

PROJECT NAME: DIAMOND "A" SHOPPING CENTER IMPROVEMENT PLAN

PROJECT NUMBER: 2024080096

APPLICATION: IMPROVEMENT PLAN #31954

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.9/10 - Proposed Drainage Right-of-Way/Easements
STATUS OF REVIEW: INFO
REMARKS: Easements required for discharge will need to be in place prior to the final plat approval for this project.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.20 - Stormwater Infrastructure Supports Phasing
STATUS OF REVIEW: INFO
REMARKS: Stormwater improvements must be in place to support each phase of development at time of phase completion.
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.B(8) - Calculation & Plan Consistency
STATUS OF REVIEW: INFO
REMARKS: This criteria to be reviewed with resubmittal.
- 4 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 5 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.
- 6 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: INFO
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.
- 7 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.C - Name, address, phone number, and signature of owner and applicant on front sheet
STATUS OF REVIEW: INFO
REMARKS: 2/18/25-Phone number added
1/13/25- STILL Missing phone number; Signature due prior to final approval
10/15/24- Missing phone number; Signature due prior to final approval
- 8 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.E & 6.2.1.A - The name, address, phone number, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet
STATUS OF REVIEW: INFO
REMARKS: 10/15/24-Signature due prior to final approval

- 9 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.F - Licensed professional certification on cover sheet with signature and seal on all sheets prior to plan approval
STATUS OF REVIEW: INFO
REMARKS: 10/15/24-Signature due prior to final approval
- 10 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, conditions, date of approval
STATUS OF REVIEW: INFO
REMARKS: 1/13/25-add waivers if requested in future
10/15/24-Signature due prior to final approval (incorrect direction)
- 11 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: Establishment of an MSBU is required prior to final plat approval. Contact the MSTU Department at (352)438-2650 to create an MSBU or obtain a waiver from BCC via DRC.
- 12 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2.C.2(e) - Grease Trap, FOG Worksheet
STATUS OF REVIEW: INFO
REMARKS: 2.18.25 - 1250 MAX GPD as discussed. Previous comment: See changemarks
- 13 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.4 - Water (irrigation) Capital Charges and Flow Rates - total irrigated area identified
STATUS OF REVIEW: INFO
REMARKS: 2.18.25 Current utility sheet 9.03 shows an irrigation well. After plan approval, if the well is changed to MCU irrigation, a revised utility sheet will be required to be submitted through Development Review, and subjected to additional review fees. Irrigation meters require calculation of total irrigated square footage of landscaped area for capacity charges prior to any irrigation meter request through MCU customer service.
- 14 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities
STATUS OF REVIEW: INFO
REMARKS: 2.18.25 - Review Fee(s) for this revision/ review \$130.00. Utilities Plan Review Fee: Fee(s) can be paid by calling 352-671-8686 or visiting the Development Review Office at 412 SE 25th Ave, Ocala, FL 34471. Reference AR# 31954
- 15 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities comments
STATUS OF REVIEW: INFO
REMARKS: 2.18.25 - Previous Comment: 6.14.4 - Water/Sewer Capital Charges - all cap fees will be invoiced & due before any building permits will be released by MCU Permitting.
- 16 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: Central Sewer/Central Water

17 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: Additional Zoning comments

STATUS OF REVIEW: INFO

REMARKS: Need PUD approval number on cover sheet (#20191107Z)

18 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Improvement Plan

STATUS OF REVIEW: INFO

REMARKS: IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

19 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.12.2 - Right-of-way

STATUS OF REVIEW: NO

REMARKS: 2/25/25 - 1) Insufficient right-of-way dedication shown. A minimum dedication of 9' is required the entire length of the property boundaries adjoining SW HWY 484. 2) Public sidewalk must be included within the right-of-way dedication. Sidewalks may only be routed beyond the right-of-way through easement and only if approved by DRC.

1/14/25 - Ensure the right of way dedication includes the curb ramps and the full width of the sidewalk leading up to those ramps.

10/18/24 - Right of Way dedication is required for sidewalks at right turn lanes along CR484.

20 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 6.4.4.A - Project is consistent with preliminary plat

STATUS OF REVIEW: NO

REMARKS: Pre-plat (AR 31953) is under review and not approved. This item will remain as NO until the pre-plat is approved.

21 DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: 2.12.22 - All lots identified

STATUS OF REVIEW: NO

REMARKS: Sheet 07.01 has Lot 1 incorrectly labeled as Tract A.

22 DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: 2.12.28 - Correct road names supplied

STATUS OF REVIEW: NO

REMARKS: It was decided on the McGinley North Commercial Phase 1 Prelim to assign a quadrant designation to the road running north/south on the west side of this project. Labeled that road as SW 53rd Avenue on Sheets 05.01, 06.01 & 06.02.

23 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.4 - Shade tree requirements

STATUS OF REVIEW: NO

REMARKS: 1. Provide approval letter to allow required trees to be planted with future improvements on Lots 2,3,4,5,6,7,8 &9 as shown on sheets L4.01 & L4.02

24 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.5 - Landscape area requirements for residential and mixed use developments

STATUS OF REVIEW: NO

REMARKS: Provide Landscape Area calculations showing minimum 20% of the developed area is landscaped

25 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.6 - Buffers

STATUS OF REVIEW: NO

REMARKS: 1. Sheets L4.02 & L4.03 appear to be missing plant labels for some material.

26 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.8 - Building landscaping

STATUS OF REVIEW: NO

REMARKS: Landscape plantings shall be provided along the public view sides of all proposed structures to reduce the monotony of large blank walls, reduce heat gain and glare, and enhance the aesthetic appearance of the building. B.Landscape areas shall be provided adjacent to or within 25 feet from the building walls and shall extend along 60 percent of the total length of the wall, excluding those areas required for access to the building. C.Landscape areas shall be a minimum of five feet wide allowing for a minimum distance of two feet from the façade to the innermost plants. Waiver required to not provide building landscape

27 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.9.3 - Irrigation design standards

STATUS OF REVIEW: NO

REMARKS: Valve labels are not clear on what is indicated, please adjust arrows or location

28 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: Additional Landscape comments

STATUS OF REVIEW: NO

REMARKS: Landscape sheet for the Northwest corner is missing - Sheet index shows Sheet number 5 twice. Please submit missing plan sheet.



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

AR 31954

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 3/10/2025 Parcel Number(s): 41200-056-04; 41200-056-12 and portion Permit Number: AR# 31954 (Imp plan)

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Diamond "A" Shopping Center Commercial ☒ Residential ☐
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): AAW, LLC, 484 ROAD RUNNER RESOURCES LLC, & JOHN ALVAREZ INVESTMENT GROUP LLC
Signature: _____
Mailing Address: PO BOX 772169 City: Ocala
State: FL Zip Code: 34471 Phone # 352-875-6519
Email address: mattfabian@gmail.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Tillman and Associates Engineering LL Contact Name: Jeffrey McPherson
Mailing Address: 1720 SE 16th Ave Bldg 100 City: Ocala
State: FL Zip Code: 34471 Phone # 352-387-4540
Email address: Permits@tillmaneng.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 6.8.8- Building Landscape
Reason/Justification for Request (be specific): Applicant request waiver to not provide building landscape adjacent to the buildings. Architectural features including decorative parapets with breaks in elevation and store front canopies to be more visually appealing and not obstruct the views of the retail businesses. Landscape screening has been provided on the project boundaries and internal landscaping is provided within the parking and opened areas.

DEVELOPMENT REVIEW USE:

Received By Email Date Processed: 3/14/25 BM Project # 2024080096 AR # 31954
3/12/25

ZONING USE: Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes ☐ No ☐
Date Reviewed: _____ Verified by (print & initial): _____



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Section & Title of Code (be specific) 6.12.2 Right of Way
Reason/Justification for Request (be specific): applicant is requesting public Right of Way easement instead of public Right of Way dedication for the 8' sidewalk adjacent to the proposed turn lanes. A 6' right of way dedication is proposed along the right turn lanes to keep all roadway improvements within the Right of Way and the 8' sidewalk will run adjacent to the 20' wide 475A buffer easement that has provisions to allow that required walkway within the 475A buffer easment.

Section & Title of Code (be specific) 6.7.4 - Shade tree requirements
Reason/Justification for Request (be specific): Request is to allow required trees to be planted with future improvements on Lots 2,3,4,5,6,7,8 & 9 as shown on sheets L4.01 & L4.02 of the Landscape plans.

Section & Title of Code (be specific) _____
Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____
Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____
Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____
Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____
Reason/Justification for Request (be specific): _____

1. MARION COUNTY PUD - FILE #20191107Z (APPROVED 05-11-2021)
2. S.W.F.W.M.D. -
3. MARION COUNTY -
4. MARION COUNTY -
5. S.W.F.W.M.D. -
6. FDEP - POTABLE WATER -
7. FDEP - SANITARY SEWER -
8. FDEP - NPDES (By Others)

6.12.4 - PLAN AND PROFILE
APPLICANT REQUEST WAIVER. PER MARION COUNTY LDC, SEC 6.12.4, PLAN AND PROFILES ARE REQUIRED FOR ROADWAYS. THE PROPOSED ACCESS POINTS IN QUESTION ARE DRIVEWAYS, WHICH DO NOT REQUIRE PLAN AND PROFILES. AS DEMONSTRATED ON OUR GRADING PLANS, WE HAVE PROVIDED SUFFICIENT INFORMATION FOR CONSTRUCTION PURPOSES AND HAVE CONFIRMED THERE ARE NO UTILITY CONFLICTS, ETC.

WAIVER REQUESTED TO COMMENCE WORK PRIOR TO IMPROVEMENT PLAN APPROVAL AT THE DEVELOPER'S RISK. WE WOULD LIKE TO START SITE GRADING AND THE UTILITY ONCE FDEP PERMITS ARE OBTAINED.

APPLICANT REQUESTS WAIVER FOR THE APPROVAL OF PUBLIC DIAMOND "A" SHOPPING CENTER PRELIMINARY PLAT AND IMPROVEMENT PLAN APPROVAL PRIOR TO THE MASTER PLAN APPROVAL.

APPLICANT REQUESTS ELIMINATION OF THE REQUIREMENT FOR PROVIDING CROSS SECTIONS, AS DEMONSTRATED ON OUR GRADING PLANS, WE HAVE PROVIDED SUFFICIENT INFORMATION FOR CONSTRUCTION PURPOSES AND HAVE CONFIRMED THERE ARE NO UTILITY CONFLICTS, ETC. APPLICANT REQUESTS THE APPROVAL OF A DEVIATION LETTER.

APPLICANT REQUEST WAIVER TO NOT PROVIDE BUILDING LANDSCAPE ADJACENT TO THE BUILDINGS. ARCHITECTURAL FEATURE INCLUDING DECORATIVE PARAPETS WITH BREAKS IN ELEVATION AND STORE FRONT CANOPIES TO BE MORE VISUALLY APPEALING AND NOT OBSTRUCT THE VIEWS OF THE RETAIL BUSINESSES. LANDSCAPE SCREENING HAS BEEN PROVIDED ON THE PROJECT BOUNDARIES AND INTERNAL LANDSCAPING IS PROVIDED WITHIN THE PARKING AND OPENED AREA

APPLICANT IS REQUESTING PUBLIC RIGHT OF WAY EASEMENT INSTEAD OF PUBLIC RIGHT OF WAY DEDICATION FOR THE 8' SIDEWALK ADJACENT TO THE PROPOSED TURN LANES. A 6' RIGHT OF WAY DEDICATION IS PROPOSED ALONG THE RIGHT TURN LANES TO KEEP ALL ROADWAY IMPROVEMENTS WITHIN THE RIGHT OF WAY AND THE 8' SIDEWALK WILL RUN ADJACENT TO THE 20' WIDE 475A BUFFER EASEMENT THAT HAS PROVISIONS TO ALLOW THAT REQUIRED WALKWAY WITHIN THE 475A BUFFER EASEMENT.

BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83), WITH 2011 ADJUSTMENT AS DERIVED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION VIRTUAL REFERENCE STATION NETWORK.

VERTICAL DATUM BASED ON BOUNDARY & TOPOGRAPHIC SURVEY COMPLETED BY R.M. BARRINEAU & ASSOCIATES, JOB NO. 0523, DATED 09/12/2013 AND WAS BASED ON CITY OF OCALA ENGINEERING DEPARTMENT CONTROL POINT 0028, ELEVATION 78.77' (NAVD 88). THERE IS A DIFFERENCE OF 0.46' WHEN COMPARED BETWEEN CITY OF OCALA ENGINEERING CONTROL POINT 0029 AND BENCHMARK "D" AS REFERENCED ON SURVEY PREPARED BY R.M. BARRINEAU & ASSOCIATES.

TEMPORARY BENCHMARK (#108) FOUND 4" x 4" CONCRETE MONUMENT LB (1918)
ELEVATION = 86.48' (NAVD 1988) NORTHING = 1763393.3250 EASTING = 642938.9750

TEMPORARY BENCHMARK (#122) NAIL & DISC (LB 5091)
ELEVATION = 102.92' (NAVD 1988) NORTHING = 1762511.5040 EASTING = 642790.7050

1. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARICOUNTY COUNTY LAND DEVELOPMENT CODE AND THE MARICOUNTY COUNTY UTILITY MANUAL AS APPLICABLE.
2. BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM, COMMUNITY PANEL NO. 138087015D, EFFECTIVE DATE OF AUGUST 22d, 2008 THE PROPERTY DESCRIBED HEREON LIES WITHIN FLOOD ZONES "X" AN AREA OF MINIMAL FLOOD HAZARD.
3. NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
4. DESIGN SPEED = 25 M.P.H. TO BE POSTED AT 20 M.P.H. EXCEPT FOR CURVES WITH RADII LESS THAN 100'.
5. SIGHT DISTANCE AT DRIVEWAYS COMPLIES WITH MARICOUNTY COUNTY REQUIREMENTS.
6. THIS PROJECT IS LOCATED IN THE SECONDARY SPRINGS PROTECTION ZONE.
7. THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.
8. THERE ARE NO SUBDIVISION SIGNS PROPOSED FOR THIS DEVELOPMENT AT THIS TIME. ANY FUTURE SIGNS WILL REQUIRE SEPARATE PERMIT.
9. DRIVEWAY MEETS FDOT SIGHT DISTANCE REQUIREMENTS.

CIVIL ENGINEER:
TILLMAN AND ASSOCIATES ENGINEERING, L.L.C.
JEFFREY MCPHERSON, P.E.
1720 SE 16TH AVE. BLDG. 100
OCALA, FLORIDA 34471
PHONE (352) 387-4540

GEOTECHNICAL CONSULTANT:
GEO-TECH, INC.
CONTACT: JONNY HEATH
1016 S.E. 3RD AVENUE
OCALA, FLORIDA 34471
PHONE (352) 694-7711

SECTION 9, TOWNSHIP 17 SOUTH, RANGE 21 EAST
MARION COUNTY, FLORIDA

SCALE: 1" = 500'

BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83), WITH 2011 ADJUSTMENT AS DERIVED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION VIRTUAL REFERENCE STATION NETWORK.

WATER / SEWER
ELECTRIC
CABLE/PHONE/INTERNET

MARION COUNTY UTILITIES CUSTOMER SERVICE	
SUMTER ELECTRIC COOPERATIVE	HILLARY BREWER
CHARTER COMM.	DISPATCH
CENTURYLINK	DISPATCH
COMCAST COMMUNICATIONS	DISPATCH

352-307-6000
352-351-6620
800-778-9140
877-366-8344
800-778-9140



01.01	COVER SHEET
02.01	GENERAL NOTES
03.01	EXISTING CONDITIONS
04.01	TEMPORARY SITE ACCESS AND STAGING PLAN
05.01	OVERALL SITE PLAN
06.01-06.03	SITE PLAN
07.01-07.03	PAVING & GRADING
08.01-08.03	DRAINAGE PLAN
09.01-09.03	UTILITY PLAN
10.01-10.02	STORMWATER POLLUTION PREVENTION PLAN
11.01	STORMWATER POLLUTION PREVENTION NOTES
12.01	STORMWATER POLLUTION PREVENTION CONSTRUCTION DETAILS
13.01-13.02	UTILITY DETAILS
14.01	LIFT STATION & SANITARY DETAILS
15.01-15.02	TRUCK ROUTE PLAN
16.01	ADA ACCESS PLAN
BL.01-BL.02	SOIL BORING

1-1 BOUNDARY AND TOPOGRAPHIC SURVEY
(PREPARED BY ROGER ENGINEERING, LLC)

L01.01	LANDSCAPE INDEX
L02.01	PLANTING SPECIFICATIONS
L03.01	PLANT SCHEDULE & NOTES
L04.01-L04.05	PLANTING PLAN
L05.01	PLANTING DETAILS

LIR03.01	IRRIGATION SCHEDULE & NOTES
LIR04.01-LIR04.05	IRRIGATION PLAN
LIR05.01-LIR05.02	IRRIGATION DETAILS

1-6 PHOTOMETRICS & ELECTRICAL PLAN

I CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN WITHIN THESE PLANS.

JOHN ALVAREZ
DIAMOND A SHOPPING CENTER

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED.

