



SUBMITTAL SUMMARY REPORT 29897

PLAN NAME: SADDLE OAK CLUB EXPANSION

LOCATION: 5610 SW 60TH ST
OCALA,

APPLICATION DATE: 03/20/2023

PARCEL: 35369-027-00

DESCRIPTION:

CONTACTS	NAME	COMPANY
Applicant	Dan Gibbs	ATWELL
Engineer of Record	Dan Gibbs	ATWELL

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.1	06/18/2024	06/25/2024	12/22/2025	Approved

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.1

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)		06/25/2024	12/22/2025	Approved
<i>Comments</i>	YES 2.12.8 - Legal description matches boundary on plan YES 2.12.28 - Correct road names supplied New roads names are – SW 53rd Ter, SW 55th Ter and SW 58th St are listed on Sheet C200. Please label on all future submissions. YES 6.2.1.F - North arrow and graphic drawing and written scale Sheets C320, C321 the North Arrow is missing N/A Additional 911 comments			
Environmental Health (Plans) (Environmental Health)		06/25/2024	12/22/2025	Approved
<i>Comments</i>	YES Central Sewer Central Sewer N/A Lot Size N/A Total Flow N/A Available Area YES DEP Water Approval Central Water N/A Operating Permit Required N/A 2.12.6 - Location of septic systems & wells N/A 2.12.36 - Location of water & septic systems INFO Additional Health comments N/A			
Fire Marshal (Plans) (Fire)		06/25/2024	12/22/2025	Approved
<i>Comments</i>	YES 6.18.2 - Fire Flow/Fire Hydrant YES 6.18.3 - Gated Communities/Properties N/A 6.18.4 - Wildland Interface Area N/A 6.18.5 - Access Control Box N/A 6.18.2.D - Fire Department Connections N/A NFPA 1 Chapter 11.10.1 - In Building Minimum Radio Signal Strength YES 6.18.2.G - Painting and Marking of Fire Hydrants YES NFPA 1 Chapter 18.2.3 - Fire Dept Access Roads YES Additional Fire comments			

SUBMITTAL SUMMARY REPORT (29897)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)		06/25/2024	12/22/2025	Approved

Comments

Land Use: Approval

YES 2.12.18 - All trees 10" DBH and larger Show all existing trees on parcel, determine type of Mulberry, paper mulberry is invasive and should be removed

N/A 2.12.25 - Marion Friendly Landscape Areas

YES 6.7.3 - Tree protection

N/A 6.7.4 - Shade tree requirements

YES 6.7.6 - Tree removal submittal requirements

INFO 6.7.8 - Protected tree replacement requirements 410" of trees required (914-504 = 410); 412" provided, Plan indicates 353" required

YES 6.7.9 - Replacement trees; general requirements 1.Applicant to contact staff to discuss

YES 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes)

YES 6.8.3 - Landscape design standards

N/A 6.8.4 - Landscape area requirements for non-residential development

YES 6.8.5 - Landscape area requirements for residential and mixed use developments Provide landscape calculations

N/A 6.8.6 - Buffers

N/A 6.8.7 - Parking areas and vehicular use areas

N/A 6.8.8 - Building landscaping

N/A 6.8.9 - Service and equipment areas

N/A 6.13.3.C(5) - Landscaping of public stormwater management facilities

N/A 6.13.3.D(4) - Landscaping of private stormwater management facilities

YES 6.8.10 - General planting requirements (specifications)

YES 6.8.11 - Landscape installation

YES 6.8.12 - Landscape completion inspection requirements add note from this section of code to plan

YES 6.9.2 - Irrigation plan requirements (details, legend, notes) provide irrigation plan

YES 6.9.3 - Irrigation design standards

YES 6.9.5 - Irrigation system installation

YES 6.9.6 - Completion inspection requirements

N/A 6.19.3 - Outdoor lighting plan requirements

N/A 6.19.4 - Exterior lighting design standards

N/A 5.5.4.B - Permitted uses within Springs Protection Overlay Zone

PEND Additional Landscape comments 1. Tree numbers, verify mulberry type, sheet L200 mitigation numbers don't add up

Zoning: Approval

YES 2.12.4.C - Owner and applicant name

YES 2.12.4.L(1) - Parcel number

YES 2.12.21/6.3.1.C(10) - Land use and zoning on project and on adjacent properties shown

YES 2.12.4.L(4) - Zoning requirements: lot width, area, setbacks, coverage (floor area ratios) and parking

YES 2.12.23/4.2 -Setbacks, dimensions for all improvements, and easements

YES 2.12.24 - Landscape requirements/6.8.6 - Buffering

YES 2.12.4.L(7) - List and describe land use including floor area of particular use (example: office, warehouse, storage or assembly) these descriptions are often found in the summary of parking requirements but should be clearly shown on plan

INFO 2.12.6 - Location of water and sewer. Does this need a special use permit? Defer to MCU.

YES 2.12.9 - Show adjacent streets serving development

YES 2.12.32 - Show 100yr flood zone

YES 2.12.32 - Modified Environmental Assessment for Listed Species (LDC 6.5.4) -OR- EALS Exemption Application (LDC 6.5.3) submitted (including habitat assessment as necessary per LDC 6.6.4)

YES 2.12.4.L(10) - Parking requirements, service entrances, space size paved parking isle and access to parking area/6.11.8 - Off-street parking requirements/6.11.7 - Loading Areas/ 6.11.6 - Construction access/route

YES 4.4.4 -Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan.

YES 2.12.19 - Provide dimensions and location of all existing site improvements; dimensions and location for all proposed site improvements with all setbacks

N/A 2.12.27 - Show location of outside storage areas

YES 5.2 & 5.3 - Verify any overlay zones such as ESOZ, Springs Protection, or Flood Plain

N/A Additional Zoning comments

SUBMITTAL SUMMARY REPORT (29897)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Landscape (Plans) (Parks and Recreation)		06/25/2024	12/22/2025	Approved
<i>Comments</i>	<p>YES 2.12.18 - All trees 10" DBH and larger Show all existing trees on parcel, determine type of Mulberry, paper mulberry is invasive and should be removed</p> <p>N/A 2.12.25 - Marion Friendly Landscape Areas</p> <p>YES 6.7.3 - Tree protection</p> <p>N/A 6.7.4 - Shade tree requirements</p> <p>YES 6.7.6 - Tree removal submittal requirements</p> <p>INFO 6.7.8 - Protected tree replacement requirements 410" of trees required (914-504 = 410); 412" provided, Plan indicates 353" required</p> <p>YES 6.7.9 - Replacement trees; general requirements 1.Applicant to contact staff to discuss</p> <p>YES 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes)</p> <p>YES 6.8.3 - Landscape design standards</p> <p>N/A 6.8.4 - Landscape area requirements for non-residential development</p> <p>YES 6.8.5 - Landscape area requirements for residential and mixed use developments Provide landscape calculations</p> <p>N/A 6.8.6 - Buffers</p> <p>N/A 6.8.7 - Parking areas and vehicular use areas</p> <p>N/A 6.8.8 - Building landscaping</p> <p>N/A 6.8.9 - Service and equipment areas</p> <p>N/A 6.13.3.C(5) - Landscaping of public stormwater management facilities</p> <p>N/A 6.13.3.D(4) - Landscaping of private stormwater management facilities</p> <p>YES 6.8.10 - General planting requirements (specifications)</p> <p>YES 6.8.11 - Landscape installation</p> <p>YES 6.8.12 - Landscape completion inspection requirements add note from this section of code to plan</p> <p>YES 6.9.2 - Irrigation plan requirements (details, legend, notes) provide irrigation plan</p> <p>YES 6.9.3 - Irrigation design standards</p> <p>YES 6.9.5 - Irrigation system installation</p> <p>YES 6.9.6 - Completion inspection requirements</p> <p>N/A 6.19.3 - Outdoor lighting plan requirements</p> <p>N/A 6.19.4 - Exterior lighting design standards</p> <p>N/A 5.5.4.B - Permitted uses within Springs Protection Overlay Zone</p> <p>PEND Additional Landscape comments 1. Tree numbers, verify mulberry type, sheet L200 mitigation numbers don't add up</p>			

SUBMITTAL SUMMARY REPORT (29897)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Design (Plans) (Office of the County Engineer)		06/25/2024	12/22/2025	Approved
<i>Comments</i>	<p>YES 2.21.2.B - Major Site Plan fee of \$250.00 + (\$5.00 x total site acreage) made payable to Marion County BCC 6/18/24-fee due with resubmittal 4/16/24-fee due with resubmittal 4/12/23 - fee due with resubmittal</p> <p>N/A 2.21.2.B - Plan review fee of \$40.00 made payable to Marion County Health Department</p> <p>N/A Traffic study / methodology fee of \$200.00 made payable to Marion County BCC is required prior to plan approval. Refer to Resolution 10-R-630 for the current fee schedule.</p> <p>N/A 2.1.6.A - \$100 Resubmittal fee payable to Marion County BCC</p> <p>N/A 2.1.7.A - \$100 Revision fee payable to Marion County BCC</p> <p>N/A 2.1.3 - Order of plan approval</p> <p>YES 2.12.3 - Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions</p> <p>YES 2.12.4.A - Type of application on front page 4/16/24-Corrected 4/12/23 - application is major site plan</p> <p>YES 2.12.4.B - Project name centered at top of front page</p> <p>YES 2.12.4.C - Name, address, phone number, and signature of owner and applicant on front sheet</p> <p>YES 2.12.4.D - Owner's certification on front sheet: I hereby certify that I, my successors, and assigns shall perpetually maintain the improvements as shown on this plan 4/16/24-Corrected</p> <p>YES 2.12.4.E - The name, address, phone number, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet</p> <p>YES 6.2.1.A - Name, street address, signature, date, license number, and seal of licensed professional on each sheet</p> <p>YES 2.12.4.F - Licensed professional certification on cover sheet with signature and seal on all sheets after plan approval</p> <p>YES 2.12.4.F(1) - Licensed Design Professional Certification: I hereby certify that these plans and calculations were completed in accordance with all applicable requirements of the Marion County Land Development Code, except as waived. 4/16/24-Corrected</p> <p>YES 2.12.4.G - A key location or vicinity map, with north arrow, with reference to surrounding properties, streets, municipal boundaries, sections, ranges, and township</p> <p>YES 2.12.4.H - A portrait oriented minimal 3 inches x 5 inches space, located 2.75 inches from the right edge of paper and .75 inches from the top edge of paper, shall remain blank to allow for a County approval stamp</p> <p>YES 2.12.4.I & 6.2.1.D - Index of sheets and numbering</p> <p>INFO 2.12.4.K - List of approved waivers, their conditions, and the date of approval 4/12/23 - add waivers if requested in the future</p> <p>YES 2.12.4.L(1) - Parcel number</p> <p>YES 2.12.7 - A digital version of the plan in a format pre-approved by the Office of the County Engineer</p> <p>N/A 2.21.2.A - Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application</p> <p>YES 6.2.1.B - Plans shall be legible and meet typical industry standards</p> <p>YES 6.2.1.C - Standardized sheet size shall be 24" x 36"</p> <p>YES 6.2.1.F - North arrow and graphic drawing and written scale</p> <p>N/A Legal Documents</p> <p>INFO Additional Development Review Comments After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.</p>			

SUBMITTAL SUMMARY REPORT (29897)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)		06/25/2024	12/22/2025	Approved
<i>Comments</i>	<p>INFO Major Site Plan Verified with SunBiz HR 4.17.24</p> <p>IF APPLICABLE:</p> <p>Sec. 2.18.1.I - Show connections to other phases.</p> <p>Sec.2.19.2.H – Legal Documents</p> <p>Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.</p> <p>Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)</p> <p>For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."</p> <p>Sec. 6.3.1.B.2 – Required Right of Way Dedication</p> <p>For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."</p> <p>Sec. 6.3.1.D.3 - Cross Access Easements</p> <p>For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."</p> <p>Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)</p> <p>"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."</p> <p>Sec. 6.3.1.C.2 – Utility Easements</p> <p>"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:</p> <ol style="list-style-type: none"> "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities." "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." <p>Sec.6.3.1.D(f) –</p> <p>If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."</p>			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)		06/25/2024	12/22/2025	Approved

SUBMITTAL SUMMARY REPORT (29897)

Comments

YES 2.12.4.L(9)(b) - Data Block (Impervious Area) Please provide data block on the cover sheet detailing the existing and proposed impervious & pervious area in SF, ac, and %. Please include any offsite drainage to your site in the data block.

YES 2.12.8 - Topographical Contours LDC requires contours to extend 100 feet beyond the property boundary. A waiver may be pursued if desired.

N/A 2.12.9/10 - Existing Drainage Right-of-Way/Easements

N/A 2.12.9/10 - Proposed Drainage Right-of-Way/Easements

YES 2.12.13/14/15 - General Exhibits Please submit a National Wetlands Inventory map with project boundary outlined.

N/A 2.12.20 - Stormwater Infrastructure Supports Phasing

YES 2.12.38 - Stormwater Maintenance Entity Please add the following Owner's Certification to plan cover sheet: "I hereby certify that I, my successors, and assigns shall perpetually maintain the improvements as shown on this plan". The individual signing the certification needs to be an agent or member of the entity that will own and maintain the stormwater system, or an authorized signatory of that entity. If signatory is not an agent or member, a letter authorizing a different individual needs to be submitted with the signed documents. The authorization letter must be signed by an agent/officer of owner. Sunbiz will be used to verify agents and/or officers.

YES 6.13.2.C - Geotechnical Investigation Report

YES 6.13.7 - Geotechnical Criteria

YES 6.13.2.A(1)/(2) - Contributing Basins/Tc

YES 6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations This criteria to be reviewed with resubmittal.

YES 6.13.2.A(4) - Stormwater Features & Connective Elements

YES 6.13.2.A(3) - Retention/Detention Area Design Parameters Add coordinates and dimensions to the major pond components (changes in alignment, corners, etc) for constructability.

YES 6.13.3 - Type of Stormwater Facility Criteria For commercial lots or subdivisions retention/detention areas shall be designed with a 5' maintenance path around the entire perimeter of the facility and side slopes.

YES 6.13.4 - Stormwater Quantity Criteria This criteria to be reviewed with resubmittal.

YES 6.13.2.B(4) - Hydrologic Analysis This criteria to be reviewed with resubmittal.

YES 6.13.4.C - Discharge Conditions This criteria to be reviewed with resubmittal.

YES 6.13.2.B(6) - Freeboard This criteria to be reviewed with resubmittal.

YES 6.13.4.D - Recovery Analysis Marion County LDC requires recovery within 14 days following the design storm, in this case the 100-year, 24-hour storm. If recovery is not achievable within 14 days, pond must be designed to retain an additional post - pre for the design storm. The second storm "post pond 2" starts at an elevation of 59'. Please revise recovery analysis with the second storm starting at an elevation of 60.62' (ending elevation of first storm).

YES 6.13.5 - Flood Plain & Protection

YES 6.13.2.A(8) - Finish Floor Elevation Criteria

YES 6.13.6 - Stormwater Quality Criteria

N/A 6.12.6 - Roadway Flooding Level of Service

N/A 6.13.6.B - Alternative Treatment Techniques

YES 6.13.6.C - Best Management Practices Plan details need to include County's standard karst repair detail. Contact reviewer to obtain a copy of the detail.

YES 6.13.8 - Stormwater Conveyance Criteria See comment under "6.13.2.B(5) - Hydraulic Analysis"

YES 6.13.2.B(5) - Hydraulic Analysis Please confirm hydraulic calculations utilized a rainfall intensity for 25-year curve on the FDOT zone 7 IDF curves. Call out "I" used in the calculations. HGL calculations need to ensure that conveyance system can accommodate runoff with applicable tailwater condition without surcharging inlets.

N/A 6.13.8.B(3) - Lane Spread Calculations

N/A 6.13.2.A(9) - Access Accommodates Stormwater

YES 6.13.8.B(7) - Minimum Pipe Size

YES 6.13.2.A(5) - Existing/Proposed Stormwater Structures

YES 6.13.2.A(6) - Existing/Proposed Stormwater Pipes (1) Please clarify the use of a bubble up structure with sumped pipe. This is not a preferable configuration, especially in light of the seasonal high water elevation per the geotechnical data provided. The profile for this run of pipe shows a 8" pipe crossing, but survey and grading plan do not depict this run of pipe. Based on grading, it appears that the location of inlet B-2 could be adjusted to avoid this pipe conflict. Please clarify. (2) Based on aerial imagery, the ~ 4' sumped discharge area appear to stay wet. This is supported by the estimated seasonal high water table data presented by the geotechnical engineer. This not a desirable design configuration. Sumped discharges have been allowed in the County, but they are required to have separation between the discharge pipe invert and the seasonal high.

N/A 6.13.2.A(7) - Existing/Proposed Stormwater Swales

YES 6.13.9 - Grading Criteria

YES 6.13.2.A(11)(a) - Construction Entrance

YES 6.13.2.A(11)(b) - Erosion Control

YES 6.13.2.A(12)/6.12.5 - Stormwater Details, Cross Sections, References On sheet C310: (1) Please show the design high water elevation for storm 1 and 2. (2) include the top of pond elevation for section view 1.

YES 6.13.2.B(8) - Calculation & Plan Consistency This criteria to be reviewed with resubmittal.

INFO 6.13.10.B - Copy of NPDES Permit or NOI Please provide a copy of the NPDES permit or NOI prior to construction.

YES Copy of District Permit (County Interest) Please provide a copy of the District permit prior to construction.

YES 6.10 - Karst Topography and High Recharge Areas

YES 7.1.3 - Drainage Construction Specifications

YES 6.13.12 - Operation and Maintenance Please submit signed O&M. The individual signing the certification needs to be an agent or member of the entity that will own and maintain the stormwater system, or an authorized signatory of that entity. If signatory is not an agent/officer, a letter authorizing a different individual needs to be submitted with the signed documents. The authorization letter must be signed by an agent/officer of owner. Sunbiz will be used to verify agents and/or officers.

YES Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis. After all stormwater comments are resolved, please provide a hard copy of the final signed and sealed stormwater report signature page with references to the stormwater analysis or a copy of the final signed and sealed full stormwater analysis.

N/A Additional Stormwater comments If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.

