

PROJECT NAME: DIAMOND "A" SHOPPING CENTER IMPROVEMENT PLAN

PROJECT NUMBER: 2024080096

APPLICATION: IMPROVEMENT PLAN #31954

1 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 2.12.9/10 - Proposed Drainage Right-of-Way/Easements

STATUS OF REVIEW: INFO

REMARKS: Easements required for discharge will need to be in place prior to the final plat approval for this project.

2 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 2.12.20 - Stormwater Infrastructure Supports Phasing

STATUS OF REVIEW: INFO

REMARKS: Stormwater improvements must be in place to support each phase of development at time of phase completion.

3 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.B(8) - Calculation & Plan Consistency

STATUS OF REVIEW: INFO

REMARKS: This criteria to be reviewed with resubmittal.

4 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI

STATUS OF REVIEW: INFO

REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.

5 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Copy of District Permit (County Interest)

STATUS OF REVIEW: INFO

REMARKS: Please provide a copy of the District permit prior to construction.

6 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Additional Stormwater comments

STATUS OF REVIEW: INFO

REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.

7 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.C - Name, address, phone number, and signature of owner and applicant on front sheet

STATUS OF REVIEW: INFO

REMARKS: 2/18/25-Phone number added

1/13/25- STILL Missing phone number; Signature due prior to final approval

10/15/24- Missing phone number; Signature due prior to final approval

8 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.E & 6.2.1.A - The name, address, phone number, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet

STATUS OF REVIEW: INFO

REMARKS: 10/15/24-Signature due prior to final approval

9 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.F - Licensed professional certification on cover sheet with signature and seal on all sheets prior to plan approval

STATUS OF REVIEW: INFO

REMARKS: 10/15/24-Signature due prior to final approval

10 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.K - List of approved waivers, conditions, date of approval

STATUS OF REVIEW: INFO

REMARKS: 1/13/25-add waivers if requested in future

10/15/24-Signature due prior to final approval (incorrect direction)

11 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: Additional Development Review Comments

STATUS OF REVIEW: INFO

REMARKS: Establishment of an MSBU is required prior to final plat approval. Contact the MSTU Department at (352)438-2650 to create an MSBU or obtain a waiver from BCC via DRC.

12 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.2.C.2(e) - Grease Trap, FOG Worksheet

STATUS OF REVIEW: INFO

REMARKS: 2.18.25 - 1250 MAX GPD as discussed. Previous comment: See changemarks

13 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.4 - Water (irrigation) Capital Charges and Flow Rates - total irrigated area identified

STATUS OF REVIEW: INFO

REMARKS: 2.18.25 Current utility sheet 9.03 shows an irrigation well. After plan approval, if the well is changed to MCU irrigation, a revised utility sheet will be required to be submitted through Development Review, and subjected to additional review fees. Irrigation meters require calculation of total irrigated square footage of landscaped area for capacity charges prior to any irrigation meter request through MCU customer service.

14 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities

STATUS OF REVIEW: INFO

REMARKS: 2.18.25 - Review Fee(s) for this revision/ review \$130.00. Utilities Plan Review Fee: Fee(s) can be paid by calling 352-671-8686 or visiting the Development Review Office at 412 SE 25th Ave, Ocala, FL 34471. Reference AR# 31954

15 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: Additional Utilities comments

STATUS OF REVIEW: INFO

REMARKS: 2.18.25 - Previous Comment: 6.14.4 - Water/Sewer Capital Charges - all cap fees will be invoiced & due before any building permits will be released by MCU Permitting.

16 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REVIEW ITEM: Additional Health comments

STATUS OF REVIEW: INFO

REMARKS: Central Sewer/Central Water

17 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: Additional Zoning comments

STATUS OF REVIEW: INFO

REMARKS: Need PUD approval number on cover sheet (#20191107Z)

18 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Improvement Plan

STATUS OF REVIEW: INFO

REMARKS: IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

19 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.12.2 - Right-of-way

STATUS OF REVIEW: NO

REMARKS: 2/25/25 - 1) Insufficient right-of-way dedication shown. A minimum dedication of 9' is required the entire length of the property boundaries adjoining SW HWY 484. 2) Public sidewalk must be included within the right-of-way dedication. Sidewalks may only be routed beyond the right-of-way through easement and only if approved by DRC.

1/14/25 - Ensure the right of way dedication includes the curb ramps and the full width of the sidewalk leading up to those ramps.

10/18/24 - Right of Way dedication is required for sidewalks at right turn lanes along CR484.

20 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 6.4.4.A - Project is consistent with preliminary plat

STATUS OF REVIEW: NO

REMARKS: Pre-plat (AR 31953) is under review and not approved. This item will remain as NO until the pre-plat is approved.

21 DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: 2.12.22 - All lots identified

STATUS OF REVIEW: NO

REMARKS: Sheet 07.01 has Lot 1 incorrectly labeled as Tract A.

22 DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: 2.12.28 - Correct road names supplied

STATUS OF REVIEW: NO

REMARKS: It was decided on the McGinley North Commercial Phase 1 Prelim to assign a quadrant designation to the road running north/south on the west side of this project. Labeled that road as SW 53rd Avenue on Sheets 05.01, 06.01 & 06.02.

23 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.4 - Shade tree requirements

STATUS OF REVIEW: NO

REMARKS: 1. Provide approval letter to allow required trees to be planted with future improvements on Lots 2,3,4,5,6,7,8 & 9 as shown on sheets L4.01 & L4.02

24 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.5 - Landscape area requirements for residential and mixed use developments

STATUS OF REVIEW: NO

REMARKS: Provide Landscape Area calculations showing minimum 20% of the developed area is landscaped

25 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.6 - Buffers

STATUS OF REVIEW: NO

REMARKS: 1. Sheets L4.02 & L4.03 appear to be missing plant labels for some material.

26 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.8 - Building landscaping

STATUS OF REVIEW: NO

REMARKS: Landscape plantings shall be provided along the public view sides of all proposed structures to reduce the monotony of large blank walls, reduce heat gain and glare, and enhance the aesthetic appearance of the building. B. Landscape areas shall be provided adjacent to or within 25 feet from the building walls and shall extend along 60 percent of the total length of the wall, excluding those areas required for access to the building. C. Landscape areas shall be a minimum of five feet wide allowing for a minimum distance of two feet from the façade to the innermost plants. Waiver required to not provide building landscape

27 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.9.3 - Irrigation design standards

STATUS OF REVIEW: NO

REMARKS: Valve labels are not clear on what is indicated, please adjust arrows or location

28 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: Additional Landscape comments

STATUS OF REVIEW: NO

REMARKS: Landscape sheet for the Northwest corner is missing - Sheet index shows Sheet number 5 twice. Please submit missing plan sheet.



**Marion County**  
**Board of County Commissioners**  
Office of the County Engineer  
412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

**AR 31954**

## **DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Date: 3/10/2025 Parcel Number(s): 41200-056-04; 41200-056-12 and port Permit Number: AR# 31954 (Imp plan)

**A. PROJECT INFORMATION:** Fill in below as applicable:

Project Name: Diamond "A" Shopping Center Commercial  Residential   
Subdivision Name (if applicable): \_\_\_\_\_  
Unit \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_ Tract \_\_\_\_\_

**B. PROPERTY OWNER'S AUTHORIZATION:** The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): AAW, LLC, 484 ROAD RUNNER RESOURCES LLC, & JOHN ALVAREZ INVESTMENTGROUP LLC  
Signature: \_\_\_\_\_  
Mailing Address: PO BOX 772169 City: Ocala  
State: FL Zip Code: 34471 Phone #: 352-875-6519  
Email address: mattpfabian@gmail.com

**C. APPLICANT INFORMATION:** The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Tillman and Associates Engineering LLC Contact Name: Jeffrey McPherson  
Mailing Address: 1720 SE 16th Ave Bldg 100 City: Ocala  
State: FL Zip Code: 34471 Phone #: 352-387-4540  
Email address: Permits@tillmaneng.com

**D. WAIVER INFORMATION:**

Section & Title of Code (be specific): 6.8.8- Building Landscape  
Reason/Justification for Request (be specific): Applicant request waiver to not provide building landscape adjacent to the buildings. Architectural features including decorative parapets with breaks in elevation and store front canopies to be more visually appealing and not obstruct the views of the retail businesses. Landscape screening has been provided on the project boundaries and internal landscaping is provided within the parking and opened areas.

**DEVELOPMENT REVIEW USE:**

Received By Email Date Processed: 3/14/25 BM Project # 2024080096 AR # 31954  
3/12/25  
**ZONING USE:** Parcel of record: Yes  No  **Eligible to apply for Family Division:** Yes  No   
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ P.O.M. \_\_\_\_\_ Land Use: \_\_\_\_\_ Plat Vacation Required: Yes  No   
Date Reviewed: \_\_\_\_\_ Verified by (print & initial): \_\_\_\_\_



## Marion County Board of County Commissioners

### Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

## DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Section & Title of Code (be specific) 6.12.2 Right of Way

Reason/Justification for Request (be specific): applicant is requesting public Right of Way easement instead of public Right of Way dedication for the 8' sidewalk adjacent to the proposed turn lanes. A 6' right of way dedication is proposed along the right turn lanes to keep all roadway improvements within the Right of Way and the 8' sidewalk will run adjacent to the 20' wide 475A buffer easement that has provisions to allow that required walkway within the 475A buffer easement.

Section & Title of Code (be specific) 6.7.4 - Shade tree requirements

Reason/Justification for Request (be specific): Request is to allow required trees to be planted with future improvements on Lots 2,3,4,5,6,7,8 & 9 as shown on sheets L4.01 & L4.02 of the Landscape plans.

Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_

Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_

Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_

Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_

Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_

**PERMITS:**

1. MARION COUNTY PUD - FILE #20191107Z (APPROVED 05-11-2021)
2. SWFWMD
3. MARION COUNTY
4. MARION COUNTY
5. SWFWMD
6. DEP - DRINKABLE WATER
7. FDEP - SANITARY SEWER
8. FDEP - NPDES (By Others)

**WAIVERS:**

6.12.4 - PLAN AND PROFILE  
APPLICANT REQUESTS WAIVER FOR MARION COUNTY LDC SEC 6.12.4 PLAN AND PROFILES ARE REQUIRED FOR DRIVEWAYS. THE PROPOSED ACCESS POINTS IN QUESTION ARE DRIVEWAYS WHICH DO NOT REQUIRE PLAN AND PROFILES AS DEMONSTRATED ON OUR GRADING PLANS. WE HAVE PROVIDED SUFFICIENT INFORMATION FOR CONSTRUCTION PURPOSES AND HAVE CONFIRMED THERE ARE NO UTILITY CONFLICTS, ETC.

2.38.4.C - COMMENCE CONSTRUCTION PRIOR TO IMPROVEMENT PLAN APPROVAL  
WAIVER REQUESTED TO COMMENCE WORK PRIOR TO IMPROVEMENT PLAN APPROVAL AT THE DEVELOPER'S RISK. WE WOULD LIKE TO START SITE GRADING AND THE UTILITY FDEP PERMITS ARE OBTAINED

LDC 2.13 - ORDER OF PLAN APPROVAL  
APPLICANT REQUESTS WAIVER FOR THE APPROVAL OF PUBlix DIAMOND "A" SHOPPING CENTER PRELIMINARY PLAT AND IMPROVEMENT PLAN APPROVAL PRIOR TO THE MASTER PLAT APPROVAL.

6.12.5.A - CROSS SECTIONS  
APPLICANT REQUESTS APPROVAL OF THE REQUESTED CTE FOR PROVIDING CROSS SECTIONS, AS DEMONSTRATED ON OUR GRADING PLANS. WE HAVE PROVIDED SUFFICIENT INFORMATION FOR CONSTRUCTION PURPOSES AND HAVE CONFIRMED THERE ARE NO UTILITY CONFLICTS, ETC. APPLICANT REQUEST THE APPROVAL OF A DEVIATION LETTER.

6.8.8 - BUILDING LANDSCAPE  
APPLICANT REQUEST WAIVER TO NOT PROVIDE BUILDING LANDSCAPE ADJACENT TO THE BUILDINGS. ARCHITECTURAL FEATURE INCLUDING DECORATIVE PARAPETS WITH BREAKS IN ELEVATION AND STORE FRONT CANOPIES TO BE MORE VIBRANTLY APPEALING AND NOT OBSTRUCT THE VIEWS OF THE RETAIL BUSINESSES. LANDSCAPE SCREENING HAS BEEN PROVIDED ON THE PROJECT BOUNDARIES AND INTEGRAL LANDSCAPING IS PROVIDED WITHIN THE PARKING AND OPENED AREA.

6.42 - RIGHT OF WAY  
APPLICANT IS REQUESTING PUBLIC RIGHT OF WAY EASEMENT INSTEAD OF PUBLIC RIGHT OF WAY DEDICATION FOR THE 8' SIDEWALK ADJACENT TO THE PROPOSED TURN LANES. A RIGHT OF WAY DEDICATION IS PROPOSED ALONG THE RIGHT TURN LANE. THE 8' SIDEWALK ALONGWAY IMPROVEMENTS WITHIN THE RIGHT OF WAY AND THE 8' SIDEWALK WILL RUN ADJACENT TO THE 20' WIDE 47.5A BUFFER EASEMENT THAT HAS PROVISIONS TO ALLOW THAT REQUIRED WALKWAY WITHIN THE 47.5A BUFFER EASEMENT.

**STATE PLANE COORDINATES:**

BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83), WITH 2011 ADJUSTMENT AS DERIVED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION VIRTUAL REFERENCE STATION NETWORK.

**VERTICAL DATUM:**

VERTICAL DATUM BASED ON BOUNDARY & TOPOGRAPHIC SURVEY COMPLETED BY R.M. BARRINEAU & ASSOCIATES, JOB NO. 8223, DATED 09/12/2013 AND WAS BASED ON CITY OF OCALA ENGINEERING DEPARTMENT CONTROL POINT 0028, ELEVATION 78.77 (NAVD 88). THERE IS A DIFFERENCE OF 0.46' WHEN COMPARED BETWEEN CITY OF OCALA ELEVATION 78.77 AND BENCHMARK 'D' AS REFERENCED ON SURVEY PREPARED BY R.M. BARRINEAU & ASSOCIATES.

**BENCHMARKS:**

TEMPORARY BENCHMARK (#008) FOUND 4" x 4" CONCRETE MONUMENT LB (1918) ELEVATION = 86.48' (NAVD 1988) NORTHING = 176393.1250 EASTING = 642938.9750

TEMPORARY BENCHMARK (#022) NAIL & DISC (LB 599) ELEVATION = 102.92' (NAVD 1988) NORTHING = 176251.5900 EASTING = 642790.7050

**NOTES:**

1. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE AND THE MARION COUNTY UTILITY MANUAL AS APPLICABLE.
2. BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 12880715D, EFFECTIVE DATE OF AUGUST 22b, 2008 THE PROPERTY DESCRIBED HEREON LIES WITHIN FLOOD ZONE "X" AN AREA OF MINIMAL FLOOD HAZARD.
3. NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
4. DESIGN SPEED = 25 M.P.H. TO BE POSTED AT 20 M.P.H. EXCEPT FOR CURVES WITH RADII LESS THAN 100'.
5. SIGHT DISTANCE AT DRIVEWAYS COMPLIES WITH MARION COUNTY REQUIREMENTS.
6. THIS PROJECT IS LOCATED IN THE SECONDARY SPRINGS PROTECTION ZONE.
7. THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED CONCURRENCY APPROVAL. THE PROPERTY DESCRIBED HEREON LIES WITHIN FIRM PANEL NO. 12880715D. THE DEFERRED CONCURRENCY DETERMINATION AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.
8. THERE ARE NO SUBDIVISION SIGNS PROPOSED FOR THIS DEVELOPMENT AT THIS TIME. ANY FUTURE SIGNS WILL REQUIRE SEPARATE PERMIT.
9. DRIVEWAY MEETS FDOT SIGHT DISTANCE REQUIREMENTS.

**OWNER/DEVELOPER:**  
AWW, LLC., JOHN ALVAREZ INVESTMENT GROUP LLC & TILLMAN AND ASSOCIATES ENGINEERING, L.L.C.  
ROAD RUNNER RESOURCES LLC  
CONTACT: JOHN ALVAREZ  
PO BOX 77269  
OCALA, FLORIDA 34471  
PHONE: (352) 804-4006

**SURVEYOR:**  
ROGERS ENGINEERING, LLC.  
RODNEY K. ROGERS, P.S.M.  
1105 S.E. 3RD AVENUE  
OCALA, FLORIDA 34471  
PHONE (352) 622-9214

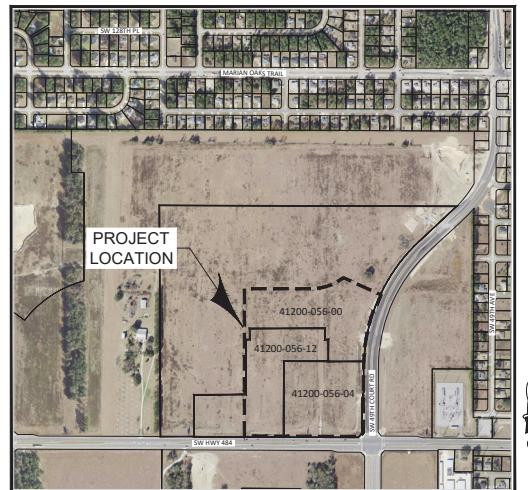
**CIVIL ENGINEER:**  
JEFFREY MCPHERSON, P.E.  
MARION COUNTY UTILITIES CUSTOMER SERVICE  
SUNTRUST ELECTRIC COOPERATIVE  
CHARTER COMM  
CENTURYLINK  
COMCAST COMMUNICATIONS  
DISPATCH  
DISPATCH  
DISPATCH  
DISPATCH

**GEOTECHNICAL CONSULTANT:**  
GEO-TECH, INC.  
CONTACT: JONNY HEATH  
1016 S.E. 3RD AVENUE  
OCALA, FLORIDA 34471  
PHONE (352) 694-7711

# DIAMOND "A" SHOPPING CENTER

## IMPROVEMENT PLAN

SECTION 9, TOWNSHIP 17 SOUTH, RANGE 21 EAST  
MARION COUNTY, FLORIDA



VICINITY MAP

SCALE: 1" = 500'

**BASIS OF BEARINGS:**

BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83), WITH 2011 ADJUSTMENT AS DERIVED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION VIRTUAL REFERENCE STATION NETWORK.

**Utility Companies**

WATER / SEWER	MARION COUNTY UTILITIES CUSTOMER SERVICE	552-307-6000
ELCTRIC	SUNTRUST ELECTRIC COOPERATIVE	352-351-6620
CABLE/PHONE/INTERNET	CHARTER COMM	800-778-9140
	CENTURYLINK	877-366-8344x3
	COMCAST COMMUNICATIONS	800-778-9140



Marion County Approval Stamp

### INDEX OF SHEETS

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03.01	EXISTING CONDITIONS
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05.01	OVERALL SITE PLAN
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07.01-07.03	PAVING & GRADING
08.01-08.03	DRAINAGE PLAN
09.01-09.03	UTILITY PLAN
10.01-10.02	STORMWATER POLLUTION PREVENTION PLAN
11.01	STORMWATER POLLUTION PREVENTION NOTES
12.01	STORMWATER POLLUTION PREVENTION
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1-1 BOUNDARY AND TOPOGRAPHIC SURVEY  
(PREPARED BY ROGER ENGINEERING, LLC)

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L03.01	PLANT SCHEDULE & NOTES
L04.01-L04.05	PLANTING PLAN
L05.01	PLANTING DETAILS
LIR03.01	IRRIGATION SCHEDULE & NOTES
LIR04.01-LIR04.05	IRRIGATION PLAN
LIR05.01-LIR05.02	IRRIGATION DETAILS

1-6 PHOTOMETRICS & ELECTRICAL PLAN

### OWNER'S CERTIFICATION

I CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN WITHIN THESE PLANS.

JOHN ALVAREZ  
DIAMOND A SHOPPING CENTER

### ENGINEER CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED.

JEFFREY MCPHERSON, P.E.  
Registered Engineer No. 69905  
STATE OF FLORIDA

### SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE LDC AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS. THIS DOCUMENT IS BEING ELECTRONICALLY SIGNED AND SEALED AND A MANIFEST PROVIDED

RODNEY K. ROGERS, P.S.M.  
ROGERS ENGINEERING, LLC.  
Registered Land Surveyor No. 6533  
STATE OF FLORIDA

IMPROVEMENT PLAN  
DIAMOND "A" SHOPPING CENTER  
MARION COUNTY, FLORIDA

DATE 03-13-25  
DRAWN BY JA  
CHKD BY JMM  
JOB NO. 23-8231

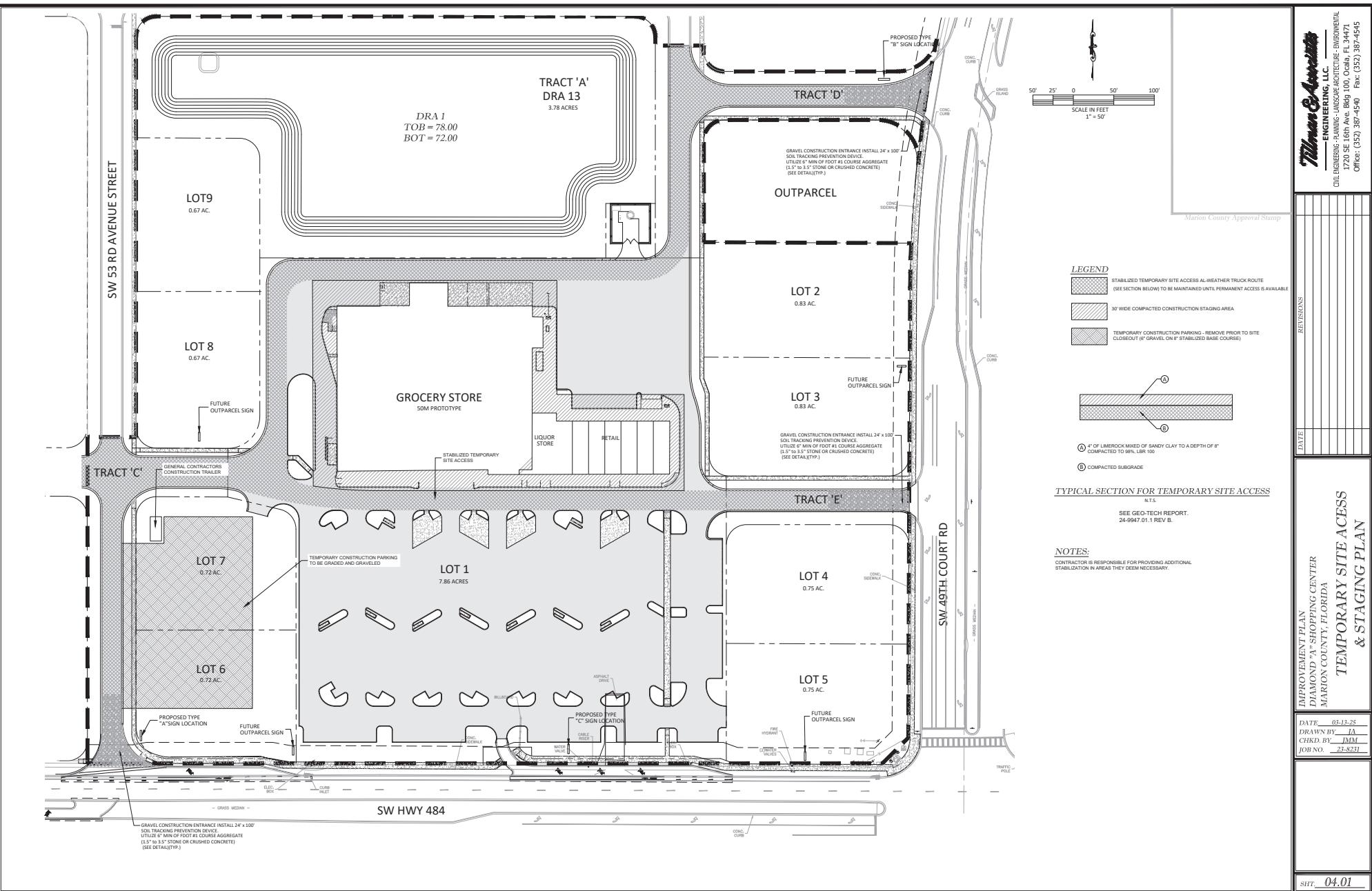
SH. 01.01

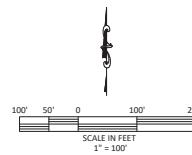
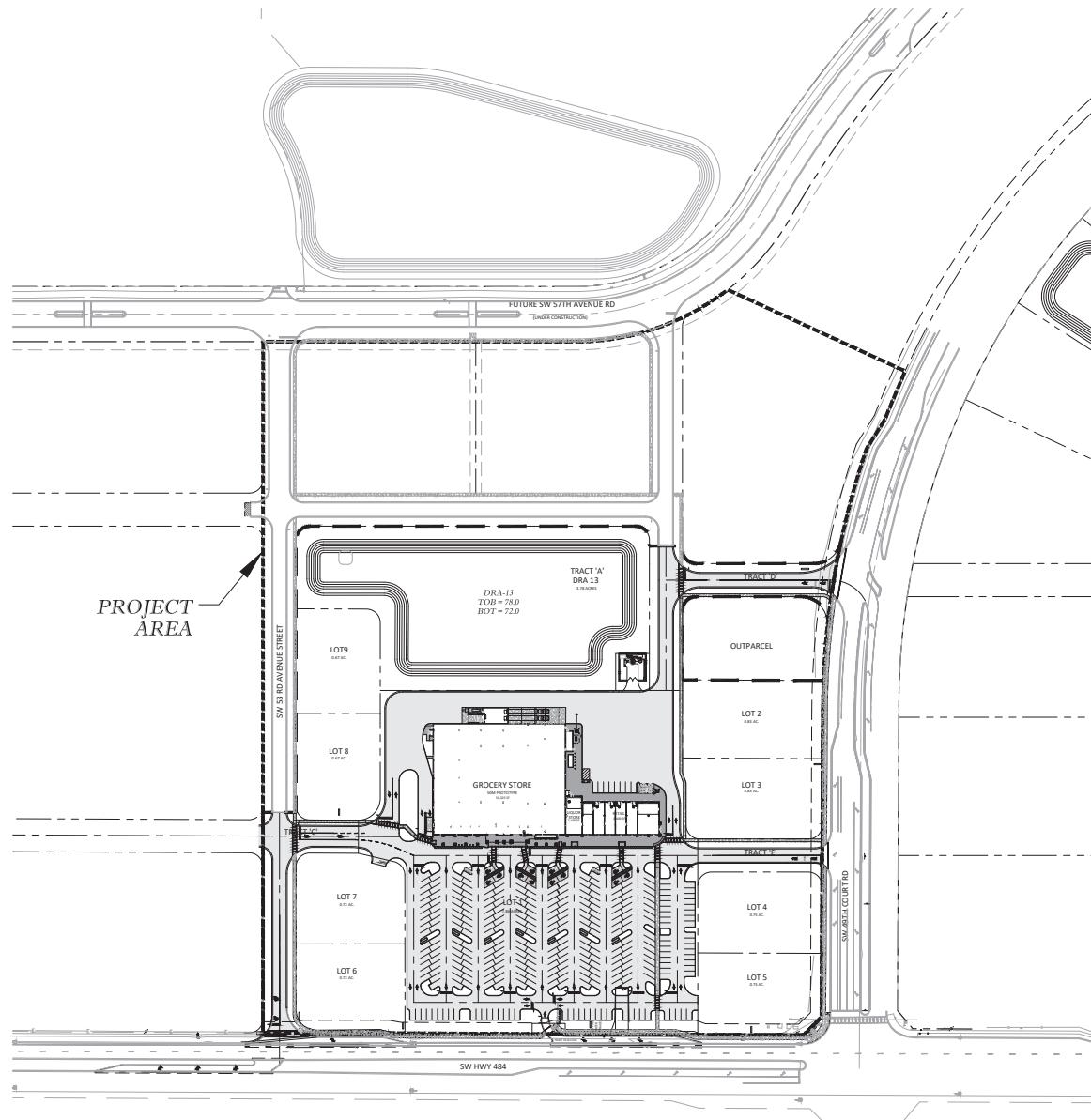
NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