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE LDC AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS. THIS DOCUMENT IS BEING ELECTRONICALLY SIGNED AND SEALED AND A MANIFEST PROVIDED

RODNEY K. ROGERS, P.S.M.
ROGERS ENGINEERING, LLC.
Registered Land Surveyor No. 655.
STATE OF FLORIDA

Tillman & Associates
—ENGINEERING, LLC—
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 16th Ave. Bldg 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545

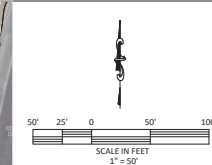
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IMPROVEMENT PLAN
DIAMOND "A" SHOPPING CENTER
MARION COUNTY, FLORIDA

COVER SHEET

DATE 03-13-25
DRAWN BY IA
CHKD. BY JMM
JOB NO. 23-8231

SHT. 01.01



Marion County Approval Stamp

Tillman & Associates
—ENGINEERING, LLC.—
CIVIL ENGINEERING · PLANNING · LANDSCAPE ARCHITECTURE · ENVIRONMENTAL
1720 SE 16th Ave. Bldg 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545

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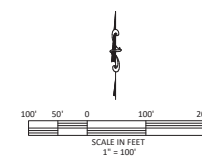
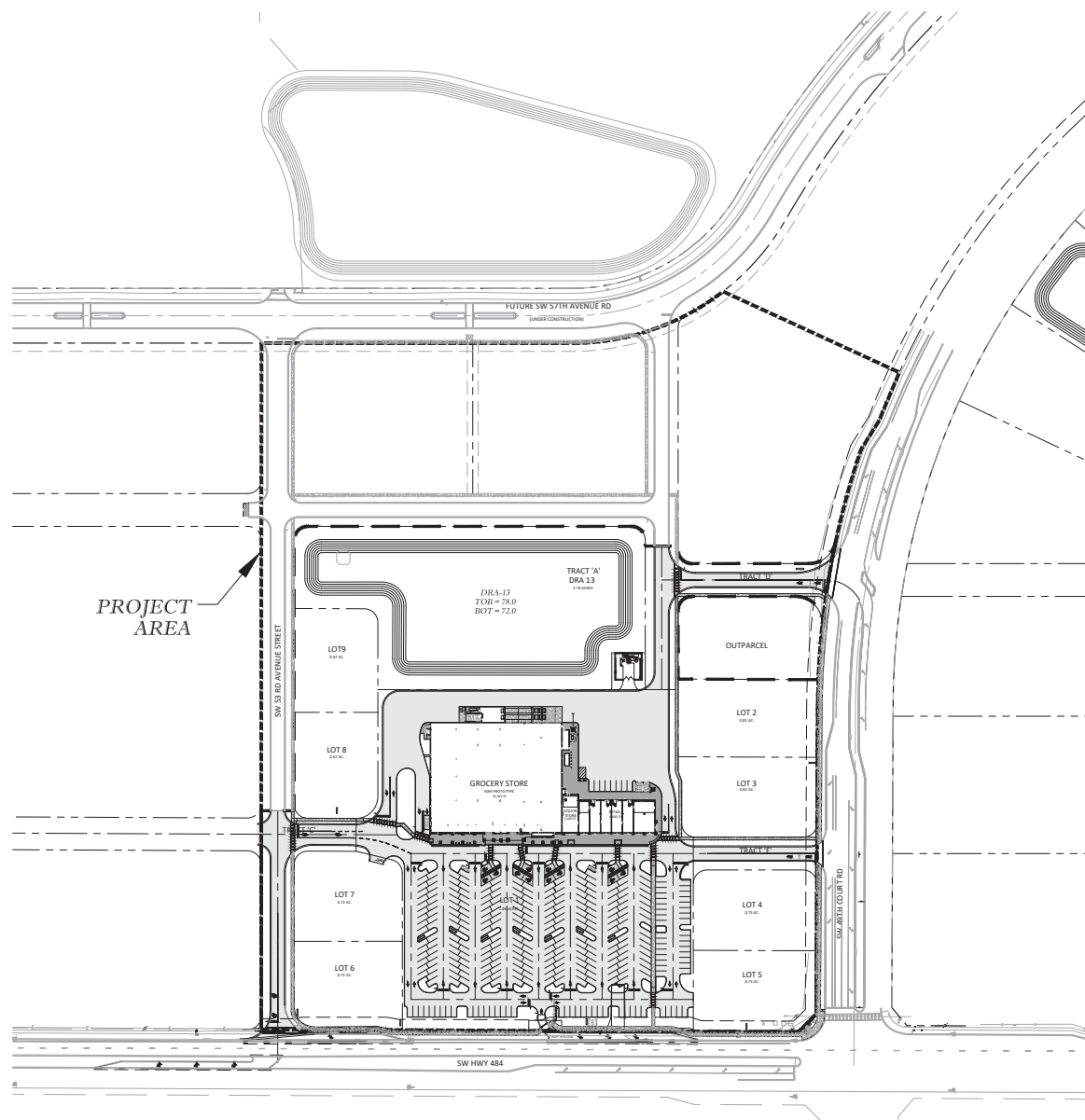
IMPROVEMENT PLAN
DIAMOND "A" SHOPPING CENTER
MARION COUNTY, FLORIDA

EXISTING CONDITION

DATE 03-13-25
DRAWN BY IA
CHKD. BY JMM
JOB NO. 23-8231

SHT. 03.01

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



Marion County Approval Stamp

Tillman & Associates
—ENGINEERING, LLC.—
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 16th Ave. Bldg 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545

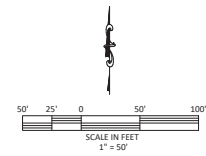
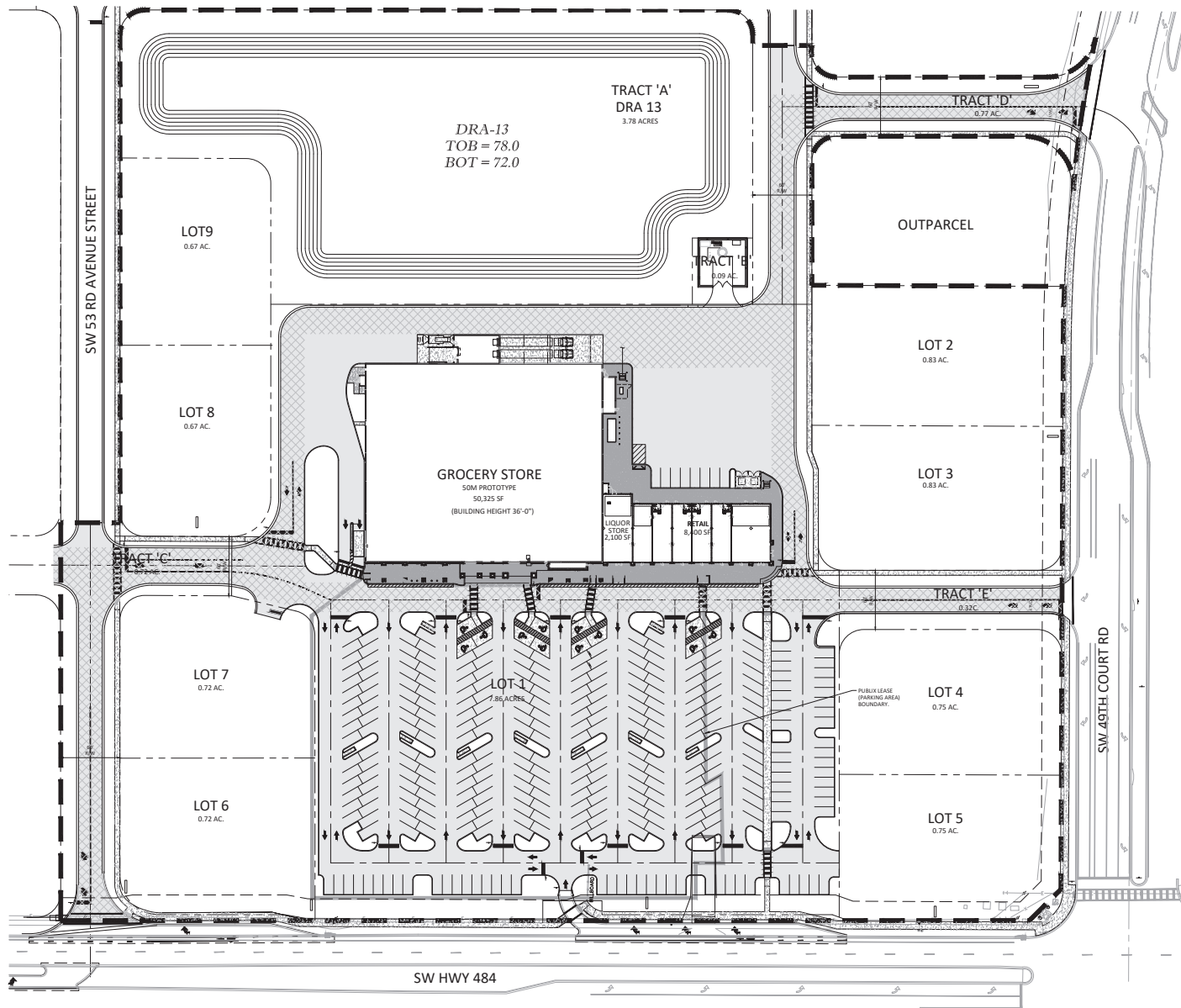
REVISIONS

DATE _____

IMPROVEMENT PLAN
DIAMOND "A" SHOPPING CENTER
MARION COUNTY, FLORIDA

DATE 03-13-25
DRAWN BY JA
CHKD. BY JMM
JOB NO. 23-8231

SHT. 05.01



SITE AREA	
LOT 1	7.86
LOT 2	0.83
LOT 3	0.83
LOT 4	0.75
LOT 5	0.75
LOT 6	0.72
LOT 7	0.72
LOT 8	0.67
LOT 9	0.67
TRACT 'A'	3.78
TRACT 'B'	0.09
TRACT 'C'	0.72
TRACT 'D'	0.77
TRACT 'E'	0.32
TOTAL SITE	39.50 AC

BUILDING AREA	
PUBLIC STORE	50,325 SF
LIQUOR STORE	2,100 SF
RETAIL	8,100 SF
TOTAL BUILDING AREA	60,525 SF

PAVEMENT LEGEND	
	STANDARD DUTY PAVEMENT (SEE DETAIL SHEET - 13.01)
	HEAVY DUTY PAVEMENT (SEE DETAIL SHEET - 13.01)
	CONCRETE PAVEMENT (SEE DETAIL SHEET - 13.01)
	CONCRETE SIDEWALK (SEE DETAIL SHEET - 13.01)

SITE DATA TABLE	
PARCEL IDENTIFICATION NUMBERS	41.200-056-04, 41.200-056-12
TOTAL SITE BOUNDARY	85,100 A.C.
PROJECT BOUNDARY	80,700 A.C.
FLOOD ZONE	X
FEMA PANEL	12080C075D
LAND USE	EMPLOYMENT CENTER
ZONING	PUD
BUILDING SETBACK REQUIREMENT	
MINIMUM FRONT DETRACK	40'
MINIMUM REAR DETRACK	25'
MINIMUM SIDE DETRACK	10'
MAXIMUM BUILDING HEIGHT	50'
PARKING REQUIRED (60,825 SF OF SHOPPING CENTER)	
TOTAL SPACES REQUIRED (121,000 SF)	304 SPACES
STANDARD SPACES (10' x 20') PROVIDED	181
VAN / ACCESSORY SPACES REQUIRED	12
TOTAL PARKING PROVIDED	329

SURFACE DATA TABLE	
TOTAL IMPERVIOUS AREA *	23.99 AC
TOTAL IMPERVIOUS AREA PERCENTAGE *	72.11%
TOTAL OPEN SPACE *	8.51 AC
TOTAL OPEN SPACE PERCENTAGE *	27.89%

* INCLUDES NON IMPERVIOUS AREA COVERAGE ON OUTPARCELS

OPEN SPACE CALCULATIONS:

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1720 SE 16th Ave, Bldg 100, Ocala, FL 34471
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DATE: _____

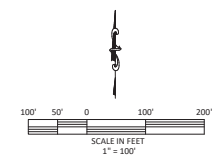
REVISIONS:

SITE PLAN

IMPROVEMENT PLAN
DIAMOND "A" SHOPPING CENTER
MARION COUNTY, FLORIDA

DATE: 02-13-25
DRAWN BY: JAL
CHECKED BY: JMM
JOB NO.: 23-5231

sh. 06.01



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IMPROVEMENT PLAN
DIAMOND "A" SHOPPING CENTER
MARION COUNTY, FLORIDA

DATE 03-13-25
DRAWN BY IA
CHKD. BY JMM
JOB NO. 23-8231

SHT. 07.01

SHT. 07.01

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SW 53 RD AVENUE STREET

LOT9
0.67 AC.

LOT 8
0.67 AC.

DRA-13
TOB = 78.0
BOT = 72.0

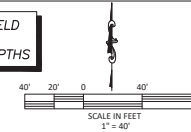
GROCERY STORE
50M PROTOTYPE

OUTPARCEL

LOT 2
0.83 AC.

LOT 3
0.83 AC.

CONTRACTOR TO FIELD
VERIFY ALL UTILITY
LOCATIONS AND DEPTHS



WATER SERVICE CONFIGURATION

N.T.S

UTILITY LEGEND

- EXISTING SANITARY MAIN
- EXISTING WATER MAIN
- PROPOSED SANITARY MAIN
- PROPOSED WATER MAIN
- GATE VALVE
- REDUCER
- WATER METER
- BACKFLOW PREVENTER
- CLEANOUT
- SANITARY MANHOLE
- PROPOSED SITE LIGHTING (SEE SLEEVING PLAN)
- GREASE TRAP
- F.H. FIRE HYDRANT ASSEMBLY
- F.D.C. FIRE DEPARTMENT CONNECTION
- BACTERIOLOGICAL SAMPLE POINT

LEGEND

- CROSS ACCESS, DRAINAGE & UTILITY EASEMENT
- PUBLIC DIAMOND SITE AREA
- PRIVATE R/W

NOTE:

- CONTRACTOR IS RESPONSIBLE FOR PLACEMENT & INSTALLATION OF NECESSARY UNDERGROUND SLEEVING.
- MARK ALL POINTS WITH A "W" MARK IN CONCRETE WHERE WATER SERVICES CROSSES CURB.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND COORDINATE UTILITY AND ROOF DRAIN LOCATIONS AND ELEVATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION.
- THE BUILDING SHALL COMPLY WITH THE MINIMUM MINIMUM RADIO STRENGTH FOR PUBLIC SAFETY RADIO. TESTING SHALL BE COMPLETED BY AN INDEPENDENT CONTRACTOR AND A SYSTEM INSTALLED IF NEEDED BASED ON TEST RESULTS.
- AN INDEPENDENT INSPECTOR APPROVED BY THE OFFICE OF THE FIRE MARSHAL MUST BE ATTAINED AS A THIRD PARTY INSPECTOR FOR ALL FIRE WALLS AND INFORMATION SUBMITTED TO THE OFFICE FOR APPROVAL.
- INDOOR BOX TO BE NEAR THE FRONT DOOR 6" FROM FLOOR LEVEL AND 2' LEFT OF THE DOOR.
- ALL SEWER CLEAN OUTS TO HAVE 1/2" AND 3/4" SLIP TYPE CLEAN OUT RING AND TO BE OFF OR PAVED AREA.
- PRIVATE FIRE HYDRANTS ARE TO BE PAINTED YELLOW.

William & Associates
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REVISIONS

DATE

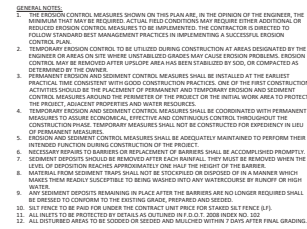
IMPROVEMENT PLAN
DIAMOND "A" SHOPPING CENTER
MARION COUNTY, FLORIDA

DATE: 02-13-25
DRAWN BY: JAL
CHKD BY: JMM
JOB NO.: 23-8231

SHT. 09.03

UTILITY PLAN NORTH

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IMPROVEMENT PLAN
DIAMOND "A" SHOPPING CENTER
MARION COUNTY, FLORIDA

STORMWATER POLLUTION
PREVENTION PLAN

DATE 03-13-25
DRAWN BY JA
CHKD. BY JMM
JOB NO. 23-8231

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SHT. 10.01



TIMING OF SEDIMENT - CONTROL PRACTICES:

SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL THROUGHOUT EARTH- DISTURBING ACTIVITY.

SETTLING FACILITIES, PERIMETER CONTROLS, AND OTHER PRACTICES INTENDED TO TRAP SEDIMENT SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UPSLOPE DEVELOPMENT AREA IS RE-STABILIZED.

STABILIZATION OF NON STRUCTURAL PRACTICES:

CONTROL PRACTICES SHALL PRESERVE EXISTING VEGETATION WHERE ATTAINABLE AND DISTURBED AREAS SHALL BE RE-VEGETATED AS SOON AS PRACTICAL AFTER GRADING OR CONSTRUCTION.

DENUDED AREAS SHALL HAVE SOIL STABILIZATION APPLIED WITHIN FOURTEEN DAYS IF THEY ARE TO REMAIN DORMANT FOR MORE THAN FORTY-FIVE DAYS. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN FOURTEEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE, AND SHALL ALSO BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN FORTY-FIVE DAYS.

SEDIMENT BARRIERS:

SHEET FLOW RUNOFF FROM DENUDED AREAS SHALL BE INTERCEPTED BY SEDIMENT BARRIERS.

SEDIMENT BARRIERS SUCH AS SEDIMENT FENCE OR DIVERSIONS TO SETTling FACILITIES SHALL PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SEDIMENT TRANSPORTED BY SHEET FLOW.

INLET PROTECTION:

ALL STORM SEWER INLETS WHICH ACCEPT WATER RUNOFF FROM THE DEVELOPMENT AREA SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER WILL NOT ENTER THE STORM SYSTEM WITHOUT FIRST BEING PONDED AND FILTERED.

MAINTENANCE:

TEMPORARY EROSION CONTROL FEATURES SHALL BE ACCEPTABLY MAINTAINED AND SHALL BE REMOVED OR REPLACED WHEN DIRECTED BY THE ENGINEER AT NO COST TO THE OWNER. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS.

STOCKPILES:

ALL SOIL STOCKPILES SHALL BE PROTECTED FROM EROSION BY PERIMETER CONTROL DEVICES SUCH AS STRAW BALE DAKES OR FILTER FABRIC FENCES. AND THESE PERIMETER CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.

PERMANENT VEGETATION:

PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL GROUND COVER IS ACHIEVED WHICH, IN THE OPINION OF THE ENGINEER, PROVIDES ADEQUATE COVER AND IS MATURE ENOUGH TO CONTROL SOIL EROSION SATISFACTORILY AND TO SURVIVE ADVERSE WEATHER CONDITIONS.

CONSTRUCTION ACCESS ROUTES:

MEASURES SHALL BE TAKEN TO PREVENT SOIL TRANSPORT ONTO SURFACES OR PUBLIC ROADS WHERE RUNOFF IS NOT CHECKED.