SUBMITTAL SUMMARY REPORT (29897)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Survey (Plans) (Office of the County Engineer)		06/25/2024	12/22/2025	Approved
<i>Comments</i>	YES 6.2.1.A - The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet. YES 6.2.1.E - Provide drawing legend YES 6.2.1.F - Provide north arrow and graphic drawing and written scale YES 6.4.7.A(1) - Show a minimum of two bench marks per site YES 6.4.7.A(2 & 3) - Bench mark information shown N/A 6.4.7.A(2 & 3) - One copy of the vertical control field notes shall be submitted to the Office of the County Engineer for review YES 6.4.7.B(1) - Show a minimum of two intervisible horizontal control points per site YES 6.4.7.B(2) - Horizontal control points shall be monumented and referenced to the Florida State Plane Coordinate System YES 6.4.7.B(4) - Provide a statement or table detailing horizontal datum, adjustment, and coordinate values N/A 6.4.7.B(4) - One copy of the horizontal control notes along with reduction reports shall be submitted to the Office of the County Engineer for review YES 6.4.7.D - The location of the existing one percent (100-year) flood plain as shown on FEMA FIRM, with zone, elevation, and vertical datum noted YES 6.4.7.D - A note shall appear on the construction plans detailing source and survey field methods used to obtain and delineate the flood plain line shown N/A 6.4.7.E - Line and curve table must be shown on the sheet to which they apply YES 6.4.7.F - All abbreviations used shall be clearly defined in the legend YES 2.12.4.F.(2) - Surveyor and Mapper certification YES 2.12.4.G - Show a location or vicinity map YES 2.12.8 - Provide current boundary and topographic survey less than one year old N/A 2.12.9 - Provide location and dimensions of all rights-of-way serving the project YES 2.12.10 - Show any known existing or proposed easement or land reservation YES 2.12.11 - Provide an aerial map of the site with a layout of the development YES 2.12.32 - Provide site analysis map depicting the existing (100-year) flood plain N/A Additional Survey comments			
OCE Traffic (Permits & Plans) (Office of the County Engineer)		06/25/2024	12/22/2025	Approved
<i>Comments</i>	YES 2.12.9 - Location and dimensions of streets and right-of-way YES 2.12.20 - Phases of development N/A 2.12.30 - Route Plan YES 2.12.38 - Maintenance of improvements YES 6.2.1.E - Drawing legend N/A 6.11.3 - Traffic Impact Analysis N/A 6.11.4.B - Cross access N/A 6.11.4.E - Sight triangle N/A 6.11.5 - Driveway access N/A 6.11.6 - Construction route N/A 6.11.9.A - Traffic signals YES 6.11.9.B - Traffic signs YES 6.11.9.C - Pavement marking YES 6.12.1.A - Transportation Facilities - Purpose and Intent N/A 6.12.2 - Right-of-way N/A 6.12.11 - Turn lanes N/A 6.12.12 - Sidewalks N/A 6.12.13 - Utility position in right-of-way N/A Additional Traffic comments			

SUBMITTAL SUMMARY REPORT (29897)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Utilities (OCE Plans) (Utilities)		06/25/2024	12/22/2025	Approved
<i>Comments</i>	<p>N/A Marion County Utilities Contact Information</p> <p>YES Parcel numbers identified in project match proposed site plan layout 35369-027-00</p> <p>YES 6.14.2.A(1) - Public water service area/provider Sun Communities</p> <p>YES 6.14.2.A(1) - Public sewer service area/provider Sun Communities</p> <p>YES 6.14.2.A(1) - Letter of Availability and Capacity (w/Location Map of water and/or sewer as app) from provider Parcel lies within Sun Communities' service area. Development on this parcel will require a map and letter of availability and capacity from the provider for public water and sewer connection per Land Development Code 6.14.2.</p> <p>N/A 6.14.2.A - Water Connection Requirements</p> <p>N/A 6.14.2.A - Sewer Connection Requirements</p> <p>N/A 6.14.2.C.2(e) - Grease Trap, FOG Worksheet</p> <p>N/A 6.14.2.C - Industrial Pretreatment</p> <p>N/A 6.14.3 - Onsite Waste Treatment and Disposal System (OSTDS) - connection requirement on plan</p> <p>YES 6.14.3.B - Springs Protection Zone secondary</p> <p>N/A 6.14.4 - Water (potable) Capital Charges and Flow Rates - proposed use identified to calculate</p> <p>N/A 6.14.4 - Water (irrigation) Capital Charges and Flow Rates - total irrigated area identified</p> <p>N/A 6.14.4 - Sewer Capital Charges and Flow Rates - proposed use identified to calculate</p> <p>N/A 6.14.5.A(1) - Submittal Requirements - Existing on-site & off-site mains and service connections</p> <p>N/A 6.14.5.A(2) - Submittal Requirements - Proposed on-site & off-site mains and service connections</p> <p>N/A 6.14.5.A(3) - Submittal Requirements - Lift Stations layout, elevations, schedules</p> <p>N/A 6.14.5.A(6) - Submittal Requirements - Manhole locations, rim and invert elevations outside paved areas</p> <p>N/A 6.14.5.A(8) - Submittal Requirements - Connection to existing water system</p> <p>N/A 6.14.5.A(8) - Submittal Requirements - Connection to existing sanitary system</p> <p>N/A 6.14.5.B - Construction Notes - Cover, horiz/vert datums, construction requirements</p> <p>N/A 6.14.5.B - Construction Notes - UT DETAILS - current LDC version</p> <p>N/A 6.14.5.C - All issued permits related to this project shall be submitted to MCU (DOT, ROW, misc)</p> <p>N/A 6.14.5.C - DEP permit for water mains to be constructed/owned by MCU</p> <p>N/A 6.14.5.C - DEP permit for water mains to be constructed/owned by developer</p> <p>N/A 6.14.5.C - DEP permit for sewer mains to be constructed/owned by MCU</p> <p>N/A 6.14.5.C - DEP permit for sewer mains to be constructed/owned by developer</p> <p>N/A 6.14.5.D - Hydraulic Analysis</p> <p>N/A 6.14.6 - Design Criteria for Utility Systems to be owned/maintained by MCU</p> <p>N/A 6.14.7 - Construction Inspection - PLAN NOTE:</p> <p>N/A 6.14.8.A - Completion and Closeout - PLAN NOTE: As-builts</p> <p>N/A 6.14.9.A - Developer's Agreement</p> <p>N/A 6.14.9.B - Transfer of Facilities to Marion County Utilities - PLAN NOTE:</p> <p>N/A 6.14.9.B - Bill of Sale</p> <p>N/A 6.15.1 - Potable Water Distribution System</p> <p>N/A 6.15.2 - Decentralized Water System (WTP)</p> <p>YES 6.15.3 - Fire Protection/Fire Flow Capacity defer to MCFR</p> <p>N/A 6.15.4 - Water Main Piping Installation</p> <p>N/A 6.15.5 - Water Service and Connection</p> <p>N/A 6.15.6.A - Potable Water Metering - individual/banked, size</p> <p>N/A 6.15.6.B - Irrigation Water Metering - size</p> <p>N/A 6.15.6.C - Sewer service only (water meter required/shown)</p> <p>N/A 6.15.6.D - Meter Location</p> <p>N/A 6.15.6.E - Meter Easements</p> <p>N/A 6.15.6.F - Meter Boxes</p> <p>N/A 6.15.6.G & H - Meter Sizing</p> <p>N/A 6.15.7 - Cross Connection Control and Backflow Prevention</p> <p>N/A 6.15.8 - Public Water Well Standards</p> <p>N/A 6.15.9 - Wellfield and Water Supply</p> <p>N/A 6.15.10 - Water Treatment Plants (WTP)</p> <p>N/A 6.16.2 - Decentralized Wastewater Treatment Plant (WWTP)</p> <p>N/A 6.16.4 - Wastewater Collection Systems (Gravity/Pressurized) Design</p> <p>N/A 6.16.5.A & B - Private Wastewater Pump Stations</p> <p>N/A 6.16.5.C - Public Wastewater Pump Stations (MCU Standards)</p> <p>N/A 6.17 - Water Reclamation/Reuse Facilities</p> <p>N/A Article 7 - Construction Standards - PLAN NOTE:</p> <p>YES Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities waived - COO service area; notified EoR 4/12/24</p> <p>\$130 minimum review fee. To pay this by phone, call 352-671-8686 and note "Utility Review fee for AR 29897. Get agent's name for response letter to clear this checklist item upon resubmittal.</p> <p>YES Additional Utilities comments This parcel served by Sun Communities Utilities which is not one of the reviewers during this process - MCU strongly recommends this private utility have an opportunity to review and comment on all utility connections shown prior to final approval through DRC.</p> <p>N/A Additional Utilities comments</p> <p>N/A Additional Utilities comments</p> <p>N/A Additional Utilities comments</p> <p>N/A Additional Utilities comments</p> <p>N/A Additional Utilities comments</p> <p>N/A Additional Utilities comments</p> <p>N/A Additional Utilities comments</p> <p>N/A Additional Utilities comments</p> <p>N/A Additional Utilities comments</p> <p>N/A Additional Utilities comments</p>			



April 7, 2026

Marion County
Development Review Committee
Office of the County Engineer
412 SE 25th Ave.
Ocala, FL 34471

RE: Development Order Extension Request
Project Name: Saddle Oak Club Expansion
Project #: 2022120009; AR #: 29897

Dear Development Review Committee:

I am submitting this letter on behalf of the owner of the above-mentioned project.

We are requesting a one (1) year extension for the Development Review Site Construction Permit at Saddle Oak Club. The owner was unable to begin construction as anticipated due to increased construction costs and decreased housing demand in the area, driven in part by rising insurance expenses for prospective buyers.

Please let me know if you have any questions or need anything further.

Respectfully,

ATWELL, LLC

A handwritten signature in blue ink, appearing to read "DR Gibbs", with a stylized flourish at the end.

Daniel R. Gibbs, P.E.
Director

From: [Alex Cate](#)
To: [Development Review](#)
Cc: [Amy Herndon](#); [Suzanne Rayborn](#); [Dan Gibbs](#)
Subject: Saddle Oak Club (AR 29897)
Date: Tuesday, April 7, 2026 4:18:11 PM
Attachments: [image001.png](#)
[20003647 Saddle Oak DO Extension Request 2026-04-07.pdf](#)

CAUTION: THIS MESSAGE IS FROM AN EXTERNAL SENDER

This email originated from outside the organization. Do not click links, open attachments, or share any information unless you recognize the sender and know the content is safe. Report suspicious emails using the "Phish Alert" button in Outlook or contact the Helpdesk.

Good afternoon,

Please see attached for an extension request on the Saddle Oak Club Expansion Development Order. We request to be placed on next Monday's (4/13) DRC Agenda. Please let us know if you need anything else at this time.

Thank you,

Alex Cate

Associate Project Manager

ATWELL, LLC

770.423.0807 Office

386.290.5558 Mobile

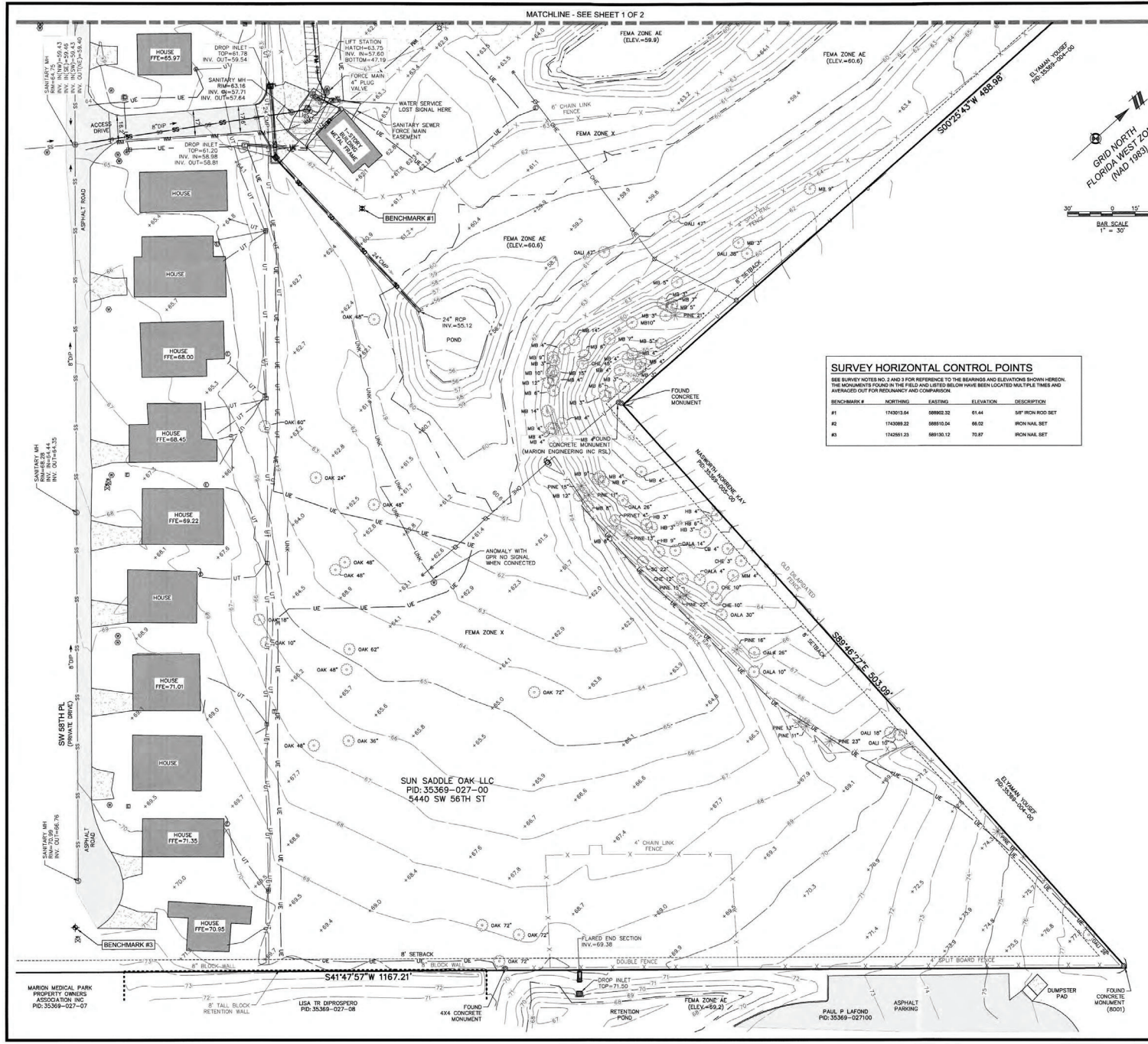
1850 Parkway Place | Suite 650 | Marietta, GA 30067

www.atwell.com

Local Solutions | National Presence



Confidential Notice: This is a confidential communication. If you received in error, please notify the sender of the delivery error by replying to this message and then delete it from your system. Electronic Data: Since data stored on electronic media can deteriorate, be translated or modified, Atwell, LLC will not be liable for the completeness, correctness or readability of the electronic data, including but not limited to draft, partial, preliminary, or incomplete plans. Any Electronic Data is provided "as-is". The electronic data should be checked against the hard copy (paper, mylar, etc.). Hard copies are on file with Atwell and can be provided upon request.



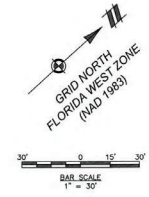
DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 200997
APPROVAL DATE: 07/15/24
EXPIRATION DATE: 07/15/26

SPACE RESERVED FOR APPROVAL STAMP

ALL construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way situated along existing streets shall be cleared and sodded. Street and utility lines may be used if approved by the County Engineer or Designer.

NOTICE
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not constitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.



SURVEY HORIZONTAL CONTROL POINTS

SEE SURVEY NOTES NO. 1 AND 2 FOR REFERENCE TO THE BEARINGS AND ELEVATIONS SHOWN HEREON. THE MONUMENTS FOUND IN THE FIELD AND LISTED BELOW HAVE BEEN LOCATED MULTIPLE TIMES AND ARE NOTED OFF FOR RECONNOITERING AND COMPARISON.

BENCHMARK #	NORTHING	EASTING	ELEVATION	DESCRIPTION
#1	174303.64	688602.32	81.44	SIP IRON ROD SET
#2	1743089.23	688610.54	86.02	IRON NAIL SET
#3	1743081.23	688105.12	79.87	IRON NAIL SET

ABBREVIATIONS

- CB = CHORD BEARING
- CD = CHORD DISTANCE
- CMP = CORRUGATED METAL PIPE
- CONC = CONCRETE
- CPP = CORRUGATED PLASTIC PIPE
- CR = CURED CONCRETE
- DR = DUCTILE IRON PIPE
- DEED = DEED PAGE
- ELEV = ELEVATION
- EX = EXISTING
- FDC = FIRE DEPARTMENT CONNECTION
- FFE = FINISHED FLOOR ELEVATION
- FIP = FOUND IRON PIPE
- FIR = FOUND IRON ROD
- HPE = HIGH DENSITY POLYETHYLENE
- HYD = HYDRANT
- INP = INVERT
- IRP = IRON PIN SET
- (M) = MEASURED
- MANVD = NORTH AMERICAN DATUM
- NAVVD = NORTH AMERICAN VERTICAL DATUM
- PL = PLAT BOOK
- PARC = PARCEL IDENTIFICATION NUMBER
- POB = POINT OF BEGINNING
- POC = POINT OF COMMENCEMENT
- PVC = POLYVINYL CHLORIDE
- (R) = RECORD
- REIN = REINFORCED CONCRETE PIPE
- RLS = REGISTERED LAND SURVEYOR
- RTK = REAL-TIME KINEMATIC
- ROW = RIGHT-OF-WAY
- VRS = VIRTUAL REFERENCE STATION
- W = WITH
- QAL = OAK TREE - LIVE
- QAL = OAK TREE - LAUREL
- MB = MALBERRY TREE
- HE = HACKBERRY TREE
- CH = CHERRY TREE
- PRIVET = JAPANESE PRIVET TREE
- CHM = CHINA BERRY TREE
- MM = MIMOSA TREE
- ST = SWEET GUM TREE

LEGEND

- - - SUBJECT BOUNDARY LINE
- - - EXISTING FENCE
- - - CONCRETE PAVEMENT
- - - ASPHALT PAVEMENT
- - - GRAVEL PAVEMENT
- - - EXISTING WALL
- - - +11.30 SPOT ELEVATION
- - - GROUND CONTOUR
- - - FLOODPLAIN DELINEATION
- - - ELECTRIC METER
- - - ELECTRIC TRANSFORMER
- - - CABLE TV RISER
- - - TELE RISER
- - - ELECTRIC RISER
- - - WATER HYDRANT
- - - WATER METER
- - - WATER VALVE
- - - CATCH BASIN SQUARE CULVERT
- - - STORM SEWER
- - - FLOW ARROW
- - - SANITARY MANHOLE
- - - SANITARY CLEAN OUT
- - - SANITARY SEWER
- - - LIGHT POLE
- - - UTILITY POLE
- - - GUY ANCHOR
- - - BACKFLOW PREVENTER
- - - WELL
- - - SS SANITARY SEWER LINE
- - - UNDERGROUND ELECTRIC
- - - SD STORM DRAINAGE LINE
- - - IM WATER MAIN LINE
- - - UT UNDERGROUND COMMUNICATIONS
- - - LINK UNKNOWN UTILITY LINE
- - - FM FORCE MAIN/SANITARY SEWER
- - - OHE OVERHEAD ELECTRIC

811
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UTILITIES SHOWN IN AN APPROPRIATE MANNER ON THESE PLANS ARE THE BEST AVAILABLE INFORMATION TO THE BEST OF THE REPRESENTATIVE'S KNOWLEDGE AND BELIEF. THE EXACT LOCATION OF ALL UTILITIES IS NOT GUARANTEED. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND UTILITIES.