**Tillman & Associates**  
CIVIL ENGINEERING, PLANNING, LANDSCAPE ARCHITECTURE, ENVIRONMENTAL  
1720 SE 16th Ave, Bldg 100, Ocala, FL 34471  
Office: (352) 387-4545  
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Marion County Approval Stamp

**Miller & Associates**  
ENGINEERING, LLC.

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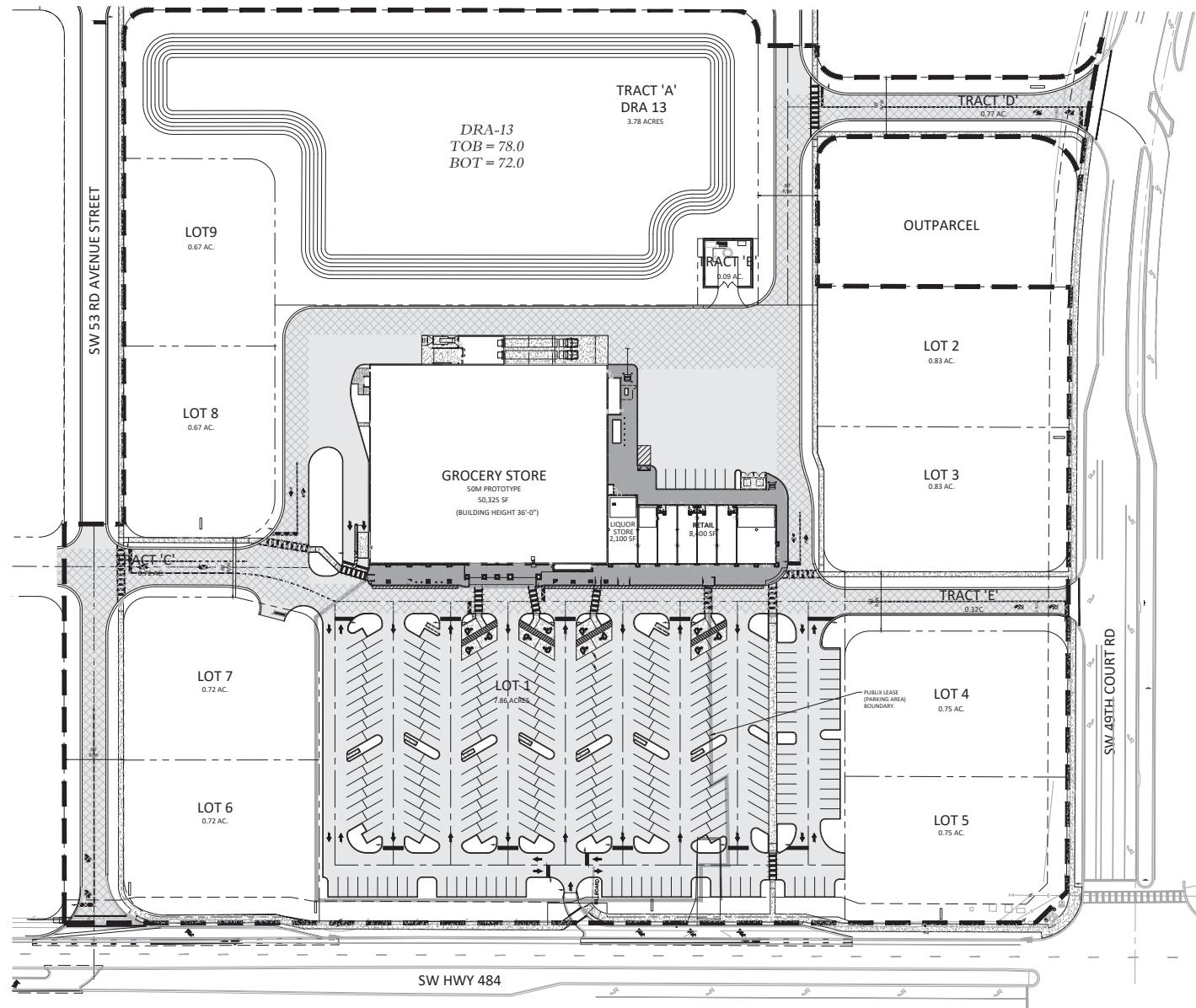
DATE	REVISIONS

IMPROVEMENT PLAN DIAMOND 'N' SHOPPING CENTER MARION COUNTY, FLORIDA	OVERALL SITE PLAN

DATE 03-13-25  
DRAWN BY JA  
CHKD BY JMM  
JOB NO. 23-8231

SHT. 05.01

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SITE AREA	
LOT 1	7.86
LOT 2	0.83
LOT 3	0.83
LOT 4	0.75
LOT 5	0.75
LOT 6	0.72
LOT 7	0.72
LOT 8	0.67
TRACT 'A'	3.78
TRACT 'B'	0.09
TRACT 'C'	0.72
TRACT 'D'	0.77
TRACT 'E'	0.32
TOTAL SITE	19.50 AC.

BUILDING AREA	
PUBLIC STORE	50,325 SF
LIQUOR STORE	2,100 SF
RETAIL	8,100 SF
TOTAL BUILDING AREA	60,825 SF

PAVEMENT LEGEND	
STANDARD DUTY PAVEMENT	[Hatched Pattern]
STANDARD SIDEWALK	[Dashed Pattern]
HEAVY DUTY PAVEMENT	[Solid Gray]
[SEE DETAIL SHEET - 13.01]	
CONCRETE PAVEMENT	[Hatched Pattern]
[SEE DETAIL SHEET - 13.01]	
CONCRETE SIDEWALK	[Dashed Pattern]
[SEE DETAIL SHEET - 13.01]	

SITE DATA TABLE	
PARCEL IDENTIFICATION NUMBERS	41200-056-04,41200-056-12
TOTAL SITE BOUNDARY	30.50 AC.
PROJECT BOUNDARY	30.50 AC.
FLOOD ZONE	X
FEMA PANEL	12083CDT150
LAND USE:	EMPLOYMENT CENTER, PUD
ZONING	BUILDING SETBACK REQUIREMENT
MINIMUM FRONT SETBACK	40'
MINIMUM REAR SETBACK	25'
MINIMUM SIDE SETBACK	10'
MAXIMUM BUILDING HEIGHT	50'
PARKING REQUIRED (60,825 SF OF SHOPPING CENTER)	304 spaces
TOTAL SPACES PROVIDED (11,000 SF)	304 spaces
STANDARD SPACES (10' x 20') PROVIDED	311
VAN / ACCESSIBLE SPACES PROVIDED	12
TOTAL PARKING PROVIDED	323

IMPROVEMENT PLAN  
DIAMOND 'N' SHOPPING CENTER  
MARION COUNTY, FLORIDA

DATE: 03-13-25  
DRAWN BY: JA  
CHKD BY: JMM  
JOB NO: 23-8231

SHT. 06.01

SURFACE DATA TABLE	
TOTAL IMPERVIOUS AREA *	21.99 AC
TOTAL IMPERVIOUS AREA PERCENTAGE *	72.11%
TOTAL OPEN SPACE *	8.51 AC
TOTAL OPEN SPACE PERCENTAGE *	27.89%

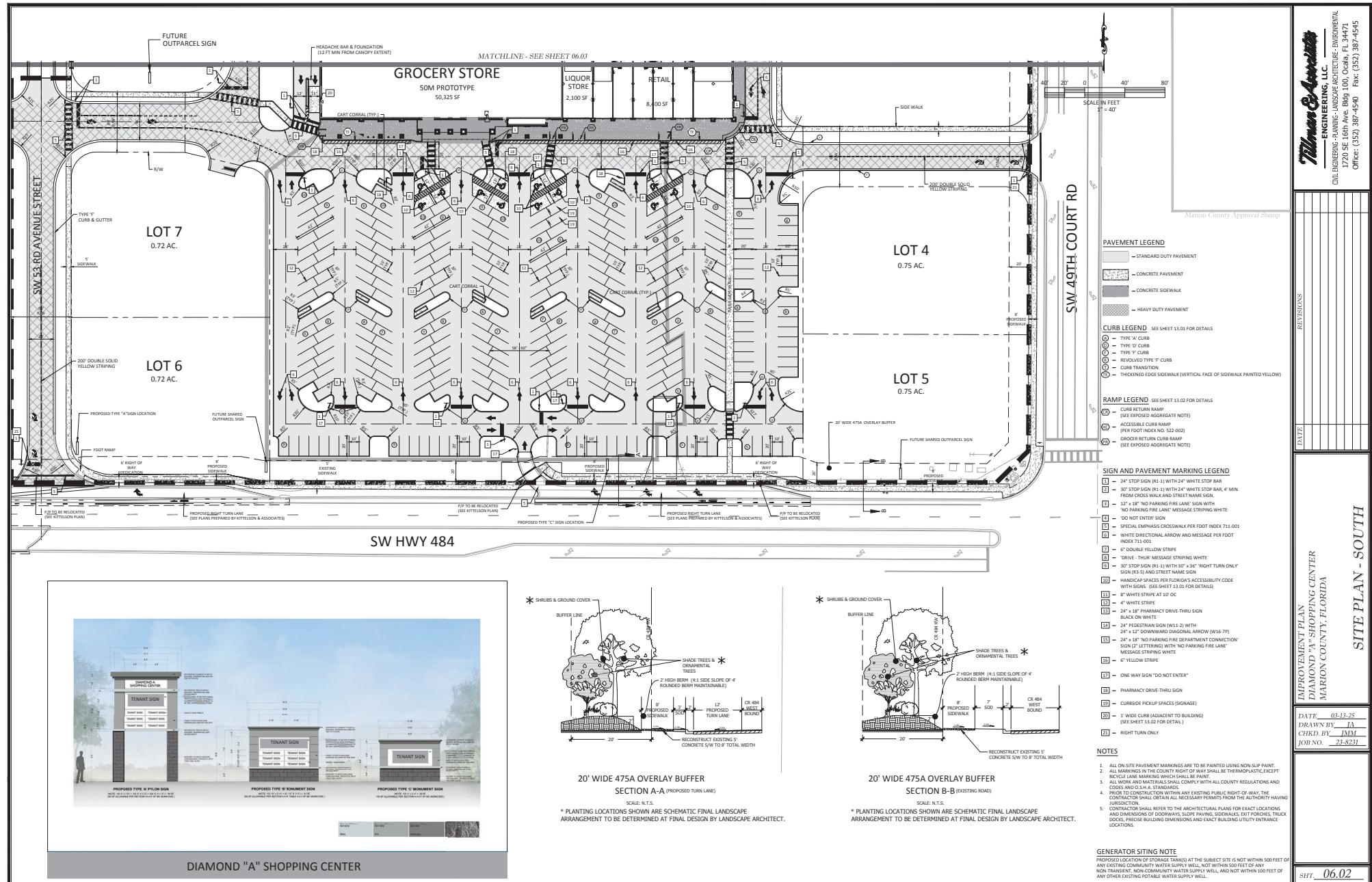
\* INCLUDES 80% IMPERVIOUS AREA COVERAGE ON OUTPARCELS

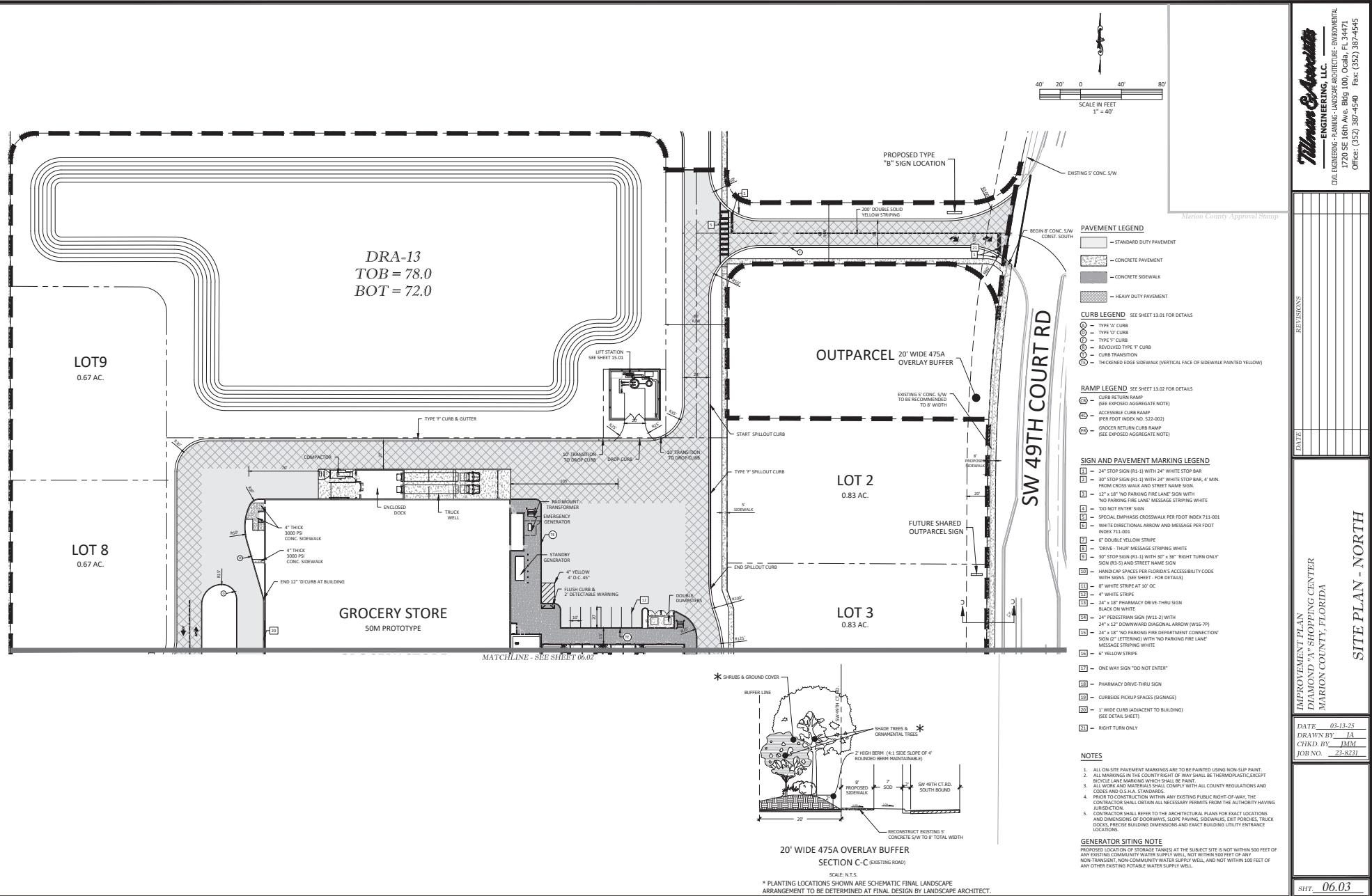
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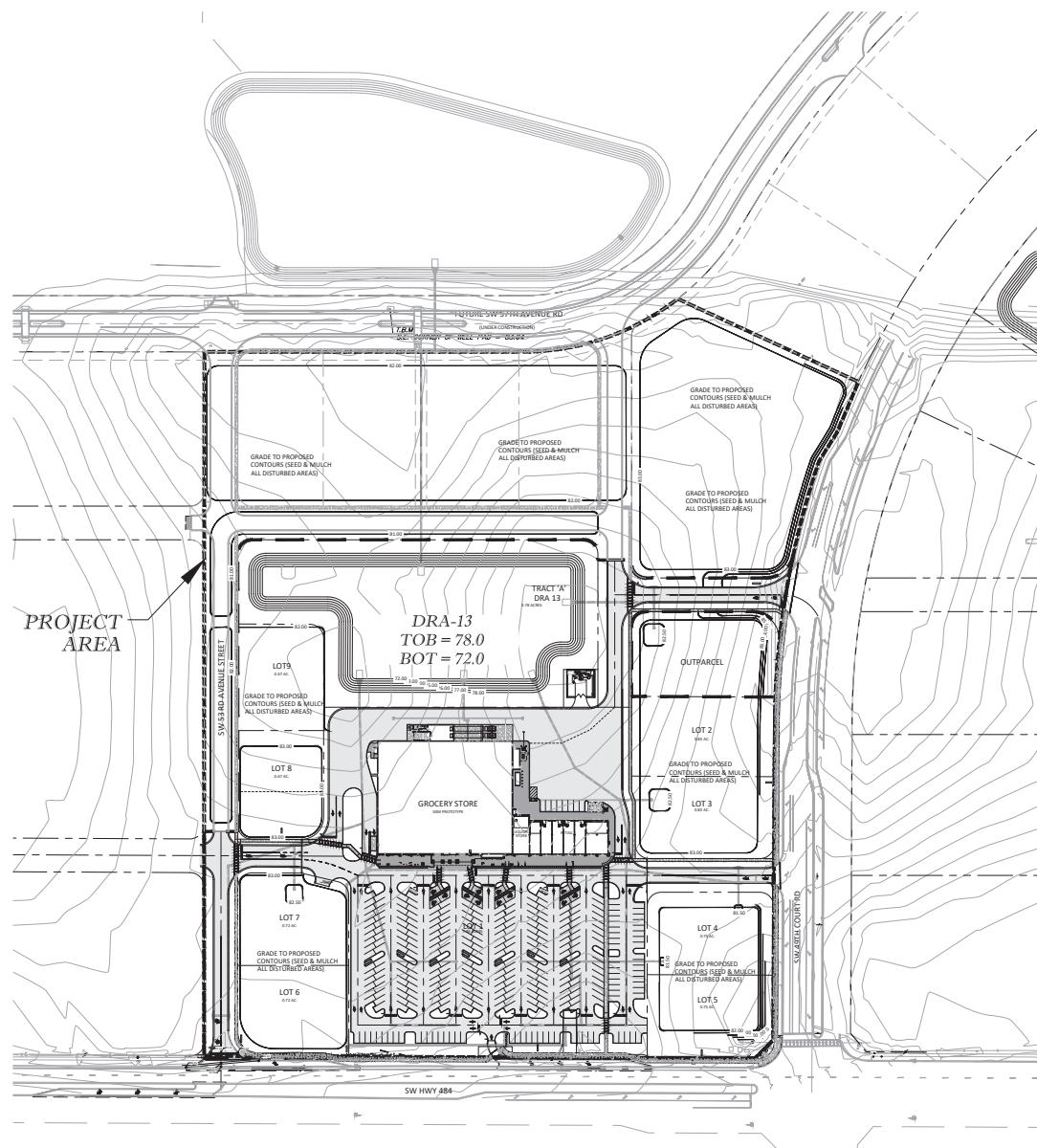
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100' 50' 0 100'  
SCALE IN FEET  
1" = 100'

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## LEGEND

#### EXISTING CONTOURS

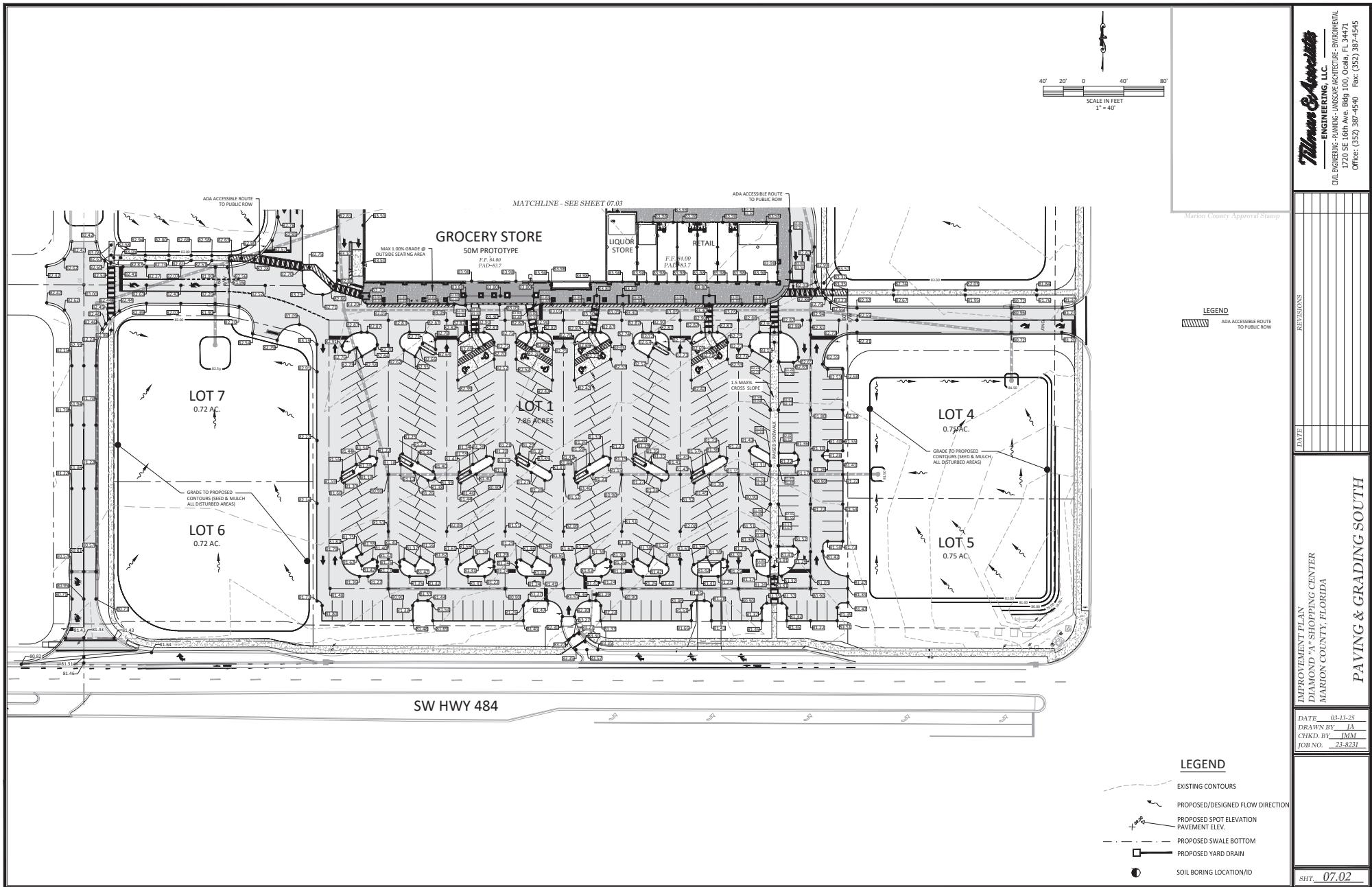
PROPOSED/DESIGNED FLOW DIRECTION

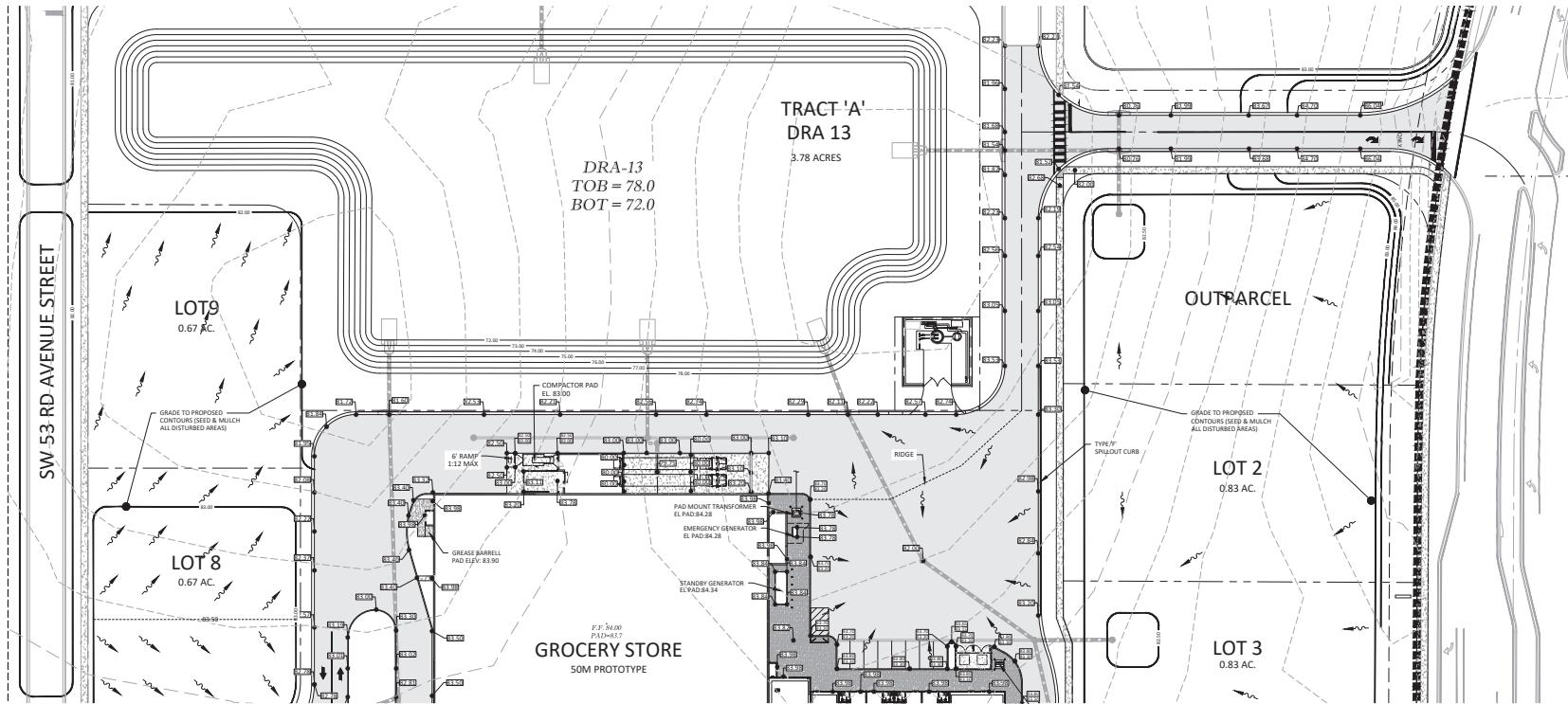
— PROPOSED SPOT ELEVATION  
— PAVEMENT ELEV.