INSPECTION SCHEDULE:

- DIVERSION SWALE AND STRUCTURAL PROTECTION - INSPECT EVERY 7 DAYS OR AFTER EACH RAINSTORM PRODUCING RUNOFF. REPAIR AS REQUIRED.
- INLET PROTECTION - INSPECT FOR SEDIMENT ACCUMULATION AFTER EACH RAINFALL AND DAILY DURING CONTINUED RAINFALL. REPAIR OR REPLACE WHEN WATER FLOW IS RESTRICTED BY SEDIMENT.
- VEGETATIVE PLANTING - INSPECT AFTER SPROUTING OCCURS AND REPLANT BARE AREAS. INSPECT ESTABLISHED COVER EVERY 15 DAYS FOR DAMAGE. REPLANT AS REQUIRED. MAINTAIN ESTABLISHED COVER AT MAXIMUM 6" HEIGHT. IRRIGATE AS REQUIRED DURING DRY PERIODS TO MAINTAIN LIVE VEGETATION.

CONSTRUCTION SEQUENCE:

- INSTALL SEDIMENT CONTROL MEASURES
- PERFORM DEMOLITION ACTIVITIES.
- STABILIZE SITE WITH TEMPORARY VEGETATION AS NEEDED.
- PERFORM IRRIGATION AND UNDERGROUND UTILITY CONSTRUCTION ACTIVITIES.
- CONSTRUCT NEW TRAILS AND INSTALL LANDSCAPING.
- PERFORM FINAL GRADING.
- INSTALL PERMANENT VEGETATION.
- PERFORM CONTINUING MAINTENANCE THROUGHOUT ALL CONSTRUCTION OPERATIONS.

DITCH BARRIERS:

BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE, ORIENTED PERPENDICULAR TO THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER.

THE REMAINING STEPS FOR INSTALLING A STRAW BALE BARRIER FOR SHEET FLOW APPLICATIONS APPLY HERE, WITH THE FOLLOWING ADDITION: THE STRAW BALES SHALL BE INSTALLED SUCH THAT UNDERCUTTING BENEATH THE BALES IS MINIMIZED BY THE USE OF ROCK CHECK DAMS PLACED ADJACENT TO THE STRAW BALES.

THE BARRIER SHALL BE EXTENDED TO SUCH A LENGTH THAT THE BOTTOMS OF THE END BALES ARE HIGHER IN ELEVATION THAN THE TOP OF THE LOWEST MIDDLE BALE TO ASSURE THAT SEDIMENT-LADEN RUNOFF WILL FLOW EITHER THROUGH OR OVER THE BARRIER BUT NOT AROUND IT.

MAINTENANCE:

STRAW BALES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES.

NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE STRAW BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

SEDIMENT FENCE:

THIS SEDIMENT BARRIER UTILIZES STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS. IT IS DESIGNED FOR SITUATIONS IN WHICH ONLY SHEET OR OVERLAND FLOWS ARE EXPECTED.

- THE HEIGHT OF A SEDIMENT FENCE SHALL NOT EXCEED 36-INCHES (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE).
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED.
- POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET.
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
- WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1-INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8-INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
- WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSURE POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED IN SUCH A CASE. THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF ITEM NO. 6 APPLYING.
- THE TRENCH SHALL BE BACKFILLED AND SOIL COMPACTED OVER THE FILTER FABRIC.
- SEDIMENT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

MAINTENANCE

SEDIMENT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SHOULD THE FABRIC ON A SEDIMENT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SEDIMENT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED, AND SEEDED.

POLLUTION PREVENTION:

THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PROGRAM IS REGULATED THROUGH THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP). IF YOUR CONSTRUCTION ACTIVITY MEETS THE FOLLOWING CRITERIA:

- CONTRIBUTES STORM WATER DISCHARGE TO SURFACE WATERS OF THE STATE OR INTO A MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4); AND/OR
- DISTURBS ONE OR MORE ACRES OF LAND INCLUDING LESS THAN ONE ACRE IF ACTIVITY IS PART OF A LARGE COMMON PLAN OF DEVELOPMENT OR SALE THAT WILL MEET OR EXCEED A ONE ACRE THRESHOLD. DISTURBANCE INCLUDES CLEARING, GRADING AND EXCAVATING. THEN YOU WILL BE REQUIRED TO SUBMIT A NOTICE OF INTENT (NOI) AND PREPARE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP). FOR MORE INFORMATION PLEASE VISIT FDEP'S WEBSITE AT WWW.DEP.STATE.FL.US/WATER/STORMWATER/NPDES.

Marion County Approval Stamp

Miller & Associates
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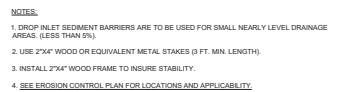
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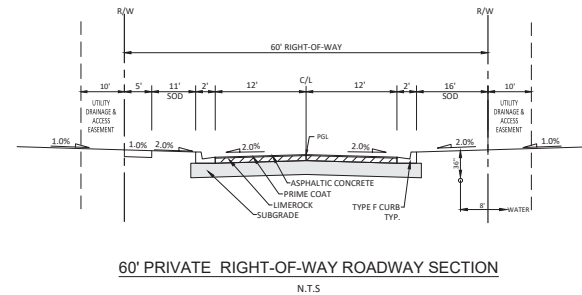
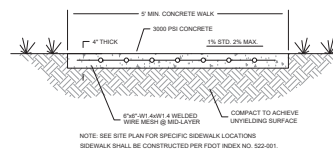
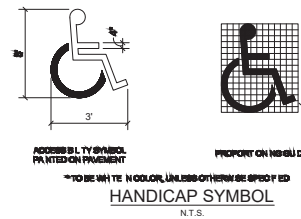
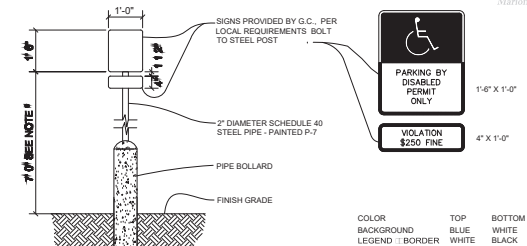
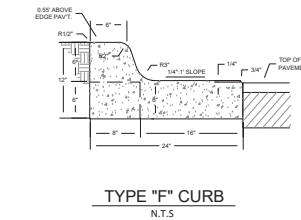
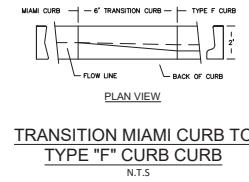
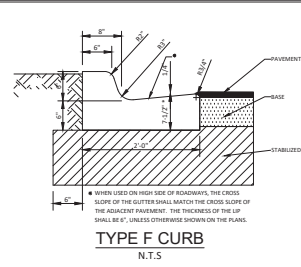
DATE

IMPROVEMENT PLAN
DIAMOND "A" SHOPPING CENTER
MARION COUNTY, FLORIDA
**STORMWATER POLLUTION
PREVENTION NOTES**

DATE: 02-13-25
DRAWN BY: JAL
CHECKED BY: JMM
JOB NO.: 23-8231

SHT. 11.01





ALL STRUCTURAL SPECIFICATIONS SHALL MEET OR EXCEED F.D.O.T. INDEX NO. 211

GENERAL NOTES

- THE FINISH GRADE AND SLOPE OF THE INLET TOPS TO CONFORM WITH THE PROVIDED CURBS AND SLOPE OF THE PROPOSED DRAINAGE ADJACENT ROADWAY. THE INLET TOPS SHALL BE FINISHED TO MATCH THE FINISHED GRADE OF THE ADJACENT ROADWAY TO THE INLET. THE FINISH GRADE OF THE INLET SHALL BE DETERMINED BY THE ROADWAY AND SLOPE. MINIMUM SLOPE OF THE INLET DEPTH SHALL BE 0.01% TO THE DOWNSTREAM DRAINAGE POINT.
- ALL REINFORCING STEEL SHALL HAVE A 10% MINIMUM COVERAGE UNLESS OTHERWISE SHOWN. INLET TOPS SHALL BE CAST-IN-PLACE OR PRECAST CONCRETE.
- THE INLET SHALL BE PERMITTED TO EXCEED THE FINISHED GRADE TO THE DIMENSIONS SHOWN.
- CONCRETE MEETING THE REQUIREMENTS OF A.S.T.M. C-478 (9000 PSI) OR 15,000 PSI OR HIGHER SHALL BE USED FOR PRECAST UNITS. MANUFACTURED IN PLANTS AND USING STANDARD OPERATING PROCEDURES FOR THE PROTECTION OF PRECAST CONCRETE PRODUCTS.
- THE CORNER PILES SHOWN FOR RECTANGULAR TRENCHES ARE NECESSARY ONLY FOR THE PROTECTION OF THE INLET. THE CORNER PILES SHALL BE CAST WITH CIRCULAR INLET BOTTOMS ON ORDER ON DECK WITH 12" DIAMETER ANGULAR PILES.
- FOR INLET BODIES SEE DESIGN PLAN NO. 425-010.
- ALL INLET BODIES ARE DESIGNED FOR USE WITH STANDARD CURBS AND GUTTERS. THE INLET BODIES SHALL BE CAST WITH 12" DIAMETER ANGULAR PILES.
- A CAST TOP SHALL BE USED FOR THE GRATING FRAME. MEET THE REQUIREMENTS OF THE GRATING MANUFACTURER.
- ALL GRATE COVER SHALL BE USED. IRON COVERS SHALL BE CLASS 50 CASTING IN ACCORDANCE WITH A.S.T.M. A-36.
- 1 CURB INLET FRAME AND GRATE SHALL BE PRECAST OR 9" X 10" OR 12" X 12"

TYPE 6M INLET CURB TOP
N.T.S.

RAISED SIDEWALK AND
PAVEMENT SECTION

60' PRIVATE RIGHT-OF-WAY ROADWAY SECTION

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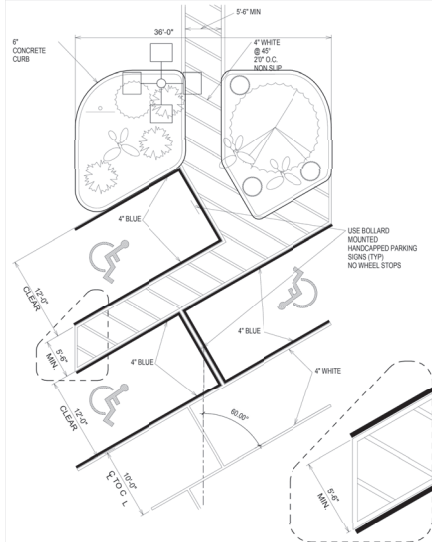
IMPROVEMENT PLAN
DIAMOND "A" SHOPPING CENTER
MARION COUNTY, FLORIDA

CONSTRUCTION DETAILS

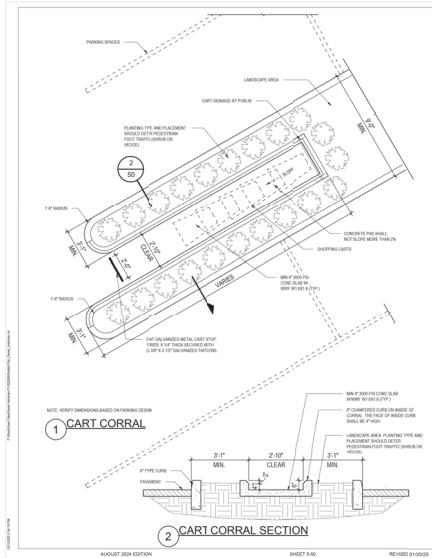
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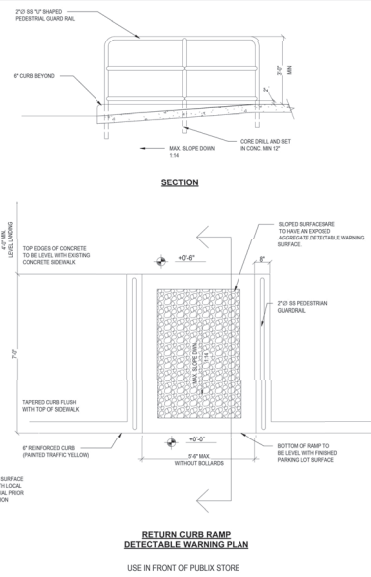
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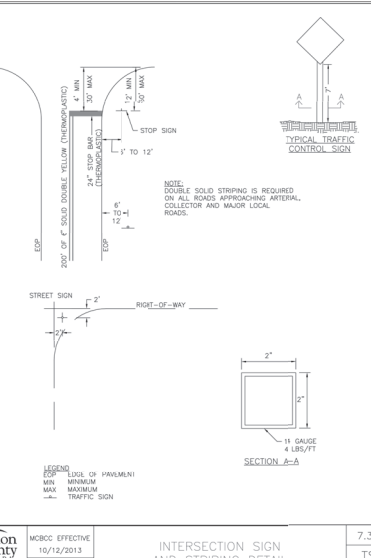
SUGGESTED HANDICAP 60 DEGREE PARKING CLUSTER
SCALE: 1/8" = 1'-0"



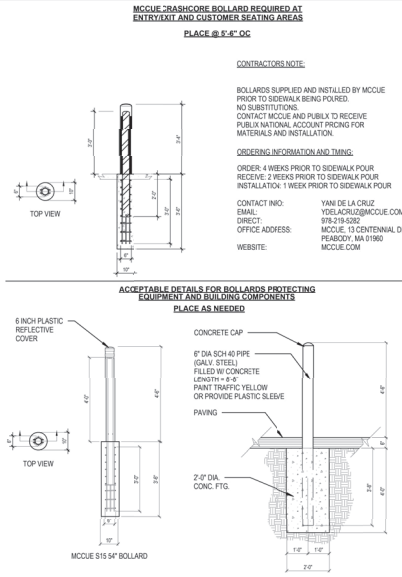
CART CORRAL SECTION
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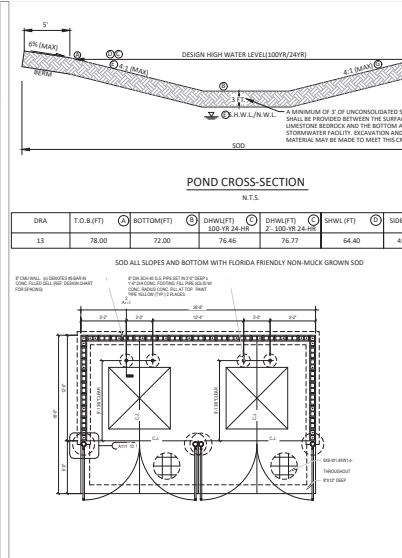
RETURN CURB RAMP DETECTABLE WARNING PLAN
SCALE: 1/4" = 1'-0"



INTERSECTION SIGN AND STRIPING DETAIL
SCALE: 1/4" = 1'-0"

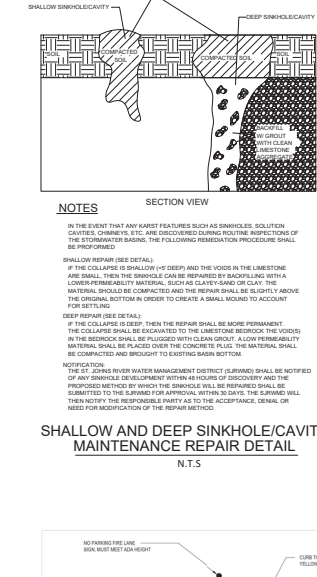


MCQUE TRASHCURE BOLLARD REQUIRED AT ENTRY AND CUSTOMER SEATING AREAS
SCALE: 1/4" = 1'-0"

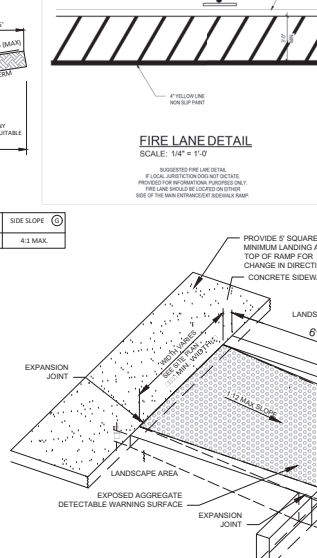


POND CROSS-SECTION
SCALE: 1/4" = 1'-0"

COMMERCIAL DUMPSTER PAD
SCALE: 1/4" = 1'-0"



SHALLOW AND DEEP SINKHOLE/CAVITY MAINTENANCE REPAIR DETAIL
SCALE: 1/4" = 1'-0"



CURB RETURN RAMP DETAIL
SCALE: 1/4" = 1'-0"

