopy tree requirements - 4 shade trees per 100 LF and double staggered shrubs.
- 18 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.7 - Parking areas and vehicular use areas
STATUS OF REVIEW: NO
REMARKS: 1. Sweet viburnum is too close to parking area, pull away from edge 2-3' 2.
- 19 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.10 - General planting requirements (specifications)
STATUS OF REVIEW: NO
REMARKS: No plant material to be exchanged without approval from County.
- 20 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.9.2 - Irrigation plan requirements (details, legend, notes)
STATUS OF REVIEW: NO
REMARKS: Provide irrigation plan
- 21 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.19.3 - Outdoor lighting plan requirements
STATUS OF REVIEW: NO
REMARKS: Will there be outdoor lighting? if so, provide a photometric plan



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

AR #31904

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 10-25-24 Parcel Number(s): 8009-1274-14 Permit Number: 2024080060

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: BR MSP 8009-1274-14 Commercial Residential
Subdivision Name (if applicable): _____
Unit 09 Block 1274 Lot 14 Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Brenda Raya
Signature: _____
Mailing Address: 16286 SE 85th Ct City: Summerfield
State: FL Zip Code: 34491 Phone # 352-804-1364
Email address: jimter1952@gmail.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): MCA Consulting Engineers, Inc Contact Name: Miles Anderson P.E.
Mailing Address: 2403 SE 17th St., Suite 502 City: Ocala
State: FL Zip Code: 34471 Phone # 352-629-5591
Email address: miles.anderson@mca-engineers.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 6.8.6 Buffering
Reason/Justification for Request (be specific): Type A buffer modification is not possible due to space between the buildings and the west boundary line. The distance between boundary and building is less than 20'. We can We can replace / exchange the 4 trees per 100 lf with ornamental trees at 1 to 1. In addition buried utilities service can not be impaired by the tree roots.

DEVELOPMENT REVIEW USE:

Received By: Email 10/25/24 Date Processed: 10/28/24 CF Project # 2024080060 AR # 31904

ZONING USE: Parcel of record: Yes No Eligible to apply for Family Division: Yes No
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes No
Date Reviewed: _____ Verified by (print & initial): _____



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DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Section & Title of Code (be specific) 6.12.12 Sidewalks

Reason/Justification for Request (be specific): There are no sidewalks in the developed adjacent lots and will have minimal service to the neighborhood. Client will pay fee-in-lieu of construction prior to final inspection to c.o.

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

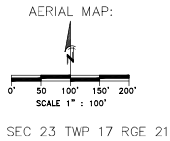
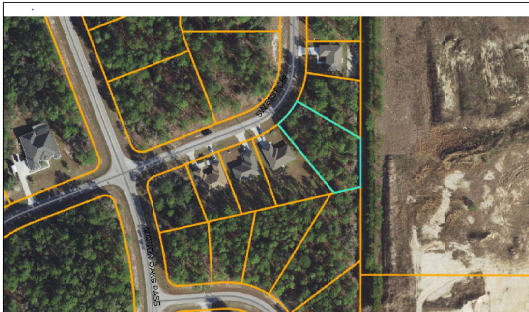
Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____



MINOR SITE PLAN

SW 61ST CIRCLE
MARION COUNTY, FL

PROJECT NAME: MSP 8009-1274-14
RAYA INVESTMENTS LLC.
SITE AREA = 0.50 AC

SITE DATA:
TOTAL SITE AREA (WITHIN BOUNDARY) = 21,841 (0.50 AC)
AREAS FOR TOTAL SITE:
PROPOSED BLDG = 4,030 SF
PROPOSED ON SITE IMPROVEMENTS AREA = 12,325 SF
TOTAL IMPROVEMENTS AREA = 7,245 SF
IMPROVEMENTS PERCENT OF COVERAGE = 33.3%
PERVIOUS AREA (OPEN AREA) = 14,574 SF
PERVIOUS AREA PERCENT OF COVERAGE = 67.7%
LANDSCAPED AREA PERCENT = 5,703 SF = 26%

THIS SITE IS IN THE SECONDARY SPRINGS PROTECTION ZONE.
THIS SITE IS IN FLOOD ZONE-X ON FEMA FIRM PANEL 15085Z0750I.

INTENDED USE FOR THIS SITE - (1) DUPLEX BUILDING & (1) SINGLE FAMILY HOME
THIS SITE DOES NOT LIE IN THE ESQZ COVERED BY ZONE.

PARCEL NUMBER: 8009-1274-14
PROJECT ADDRESS: SW 61ST CIRCLE
OCALA, FL

ZONING: R-PUD
FILI: HIGH RESIDENTIAL (HR)
OWNER: RAYA INVESTMENTS LLC.
OCALA, FL

PARKING & TRAFFIC REQUIREMENTS

PARKING
2.0 SPACES PER UNIT
2.0 SPACES x 4 UNITS = 8 SPACES REQUIRED
TOTAL PARKING SPACES REQUIRED = 8
TOTAL PARKING SPACES PROVIDED = 9 (INCLUDES 1 HANDICAP SPACE)
PARKING SPACE SIZES: 9'x13'

TRAFFIC STATEMENT
USING THE CODE 220 MULTI-FAMILY LOW RISE THIS SITE IS PROJECTED TO GENERATE 29 DAILY TRIPS AND 5 PEAK HOUR TRIPS

OVERALL AREAS & BUILDING HEIGHT

BLDG AREA = 2,015 SF
BLDG HEIGHT = 17'-8"

SIDEWALK CONSTRUCTION:
THE CONTRACTOR SHALL INSTALL 6.75" LF OF 5" WIDE SIDEWALK. SIDEWALK SHALL BE RAISED TO BE TO EXISTING SIDEWALK. STOP AND GRADIENT SIGN SHALL BE RELOCATED TO THE EDGE OF THE SIDEWALK. SIDEWALK SHALL BE FIELD VERIFIED AND SHALL AVOID GUT WAYS, CABLE SOL, MANHOLE COVER.

SIGNAGE:
THE PROPOSED SITE DEVELOPMENT SHALL NOT BE CONSTRUCTING ANY SIGNAGE ADVERTISING FOR THE GOOD UNITS.