### PROPOSED SWALE BOTTOM

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DATE REVISIONS

03-13-25

IMPROVEMENT PLAN  
DIAMOND 'N' SHOPPING CENTER  
MARION COUNTY, FLORIDA

PAVING & GRADING NORTH

DATE 03-13-25

DRAWN BY JA

CHKD BY JMM

JOB NO. 23-8231

SHT. 07.03

**LEGEND**

EXISTING CONTOURS

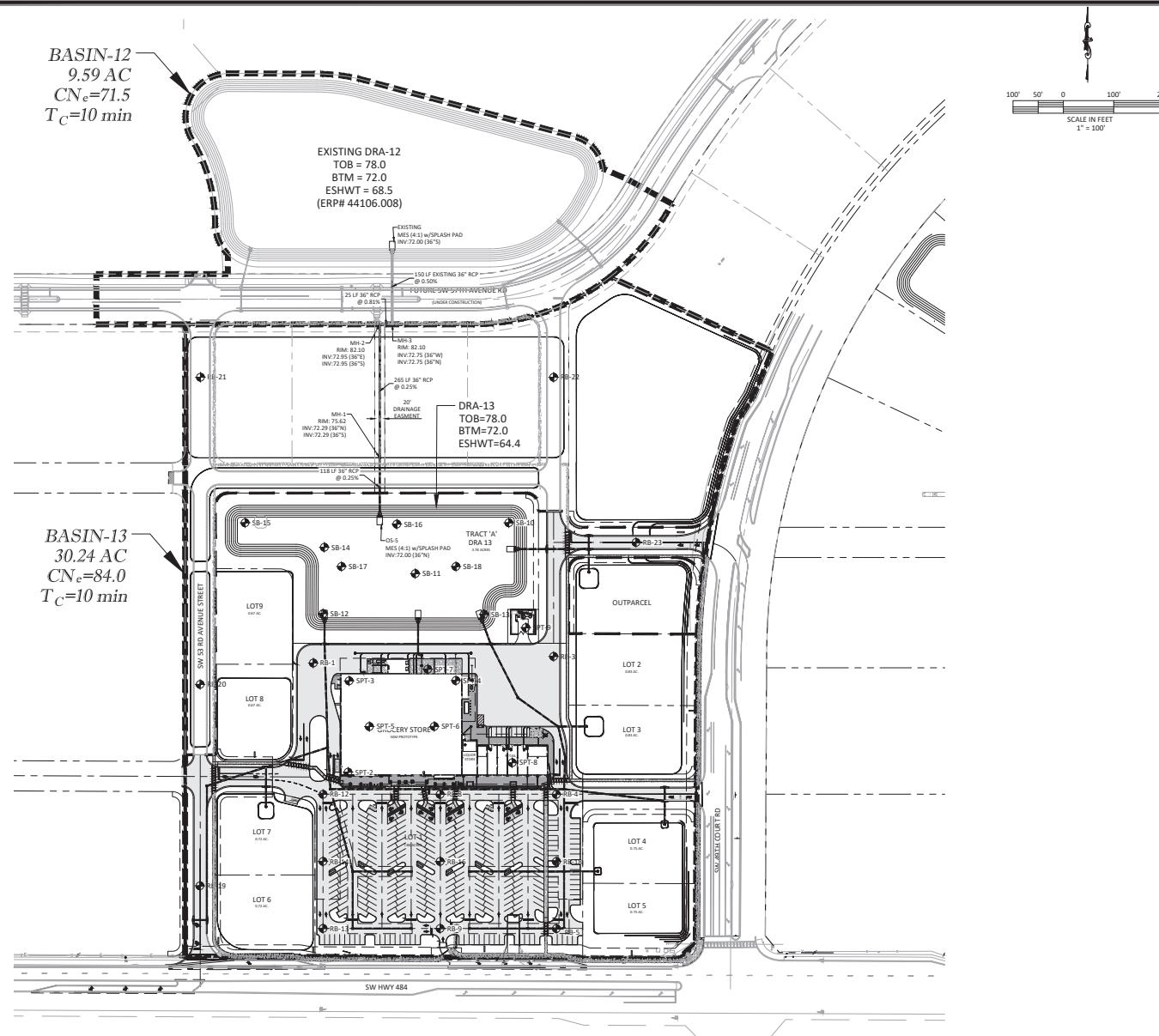
PROPOSED/DESIGNED FLOW DIRECTION

PROPOSED SPOT ELEVATION

PROPOSED SWALE BOTTOM

PROPOSED YARD DRAIN

SOIL BORING LOCATION/ID



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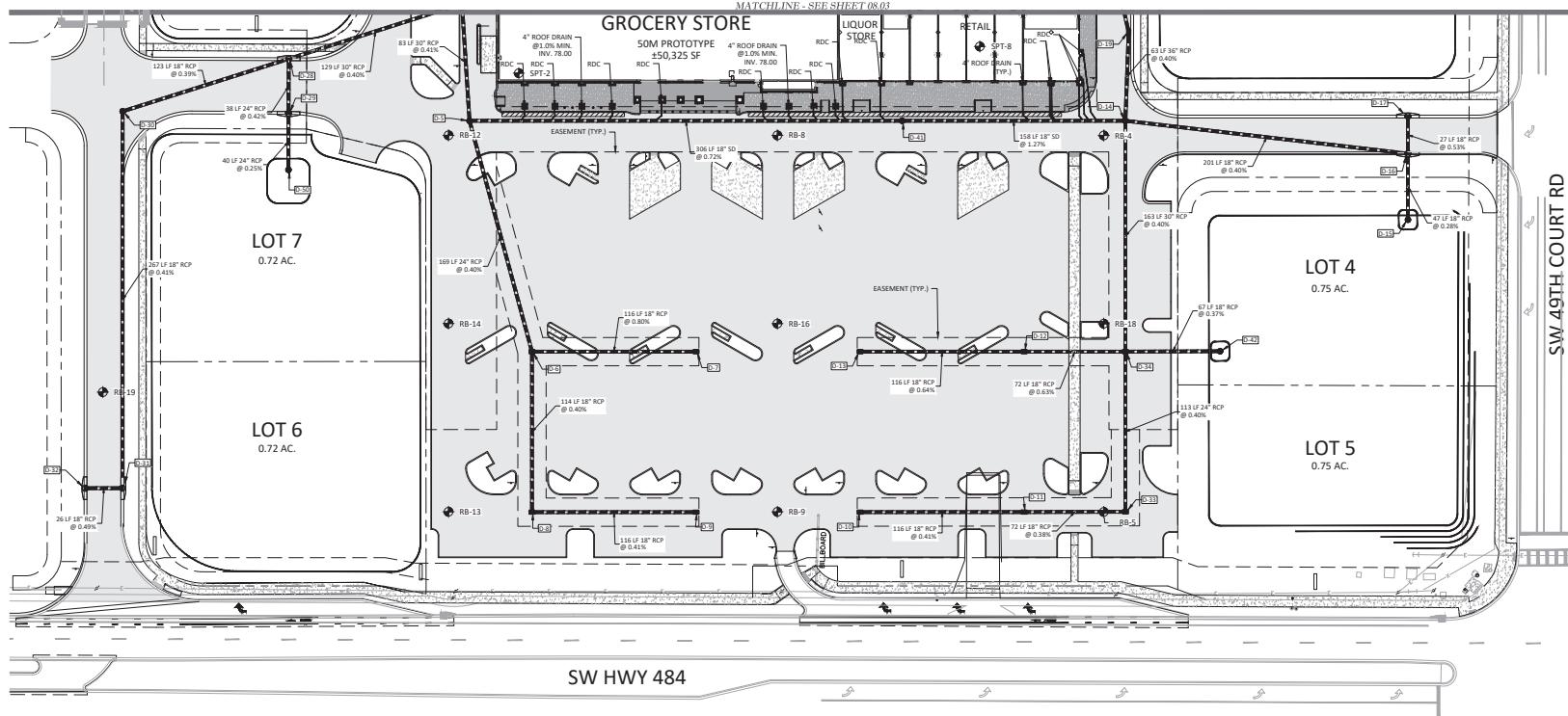
# DRAINAGE PLAN "SHOPPING CENTER NITY, FLORIDA

# DRAINAGE PLAN "SHOPPING CENTER NITY, FLORIDA

DATE 03-13-25  
DRAWN BY JA  
CHKD. BY JMM  
JOB NO. 23-8231

SHT. 08.01

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STRUCTURE TABLE		STRUCTURE TABLE		STRUCTURE TABLE	
STRUCTURE NAME	DETAILS	STRUCTURE NAME	DETAILS	STRUCTURE NAME	DETAILS
D-4	TYPE "I-9" INLET RIM/EOP/GRADE 82.84 INV:74.45 (24°S) INV:74.45 (30°N) INV:74.45 (30°E)	D-12	TYPE "F" INLET RIM/EOP/GRADE 80.90 INV:75.16 (18°E) INV:75.16 (18°W)	D-29	TYPE "6M" INLET RIM/EOP/GRADE 81.90 INV:75.12 (24°N) INV:75.12 (18°S)
D-5	STORM MANHOLE RIM/EOP/GRADE 83.08 INV:74.79 (24°S) INV:74.79 (30°N) INV:74.79 (18°E)	D-13	TYPE "F" INLET RIM/EOP/GRADE 80.90 INV:75.45 (18°S)	D-30	STORM MANHOLE RIM/EOP/GRADE 82.71 INV:75.45 (18°S) INV:75.45 (18°E)
D-6	TYPE "F" INLET RIM/EOP/GRADE 80.90 INV:75.97 (18°S) INV:75.97 (18°E) INV:75.47 (24°E)	D-14	STORM MANHOLE RIM/EOP/GRADE 82.92 INV:74.55 (30°S) INV:74.55 (36°E) INV:75.55 (18°S) INV:75.00 (18°W)	D-31	TYPE "6M" INLET RIM/EOP/GRADE 80.57 INV:75.53 (18°W) INV:75.53 (18°N)
D-7	TYPE "F" INLET RIM/EOP/GRADE 80.90 INV:76.90 (18°W)	D-15	STORM MANHOLE/SLOTTED COVER RIM/EOP/GRADE 81.50 INV:75.48 (18°N)	D-32	TYPE "6M" INLET RIM/EOP/GRADE 80.57 INV:75.53 (18°W)
D-8	TYPE "F" INLET RIM/EOP/GRADE 80.90 INV:76.43 (18°S) INV:76.43 (18°W)	D-16	TYPE "6M" INLET RIM/EOP/GRADE 80.72 INV:75.35 (18°N) INV:75.35 (18°W) INV:75.35 (18°S)	D-33	TYPE "F" INLET RIM/EOP/GRADE 80.90 INV:75.16 (18°W) INV:75.16 (24°N)
D-9	TYPE "F" INLET RIM/EOP/GRADE 80.90 INV:76.90 (18°W)	D-17	TYPE "6M" INLET RIM/EOP/GRADE 80.72 INV:75.49 (18°S)	D-34	TYPE "F" INLET RIM/EOP/GRADE 80.90 INV:75.71 (24°S) INV:75.71 (18°W) INV:75.71 (18°N)
D-10	TYPE "F" INLET RIM/EOP/GRADE 80.90 INV:76.90 (18°W)	D-18	TYPE "6M" INLET RIM/EOP/GRADE 82.87 INV:74.30 (36°S) INV:74.30 (36°N)	D-41	STORM MANHOLE RIM/EOP/GRADE 83.21 INV:77.00 (18°W)
D-11	TYPE "F" INLET RIM/EOP/GRADE 80.90 INV:76.43 (18°E) INV:76.43 (18°W)	D-19	TYPE "6M" INLET RIM/EOP/GRADE 82.87 INV:74.30 (36°S) INV:74.30 (36°N)	D-42	STORM MANHOLE/SLOTTED COVER RIM/EOP/GRADE 81.50 INV:75.48 (18°W)
		D-20	TYPE "6M" INLET RIM/EOP/GRADE 81.90 INV:74.97 (18°W) INV:74.97 (30°E) INV:74.97 (24°S)	D-50	STORM MANHOLE/SLOTTED COVER RIM/EOP/GRADE 82.50 INV:75.23 (24°N)

STRUCTURE NAME	DETAILS
D-29	TYPE "6M" INLET RIM/EOP/GRADE 81.90 INV:75.12 (24°N) INV:75.12 (18°S)
D-30	STORM MANHOLE RIM/EOP/GRADE 82.71 INV:75.45 (18°S) INV:75.45 (18°E)
D-31	TYPE "6M" INLET RIM/EOP/GRADE 80.57 INV:75.53 (18°W) INV:75.53 (18°N)
D-32	TYPE "6M" INLET RIM/EOP/GRADE 80.57 INV:75.53 (18°W)
D-33	TYPE "F" INLET RIM/EOP/GRADE 80.90 INV:75.16 (18°W) INV:75.16 (24°N)
D-34	TYPE "F" INLET RIM/EOP/GRADE 80.90 INV:75.71 (24°S) INV:75.71 (18°W) INV:75.71 (18°N)
D-41	STORM MANHOLE RIM/EOP/GRADE 83.21 INV:77.00 (18°W)
D-42	STORM MANHOLE/SLOTTED COVER RIM/EOP/GRADE 81.50 INV:75.48 (18°W)
D-50	STORM MANHOLE/SLOTTED COVER RIM/EOP/GRADE 82.50 INV:75.23 (24°N)

#### DRAINAGE SUMMARY:

THE PROPOSED PUBLIC PROJECT AREA IS IN SECTION 9, TOWNSHIP 17S AND RANGE 21E. MORE SPECIFICALLY, THE PROJECT IS LOCATED JUST NORTH OF SW HWY 484, AT THE NW CORNER OF THE INTERSECTION WITH SW 49TH COURT RD.

LEGEND:  
RDC - ROOF DRAINAGE CONNECTION  
(SEE ARCHITECTURAL PLAN FOR SIZE)

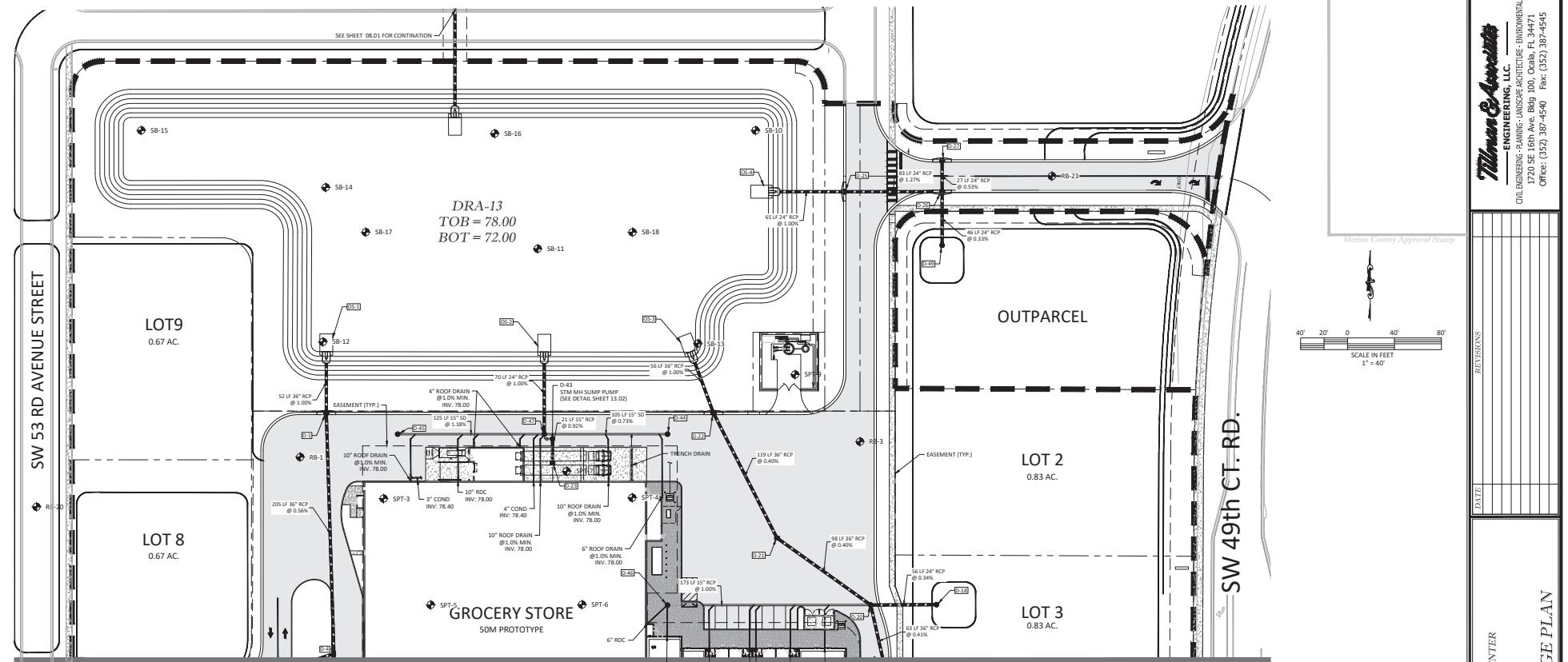
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IMPROVEMENT PLAN  
DIAMOND 'N' SHOPPING CENTER  
MARION COUNTY, FLORIDA

DATE: 03-13-25  
DRAWN BY: JA  
CHKD BY: JMM  
JOB NO.: 23-8231

SH. 08.02

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DATE	REVISIONS

IMPROVEMENT PLAN	DRAINAGE PLAN
DIAMOND 'N' SHOPPING CENTER MARION COUNTY, FLORIDA	

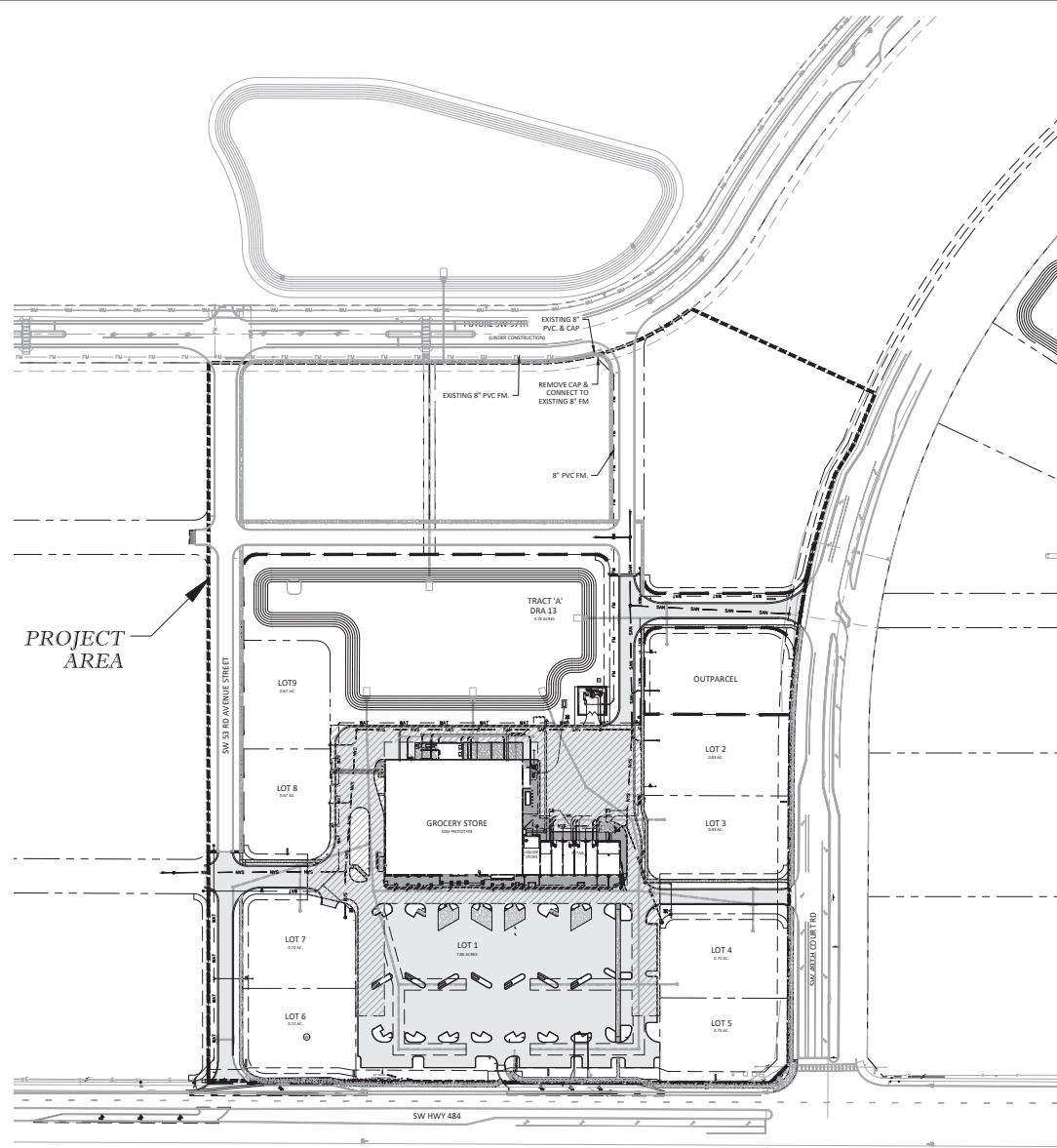
DATE: 03-13-25  
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JOB NO: 23-8231

**DRAINAGE SUMMARY:**  
THE PROPOSED PUBLIC PROJECT AREA IS IN SECTION 9, TOWNSHIP 175 AND RANGE 21E.  
MORE SPECIFICALLY, THE PROJECT IS LOCATED JUST NORTH OF SW HWY 48A,  
AT THE NW COMMERCIAL INTERSECTION WITH SW. 49TH CT. RD.

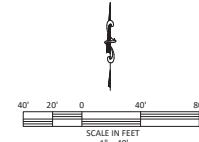
**LEGEND:**  
RDC - ROOF DRAINAGE CONNECTION  
(SEE ARCHITECTURAL PLAN FOR SIZE)

SHT. 08.03

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CONTRACTOR TO FIELD  
VERIFY ALL UTILITY  
LOCATIONS AND DEPTHS



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LEGEND

- - CROSS ACCESS, DRAINAGE & UTILITY EASEMENT
- - PUBLIC DIAMOND SITE AREA
- - PRIVATE R/W

NOTE:

1. CONTRACTOR IS RESPONSIBLE FOR PLACEMENT & INSTALLATION OF NECESSARY UNDERGROUND EASEMENTS FOR UTILITY LINES.
2. MARK ALL POINTS WITH A "W" MARK IN CONCRETE WHERE WATER SERVICES CROSSES CURB LINES. CONTRACTOR IS RESPONSIBLE FOR COORDINATING UTILITY AND CONSTRUCTION LOCATIONS AND ELEVATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING UTILITY LOCATIONS AND ELEVATIONS WITH THE FIRE MARSHAL PRIOR TO CONSTRUCTION.
4. THE BUILDING SHALL COMPLY WITH THE IN BUILDING MINIMUM RADIO SIGNAL STRENGTH FOR FIRE ALARMS AND SIRENS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE SYSTEM INSTALLED IF NEEDED BASED ON TEST RESULTS.
5. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PLACEMENT OF THE FIRE MARSHAL MUST BE ATTAINED AS A THIRD PARTY INSPECTOR FOR ALL FIRE WALLS AND INFORMATION SUBMITTED TO THE OFFICE PLANNING & DEVELOPMENT.
6. KNOX BOX TO BE NEAR THE FRONT DOOR 6' FROM FLOOR LEVEL AND 2' LEFT OF THE DOOR.
7. ALL CONCRETE PADS, CLEAN-OUTS AND CONCRETE PADS MUST BE 12" THICK OR 12" DEEP OR 12" COVER WITH CONCRETE PADS AROUND ALL PROPOSED CLEAN-OUTS THAT FALL WITHIN A CONCRETE OR PAVED AREA.
8. PRIVATE FIRE HYDRANTS ARE TO BE PAINTED YELLOW.

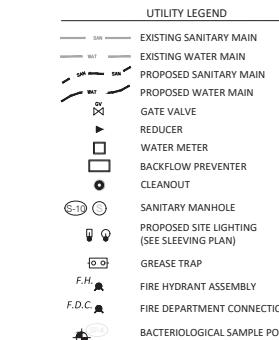
UTILITY PLAN

IMPROVEMENT PLAN  
DIAMOND 'N' SHOPPING CENTER  
MARION COUNTY, FLORIDA

UTILITY PLAN

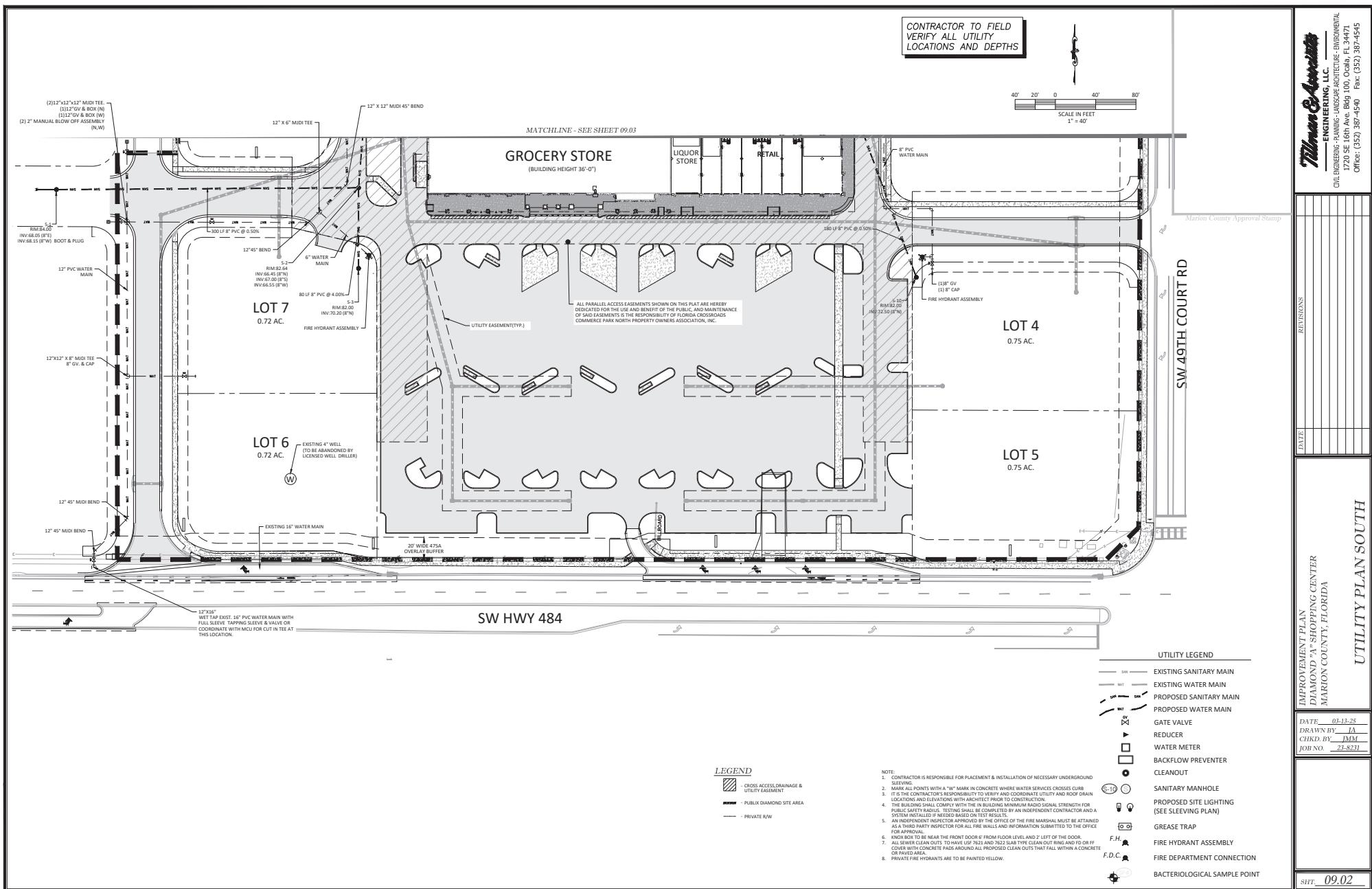
DATE 03-13-25  
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SH. 09.01