ATWELL
866.650.6000 www.atwellgroup.com
1000 W. UNIVERSITY AVENUE, SUITE 1000
TALLAHASSEE, FLORIDA 32307
FLORIDA SURVEY COMMISSION LICENSE NO. 12007

LOCATED IN SECTION 4 TOWNSHIP 16 SOUTH, RANGE 21 EAST MARION COUNTY, FLORIDA

SUN COMMUNITIES TOPOGRAPHIC SURVEY SADDLE OAK CLUB EXPANSION 5440 SOUTHWEST 56TH STREET

DATE: 09/16/2022

REVISIONS:

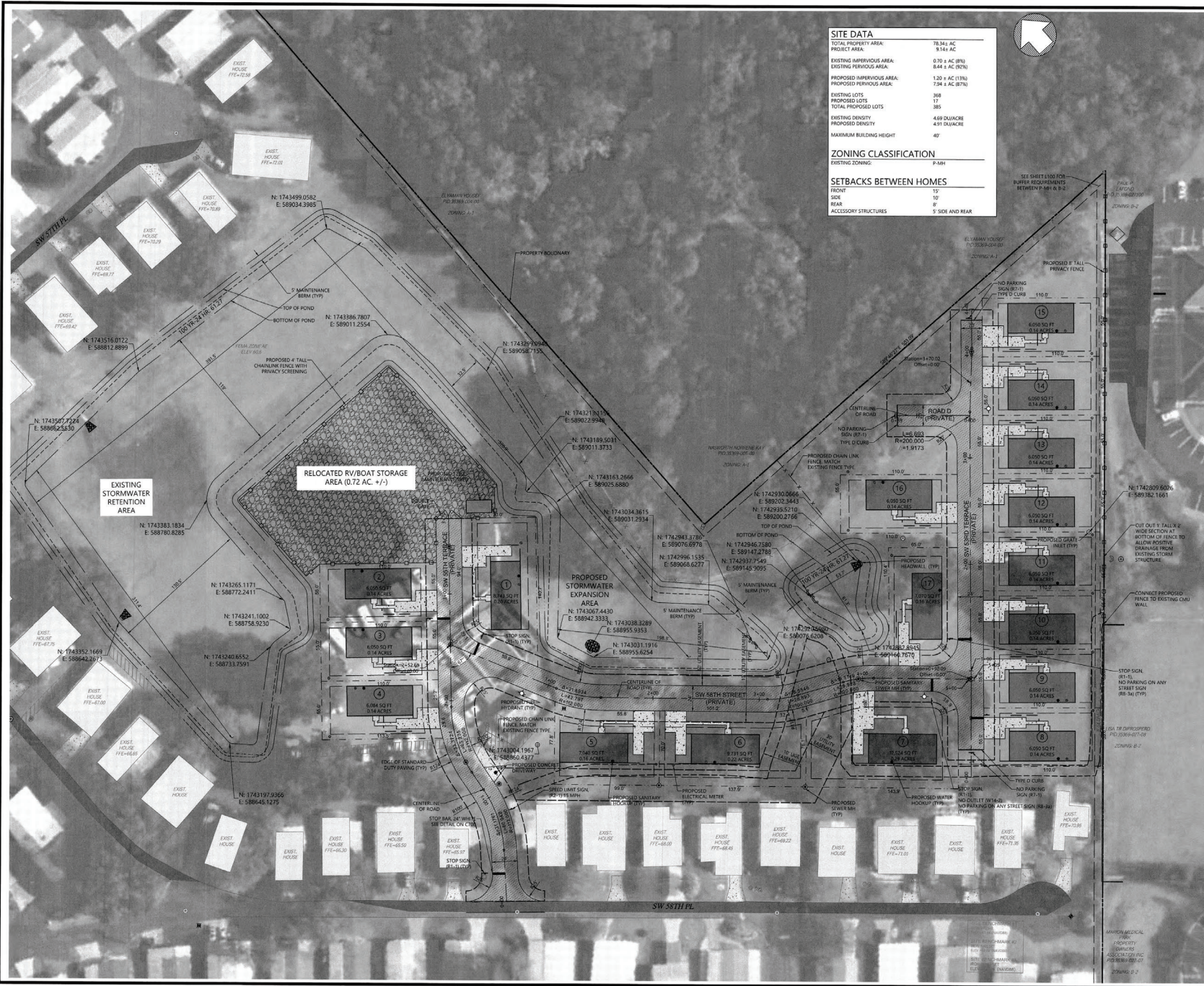
1) LIFT STATION (1/19/22)
2) CO. COMMENTS (05/02/23)
3) TREE UPDATE (06/15/23)
4) UTILITY UPDATE (10/04/23)

DESIGNED BY: STH
DRAWN BY: KMK
CHECKED BY: TP-01
JOB NO: 20003647
SHEET NO: 2 OF 2

RECEIVED

AUG 23 2024

Marion County
Office of the County Engineer



SITE DATA

TOTAL PROPERTY AREA:	78.34 AC
PROJECT AREA:	9.14 AC
EXISTING IMPERVIOUS AREA:	0.70 AC (8%)
EXISTING PAVEMENT AREA:	8.44 AC (87%)
PROPOSED IMPERVIOUS AREA:	1.20 AC (13%)
EXISTING LOTS:	268
PROPOSED LOTS:	17
TOTAL PROPOSED LOTS:	385
EXISTING DENSITY:	4.8 DU/AC
PROPOSED DENSITY:	4.9 DU/AC
MAXIMUM BUILDING HEIGHT:	40'

ZONING CLASSIFICATION

EXISTING ZONING: P-HH

SETBACKS BETWEEN HOMES

FRONT:	15'
SIDE:	10'
REAR:	8'
ACCESSORY STRUCTURES:	5' SIDE AND REAR

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 200997
APPROVAL DATE: 7/15/24
EXPIRATION DATE: 7/15/26

SPACE RESERVED FOR APPROVAL STAMP

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way established during construction shall be dressed and sodded. Sand and mulch may be used if approved by the County Engineering or designs.

- SITE LEGEND**
- PROPOSED LOT LINE
 - PROPOSED EDGE OF PAVEMENT
 - SIGN
 - SANITARY SEWER MANHOLE
 - CONCRETE
 - STANDARD DUTY PAVING
 - STOP BAR (PAVEMENT MARKING)
 - LIGHT POLE
 - TRANSFORMER PAD
 - HEADWALL
 - GRATE INLET
 - HANDICAP STALL

- SITE NOTES**
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SITE WORK SPECIFICATIONS AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
 2. REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, TRUCK DOCKS, SIDEWALKS, STEPS, TRANSFORMER PADS, ETC.
 3. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY. AS A CONTRACTOR TO THE SUBCONTRACTOR, ATWELL, LLC, ATWELL WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.
 4. ALL DIMENSIONS AND RISE ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHOWN TO BUILDINGS ARE TO OUTSIDE FACE OF BUILDING.
 5. ALL STRIPS OR CURBED RASH SHALL BE 4" UNLESS OTHERWISE NOTED.
 6. CONCRETE TRUCK DOCKS ARE BY THE BUILDING CONTRACTOR.
 7. ALL HANDICAP ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITY ACT (ADA) REQUIREMENTS AND STATE CODE.
 8. ALL TRAFFIC SIGNS SHALL CONFORM TO THE UNIFORM TRAFFIC CONTROL MANUAL AND THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION.
 9. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ANY EXISTING IMPROVEMENTS, CRUISE OR OFF SITE, SUCH AS PAVEMENT, UTILITIES, STORM DRAINAGE, ETC. THE REPAIR MUST BE APPROVED BY THE ENGINEER AND BE EQUAL OR BETTER THAN EXISTING CONDITIONS.
 10. SITE LIGHTING SHALL BE INCLUDED IN THE GENERAL CONTRACTOR'S SCOPE OF WORK. ALL PARKING LOT LIGHTING POLES, BASES AND FIXTURES WITH LAMPS SHALL BE INSTALLED BY THE GENERAL CONTRACTOR'S ELECTRICAL CONTRACTOR AND SHALL SUPPLY A ONE YEAR WARRANTY CERTIFICATE.
 11. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
 12. CONTRACTOR SHALL SUPPLY AS BUILT PLANS INDICATING ALL CHANGES AND DEVIATIONS.
 13. ANY DEVIATION FROM THESE PLANS MAY CAUSE THE WORK TO BE UNACCEPTABLE.
 14. ANY UNANTICIPATED CONDITIONS ENCOUNTERED DURING THE CONSTRUCTION PROCESS SHALL BE IDENTIFIED TO THE ENGINEER IMMEDIATELY.
 15. ALL CONCRETE SHALL BE 1000 PSI 28 DAY COMPRESSIVE STRENGTH.
 16. PRODUCT SPECIFICATIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 17. PARKING LOT STRIPING SHALL BE INCLUDED IN PAVING CONTRACTOR'S SCOPE OF WORK. STRIPING WILL BE ACCORDING TO OWNER'S SPECIFICATIONS UNLESS NOTED OTHERWISE. ALL STRIPING IS TO HAVE TWO (2) COATS OF PAINT BARS.
 18. LIGHT POLE BASES SHALL BE PAINTED TRAFFIC YELLOW PER SITE WORK SPECIFICATIONS.
 19. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL OFF-SITE EASEMENTS NOT DELINEATED ON PLANS OR KNOWN OF AT TIME OF PLAN ISSUANCE.
 20. THE SITE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL WORK AND APPURTENANCES TO WITHIN 10' OF THE BUILDING. THIS INCLUDES TRANSFORMER AND DUMPER PADS AS WELL AS ALL UTILITY CONDITS.

811
Know what's below.
Call before you dig.
1-800-4-A-WALL

ATWELL
686.650.4200 www.atwellgroup.com
1800 PARKWAY, SUITE 1700
MARIETTA, GA 30067
COUNTY OFFICE

24 HOUR EMERGENCY CONTACT
JOE MARLET
321-275-5183

SECTION 4, TOWNSHIP 16 SOUTH, RANGE 21 EAST
5440 SW 56TH ST
OCALA
MARION COUNTY, FLORIDA

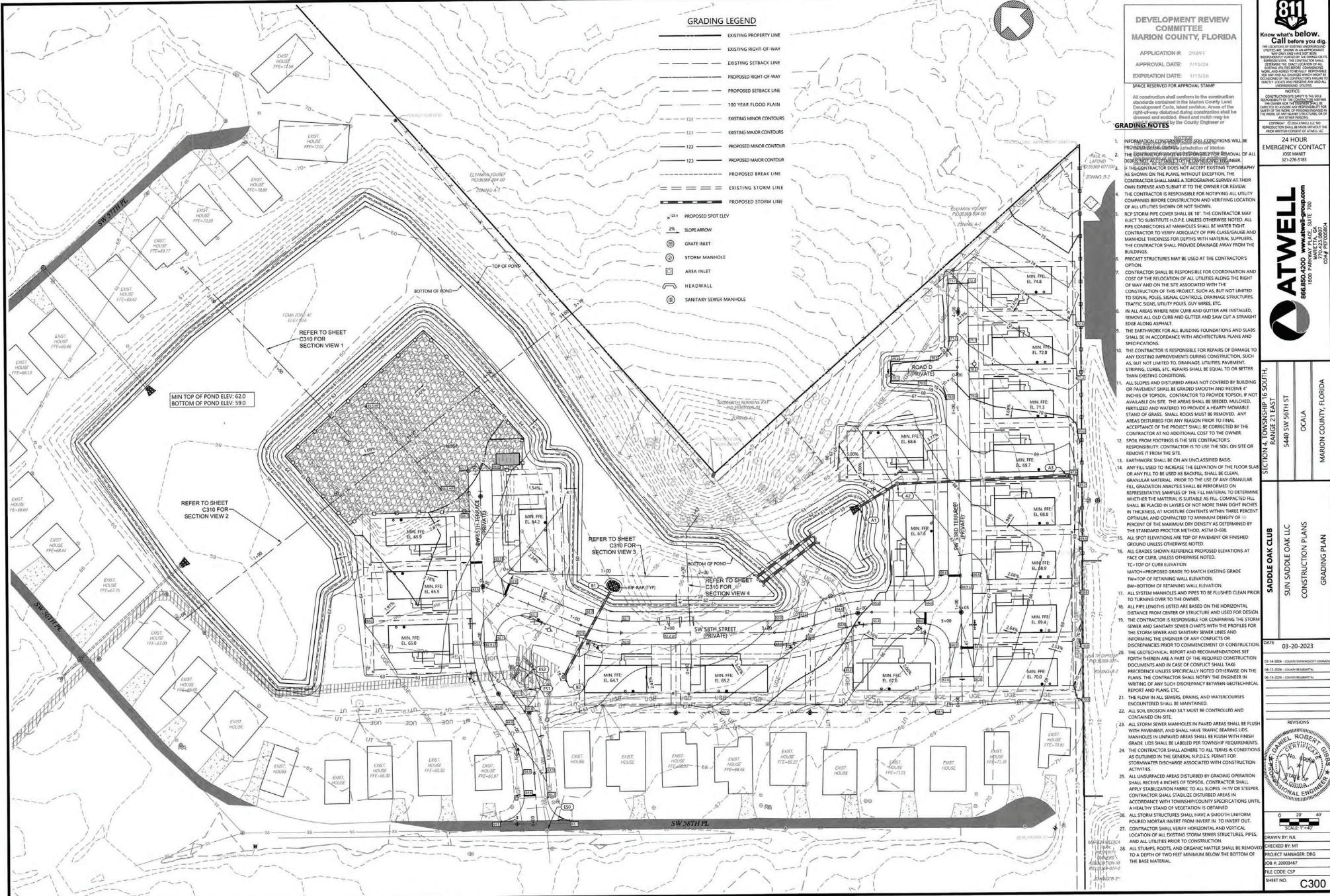
SADDLE OAK CLUB
SUN SADDLE OAK LLC
CONSTRUCTION PLANS
SITE PLAN

DATE: 03-20-2023

REVISIONS

RECEIVED
AUG 23 2024
Marion County
Office of the County Engineer

DRAWN BY: NAL
CHECKED BY: MIT
PROJECT MANAGER: DRG
JOB #: 2009487
FILE CODE: CSP
SHEET NO: C200



GRADING LEGEND

- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- - - EXISTING SETBACK LINE
- - - EXISTING RIGHT-OF-WAY
- - - PROPOSED SETBACK LINE
- - - 100 YEAR FLOOD PLAIN
- - - 123 EXISTING MINOR CONTOURS
- - - 123 EXISTING MAJOR CONTOURS
- - - 123 PROPOSED MINOR CONTOUR
- - - 123 PROPOSED MAJOR CONTOUR
- - - PROPOSED BREAK LINE
- - - EXISTING STORM LINE
- - - PROPOSED STORM LINE
- ▲ 124 PROPOSED SPOT ELEV
- ▲ 2% SLOPE ARROW
- GRATE INLET
- STORM MANHOLE
- AREA INLET
- HEADWALL
- SANITARY SEWER MANHOLE

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 29897
 APPROVAL DATE: 7/15/24
 EXPIRATION DATE: 7/15/26
 SPACE RESERVED FOR APPROVAL STAMP

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest amendments. Areas of the right-of-way delineated during construction shall be preserved and maintained. Based on the review by the County Engineer or