NOI NOTE:
THE GENERAL CONTRACTOR SHALL PROVIDE COPY OF NOI SENT TO FDP FOR IMPRES GENERAL CONSTRUCTION PERMIT REQUIREMENTS FOR THIS PROJECT WHICH IS 0.50 ACRES

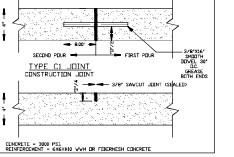
A/C AREAS

REQUIRE DUAL A/C AREA
UNIT 1 = 755 A/C SF (1 BEDRM)
UNIT 2 = 976 A/C SF (2 BEDRM)
= 2 DUPLEX BUILDINGS PROPOSED ON THIS SITE

UTILITY NOTE:
WHEN CENTRAL WATER AND/OR SEWER BECOME AVAILABLE FOR CONNECTION TO THIS PROPERTY, CONNECTION TO CENTRALIZED SYSTEM IS REQUIRED

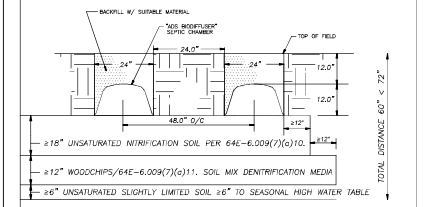
GENERAL STATEMENT:
THE CONTRACTOR SHALL ASSURE THAT THIS SITE DOES NOT INCREASE FLOODING OF ADJACENT PROPERTY, OR CONCENTRATION OF STORM WATER DISCHARGE ONTO ADJACENT PROPERTY AT TIME OF GRADING.

SIDEWALK CONSTRUCTION:
THE CONTRACTOR SHALL CUT THE BACK CURB OFF OF THE EXISTING SIDEWALK AT THE CORNER AND CAST THE NEW 5" WIDE SIDEWALK FLUSH WITH THE EXISTING SIDEWALK. THE NEW SIDEWALK SHALL FOLLOW THE EXISTING PAVEMENT CURVE AND BE CAST FLUSH WITH THE PAVEMENT AND 45 DEGREE BACK TO PARALLEL THE NORTH R/W LINE ALONG SW 6TH PLACE. SIDEWALK ON PAVEMENT SHALL FOLLOW TO FOLLOW EXISTING NATURAL GRADES. SLOPES SHALL NOT EXCEED 2% CHANGE OF GRADE. CONTRACTOR SHALL FIELD VERIFY PLACEMENT. SEE JOINT TYPE C, AND C1, BELOW.



MARION COUNTY UTILITY SERVICE STATEMENT

WHEN PUBLIC WATER AND SEWER BECOME AVAILABLE, CONNECTION REQUIRED WITHIN 365 DAYS' NOTICE BY UTILITY.



TRENCHED DRAIN FIELD W/ IN GROUND NITROGEN REDUCTION BIO FIELD SECTION

NOT TO SCALE

WASTE WATER CALCULATIONS

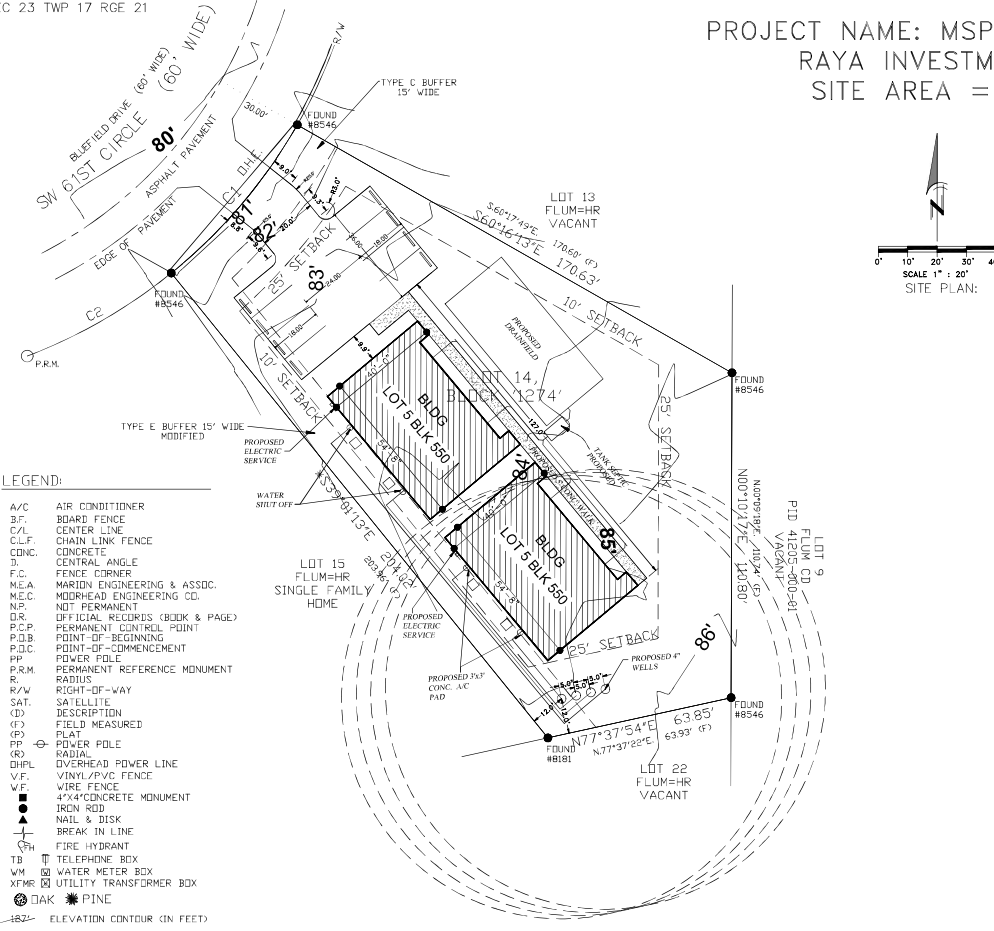
SEWER
LOT SIZE = 0.50 AC'S
ALLOWABLE SEWER D.O.H. = 1,500 GPD PER AC
SEWER FLOW ALLOWABLE = 750 GPD
SEWER FLOW PROPOSED = 600 GPD

DRAINFIELD LOADING (W/ IN GROUND NITROGEN REDUCTION SYSTEM)

OVER INFORMATION:
INFILTRATION RATE = 0.80 GAL/SF
REQUIRED DRAINFIELD SIZE = 750 GPD / 0.80 GAL/SF = 937.5 AC
FLORIDA RATING FOR THE EQUIVALENT DRAINAGE AREA OF A 705 AC LEACHFIELD CHAMBER IS 15.0 SF.
875 SF / 15.0 SF PER CHAMBER = 59 CHAMBERS
USE 59 CHAMBERS / 10 CHAMBERS PER ROW = 6 ROWS
LENGTH OF CHAMBER = 5'00 LF
WIDTH OF CHAMBER = 22" - 24"
SPACING OF CHAMBERS = 40"
WIDTH OF ROW = 48" O/C +/-, 22" - 24" WIDE CHAMBERS W/ 24" SPACING
THE DRAINFIELD SHALL BE 30' +/- LONG BY 18.55' WIDE = 866.3 SF (BED AREA)
SEPTIC TANK MINIMUM EFFECTIVE CAPACITY, PER F.A.C., 44E-6.00A (2)
FOR 600 GPD = 1350 GALLON MIN EFFECTIVE CAPACITY
USE (1) 1350-GAL TANK (RECOMMENDED 1350 GALLON TANK)