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JOB NO.: 23-5231

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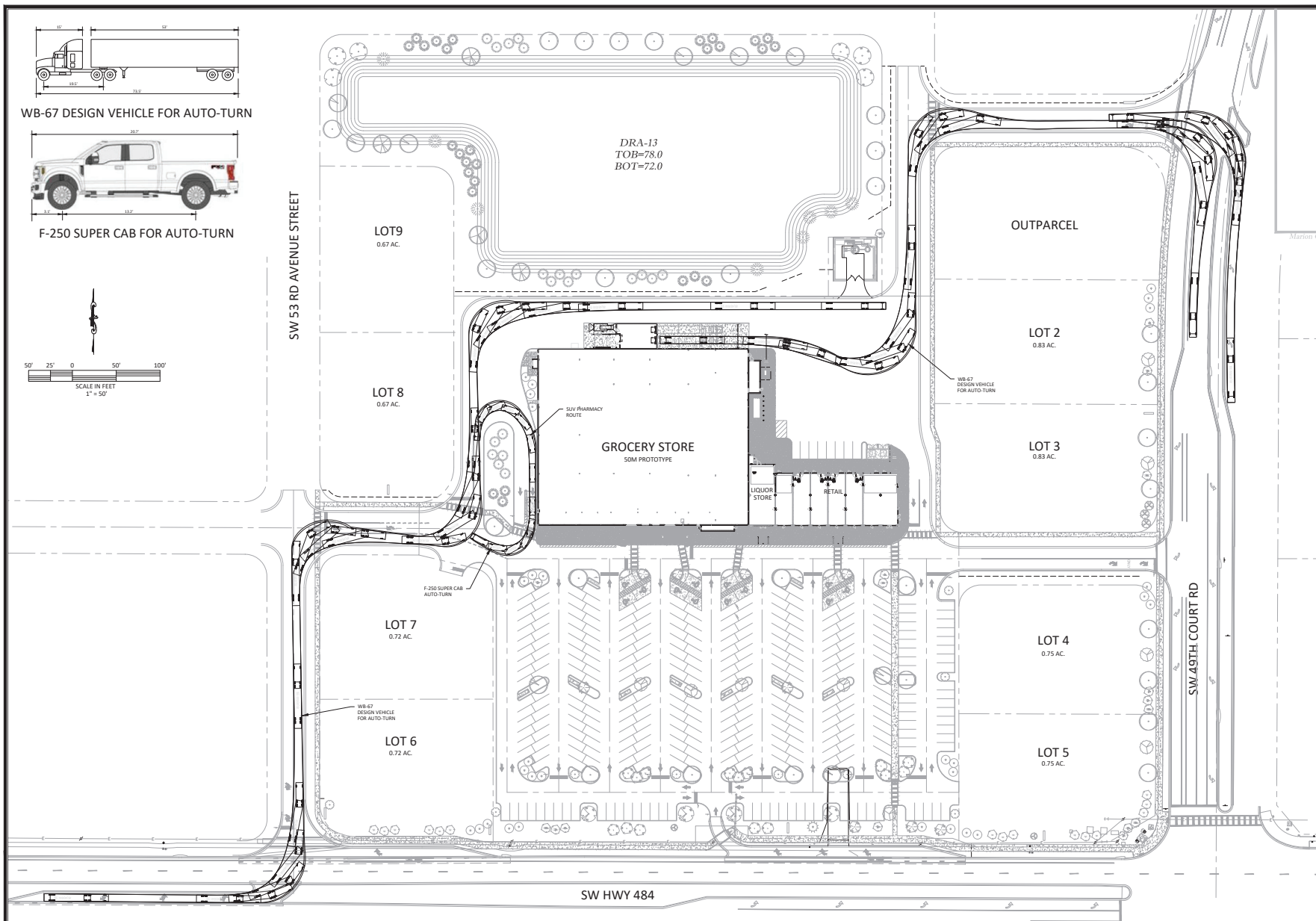
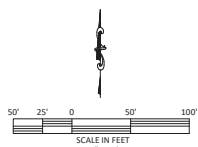
DRAWN BY: JAL

CHECKED BY: JMM

JOB NO.: 23-5231

WB-67 DESIGN VEHICLE FOR AUTO-TURN

F-250 SUPER CAB FOR AUTO-TURN

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Marion County Approval Stamp

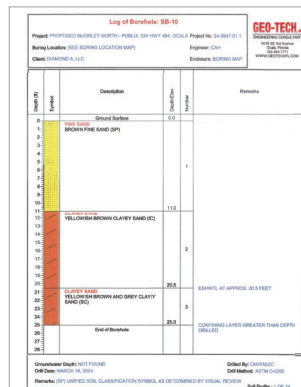
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DATE

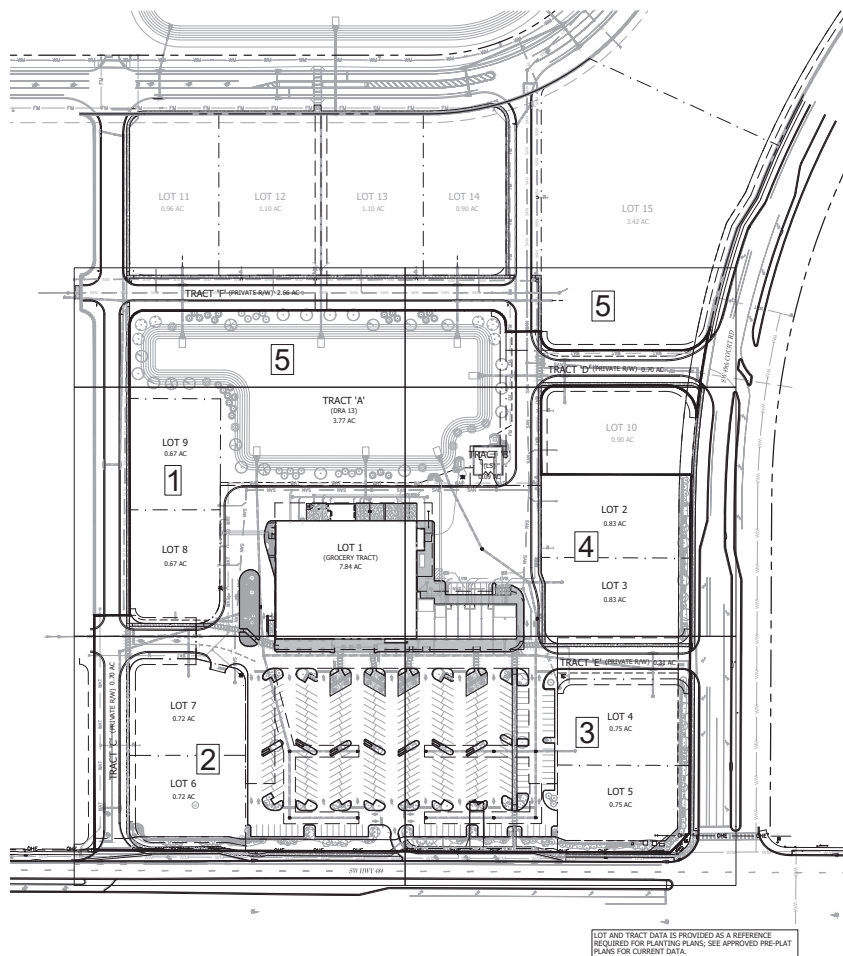
IMPROVEMENT PLAN
DIAMOND "A" SHOPPING CENTER
MARION COUNTY, FLORIDA

DATE: 02-13-25
DRAWN BY: JAL
CHKD BY: JMM
JOB NO.: 23-5231

shp. BL.01



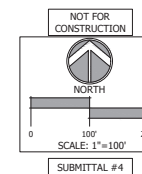
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LANDSCAPE ARCHITECT:
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PHONE (352) 387-4540

[illegible]

MAJOR SITE PLAN
DIAMOND A SHOPPING CENTER
MARION COUNTY, FLORIDA

DATE 3/4/2025
DRAWN BY _____
CHKD. BY IRP
JOB NO. 24-9040

L1.01

NOT VALID UNLESS SIGNED AND SEALED BY AUTHORIZED PROFESSIONAL

PLANTING SPECIFICATIONS

PART 1.00 GENERAL

1.01 WORK INCLUDED

A. Landscaping: Provide all labor, materials, plant materials, soil additives, soil preparation, methods and the grading, finishing, mulching, planting, staking, sodding, cleanup, equipment, vehicles, and maintaining plantings until Substantial Completion of all landscaping work indicated on the Drawings and as specified, and as required by the Warranty through Final Acceptance.

1.02 RELATE WORK SPECIFIED ELSEWHERE

A. Refer to irrigation drawings and requirements.

1.03 WARRANTY

A. The Contractor shall guarantee all tree and shrub / groundcover plantings for a period of twelve (12) months, and all soil / used for (6) months after the date of Substantial Completion. During this period, the Contractor shall continue the observation of plants and guarantee work. The Contractor shall submit monthly observation reports to the Owner with a copy to the Landscape Architect during the guarantee period. The purpose of these reports is to state any maintenance deficiencies observed. It is the Contractor's responsibility to report these to protect this guarantee. Failure to submit reports eliminates any claims that the guarantee is not valid due to improper maintenance by the Owner.

B. Any dead plants, or plants showing indication of probable non-survival or lack of health and vigor, or which do not exhibit the characteristics that meet Specifications, shall be replaced within two (2) weeks. All replacement plants shall be furnished and installed at no additional cost to the Owner. All replacements shall meet the original specifications and shall be guaranteed for an additional period equal to the original.

C. The Contractor shall notify the Owner in writing ten (10) days prior to the end of the guarantee period. The guarantee period shall extend until notification is received.

1.04 PROTECTIONS

A. The Contractor shall provide and maintain the necessary safeguards to protect the work, adjacent property, and the public, and shall be responsible for any damage or injury due to the Contractor's negligence.

1.05 VERIFICATION OF PLANS, DIMENSIONS, AND QUANTITIES

A. The Contractor is responsible for obtaining the current and latest approved plan set.

B. Before proceeding with any work, carefully check and verify all dimensions and quantities. All listed dimensions are approximate. The Contractor shall immediately notify the Landscape Architect of any inaccuracies or conflicts.

1.06 SUBMITTALS

A. Submit documentation to Owner's Representative within fourteen (14) days after award of Contract, including quantities of plant material, availability, and source of plant materials.

B. The Contractor shall verify quantities of all material listed on the Plant List and submit thereof.

C. All material shall be subject to inspection and approval by Owner's Representative.

D. The Contractor shall coordinate a material tagging trip with the Landscape Architect for all trees, specimens, and quantities to be indicated during the pre-construction meeting.

E. Any and all substitutions due to unavailability must be indicated in writing prior to confirmation of ordering. In the event plant material is not available as specified in the Plant List, provide documented receipts proving unavailability from three (3) registered nurseries.

F. The Contractor shall submit "As-Built" drawings as indicated on the drawings and specifications per the Substantial Completion.

1.07 QUALITY ASSURANCE

A. REFERENCE SPECIFICATIONS AND STANDARDS

1. Standards as established by the Florida Nursery Growers Association (FNGA).

B. TESTS AND INSPECTIONS

1. Plants shall be subject to inspection and approval of the Owner's Representative at the time of planting and approval of the planting for conformity to specifications. Such approval shall not impair the right of rejection and rejection during progress of work. Inspection and bagging of plant material by Owner's Representative is not approval of the plant material with regard to health and vigor. The health and vigor of the plant material is the sole responsibility of the Contractor.

2. The Contractor shall be responsible for proper plant labeling as existing on the site. Prior to commitment of plant shipments, the Contractor shall examine the site at all areas of work by conducting soil tests and filling test holes with water to determine if soil chemistry and drainage is satisfactory. Any unsatisfactory conditions shall be brought to the immediate attention of the Owner's Representative for possible remedial action or plant material substitution. The Owner's Representative reserves the right to make changes or substitutions in plant type or quantities for the purpose of ensuring proper plant growth.

3. Owner's Representative reserves the right to take and analyze samples of plant material for conformity to specifications at any time. The Contractor shall furnish samples upon request of the Owner's Representative. Requested materials shall be immediately removed from the site at the Contractor's expense. The Contractor shall pay cost of testing of materials not meeting specifications.

C. CHANGES IN WORK

1. The Owner's Representative may order changes in the work, and the corresponding adjustments to the same should be made by the Contractor. All such orders and adjustments, plus claims by the Contractor for extra compensation, shall be made in writing prior to the commencement of the work involved. All changes in the work, notifications, and the Contractor's request for approval that conform to the conditions of the Contract.

D. CORRECTIONS OR REPAIRS

1. The Contractor, at their own cost, shall re-excavate any work that fails to conform to the requirements of the Contract and shall remedy defects due to faulty materials or workmanship.

E. PERFORMANCE

1. All planting shall be performed by personnel familiar with planting procedures, and all planting shall be supervised by a qualified planting foreman.

2. All work shall comply with applicable codes and regulations.

3. The work shall be coordinated with other trades to prevent conflicts.

1.08 PROJECT CONDITIONS

A. Sequencing: Do not commence planting until site grading, soil import, and preparation has been completed.

B. Inspect and approve all container work and fresh grading prior to start of shrub and groundcover planting as specified. Trees may be planted in advance of irrigation system installation provided adequate provision is made for interim watering at the Contractor's expense.

C. The Contractor shall inform the Landscape Architect of any discrepancy between the Drawings, Specifications, and actual field conditions. Immediately inform the

Owner's Representative and do not work in any area where there is a significant discrepancy until approval to proceed has been received from the Owner's Representative.

1.09 SITE CONDITIONS

A. Existing Conditions:

1. Exercise care in digging and other work so as not to damage existing work, including, but not limited to, plant material, irrigation materials, underground pipes and cables, and the pipes and hydrants of watering systems. Should conditions of all underground utilities be encountered while excavating with planting, the Landscape Architect shall be consulted and will adjust the location of plants to clear such obstructions. The Contractor shall be responsible for the immediate repair of any damage caused by the work at their own expense.

2. Should any objectionable materials such as old concrete, bricks or other debris be encountered during planting operations, the Contractor shall bring this to the attention of the Owner's Representative to coordinate removal of the material from the site.

3. Unsatisfactory conditions shall be brought to the immediate attention of the Owner's Representative for possible remedial action.

1.10 PRODUCT HANDLING

A. Delivery:

1. Plant transportation that comply with all Federal and State regulations.

2. Deliver fertilizer to site in original unopened containers bearing manufacturer's guaranteed chemical analysis, name, trademark and conformances to State Law.

3. The Contractor shall furnish Owner's Representative receipts for all amendments.

4. Deliver all plants with legible identification labels.

A. Label trees, evergreens, balled and burlapped of shrubs or groundcover plants.

B. State correct plant name and size indicated on plant list.

C. Use durable waterproof labels with water-resistant ink, which will remain legible for at least 60 days.

D. Protect plant material during delivery to prevent damage to root ball or discoloration of leaves.

E. The Contractor shall notify the Owner's Representative three (3) days in advance of delivery of all plant materials and shall submit a list thereof of the plants in each delivery.

B. Storage: Store plant material in shade and protect from weather.

C. Handling: The Contractor is cautioned to exercise care in handling, loading, unloading, and storing of plant materials. Plant materials that have been damaged in any way shall be discarded. If they have been initiated, they shall be replaced with undamaged materials at the Contractor's expense.

D. Tagged Materials: The Contractor shall leave all tags on materials previously tagged by the Owner's Representative until Substantial Completion.

PART 2.00 PRODUCTS

2.01 MATERIALS

A. GENERAL

1. Nomenclature: All trees, shrubs and plants shall be true to name as established by the American Horticultural Society and the American Nursery Association "Standard Plant Names". The designated authority for the nomenclature of all plants shall be the American Horticultural Society "Hortus III" and "Manual of Cultivated Plants", and all specimens shall be true to type, name, etc., as described therein.

2. Grade Standards and Quality: All plants shall be nursery grown and shall comply with all required inspection, grading standards and plant regulations as set forth in the Florida Department of Agriculture, Florida Nursery Growers Association and Standards for Nursery Plants' latest edition.

3. The minimum grade for all trees and shrubs shall be Florida No. 1 unless otherwise indicated. All plants shall be well rooted, healthy, vigorous, well branched and densely foliated when in leaf. They shall have healthy, well developed root systems free of defects, and they shall be free of disease and insect pests, eggs or larvae.

4. Measurements:

A. The minimum acceptable size of all plants, measured after pruning, with branches in normal position, shall conform to the specified size as shown on the plans. Sizes specified are minimum standards. Plants shall be equal to or larger than that of category (height, spread, caliper, etc.) indicated on the plans. Substantial deviations from these measurements must be approved by the Owner's Representative. Plants shall be approved by Landscape Architect. Caliper of tree trunks shall be measured on (1) foot above root ball for trees under six (6) inches in caliper.

B. Clear trunk of all types of palms shall be measured from the finished grade to the beginning of the fronds. The lowest portion of the head of the palm shall be in proportion to the overall height of the palm.

C. Plant Protection: Plants shall be protected upon arrival at the site, by being thoroughly mulched, kept moist, and properly maintained until planted.

D. PLANT MATERIALS: In reference to material of collection, root system status, etc., plants for landscaping shall be classified under the following designations:

1. Container Grown Plants:

A. Container grown plants shall have been grown in a container large enough to hold sufficient soil to support the plant and shall be well watered to soil together firm and whole, no plant shall be loose in container or in soil specification. Substantial deviations from these measurements must be approved by the Owner's Representative. Plants shall be approved by Landscape Architect. Caliper of tree trunks shall be measured on (1) foot above root ball for trees under six (6) inches in caliper.

B. All containers shall be cut and opened fully in a manner such as not to damage the plant or root system. Containers shall be removed from the container and immediately before planting and shall be cut and care shall be taken to prevent damage to the root system.

C. Plants which have become root bound due to poor root distribution, will not be acceptable. Also, not acceptable are plants which do not come out of the container without root ball characteristics. The Contractor shall replace rejectable material, or provide corrective measures prior to planting according to best industry practices.

2. Balled and Burlapped (B & B) Trees:

A. Plants so classified shall be dug with firm natural soil balls of earth coming from similar climatic and soil conditions as those on the project and shall be sufficient to support the plant and shall be well watered to soil together firm and whole, no plant shall be loose in container or in soil specification. Substantial deviations from these measurements must be approved by the Owner's Representative. Plants shall be approved by Landscape Architect. Caliper of tree trunks shall be measured on (1) foot above root ball for trees under six (6) inches in caliper.

B. Burlap: Shall be pure burlap, 100% organic material with the ability to decompose.

C. B & B trees shall have been routinely pruned during field production and dug at least four (4) weeks prior to being tagged.

D. Root Plus: All trees classified as B & B shall be tagged as a Root Plus product and the Bag shall remain until Substantial Completion has been awarded. Any material previously tagged at a nursery by the tag shall have the nursery's labeling on the tree until inspection.

3. Bare Root Plants: No bare root plants shall be used unless otherwise specified.

4. Grow Bag/Plastic Container Plants: No grow bag plants shall be used.

5. Soil: Soil shall be established, well-rooted Argentine Bahia, St. Augustine, or other as specified. Much grow soil will not be used. Soil shall be free of weeds and undesirable native plants.

6. Seed:

A. All seed shall have 95% pure seed content with a verified 85% minimum germination rate.

B. Unless specifically otherwise, grass seed shall consist of a 80/20 mixture of Argentine Bahia and annual ryegrass (or Argentine Bahia and perennial millet as specified for the season; see Installation).

C. OTHER MATERIALS:

1. Soil:

A. Topsoil shall be a friable loam, typical of cultivated topsoils locally containing at least 1 percent of decomposed organic matter (humus). It shall be taken from a well-drained, stable site. It shall be reasonably free of weeds, stalks, stones, clods, sticks, roots or other objectionable extraneous matter or debris. It shall not contain toxic materials and shall have an acidity range of from 6.5 to 7.5 based from pH range indicated areas will not be acceptable.