GRADING NOTES

1. INFORMATION CONCERNING SOIL CONDITIONS WILL BE PROVIDED BY THE OWNER. Jurisdiction of Marion County Engineer shall be limited to the removal of all debris from the site. The contractor shall be responsible for the removal of all debris from the site. If the contractor does not accept existing topography as shown on the plans without objection, the contractor shall make a topographic survey at their own expense and submit it to the owner for review. The contractor is responsible for notifying all utility companies before construction and verifying location of all utilities shown or not shown.
2. ROOF STORM PIPE COVER SHALL BE 18" UNLESS OTHERWISE NOTED. ALL PIPE CONNECTIONS AT MANHOLES SHALL BE WATER TIGHT. CONTRACTOR TO VERIFY ADEQUACY OF PIPE CLASSIFICATION AND MANHOLE THICKNESS FOR DEPTHS WITH MAXIMAL SUPPLY. THE CONTRACTOR SHALL PROVIDE DRAINAGE AWAY FROM THE BUILDINGS.
3. PRECAST STRUCTURES MAY BE USED AT THE CONTRACTOR'S OPTION.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND COST OF THE RELOCATION OF ALL UTILITIES ALONG THE RIGHT-OF-WAY AND ON THE SITE ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT, SUCH AS BUT NOT LIMITED TO SIGNAL, SIGNAL CONTROL, DRAINAGE UTILITIES, TRAFFIC SIGNS, UTILITY HOLES, GUY WIRES, ETC.
5. IN ALL AREAS WHERE CURB AND GUTTER ARE INSTALLED, REMOVE ALL OLD CURB AND GUTTER AND SAW CUT A STRAIGHT EDGE ALONG ASPHALT.
6. THE FOOTINGS FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL PLANS AND SPECIFICATIONS.
7. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS BUT NOT LIMITED TO DRAINAGE UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
8. ALL SLOPES AND DISTURBED AREAS NOT COVERED BY BUILDING OR PAVEMENT SHALL BE GRADED SMOOTH AND RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR TO PROVIDE TOPSOIL IF NOT AVAILABLE ON SITE. THE AREAS SHALL BE SEEDED, MULCHED, FERTILIZED AND WATERED TO PROVIDE A HEARTY MOVABLE STAND OF GRASS. SMALL ROCKS MUST BE REMOVED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
9. SPILL FROM ROOFINGS IS THE SITE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR TO USE THE SOIL SITE OR REMOVE IT FROM THE SITE.
10. BATHROOMS SHALL BE ON AN UNCLASSED BASIS.
11. ANY FILL USED TO INCREASE THE ELEVATION OF THE FLOOR SLAB OR ANY FILL TO BE USED AS BACKFILL SHALL BE CLEAN, GRANULAR MATERIAL. PRIOR TO THE USE OF ANY GRANULAR FILL, GRADATION ANALYSIS SHALL BE PERFORMED ON REPRESENTATIVE SAMPLES OF THE FILL MATERIAL TO DETERMINE WHETHER THE MATERIAL IS SUITABLE AS FILL. COMPACTED FILL SHALL BE PLACED IN LAYERS OF NOT MORE THAN EIGHT INCHES IN THICKNESS. A MOISTURE CONTENTS WITHIN THREE PERCENT OPTIMUM, AND COMPACTED TO MINIMUM DENSITY OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD, ASTM D 99.
12. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT OR FINISHED GROUND UNLESS OTHERWISE NOTED.
13. ALL GRADES SHOWN REFERENCE PROPOSED ELEVATIONS AT FACE OF CURB, UNLESS OTHERWISE NOTED.
14. TC=TOP OF CURB ELEVATION.
15. MATCH-PROPOSED GRADE TO MATCH EXISTING GRADE TWO (2') OR DEEP RETAINING WALL ELEVATION.
16. FIN-BOTTOM OF RETAINING WALL ELEVATION.
17. ALL SYSTEM MANHOLES AND PIPES TO BE FLEUSHED CLEAN PRIOR TO TURNING OVER TO THE OWNER.
18. THE CONTRACTOR IS RESPONSIBLE FOR COMPARING THE STORM SEWER AND SANITARY SEWER CHARTS WITH THE PROFILES FOR THE STORM SEWER AND SANITARY SEWER LINES AND INFORMING THE ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
19. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN GEOTECHNICAL REPORT AND PLANS, ETC.
20. THE FLOW IN ALL SEWERS, DRAINS, AND WATERCOURSES UNCONTROLLED SHALL BE AT LEAST BE CONTROLLED AND CONTAINED ON-SITE.
21. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLEUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING LIDS. MANHOLES IN UNPAVED AREAS SHALL BE FLEUSH WITH FINISH GRADE. LIDS SHALL BE LABELED PER TOWNSHIP REQUIREMENTS.
22. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL NOTES & REMIT FOR WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
23. ALL UNPAVED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES IN V-I ON STEEP. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH TOWNSHIP/COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
24. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM Poured Mortar Invert FROM INVERT IN, TO INVERT OUT. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES AND ALL UTILITIES PRIOR TO CONSTRUCTION.
25. ALL STUMP, ROOTS, AND ORGANIC MATTER SHALL BE REMOVED TO A DEPTH OF TWO FEET MINIMUM BELOW THE BOTTOM OF THE BASE MATERIAL.

811 Know what's below. Call before you dig.

ATWELL
 888.850.4000 www.atwell-group.com
 1800 PARKWAY EAST, SUITE 700
 Ocala, FL 32067

SECTION 4, TOWNSHIP 7 S, SOUTH RANGE 21 EAST
 5400 SW 98TH ST
 Ocala, FL
 MARION COUNTY, FLORIDA

SADDLE OAK CLUB
 SW SADDLE OAK LK
 CONSTRUCTION PLANS
 GRADING PLAN

DATE: 03-20-2023

REVISIONS

REGISTERED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 NO. 12000
 ROBERT D. BROWN

DRAWN BY: NLS
 CHECKED BY: MT
 PROJECT MANAGER: DRG
 JOB #: 20009487
 FILE CODE: CDP
 SHEET NO.: C300

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 29897
APPROVAL DATE: 7/15/24
EXPIRATION DATE: 7/15/26

SPACE RESERVED FOR APPROVAL STAMP

CONSTRUCTION SHALL CONFORM TO THE CONSTRUCTION STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE, LATEST EDITION. AREAS OF THE RIGHT-OF-WAY DETAILED DURING CONSTRUCTION SHALL BE DRAINED AND SODDED. EROSION CONTROL MEASURES SHALL BE USED IF APPROVED BY THE COUNTY ENGINEER OR DESIGNER.

NOTICE

The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute for or waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.



Know what's below. Call before you dig.

811 is a free service to help you locate underground utilities before you dig. Call 811 at least 48 hours before you dig. The contractor will determine the location of all utilities and mark them with flags and paint. It is the contractor's responsibility to locate and mark all utilities. If you are not a contractor, call 811 to get the location of all utilities. If you are a contractor, call 811 to get the location of all utilities. If you are a contractor, call 811 to get the location of all utilities.

24 HOUR EMERGENCY CONTACT
JOE MAHET
352-278-3183

CONTRACTOR
ATWELL GROUP, INC.
1800 W. UNIVERSITY BLVD., SUITE 700
MARIETTA, GA 30067
WWW.ATWELL-GROUP.COM



SECTION 4, TOWNSHIP 16 SOUTH,
RANGE 21 EAST
5440 SW 59TH ST
OCALA
MARION COUNTY, FLORIDA

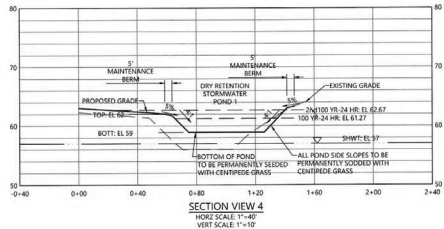
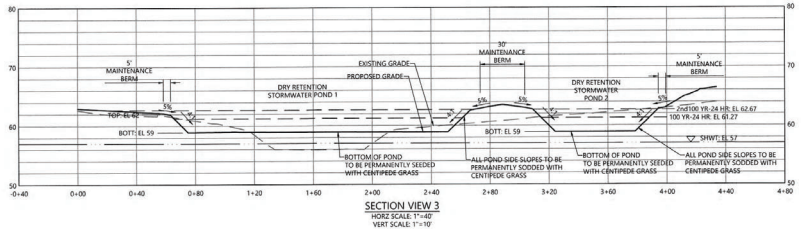
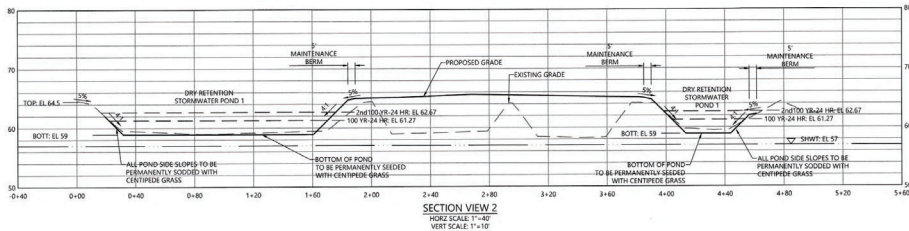
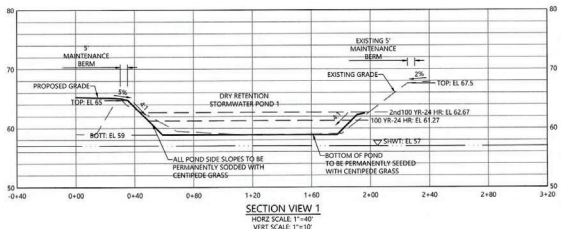
SADDLE OAK CLUB
SUN SADDLE OAK LLC
CONSTRUCTION PLANS
SECTION VIEWS

DATE: 03-20-2023

REVISIONS



DRAWN BY: NIS
CHECKED BY: MT
PROJECT MANAGER: DRG
JOB #: 2003467
FILE CODE: CSP
SHEET NO.: C310

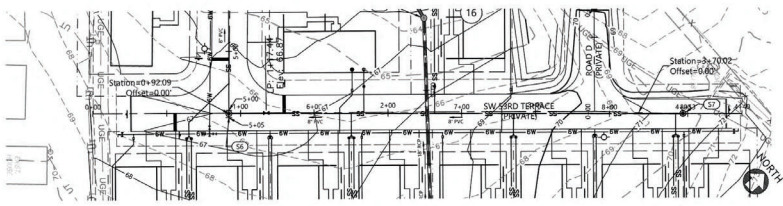


RECEIVED

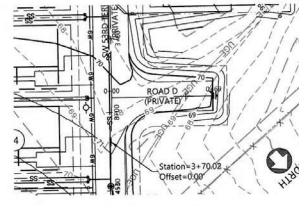
AUG 23 2024

Marion County
Office of the County Engineer

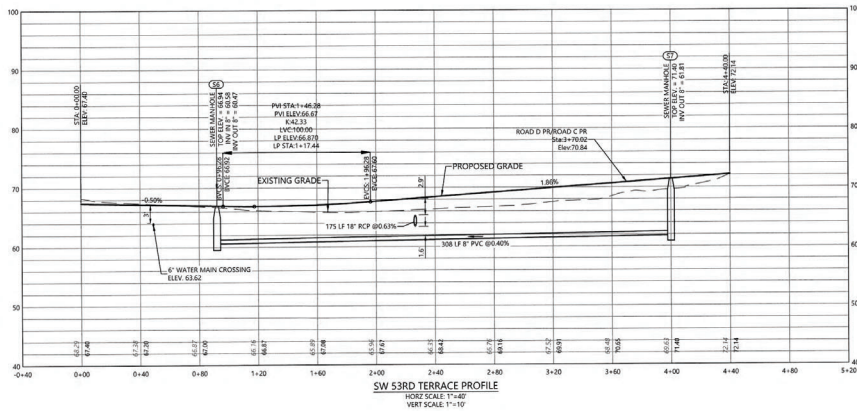
FILE NO. 23003467-0310; PROJECT NO. 23003467; SHEET NO. C310 OF 310



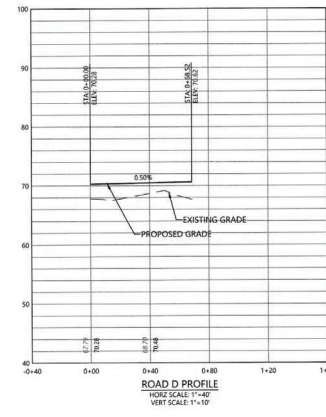
SW 53RD TERRACE PLAN VIEW
SCALE: 1" = 40'



ROAD D PLAN VIEW
SCALE: 1" = 40'



SW 53RD TERRACE PROFILE
HORIZ SCALE: 1"=40'
VERT SCALE: 1"=10'



ROAD D PROFILE
HORIZ SCALE: 1"=40'
VERT SCALE: 1"=10'

DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA

APPLICATION #: 21987
APPROVAL DATE: 7/15/24
EXPIRATION DATE: 7/15/26

SPACE RESERVED FOR APPROVAL STAMP

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be dressed and seeded. Street and main may be used if approved by the County Engineer or designer.

NOTICE
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.

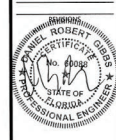
811
Know what's below.
Call before you dig.
800.480.4200
www.atwell-group.com
MARION COUNTY, FLORIDA
COUNTY ENGINEER

ATWELL
800.480.4200
www.atwell-group.com
MARION COUNTY, FLORIDA
COUNTY ENGINEER

SECTION 4, TOWNSHIP 16 SOUTH,
RANGE 21 EAST
5440 SW 56TH ST
OCALA
MARION COUNTY, FLORIDA

SUN SADDLE OAK LLC
SADDLE OAK CLUB
CONSTRUCTION PLANS
PLAN AND PROFILES SHEET 2

DATE: 09-20-2023



RECEIVED

AUG 23 2024

Marion County
Office of the County Engineer

SEWER PROFILE LEGEND

----- PROPOSED GRADE
- - - - - EXISTING GRADE

DRAWN BY: NIL
CHECKED BY: MT
PROJECT MANAGER: DRG
JOB #: 2003467
FILE CODE: CSP
SHEET NO.: C321

**DEVELOPMENT REVIEW
COMMITTEE
MARION COUNTY, FLORIDA**

APPLICATION #: 21897
APPROVAL DATE: 7/15/24
EXPIRATION DATE: 7/15/26

SPACE RESERVED FOR APPROVAL STAMP

As construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way delineated during construction shall be cleared and restored. Good and ready may be used if approved by the County Engineer or designer.

NOTICE
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.



THE LOCAL GOVT OR SERVICE PROVIDER UNDERTAKING THE WORK SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED TO THE CALLER. THE CALLER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF THE UTILITY BEFORE ANY WORK OF ANY KIND IS UNDERTAKEN. THE CALLER SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY OWNER OF ANY WORK TO BE UNDERTAKEN. THE CALLER SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY OWNER OF ANY WORK TO BE UNDERTAKEN. THE CALLER SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY OWNER OF ANY WORK TO BE UNDERTAKEN.

**24 HOUR
EMERGENCY CONTACT**
JOE MANET
351-219-2183



SECTION 4, TOWNSHIP 16 SOUTH,
RANGE 21 EAST
5440 SW 56TH ST
OCALA
MARION COUNTY, FLORIDA

SUN SADDLE OAK LLC
SADDLE OAK CLUB
CONSTRUCTION PLANS
STORM PROFILE SHEET

DATE: 03-20-2023

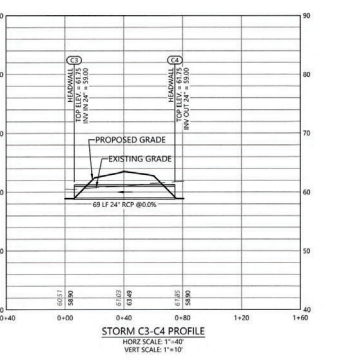
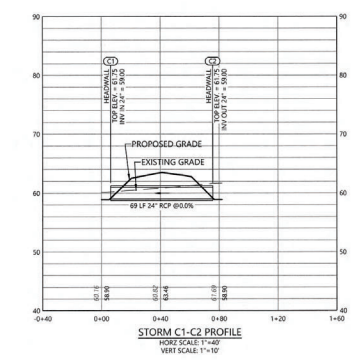
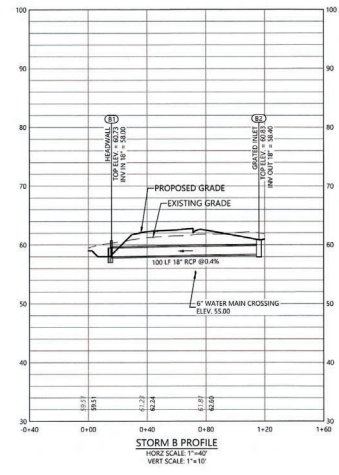
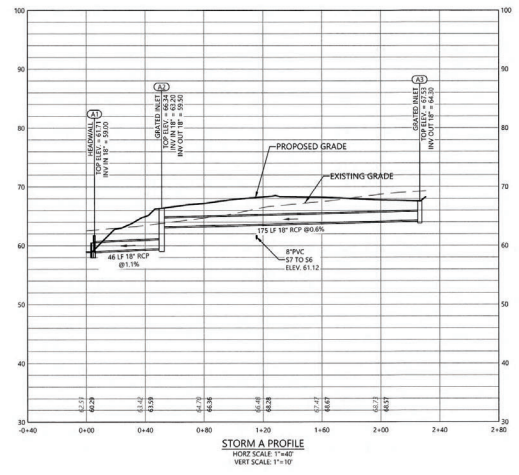
03-14-2024 (03-14-2024) (03-14-2024) (03-14-2024)
04-22-2024 (04-22-2024) (04-22-2024) (04-22-2024)
05-20-2024 (05-20-2024) (05-20-2024) (05-20-2024)



RECEIVED
AUG 23 2024
Marion County
Office of the County Engineer

STORM PROFILE LEGEND
— PROPOSED GRADE
- - - EXISTING GRADE
- - - 25 YEAR HGL LINE

0 1 2 3 4 5 6 7 8 9 10
DRAIN BY: NLS
CHECKED BY: MT
PROJECT MANAGER: DRG
JOB #: 20033467
FILE CODE: CSP
SHEET NO.: C600



FILE NAME: I:\2023\24\Projects\24033\24033.dwg, DATE: 07/15/2024, TIME: 10:00:00 AM, USER: jmanet, PLOT DATE: 07/15/2024, TIME: 10:00:00 AM, PLOT USER: jmanet, PLOT DEVICE: HP DesignJet 500, PLOT SCALE: 1"=10', PLOT SHEET: C600

RECEIVED
 AUG 23 2024
 Marion County
 Office of the County Engineer

DEVELOPMENT REVIEW
 COMMITTEE
 MARION COUNTY, FLORIDA

APPLICATION #: 23897
 APPROVAL DATE: 7/15/24
 EXPIRATION DATE: 7/15/26

SPACE RESERVATION APPROVAL STAMP

NOTICE: The approval of these plans is limited to the conditions and information provided in the Marion County Land Development Code, latest revision. Areas of the right-of-way adjacent to existing structures shall be preserved and protected. Plans and details may be modified as needed.