SETBACKS

FRONT = 25 FEET
REAR = 25 FEET
NORTH SIDE = 10 FEET
SOUTH SIDE = 10 FEET



GENERAL PURPOSE:
THE PROPOSED MINOR SITE PLAN IN THIS SUBMITTAL INCLUDES A 0.50 ACRE, THE SITE ADDRESS IS SW 61ST CIRCLE SCALA, FL. THE DEVELOPMENT OF THE PROPERTY AS SHOWN ON THIS SITE PLAN IS SUBJECT TO THE TERMS AND CONDITIONS OF THE MARION OAS VESTED OR ITS CORRESPONDING VESTED RIGHTS DETERMINATIONS, AS MAY BE AMENDED FROM TIME TO TIME, INCLUDING PROVISIONS REGARDING THE CONCURRENCY OF PERMITS.

CONCURRENCY:
THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DETERMINED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.

SIGHT DISTANCE NOTE:
SIGHT DISTANCE AT DRIVEWAYS COMPLIES WITH MARION COUNTY LOC REQUIREMENTS.

- GENERAL NOTES:**
- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN MARION COUNTY LAND DEVELOPMENT REGULATIONS.
 - NO CHANGE TO THE WORK AS SHOWN ON THIS PLAN SHALL BE MADE WITHOUT PRIOR APPROVAL BY THE COUNTY AND PROJECT ENGINEER.
 - BOUNDARY, TOPOGRAPHY AND TREE INFORMATION IS BASED ON A SURVEY BY C & A SURVEY, INC.
 - BUILDINGS SHALL BE HANDICAP ACCESSIBLE AS PER THE STATE OF FLORIDA REGULATIONS. THE ARCHITECT/ENGINEER SHALL PROVIDE BUILDING PLANS, CLEAN AND SUITABLE MATERIAL SHALL BE USED FOR CONSTRUCTION OF THE BUILDING FOUNDATION. ALL HANDICAP PARKING & ACCESS MUST COMPLY WITH FDC CHAPTER 11.
 - ALL PARKING SPACES SHALL BE STRIPED WITH 6" WHITE LINES. HANDICAP SPACES SHALL BE SIGNED AND SHALL HAVE ADDITIONAL 4" BLUE LINES INSIDE EACH SPACE AT 2' FROM WHITE LINES. ALL WORK IS TO BE DONE IN ACCORDANCE WITH FOOT STANDARDS. ALL HANDICAP PARKING & ACCESS MUST COMPLY WITH FDC CHAPTER 11.
 - THE SITE, ACCESS & R.O.W.'S ARE TO BE KEPT CLEAN & FREE OF EXCESS DUST AND DEBRIS AT ALL TIMES DURING CONSTRUCTION. ANY INCIDENCE OF EROSION, SEDIMENTATION, DUST OR DEBRIS OCCURRING OFF-SITE AS A RESULT OF CONSTRUCTION ACTIVITIES ON THIS DEVELOPMENT SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 48 HOURS OF EACH OCCURRENCE.
 - ALL RETENTION IMPROVEMENTS AND STORM SEWER SYSTEMS EXISTING AND PROPOSED MUST BE COMPLETE PRIOR TO CONSTRUCTION OF HABITABLE AREAS.
 - IF A SINGLEHOLE SHOULD FORM ON THIS SITE, ALL APPLICABLE PROCEDURES OUTLINED IN THE "APPLICANTS HANDBOOK-KARST SENSITIVE AREAS", SURVAD, MAY 1988, SHALL BE FOLLOWED.
 - MINIMUM STRENGTH FOR ALL CONCRETE ON SITE SHALL BE 3000 PSI AT 28 DAYS OR AS OTHERWISE NOTED. ALL VEHICLE PARKING AREAS SHALL BE PAVED W/ AUTO PAVEMENT (SEE PAVEMENT STRUCTURE THICKNESS TABLE ON C503). ALL OTHER PAVEMENT AREAS SHALL BE IN ACCORDANCE WITH TRUCK PAVEMENT AS PER PAVEMENT STRUCTURE THICKNESS TABLE ON C503. ALL CONCRETE TRUCK-LOADING AREAS SHALL BE 3000 PSI CONCRETE UNO. GEO-TECH TO FIELD VERIFY DURING CONSTRUCTION.
 - PEDESTRIAN AND VEHICULAR TRAFFIC SHALL BE MAINTAINED AND PROTECTED AT ALL TIMES.
 - ALL PAVEMENT MARKINGS, MATERIALS, AND SIGNS SHALL CONFORM TO FOOT STANDARDS AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND SAFE PRACTICES FOR STREET AND HIGHWAY AND UTILITY OPERATION".
 - COPIES OF THESE PLANS AS DESIGNED BY THE PROFESSIONAL ENGINEER HAVE BEEN RETAINED BY THE PROFESSIONAL ENGINEER AND HE WILL NOT BE RESPONSIBLE FOR ANY SUBSEQUENT CHANGES TO ANY REPRODUCIBLE ORIGINAL DOCUMENTS.
 - THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO ANY CONSTRUCTION OF UTILITIES SHOWN ON THESE PLANS.
 - ALL DESIGNED IMPROVEMENTS SHOWN ON THESE PLANS ARE BASED ON EXISTING DATA SUPPLIED BY THE SURVEYOR.
 - FOR ANY CONSTRUCTION WITHIN THE STATE OF FLORIDA OR COUNTY R/W THE CONTRACTOR SHALL OBTAIN THE REQUIRED RIGHT-OF-WAY PERMITS BEFORE COMMENCING WITH THE CONSTRUCTION.
 - ALL ACCESS AND PARKING SHALL COMPLY WITH 1997 FAC.
 - AS BUILT DRAWINGS OR CERTIFICATION OF COMPLETION REQUIRED PRIOR TO C.O.
 - THE CONTRACTOR SHALL ASSURE THAT THIS SITE DOES NOT INCREASE FLOODING OF ADJACENT PROPERTY OR CONCENTRATION OF STORM WATER DISCHARGE ONTO ADJACENT PROPERTY AT TIME OF GRADING.
 - THERE WILL BE NO OUTSIDE STORAGE.