B. Soil testing shall be performed and analyzed by a laboratory registered by the state. Testing shall include fertility and available analysis and within recommendations for fertilizer or amendments, which shall take precedence over tests or analyses specified in this section. Soil testing shall be the Contractor's responsibility. Submit test results to the Landscape Architect for review.

C. Soil Preparation: Prior to placing mix and backfill, or commencing with planting, retrofit any of all areas that have been previously compacted over 90 percent for other construction projects.

2. Fertilizer:

A. Fertilizer, part of which the elements shall be derived from organic sources, shall be a complete blend formula, balanced or suitable for the type of plants. It shall contain nitrogen, phosphorus, and potassium, as well as recommended micronutrients such as magnesium, iron, copper, zinc, boron, and manganese in sufficient form. Fertilizer shall be applied over all turf, shrubs, and tree areas corresponding to plant list, at the lowest necessary rate. Total nitrogen shall not exceed a rate of 1 pound per 1,000 square feet.

B. Agriform 20-20-15 Tablets Plus Minor, or approved equal, shall be provided in each planting hole in per quantities and application of the manufacturer's specifications.

C. A complete fertilizer analysis shall be approved by the Landscape Architect.

3. Weed Control: All planting beds shall be treated with the pre-emergent Sulfonilic 2.5 TSP prior to multiple per manufacturer's instructions.

A. Muck: All muck shall be grade #1, clean, bright, and free of weeds, moss, sticks and other debris. One draw shall be used unless specified otherwise. Cypress muck shall not be used.

B. Water: Suitable water for the irrigation plants during the progress of construction shall be provided and provided paid for by the Contractor. Water, which also fulfill adequate watering equipment.

C. The States and Ties: Stakes and ties shall be provided in accordance with the plan details and the Staking and Tying requirements. Substitutions require written approval by the Owner.

D. Antibiotics: Dactin (Phenacetic Analgesic, Phenolic derivatives, and Phenolic esters) shall not be used for treating the plants. Antibiotics shall be used with oxytetracycline (OTC) antibiotics three (3) months prior to installation, and thereafter every three (3) months as indicated. The Contractor shall provide treatments until completion of the Warranty, and discontinue all treatments which shall be in accordance with Florida industry standards (DP 3145 Extension Publication EN198).

E. Root Barriers / Geomembranes: Protection of adjacent infrastructure shall be provided in accordance with the drawings and details. Substitutions require written approval by the Owner.

PART 3.00 EXECUTION

3.01 INSPECTION

A. Ensure that final grades three (3) inches have been established prior to commencing planting operations. Provide for inclusion of all amendments, settings, etc. The Contractor shall be responsible for the final grading of all planting areas, to elevations as indicated on Civil Engineer's plans and as directed by the Owner's Representative.

B. Inspect trees, shrubs and live stock plant material for injury, insect infestation and trees and shrubs for improper pruning.

C. Do not begin planting of trees until deficiencies are corrected or plants replaced.

3.02 PREPARATION

A. The Soil Preparation:

1. All planted areas to be planted shall be loosened to 12" except 2:1 or steeper slopes.

2. Soil to be used for planting shall be free of rocks over 1/2" in diameter, and shall be free of all debris, sticks, stones, clods, roots, etc. The Contractor shall be responsible for the final grading of all planting areas, to elevations as indicated on Civil Engineer's plans and as directed by the Owner's Representative.

B. Aesthetic Grading:

1. The Contractor shall be responsible for the grading of ponds and berm grading and shall be responsible for the grading of all other areas.

2. Fill dirt, if required, shall be locally obtained material from naturally derived sources, not compacted, and shall be free of all debris, sticks, stones, clods, roots, etc. The Contractor shall be responsible for the final grading of all planting areas, to elevations as indicated on Civil Engineer's plans and as directed by the Owner's Representative.

C. Final Grades:

1. Final grading modifications may be required to establish the final grades.

2. Final grading shall mean grading as determined by the Civil Engineer's grading plans and the Owner's Representative.

3. All areas shall be graded such that final grades will be 2" below adjacent paved areas, sidewalks, walk boxes, headers, clear-outs, drains, manholes, etc.

etc. or as indicated on Drawings.

A. Surface drainage shall be away from all structure foundations at a minimum of 1/4" per foot to a minimum of 12" from the structure.

B. Remove or redistribute excess soil before application of fertilizer. Make allowances when establishing fresh grading for earth dig out from planting holes and muck.

C. Weeding: Before and during preliminary and fresh grading, dig out weeds and grasses by the roots and dispose of the site. Grasses not of the perennial type less than 2-1/2" high and having seeds, may be turned under. Perennial weeds and grasses to be removed include, but are not limited to the following: St. Augustine, Puncture Vine, Morning Glory, and Johnson Grass. Whenever encountered on the site within the planting areas, thoroughly remove other noxious or invasive weeds as required by municipalities and according to the drawings.

D. Disposal of excess soil: Dispose of any unacceptable or excess soil at an off-site location approved by Owner's Representative.

E. 1. Trenches: If sprinkler system has been installed after grading and fertilizing has been completed, re-cut the trench, backfill, and backfill to the depth specified for the area to conform to specified requirements.

F. 2. Eliminate all erosion scars prior to commencing maintenance period.

G. Disposal of excess soil: Dispose of any unacceptable or excess soil at an off-site location approved by Owner's Representative.

3.03 MATERIALS INSTALLATION

A. All plant materials shall be approved by the Owner's Representative as they are delivered to the job site or other site inspection, and in the cases:

1. Conditions: Plants shall be inspected and typical for the variety and species in a condition of healthy and vigorous growth. Free from plant disease, insect pests, or their eggs, and with healthy normal root systems well filling their containers, but not to the point of being root bound. Plants shall not be pruned prior to delivery, except as authorized by the Owner's Representative. Every effort shall be made to eliminate insects and fungus and apply anti-fungal prior to delivery.

2. Dimensions: The height and spread of all plants shall be measured with branches in their normal position. Where dimensions of plant materials are omitted from the Plant List, plants shall be normal stock for type listed.

3. Actual planting shall be performed during those periods when weather and soil conditions are suitable and in accord with locally accepted practice.

4. Only as many plants as can be planted and watered at the same day shall be distributed in a planting area.

5. Containers shall be opened and plants shall be removed in such a manner that the ball of earth surrounding the roots is not broken and they shall be planted and watered as herein specified immediately after removal from the containers. Containers shall not be used prior to planting the plants in the planting area.

6. Containers shall be opened and plants shall be removed in such a manner that the ball of earth surrounding the roots is not broken and they shall be planted and watered as herein specified immediately after removal from the containers. Containers shall not be used prior to planting the plants in the planting area.

7. The relative position of each tree and plant is subject to approval by the Owner's Representative, and shall be in accordance with the drawings. Triangular design spacing shall be used unless otherwise noted on the drawings.

8. Each noted plant shall be planted with its appropriate amount of soil. Plants shall be immediately opened after planting until the entire area is sealed to the full depth of each hole.

9. The amounts planted shall be mulched with appropriate fine bedding mulch. Each annual shall be mulched so that the ground is thoroughly covered, and the amounts are not buried.

10. Care and the execution of all times to protect the plants after planting. Any damage to plants by transplanting or other operations of this Contract shall be repaired immediately.

11. Preparation: Remove roots, weeds, and debris from area to be seeded. If dirt is compacted, work to a depth of 6 inches and break up all clods. Test soil and prep all areas as noted elsewhere in specifications.

12. Grading and rolling: Carefully smooth all surfaces to be seeded. Fill areas to expose all depressions or surface irregularities. Regrade as required.

13. Laying out: Lay first grid of sod stakes along a straight line (say a string in irregular areas). But parts lightly, do not overlap edges. On second step, stagger plants much as in laying bricks. On slopes, begin at the bottom and run up slope along the bottom of the slope. The second and odd row will be in higher elevation. Use a sharp knife to cut soil to fit curve, edges and sprinker heads. Soil shall be laid within 2 hours of harvesting and 2 hours from time of delivery.

14. Anchoring: On slopes deeper than 4:1, sod shall be anchored with one-inch wire with long lagging #11 (not galvanized steel wire staples. Use a minimum of four (4) staples along the uphill side of the sod strip in every other row. Along waterways, lay (2) additional staples shall be placed in the upper and odd row of the sod strip and the lower row. Staples shall be driven flush with the top of the sod. Provide additional staples as necessary to secure sod in place.

15. Watering: Do not let sod dry before watering. When a conveniently large area has been seeded, water lightly preventing drying. Continue to lay sod, and to water until installation is complete.

16. Rolling out: After laying all sod, roll lightly to eliminate irregularities and to firm good contact between the sod and soil. Avoid a very heavy roller or excessive initial watering which will cause roller marks.

17. Irrigation: Water thoroughly the complete lawn surface. Soil should be moistened at least 6 inches deep. Keep sprinkling at regular intervals to keep soil moist at all times until rooted. After soil is established, decrease frequency and amount of water with equal amount as necessary.

18. Replacement: Replace dead or dying sod with equal material prior to inspection and as directed by the Owner's Representative.

19. FILLING:

1. Much shall be 2" thick minimum following application, and 2" away from plant and berm.

2. On berms and slopes deeper than 4:1, install plants through exposed berm and erosion control blanket (Erosion Control Blanket) approved equal. Along planted areas and waterways, provide Erosion Control Blanket or approved equal. Install and anchor Erosion Control Blanket in accordance with manufacturer's specifications.

3. Seeding:

1. Prepare soil: Remove roots, weeds, and debris from area to be seeded. If dirt is compacted, work to a depth of 6 inches and break up all clods. Test soil and prep all areas as noted elsewhere in the Specifications.

2. Time seeding as appropriate for the type of plant, generally as: bahia with mid-late February through mid-May, annual ryegrass with bahia in mid-October through early January.

3. Apply seed according to the application rates and instructions specified by the seed company.

4. Uniformly spread and over the seeding area and incorporate into the soil at a depth of 1/4" to 1/2" inch.

5. Cover the seed with a solid layer of straw mulch that is dry, and free of weeds and insects.

14. Can remove:

A. Cut cars on two sides with an acceptable can cutter.

B. Do not injure root ball.

C. Do not cut across with spade or axe.

D. Burlap and wire removal:

A. After the root ball is positioned and backfilled, remove all wire and cut away the top of the burlap. Do not cut down into the soil.

B. Remove the top 6 - 8 inches of the basket wires prior to final backfilling. Pick back sharp wire ends.

C. Box removal:

A. Remove bottom of plant boxes before planting. Remove sides of box without damage to root ball after positioning plant and partially backfilling.

17. Plant tables:

A. During installation, Agriform 20-20-15 Tablets Plus Minor, or approved equal, shall be provided in each planting hole in per quantities and application of the manufacturer's specifications.

B. Planting tables shall be set with each plant on the top of the root ball while the plants are still in their containers so the required number of tablets shall be used in each hole can be easily verified by the Owner's Representative.

C. Tablets shall be located in the upper 1/2 to 1/3 of the plant pit, 1/2" from roots.

D. Backfill:

A. The remainder of the hole shall then be backfilled and tamped firm.

B. Next, an earthen basin shall be constructed around each plant. Each basin shall be of a depth sufficient to hold at least three (3) inches of water. The basins shall be constructed of amended backfill materials. Remove basin in turf areas after initial watering.

C. Pruning: Pruning of new plantings shall be limited to the minimum necessary to remove injured buds and branches. Pruning may not be done prior to delivery of plants.

D. Staking and Guying: The Contractor shall be responsible to maintain trees in a straight and plants positioned throughout the guarantee period. Tree staking shall include the use of stakes and guy wires shall not create tripping or obstructions. Remove the staking and guying materials once trees are established.

D. Planting of flowering annuals:

1. Flowering annuals shall be grown in 4" pots as indicated on the plans. Annuals shall remain in their flats until transplanting. The flat shall contain sufficient moisture so that it will not rot apart when lifting the plants.

2. The annuals shall be planted in straight rows and evenly spaced, unless otherwise noted, and all materials called out in the drawings. Triangular design spacing shall be used unless otherwise noted on the drawings.

3. Each noted plant shall be planted with its appropriate amount of soil. Plants shall be immediately opened after planting until the entire area is sealed to the full depth of each hole.

4. The amounts planted shall be mulched with appropriate fine bedding mulch. Each annual shall be mulched so that the ground is thoroughly covered, and the amounts are not buried.

5. Care and the execution of all times to protect the plants after planting. Any damage to plants by transplanting or other operations of this Contract shall be repaired immediately.

E. Sod planting:

1. Preparation: Remove roots, weeds, and debris from area to be seeded. If dirt is compacted, work to a depth of 6 inches and break up all clods. Test soil and prep all areas as noted elsewhere in specifications.

2. Grading and rolling: Carefully smooth all surfaces to be seeded. Fill areas to expose all depressions or surface irregularities. Regrade as required.

3. Laying out: Lay first grid of sod stakes along a straight line (say a string in irregular areas). But parts lightly, do not overlap edges. On second step, stagger plants much as in laying bricks. On slopes, begin at the bottom and run up slope along the bottom of the slope. The second and odd row will be in higher elevation. Use a sharp knife to cut soil to fit curve, edges and sprinker heads. Soil shall be laid within 2 hours of harvesting and 2 hours from time of delivery.

4. Anchoring: On slopes deeper than 4:1, sod shall be anchored with one-inch wire with long lagging #11 (not galvanized steel wire staples. Use a minimum of four (4) staples along the uphill side of the sod strip in every other row. Along waterways, lay (2) additional staples shall be placed in the upper and odd row of the sod strip and the lower row. Staples shall be driven flush with the top of the sod. Provide additional staples as necessary to secure sod in place.

5. Watering: Do not let sod dry before watering. When a conveniently large area has been seeded, water lightly preventing drying. Continue to lay sod, and to water until installation is complete.

6. Rolling out: After laying all sod, roll lightly to eliminate irregularities and to firm good contact between the sod and soil. Avoid a very heavy roller or excessive initial watering which will cause roller marks.

7. Irrigation: Water thoroughly the complete lawn surface. Soil should be moistened at least 6 inches deep. Keep sprinkling at regular intervals to keep soil moist at all times until rooted. After soil is established, decrease frequency and amount of water with equal amount as necessary.

8. Replacement: Replace dead or dying sod with equal material prior to inspection and as directed by the Owner's Representative.

19. FILLING:

1. Much shall be 2" thick minimum following application, and 2" away from plant and berm.

2. On berms and slopes deeper than 4:1, install plants through exposed berm and erosion control blanket (Erosion Control Blanket) approved equal. Along planted areas and waterways, provide Erosion Control Blanket or approved equal. Install and anchor Erosion Control Blanket in accordance with manufacturer's specifications.

3. Seeding:

1. Prepare soil: Remove roots, weeds, and debris from area to be seeded. If dirt is compacted, work to a depth of 6 inches and break up all clods. Test soil and prep all areas as noted elsewhere in the Specifications.

2. Time seeding as appropriate for the type of plant, generally as: bahia with mid-late February through mid-May, annual ryegrass with bahia in mid-October through early January.

3. Apply seed according to the application rates and instructions specified by the seed company.

4. Uniformly spread and over the seeding area and incorporate into the soil at a depth of 1/4" to 1/2" inch.

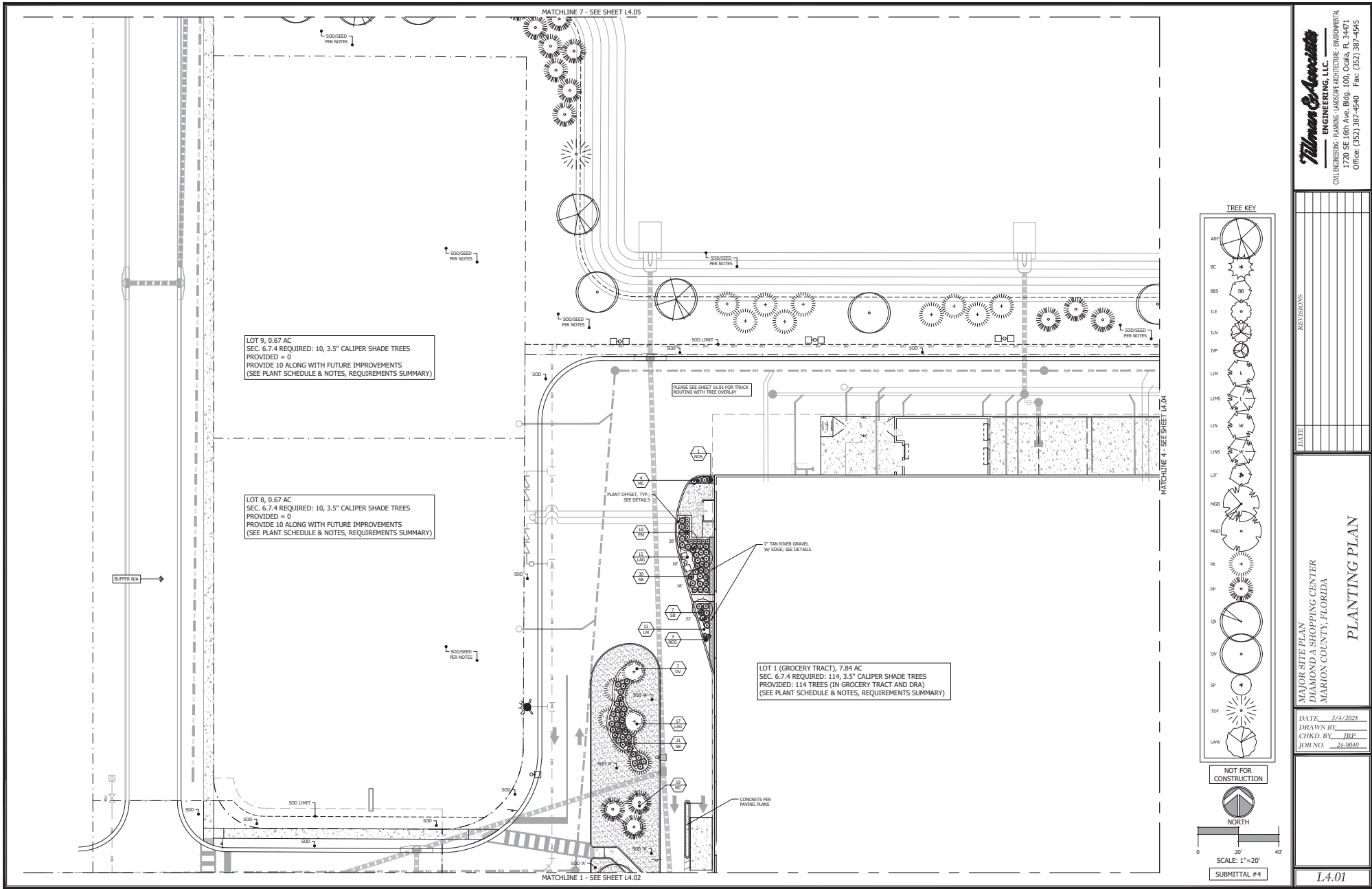
5. Cover the seed with a solid layer of straw mulch that is dry, and free of weeds and insects.