24 HOUR
 EMERGENCY CONTACT
 JOE MANET
 817-276-1844

811
 Know what's below.
 Call before you dig.

ATWELL
 866.850.4200 www.atwell-group.com
 1800 PARKWAY PLACE, SUITE 1700
 GAITHERSBURG, MD 20878

WATER, SEWER, AND REUSE SYSTEM
CONSTRUCTION, INSPECTION, AND OWNERSHIP NOTES:
 DESIGN, INSPECTION, TEST, AND CONSTRUCTION SYSTEMS CONSTRUCTED ON THIS SITE SHALL BE CONSTRUCTED, MAINTAINED, OPERATED, AND MAINTAINED IN ACCORDANCE WITH THE FOLLOWING:

SEWER SYSTEM:
 CITY OF OCALA STANDARD SPECIFICATIONS FOR CONSTRUCTION OF STREETS, STORMWATER, TRAFFIC, WATER, AND SEWER INFRASTRUCTURE
 CONSTRUCT ALL GRAVITY SEWERS 6" AND ABOVE, INCLUDING MANHOLES AND ALL SEWER SERVICES 6" OR LESS TO THE FIRST CLEANLY OPERABLE FROM THE 6" OR ABOVE SEWER MAIN WITHIN THE RIGHT-OF-WAY TO CITY STANDARDS. THESE ELEMENTS SHALL BE OWNED, MAINTAINED, AND INSPECTED BY THE CITY OF OCALA WATER RESOURCES DEPARTMENT.
 ALL GRAVITY SEWER SERVICES 6" OR MORE, INCLUDING MANHOLES, LOCATED ON PRIVATE PROPERTY SHALL BE OWNED AND MAINTAINED BY THE DEVELOPMENT AND SHALL BE BUILT IN ACCORDANCE WITH THESE STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE CITY OF OCALA WATER RESOURCES DEPARTMENT WILL INSPECT ALL SUCH SERVICES TO WITHIN 5 FEET OF THE BUILDING.

STATE OF FLORIDA STANDARD PLUMBING CODE:
 ALL GRAVITY SEWER SERVICES 6" OR LESS LOCATED ON THE PROPERTY SHALL BE OWNED AND MAINTAINED BY THE DEVELOPMENT. THE CITY OF OCALA BUILDING DEPARTMENT WILL INSPECT ALL SUCH SERVICES ON PRIVATE PROPERTY.

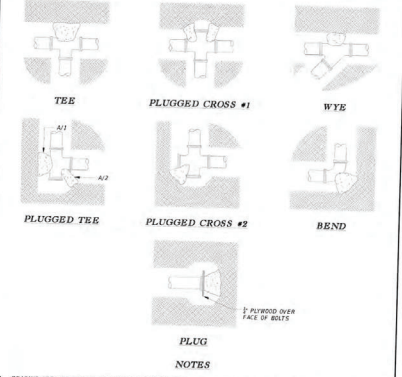
WATER SYSTEM:
 CITY OF OCALA STANDARD SPECIFICATIONS FOR CONSTRUCTION OF STREETS, STORMWATER, TRAFFIC, WATER, AND SEWER INFRASTRUCTURE
 CONSTRUCT ALL POTABLE WATER MAINS AND SERVICES IN THE RIGHT-OF-WAY UP TO THE POINT OF METERING TO CITY STANDARDS. INSPECTION WILL BE PERFORMED BY THE WATER RESOURCES DEPARTMENT. CITY WILL OWN AND MAINTAIN THESE FACILITIES.
 ALL FIRE MAINS AND HYDRANTS FROM THE CITY WATER MAIN TO WITHIN FIVE FEET (5') OF THE BUILDING SHALL BE CONSTRUCTED TO CITY STANDARDS ON 24" X 24" AS REQUIRED. FIRE MAINS LOCATED BETWEEN PUBLIC RIGHT-OF-WAY SHALL BE OWNED AND MAINTAINED BY THE CITY AND ALL FIRE MAINS LOCATED ON PRIVATE PROPERTY WILL BE OWNED AND MAINTAINED BY THE DEVELOPMENT. INSPECTION AND TESTING OF ALL FIRE MAINS UP TO THE SQUARE DETECTOR CHECK CODE WILL BE PERFORMED BY THE CITY OF OCALA WATER RESOURCES DEPARTMENT.

STATE OF FLORIDA STANDARD PLUMBING CODE:
 ALL WATER SERVICES ON PRIVATE PROPERTY CONTRAST FROM THE POINT OF METERING SHALL BE CONSTRUCTED TO THE FLORIDA STANDARD PLUMBING CODE. LATEST EDITION. INSPECTION WILL BE PERFORMED BY THE CITY OF OCALA BUILDING DEPARTMENT. THESE FACILITIES SHALL BE OWNED AND MAINTAINED BY THE DEVELOPMENT.

REUSE SYSTEM:
 CITY OF OCALA STANDARD SPECIFICATIONS FOR CONSTRUCTION OF STREETS, STORMWATER, TRAFFIC, WATER, AND SEWER INFRASTRUCTURE
 CONSTRUCT ALL REUSE MAINS AND SERVICES IN THE RIGHT-OF-WAY UP TO THE POINT OF METERING TO CITY STANDARDS. THESE FACILITIES WILL BE PERFORMED BY THE CITY OF OCALA WATER RESOURCES DEPARTMENT. CITY WILL OWN AND MAINTAIN THESE FACILITIES.
 STATE OF FLORIDA STANDARD PLUMBING CODE:
 ALL REUSE SERVICES ON PRIVATE PROPERTY CONTRAST FROM THE POINT OF METERING SHALL BE CONSTRUCTED TO THE FLORIDA STANDARD PLUMBING CODE. LATEST EDITION. INSPECTION WILL BE PERFORMED BY THE CITY OF OCALA BUILDING DEPARTMENT. THESE FACILITIES SHALL BE OWNED AND MAINTAINED BY THE DEVELOPMENT.

IRRIGATION SYSTEM:
 CITY OF OCALA STANDARD SPECIFICATIONS FOR CONSTRUCTION OF STREETS, STORMWATER, TRAFFIC, WATER, AND SEWER INFRASTRUCTURE
 CONSTRUCT ALL IRRIGATION MAINS AND SERVICES IN THE RIGHT-OF-WAY UP TO THE POINT OF METERING TO CITY STANDARDS. INSPECTION WILL BE PERFORMED BY THE CITY OF OCALA WATER RESOURCES DEPARTMENT. CITY WILL OWN AND MAINTAIN THESE FACILITIES.
 STATE OF FLORIDA STANDARD PLUMBING CODE:
 ALL IRRIGATION SERVICES ON PRIVATE PROPERTY CONTRAST FROM THE POINT OF METERING SHALL BE CONSTRUCTED TO THE FLORIDA STANDARD PLUMBING CODE. LATEST EDITION. INSPECTION WILL BE PERFORMED BY THE CITY OF OCALA BUILDING DEPARTMENT. THESE FACILITIES SHALL BE OWNED AND MAINTAINED BY THE DEVELOPMENT.

PRE-CONSTRUCTION MEETING REQUIRED:
 PRIOR TO ANY UNDERGROUND WATER, SEWER, OR IRRIGATION CONSTRUCTION ON THIS SITE THE CONTRACTOR SHALL SET UP AN ON-SITE MEETING WITH THE CITY OF OCALA PROJECT INSPECTORS (SEE MISC OR LDD 03-1212 TO DISCUSS SHOP DRAWINGS, INSTALLATION, INSPECTION, TESTING AND AS-BUILT REQUIREMENTS.



CITY OF OCALA
 STANDARD DETAILS
 FOR CONSTRUCTION

SITE OWNERSHIP AND INSPECTION
 GENERAL NOTES

G-7

CITY OF OCALA
 STANDARD DETAILS
 FOR CONSTRUCTION

THRUST BLOCKS
 CAST-IN-PLACE

G-9A

BEARING AREA OF THRUST BLOCKS IN SQUARE FEET (HORIZONTAL BENDS)

FITTING SIZE	TEE, WYE, 90° BEND OR CROSS	TEE PLUGGED RUN	TEE PLUGGED RUN	BEND ANGLE
4"	1.0	1.4	1.8	1.4
6"	2.1	3.0	4.3	3.0
8"	3.8	5.3	7.6	5.4
10"	5.9	8.4	11.8	8.4
12"	8.5	12.0	17.0	12.0
14"	11.5	16.0	23.0	16.3
16"	15.0	21.3	30.0	21.3
18"	19.0	27.0	38.0	27.0
20"	23.5	33.3	47.0	33.3
24"	34.0	48.0	68.0	48.0

VOLUME OF THRUST BLOCKS IN CUBIC YARDS (VERTICAL BENDS)

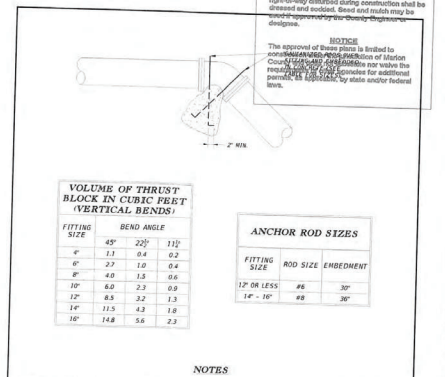
FITTING SIZE	TEE, WYE, 90° BEND OR CROSS	TEE PLUGGED RUN	TEE PLUGGED RUN	BEND ANGLE
4"	0.073	0.075	0.075	0.075
6"	0.10	0.15	0.23	0.23
8"	0.25	0.35	0.50	0.50
10"	0.45	0.60	1.00	0.75
12"	0.75	1.00	1.75	1.25
14"	1.25	1.50	2.50	2.00
16"	1.65	2.00	3.00	2.50
18"	2.25	2.75	4.00	3.25
20"	3.00	4.25	5.50	4.25
24"	5.00	6.00	9.00	6.00

NOTES (CONTINUED FROM DETAIL G-9A)
 4. REQUIRED VOLUMES OR BEARING AREAS AT FITTINGS SHALL BE AS INDICATED BELOW AND ADJUSTED, IF NECESSARY, TO CONFORM TO THE TEST PRESSURES AND ALLOWABLE SOIL BEARING STRESSES STATED IN THE SPECIFICATIONS.
 5. KEEP CONCRETE CLEAR OF JOINT AND JOINT ACCESSORIES.
 6. ALL PLUGS, CAPS, TEES, AND BENDS DEFLECTING 11-DEGREES OR MORE ON MAINS 2-INCHES IN DIAMETER OR LARGER SHALL BE PROVIDED WITH SUITABLE ANCHORING CONNECTIONS OF THRUST BLOCKS OR RESTRAINED ALL OTHER TRANSFORMERS SHALL BE RESTRAINED IN BOTH DIRECTIONS.

CITY OF OCALA
 STANDARD DETAILS
 FOR CONSTRUCTION

THRUST BLOCKS
 CAST-IN-PLACE

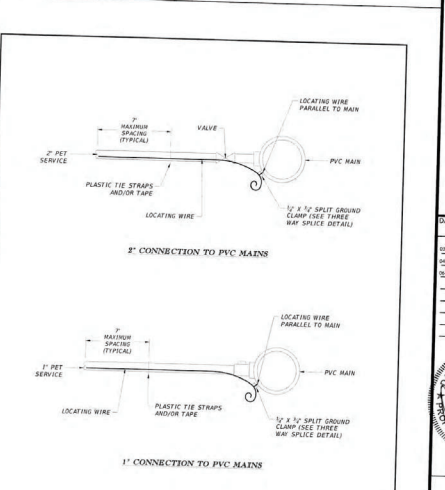
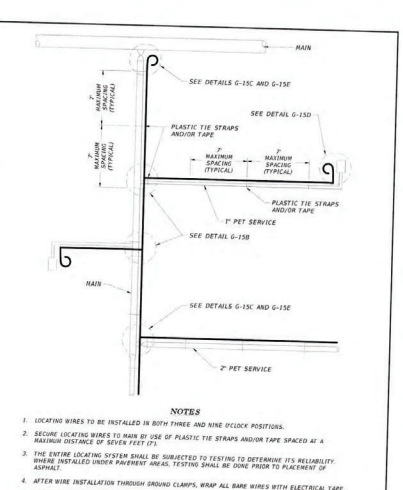
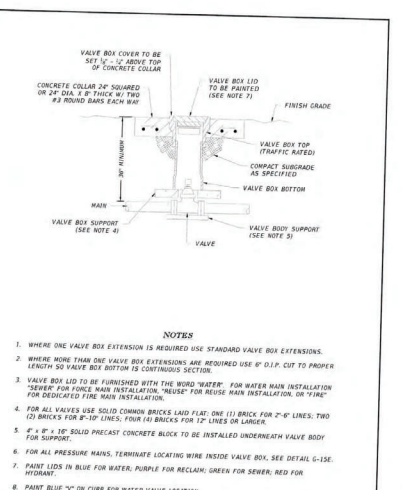
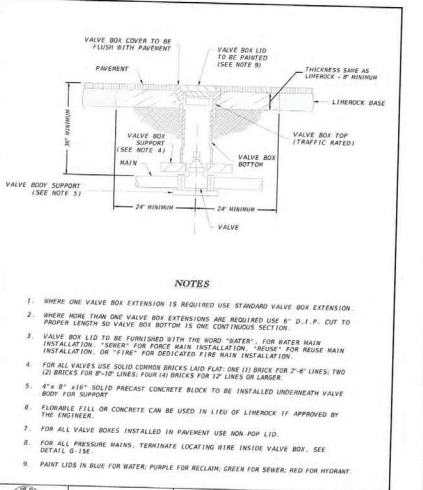
G-9B



CITY OF OCALA
 STANDARD DETAILS
 FOR CONSTRUCTION

THRUST BLOCKS
 ANCHORED

G-10



CITY OF OCALA
 STANDARD DETAILS
 FOR CONSTRUCTION

VALVE BOX INSTALLATION
 IN ROADWAYS OR AREAS SUBJECT TO TRAFFIC

G-15

CITY OF OCALA
 STANDARD DETAILS
 FOR CONSTRUCTION

VALVE BOX INSTALLATION
 IN GRASS OR AREAS NOT SUBJECT TO TRAFFIC

G-14

CITY OF OCALA
 STANDARD DETAILS
 FOR CONSTRUCTION

LOCATING WIRE SYSTEM

G-16A

CITY OF OCALA
 STANDARD DETAILS
 FOR CONSTRUCTION

LOCATING WIRE SYSTEM
 SERVICE CONNECTION TO PVC MAIN

G-16C

SECTION 4, TOWNSHIP 15 SOUTH, RANGE 21 EAST, 5440 SW 50TH ST, OCALA, MARION COUNTY, FLORIDA

SADDLE OAK CLUB
 SUN SADDLE OAK LLC
 CONSTRUCTION PLANS

DATE: 03-20-2023

REVISIONS:
 01-12-2024: (CITY) CORRECTED PERMISSIVE
 01-12-2024: (CITY) CORRECTED PERMISSIVE
 01-12-2024: (CITY) CORRECTED PERMISSIVE

REGISTERED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 NO. 12487
 C. J. BROWN

BROWN BY: NLL
 CHECKED BY: MT
 PROJECT MANAGER: DRG
 JOB #: 20023467
 FULL COVER FOR
 SHEET NO: C700

RECEIVED
 AUG 23 2024
 Marion County
 Office of the County Engineer

DEVELOPMENT REVIEW
 COMMITTEE
 MARION COUNTY, FLORIDA

APPLICATION #: 24097
 APPROVAL DATE: 7/15/24
 EXPIRATION DATE: 7/15/26
 SPACE RESERVED FOR APPROVAL STAMP

NOTICE
 All construction shall conform to the construction specifications contained in the latest version of the Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be restored and seeded. Seed and mulch may be applied as approved by the County Engineer or designee.

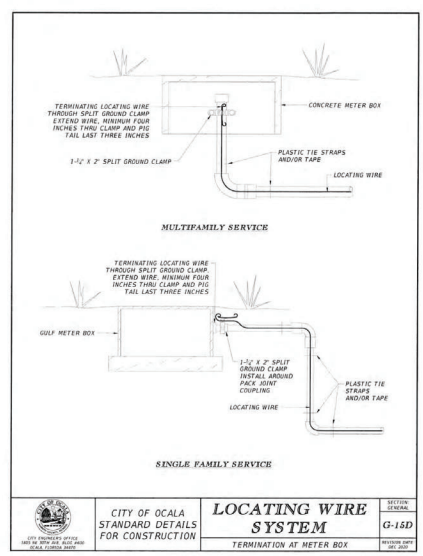
NOTICE
 The approval of these plans is limited to construction under the jurisdiction of Marion County and does not constitute approval of the requirements of other agencies for additional permits, as applicable, or other related federal laws.