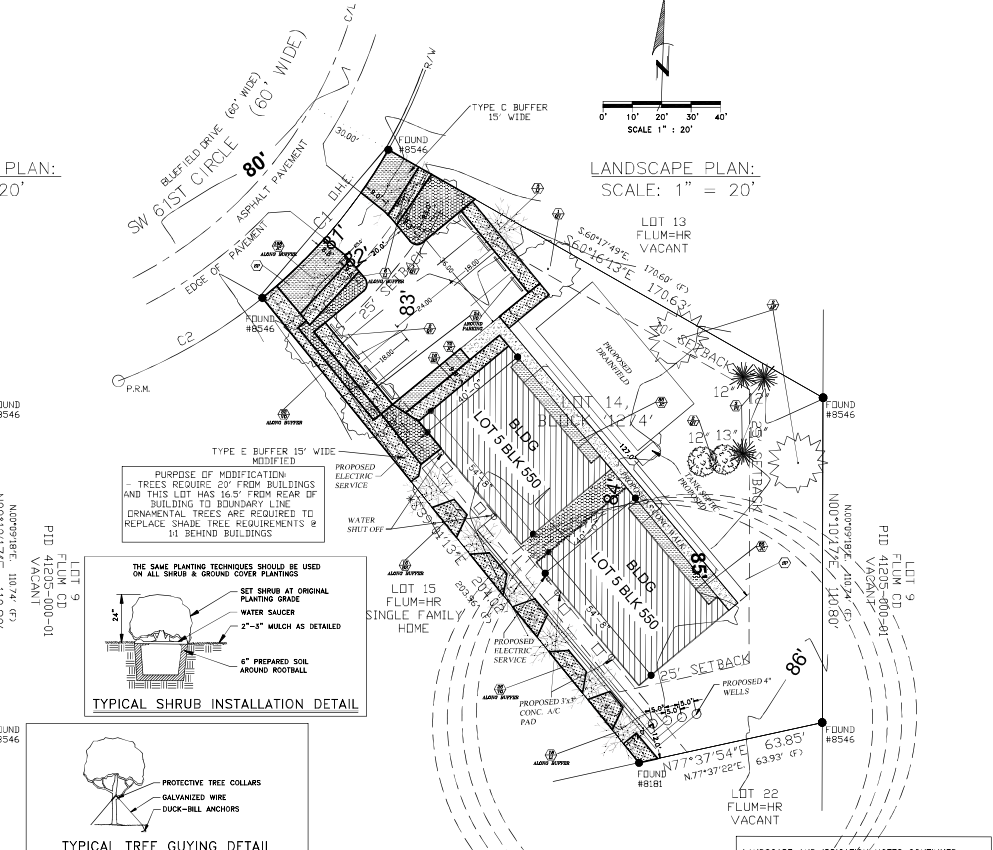
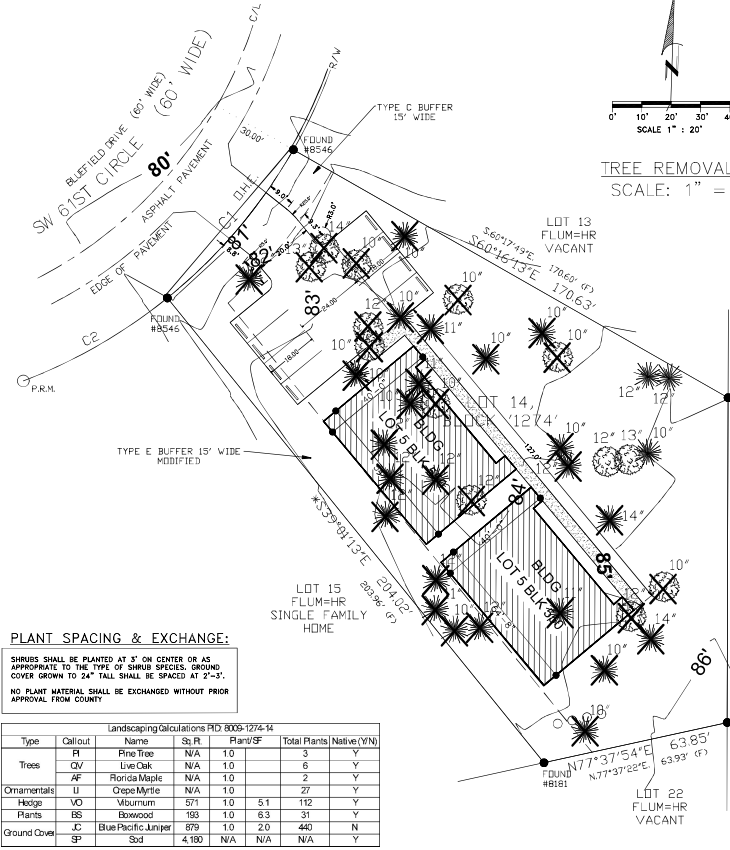
PERMEABLE DRIVEWAYS

TOTAL S.F. OF MILLINGS (4" THICK)
DUPLEX DRIVEWAY + SFH DRIVEWAY = 3,909 S.F.
OVERLAYED ON FILTER FABRIC OVER COMPACTED 12" STABILIZATION BASE. ALL SURFACE AREA SHALL BE ENCLOSED WITH A 6"x12" CONCRETE CURB FLUSH WITH NATURAL GROUND

MILES CHRISTIAN ANDERSON CONSULTING ENGINEERS, INC.
CIVIL — STRUCTURAL — LAND PLANNING — GOLF COURSE DESIGN
1515 SILVER SPRINGS BLVD., SUITE 132
OCALA, FLORIDA 34470 FAX (352) 629-4402

ENGINEER'S CERTIFICATION:		DATE:	
I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS WAIVED.			
MILES C. ANDERSON, P.E.	PROFESSIONAL ENGINEER FLORIDA REGISTRATION NUMBER 95385	C.A. # 00008842	
MINOR SITE PLAN			
RAYA INVESTMENTS			
PROJECT MSP 8009-1274-14			
SECTION 08, TWP-17, RNG-21			
MARION COUNTY, FLORIDA			
OCALA, FLORIDA			
No.	INITIAL COUNTY COMMENTS	DATE	APPROVED:
10-25-24	SCALE: AS SHOWN	7-16-24	DESIGN: MCA
			PROJ. RAYA CONSTRUCTION, LLC
			MS JOB NUMBER: 24-038
			SKETCH
			DATE
			APPROVED:
			MCA
			FILE: RAYA CONSTRUCTION, LLC