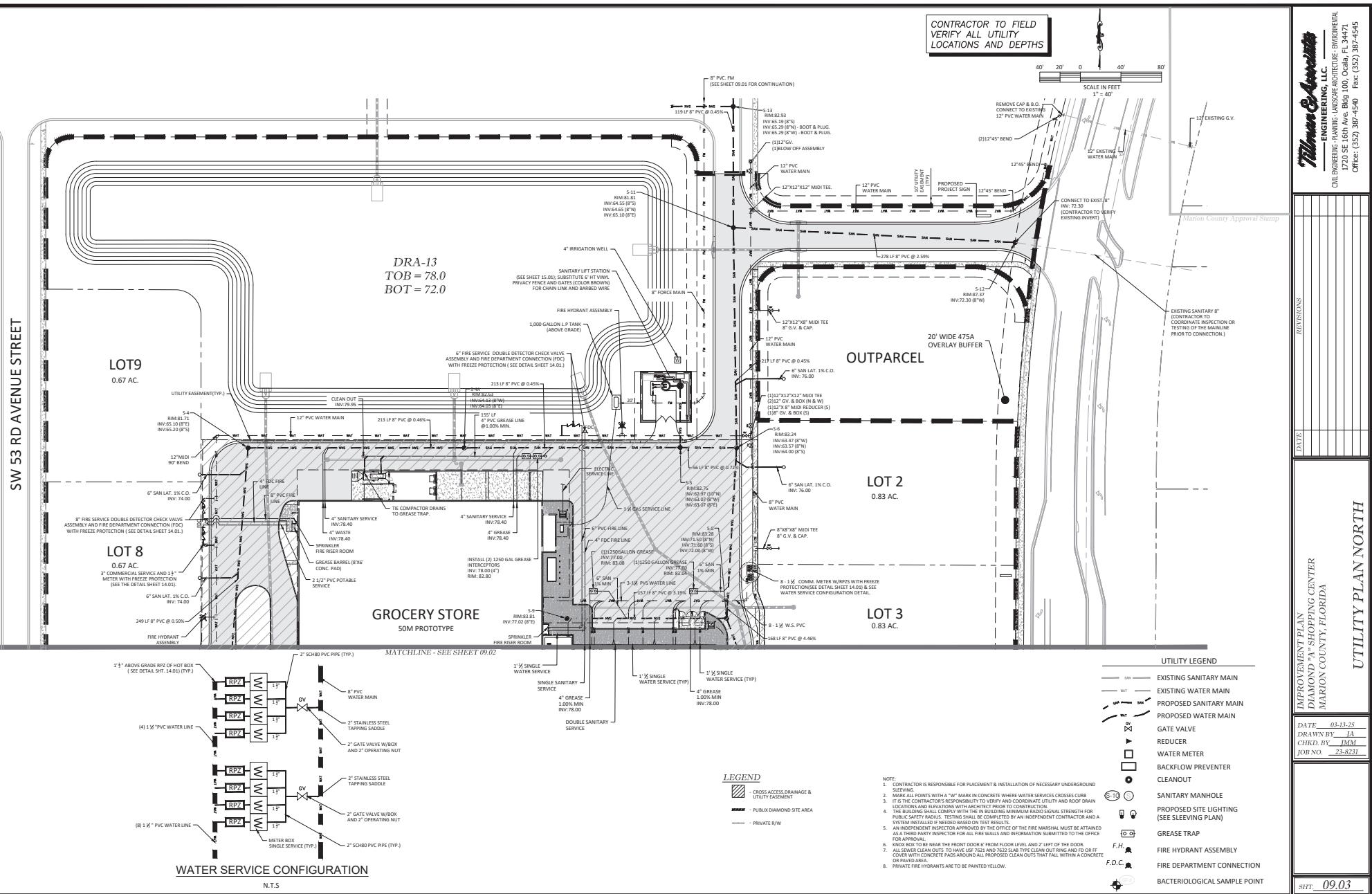


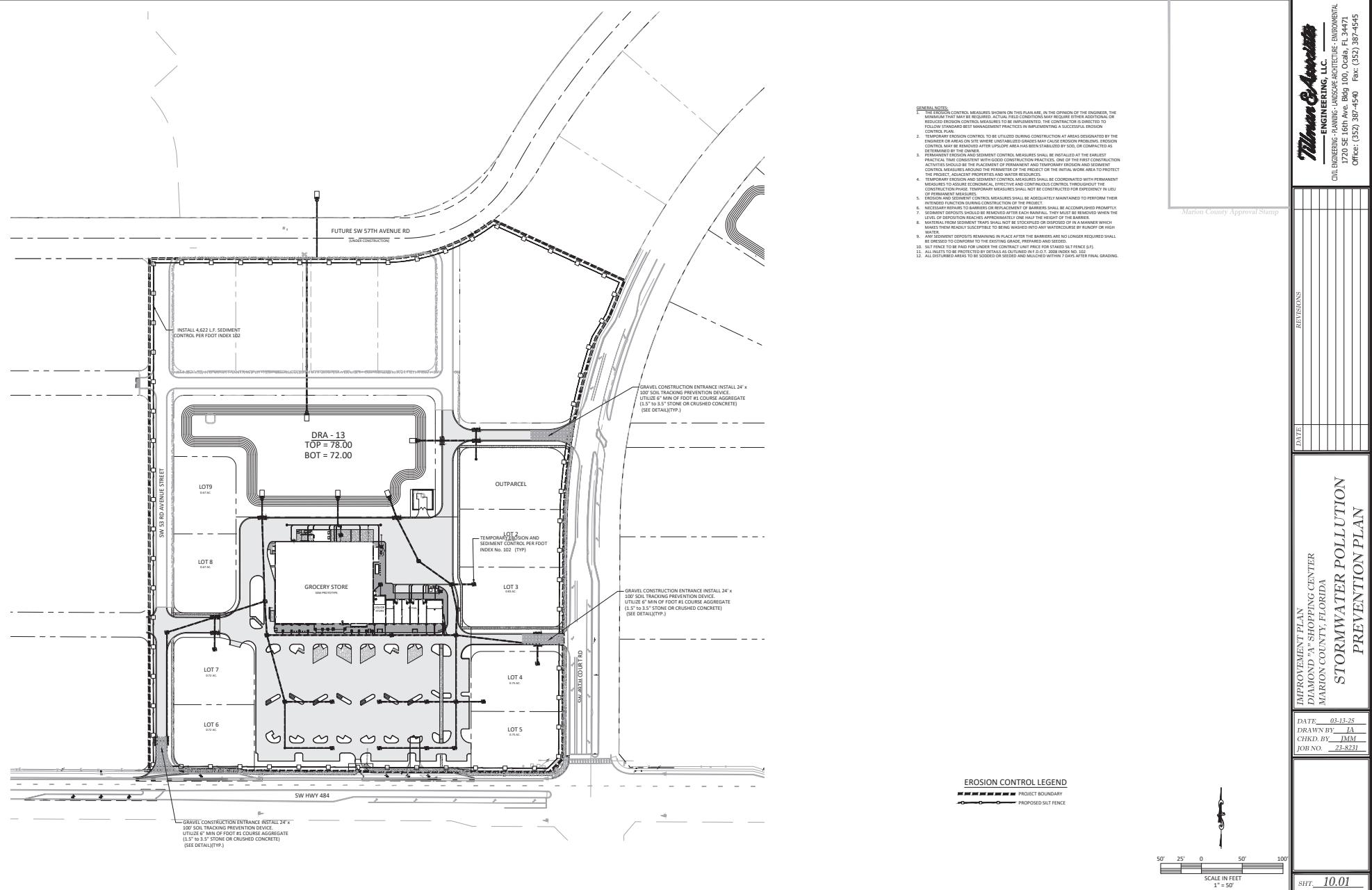
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#### TIMING OF SEDIMENT - CONTROL PRACTICES:

SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL THROUGHOUT EARTH-DISTURBING ACTIVITY.

SETTLING FACILITIES, PERIMETER CONTROLS, AND OTHER PRACTICES INTENDED TO TRAP SEDIMENT SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING, THEY SHALL CONTINUE TO FUNCTION UNTIL THE UPSLOPE DEVELOPMENT AREA IS RE-STABILIZED.

#### STABILIZATION OF NON STRUCTURAL PRACTICES:

CONTROL PRACTICES SHALL PRESERVE EXISTING VEGETATION WHERE ATTAINABLE AND DISTURBED AREAS SHALL BE RE-VEGETATED AS SOON AS PRACTICAL AFTER GRADING OR CONSTRUCTION.

DENUDED AREAS SHALL HAVE SOIL STABILIZATION APPLIED WITHIN FOURTEEN DAYS IF THEY ARE TO REMAIN DORMANT FOR MORE THAN FORTY-FIVE DAYS. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN FOURTEEN DAYS AFTER FINISHING. IF STABILIZATION IS NOT APPLIED, SOIL SHALL ALSO BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN FORTY-FIVE DAYS.

#### SEDIMENT BARRIERS:

sheet flow runoff from denuded areas shall be intercepted by sediment barriers.

sediment barriers such as sediment fence or diversions to settling facilities shall protect adjacent properties and water resources from sediment transported by sheet flow.

#### INLET PROTECTION:

all storm sewer inlets which accept water runoff from the development area shall be protected so that sediment-laden water will not enter the storm system without first being ponded and filtered.

#### MAINTENANCE:

TEMPORARY EROSION CONTROL FEATURES SHALL BE ACCEPTABLY MAINTAINED AND SHALL BE REMOVED OR REPLACED WHEN DIRECTED BY THE ENGINEER AT NO COST TO THE OWNER. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS.

#### STOCKPILES:

all soil stockpiles shall be protected from erosion by perimeter control devices such as straw bale dikes or filter fabric fences. and these perimeter control devices shall be maintained throughout the life of the project.

#### PERMANENT VEGETATION:

PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL GROUND COVER IS ACHIEVED WHICH, IN THE OPINION OF THE ENGINEER, PROVIDES ADEQUATE COVER AND IS MATURE ENOUGH TO CONTROL SOIL EROSION SATISFACTORILY AND TO SURVIVE ADVERSE WEATHER CONDITIONS.

#### CONSTRUCTION ACCESS ROUTES:

MEASURES SHALL BE TAKEN TO PREVENT SOIL TRANSPORT ONTO SURFACES OR PUBLIC ROADS WHERE RUNOFF IS NOT CHECKED.

#### INSPECTION SCHEDULE:

1. DIVERSION SWALE AND STRUCTURAL PROTECTION - INSPECT EVERY 7 DAYS OR AFTER EACH RAINSTORM PRODUCING RUNOFF. REPAIR AS REQUIRED.
2. INLET PROTECTION - INSPECT FOR SEDIMENT ACCUMULATION AFTER EACH RAINFALL AND DAILY DURING CONTINUED RAINFALL. REPAIR OR REPLACE WHEN WATER FLOW IS RESTRICTED BY SEDIMENT.
3. VEGETATIVE PLANTING - INSPECT AFTER SPROUTING OCCURS AND REPLANT BARE AREAS. INSPECT ESTABLISHED COVER EVERY 10 DAYS FOR DAMAGE; REPLANT AS REQUIRED. MAINTAIN ESTABLISHED COVER AT MAXIMUM 6" HEIGHT. IRRIGATE AS REQUIRED DURING DRY PERIODS TO MAINTAIN LIVE VEGETATION.

#### CONSTRUCTION SEQUENCE:

1. INSTALL SEDIMENT CONTROL MEASURES
2. PERFORM DEMOLITION ACTIVITIES.
3. STABILIZE SITE WITH TEMPORARY VEGETATION AS NEEDED.
4. PERFORM IRRIGATION AND UNDERGROUND UTILITY CONSTRUCTION ACTIVITIES.
5. CONSTRUCT NEW TRAILS AND INSTALL LANDSCAPING.
6. PERFORM FINAL GRADING.
7. INSTALL PERMANENT VEGETATION.
8. PERFORM CONTINUING MAINTENANCE THROUGHOUT ALL CONSTRUCTION OPERATIONS.

#### DITCH BARRIERS:

BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE, ORIENTED PERPENDICULAR TO THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER.

THE REMAINING STEPS FOR INSTALLING A STRAW BALE BARRIER FOR SHEET FLOW APPLICATIONS APPLY HEREIN. THE FOLLOWING ADDITION, THE STRAW BALES SHALL BE INSTALLED SUCH THAT UNDERCUTTING beneath the bales is minimized by the use of rock check dams placed adjacent to the straw bales.

THE BARRIER SHALL BE EXTENDED TO SUCH A LENGTH THAT THE BOTTOMS OF THE END BALES ARE HIGHER IN ELEVATION THAN THE TOP OF THE LOWEST MIDDLE BALE TO ASSURE THAT SEDIMENT-LADEN RUNOFF WILL FLOW EITHER THROUGH OR OVER THE BARRIER BUT NOT AROUND IT.

#### MAINTENANCE:

STRAW BALES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING beneath BALES.

NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE STRAW BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

#### POLLUTION PREVENTION:

THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PROGRAM IS REGULATED THROUGH THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP). IF YOUR CONSTRUCTION ACTIVITY MEETS THE FOLLOWING CRITERIA:

1. CONTRIBUTES STORM WATER DISCHARGE TO SURFACE WATERS OF THE STATE OR INTO A MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4); AND/OR
2. DISTURBS ONE OR MORE ACRES OF LAND INCLUDING LESS THAN ONE ACRE IF ACTIVITY IS PART OF A LARGE COMMON PLAN OF DEVELOPMENT OR SALE THAT WILL MEET OR EXCEED A ONE ACRE THRESHOLD. DISTURBANCE INCLUDES CLEARING, GRADING AND EXCAVATING. THEN YOU WILL BE REQUIRED TO SUBMIT A NOTICE OF INTENT (NOI) AND PREPARE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP). FOR MORE INFORMATION PLEASE VISIT FDEP'S WEBSITE AT WWW.DEP.STATE.FL.US/WATER/STORMWATER/NPDES.

Marion County Approval Stamp

**Miller & Associates**  
ENGINEERING, PLANNING, LANDSCAPE ARCHITECTURE - INDOOR/OUTDOOR

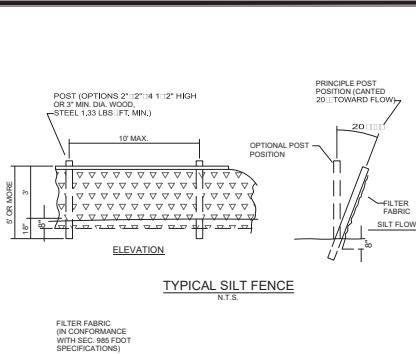
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Office: (352) 367-4545  
Fax: (352) 367-4546

REVISIONS

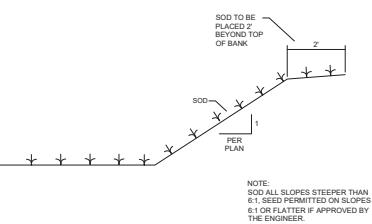
IMPROVEMENT PLAN  
DIAMOND 'N SHOPPING CENTER  
MARION COUNTY, FLORIDA  
STORMWATER POLLUTION  
PREVENTION NOTES

DATE 03-13-25  
DRAWN BY JA  
CHKD BY JMM  
JOB NO. 23-8231

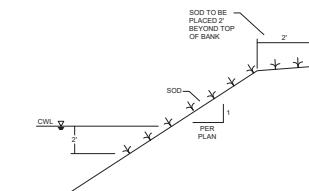
SH. 11.01



## FIGURE 1



TYPICAL DRY DRAINAGE RETENTION AREA SECTION  
N.T.S.



TYPICAL RETENTION/DETENTION  
POND SECTION

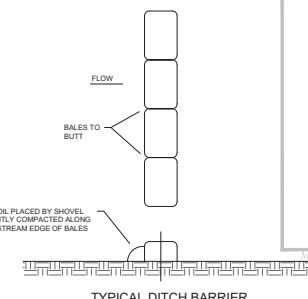
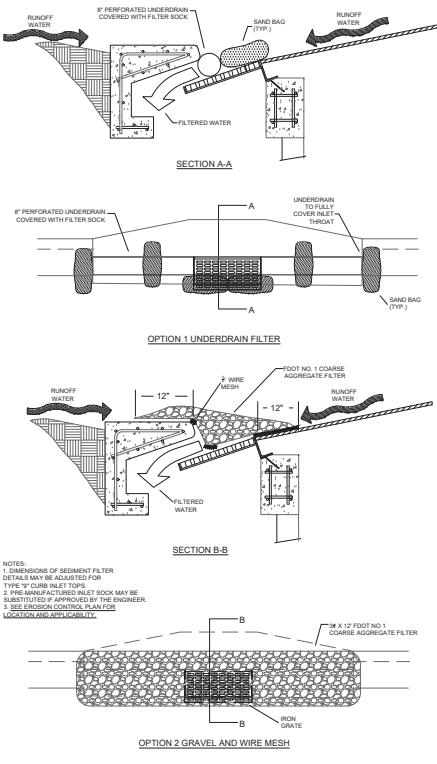
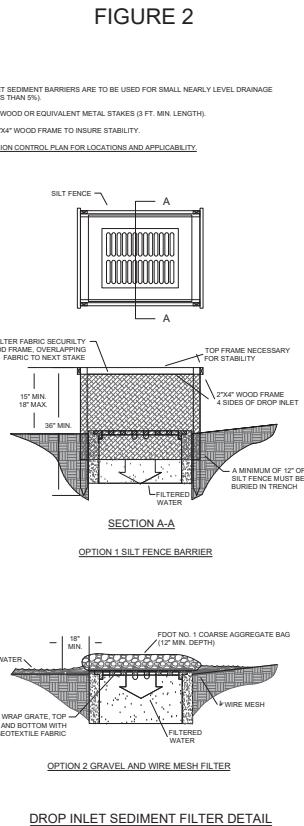


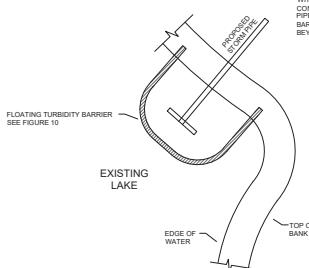
FIGURE 4



CURB INLET SEDIMENT FILTER DETAIL  
N.T.S.



## FIGURE 6



FLOATING TURBIDITY BARRIER AT CONNECTION  
OF STORM PIPE TO EXISTING LAKE  
N.T.S.

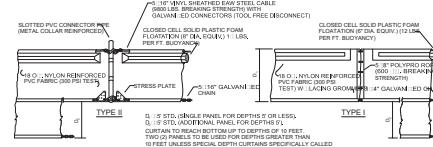
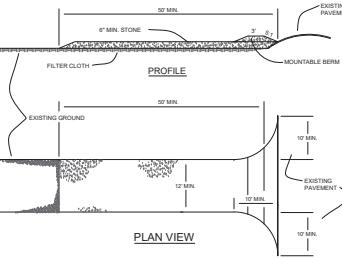


FIGURE 10



NOT TO SCALE



## FIGURE 8



# MONROE COUNTY, FLORIDA STORMWATER POLLUTION PREVENTION DETAILS

CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL  
1720 SE 16th Ave. Bldg 100, Ocala, FL 34471  
Office: (352) 387-4540 Fax: (352) 387-4545

Wittman & Associates  
ENTERTAINMENT INC.

*Tillman & Associates*  
— ENGINEERING, LLC. —

STORMWATER POLLUTION  
PREVENTION PLAN  
MOND "A" SHOPPING CENTER  
MONROE COUNTY, FLORIDA

DATE 03-13-25  
DRAWN BY JA  
CHKD. BY JMM  
JOB NO. 23-8231

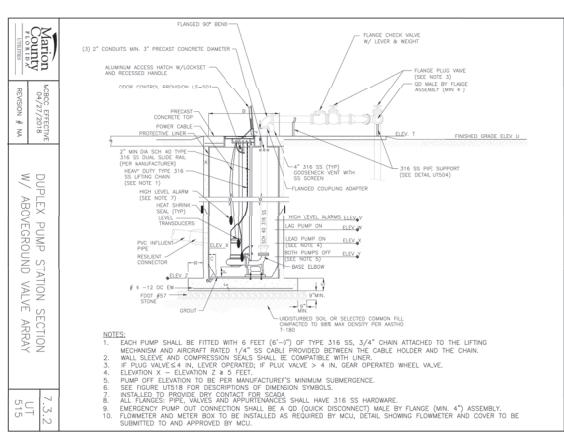
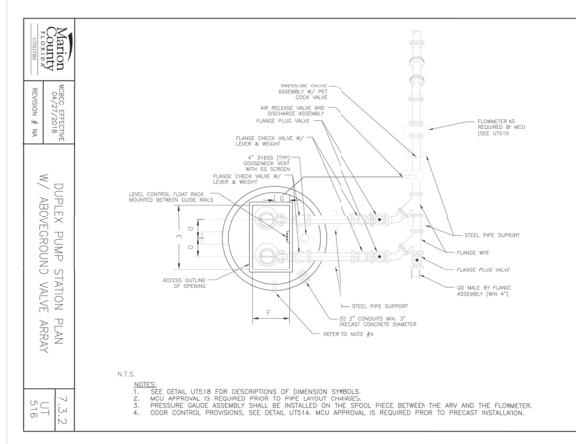
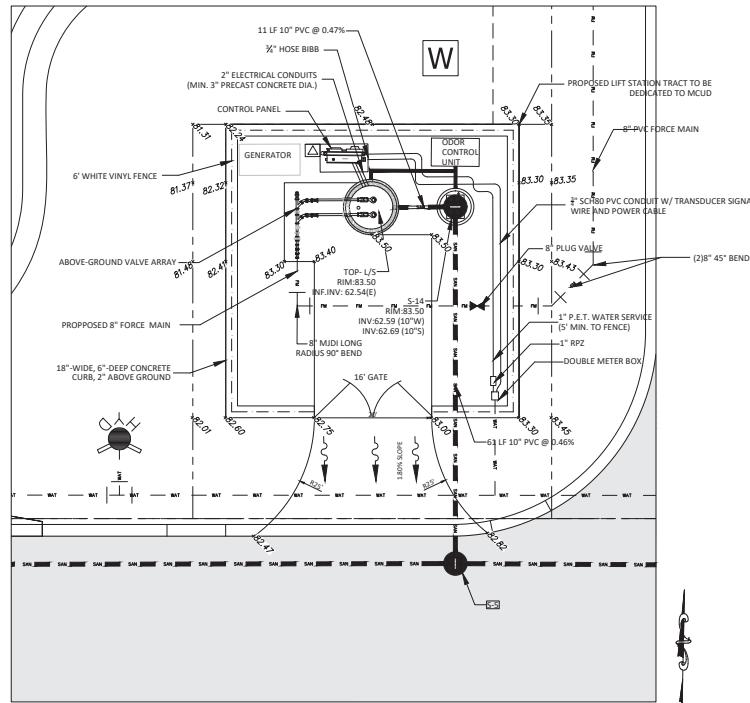
SHT. 12.01

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER







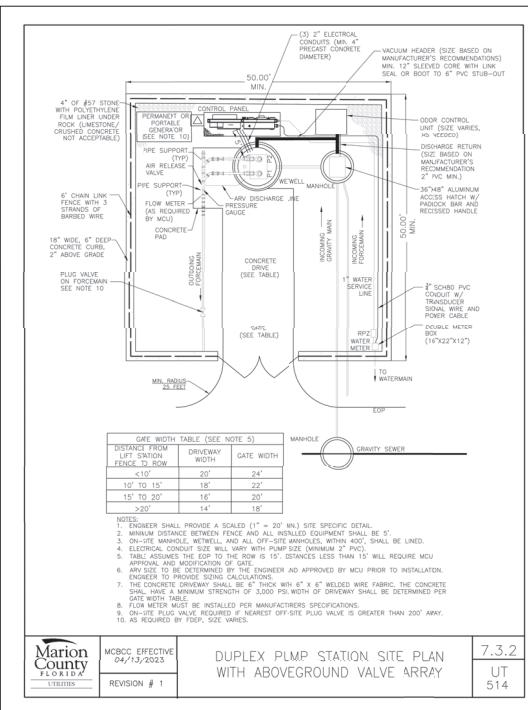


MANUFACTURER: GRUNDFOS  
MOD# S130LA507904 62H 5.351.6.FX.0.611  
VOLTAGE: 480V  
PHASE: 3PH HP: 60 HP  
MAX. SOLID SIZE (3 IN MIN): 3.15"  
IMP: 13.8"  
DIA: N/A  
SPEED: 758 RPM  
DISCHARGE SIZE: 5"

SHUT OFF HEAD: 239' GPM  
HEAD CONDITION: 497 GPM @ 207.5' TDH

DESCRIPTION	SYMBOL	DIMENSION	ELEVATION
THICKNESS OF WALL	A	8"	N/A
DIAMETER OF WET WELL	B	10'	N/A
WIDTH OF BOTTOM FILLET	C	SEE NOTE 1	N/A
C/L OF WET WELL TO C/P OF PIPES	D	SEE NOTE 1	N/A
LENGTH OF PUMP ACCESS OPENING	E	SEE NOTE 1	N/A
WIDTH OF PUMP ACCESS OPENING	F	SEE NOTE 1	N/A
CENTER OF WET WELL TO EDGE OF HATCH	G	SEE NOTE 1	N/A
LIP WIDTH OF WETWELL BASE	R	18"	N/A
THICKNESS OF WETWELL BASE	S	12"	N/A
TOP OF WET WELL	T	14"	83.20
FINISHED GRADE	U	0'	N/A
HIGH LEVEL ALARMS	V	9'	62.50
LAG PUMP ON	W	N/A	62.00
LEAD PUMP ON	X	N/A	61.50
PUMPS OFF (TOP OF PUMP VOLUTE)	Y	N/A	59.45
BOTTOM OF PUMP TO FLOOR OF WET WELL	P	-	N/A
STEP HEIGHT (IF REQUIRED)	Q	N/A	N/A
FLOOR OF WET WELL	Z	N/A	56.50

NOTES:  
1. PSS PUMP MANUFACTURER'S REQUIREMENTS, DIMENSION P AND ELEVATIONS Y AND Z MUST MEET MANUFACTURER'S REQUIREMENTS.  
2. TOP ELEVATION OF WET WELL SHALL BE A MINIMUM OF 5' ABOVE THE 100 YEAR FLOOD ELEVATION AND THE ELEVATION OF THE CROWN OF THE ROAD.  
3. SYMBOLS SHOWN IN TABLE ARE USED IN DETAILS UTS15 AND UTS16.