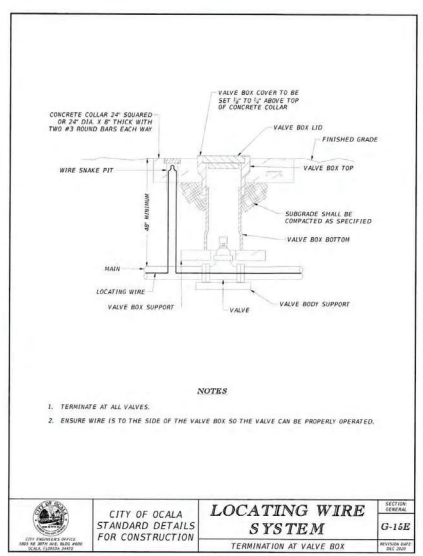
24 HOUR EMERGENCY CONTACT
 800-4MIST
 321-276-3183

ATWELL
 888.850.4200 www.atwell-group.com
 1001 W. UNIVERSITY BLVD.
 SUITE 100
 Ocala, FL 34474

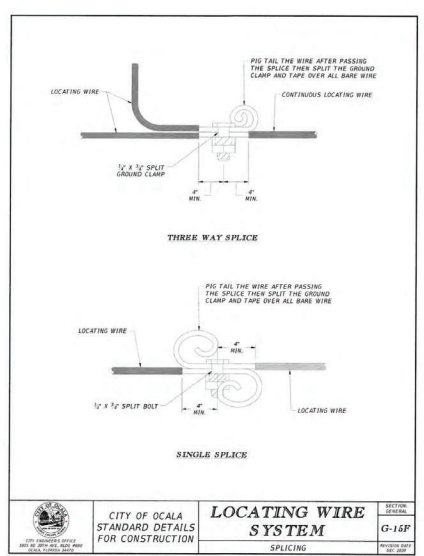
SECTION 4, TOWNSHIP 16 SOUTH
 RANGE 21 EAST
 5440 SW 55TH ST
 Ocala, FLORIDA
 MARION COUNTY, FLORIDA



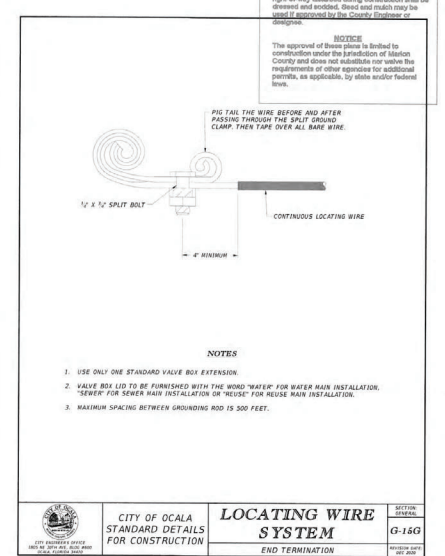
CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION
LOCATING WIRE SYSTEM
 TERMINATION AT METER BOX
 SECTION GENERAL G-15D
 PROJECT DATE: 08/20/20



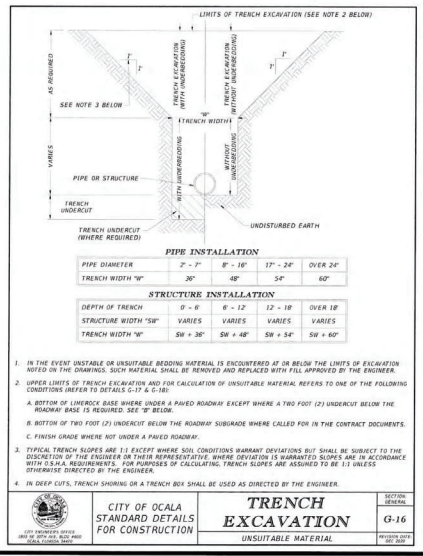
CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION
LOCATING WIRE SYSTEM
 TERMINATION AT VALVE BOX
 SECTION GENERAL G-15E
 PROJECT DATE: 08/20/20



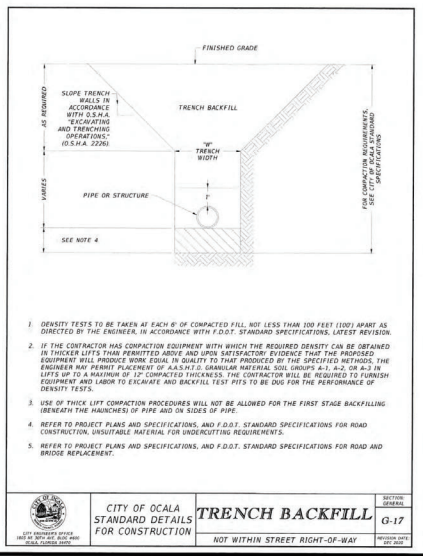
CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION
LOCATING WIRE SYSTEM
 SPLICING
 SECTION GENERAL G-16F
 PROJECT DATE: 08/20/20



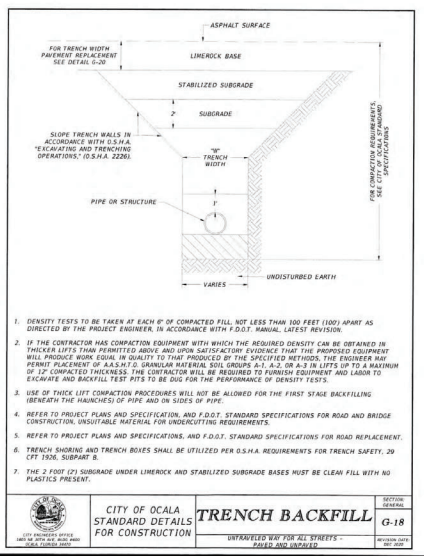
CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION
LOCATING WIRE SYSTEM
 END TERMINATION
 SECTION GENERAL G-16G
 PROJECT DATE: 08/20/20



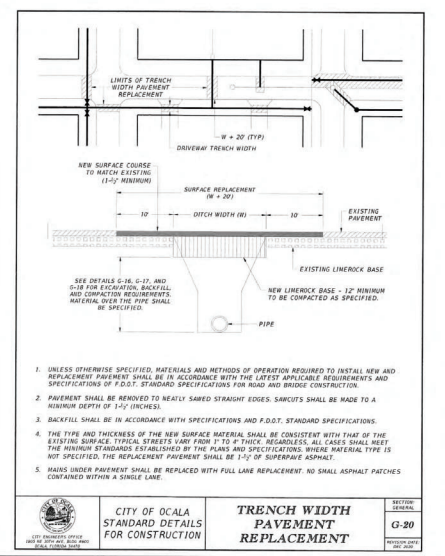
CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION
TRENCH EXCAVATION
 UNSUITABLE MATERIAL
 SECTION GENERAL G-16
 PROJECT DATE: 08/20/20



CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION
TRENCH BACKFILL
 NOT WITHIN STREET RIGHT-OF-WAY
 SECTION GENERAL G-17
 PROJECT DATE: 08/20/20



CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION
TRENCH BACKFILL
 UNPAVED W/IN FOR ALL STREETS - GRADE AND INCREASE
 SECTION GENERAL G-18
 PROJECT DATE: 08/20/20



CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION
TRENCH WIDTH PAVEMENT REPLACEMENT
 SECTION GENERAL G-20
 PROJECT DATE: 08/20/20

SUN SADDLE OAK LLC
 CONSTRUCTION PLANS
 CONSTRUCTION DETAILS

DATE: 03-20-2023

REVISIONS

NO. 1008
 ROBERT GIBSON
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA

DRAWN BY: NUL
 CHECKED BY: MT
 PROJECT MANAGER: DRG
 OR # 2003482
 FILE CODE: CSP
 SHEET NO. C701

DEVELOPMENT REVIEW COMMITTEE
MARION COUNTY, FLORIDA
 APPLICATION #: 23897
 APPROVAL DATE: 7/15/24
 EXPIRATION DATE: 7/15/26

SPACE RESERVED FOR APPROVAL STAMP
 All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revisions. Areas of the right-of-way disturbed during construction shall be preserved and restored. These standards may be used if approved by the County Engineer or Designer.

811
 Know what's below.
 Call before you dig.
 NOTICE:
 THE USER OF THIS SERVICE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

24 HOUR EMERGENCY CONTACT
 JOE MARTEL
 321-246-5183

ATWELL
 888.850.4200
 1800 MARSHALL BLVD., SUITE 1700
 TAMPA, FL 33604
 WWW.ATWELL-GRP.COM

SECTION 4, TOWNSHIP 16 SOUTH,
 RANGE 21 EAST
 5450 SW 96TH ST
 OCALA
 MARION COUNTY, FLORIDA

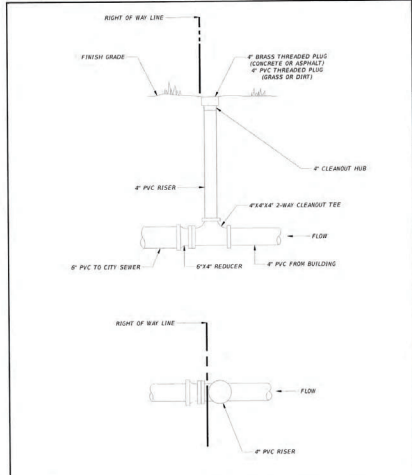
SADDLE OAK CLUB
 SUN SADDLE OAK LLC
 CONSTRUCTION PLANS
 CONSTRUCTION DETAILS

DATE: 03-20-2023
 06-10-2024 - QUANTITY REVISION
 06-13-2024 - QUANTITY REVISION

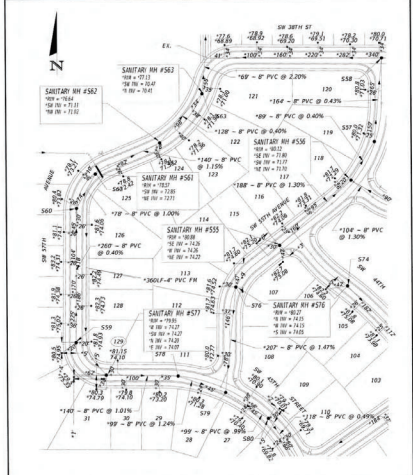
REVISIONS
 ATWELL ROBERT OBER
 PROFESSIONAL ENGINEER
 LICENSE NO. 12008
 STATE OF FLORIDA

RECEIVED
 AUG 27 2024
 Marion County
 Office of the County Engineer

DESIGNED BY: NLE
 CHECKED BY: MT
 PROJECT MANAGER: DRG
 JOB #: 202024P
 FILE CODE: CIP
 SHEET NO: C703



CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION
RESIDENTIAL SEWER CLEANOUT
 SS-14
 SECTION NUMBER
 PROJECT NUMBER
 SHEET NUMBER



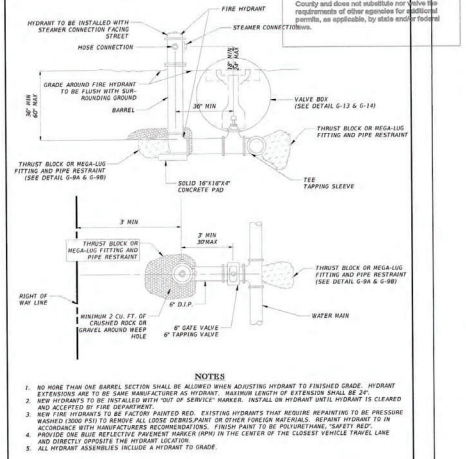
CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION
TYPICAL SEWER AS-BUILT DRAWING
 SS-22
 SECTION NUMBER
 PROJECT NUMBER
 SHEET NUMBER

LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555-314

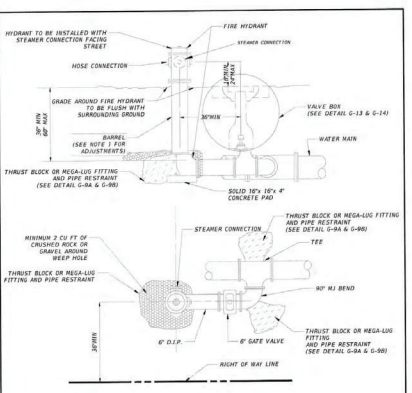
Other Pipe	Horizontal Separation	Crossings (1)	Joint Spacing @ Crossings (Full Joint Centered)
Storm Sewer, Stormwater Force Mains, Reclaimed Water (2)	Water Main 3 ft. minimum	Water Main 12 inches in the minimum, except for water mains, 6 inches in the minimum and 12 inches in the minimum	Water Main Alignment 3 ft. minimum
Vacuum Sanitary Sewer	Water Main 10 ft. preferred 3 ft. minimum	Water Main 6 inches minimum	Water Main Alignment 3 ft. minimum
Gravity or Pressure Sanitary Sewer, Sanitary Sewer Force Mains, Reclaimed Water (4)	Water Main 12 inches in the minimum, except for water mains, 6 inches in the minimum and 12 inches in the minimum	Water Main 6 inches minimum	Water Main Alignment 6 ft. minimum
On-site Sewage Treatment & Disposal System	10 ft. minimum		

1. Water main should cross above other pipe. When water main must be below other pipe, the minimum separation is 12 inches.
 2. Reclaimed water requires other Part III of Chapter 62-555, F.A.C.
 3. 3 ft. for gravity sanitary sewer above the bottom of the water main is at least 6 inches above the top of the water main.
 4. Reclaimed water not regulated under Part III of Chapter 62-555, F.A.C.

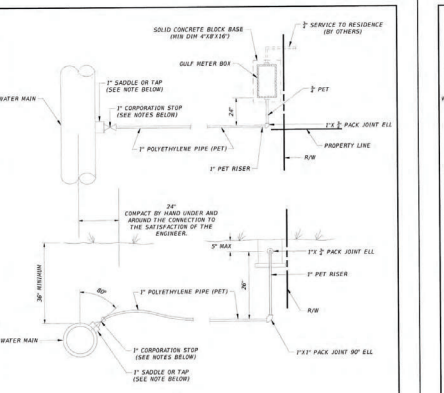
CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION
SEPARATION OF WATER MAINS
 W-2
 SECTION NUMBER
 PROJECT NUMBER
 SHEET NUMBER



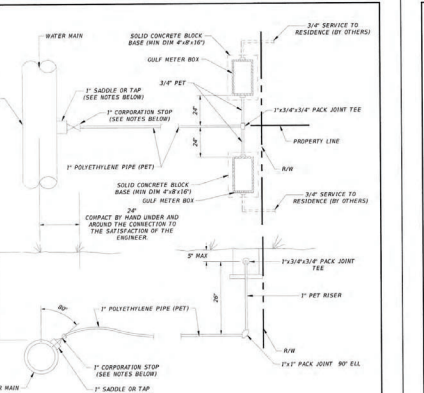
CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION
FIRE HYDRANT ASSEMBLY
 PERPENDICULAR TO MAIN
 W-5
 SECTION NUMBER
 PROJECT NUMBER
 SHEET NUMBER



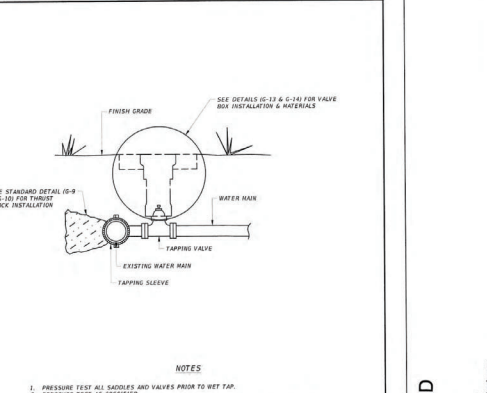
CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION
FIRE HYDRANT ASSEMBLY
 PARALLEL TO MAIN
 W-4
 SECTION NUMBER
 PROJECT NUMBER
 SHEET NUMBER



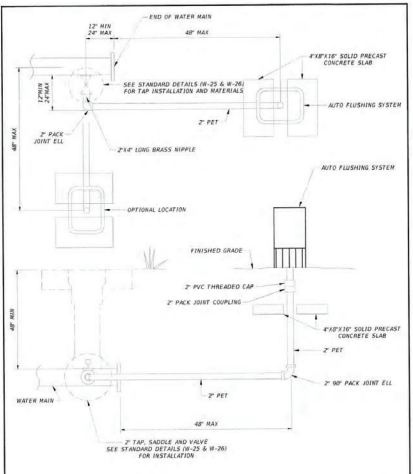
CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION
SINGLE 1 1/2\"
RESIDENTIAL WATER SERVICE
 W-15
 SECTION NUMBER
 PROJECT NUMBER
 SHEET NUMBER



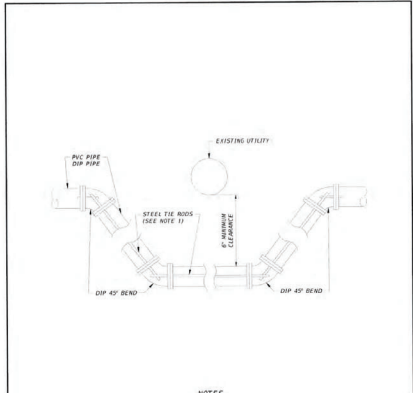
CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION
DOUBLE 1 1/2\"
RESIDENTIAL WATER SERVICE
 W-16
 SECTION NUMBER
 PROJECT NUMBER
 SHEET NUMBER



CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION
WATER MAIN TAP
 4\"
AND ABOVE
 W-26
 SECTION NUMBER
 PROJECT NUMBER
 SHEET NUMBER



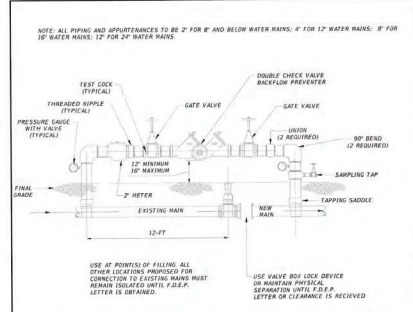
CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION
2" BLOWOFF ASSEMBLY
W-28



NOTES

- FOR PIPE DIAMETERS UP TO 12" USE TWO (2) STEEL RODS - PIPE DIAMETERS OVER 12" USE THREE (3) 3/4" STEEL RODS. RESTRAINED JOINTS MAY BE USED IN LINES OF ROADS.
- STRESS STRAPS AUTHORIZED BY THE ENGINEER. WATER MAIN BYPASS SHALL BE CONSTRUCTED BELOW THE EXISTING UTILITY.
- REINFORCED WATER FOR THE PARTICULAR PIPE MATERIAL BEING INSTALLED, MAY BE USED IN LINES OF THE RODS. REFER TO SPEC (10-11) FOR ADDITIONAL FITTING REQUIREMENTS.