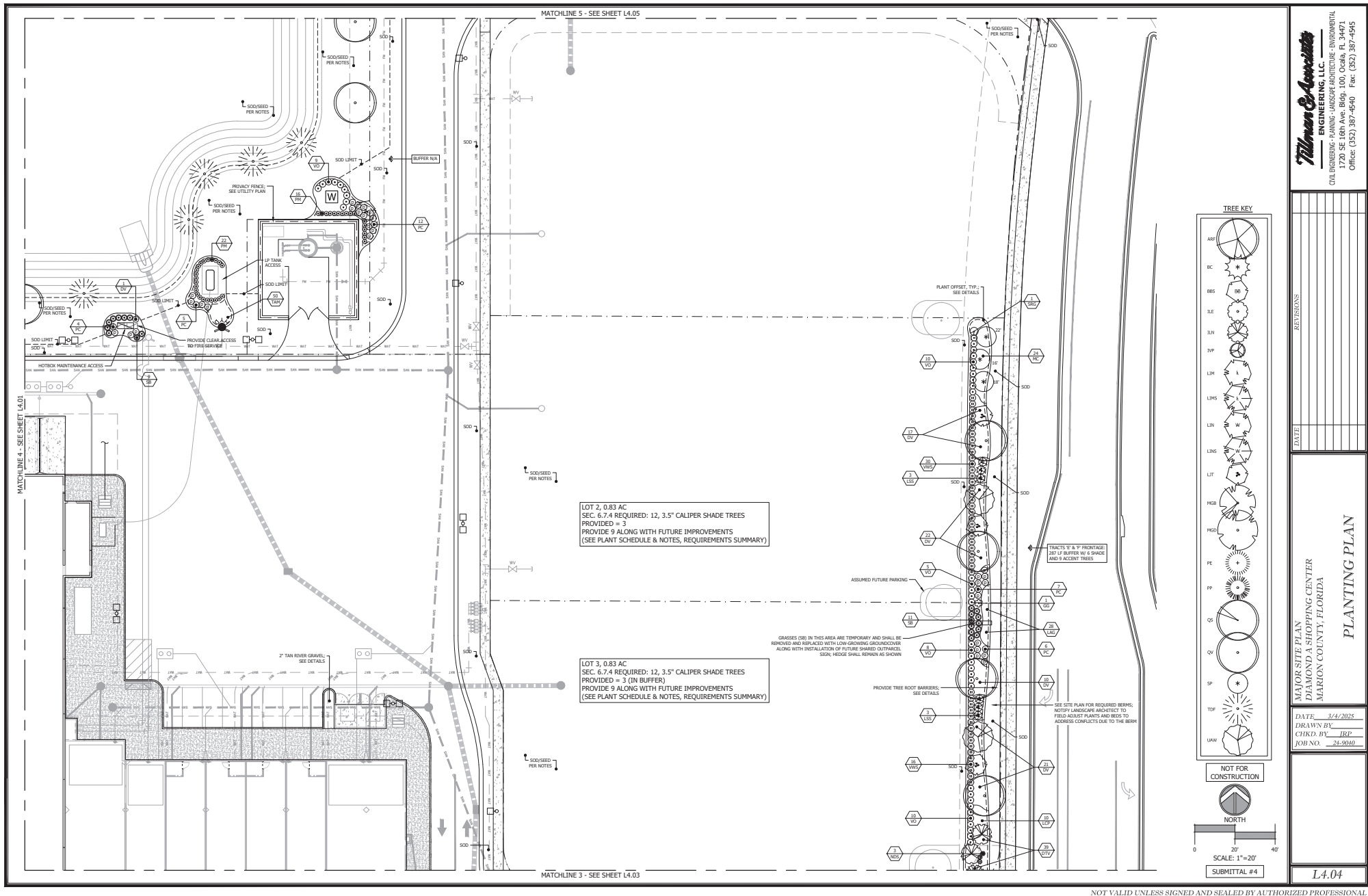
6. Roll and disc the seeded area so the mulch is fully anchored to the soil.

7. Do not apply water to newly seeded areas to force seed germination. Supplemental irrigation may be necessary during periods to sustain growth. When irrigation is provided, the seed bed shall be moist, not overly wet.

8. Provide fertilizer, weed and pest control, and mowing to promote a complete stand of groundcover.

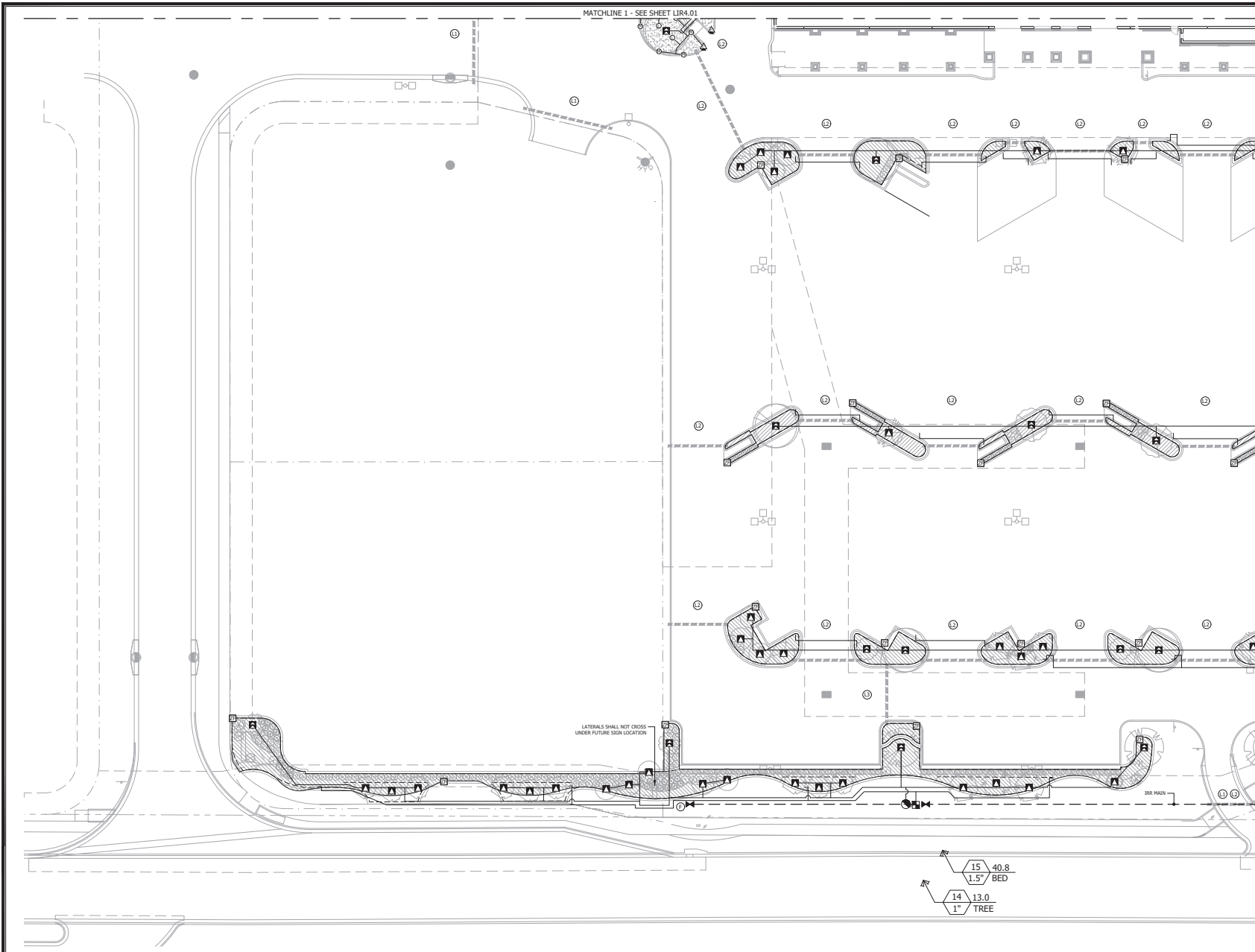
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[illegible]

MAJOR SITE PLAN
DIAMOND A SHOPPING CENTER
MARION COUNTY, FLORIDA

DATE 3/4/2025
DRAWN BY _____
CHKD. BY IRP
JOB NO. 24-9040



NOT FOR
CONSTRUCTION

NORTH

0 20' 40'

SCALE: 1"=20'

SUBMITTAL #4

Tilman & Associates
ENGINEERING, LLC
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 18th Ave. Bldg. 100, Ocala, FL 34471
Office: (352) 387-4640 Fax: (352) 387-4545

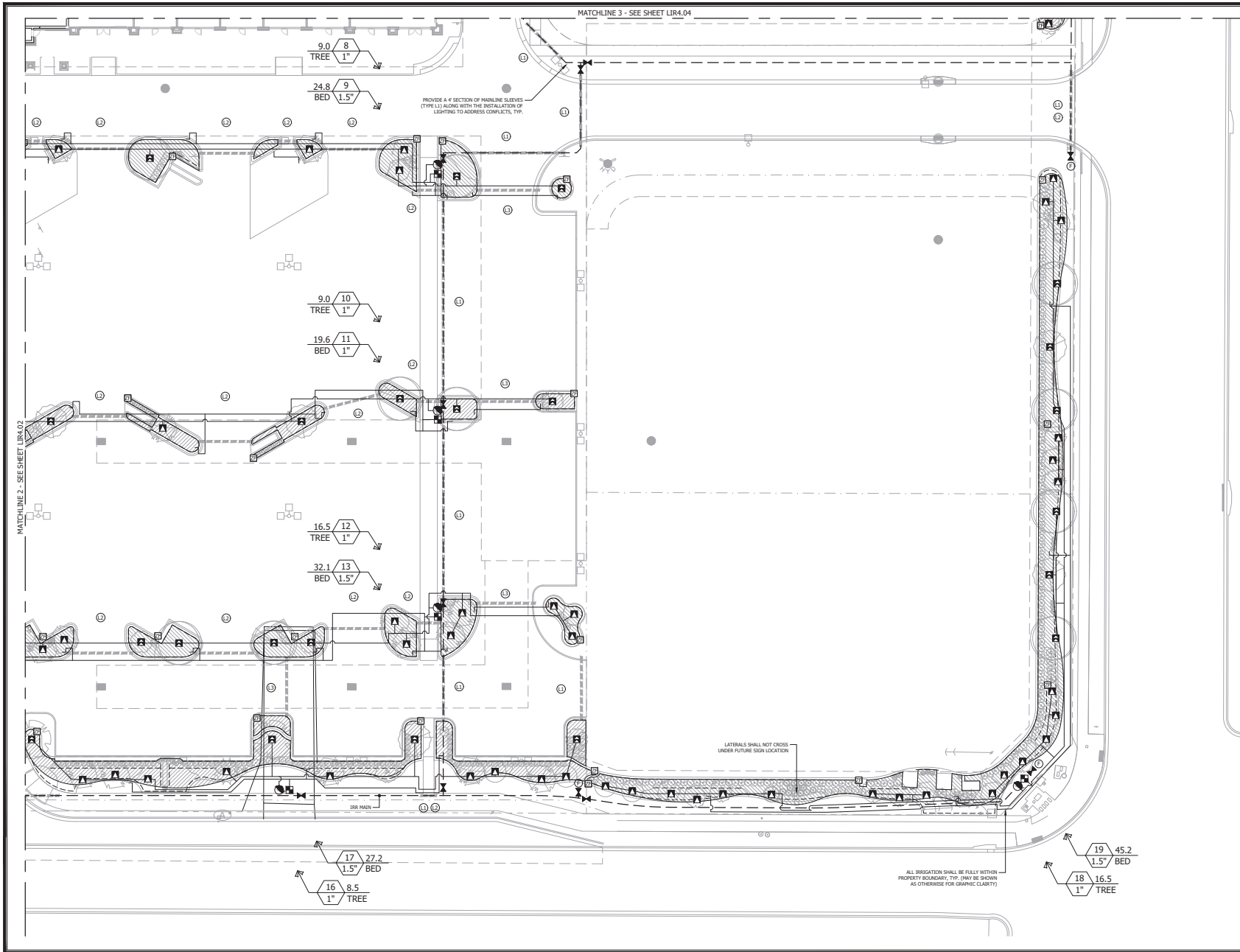
REVISIONS	DATE

MAJOR SITE PLAN
DIAMOND A SHOPPING CENTER
MARION COUNTY, FLORIDA

IRRIGATION PLAN

DATE: 2/4/2025
DRAWN BY: JRP
CHKD. BY: JRP
JOB NO. 24-9040

LIR4.02



NOT VALID UNLESS SIGNED AND SEALED BY AUTHORIZED PROFESSIONAL

Tillman & Associates
ENGINEERING, LLC
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 18th Ave. Bldg. 100, Ocala, FL 34471
Office: (352) 387-4640 Fax: (352) 387-4545

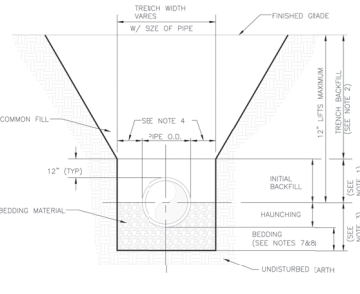
REVISIONS	DATE

MAJOR SITE PLAN
DIAMOND A SHOPPING CENTER
MARION COUNTY, FLORIDA

DATE: 2/4/2025
DRAWN BY: JRP
JOB NO.: 24-9040



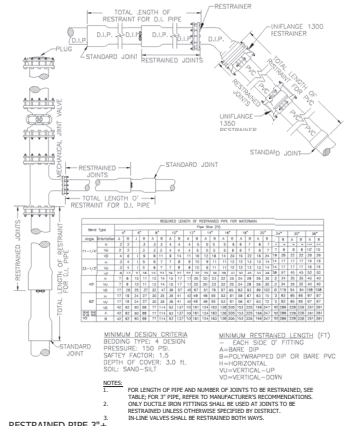
SUBMITTAL #4



- INITIAL BACKFILL: COMMON FILL COMPACTED TO 95% (90% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-99.
- TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (90% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-99.
- TYPE A BEDDING MATERIAL SHALL CONFORM TO FOOT NO. 57 AGGREGATE.
- 15\"/>

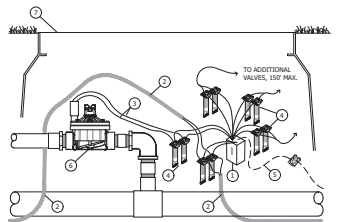
BEDDING AND TRENCHING

NOT TO SCALE



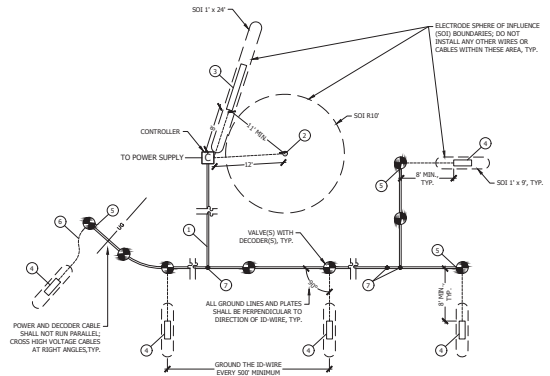
RESTRAINED PIPE 3\"/>

NOT TO SCALE



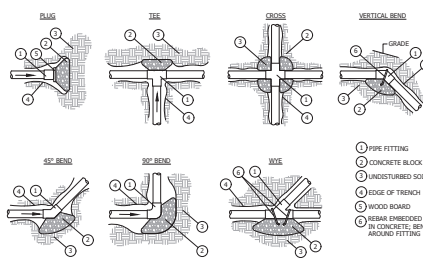
DECODER INSTALLATION DETAIL

NOT TO SCALE



DECODER, WIRING, AND GROUNDING LAYOUT

NOT TO SCALE



THRUST BLOCK DETAILS

NOT TO SCALE

- DECODER IN VALVE BOX: DECODERS SHALL BE IN BOX WITH ITS VALVE, OR SEPARATE VALVE BOX IN CLOSE PROXIMITY TO THE VALVE.
- JACKETED DECODER COMMUNICATION ID-WIRE ROUTE WIRE FROM CONTROLLER UNDERNEATH MAINLINE TO VALVE LOCATIONS.
- WIRES TO VALVE SOLENOIDS: ADDITIONAL LENGTH AS NEEDED, WIRE TYPE AND COLOR DEPENDENT ON LENGTH. SEE WIRING SPEC.
- STATION OUTPUT
- DECODER BARE GROUND WIRE: CONNECT TO GROUND SYSTEM FOR PLANS WITH APPROPRIATELY SIZED COPPER SPLIT BOLT DEVICE. WRAP FOR FUTURE INTERVENING UNUSED WIRES.
- VALVE (SEE DETAILS)
- VALVE BOX W/ SLUMP & SUPPORTS, TYP. (SEE DETAILS)

- 2-WIRE OUTPUT PATH WITH JACKETED, TWISTED ID WIRE. HUNTER 120112-ANG WITH RED AND BLUE WIRE IN BLUE JACKET. OTHER JACKET COLORS FOR DIAGNOSTICS: 15,000' MAX DISTANCE FROM CONTROLLER TO ANY RUN END; DO NOT LOOP PATH BACK TO CONTROLLER.
- GROUND ROD IN VALVE BOX W/ ROD DOWN COVER. 16 LISTED 5/8\"/>

NOTE: THE TWO-WIRE DECODER, WIRING, AND GROUNDING SYSTEM SHALL BE INSTALLED ACCORDING TO HUNTER MANUFACTURER SPECIFICATIONS, UNLESS NOTED OTHERWISE IN THESE PLANS.