**Marion & Associates**  
ENGINEERING, PLANNING, LANDSCAPE ARCHITECTURE & ENVIRONMENTAL  
1720 SE 16th Avenue, Bldg 100, Ocala, FL 34471  
Office: (352) 387-4545 Fax: (352) 387-4545

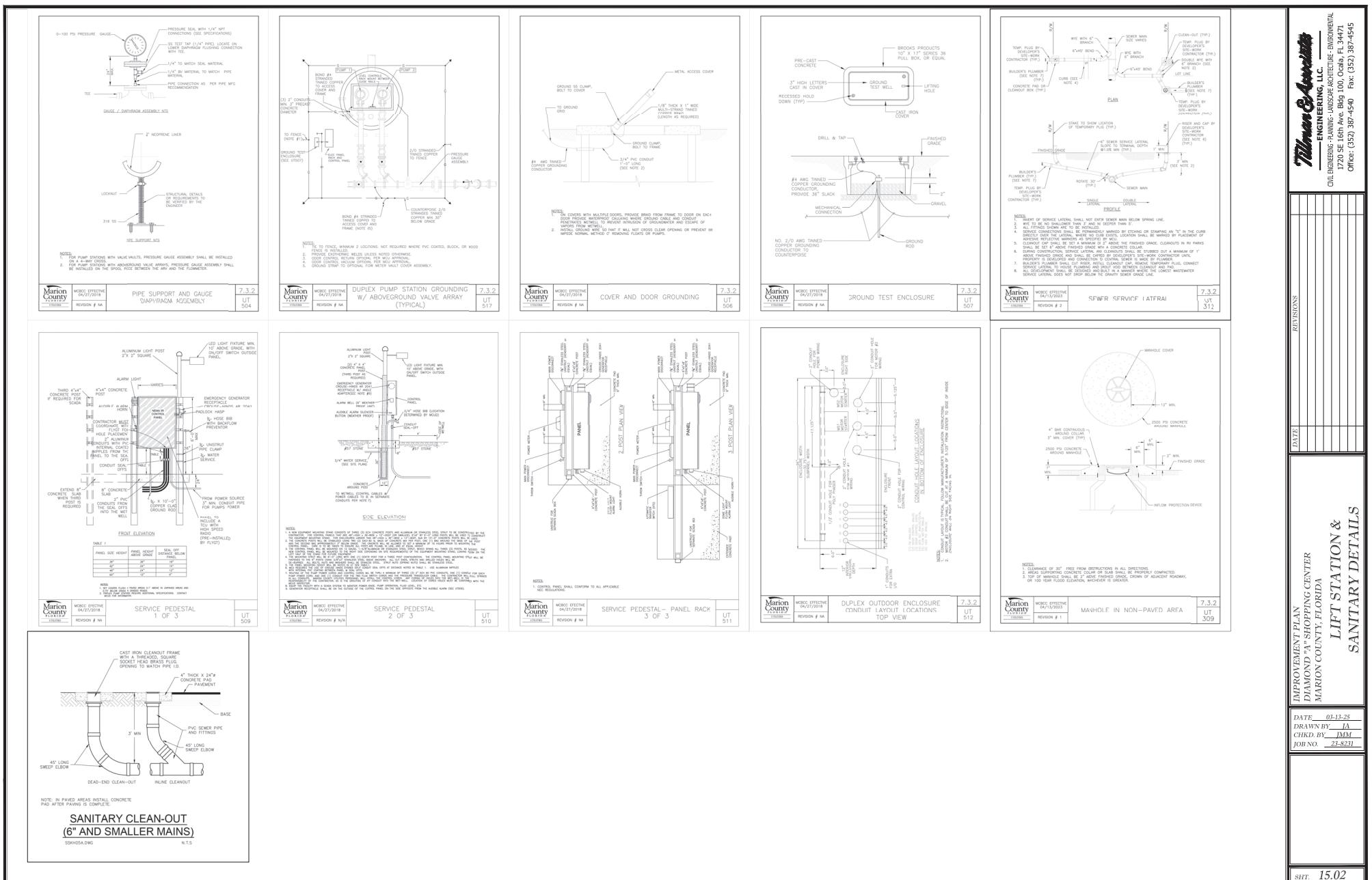
DATE	REVISIONS

**IMPROVEMENT PLAN**  
**DIAMOND 'N' SHOPPING CENTER**  
**MARION COUNTY, FLORIDA**  
**LIFT STATION & SANITARY DETAILS**

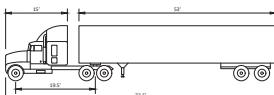
DATE: 03-13-25  
DRAWN BY: JA  
CHKD BY: JMM  
JOB NO: 23-8231

SHT. 15.01

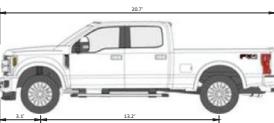
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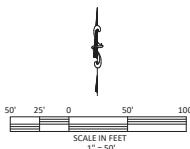
NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



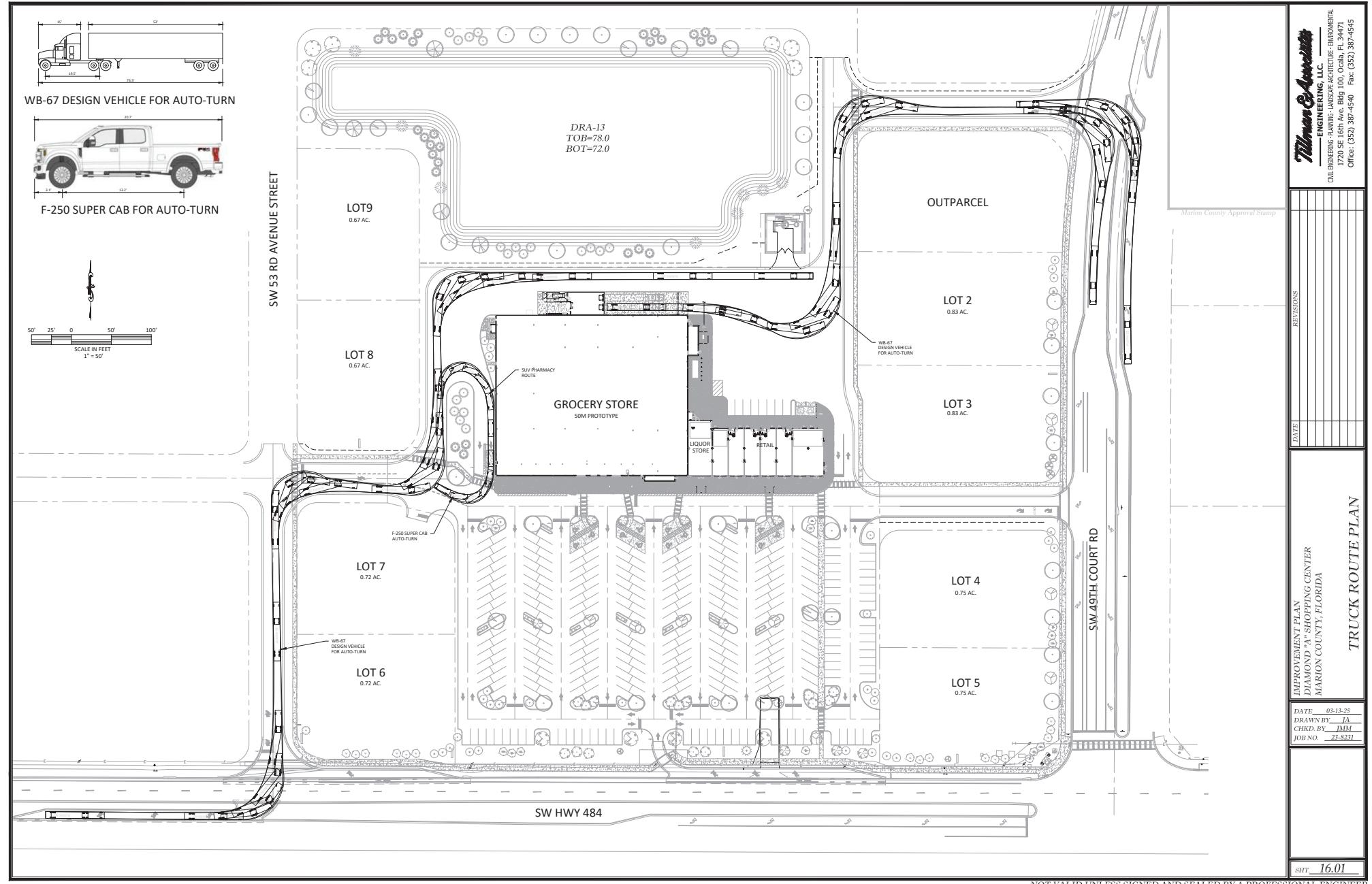
WB-67 DESIGN VEHICLE FOR AUTO-TURN



## F-250 SUPER CAB FOR AUTO-TURN



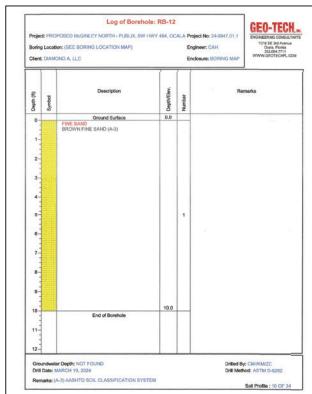
SW 53 RD AVENUE STREET

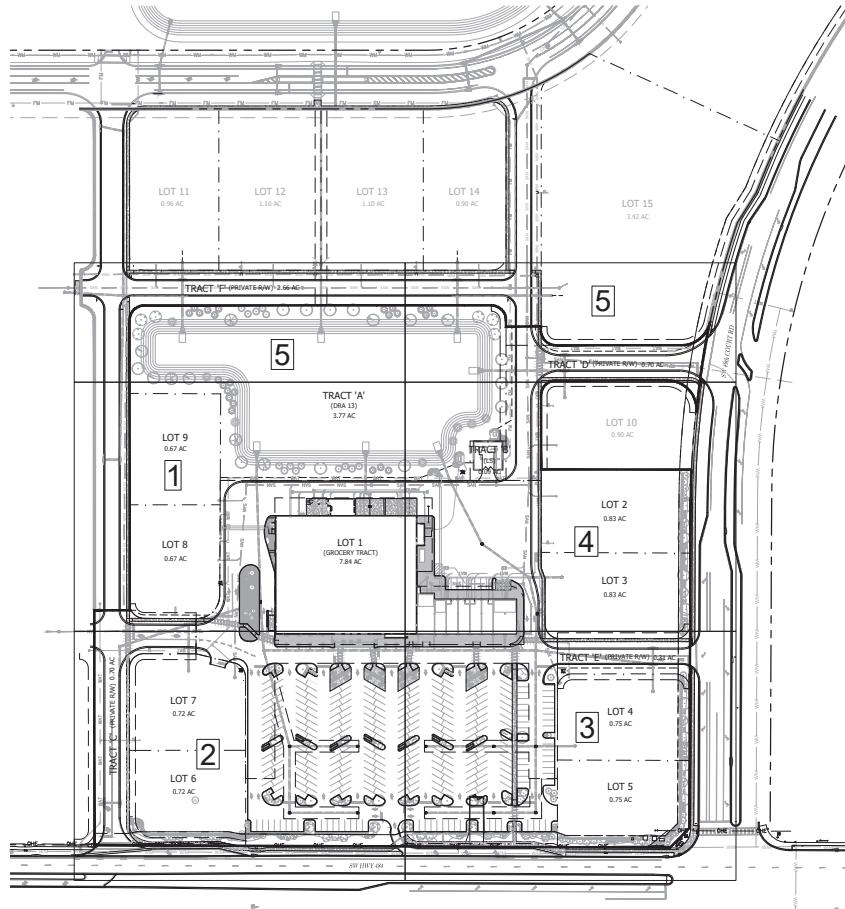


NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



Log of Borehole: SB-10					
Project: PROPOSED MAGLEBY NORTH - PUBLIC, SW HWY 484, OCEOLA, Project No: 24-0847.01.1 Boring Location: (SEE BORING LOCATION MAP) Client: DIAMOND A, LLC Engineer: CAH Enclosure: BORING MAP					
Description					
Depth (ft)	Symbol	Description	Depth (ft)	Number	Remarks
0		Ground Surface	0.0		
1					
2					
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LOT AND TRACT DATA IS PROVIDED AS A REFERENCE  
FOR THIS PLAN; SEE APPROVED PRE-PLAT  
PLANS FOR CURRENT DATA.

### INDEX OF LANDSCAPE SHEETS

L01.01	LANDSCAPE INDEX
L02.01	PLANTING SPECIFICATIONS
L03.01	PLANT SCHEDULE & NOTES
L04.01-L04.05	PLANTING PLAN
L05.01	PLANTING DETAILS

LIR03.01	IRRIGATION SCHEDULE & NOTES
LIR04.01-LIR04.05	IRRIGATION PLAN
LIR05.01-LIR05.02	IRRIGATION DETAILS

LANDSCAPE ARCHITECT:  
TILLMAN AND ASSOCIATES ENGINEERING, L.L.C.  
JON R. PHILLIPS, PLA, ASLA  
1720 SE 167TH AVE. BLDG. 100  
OCALA, FLORIDA 34471  
PHONE (352) 387-4540

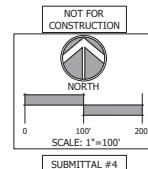
**Tillman & Associates**  
ENGINEERING, PLANNING, LANDSCAPE ARCHITECTURE, ENVIRONMENTAL

320 SE 167th Ave., Bldg. 100, Ocala, FL 34471  
Office: (352) 387-4540 Fax: (352) 387-4545

DATE \_\_\_\_\_  
REVISIONS \_\_\_\_\_

MAJOR SITE PLAN  
DIAMOND A SHOPPING CENTER  
MARION COUNTY, FLORIDA  
LANDSCAPE INDEX

DATE 3/4/2025  
DRAWN BY \_\_\_\_\_  
CHECKED BY JRP  
JOB NO. 24-9040

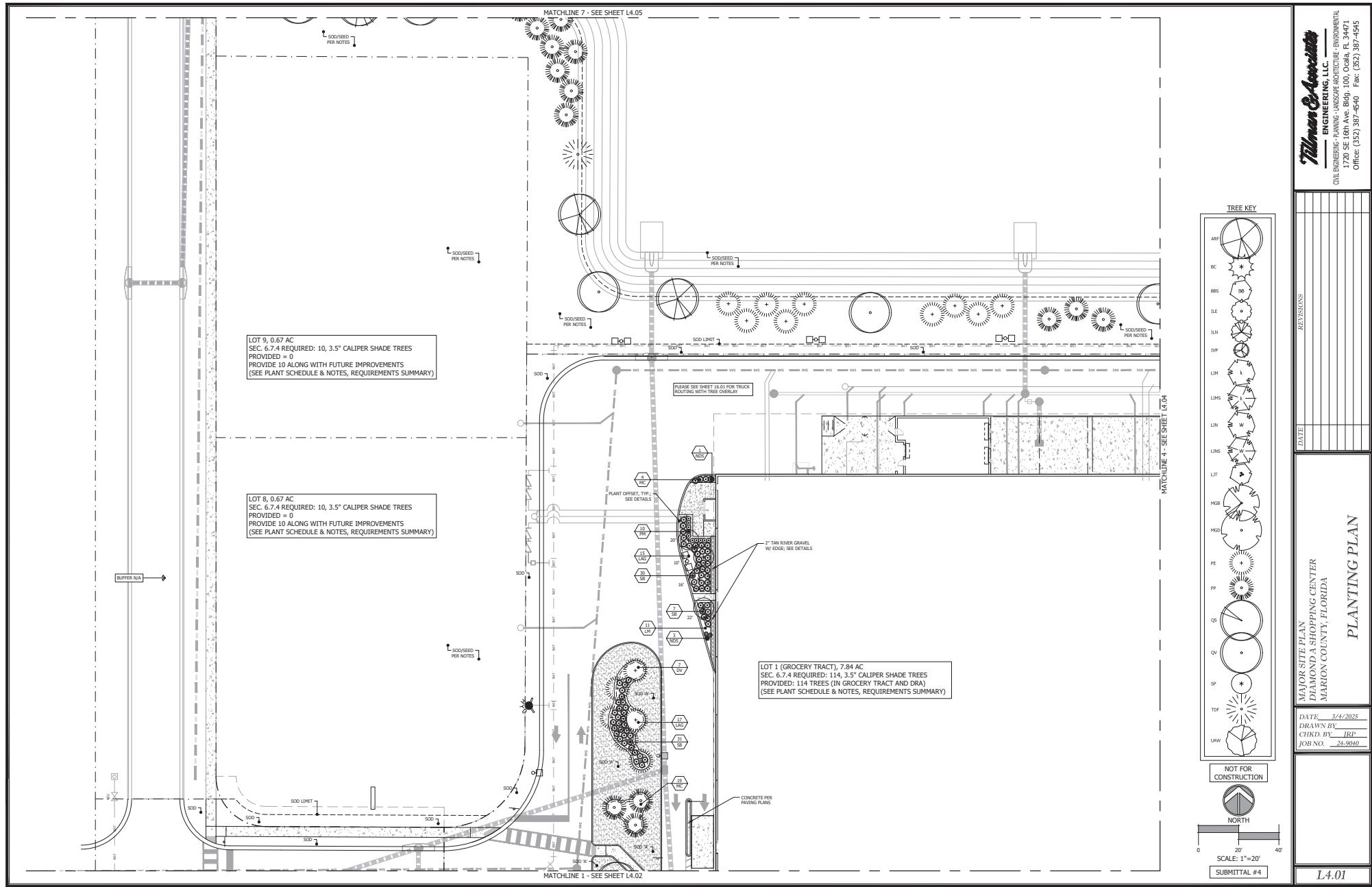


L1.01

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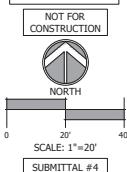
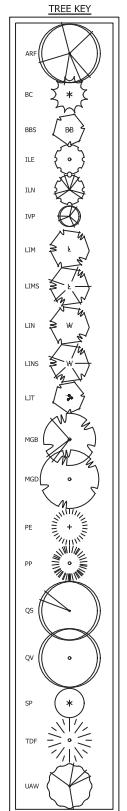
PLANTING PLAN

MAJOR SITE PLAN  
DIAMOND A SHOPPING CENTER  
MARION COUNTY, FLORIDA

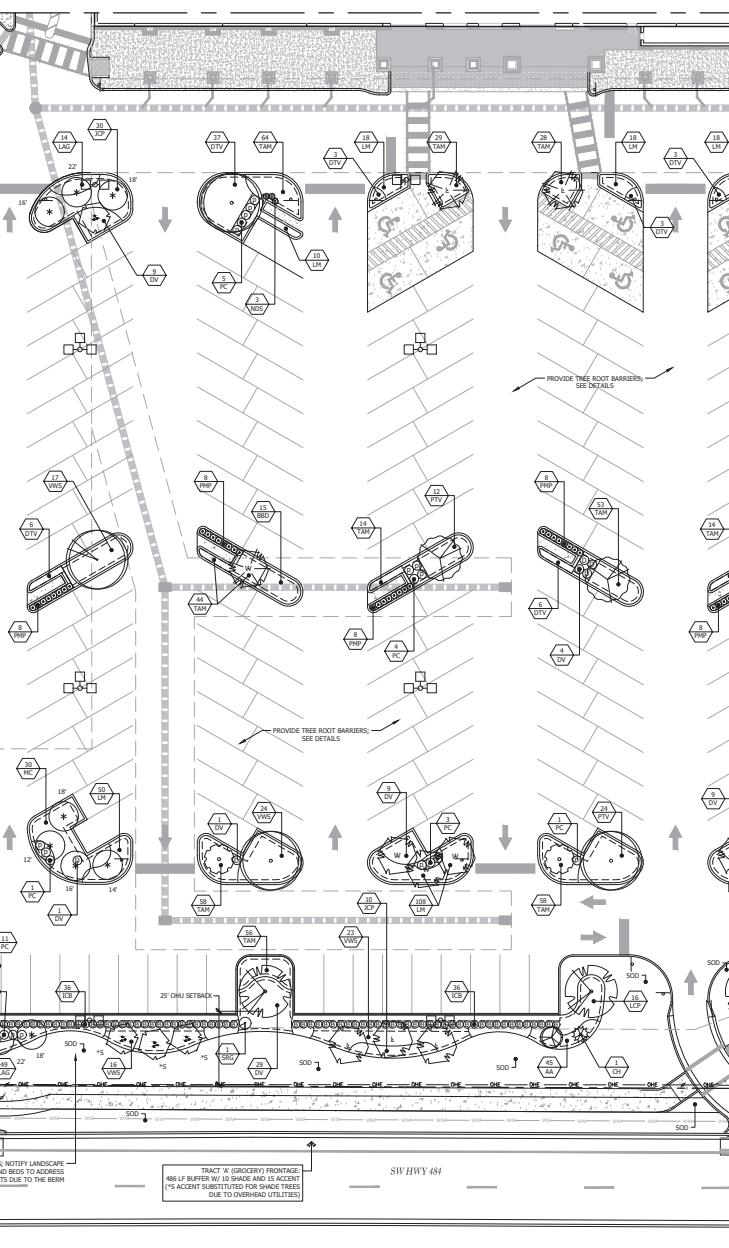
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DRAWN BY: CHKD BY: JRP  
JOB NO: 24-9040

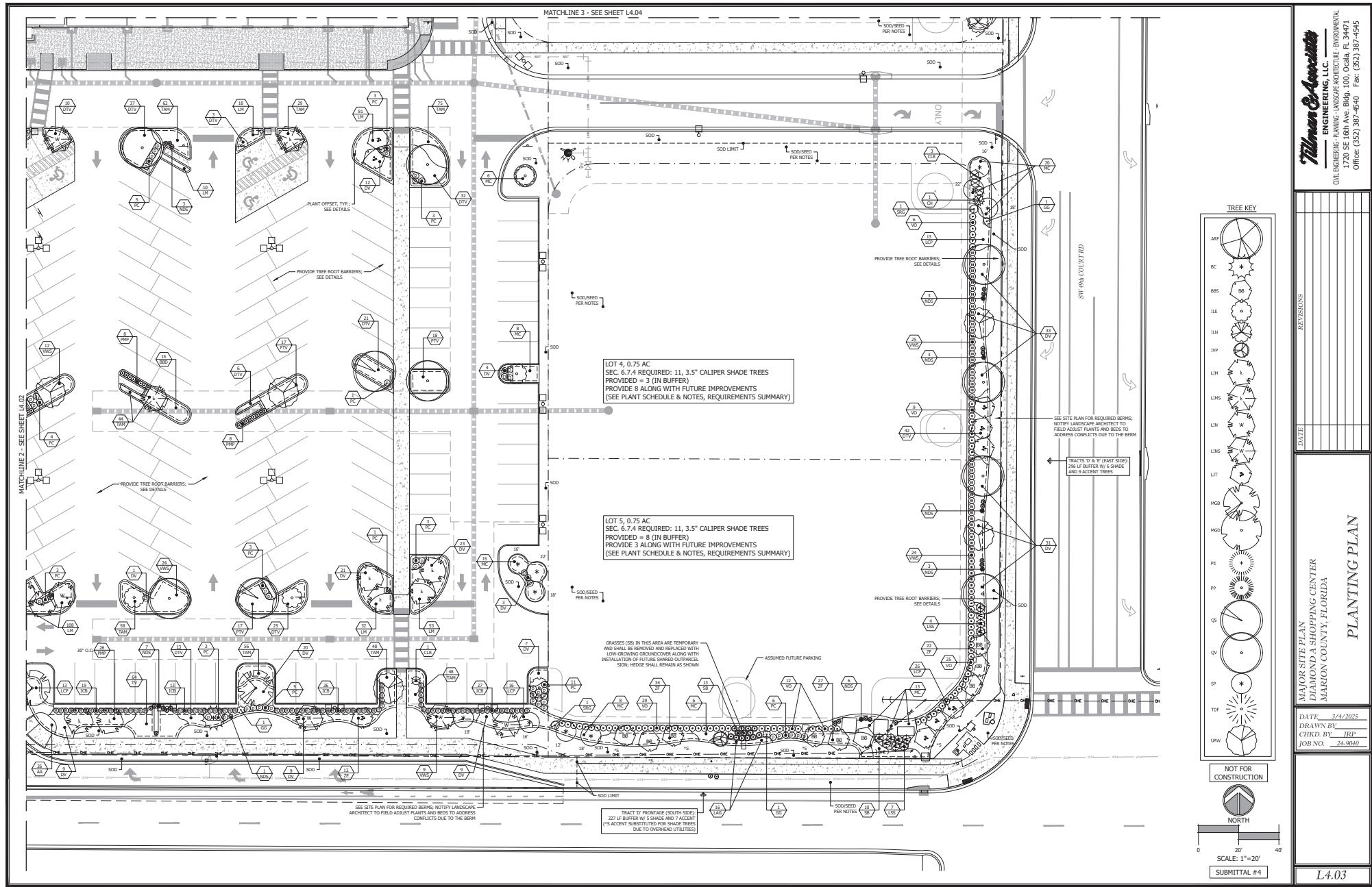
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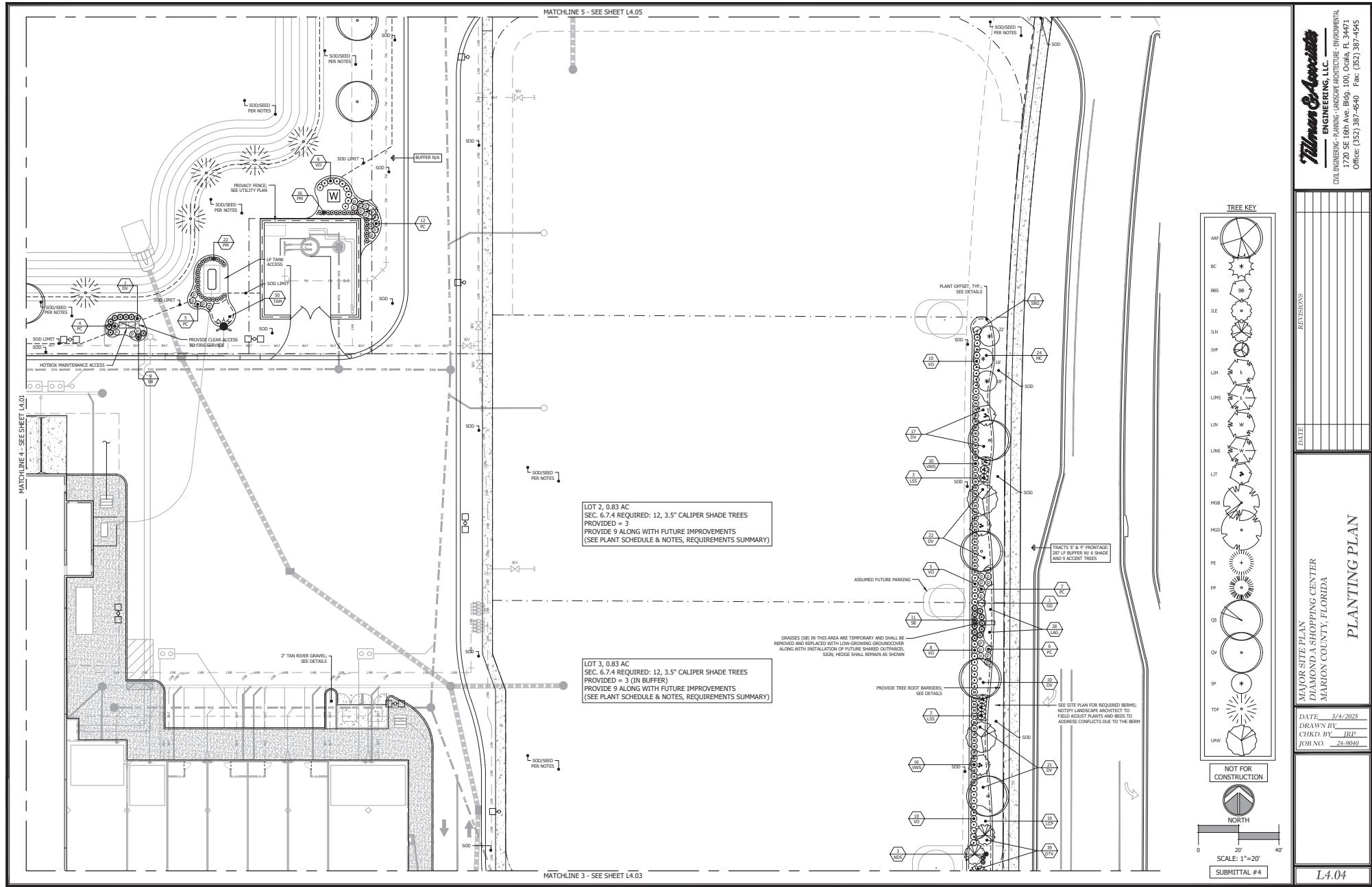