TREE #	TYPE	DBH	REMOVAL
1	PINE	12"	YES
2	DAK	13"	YES
3	DAK	14"	YES
4	DAK	10"	YES
5	PINE	10"	YES
6	DAK	12"	YES
7	DAK	10"	YES
8	PINE	10"	YES
9	DAK	10"	YES
10	PINE	10"	YES
11	PINE	11"	YES
12	PINE	12"	YES
13	DAK	10"	YES
14	PINE	11"	YES
15	PINE	10"	YES
16	PINE	10"	YES
17	PINE	10"	ND
18	DAK	10"	YES
19	PINE	10"	YES
20	PINE	12"	YES
21	PINE	12"	YES
22	PINE	12"	YES
23	PINE	12"	YES
24	DAK	12"	YES
25	PINE	12"	ND
26	PINE	12"	YES
27	PINE	10"	YES
28	DAK	13"	ND
29	DAK	12"	ND
30	PINE	14"	YES
31	PINE	12"	YES
32	PINE	11"	YES
33	PINE	10"	YES
34	PINE	12"	YES
35	DAK	12"	YES
36	PINE	11"	YES
37	DAK	10"	YES
38	PINE	14"	YES
39	PINE	10"	YES
40	PINE	10"	YES
TOTAL DBH PRESERVED = 47'			



PLANT SPACING & EXCHANGE:
 SHRUBS SHALL BE PLANTED AT 3' ON CENTER OR AS APPROPRIATE TO THE TYPE OF SHRUB SPECIES, GROUND COVER GROWN TO 24\"/>

Type	Callout	Name	Sp. R.	Flan/3F	Total Plants	Native (Y/N)	
Trees	OV	Live Oak	N/A	1.0	6	Y	
	AF	Florida Maple	N/A	1.0	2	Y	
	U	Crepe Myrtle	N/A	1.0	27	Y	
Ornamentals	VO	Mourning Glory	5/71	1.0	51	112	Y
	BS	Bloxwood	193	1.0	63	31	Y
Plants	JC	Blue Pacific Juniper	879	1.0	2.0	440	N
	SP	Sod	4,180	N/A	N/A	N/A	N

- LANDSCAPE NOTES:**
- ALL MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER.
 - ALL LANDSCAPED AREAS SHALL BE MULCHED WITH CORNERS BARK MULCH. PINE STRAW SHALL NOT BE USED.
 - MULCH SHALL NOT BE INSTALLED ON TOP OF THE ROOT BALLS OF ANY SHADE OR ORNAMENTAL TREES.
 - ALL MATERIAL INSTALLED SHALL MEET THE 2000 GRASSES AND STANDARDS FOR LANDSCAPE INSTALLATION.
 - ALL NEW TREES MUST BE GUYED OR STAKED AS DETAILED.
 - EXISTING TREES THAT ARE TO REMAIN MUST BE PROTECTED THROUGHOUT CONSTRUCTION.
 - ALL LANDSCAPE MATERIAL MUST BE INSTALLED WITH NATIVE PLANT AND SLOW RELEASE NITROGEN FERTILIZER.
 - DURING THE ESTABLISHMENT PERIOD (FIRST 30 DAYS) THE LANDSCAPE CONTRACTOR SHALL APPLY A MINIMUM OF 60-80 GPD TO ALL NEW TREES.
 - LANDSCAPE CONTRACTOR MUST LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION.
 - NO PLANTINGS OR OTHER CONSTRUCTIONS MAY BE WITHIN THE 2' VEHICULAR OVERHANG AREA.
 - SEED AND MULCH SHALL BE INSTALLED IN ALL DISTURBED AREAS.
 - REMOVE ANY TREE WOUND FROM AROUND THE TRUNK OF NEW TREES TO BE INSTALLED.
 - ALL NEW TREES AND SHRUBS MUST MEET THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1).
 - PLANT MATERIAL MUST MEET ALL SIZE SPECIFICATIONS, NOT JUST CONTAINER SIZE.
 - THE PRELIMINARY AND FINAL INSPECTIONS AS OUTLINED IN SECTION 6.7.12 SHALL BE COMPLETED WITH NO CERTIFICATE OF OCCUPANCY OR CERTIFICATION OF COMPLETION SHALL BE ISSUED UNTIL THESE INSPECTIONS HAVE BEEN COMPLETED AND APPROVAL GRANTED.
 - NOTES HAVE BEEN SHOWN REGARDING LICENSING (6.18.15 & 6.9.10), TREE PROTECTION (6.2.2), MAINTENANCE (6.8.13 & 6.8.8), FERTILIZER USE (6.8.10) AND WATERING (6.8.9).
 - ALL REQUIREMENTS OUTLINED IN SECTION 6.8.4 REGARDING FERTILIZER AND OTHER LANDSCAPE CHEMICALS SHALL BE COMPLETED WITH BY THE OWNER AND/OR OTHER LANDSCAPE PROFESSIONALS.
 - UPON COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL REQUIRE AN INSPECTION BY THE DESIGN PROFESSIONAL PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - ALL REQUIREMENTS OUTLINED IN SECTION 6.8.13 REGARDING LANDSCAPE MAINTENANCE SHALL BE COMPLETED WITH BY THE OWNER AND/OR OTHER MAINTENANCE PROFESSIONALS.
 - ALL REQUIREMENTS OUTLINED IN SECTION 6.8.10 REGARDING LANDSCAPE INSTALLATION AND MAINTENANCE LICENSING AND CERTIFICATION SHALL BE COMPLETED WITH.

LANDSCAPE CALCULATIONS:

INCHES DBH REQUIRED CALCULATIONS
 TOTAL REQUIRED = 100 INCHES / AC = 50'
 LISTED INCHES PRESERVED = 42'
 REMAINING INCHES = 8 INCHES REQUIRED
 TOTAL PROVIDED:
 EXISTING OAK = 12" x 10" = 2"
 NEW OAK = 2" x 3" = 6"
 EXISTING PINE = 10" x 12" = 12"
 CREPE MYRTLE = 27 (9 x 3.5) = 31.5"
 TOTAL = 108.5"
 FLORIDA-FRIENDLY MATERIAL CALCULATIONS
 TOTAL PLANT MATERIAL USED = 1,643
 FT MATERIAL REQUIRED = 822 (200%)
 FT MATERIAL PROVIDED = 1,243 (100%)

NATIVE MATERIAL CALCULATIONS
 TOTAL PLANT MATERIAL USED = 1,643
 NATIVE MATERIAL REQUIRED = 412 (20% INSIDE USE)
 NATIVE MATERIAL PROVIDED = 344 (14%)