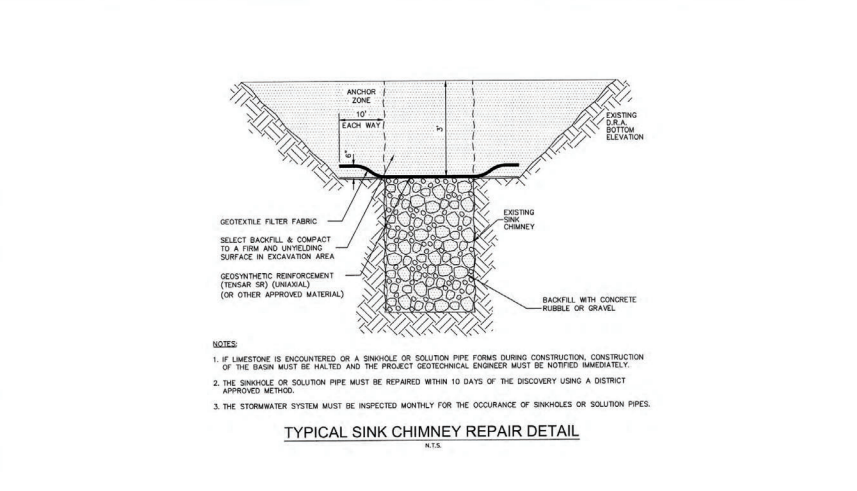
CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION
WATER MAIN BY-PASS
W-29



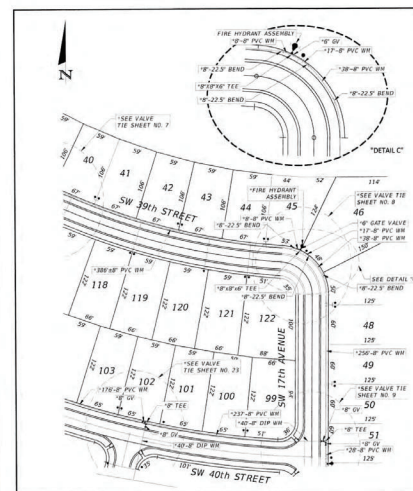
NOTES

- A TEMPORARY JUMPER CONNECTION IS REQUIRED AT ALL CONNECTIONS BETWEEN EXISTING ACTIVE WATER MAINS AND PROPOSED NEW WATER MAIN IMPROVEMENTS. TEMPORARY JUMPER WATER METERS SHALL BE SUPPLIED BY THE CITY OF OCALA ORDINANCE SECTION 10-413.
- THIS DETAIL IS TO BE USED FOR FILLING ANY NEW WATER MAIN OF ANY SIZE FOR EXISTING ACTIVE WATER MAINS AND FOR FILLING OF NEW MAINS. AND FOR FILLING OF EXISTING MAINS. THE JUMPER CONNECTION SHALL BE MAINTAINED UNTIL AFTER FILLING, TESTING, AND DISINFECTION OF THE NEW MAIN HAS BEEN SUCCESSFULLY COMPLETED AND CLEARANCE FOR USE FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION HAS BEEN RECEIVED. THIS JUMPER CONNECTION SHALL BE USED TO MAINTAIN A MINIMUM PRESSURE OF 20 PSI IN THE NEW MAIN ALL THE WAY TO THE TAPPING POINT AND WITHIN THE 100' CLEARANCE ZONE. ADEQUATE THROTTLE BLOCKING AND/OR RESTRAINTS SHALL BE PROVIDED THROUGHOUT THE CONNECTION. THE TAPPING SADDLE FOR CONNECTION TO THE NEW PIPE TO THE EXISTING PIPE SHALL BE DISINFECTED PRIOR TO INSTALLATION IN ACCORDANCE WITH AWWA C501, LATEST EDITION. THE TAPPING SADDLE AND THE EXTENSION OF THE MAIN TO BE TAPPED SHALL BE CONNECTED BY BRANING OR SPINDLING PER SECTION 11 OF AWWA C501-LATEST.
- UPON RECEIPT OF CLEARANCE FOR USE FROM DEED AND THE CITY OF OCALA, THE CONTRACTOR SHALL REMOVE THE TEMPORARY JUMPER CONNECTION. THE MAINS CAN NOW BE CONNECTED BY SLEEVE OR FLANGED CONNECTIONS.
- ALL INSTALLATION AND MAINTENANCE OF THE TEMPORARY JUMPER CONNECTION AND ASSOCIATED BACK FLOW PREVENTER DEVICES (FITTINGS, VALVE, ETC.) SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- WATER FOR TESTING AND DISINFECTION OF THE NEW WATER MAIN AND WATER FOR MAINTENANCE OR OTHER USES MUST BE AT THE CONTRACTOR'S EXPENSE.

CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION
TEMPORARY JUMPER CONNECTION
W-30



CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION
TYPICAL SINK CHIMNEY REPAIR DETAIL
N.T.S.



CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION
TYPICAL WATER ASPHALT DRAWING
W-32

RECEIVED
 AUG 23 2024
 Marion County
 Office of the County Engineer

WATER & SEWER SYSTEM CONSTRUCTION AND MAINTENANCE NOTE
 The underground water and sewer systems constructed on this site shall be constructed in accordance with the following:

SEWER SYSTEM:
 City of Ocala "Standard Specifications for Construction of Streets, Stormwater, Traffic, Water and Sewer Infrastructure".
 Construct all gravity sewers 8" and above including manholes and all sewer services 6" or less to the first cleanout upstream from the 8" or above sewer main to City standards. Inspections will be performed by the City Water & Sewer Department.

State of Florida "Standard Plumbing Code".
 All gravity sewer services 6" or less from the first cleanout upstream from the 8" or above gravity sewer main will be constructed to Florida Standard Plumbing Code requirements. Inspection and testing will be performed by the City Building Department. These facilities will be maintained by the development.

WATER SYSTEM:
 City of Ocala "Standard Specifications for Construction of Streets, Stormwater, Traffic, Water and Sewer Infrastructure".
 Construct all potable water mains and services, up to the point of metering, to City standards. Inspections will be performed by the City of Ocala.

State of Florida "Standard Plumbing Code".
 All water services downstream from the point of metering shall be constructed to Florida Standard Plumbing Code requirements. Inspection and testing will be performed by the City Building Department. These facilities will be maintained by the development.

REUSE SYSTEM:
 City of Ocala "Standard Specifications for Construction of Streets, Stormwater, Traffic, Water and Sewer Infrastructure".
 Construct all reuse mains and services, up to the point of metering, to City standards. Inspections will be performed by the City Water & Sewer Department.

State of Florida "Standard Plumbing Code".
 All reuse services downstream from the point of metering shall be constructed to Florida Standard Plumbing Code requirements. Inspection and testing will be performed by the City Building Department. These facilities will be maintained by the development.

PRE-CONSTRUCTION MEETING REQUIRED:
 Prior to any underground water, sewer, or reuse construction on this site the Contractor shall set up an on-site meeting with the City of Ocala project inspectors (352) 401-6935 OR (352) 351-6712 to discuss shop drawings, installation, inspection, testing and as-built requirements.

DEVELOPMENT REVIEW COMMITTEE
 MARION COUNTY, FLORIDA
 APPLICATION #: 20897
 APPROVAL DATE: 7/15/24
 EXPIRATION DATE: 7/15/26
 SPACE RESERVED FOR APPROVAL STAMP

NOTICE
 The contractor is advised that the standards established in the Marion County Land Development Code, latest edition, Annex C of the right-of-way disturbed during construction shall be observed and restored. Care and match may be required by the County Engineer or designee.

NOTICE
 The contractor is advised that the standards established in the Marion County Land Development Code, latest edition, Annex C of the right-of-way disturbed during construction shall be observed and restored. Care and match may be required by the County Engineer or designee.

NOTICE
 The contractor is advised that the standards established in the Marion County Land Development Code, latest edition, Annex C of the right-of-way disturbed during construction shall be observed and restored. Care and match may be required by the County Engineer or designee.

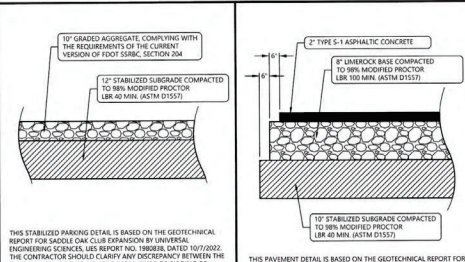
NOTICE
 The contractor is advised that the standards established in the Marion County Land Development Code, latest edition, Annex C of the right-of-way disturbed during construction shall be observed and restored. Care and match may be required by the County Engineer or designee.

NOTICE
 The contractor is advised that the standards established in the Marion County Land Development Code, latest edition, Annex C of the right-of-way disturbed during construction shall be observed and restored. Care and match may be required by the County Engineer or designee.

NOTICE
 The contractor is advised that the standards established in the Marion County Land Development Code, latest edition, Annex C of the right-of-way disturbed during construction shall be observed and restored. Care and match may be required by the County Engineer or designee.

NOTICE
 The contractor is advised that the standards established in the Marion County Land Development Code, latest edition, Annex C of the right-of-way disturbed during construction shall be observed and restored. Care and match may be required by the County Engineer or designee.

NOTICE
 The contractor is advised that the standards established in the Marion County Land Development Code, latest edition, Annex C of the right-of-way disturbed during construction shall be observed and restored. Care and match may be required by the County Engineer or designee.



STABILIZED PARKING SPECIFICATION
N.T.S.



ASPHALT PAVEMENT SPECIFICATION
N.T.S.

811
 Know what's below.
 Call before you dig.
 1-800-4-A-SHIELD

24 HOUR EMERGENCY CONTACT
 JOE MARSH
 352-794-1383

ATWELL
 888.880.4000
 1800 FORT MEADE BLVD
 SUITE 100
 MARION COUNTY, FL 32003
 WWW.ATWELL-GRP.COM

SECTION 4: TOWNSHIP 15 SOUTH, RANGE 21 EAST
 540 SW 96TH ST
 OCALA
 MARION COUNTY, FLORIDA

SADDLE OAK CLUB
 SUN SADDLE OAK LLC
 CONSTRUCTION PLANS
 CONSTRUCTION DETAILS

DATE 03-20-2023

REVISIONS

ROBERT GIBSON
 PROFESSIONAL ENGINEER
 No. 80009
 1717 W. 11th St.
 Ocala, FL 32067

DRAWN BY: NUL
CHECKED BY: MT
PROJECT MANAGER: DRG
JOB NO.: 20005487
FILE CODE: CSP
SHEET NO.: C704

LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-855.314

Other Pipe	Horizontal Separation	Crossings (1)	Joint Spacing @ Crossings (Full Joint Centered)
Storm Sewer, Stormwater Force Main, Reclaimed Water (2)	Water Main 3 ft. minimum	Water Main 12 inches to the maximum, except for storm sewers, 18 inches to 24 inches to the maximum	Alternate 3 ft. minimum
	Water Main 3 ft. minimum	Water Main 12 inches to the maximum, except for storm sewers, 18 inches to 24 inches to the maximum	Alternate 3 ft. minimum
Vacuum Sanitary Sewer	Water Main 12 inches to the maximum, except for storm sewers, 18 inches to 24 inches to the maximum	Water Main 12 inches to the maximum, except for storm sewers, 18 inches to 24 inches to the maximum	Alternate 3 ft. minimum
Gravily or Pressure Sanitary Sewer, Sanitary Sewer Force Main, Reclaimed Water (4)	Water Main 10 ft. preferred, 6 ft. minimum (3)	Water Main 12 inches to the maximum, except for storm sewers, 18 inches to 24 inches to the maximum	Alternate 3 ft. minimum
On-Site Sewage Treatment & Disposal System	10 ft. minimum		

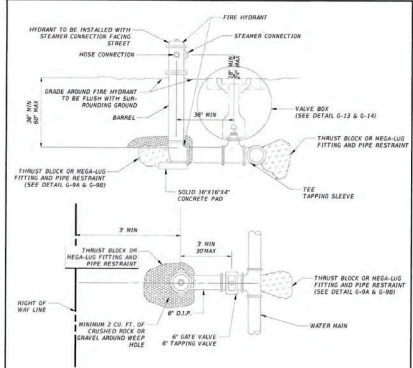
- Water main should cross above other pipe. When water main must be below other pipe, the minimum separation is 12 inches.
- Reclaimed water requires under pipe (see Chapter 62-855.314, F.A.C.).
- 3 ft. for gravity sanitary sewer where the bottom of the water main is later at least 6 inches above the top of the gravity sanitary sewer.
- Reclaimed water not regulated under Part 1 of Chapter 62-855.314, F.A.C.

Disclaimer - This document is provided for your convenience only. Please refer to F.A.C. Rule 62-855.314 for additional construction requirements.

CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION

SEPARATION OF WATER MAINS

SECTION WATER W-2

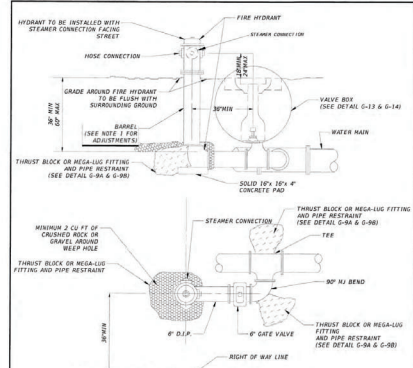


- NOTES**
- NO MORE THAN ONE BARREL SECTION SHALL BE ALLOWED WHEN ADJUSTING HYDRANT TO FINISHED GRADE. HYDRANT EXTENSIONS ARE TO BE SAME MANUFACTURER AS HYDRANT. MAXIMUM LENGTH OF EXTENSION SHALL BE 20'.
 - NEW HYDRANTS TO BE INSTALLED WITH "OUT OF SERVICE" MARKER. INSTALL ON HYDRANT UNTIL HYDRANT IS CLEARED AND ACCEPTED BY FIRE DEPARTMENT.
 - NEW HYDRANTS TO BE FACTORY JACKETED AND EXISTING HYDRANTS THAT REQUIRE REPAIRING TO BE PRESSURE WASHED (2000 PSI) TO REMOVE ALL LOOSE DEBRIS, PAINT OR OTHER FOREIGN MATERIALS. REPAIR HYDRANT TO IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. FINISH PAINT TO BE POLYURETHANE "SAFETY RED".
 - PROVIDE ONE BLUE REFLECTIVE PAVEMENT MARKER (80%) IN THE CENTER OF THE CLOSEST VEHICLE TRAVEL LANE AND CORRECTLY ORIENTED TO HYDRANT LOCATION.
 - ALL HYDRANT ASSEMBLIES INCLUDE A HYDRANT TO GRADE.

CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION

FIRE HYDRANT ASSEMBLY PERPENDICULAR TO MAIN

SECTION WATER W-3

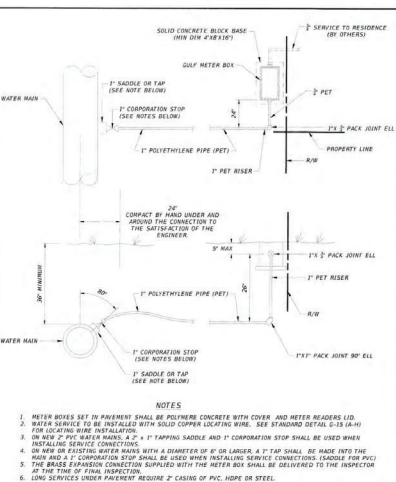


- NOTES**
- NO MORE THAN ONE BARREL SECTION SHALL BE ALLOWED WHEN ADJUSTING HYDRANT TO FINISHED GRADE. HYDRANT EXTENSION TO BE SAME MANUFACTURER AS HYDRANT. MAXIMUM LENGTH OF EXTENSION LIMITED TO 20'.
 - NEW HYDRANTS TO BE INSTALLED WITH "OUT OF SERVICE" MARKER. INSTALL ON HYDRANT UNTIL HYDRANT IS CLEARED AND ACCEPTED BY FIRE DEPARTMENT.
 - NEW HYDRANTS TO BE FACTORY JACKETED AND EXISTING HYDRANTS THAT REQUIRE REPAIRING TO BE PRESSURE WASHED (2000 PSI) TO REMOVE ALL LOOSE DEBRIS, PAINT OR OTHER FOREIGN MATERIALS. REPAIR HYDRANT TO IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. FINISH PAINT TO BE POLYURETHANE "SAFETY RED".
 - PROVIDE ONE BLUE REFLECTIVE PAVEMENT MARKER (80%) IN THE CENTER OF THE CLOSEST VEHICLE TRAVEL LANE AND CORRECTLY TO HYDRANT LOCATION.
 - ALL HYDRANT ASSEMBLIES INCLUDE A HYDRANT TO GRADE.

CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION

FIRE HYDRANT ASSEMBLY PARALLEL TO MAIN

SECTION WATER W-4

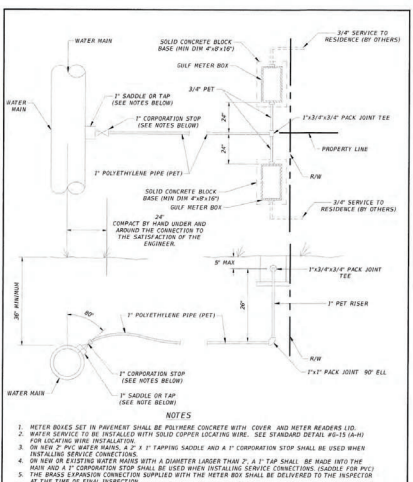


- NOTES**
- METER BOXES SET IN PAVEMENT SHALL BE POLYURETHANE CONCRETE WITH COVER AND METER READERS (LD).
 - WATER SERVICES TO BE INSTALLED WITH SOLID COPPER LOCATING WIRE. SEE STANDARD DETAIL 01-13 (A-H) FOR LOCATING WIRE INSTALLATION.
 - ON NEW 1" P.C. WATER MAINS, A 2" x 1" TAPPING SADDLE AND A 1" CORPORATION STOP SHALL BE USED WHEN INSTALLING SERVICE CONNECTIONS.
 - ON NEW OR EXISTING WATER MAINS WITH A DIAMETER OF 8" OR LARGER, A TAP SHALL BE MADE INTO THE MAIN AND A 1" CORPORATION STOP SHALL BE USED WHEN INSTALLING SERVICE CONNECTIONS. (SADDLE FOR PVC) THE BRASS EXPANSION CONNECTOR SUPPLIED WITH THE METER BOX SHALL BE DELIVERED TO THE INSPECTOR AT THE TIME OF FINAL INSPECTION.
 - LONG SERVICES UNDER PAVEMENT REQUIRE 2" CASING OF PVC, HDPE OR STEEL.

CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION

SINGLE 1" x 1/2" RESIDENTIAL WATER SERVICE

SECTION WATER W-15

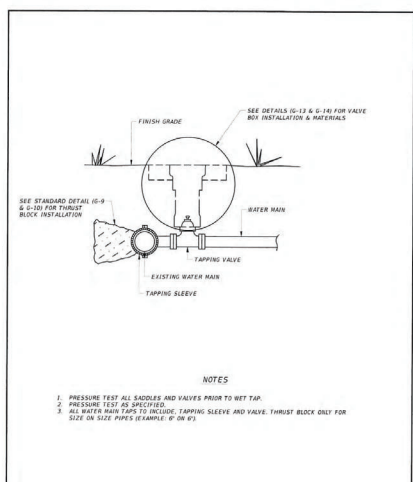


- NOTES**
- METER BOXES SET IN PAVEMENT SHALL BE POLYURETHANE CONCRETE WITH COVER AND METER READERS (LD).
 - WATER SERVICES TO BE INSTALLED WITH SOLID COPPER LOCATING WIRE. SEE STANDARD DETAIL 01-13 (A-H) FOR LOCATING WIRE INSTALLATION.
 - ON NEW 1" P.C. WATER MAINS, A 2" x 1" TAPPING SADDLE AND A 1" CORPORATION STOP SHALL BE USED WHEN INSTALLING SERVICE CONNECTIONS.
 - ON NEW OR EXISTING WATER MAINS WITH A DIAMETER LARGER THAN 2" A TAP SHALL BE MADE INTO THE MAIN AND A 1" CORPORATION STOP SHALL BE USED WHEN INSTALLING SERVICE CONNECTIONS. (SADDLE FOR PVC) THE BRASS EXPANSION CONNECTOR SUPPLIED WITH THE METER BOX SHALL BE DELIVERED TO THE INSPECTOR AT THE TIME OF FINAL INSPECTION.
 - LONG SERVICES UNDER PAVEMENT REQUIRE 2" CASING OF PVC, HDPE OR STEEL.

CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION

DOUBLE 1" x 1/2" RESIDENTIAL WATER SERVICE

SECTION WATER W-16

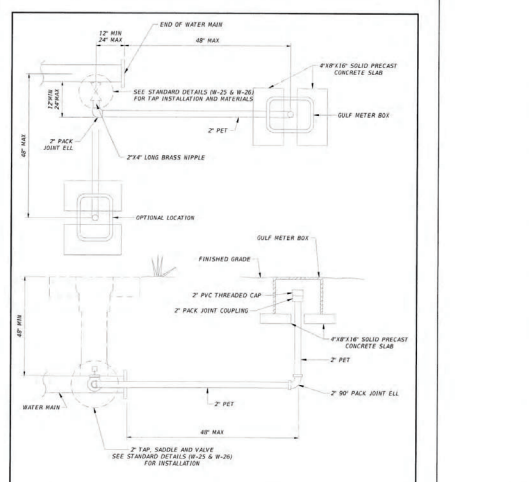


- NOTES**
- PRESSURE TEST ALL SADDLES AND VALVES PRIOR TO WET TAP.
 - PRESSURE TEST AS SPECIFIED.
 - ALL WATER MAIN TAPS TO INCLUDE TAPPING SLEEVE AND VALVE. THRUST BLOCK ONLY FOR SIZE OF SIZE PIPES (EXAMPLE: 8" ON 8").

CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION

WATER MAIN TAP 4" AND ABOVE

SECTION WATER W-26



- NOTES**
- SEE STANDARD DETAILS 01-25 & W-26 FOR TAP INSTALLATION AND MATERIALS.
 - SEE STANDARD DETAILS 01-25 & W-26 FOR TAP INSTALLATION AND MATERIALS.
 - SEE STANDARD DETAILS 01-25 & W-26 FOR TAP INSTALLATION AND MATERIALS.

CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION

2" BLOWOFF ASSEMBLY

SECTION WATER W-28

DEVELOPMENT REVIEW COMMITTEE MARION COUNTY, FLORIDA

APPLICATION # 29897
APPROVAL DATE: 7/15/24
EXPIRATION DATE: 7/15/26

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest revision. Areas of the right-of-way disturbed during construction shall be drained and seeded. Guard and masts may be used if approved by the County Engineer or designer.

NOTICE
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute for when the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.

811
Know what's below.
Call before you dig.
888.880.4200
www.atwellgroup.com

ATWELL
888.880.4200
www.atwellgroup.com
1001 PARKWAY EAST
MARION COUNTY, FLORIDA 32003

SECTION 4: TOWNSHIP 16 SOUTH, RANGE 21 EAST, 5440 SW 56TH ST
OCALA
MARION COUNTY, FLORIDA

SADDLE OAK CLUB
SUN SADDLE OAK LLC
CONSTRUCTION PLANS
CONSTRUCTION DETAILS

DATE: 03-20-2023

REVISIONS

DANIEL R. GIBBS, P.E.
Professional Engineer
STATE OF FLORIDA
No. 60008
Professional Seal

RECEIVED
AUG 23 2024
Marion County Engineer
Office of the County Engineer

This item has been digitally signed and sealed by Daniel R. Gibbs, PE on the date below. Printed copies of this document are not considered signed and sealed and the signatures must be verified on any electronic copies.

2023.03.20 13:10:29-04'00'

DRAWN BY: NDL
CHECKED BY: MT
PROJECT MANAGER: DRG
JOB #: 20003487
FILE CODE: CSP
SHEET NO. C705

811 **Call before you dig**

Marion County
 1800 PINE HILL RD
 MARION COUNTY, FLORIDA 32003-0804
 866.650.4200 www.marion-fl.com

ATWELL

666.650.4200 www.atwell-pro.com

1800 PINE HILL RD
 MARION COUNTY, FLORIDA 32003-0804

SECTION 4, TOWNSHIP 16 SOUTH,
 RANGE 21 EAST

SUN SADDLE OAK LLC
 CONSTRUCTION PLANS
 TREE SAVE PLAN

SADDLE OAK CLUB

DATE: 03-20-2023

SCALE: 1"=20'

PROJECT MANAGER: DMC
 CHECKED BY: MWT
 DRAWN BY: MWT

SHEET NO. L100

DEVELOPMENT REVIEW COMMITTEE
 MARION COUNTY, FLORIDA

APPLICATION #: 28997
 APPROVAL DATE: 7/15/24
 EXPIRATION DATE: 7/15/26

SPACES RESERVED FOR APPROVAL STAMP

All information submitted to the committee is the property of Marion County and will be held in confidence. The committee's decision is final and cannot be appealed. The applicant agrees to indemnify and hold Marion County harmless from all claims, damages, and expenses, including reasonable attorney's fees, arising from the use of the site. The applicant also agrees to indemnify and hold Marion County harmless from all claims, damages, and expenses, including reasonable attorney's fees, arising from the use of the site.

NOTICE

The approval of these plans by the Marion County Board of Commissioners does not constitute an approval of the project or a guarantee of the accuracy of the information provided. The applicant is responsible for obtaining all necessary permits and approvals from the appropriate agencies. The applicant also agrees to indemnify and hold Marion County harmless from all claims, damages, and expenses, including reasonable attorney's fees, arising from the use of the site.

EMERGENCY CONTACT

904-399-2345

LEGEND

EXISTING PROTECTED TREES 10" DBH AND ABOVE TO REMAIN

EXISTING PROTECTED TREES 10" DBH AND ABOVE TO BE REMOVED

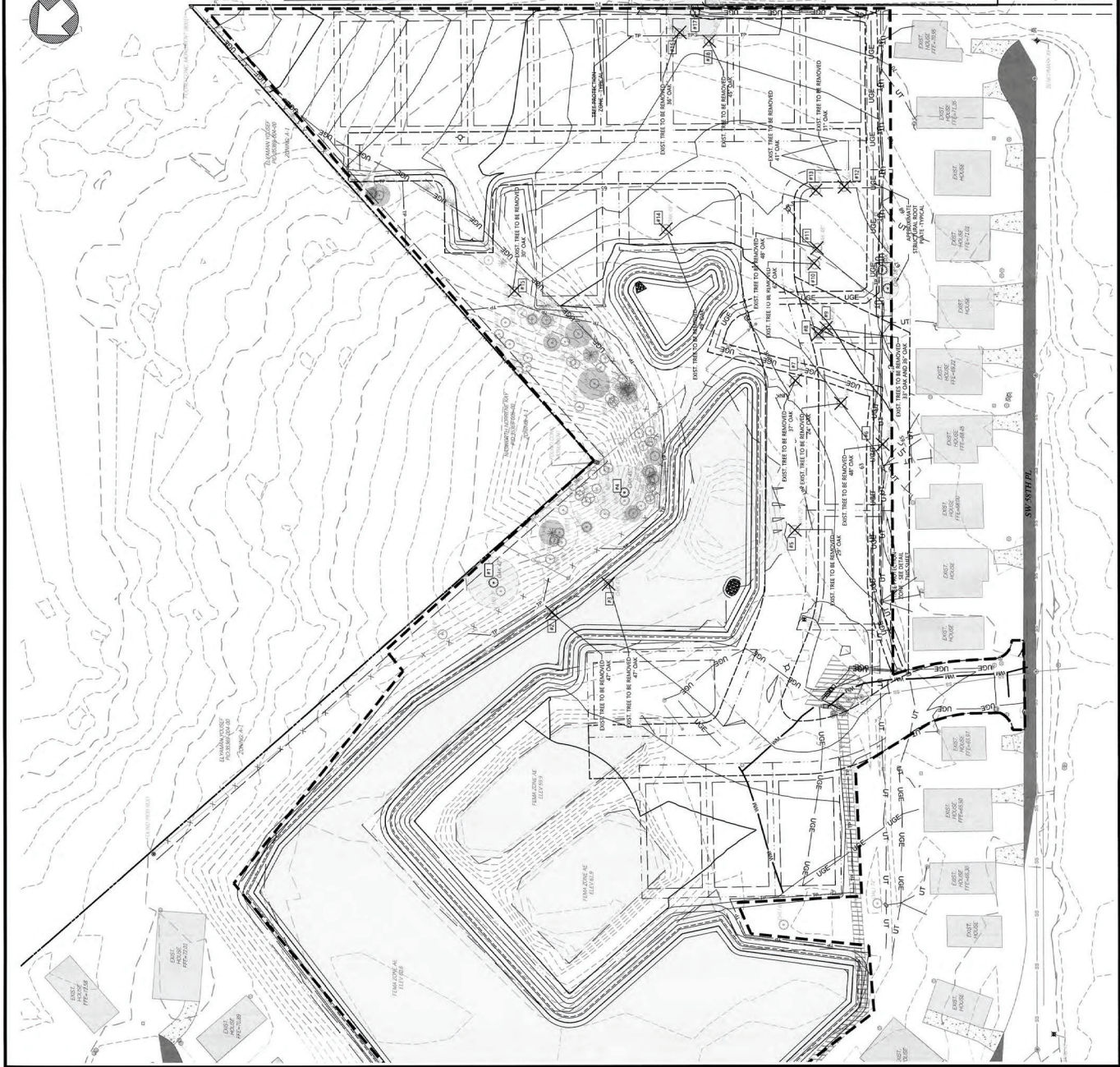
EXISTING PROTECTED TREES 10" DBH TO REMAIN

EXISTING PROTECTED TREES 10" DBH TO BE REMOVED

EXISTING TREES TO REMAIN

EXISTING TREES TO BE REMOVED

NOTE: SEE ANNOTATED PROPERTY OWNERS' SURVEY DATED JUNE 29, 2023, SEE SHEET 00A FOR TREE IDENTIFICATION AND TREE LOCATION DATA.



ALL EXISTING TREES TO BE SAVED

Quantity	Type (Common Name)	Tree Inches (DBH)	Tree Inches Removed
1	10	OAK	10
1	10	OAK	10
1	18	LAUREL OAK	18
1	18	LAUREL OAK	18
1	26	LAUREL OAK	26
1	42	LIVE OAK	42
1	49	LIVE OAK	49
1	45	LIVE OAK	45
1	11	PINE	11
1	15	PINE	15
1	21	PINE	21
1	3	CHERRY	3
1	3	HICKORY	3
1	4	HICKORY	4
1	6	HICKORY	6
1	22	SWEETGUM	22
2	42	LIVE OAK	42
2	45	LIVE OAK	45
2	50	LIVE OAK	50

10" DBH - 28" DBH TREES ON SITE

Quantity	Type (Common Name)	Tree Inches (DBH)	Proposed (Save or Remove)	Tree Inches Removed
2	10	MALBERRY	REMOVED	20
2	14	MALBERRY	REMOVED	28
2	14	MALBERRY	REMOVED	28
2	10	OAK	1 REMOVED	20
1	14	OAK	SAVED	14
1	14	OAK	SAVED	14
2	26	OAK	1 REMOVED	26
1	29	OAK	REMOVED	29
2	11	PINE	REMOVED	22
2	15	PINE	REMOVED	30
2	15	PINE	REMOVED	30
1	21	PINE	SAVED	21
1	22	PINE	REMOVED	22
1	23	PINE	REMOVED	23
1	12	CHERRY	REMOVED	12
1	22	SWEETGUM	SAVED	0
453				453

30" DBH AND ABOVE - TREES ON SITE

Specimen	Size (Tree ID)	Type (Common Name)	Species/Inventory	Specimen, Above (Average, Poor, Dead)	Proposed (Save or Remove)	Inches Removed
1	47	LIVE OAK	AVERAGE	REMOVED	REMOVED	47
2	47	LIVE OAK	AVERAGE	REMOVED	REMOVED	47
3	47	LIVE OAK	AVERAGE	REMOVED	REMOVED	47
4	45	LIVE OAK	BELOW AVERAGE (E.S.)	REMOVED	REMOVED	45
5	45	LIVE OAK	BELOW AVERAGE (E.S.)	REMOVED	REMOVED	45
6	48	LAUREL OAK	BELOW AVERAGE (E.S.)	REMOVED	REMOVED	48
7	37	LIVE OAK	AVERAGE	REMOVED	REMOVED	37
8	33	LAUREL OAK	BELOW AVERAGE (E.S.)	REMOVED	REMOVED	33
9	33	LAUREL OAK	BELOW AVERAGE (E.S.)	REMOVED	REMOVED	33
10	62	LAUREL OAK	BELOW AVERAGE (E.S.)	REMOVED	REMOVED	62
11	48	LAUREL OAK	BELOW AVERAGE (E.S.)	REMOVED	REMOVED	48
12	37	LAUREL OAK	BELOW AVERAGE (E.S.)	REMOVED	REMOVED	37
13	49	LIVE OAK	AVERAGE	REMOVED	REMOVED	49
14	30	LAUREL OAK	AVERAGE	REMOVED	REMOVED	30
15	36	LAUREL OAK	BELOW AVERAGE (E.S.)	REMOVED	REMOVED	36
16	43	LAUREL OAK	BELOW AVERAGE (E.S.)	REMOVED	REMOVED	43
18	43	LAUREL OAK	BELOW AVERAGE (E.S.)	REMOVED	REMOVED	43
255						255

PRE-CONSTRUCTION TREE PROTECTION:

- OWNER SHALL BE RESPONSIBLE FOR INSURING THAT ALL POSSIBLE MEASURES ARE TAKEN TO AVOID DAMAGE TO TREES NOT APPROVED FOR REMOVAL.
- PROTECT ALL TREES, BRANCHES, OR ANY CONSTRUCTION, TREE PROTECTION BARRIERES SHALL BE ERRECTED AROUND ALL TREES, OR GROUPS OF TREES, WITHIN THE CONSTRUCTION AREA WHICH ARE TO BE PRESERVED.
- TREE PROTECTION SHALL CONTINUE DURING THE COURSE OF CONSTRUCTION.

CONDITIONS OF TREE REMOVAL PERMITS:

- THE CLEANING OF CONSTRUCTION EQUIPMENT OR MATERIAL, OR THE DISPOSAL OF WASTE MATERIAL, INCLUDING BUT NOT LIMITED TO, ASPHALT, CONCRETE, AND MORTAR WITHIN THE TPZ OF ANY PROTECTED TREE IS NOT ALLOWED.
- WITHIN THE TPZ OF ANY TREE WHICH IS BEING PROTECTED IS NOT ALLOWED.
- THE CONTRACTOR SHALL INSPECT ALL TREE PROTECTION BARRIERES AND SIGNS ON A REGULAR BASIS TO ENSURE THEY ARE MAINTAINED AND REPAIRED AS NEEDED. IF ANY TREE HAS BEEN APPROVED TO BE REMOVED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF THE TREE AND THE DISPOSAL OF THE TREE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY MAJOR DAMAGE DURING CONSTRUCTION, WITH THE EXCEPTION OF NATURAL EVENTS, SO AS TO PLACE ITS LONG TERM SURVIVAL IN QUESTION. THE REPLACEMENT OF ANY MAJOR DAMAGED OR DAMAGED TREE(S) SHALL BE COMPENSATED SPECIES OF THE SAME SIZE AND SPECIES AS THE ORIGINAL TREE(S). THE REPLACEMENT SHALL BE COMPENSATED SPECIES OF THE SAME SIZE AND SPECIES AS THE ORIGINAL TREE(S). THE REPLACEMENT SHALL BE COMPENSATED SPECIES OF THE SAME SIZE AND SPECIES AS THE ORIGINAL TREE(S). THE REPLACEMENT SHALL BE COMPENSATED SPECIES OF THE SAME SIZE AND SPECIES AS THE ORIGINAL TREE(S).
- IF ANY TREE HAS BEEN APPROVED TO BE REMOVED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY MAJOR DAMAGE DURING CONSTRUCTION, WITH THE EXCEPTION OF NATURAL EVENTS, SO AS TO PLACE ITS LONG TERM SURVIVAL IN QUESTION. THE REPLACEMENT OF ANY MAJOR DAMAGED OR DAMAGED TREE(S) SHALL BE COMPENSATED SPECIES OF THE SAME SIZE AND SPECIES AS THE ORIGINAL TREE(S). THE REPLACEMENT SHALL BE COMPENSATED SPECIES OF THE SAME SIZE AND SPECIES AS THE ORIGINAL TREE(S). THE REPLACEMENT SHALL BE COMPENSATED SPECIES OF THE SAME SIZE AND SPECIES AS THE ORIGINAL TREE(S).

Office of the County Engineer
 Marion County
 August 2, 2024

RECEIVED

DATE: 03-20-2023

SCALE: 1"=20'

PROJECT MANAGER: DMC
 CHECKED BY: MWT
 DRAWN BY: MWT

SHEET NO. L100