NOT FOR CONSTRUCTION

SUBMITTAL #4

Willman & Associates
ENGINEERING, LLC
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 18th Ave. Bldg. 100, Ocala, FL 34471
Office: (352) 387-4640 Fax: (352) 387-4545

REVISIONS

DATE

MAJOR SITE PLAN
DIAMOND A SHOPPING CENTER
MARION COUNTY, FLORIDA

DATE: 3/5/2025
DRAWN BY: JBP
JOB NO.: 24-2940

NOT FOR CONSTRUCTION

LIR5.02

NOT VALID UNLESS SIGNED AND SEALED BY AUTHORIZED PROFESSIONAL





THIS ITEM MUST BE CAREFULLY SIGNED AND DATED BY THE ARCHITECT/ENGINEER AND SUBMITTED TO THE BOARD OF PROFESSIONAL ENGINEERS ON THE DATE ADJACENT TO THE SIGNATURE.

Printed copies of this document are not valid. Electronic copies must be verified on any of electronic copy.

ARCHITECT/ENGINEER SEAL

DANIEL ANTHONY SUTYAK
FLORIDA
PROFESSIONAL ENGINEER
LICENSE
No 74042
STATE OF

Daniel Anthony Sutyak
P.E. No. 74042



Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Drives	Fc	3.27	8.9	0.6	5.45	14.83
Property Line	Fc	0.09	1.0	0.0	N.A.	N.A.
Publix Parking Area	Fc	5.01	8.9	2.1	2.39	4.24
Security Area	Fc	4.65	8.6	2.0	2.33	4.30

[illegible]

PROJECT
Ocala - Publix Canopy

SHEET TITLE





CEI
A NORLEE COMPANY

COLWILL
ENTERPRISES
MULTI-DISCIPLINARY ENGINEERING

Consulting Engineers, Inc.
Engineering Business No. 9021

[illegible][illegible]

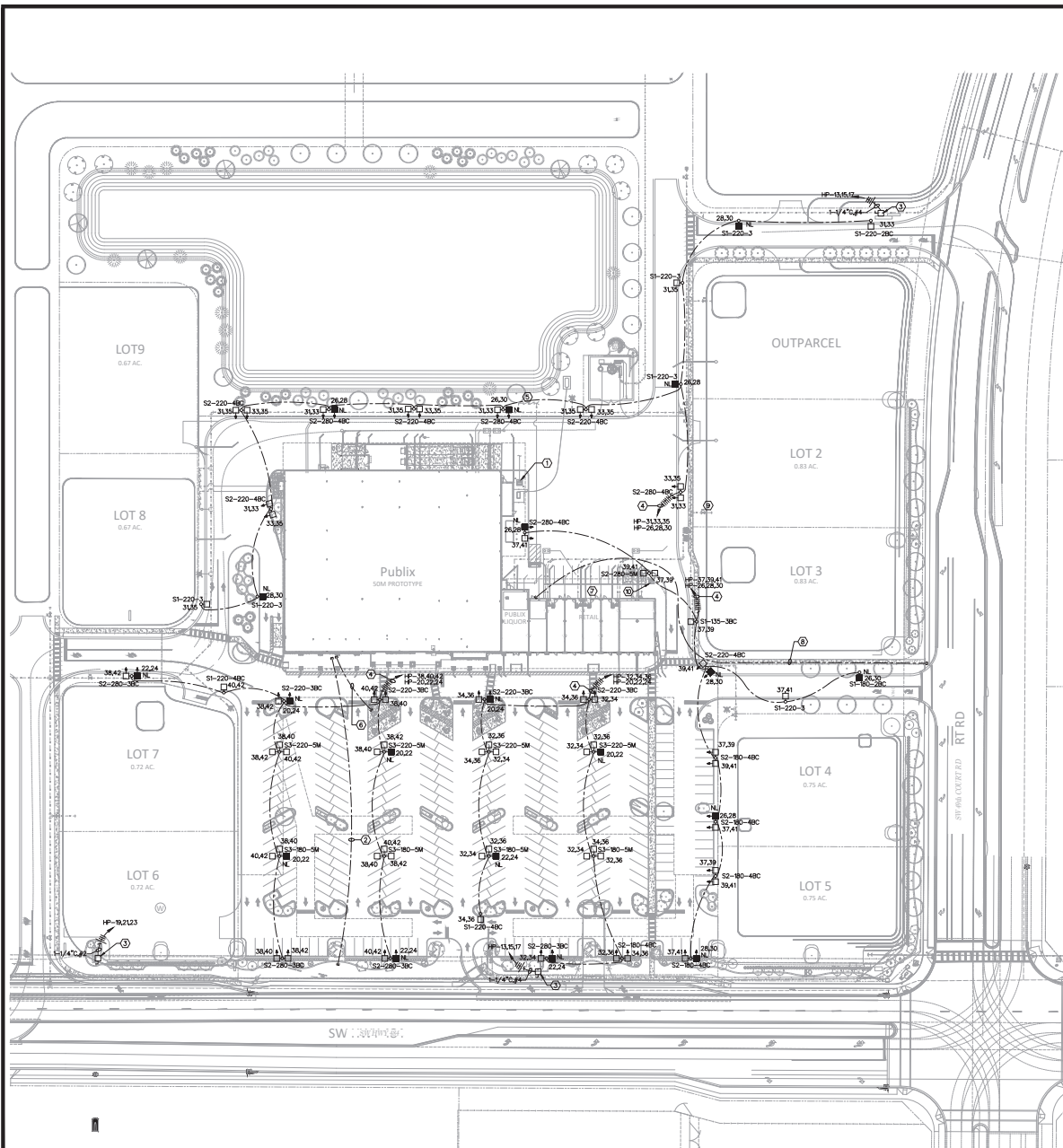
PROJECT NO 20240016	DRAWN BY AS
PERMIT SUB DATE	CHECKED BY

SHEET TITLE
PHOMETRIC DETAILS

SHEET NO
EP2.0

REV
A

SHEET NO. **EP2.0** REV **A**



SYS.	MANUFACTURER	CATALOG NUMBER	LAMPS	MTL.	REMARKS	NOTES
S1-100-3BC	BEACON	(1) W-4-96L-100-403-3-BC	LED	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 3 DISTRIBUTION WITH BACK SHIELD. VERIFY COLOR WITH ARCHITECT.	135
S1-100-3BC	BEACON	(1) W-4-96L-100-403-3-BC	LED	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 3 DISTRIBUTION WITH BACK SHIELD. VERIFY COLOR WITH ARCHITECT.	180
S1-100-3BC	BEACON	(1) W-4-96L-100-403-3-BC	LED	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 3 DISTRIBUTION WITH BACK SHIELD. VERIFY COLOR WITH ARCHITECT.	220
S1-100-3	BEACON	(1) W-4-96L-100-403-3	LED	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 3 DISTRIBUTION WITH BACK SHIELD. VERIFY COLOR WITH ARCHITECT.	220
S1-100-3BC	BEACON	(1) W-4-96L-100-403-3-BC	LED	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 4 DISTRIBUTION WITH BACK SHIELD. VERIFY COLOR WITH ARCHITECT.	220
S2-100-4BC	BEACON	(2) W-4-96L-100-403-4-BC	LED	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 4 DISTRIBUTION WITH BACK SHIELD. VERIFY COLOR WITH ARCHITECT.	180 EACH HEAD
S2-100-3BC	BEACON	(3) W-4-96L-100-403-3-BC	LED	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 3 DISTRIBUTION WITH BACK SHIELD. VERIFY COLOR WITH ARCHITECT.	220 EACH HEAD
S2-100-4BC	BEACON	(2) W-4-96L-100-403-4-BC	LED	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 4 DISTRIBUTION WITH BACK SHIELD. VERIFY COLOR WITH ARCHITECT.	220 EACH HEAD
S2-100-3BC	BEACON	(3) W-4-96L-100-403-3-BC	LED	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 3 DISTRIBUTION WITH BACK SHIELD. VERIFY COLOR WITH ARCHITECT.	280 EACH HEAD
S2-100-4BC	BEACON	(2) W-4-96L-100-403-4-BC	LED	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 4 DISTRIBUTION WITH BACK SHIELD. VERIFY COLOR WITH ARCHITECT.	280 EACH HEAD
S2-100-5W	BEACON	(2) W-4-96L-100-403-5W	LED	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 5W DISTRIBUTION WITH BACK SHIELD. VERIFY COLOR WITH ARCHITECT.	280 EACH HEAD
S2-100-5W	BEACON	(3) W-4-96L-100-403-5W	LED	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 5W DISTRIBUTION WITH BACK SHIELD. VERIFY COLOR WITH ARCHITECT.	180 EACH HEAD
S2-100-5W	BEACON	(3) W-4-96L-100-403-5W	LED	POLE MOUNTED AT 30'	LED SITE LIGHTING FIXTURE, TYPE 5W DISTRIBUTION WITH BACK SHIELD. VERIFY COLOR WITH ARCHITECT.	220 EACH HEAD
FILE	ACCORD BUSINESS PRECAST SPECIALTIES			DIRECT BURIAL	18"-4" LONG SQUARE TAPERED CONCRETE POLE WITH 3/4" DIA. TIE, 100' MAX LIFT, MEET PER 10' LENGTH. BURIAL DEPTH TO BE 6'-4", BELOW FINISHED GRADE.	

NOTES:
(1) CONTRACTOR SHALL BE REQUIRED TO VERIFY CALCULATIONS FROM THE POLE MANUFACTURER, SEAL BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF FLORIDA, TO VERIFY WIND LOAD COMPLIANCE OF EACH EXISTING POLE AND FUTURE SCHEDULE.

- NOTES ○
- APPROXIMATE LOCATION OF PUBLIC UTILITY COMPANY PAD MOUNTED TRANSFORMER WITH 120/208 VOLT SECONDARY. EC SHALL COORDINATE CONCRETE PAD INSTALLATION WITH UTILITY COMPANY AND PUBLIC INTERIOR CONTRACTOR.
 - APPROXIMATE LOCATION OF PVC FOR PUBLIC TELEPHONE. EC SHALL PROVIDE (2) 3" PVC CONDUITS WITH PULL STRINGS AND EXTEND TO EDGE OF PROPERTY AS SHOWN FOR TELEPHONE CONDUITS. EC SHALL EXTEND CONDUITS TO WITHIN 5' OF BUILDING IN LOCATION SHOWN AND COORDINATE CONNECTION TO TELEPHONE CONDUITS EXTENDED FROM PUBLIC WITH INTERIOR CONTRACTOR. EC SHALL ALSO PROVIDE (1) 4" WITH PULL-STRING IN A SEPARATE TRENCH FOR DATA.
 - APPROXIMATE LOCATION OF PYLON SIGN. PROVIDE 30/30/NE/MA 3R DISCONNECT AT SIGN FOR CIRCUITS SHOWN. ROUTE CONDUCTORS THRU LIGHTING CONTRACTOR. EC SHALL PROVIDE WP/OP RECEPTACLE AT BASE OF POLE AND CIRCUIT AS SHOWN. COORDINATE EXACT LOCATION WITH SIGN CONTRACTOR PRIOR TO RIGGING-PHASE.
 - ROUTE CIRCUITS VIA LIGHTING CONTRACTOR.
 - APPROXIMATE LOCATION OF PUBLIC DOUBLE DETECTOR CHECK VALVE. PROVIDE TAMPER SWITCH AND FIRE ALARM CONDUCTORS IN 3/4" TO PUBLIC FIRE ALARM PANEL.
 - EXTEND (2) 3" WITH PULL-STRING FROM WITHIN 5' OF BUILDING TO LANDSCAPING ISLAND SHOWN, FOR FUTURE USE.
 - APPROXIMATE LOCATION OF PANEL 1W.
 - APPROXIMATE LOCATION OF PVC FOR RETAIL TELEPHONE. EC SHALL PROVIDE (2) 4" PVC CONDUITS WITH PULL STRINGS AND EXTEND TO EDGE OF PROPERTY AS SHOWN FOR TELEPHONE CONDUITS.
 - APPROXIMATE LOCATION OF RETAIL DOUBLE DETECTOR CHECK VALVE. PROVIDE TAMPER SWITCH AND FIRE ALARM CONDUCTORS IN 3/4" TO RETAIL SPRINKLER MONITORING PANEL.
 - APPROXIMATE LOCATION OF RETAIL UTILITY COMPANY PAD MOUNTED TRANSFORMER WITH 120/208 VOLT SECONDARY. EC SHALL COORDINATE CONCRETE PAD INSTALLATION WITH UTILITY COMPANY.

GENERAL NOTE

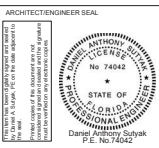
- ALL SITE LIGHTING CONDUCTORS SHALL BE #10 AWG IN 3/4" C, UON.

ELECTRICAL SITE PLAN
SCALE: 1"=50'-0"



2600 Mallard Center Parkway
Suite #200
Mallard, FL 32751
P (407) 661-9100
F (407) 661-9101
c-p.com
Florida State Contract No. 1200000

ARCHITECT/ENGINEER SEAL
ANTHONY M. PETERSON
No. 74062
STATE OF FLORIDA
Professional Engineer
Civil Engineering
Dated: Anthony M. Peterson
P.E. No. 74062



Consulting Engineers, Inc.
Engineering Business No. 9021

4750 East Adamo Drive
Tampa, Florida 33605
Tel: 813-241-2525
www.colwillenterprises.com
© 2014 All Rights Reserved
Job Number: 51253

REV	DATE	REVISION / ISSUE NAME
1	05-23-2024	ISSN Public Submittal

PROJECT NO
20240016
PERMIT SUB DATE
AS
CHECKED BY
DAB

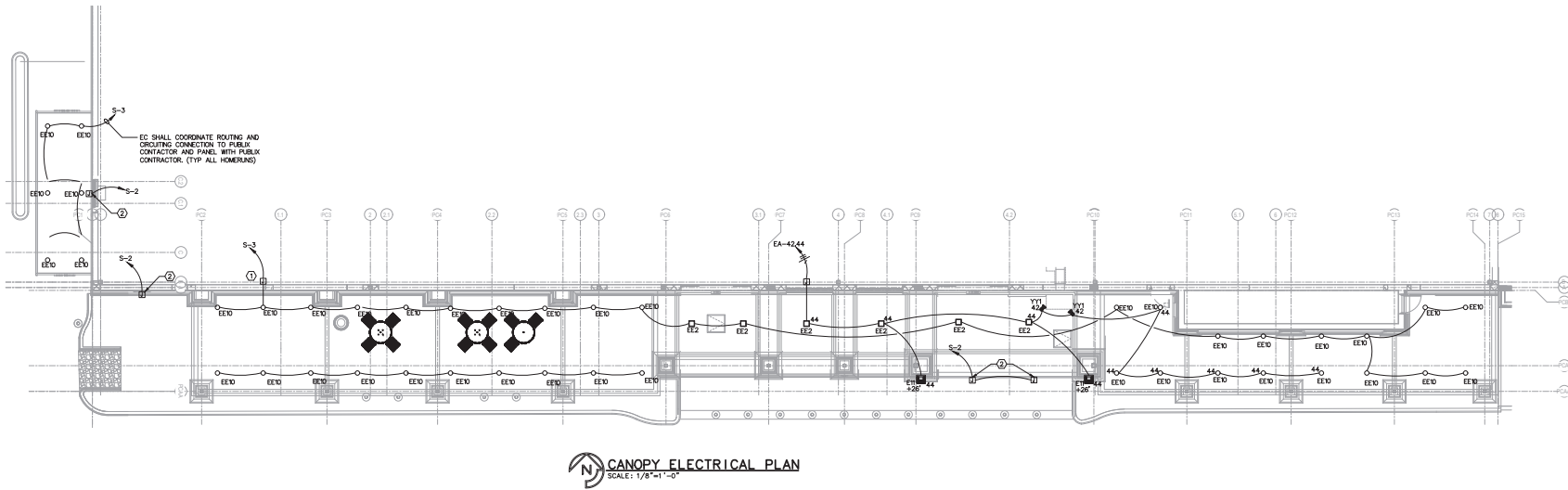
PROJECT
Ocala - Publix Canopy
SW Hwy 406 & SW 40th CT RD
Ocala, Florida

CLIENT
Publix Super Markets, Inc.
3300 Publix Corporate Pkwy
Lakeland, FL

SHEET TITLE
ELECTRICAL SITE PLAN

SHEET NO
ES1.0

REV
△



CANOPY ELECTRICAL PLAN
SCALE: 1/8"=1'-0"

FIXTURE SCHEDULE

MARK	LUMINAIRE WATTAGE	MANUF.	CATALOG NUMBER	DESCRIPTION	MOUNTING	POWER SUPPLY
						QTY. TYPE
EE2	55	BEACON	CL004L-55W-TS00M-VIS00WHT	NEW LED RECESSED CLG MED DISTRIBUTION	RECESSED	1 LED DRIVER
EE10	24	INDY	LMN-24LM-5W-MULT-54-B00R-27-WP-CD	20K LUMENS LED RECESSED DOWN LIGHT	RECESSED	1 LED DRIVER
E11	136	BEACON	TRN-006L-136W-TS00M-VIS00WHT	TYPE II DN DISTRIBUTION LED WALLPACK WHITE COLOR	WALL MTD.	1 LED DRIVER
Y11	27	HUBBELL	PAL-42	INTERNAL WASH LED - WHITE	CEILING MOUNT	NA LED DRIVER

★ INDICATES UL LISTED FIXTURE SUITABLE FOR WET/DAMP LOCATION TO COMPLY WITH NEC 410-4.

NOTES

- APPROXIMATE LOCATION OF PANELS "S" AND "EA".
- PROVIDE JUNCTION BOX AND 3/4" EMPTY CONDUIT EXTEND INTO PUBLIC SPACE FOR FUTURE SIGN CIRCUITING. COORDINATE JUNCTION BOX LOCATIONS WITH SIGN INSTALLER PRIOR TO ROUGH-IN.