MATCHLINE 2 - SEE SHEET L4.03





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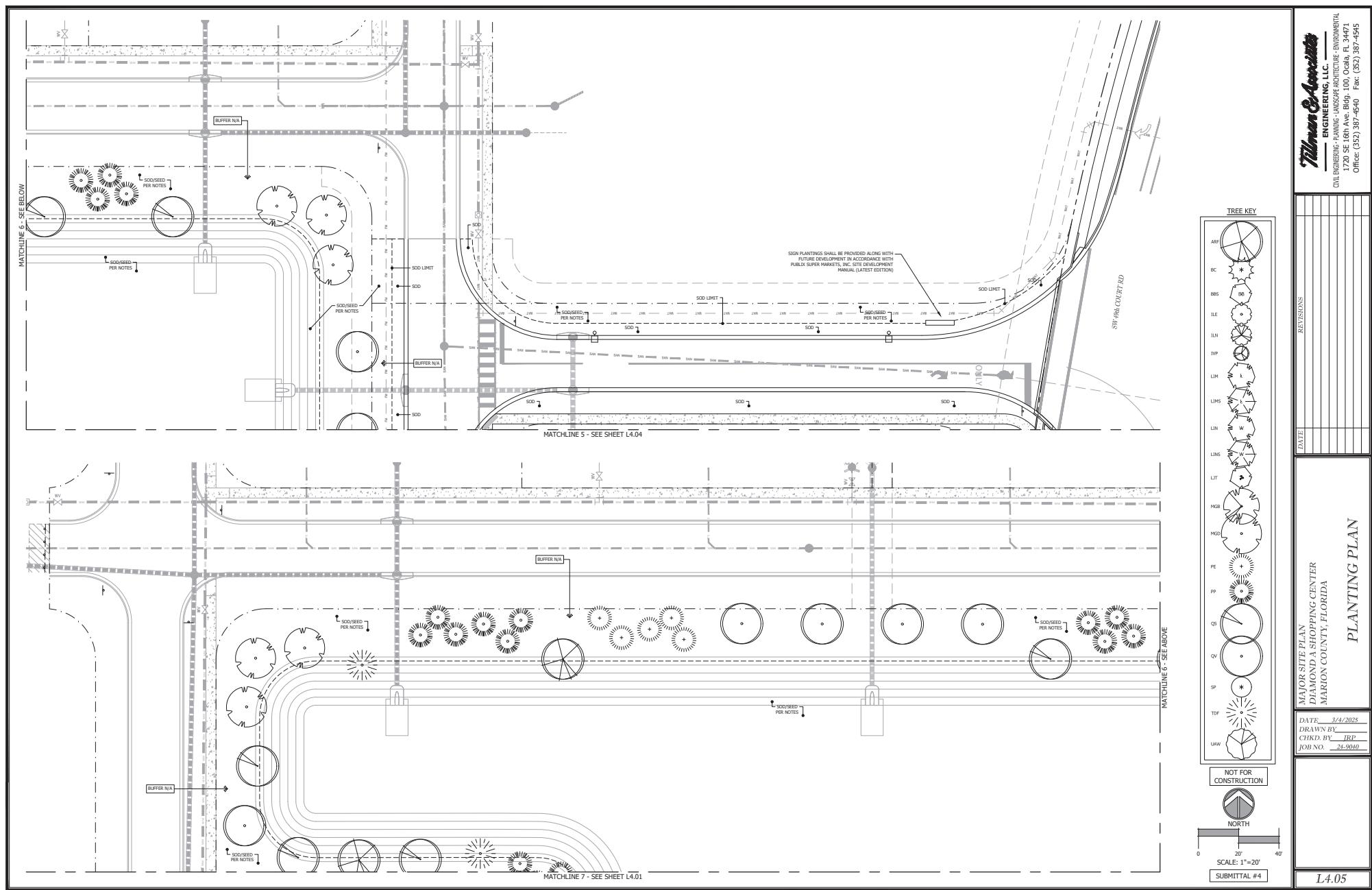


**Engineering, L.L.C.** —  
CIV. ENGINEERING, PLANNING, LANDSCAPE ARCHITECTURE,  
ENVIRONMENTAL  
2320 SE 16th Ave., Blvd., Ft. Lauderdale, FL 33316  
Office: (332) 387-4545

**MAJOR SITE PLAN**  
DIAMOND A SHOPPING CENTER  
MARION COUNTY, FLORIDA

**L4.04**

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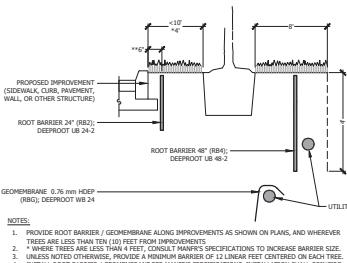


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NOT FOR CONSTRUCTION

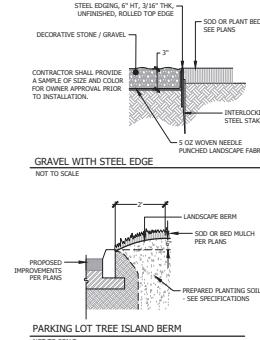
SUBMITTAL #4

L5.01



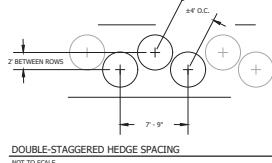
ROOT BARRIER SCENARIOS

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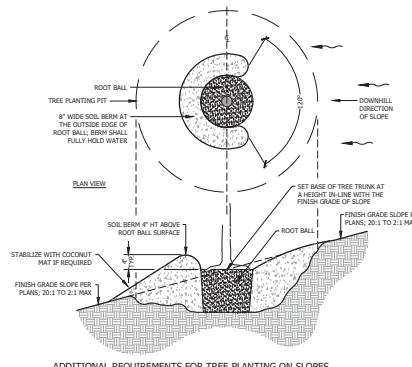
PARKING LOT TREE ISLAND BERM

NOT TO SCALE



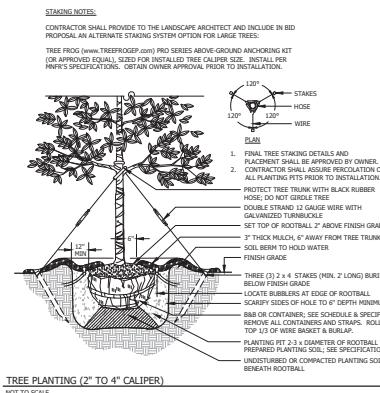
DOUBLE-STAGGERED HEDGE SPACING

NOT TO SCALE



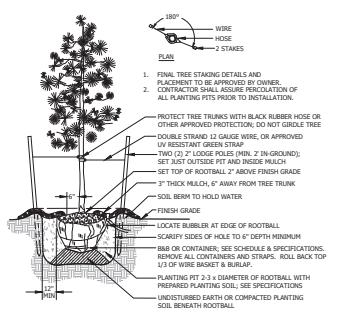
ADDITIONAL REQUIREMENTS FOR TREE PLANTING ON SLOPES

NOT TO SCALE



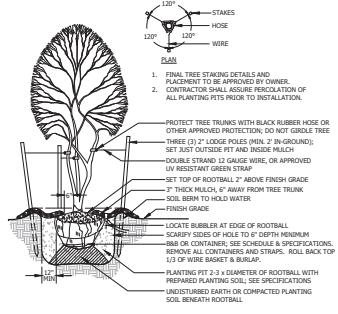
TREE PLANTING (2" TO 4" CALIPER)

NOT TO SCALE



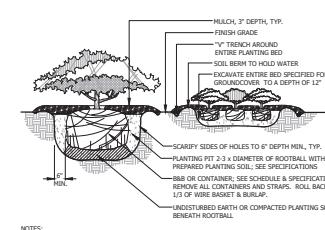
SINGLE-TRUNK TREE PLANTING (UP TO 8' HEIGHT)

NOT TO SCALE



MULTI-STEM TREE PLANTING

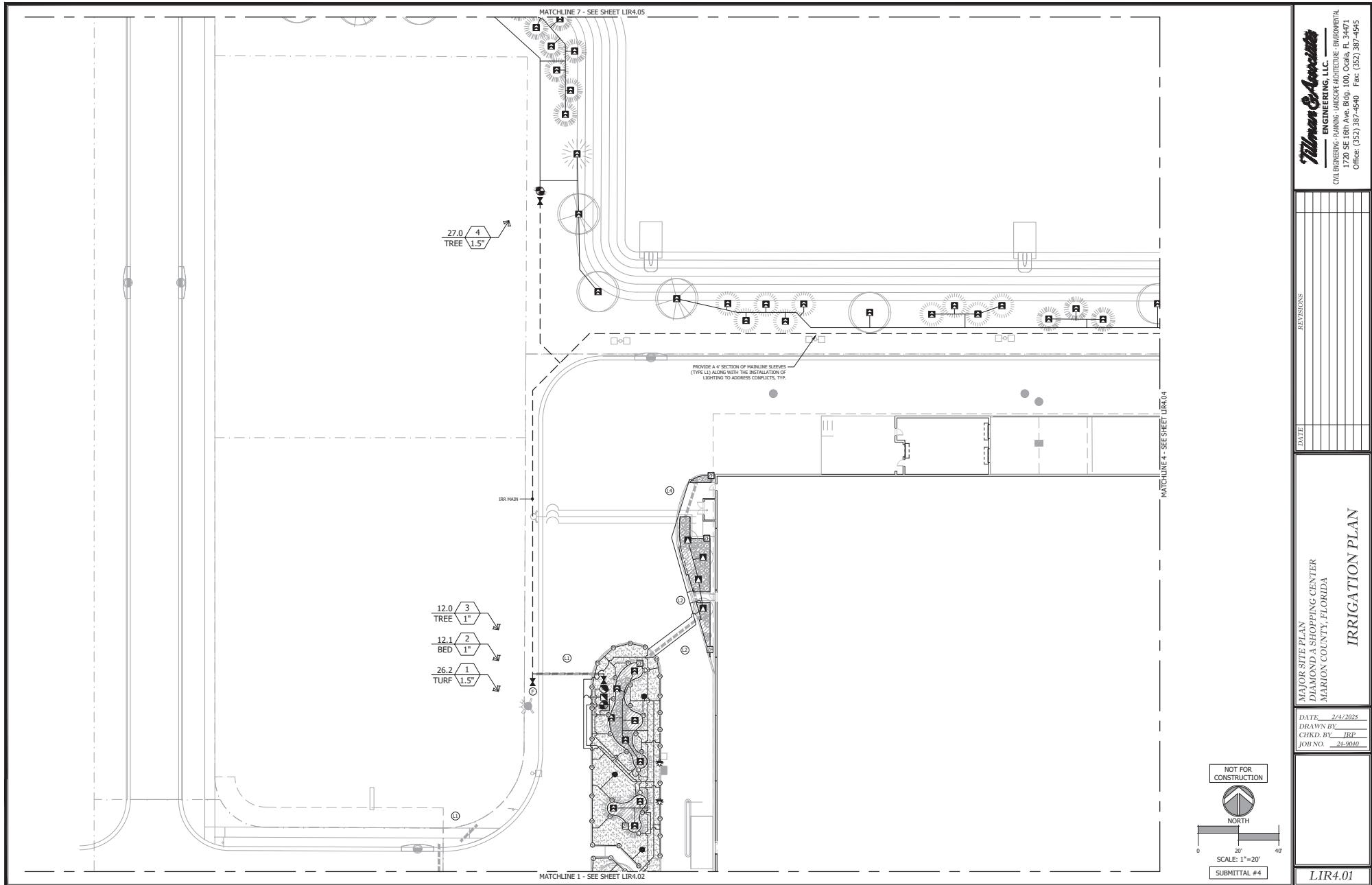
NOT TO SCALE



SHRUBS AND GROUNDCOVER PLANTING

NOT TO SCALE

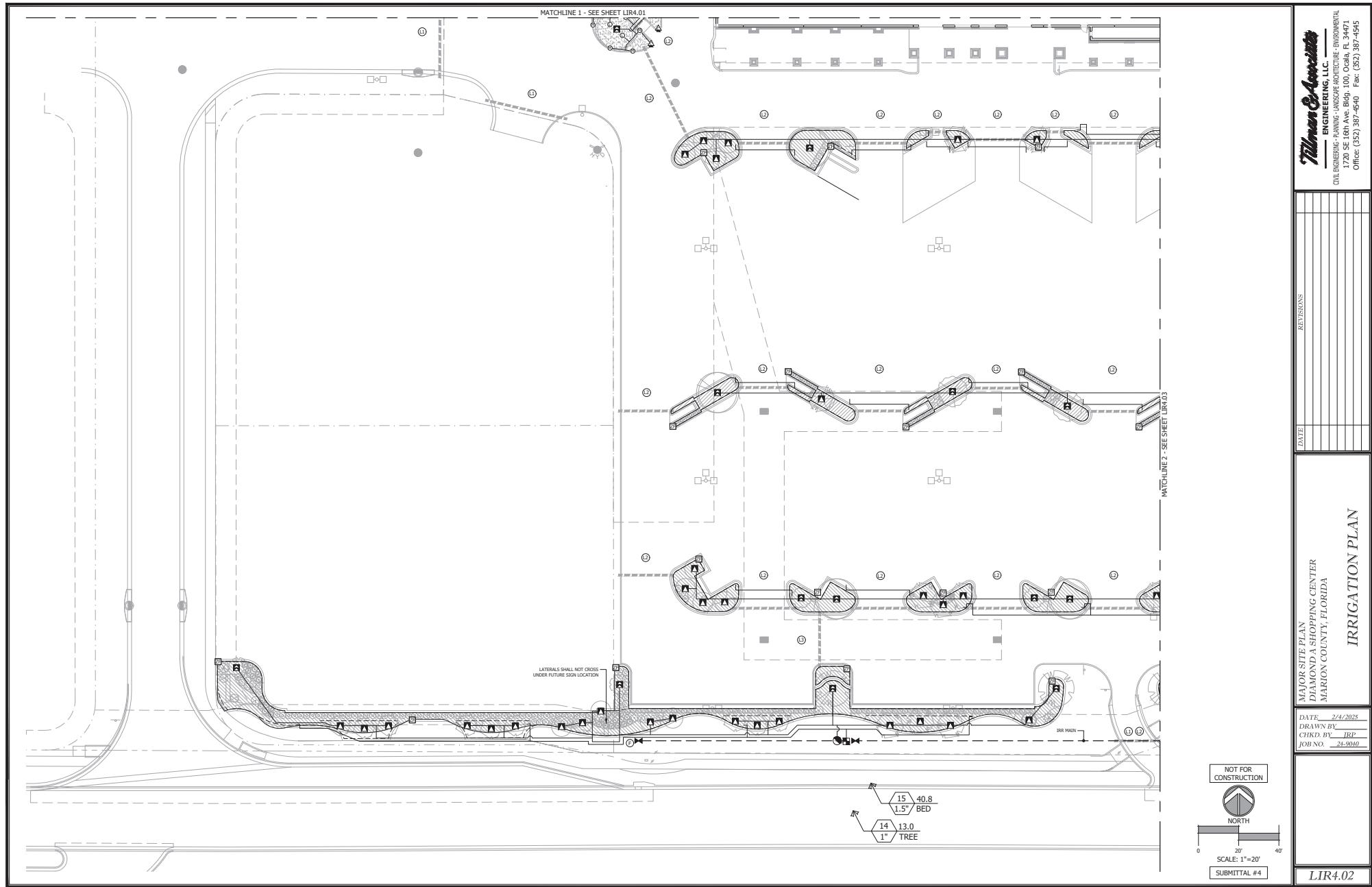




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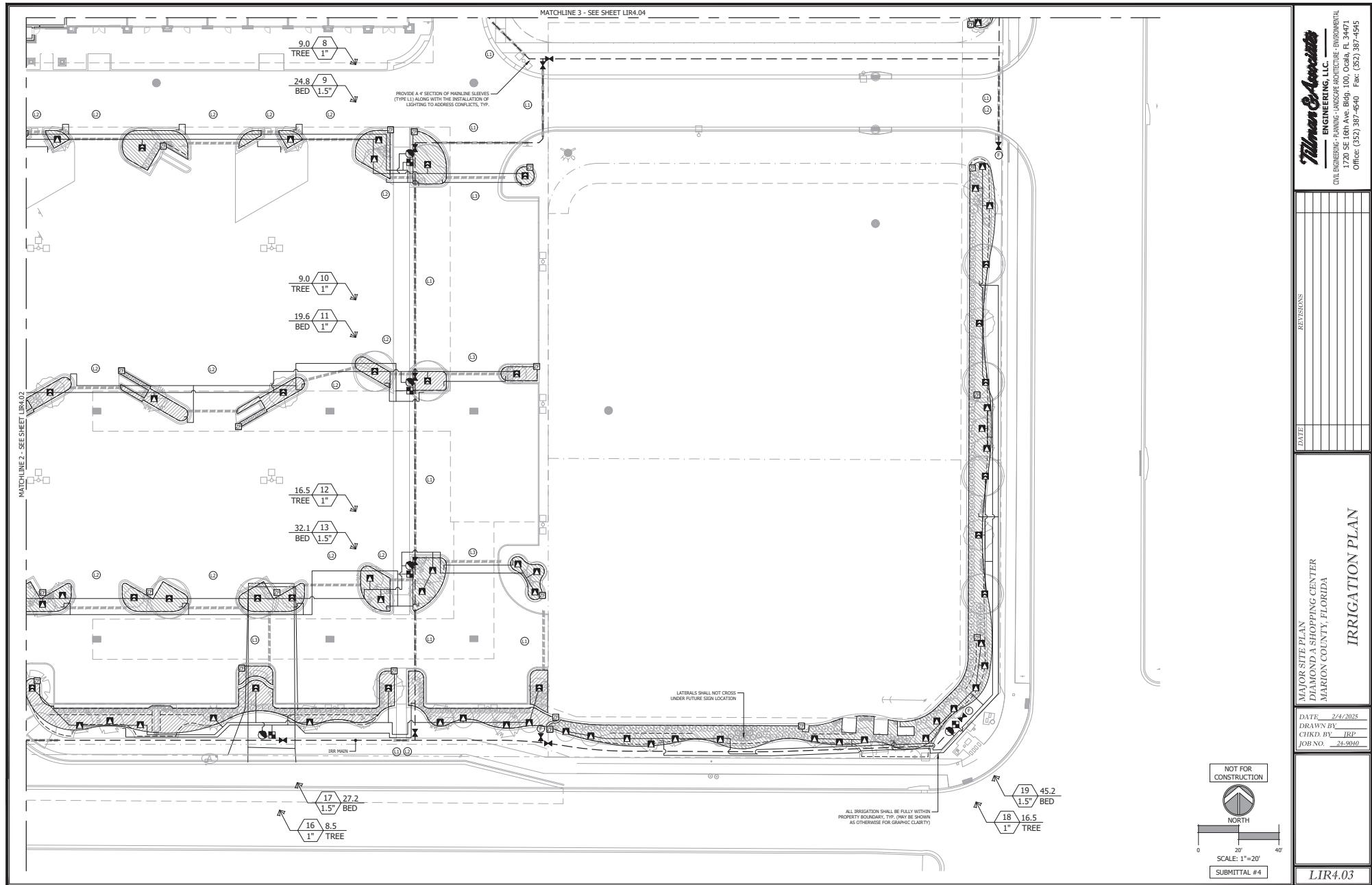
**Tillman & Associates**

**Engineering, LLC.** — ENVIRONMENTAL  
CIVIL ENGINEERING, PLANNING, LANDSCAPE ARCHITECTURE,  
320 SE 16th Ave., Blvd., B, 24271  
Office: (321) 387-4540 Fax: (321) 387-4545

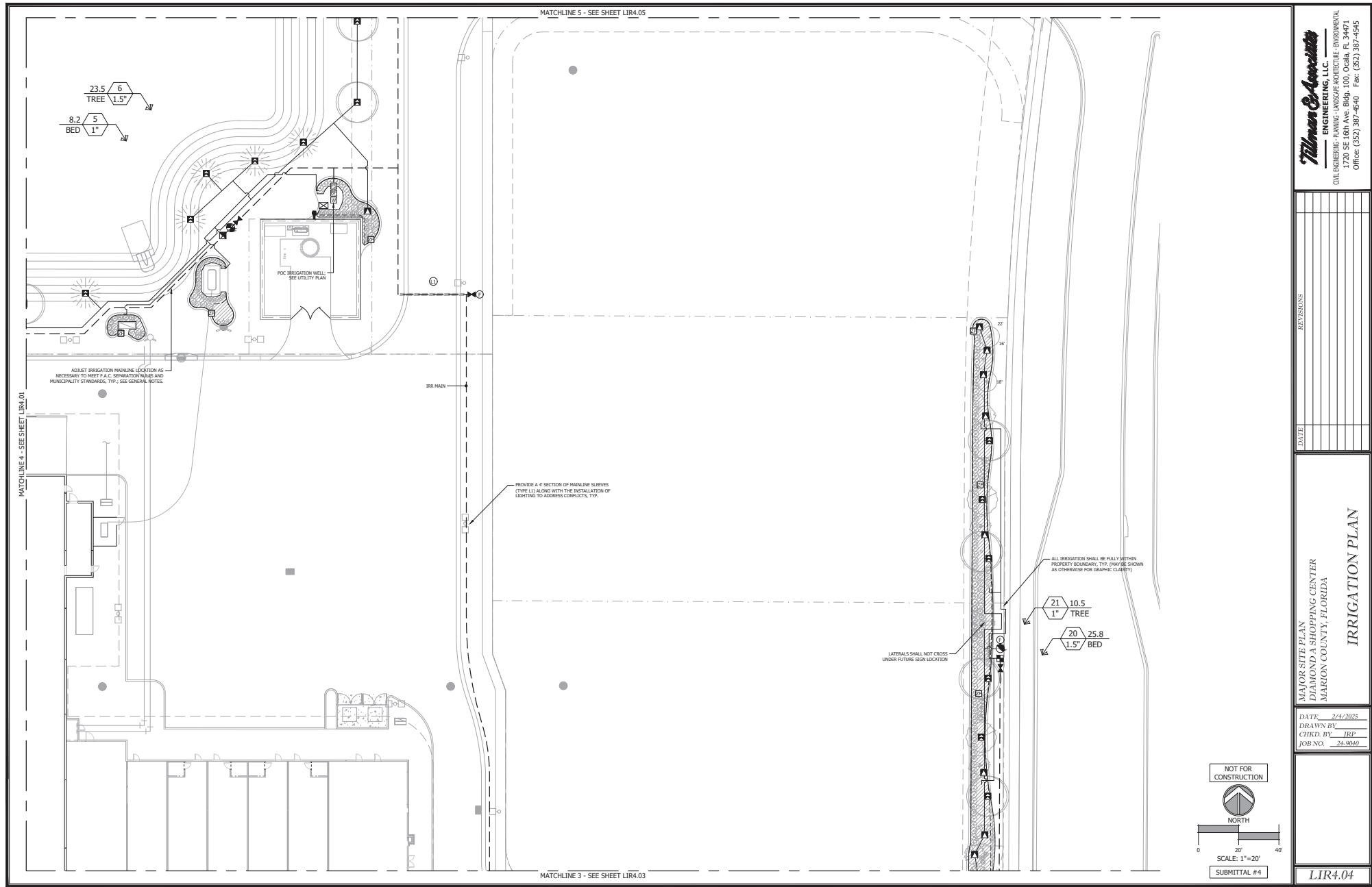


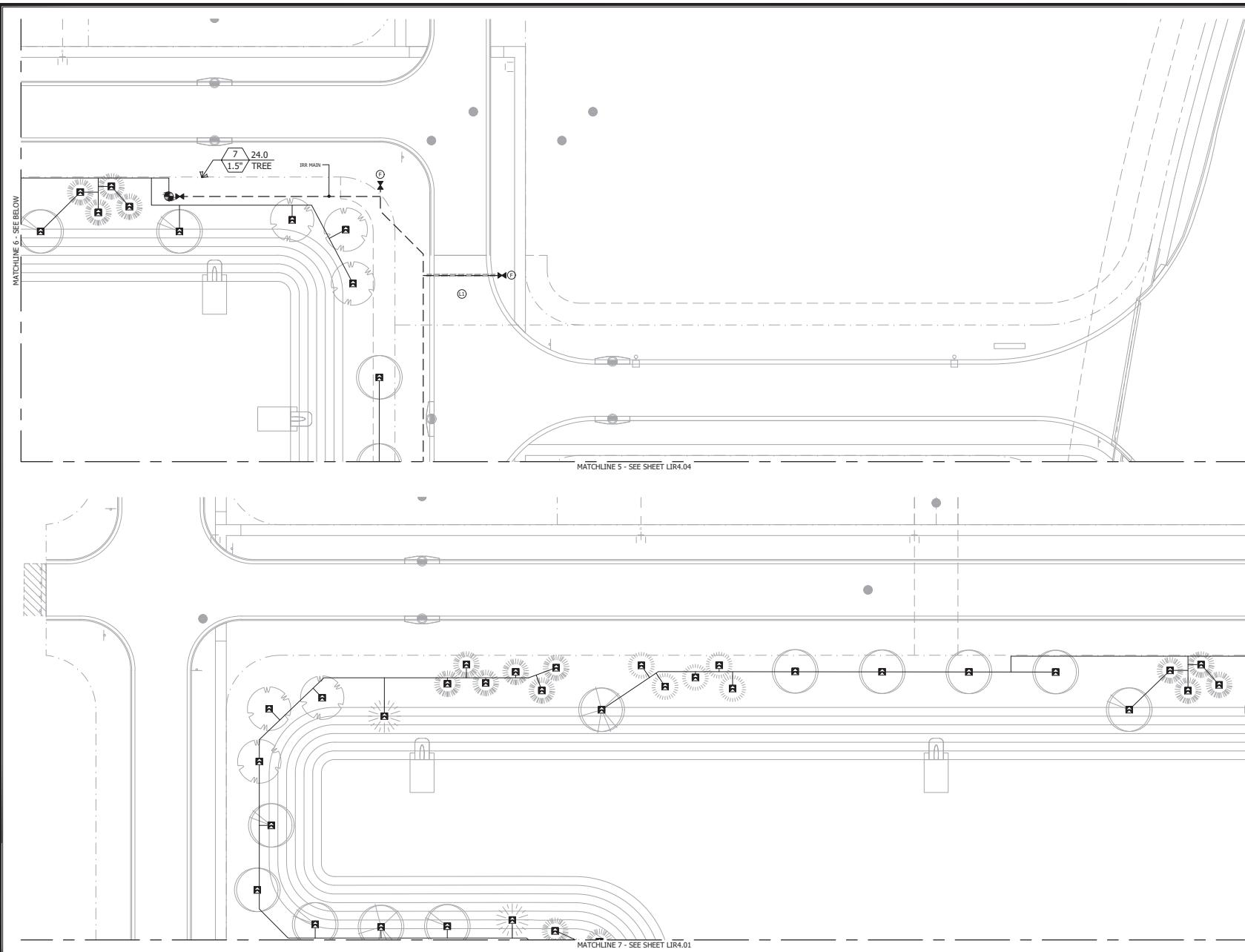
**Tillman & Associates**

ENGINEERING, PLANNING, LANDSCAPE ARCHITECTURE, ENVIRONMENTAL  
3220 SE 16th Ave., Blvd., Ft. Lauderdale, FL 33316  
Office: (332) 387-4540 Fax: (332) 387-4545



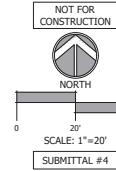
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LIR7.05

NOT VALID UNLESS SIGNED AND SEALED BY AUTHORIZED PROFESSIONAL



LIR4.05

MAJOR SITE	_____
DIAMOND #	_____
MARION CO.	_____
DATE	2/4/2025
DRAWN BY	_____
CHKD. BY	JRP
JOB NO.	24-9040

## IRRIGATION PLAN

**MAJOR SITE PLAN  
DIAMOND A SHOPPING CENTER  
MARION COUNTY, FLORIDA**

REVISED EDITION

*Miller & Associates*  
— ENGINEERING, LLC. —

**ENGINEERING, LLC.** —  
CIVIL ENGINEERING • PLANNING • LANDSCAPE ARCHITECTURE • ENVIRONMENTAL  
1720 SE 16th Ave. Blvd. 100, Ocala, FL 34471  
Office: (352) 387-4540 Fax: (352) 387-4545

REVISIONS

DATE

MAJOR SITE PLAN  
DIAMOND A SHOPPING CENTER  
MARION COUNTY, FLORIDA

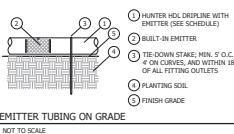
IRRIGATION DETAILS

DATE: 3/5/2025  
DRAWN BY: JRP  
CHECKED BY: JRP  
JOB NO.: 24-9040

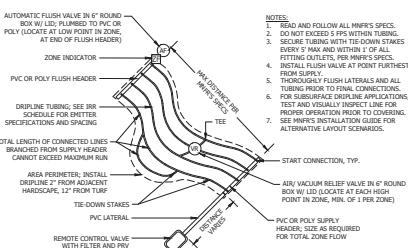
SUBMITTAL #4

LIR5.01

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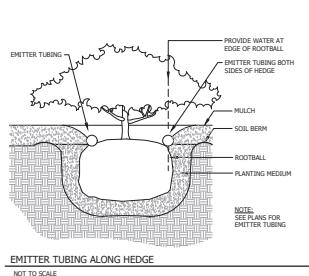


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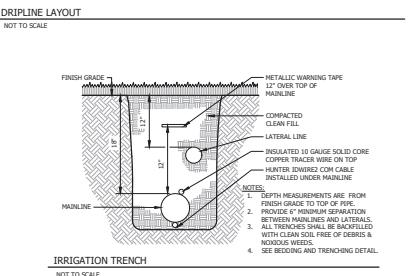


NOTES:  
1. READ AND FOLLOW ALL MANUFACTURER'S SPECIFICATIONS.  
2. SECURE TUBING WITH TIE-DOWN STAKES PER HUNTER'S SPECIFICATIONS.  
3. SECURE TUBING WITH TIE-DOWN STAKES PER HUNTER'S SPECIFICATIONS.  
4. INSTALL FLUSH VALVE AT POINT FURTHEST FROM TIE-DOWN STAKES.  
5. THOROUGHLY FLUSH LATERALS AND ALL TUBING PRIOR TO COVING. DO NOT USE FOR SUBSURFACE DRIPLINE APPLICATIONS. TEST AND FOLLOW MANUFACTURER'S INSTRUCTIONS FOR PROPER OPERATION PRIOR TO COVING. SEE HUNTER'S ALTERNATIVE LAYOUT GUIDE FOR ALTERNATIVE LAYOUT SCENARIOS.