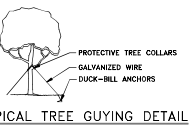
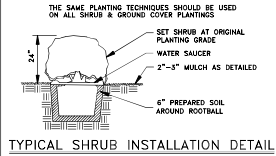
NATIVE TREE CALCULATIONS
 TOTAL NEW TREES = 6
 NATIVE TREES REQUIRED = 3 (50%)
 NATIVE TREES PROVIDED = 6 (100%)

BUILDING FRONTAGE LANDSCAPING
 TOTAL BUILDING FRONTAGE = 40 LF
 LANDSCAPE AREA REQUIRED = 24 LF (60%)
 LANDSCAPE AREA PROVIDED = 40 LF (100%)

OPEN SPACE PROVIDED:
 TOTAL PROJECT AREA = 21,841 SF (0.50 AC)
 REQUIRED OPEN SPACE = 21,841 x 0.20 = 4,368 SF
 TOTAL OPEN SPACE PROVIDED = 14,578 SF
 TOTAL LANDSCAPED OPEN SPACE PROVIDED = 5,703 SF

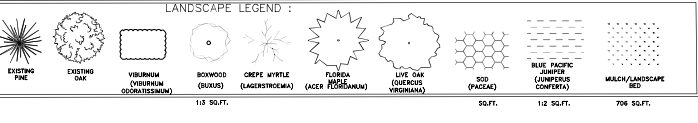
TYPE 'C' - BUFFER CALCULATIONS
 TYPE 'C' BUFFER 15' WIDE TOTAL LENGTH = 67 LF LESS DRIVEWAY (20') = 47 LF
 SHADE TREES REQUIRED = (67/100 LF) PROVIDE 2 TREES
 SHADE TREES PROVIDED = 2 (30 CAL MIN)
 NEW TREES PROVIDED = 2 (4' DIA, 2 LF)
 ORNAMENTAL TREES IN LEAF OF SHADE TREES SHALL BE 3:1 MINIMUM ORNAMENTAL TREES DBH = 1.25"

TYPE 'E' - MODIFIED BUFFER CALCULATIONS
 TYPE 'E' BUFFER 15' WIDE MODIFIED TO 15' WIDE TOTAL LENGTH = 189 LF
 SHADE TREES REQUIRED = (189/100 LF) PROVIDE 2 TREES
 SHADE TREES PROVIDED = 2 DUE TO PHYSICAL LIMITATION 20' TO BUILDING MIN. SEE 2 ORNAMENTAL TREES.
 ORNAMENTAL TREES REQUIRED = 5.46 (5/100 LF)
 ORNAMENTAL TREES PROVIDED = 6 CLUSTERS OF 3 (18 LF)
 TOTAL BUFFER AREA = 2,894 SF (MODIFIED)
 LANDSCAPE/PLANT MATERIAL AREA REQUIRED = 271 SF (50%)
 LANDSCAPE/PLANT MATERIAL AREA PROVIDED = 396 SF

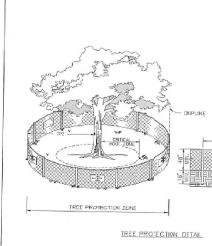


LANDSCAPE NOTES:

- IRRIGATION SYSTEM SHALL BE ZONED W/ TIMER PROVIDING FLOW TO BUZZERS AT TREES & DRIP LINE IRRIGATION TO SHRUBS AND HEDGES (SEE IRRIGATION NOTE BELOW).
- IRRIGATION AS-BUILTS WILL BE PROVIDED AT PROJECT COMPLETION
- ALL DISTURBED AREAS TO BE SOILED WITH ARGENTINE DAKOTA SOIL
- ALL PLANT MATERIAL TO BE FLORIDA GRADE #1
- ALL PLANT BEDS SHALL USE PINE STRAW MULCH
- LANDOWNER TO MAINTAIN LANDSCAPING AS APPROVED IN PERPETUITY
- PLANT MATERIAL CAN BE EXCHANGED WITH EQUIVALENT PLANT MATERIAL



LS809 Tree Protection



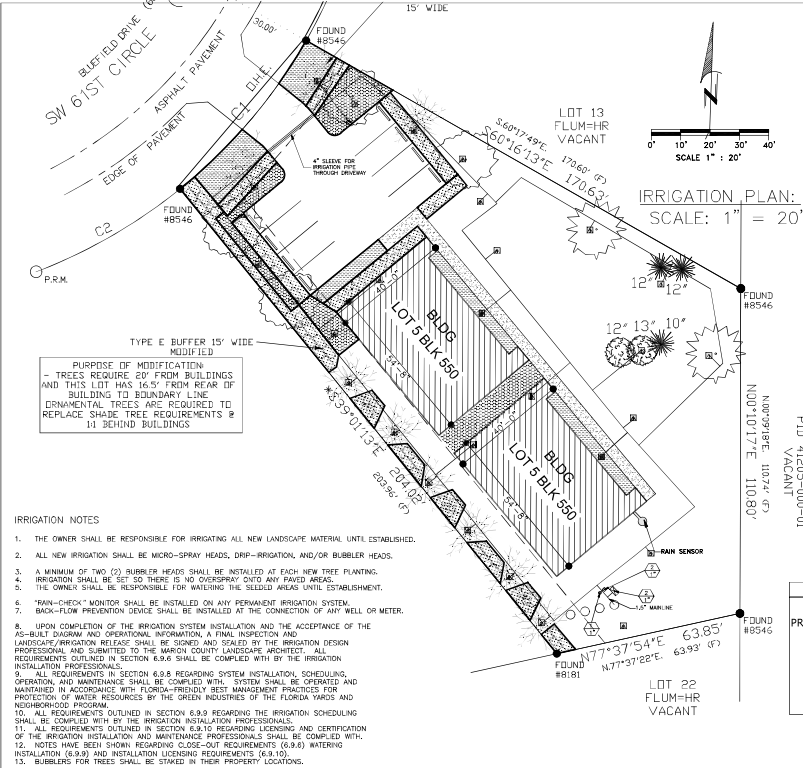
- NOTES:**
- TREE PROTECTION BARRIERS SHALL BE INSTALLED AROUND ALL IDENTIFIED TREES AND SHRUBS AT THE TIME OF THE COMMENCEMENT OF CONSTRUCTION. THE LOCATION OF THESE TREES SHALL BE IDENTIFIED ON THE CONSTRUCTION PLANS.
 - CONSTRUCTION SHALL BE PLACED BETWEEN THE PROTECTED TREES AND THE CONSTRUCTION.
 - PROTECTION SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION AND SHALL BE REPAIRED IMMEDIATELY UPON ANY DAMAGE TO THE PROTECTION.
 - REPAIRS SHALL BE MADE OF THE SAME MATERIAL, SPECIES & DIMENSIONS FOR THE LOCATION OF THE CONSTRUCTION.
 - PROTECTION SHALL BE MAINTAINED AROUND ALL IDENTIFIED TREES AND SHRUBS THROUGHOUT THE DURATION OF CONSTRUCTION.
 - REPAIRS SHALL BE MADE OF THE SAME MATERIAL, SPECIES & DIMENSIONS FOR THE LOCATION OF THE CONSTRUCTION.
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DATE	7.3.24
DESIGNER	LS
CHECKER	ODR