GENERAL NOTES

- ALL CONDUCTORS SHALL BE #10 AWG IN 3/4" C. UON.
- EC SHALL VERIFY ALL LIGHT FIXTURE LOCATIONS WITH ARCHITECT PRIOR TO ROUGH-IN.
- ALL FIXTURES TO BE SUPPLIED AND INSTALLED BY EC.
- NO SUBSTITUTIONS ALLOWED.

REVISION / ISSUE HISTORY

REV	DATE	REVISION / ISSUE NAME
-----	------	-----------------------

1. 05-23-2024. 50% Public Submittal

PROJECT NO.

20240016

PERMIT SUB DATE

06/01/2024

PROJECT

Ocala - Publix Canopy

SW Hwy 444 & SW 48th CT RD

Ocala, Florida

CLIENT

Publix Super Markets, Inc.

3300 Publix Corporate Pkwy

Lakeland, FL

SHEET TITLE

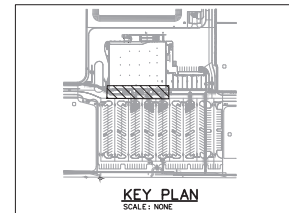
CANOPY ELECTRICAL PLAN

SHEET NO.

FE1.0

REV

1





ARCHITECT/ENGINEER SEAL



4750 East Adamo Drive
Tampa, Florida 33605
Tel: 813-241-2525
www.colwilliengineering.com
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Job Number: 51253



Calculation Summary						
Scene: ATM						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Drive-Thru	Fc	12.67	16.3	9.1	1.39	1.79
Public Canopy	Fc	13.21	21.1	5.7	2.32	3.70
ATM	Fc	7.05	17.8	2.1	3.36	8.48


REVISION / ISSUE HISTORY[illegible]

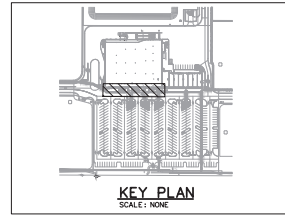
PROJECT NO 20240016	DRAWN BY AS
PERMIT SUB DATE	CHECKED BY DAS

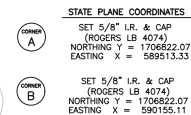
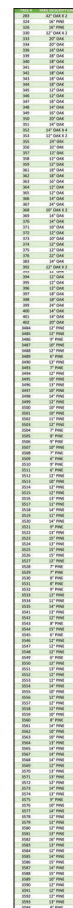
PROJECT
Ocala - Publix Canopy

Publix Super Markets, Inc
3300 Publix Corporate Pkwy
Lakeland, FL

SHEET TITLE
CANOPY ELECTRICAL PLAN

SHEET NO. **FE2.0** REV. 





RODNEY K. ROGERS DATE .
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 5274
STATE OF FLORIDA

[illegible]

Robert L. Rogers, PE
FL Reg. No. 10027
rlrogers@rogerseng.com

Rodney K. Rogers, PSM
FL Reg. No. 5274
rkrogers@rogerseng.com

Melville M. Boyer, PSM
FL Reg. No. 7398
mboyer@rogerseng.com

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

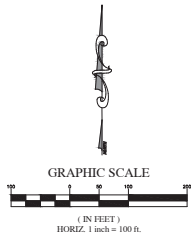
A TOPOGRAPHIC SURVEY
FOR
484 ROAD RUNNER RESOURCES, LLC.

JOB No.
24_41200-056-04

DATE
3-19-2024

SCALE
1" = 100'

SHEET
1 OF 1

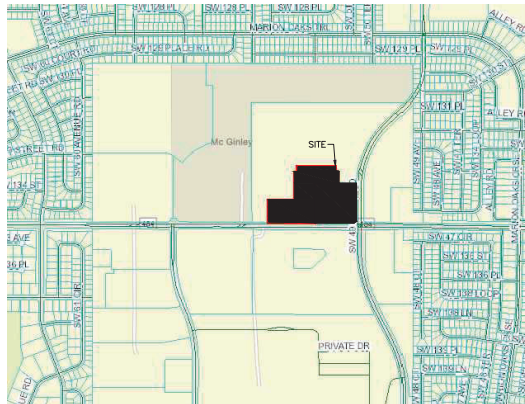


A BOUNDARY & TOPOGRAPHIC SURVEY FOR JOHN ALVAREZ INVESTMENT GROUP, LLC.

LEGAL DESCRIPTION FOR PARCEL NO. 41200-056-04:

A PORTION OF THE N.E. 1/4 OF SECTION 9, TOWNSHIP 17 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA, LYING WEST OF S.W. 49th COURT ROAD RIGHT-OF-WAY (WIDTH VARIES) AND NORTH OF S.W. HIGHWAY No. 484 RIGHT-OF-WAY (WIDTH VARIES); ALL BEING DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE N.E. 1/4 OF SAID SECTION 9; THENCE N00°11'23"E ALONG THE WEST LINE OF SAID N.E. 1/4, A DISTANCE OF 60.00 FEET TO THE INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF AFOREMENTIONED S.W. HIGHWAY No. 484; THENCE DEPARTING SAID WEST LINE, PROCEED S89°44'31"E ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 1046.65 FEET; THENCE DEPARTING SAID NORTH RIGHT-OF-WAY LINE, PROCEED N00°15'29"E, 2.66 FEET TO THE POINT OF BEGINNING; THENCE N00°15'29"E, 644.34 FEET; THENCE S89°44'31"E, 669.38 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF AFOREMENTIONED S.W. 49th COURT ROAD, SAID POINT BEING ON A CURVE CONCAVE EASTERLY, HAVING A RADIUS OF 1505.00 FEET AND A CENTRAL ANGLE OF 02°10'02"; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE AND SAID WESTERLY RIGHT-OF-WAY LINE 56.93 FEET (CHORD BEARING AND DISTANCE OF S01°50'43"W, 56.93 FEET) TO THE POINT OF TANGENCY; THENCE CONTINUE ALONG SAID WESTERLY RIGHT-OF-WAY LINE S00°15'42"W, 557.07 FEET; THENCE CONTINUE ALONG SAID WESTERLY RIGHT-OF-WAY LINE S45°15'42"W, 467.0 FEET TO THE INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF AFOREMENTIONED S.W. HIGHWAY No. 484; THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY LINE OF S.W. 49th COURT ROAD, PROCEED N89°44'31"W ALONG SAID NORTH RIGHT-OF-WAY LINE OF S.W. HIGHWAY No. 484, A DISTANCE OF 635.25 FEET; THENCE N75°42'15"W, 10.95 FEET TO THE POINT OF BEGINNING.



LOCATION MAP

SHEET INDEX:

- SHEET 1 - COVER SHEET
- SHEET 2 - BOUNDARY SURVEY
- SHEET 3 - TOPOGRAPHIC SURVEY

LEGEND

T.B.M.	TEMPORARY BENCHMARK
F.F.	FINISH FLOOR
ELEV.	ELEVATION
INV.	INVERT
C.M.E.S.	CONCRETE MITERED END SECTION
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
D.E.	DRAINAGE EASEMENT
P.C.P.	PERMANENT CONTROL POINT
P.R.M.	PERMANENT REFERENCE MONUMENT
C.M.	CONCRETE MONUMENT
I.R.	IRON ROD
N&D	NAIL & DISC
R/W	RIGHT OF WAY
E/P	EDGE OF PAVEMENT
C/L	CENTERLINE
SEC.	SECTION
TWP.	TOWNSHIP
RGE.	RANGE
(P)	PLAT MEASUREMENT
(D)	DESCRIPTION MEASUREMENT
(F)	FIELD MEASUREMENT
R	RADIUS
O or Δ	CENTRAL ANGLE
L	ARC LENGTH
CB	CHORD BEARING
LC	LENGTH OF CHORD
O.R.B.	OFFICIAL RECORDS BOOK
PG.	PAGE
CONC.	CONCRETE
UTILITY POLE AND GUY ANCHOR	
OVERHEAD WIRES	
FENCE	
CONCRETE	
ASPHALT	
TRAFFIC SIGNAL BOX	
SANITARY MANHOLE	
STORM MANHOLE	
WATER METER	
WATER VALVE	
TRAFFIC SIGN	
STREET SIGN	
GAS MARKER	
FIBER OPTIC CABLE MARKER	
LIGHT POLE	
FIRE HYDRANT	
TELEPHONE PEDESTAL	
ELECTRIC METER	
TREE (SEE TREE SCHEDULE)	
GROUND CONTOUR	

SURVEY REPORT:

1. FIELD MEASURED BEARINGS SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, FLORIDA WEST ZONE, NAD-83, AND DERIVED FROM THE L-NET NETWORK.
2. VERTICAL DATA IS BASED ON MARION COUNTY VERTICAL CONTROL POINT "CR-484-19", PUBLISHED ELEVATION = 81.105, NAVD-88.
3. FIELD SURVEY DATE: 3-18-2024.
4. NO TITLE INFORMATION REFLECTING RIGHTS-OF-WAY, OR EASEMENTS OF RECORD, WAS FURNISHED TO THE SURVEYOR UNLESS SHOWN OR NOTED HEREON.
5. THE LEGAL DESCRIPTIONS SHOWN HEREON WERE WRITTEN BY THE SURVEYOR FROM THE DEEDS OF RECORD AND INSTRUCTIONS FROM THE CLIENT.
6. ALL RIGHTS-OF-WAY SHOWN HEREON ARE PHYSICALLY OPEN UNLESS OTHERWISE STATED.
7. UNDERGROUND IMPROVEMENTS OR UTILITIES WERE NOT LOCATED.
8. THIS PROPERTY APPEARS TO BE IN A ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY NUMBER 120160, PANEL 0715, SUFFIX D, WITH AN EFFECTIVE DATE OF 8/28/2008.
9. THIS SURVEY MEETS THE STANDARDS OF PRACTICE CONTAINED IN CHAPTER 54-17.050 THROUGH .052, FLORIDA ADMINISTRATIVE CODE AND THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THE MINIMUM RELATIVE DISTANCE ACCURACY FOR COMMERCIAL/HIGH RISK LAND USE.
10. UNLESS IT BEARS THE DIGITAL SIGNATURE AND CERTIFICATION OR THE PHYSICAL SIGNATURE AND SEAL OF THE LICENSED SURVEYOR AND MAPPER, THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

LEGAL DESCRIPTION FOR PARCEL NO. 41200-056-12:

A PORTION OF THE N.E. 1/4 OF SECTION 9, TOWNSHIP 17 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA, LYING NORTH OF S.W. HIGHWAY No. 484 RIGHT-OF-WAY LINE (WIDTH VARIES); BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE N.E. 1/4 OF SAID SECTION 9; THENCE N00°11'23"E ALONG THE WEST LINE OF SAID N.E. 1/4, A DISTANCE OF 60.00 FEET TO THE INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF AFOREMENTIONED S.W. HIGHWAY No. 484; THENCE DEPARTING SAID WEST LINE, PROCEED ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 285.17 FEET TO THE POINT OF BEGINNING; THENCE DEPARTING SAID NORTH RIGHT-OF-WAY LINE, PROCEED N00°15'42"E, 356.80 FEET; THENCE S89°44'18"E, 443.96 FEET; THENCE NORTH, 468.25 FEET; THENCE EAST, 30.00 FEET; THENCE NORTH 95.00 FEET; THENCE EAST, 641.78 FEET; THENCE SOUTH, 95.00 FEET; THENCE EAST, 30.00 FEET; THENCE SOUTH, 181.18 FEET; THENCE S00°15'42"E, 382.98 FEET; THENCE S00°15'29"W, 644.34 FEET TO THE INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF AFOREMENTIONED S.W. HIGHWAY No. 484; THENCE N75°42'15"W, ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 52.04 FEET; THENCE S89°41'07"W, ALONG SAID NORTH RIGHT-OF-WAY LINE, 305.87 FEET; THENCE S44°41'07"W, ALONG SAID NORTH RIGHT-OF-WAY LINE, 17.11 FEET; THENCE N89°41'11"W, ALONG SAID NORTH RIGHT-OF-WAY LINE, 393.16 FEET TO THE POINT OF BEGINNING.

SURVEYORS CERTIFICATION:

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY L.D.C. AND MEETS THE STANDARDS OF PRACTICE PER CHAPTER 2014-147 SECTION 1, SECTION 472.027, FLORIDA STATUTES.

RODNEY K. ROGERS DATE .
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 5274
STATE OF FLORIDA

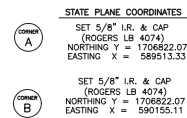
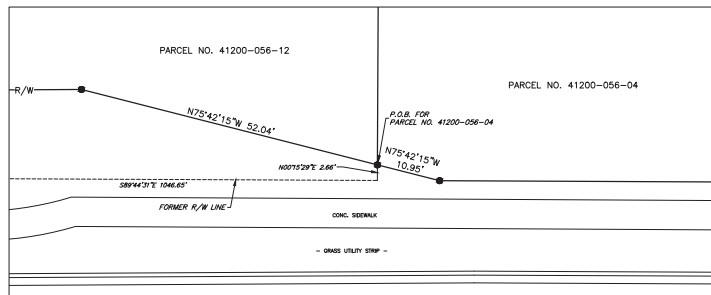
REVISION	DATE

RODNEY K. ROGERS, P.E. REGISTRATION NO. 5274 RODNEY K. ROGERS, P.S.M. REGISTRATION NO. 5274 MADISON M. BOYD, P.S.M. REGISTRATION NO. 5274 MADISON M. BOYD, P.S.M. REGISTRATION NO. 5274
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ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

A BOUNDARY & TOPOGRAPHIC SURVEY
FOR
JOHN ALVAREZ INVESTMENT GROUP, LLC.

JOB No. 24-41200-056-04	DATE 3-18-2024
SCALE 1" = 100'	SHEET 1 OF 3



RODNEY K. ROGERS DATE .
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 5274
STATE OF FLORIDA

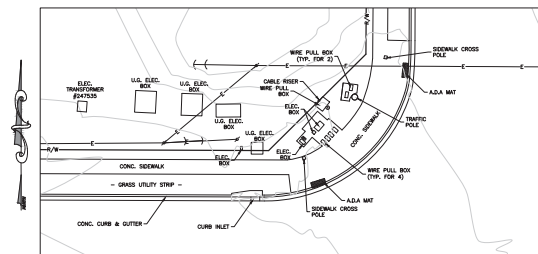
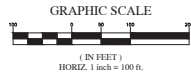
A BOUNDARY & TOPOGRAPHIC SURVEY
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JOHN ALVAREZ INVESTMENT GROUP, LLC.

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

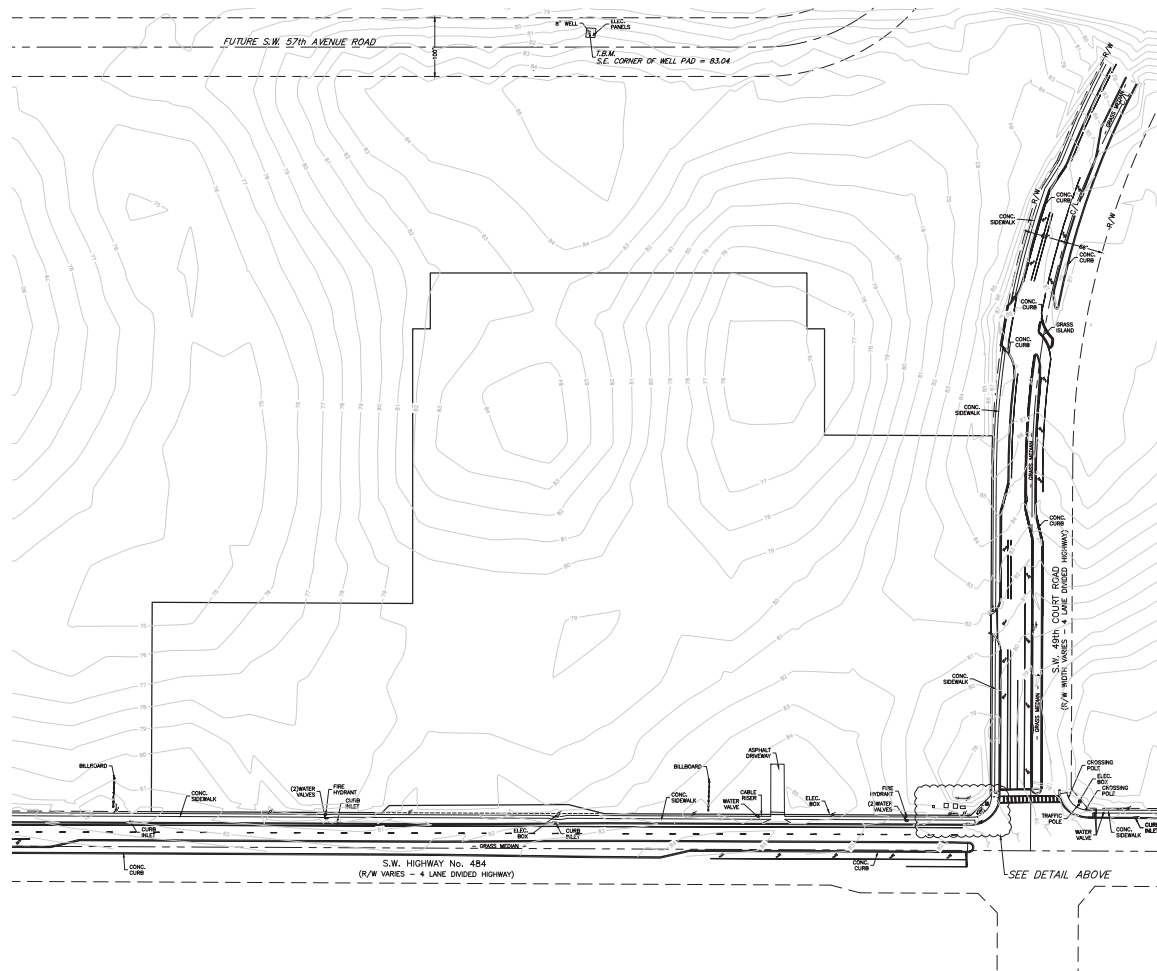
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S.E. CORNER DETAIL
SCALE: 1" = 20'



RODNEY K. ROGERS DATE .
PROFESSIONAL SURVEYOR & MAPPER
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STATE OF FLORIDA

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DATE	REVISION