NOT TO SCALE

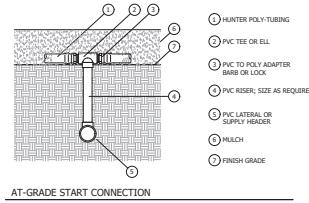


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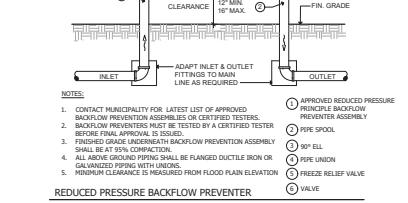


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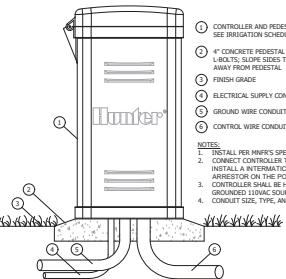
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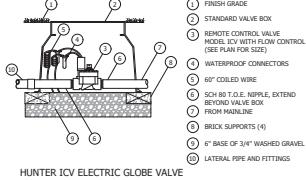
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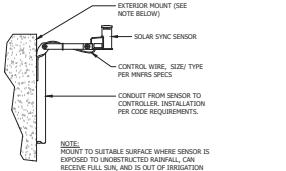


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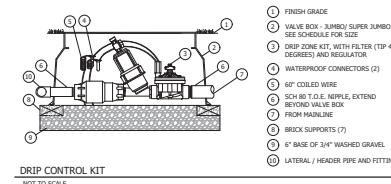
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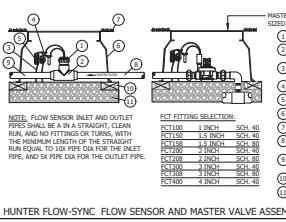
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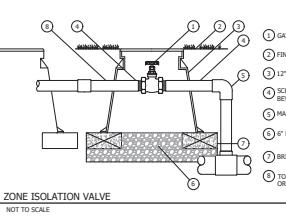
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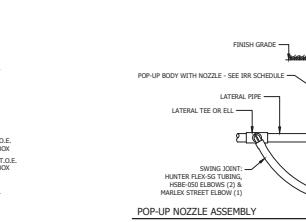


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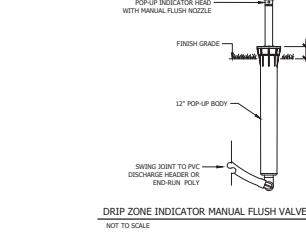


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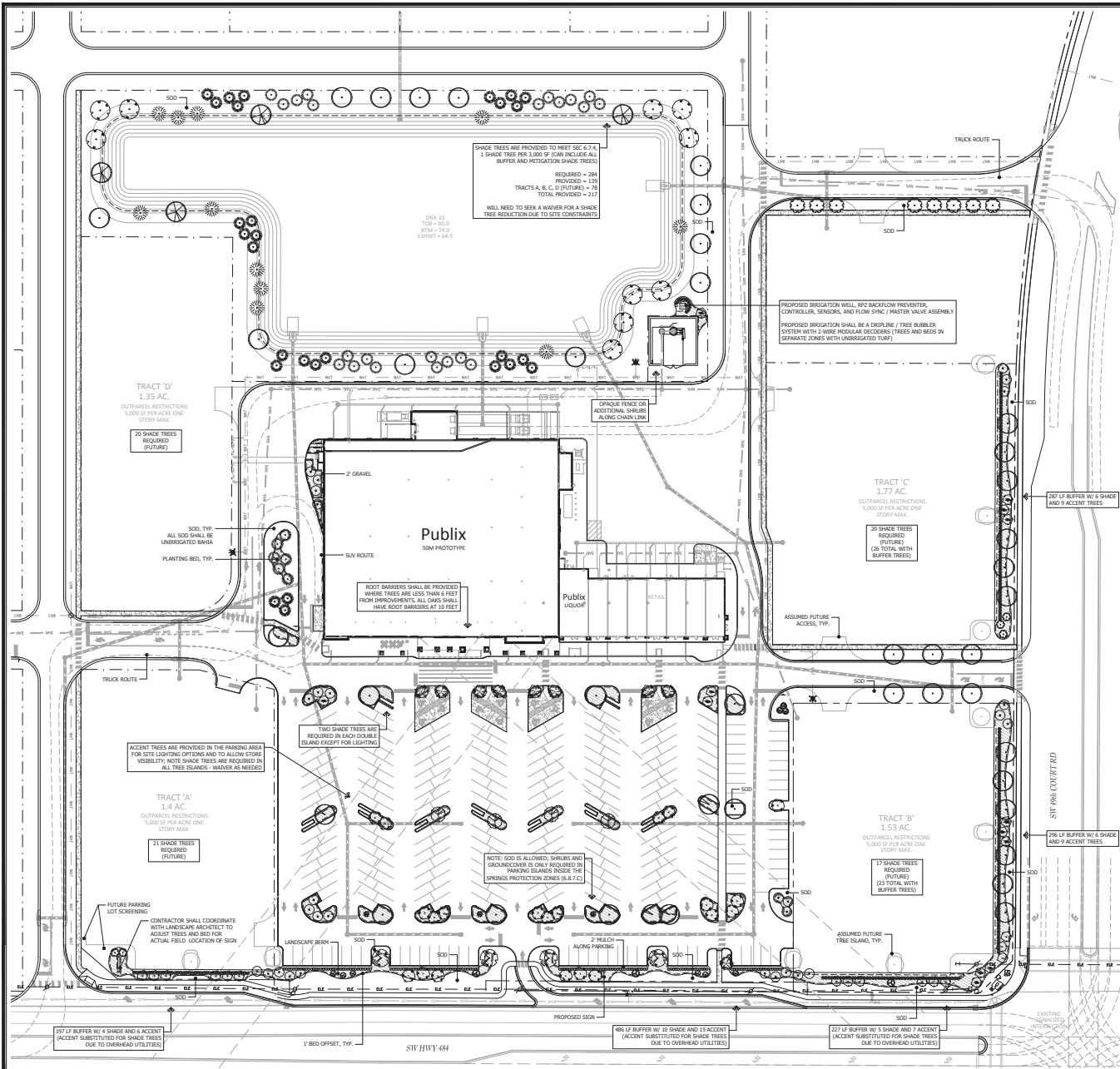


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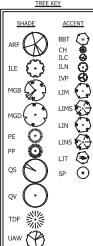
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### SAMPLE PLANT LIST

PUBLIX DIAMOND A SHOPPING CENTER		
Key	Botanical Name	Common Name
<b>Trees</b>		
ABF	Acer nigrum 'Purpureum'	Flame Red Maple
BBT	Celtis occidentalis 'Variegata'	Bottlebrush, tree Fern
CH	Chamisaca humilis	European Fan Palm
DC	Decasperus 'Toucan'	Oak Leaf Holly
EE	Elaeagnus	Elaeagnus
EE	Elaeagnus 'Gilt Edge'	Elaeagnus
EE	Elaeagnus 'Irene'	Elaeagnus
EP	Diospyros 'Teakwood'	Winged Yew Holly
LNH	Ligustrum ovalifolium 'Aureum'	Golden Privet
LNS	Ligustrum ovalifolium 'Makagal'	Cryste Myrtle, lavender standard
LNS	Ligustrum ovalifolium 'Nechita'	Cryste Myrtle, white
LNS	Ligustrum ovalifolium 'Nechita'	Cryste Myrtle, white standard
LIT	Ligustrum japonicum	Ligustrum, tree fern
MZG	Magnolia grandiflora 'Brook's Brown Beauty'	Bruden's Brown Beauty Magnolia
MZG	Magnolia grandiflora 'D.L. Blanchard'	D.L. Blanchard Magnolia
NC	Nauclea obliqua	Stinkwood
PF	Prunus	Japanese Plum
QS	Quercus shumardii	Shumard Oak
QV	Quercus virginiana	Live Oak
SP	Sabal juncea	Sabal Palm
TD	Tetradenia distichum	Bald Cypress
UDG	Ulmus alata 'Winged'	Winged Elm
<b>Shrubs, Grasses &amp; Groundcovers</b>		
AA	Agave attenuata	Lily-of-the-Nile
BAK	Bambusa multiplex 'Alphonse-Karr'	Bamboo
BBZ	Callicarpa 'Little John'	Sweet Bellsprivet
CB	Calycanthus floridus	Spice Bush
CDK	Cordyline australis 'Queen Emma'	Crown of the red
CTV	Davallia solida 'Variegata'	Variegated Plant Lily
DV	Davallia solida	African Lily, white
GG	Glycyrrhiza glabra	Thyrilla
HPO	Hamelia patens 'Compacta'	Downy Firebush
KS	Kava cornuta 'Korona' (var)	Downy Burford Holly
SV	Saxifraga	Yaupon Holly
ZVS	Zizaniopsis 'Stokes Dwarf'	Schling's Dwarf Yaupon Holly
ZCP	Zuppania chinensis 'Variegata'	Princess's Juniper
LAC	Lantana camara 'Nancy'	Leather Leaf
LC	Laurus nobilis 'Variegata'	Variegated Bay
LG	Ligustrum apiculatum	Ligustrum
LM	Liriope muscari 'Tennale Goldstar'	Emerald Gagea Liriope
LSD	Lysimachia nummularia 'Sunshine'	Sunshine Lysimachia
MC	Muhlenbergia capillaris	Muhly Grass
NDN	Nonnea dominica 'Selkirk'	Chewson Nonnea
PC	Plumbago auriculata	Cap Plumbago 'Imperial Blue'
PPD	Prostanthera macrantha 'Pringlei'	Pringle's Dwarf Japanese Mint
PTP	Pittosporum tenuifolium	Variegated Pittosporum
REZ	Rubus esculentus	Flowering Plant
RF	Rubus fruticosus 'Mira'	Juliet Rubus, white
RWZ	Rubus 'Taffeta'	Double Red Knock Out Rose
SPB	Spartina bakeri	Congressman
SGN	Senecio repens	Sea Pimpernel, green
TAD	Thlaspiospermum atratum 'Mimosa'	Dwarf Creeping Jeanne
TDH	Thymus daedalensis	Falafaltheta Grass
TV	Tulipa violacea	Society Garlic
VO	Viburnum odoratissimum	Sweet Viburnum
VS	Viburnum suspensum	Sanderson Viburnum
VW	Viburnum obvillosum	Walkers Viburnum
WV	Viburnum x 'W.M. Skidmore's Delight'	Chester Walkers Viburnum
ZP	Zantedeschia	Cookle
<b>Soil &amp; Miscellaneous Items</b>		
SOD	Untreated	Argentine Bahia
SOIL	Topsoil	Topsoil



### MARION COUNTY REQUIREMENTS

**Tillman & Associates**  
ENGINEERING, LLC. —  
TILLMAN ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL  
1720 SE 16th Ave., Bldg. 100, Ocala, FL 34471  
Office: (352) 387-4540 Fax: (352) 387-4545

REVIEWS

DATE

OVERALL LANDSCAPE PLAN

MAJOR SITE PLAN  
PUBLIX DIAMOND A SHOPPIN  
MARION COUNTY, FLORIDA

DATE 6/13/2024  
DRAWN BY \_\_\_\_\_  
CHKD. BY JRP  
JOB NO. 24-9040

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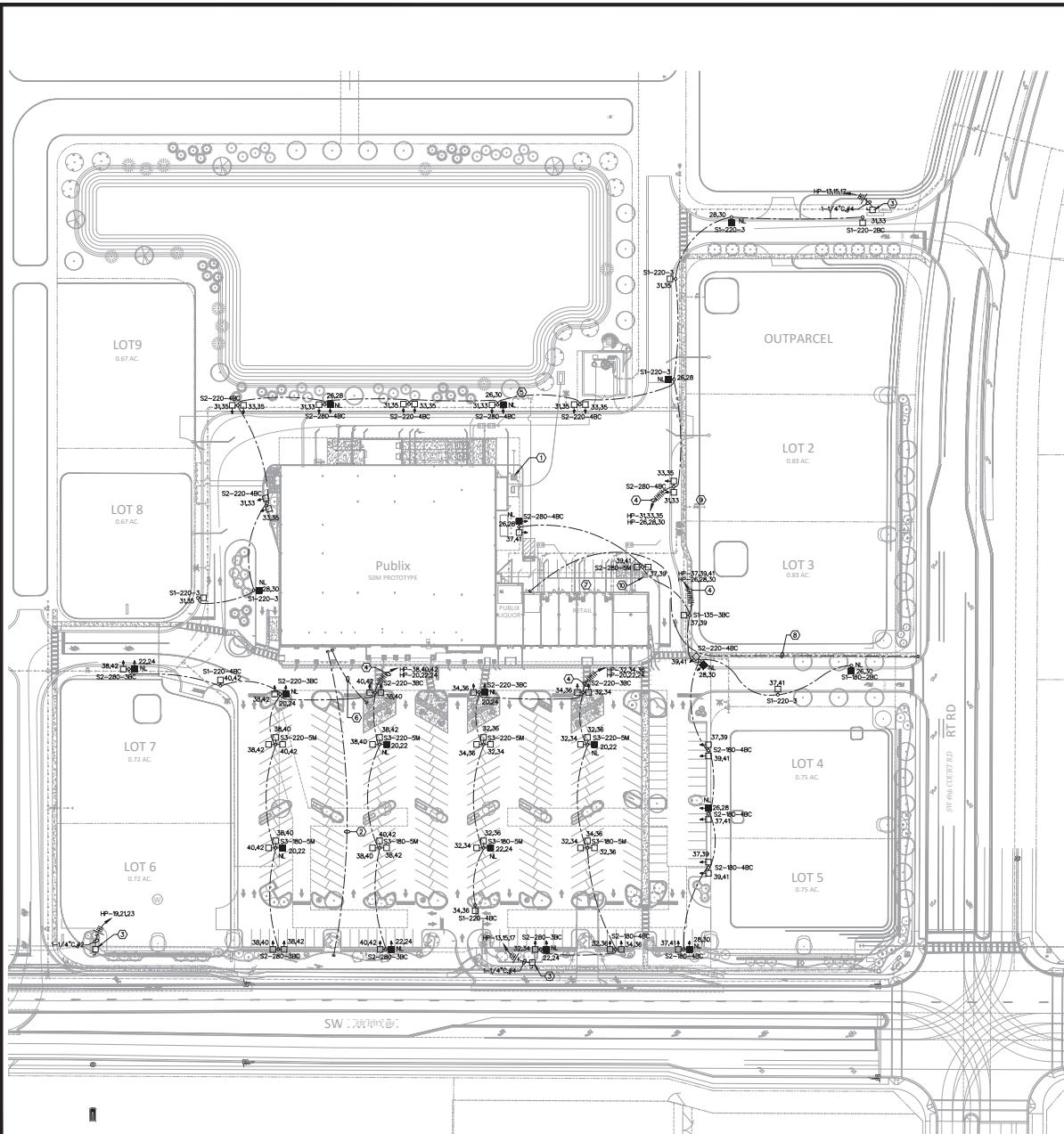
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ED PROFESSIONAL

NOT VALID UNLESS SIGNED AND SEALED BY AUTHORIZED PROFESSIONAL







 ELECTRICAL SITE PLAN  
SCALE: 1"=50'-0"

Fixture Schedule						Wattage
STN	MANUFACTURER	CATALOG NUMBER	LAMPS	MFG.	REMARKS	
S1-130-3C	BEACON	(1) WPL-44L-135-4C-5-SC	LED BY MFR.	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 3 DISTRIBUTION WITH BACK SHIELD, VERIFY COLOR WITH ARCHITECT.	135
S1-180-2C	BEACON	(1) WPL-48L-180-4C-2-SC	LED BY MFR.	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 2 DISTRIBUTION WITH BACK SHIELD, VERIFY COLOR WITH ARCHITECT.	180
S1-220-3C	BEACON	(1) WPL-49L-220-4C-2-SC	LED BY MFR.	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 2 DISTRIBUTION WITH BACK SHIELD, VERIFY COLOR WITH ARCHITECT.	220
S1-220-3	BEACON	(1) WPL-49L-220-4C-3	LED BY MFR.	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 3 DISTRIBUTION VERIFY COLOR WITH ARCHITECT.	220
S1-220-4C	BEACON	(1) WPL-49L-220-4C-4-SC	LED BY MFR.	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 4 DISTRIBUTION WITH BACK SHIELD, VERIFY COLOR WITH ARCHITECT.	220
S2-180-4C	BEACON	(2) WPL-49L-180-4C-4-SC	LED BY MFR.	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 4 DISTRIBUTION WITH BACK SHIELD, VERIFY COLOR WITH ARCHITECT.	180 EACH 45W
S2-220-3C	BEACON	(2) WPL-49L-220-4C-3-SC	LED BY MFR.	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 3 DISTRIBUTION WITH BACK SHIELD, VERIFY COLOR WITH ARCHITECT.	220 EACH 45W
S2-220-4C	BEACON	(2) WPL-49L-220-4C-4-SC	LED BY MFR.	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 4 DISTRIBUTION WITH BACK SHIELD, VERIFY COLOR WITH ARCHITECT.	220 EACH 45W
S2-260-3C	BEACON	(2) WPL-49L-260-4C-3-SC	LED BY MFR.	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 3 DISTRIBUTION WITH BACK SHIELD, VERIFY COLOR WITH ARCHITECT.	260 EACH 45W
S2-260-4C	BEACON	(2) WPL-49L-260-4C-4-SC	LED BY MFR.	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 4 DISTRIBUTION WITH BACK SHIELD, VERIFY COLOR WITH ARCHITECT.	260 EACH 45W
S2-280-5W	BEACON	(2) WPL-49L-280-4C-5M	LED BY MFR.	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 5M LOW DISTRIBUTION VERIFY COLOR WITH ARCHITECT.	280 EACH 45W
S3-180-5W	BEACON	(3) WPL-49L-180-4C-5M	LED BY MFR.	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 5M LOW DISTRIBUTION VERIFY COLOR WITH ARCHITECT.	180 EACH 45W
S3-220-5W	BEACON	(3) WPL-49L-220-4C-5M	LED BY MFR.	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 5M LOW DISTRIBUTION VERIFY COLOR WITH ARCHITECT.	220 EACH 45W
POLE	ACORD	DURATESS PRECAST SPECIALTIES			DIRECT BURIAL	

(1) CONTRACTOR SHALL BE REQUIRED TO SUBMIT CALCULATIONS FROM THE POLE MANUFACTURER, SEALED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF FLORIDA, TO DETERMINE WIND LOAD CAPACITY OF EACH DAY ONE POLE AND FIXTURE CONSTRUCTION.

NOTES

1. APPROXIMATE LOCATION OF PUBLIC UTILITY COMPANY PAD MOUNTED POLE FOR 120/208 VOLT SECONDARY. EC SHALL COORDINATE CONCRETE PAD INSTALLATION WITH UTILITY COMPANY AND PUBLIC UTILITY CONTRACTOR.
2. APPROXIMATE LOCATION OF EC FOR PUBLIC TELEPHONE. EC SHALL PROVIDE CONDUITS WITH PULL-STRINGS AND EXTEND TO EDGE OF PROPERTY AS SHOWN FOR TELEPHONE CONDUCTORS. EC SHALL EXTEND CONDUITS TO WITHIN 5' OF BUILDING IN DIRECTION SHOWN. CONTRACTOR TO COORDINATE WITH PUBLIC TELEPHONE CONTRACTOR. PUBLIC TELEPHONE CONDUCTORS SHALL ALSO EXTEND FROM PUBLIC WITH INTERIOR CONTRACTOR. EC SHALL ALSO PROVIDE CONDUITS (1" I.D.) WITH PULL-STRING IN A SEPARATE TRENCH FROM FOR DATA.
3. APPROXIMATE LOCATION OF PYLON SIGN. PROVIDE 30' 3/INF/NEMA 3R DISCONNECT AT SIGN FOR GFI. ROUTE CONDUCTORS THRU LIGHTING CONTRACTOR. PUBLIC TELEPHONE CONTRACTOR TO PROVIDE CONDUITS AND PULL-STRINGS TO SIGN. CONTRACTOR TO COORDINATE WITH SIGN CONTRACTOR PRIOR TO ROUGH-IN.
4. ROUTE CIRCUITS VIA LIGHTING CONTRACTOR.
5. APPROXIMATE LOCATION OF PUBLIX DOUBLE DETECTOR CHECK VALVE. PROVIDE 1/2" PVC CIRCUIT AND FIRE ALARM CONDUCTORS IN 3/4" C TO PUBLIX FIRE ALARM PANEL.
6. EXTEND (2) C WITH PULL-STRING FROM WITHIN 5' OF BUILDING TO LANDSCAPING ISLAND SHOWN, FOR FUTURE USE.
7. APPROXIMATE LOCATION OF PANEL "WP".
8. APPROXIMATE LOCATION OF PVC FOR RETAIL TELEPHONE. EC SHALL PROVIDE CONDUITS AND PULL-STRINGS AND EXTEND TO EDGE OF PROPERTY AS SHOWN FOR TELEPHONE CONDUCTORS.
9. APPROXIMATE LOCATION OF RETAIL DOUBLE DETECTOR CHECK VALVE. PROVIDE TAMPER SWITCH AND FIRE ALARM CONDUCTORS IN 3/4" C TO RETAIL SPRINKLER MONITORING PANEL.
10. APPROXIMATE LOCATION OF PUBLIX FIRE ALARM CONTRACTOR TO COORDINATE CONCRETE PAD INSTALLATION WITH UTILITY COMPANY.

GENERAL NOTE

1. ALL SITE LIGHTING CONDUCTORS SHALL BE #10 AWG IN 3/4" C, UON.

 CUHACI  
PETERSON

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Suite #200  
Maitland, FL 32751  
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Architect/Engineer Seal  
No. 74042  
State of Florida  
Daniel Antoniuk Sutkay  
P.E. No. 74042

 COLWILL  
ENTERPRISES  
A HORNER COMPANY  
Consulting Engineers, Inc.  
Engineering Business No. 9021  
4730 East Adams Drive  
Tampa, FL 33605  
Tel: 813-241-2552  
www.colwillenterprises.com  
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Job Number: 51253

REVISION / ISSUE HISTORY  
REV DATE REVISION / ISSUE NAME  
A 05-23-2024 50th Public submittal

PROJECT NO. 20240616 DRAWN BY JS  
PERMIT SUB DATE CHECKED BY DAS

CLIENT  
Publix Super Markets, Inc

3300 Public Corporate Pkwy  
Lakeland, FL

PROJECT  
Ocala - Publix Canopy  
SW Hwy 444 & SW 40th CT RD  
Ocala, Florida

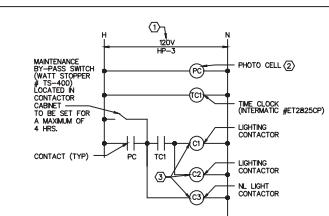
SHEET TITLE  
ELECTRICAL SITE PLAN

SHEET NO. ES1.0 REV A

PANEL HPC 120/208V, 3-PHASE, 4-WIRE 100A MCB						SURFACE MOUNTED NEMA 3R REED RELAY W/ WIRELESS STUDY (BUS AFC) FOR MIN. AFC REQUIREMENT PROVIDE WITH GROUND BAR						
CKT	DESCRIPTION	TRIP POLE	VOLT.	KVA	CODE	CKT	DESCRIPTION	TRIP POLE	VOLT.	KVA	CODE	
1	SPRINKLER PANEL (1)	20	1	120	0.7	7	2	LIGHTING	20	1	120	0.1
2	CONTACTOR/PC	20	1	120	0.1	4	CU-HA4U4	15	2	208	2.5	7
5	EXTERIOR LIGHTING	20	1	120	0.3	1	6					
7	EXTERIOR LIGHTING	20	1	120	0.3	1	8	SPARE	20	1	120	
9	SPRINKLER REAR ROOM	20	1	120	0.4	2	10	SPARE	20	1	120	
10	INTEGRATED CONTROLLER (1)	20	1	120	0.5	3	12	SPARE	20	1	120	
13	SIGN	20	1	120	1.2	1	14	SPARE	20	1	120	
15	SIGN	20	1	120	1.2	1	16	SPACE				
17	RECEIPT/PC	20	1	120	0.2	5	18	SPACE				
19	SIGN	20	1	120	1.2	1	20	SITE H. LIGHTING	30	3	208	2.1
21	SIGN	20	1	120	1.2	1	22	SPACE				
23	CONTACTOR	20	1	120	0.2	5	24	SITE H. LIGHTING	30	3	208	2.1
27	SPACE	1						26				
29	SPACE	1						30				
31	SITE LIGHTING	30	3	208	3.5	1	32	SITE LIGHTING	30	3	208	3.5
33	—	—						34				
37	SITE LIGHTING	30	3	208	2.5	1	38	SITE LIGHTING	30	3	208	4.0
39	—	—						40				
41	—	—						42				

LOAD CODES	CONNECTED LOAD	DEMAND	DEMAND LOAD
1 LIGHTING	23	2.5	2.9
2 PC	0	0.2	0.2
3 AIR CONDITIONING	0	0.1	0.1
4 COOLING	0	0.2	0.2
5 RECEPTACLES	0	0.2	0.2
6 KITCHEN EQUIPMENT LOADS	0	0.2	0.2
7 MSC NON-CONTINUOUS LOADS	0	0.2	0.2
8 KITCHEN EQUIPMENT (PEAKS)	0	0.2	0.2
9 HOTEL ROOM LOADS	0	0.2	0.2
	—	—	—
	29	—	34
		0.1 LESS SMALLER OF HEAT/AC	
		34.5 TOTAL DEMAND LOAD	
		VOLTAGE 208	
		PHASE 3	
		96 AMPS	

NOTES:  
 (1) PROVIDE A BREAKER TIE FOR ALL BRANCH CIRCUITS THAT ARE PART OF A MULTIVIRE BRANCH CIRCUIT METERON.