MILES CHRISTIAN ANDERSON CONSULTING ENGINEERS, INC.
 CIVIL - STRUCTURAL - LAND PLANNING - GOLF COURSE DESIGN
 1515 SILVER SPRINGS BLVD, SUITE 1332
 OCALA, FLORIDA 34470 FAX (352) 629-4402

LANDSCAPE PLAN		DATE:	8-15-24	DESIGN:	NCA	PROJ. JAMES TER...	SHEET
NO.	INITIAL COUNTY COMMENTS	10-25-24	SCALE:	AS SHOWN	DRAW:	MS	JOB NUMBER: 24-058
NO.	REVISION	DATE	APPROVER:	NCA	CHECK:	NCA	FILE: RAYA.MHOR...

MILES C. ANDERSON, P.E.
 PROFESSIONAL ENGINEER FLORIDA REGISTRATION NUMBER 98985
 C.A. # 000044



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER / MODEL	TYPE	ARC	PSI / GPM	RADIUS
[Symbol]	HUNTER PCC-50 (1) BUBBLER PER TREE	TREE	15-70 GAL	1 @ 0.50 GPM	SIZED BY AREA
[Symbol]	HUNTER PCC-101 (DRIP CONTROLLER @ 2' O.C.)				
[Symbol]	RED PLANTING AREA TO RECEIVE POINT SOURCE IRRIGATION				
[Symbol]	HUNTER HE POINT SOURCE EMITTERS AT EACH PLANT:				
[Symbol]	HE-10-B (DRIP, 10PH) = 1 ASSIGNED TO EACH #1 PLANT				
[Symbol]	HE-20-B (DRIP, 20PH) = 1 ASSIGNED TO EACH #2 PLANT				
[Symbol]	HE-20-B (DRIP, 20PH) = 2 ASSIGNED TO EACH #3 PLANT				
[Symbol]	LATERAL LINE TO EMITTERS = HUNTER BLANK TUBING PLD-BLANK 17mm				
[Symbol]	NOTES: PIERCE BLANK TUBING WITH EMITTERS AT EACH PLANT				

1" IRRIGATION METER, BACKFLOW PREVENTION PER COUNTY CODE

HUNTER IGV-101 - 1" ELECTRIC GLOBE VALVE W/ FLOW CONTROL
 HUNTER IGV-151 - 1" ELECTRIC GLOBE VALVE W/ FLOW CONTROL
 HUNTER IGV-201 - 2" ELECTRIC GLOBE VALVE W/ FLOW CONTROL

HUNTER PCC-101 DRIP CONTROLLER (FLOW 0.5-1.5 GPM) W/ FILTER SYSTEM JAMBO VALVE BOX REQUIRED.

HUNTER PCC-101 DRIP CONTROLLER (FLOW 0.5-1.5 GPM) W/ FILTER SYSTEM JAMBO VALVE BOX REQUIRED.

HUNTER PCC-101 DRIP CONTROLLER (FLOW 0.5-1.5 GPM) W/ FILTER SYSTEM JAMBO VALVE BOX REQUIRED.

MODEL: PC OUTDOOR
 PROVIDED FLOW MIDDLES AS REQUIRED

HUNTER RAIN-CLICK SENSOR
 MOUNT IN LOCATION WITH OPEN VIEW TO SKY.

IRRIGATION MANHOLE: 1.5" PVC CLASS 200 SDR 21
 IRRIGATION LATERAL LINE: 1.5" PVC CLASS 100 SDR 26 (NOT SHOWN, SIZE PER CHART)

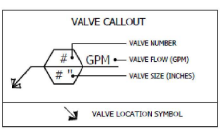
SCH 40 IRRIGATION SLEEVE

LAND USE TABLE

	AG	SFR	MF	COM	IND	PUB	ROW
AG	AGRICULTURE, RURAL LANDS, NATURAL RESERVATION						
SFR	SINGLE FAMILY, DUPLEX RESIDENTIAL						
MF	MULTI-FAMILY RESIDENTIAL						
COM	COMMERCIAL, RV PARKS, COMMERCIAL RECREATION						
IND	INDUSTRIAL USES						
PUB	PUBLIC USE (INCLUDING GOVERNMENT, INSTITUTIONAL, AND RELATED PROFESSIONAL OFFICES)						
ROW	ARTERIAL OR COLLECTOR RIGHT-OF-WAY OR ROAD EASEMENT						

LAND USE TABLE

PROPOSED USE	AG	SFR	MF	COM	IND	PUB	ROW
AG	-	-	-	-	-	-	-
SFR	E	-	C	A	B	C	C
MF	E	A	-	A	B	C	C
COM	D	B	B	-	B	C	C
IND	B	B	B	B	-	B	D
PUB	E	B	C	C	C	-	C



VALVE SIZING

PRESSURE LOSSES NOT TO EXCEED 5 PSI:

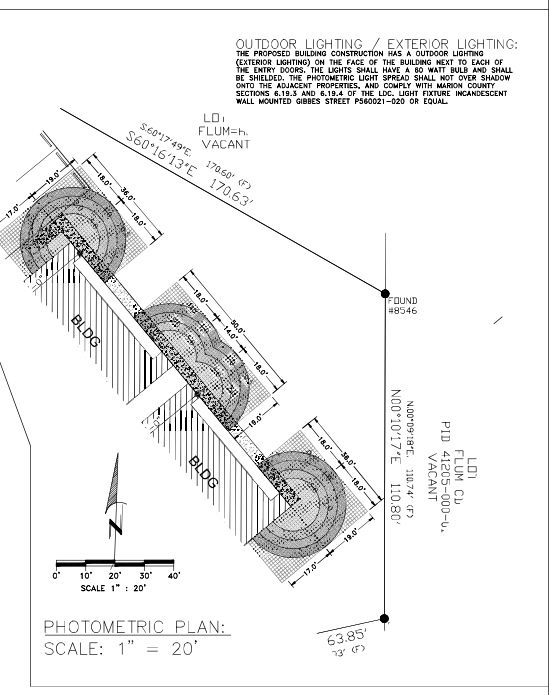
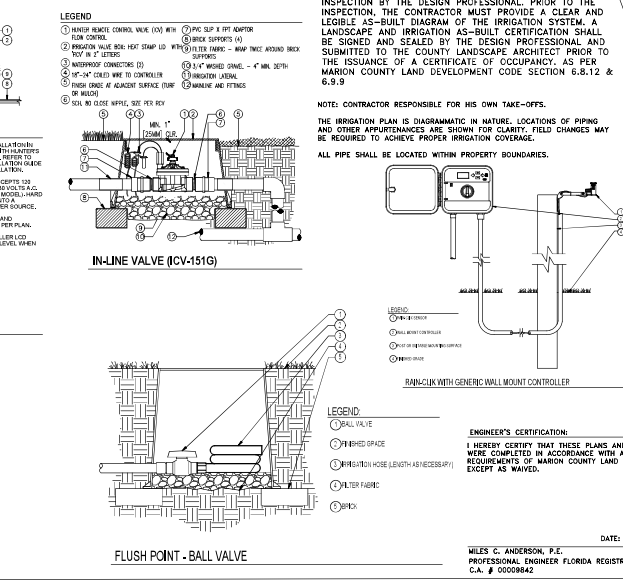
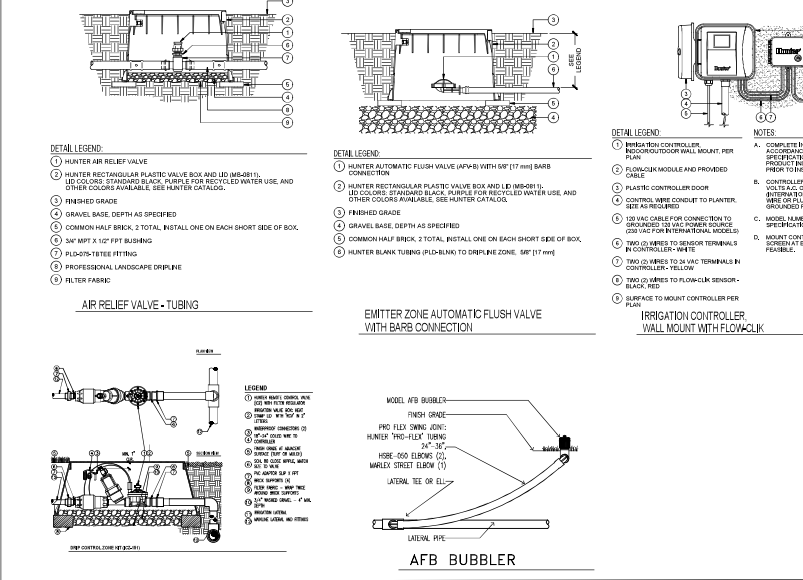
PSV PRESSURE LOSSES IN PSI	Flow 1"	1 1/2"	2"
GPM	Globe	Globe	Globe
1	1.1	1.1	1.1
5	1.9	1.9	1.9
10	2.7	2.7	2.7
15	3.3	3.3	3.3
20	3.9	3.9	3.9
25	4.4	4.4	4.4
30	4.9	4.9	4.9
35	5.4	5.4	5.4
40	5.9	5.9	5.9
45	6.4	6.4	6.4
50	6.9	6.9	6.9
55	7.4	7.4	7.4
60	7.9	7.9	7.9
65	8.4	8.4	8.4
70	8.9	8.9	8.9
75	9.4	9.4	9.4
80	9.9	9.9	9.9
85	10.4	10.4	10.4
90	10.9	10.9	10.9
95	11.4	11.4	11.4
100	11.9	11.9	11.9
105	12.4	12.4	12.4
110	12.9	12.9	12.9
115	13.4	13.4	13.4
120	13.9	13.9	13.9

PLD EMITTER LINE MAXIMUM LENGTH

EMITTER LINE LENGTH IN FEET (FOR 1.0 GPM EMITTERS)

PSI	EMITTER SPACING	12"	18"	24"
15	126	176	222	
20	169	235	295	
25	197	276	346	
30	218	308	390	
35	240	337	425	
40	263	362	452	
45	271	364	456	
50	288	401	503	

(LENGTH ON 0% SLOPE)
SEE MNR'S SPECS



LANDSCAPE/IRRIGATION PERMIT NOTES:
 A PERMIT WILL BE ISSUED FROM MARION COUNTY BUILDING DIVISION PRIOR TO INSTALLATION OF IRRIGATION SYSTEMS.
 UPON COMPLETION OF THE LANDSCAPE AND/OR IRRIGATION INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL PRIOR TO THE INSPECTION, THE CONTRACTOR MUST PROVIDE A CLEAR AND LEGIBLE AS-BUILT DIAGRAM OF THE IRRIGATION SYSTEM. A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, AS PER MARION COUNTY LAND DEVELOPMENT CODE SECTION 6.8.12 & 6.9.9

NOTE: CONTRACTOR RESPONSIBLE FOR HIS OWN TAKE-OFFS.
 THE IRRIGATION PLAN IS DIAGRAMMATIC IN NATURE. LOCATIONS OF PIPING AND OTHER APPURTENANCES ARE SHOWN FOR CLARITY. FIELD CHANGES MAY BE REQUIRED TO ACHIEVE PROPER IRRIGATION COVERAGE.

ALL PIPE SHALL BE LOCATED WITHIN PROPERTY BOUNDARIES.

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 1515 SILVER SPRINGS BLVD., SUITE 132 (352) 629-5591
 OCALA, FLORIDA 34470 FAX (352) 629-4402

IRRIGATION PLAN

RAYA INVESTMENTS LLC
 PROJECT: MSP 8009-1274-14
 SECTION 08, TWP-17, RNG-21
 MARION COUNTY, FLORIDA
 OCALA, FLORIDA

No.	INITIAL COUNTY COMMENTS	DATE	APPROVER	DATE	APPROVER
1		10-25-24	MSA	11-15-24	MSA
2			MSA		MSA
3			MSA		MSA

DATE: 11-15-24
SCALE: AS SHOWN
DRAWN: MS
JOB NUMBER: 24-058
CHECKED: MCA
FILED: RAYA MINOR

MILES C. ANDERSON, P.E.
 PROFESSIONAL ENGINEER FLORIDA REGISTRATION NUMBER 98985
 C.A. # 0000462