LIGHTING CONTROL DIAGRAM

SCALE: NONE

CONTACTOR SCHEDULE					
CONTACTOR	CABINET	DESIGNATION	# OF POLES	CIRCUITS CONTROLLED	CONTROLLED BY
LCC	C1	12	HP-31, 33, 35, 37, 39, 41	PC ON / TC OFF	
	C2	12	HP-5, 7	PC ON / TC OFF	
	C3	12	HP-22, 24, 26, 28	PC ON / PC OFF	

 GENERAL NOTES:  
 1. REFER TO DRAWINGS FOR UNCONTROLLED CIRCUIT REQUIREMENTS, SOME CIRCUITS MAY BE PARTIALLY CONTROLLED.
 

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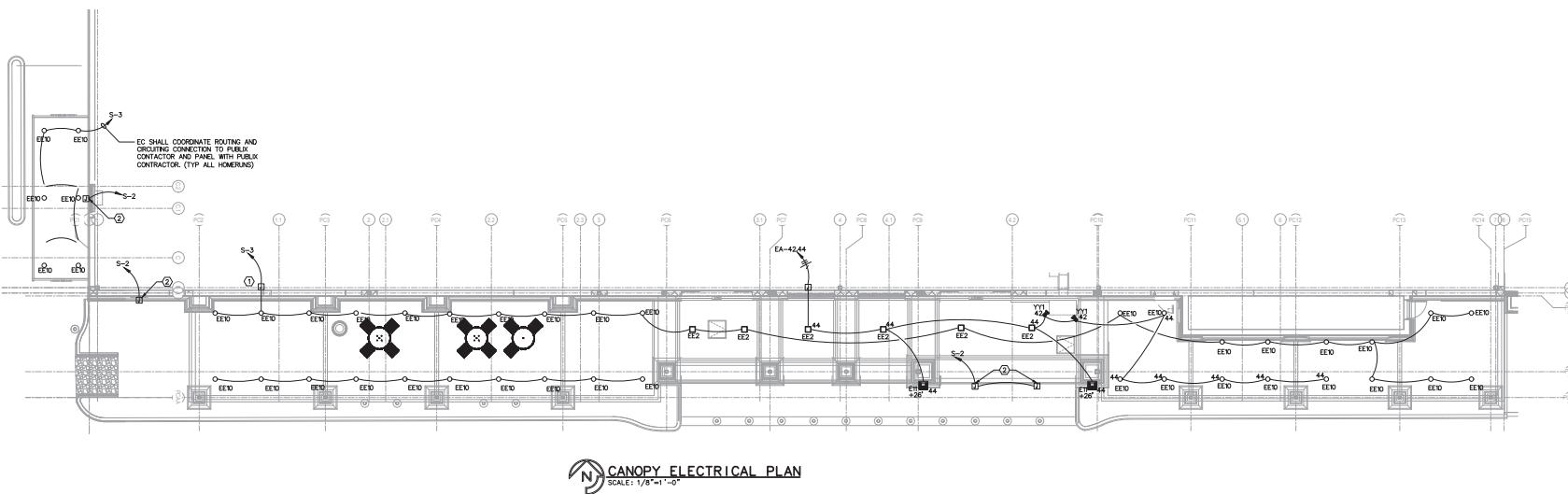
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 CANOPY ELECTRICAL PLAN  
SCALE: 1/8"=1'-0"

### Fixture Schedule

MARK	LUMINANCE	WATTAGE	MANUF.	CATALOG NUMBER	DESCRIPTION	MOUNTING	QTY	POWER SUPPLY
EE2	55	SEACON	GLOBAL-48-WH/70W/10W/WHIT	10W LED RECESSED CL. MED DISTRIBUT	RECESSED	1	LED DRIVER	
EE10	24	INDY	IRNA 23A 35K 40V 0.4A 120V 277V PC	200LUMENS LED RECESSED DOWN LIGHT	RECESSED	1	LED DRIVER	
E11	136	SEACON	TRI-CHEL 136-WH/70W/WHITE	TYPE II ON DISTRIBUTION LED WALLPACK WHITE COLOR	WALL MTD.	1	LED DRIVER	
YY1	27	HOBELL	PM-12	ATMOSPHERIC WASH LED - WHITE	CEILING MOUNT	NA	LED DRIVER	

\* INDICATES UL LISTED FIXTURE SUITABLE FOR WET/DAMP LOCATION TO COMPLY WITH N.E.C. 410-4.

NOTES	
1. APPROXIMATE LOCATION OF PANELS 'S' AND 'EA'.	
2. PROVIDE JUNCTION BOX AND 3/4" EMPTY CONDUIT EXTEND INTO BULK SPACE FOR FUTURE SIGN CIRCUITING. COORDINATE JUNCTION BOX LOCATIONS WITH SIGN INSTALLER PRIOR TO ROUGH-IN.	
GENERAL NOTES	
1. ALL CONDUCTORS SHALL BE #10 AWG IN 3/4" C. UCN.	
2. EC SHALL VERIFY ALL LIGHT FIXTURE LOCATIONS WITH ARCHITECT PRIOR TO ROUGH-IN.	
3. ALL FIXTURES TO BE SUPPLIED AND INSTALLED BY EC.	
4. NO SUBSTITUTIONS ALLOWED.	

REVISION / ISSUE HISTORY
A 05-23-2024 50% Public submittal

PROJECT NO	DRAWN BY
2024016	AS

PERMIT SUB DATE	CHECKED BY
	DAS

PROJECT
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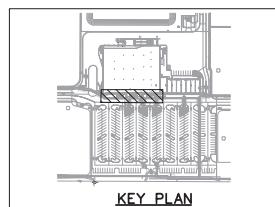
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SW Hwy 444 & SW 40th CT RD  
Ocala, Florida

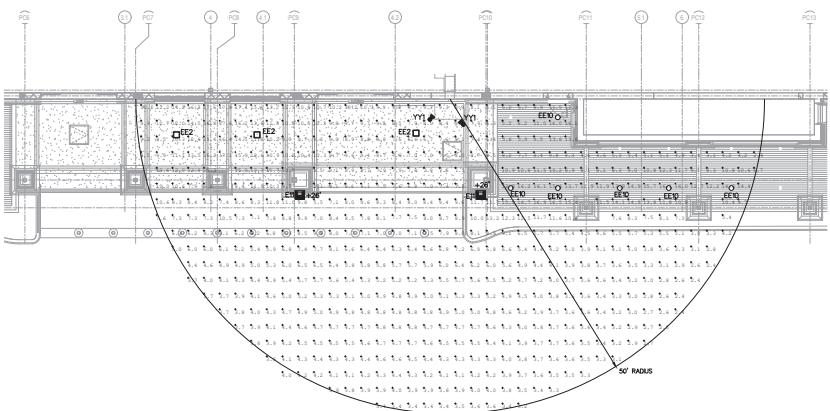
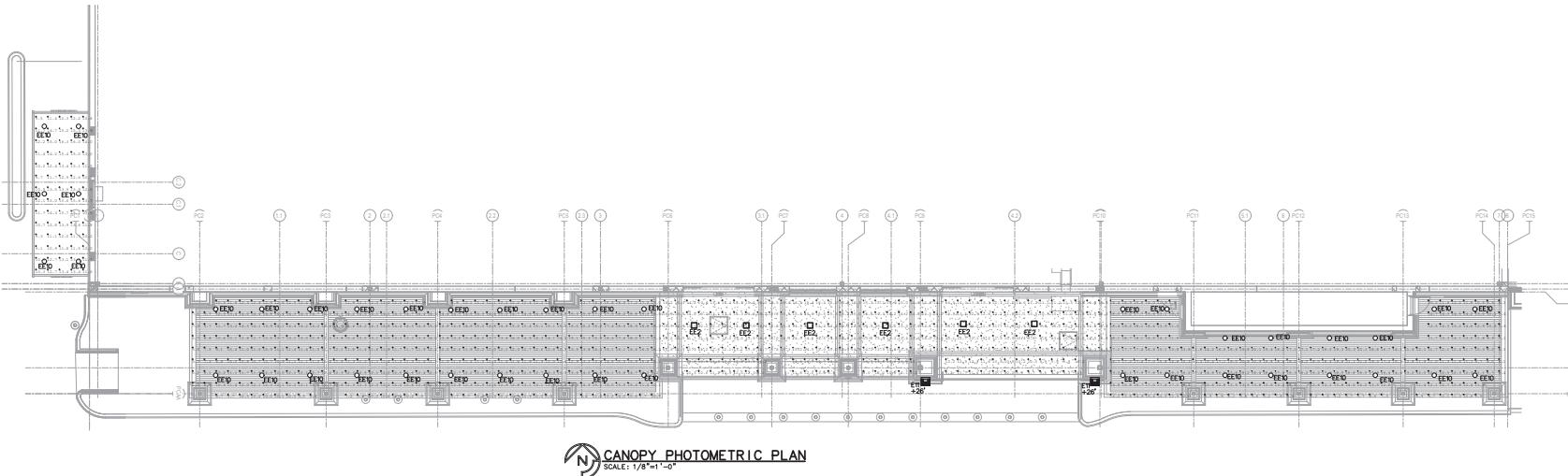
CLIENT  
Publix Super Markets, Inc  
3300 Public Corporate Pkwy  
Lakeland, FL

SHEET TITLE  
CANOPY ELECTRICAL PLAN

SHEET NO  
FE1.0

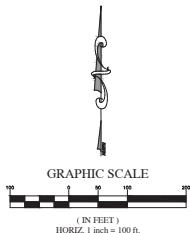
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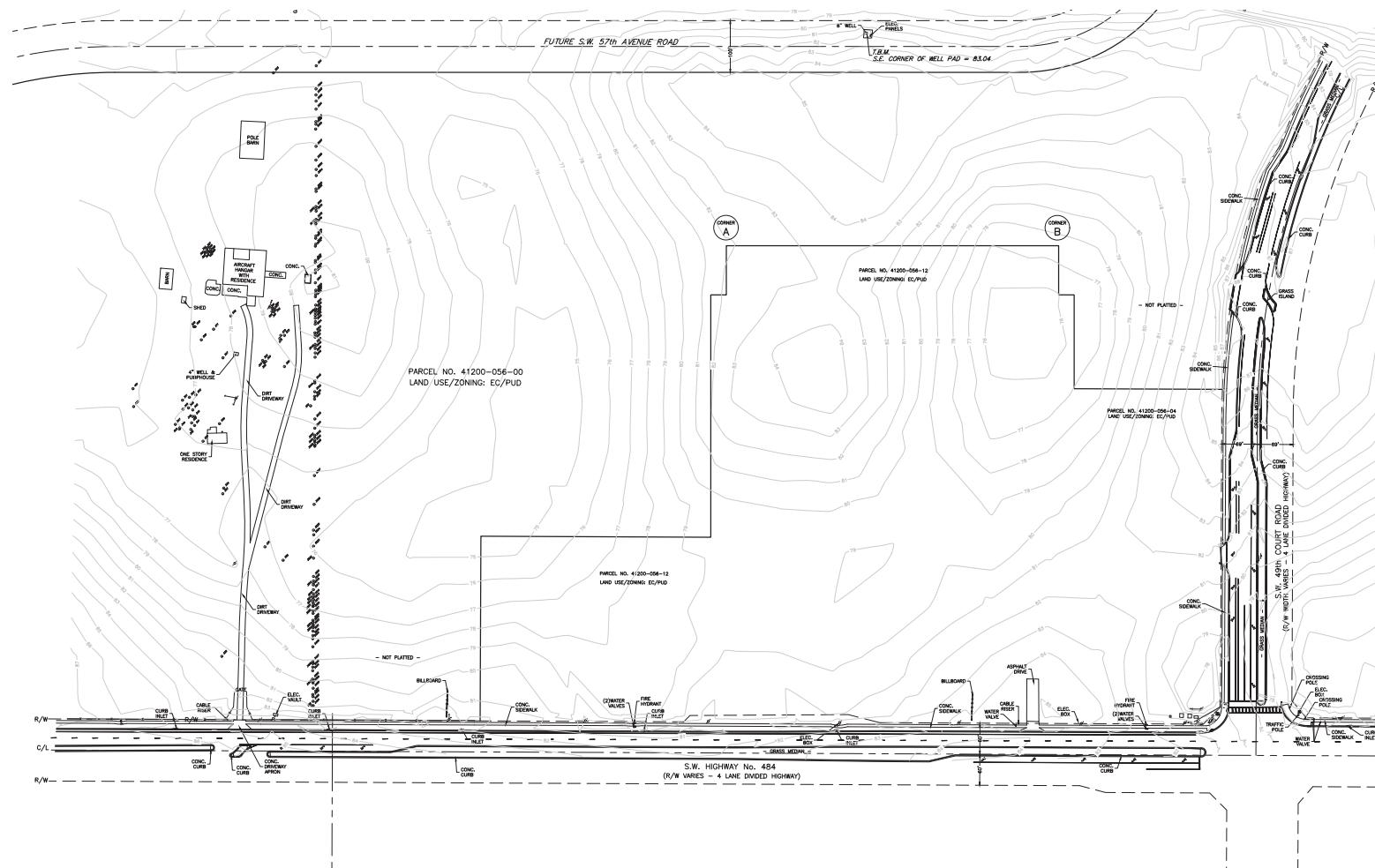
Luminaire Schedule					
Location:	ANR	Type	Lum	Max/Min	Location
Dynamic:	E22	8.000	OLG-24L-55-4K7-50W-12V		
	E21	8.000	OLG-24L-13-4K7-50W-12V		
	E20	8.000	OLG-24L-13-4K7-50W-12V	400000.00	MS CSS
	PC1	8.000	OLG-24L-55-4K7-50W-12V		
	PC2	8.000	OLG-24L-55-4K7-50W-12V		
	PC3	8.000	OLG-24L-55-4K7-50W-12V		
	PC4	8.000	OLG-24L-55-4K7-50W-12V		

Calculation Summary					
Location:	ANR	Units	Avg	Max	Min
Dynamic-Base	PC1	1	13.21	23.1	5.7
Dynamic-Base	PC2	1	13.21	23.1	5.7
Dynamic-Base	PC3	1	13.21	23.1	5.7
Dynamic-Base	PC4	1	13.21	23.1	5.7
Dynamic-Base	E20	1	2.32	3.70	1.70
Dynamic-Base	E21	1	2.32	3.70	1.70
Dynamic-Base	E22	1	2.32	3.70	1.70
Dynamic-Base	PC1	1	2.32	3.70	1.70
Dynamic-Base	PC2	1	2.32	3.70	1.70
Dynamic-Base	PC3	1	2.32	3.70	1.70
Dynamic-Base	PC4	1	2.32	3.70	1.70
Dynamic-Base	E20	1	2.32	3.70	1.70
Dynamic-Base	E21	1	2.32	3.70	1.70
Dynamic-Base	E22	1	2.32	3.70	1.70
Dynamic-Base	PC1	1	2.32	3.70	1.70
Dynamic-Base	PC2	1	2.32	3.70	1.70
Dynamic-Base	PC3	1	2.32	3.70	1.70
Dynamic-Base	PC4	1	2.32	3.70	1.70
Dynamic-Base	E20	1	2.32	3.70	1.70
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Dynamic-Base	PC4	1	2.32	3.70	1.70
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Dynamic-Base	PC4	1	2.32	3.70	1.70
Dynamic-Base	E20	1	2.32	3.70	1.70
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Dynamic-Base	E22	1	2.32	3.70	1.70
Dynamic-Base	PC1	1	2.32	3.70	1.70
Dynamic-Base	PC				



#### GRAPHIC SCALE

(IN FEET)  
HORIZ. 1 inch = 100 ft



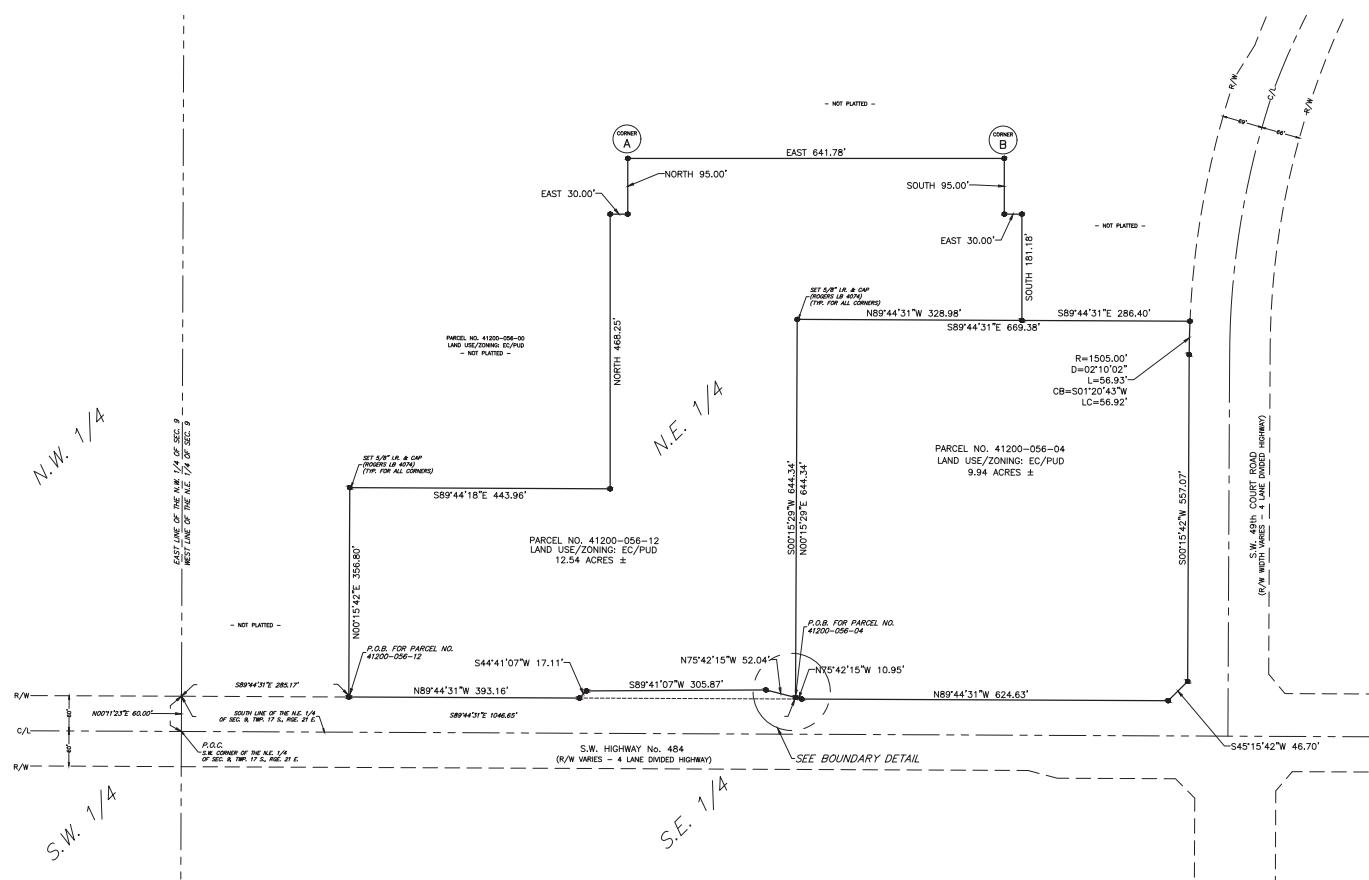
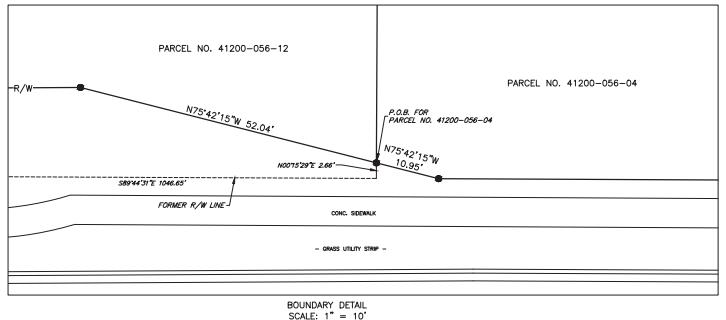
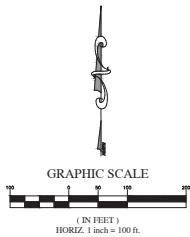
RODNEY K. ROGERS DATE  
PROFESSIONAL SURVEYOR & MAPPER  
REGISTRATION NO. 5274  
STATE OF FLORIDA

A TOPOGRAPHIC SURVEY  
FOR  
84 ROAD RUNNER RESOURCES, LL

**ROGERS ENGINEERING, LLC**  
 Civil Engineering & Land Surveying   
 1105 S. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 673-0714 • Fax (352) 670-7074

JOB No.  
24-41200-056-04  
DATE  
3-19-2024  
SCALE  
1" = 100'  
SHEET  
1 OF 1





RODNEY K. ROGERS DATE  
PROFESSIONAL SURVEYOR & MAPPER  
REGISTRATION NO. 5274  
STATE OF FLORIDA

A BOUNDARY & TOPOGRAPHIC SURVEY  
FOR

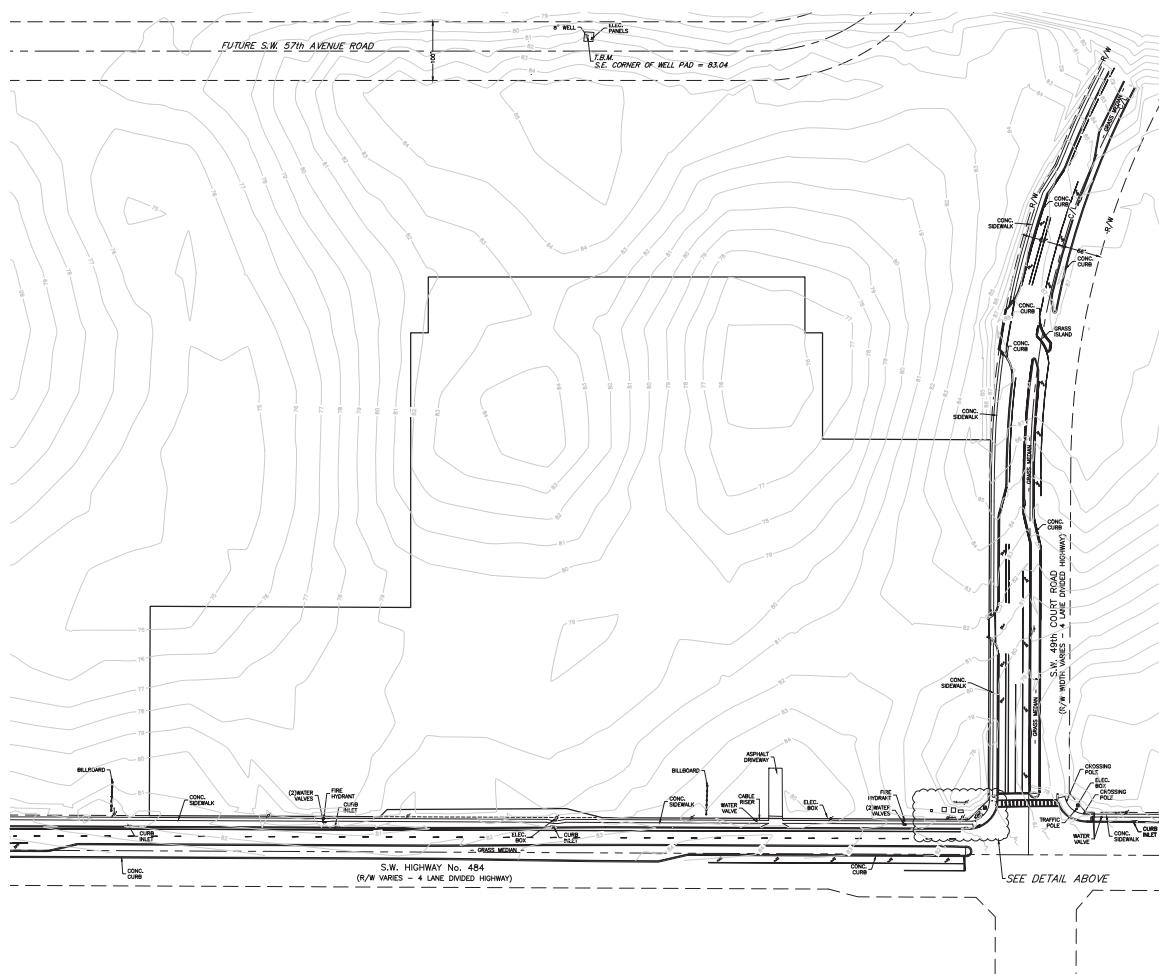
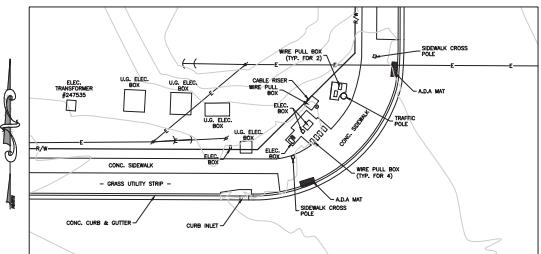
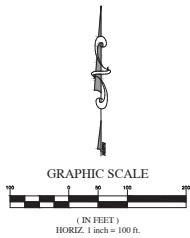
# ROGERS ENGINEERING, LLC

*Civil Engineering & Land Surveying*

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RODNEY K. ROGERS DATE \_\_\_\_\_  
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REGISTRATION NO. 5274  
STATE OF FLORIDA

A BOUNDARY & TOPOGRAPHIC SURVEY  
FOR

# ROGERS ENGINEERING, LLC

Civil Engineering & Land Surveying

# ROGERS ENGINEERING, LLC

Civil Engineering & Land Surveying

A BOUNDARY & TOPOGRAPHIC SURVEY  
FOR  
JOHN NELSON  
24, 41200-05  
DATE  
3-19-2024  
SCALE  
1" = 100'

NAME	SESSION

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