



December 20, 2024

Marion County Growth Services  
2710 E. Silver Springs Boulevard  
Ocala, Florida 34470

**RE: *Bay Laurel PUD Rezoning and Master Plan Amendment  
Kimley-Horn Project No. 242248009***

To Whom It May Concern:

On behalf of our client, On Top of the World Communities, L.L.C., we are submitting two applications: (1) an application for a PUD Master Plan Amendment for the Bay Laurel PUD; and (2) an application for rezoning for a 44.25 acre parcel (35474-000-00) to incorporate it into the Bay Laurel PUD.

#### **PUD Master Plan Amendment**

The Bay Laurel PUD was initially adopted in 2005, along with PUD development standards and waivers. The Bay Laurel PUD approved the development of 2,552 single family and 399 multi-family units, as well as up to 801,000 square feet of commercial. To date, 795 single-family units have been platted (Weybourne Landing) and a portion of the 801,000 square foot of commercial has been developed.

The PUD Master Plan Amendment proposes to primarily: (1) alter the locations of various uses and the location of a corridor roadway on the Property; (2) amend the PUD Development Standards to modernize the standards; and (3) incorporate a 44.25 acre± parcel into the PUD (the "Added Parcel").

First, the locations of the various uses have been adjusted, including the addition of a commercial node at the intersection of SW 80th Ave and SW 63rd Street Road. The total amount of Open Space remains unchanged. The corridor roadway (SW 90th Terrace Road) is proposed to intersect with SW 80th Street further to the east than previously shown.

Second, the PUD Development Standards, initially approved in 2005, have been modernized to reflect the County's current standards and general practices. They have also been updated to include standards specific to the Added Parcel.

Third and lastly, the PUD proposes to annex the Added Parcel. The Added Parcel's current zoning classification is A-1. This application requests a rezoning to classification PUD (specifically the Bay Laurel PUD). The Added Parcel together with a 27.65 acre ± parcel already located within the PUD, will encompass Melody Preserve, a proposed 233 unit (161 units in Added Parcel) age-restricted, single family detached development with amenities, located on the east side of SW 80th Ave.

The residential units proposed for Melody Preserve originate from the Bay Laurel PUD. Notably, all entitlements will remain the same as this application does not request an amendment or increase to any existing entitlements even though the Added Parcel is proposed to be added to the Bay Laurel PUD.

Additionally, as part of this PUD Master Plan Amendment, OTOW is proposing to reserve 50 feet along the southern property line of the Added Parcel for future widening along SW 80th Street. Furthermore, this PUD Master Plan Amendment proposes to redesign the intersection of SW 80th Street and SW 77th Court and construct improvements to allow for better flow of traffic.



A traffic methodology (AR 32095) for the Melody Preserve project was submitted to Marion County for approval. Following approval of the traffic methodology by Marion County, a traffic operational analysis will be submitted for approval.

### Rezoning

The Added Parcel's current future land use designation is Medium Residential and the current zoning classification is A-1. The intended use of the Added Parcel is a residential development to be called Melody Preserve. The Added Parcel will draw from Bay Laurel PUD's existing entitlements to develop a 233 unit (161 units in Added Parcel) age-restricted, single family detached development with amenities. Included with the application is a Concept Plan for Melody Preserve.

The following items are included with the submittal for review:

1. Development Review Application
2. PUD Zoning Application
3. Authorization
4. Warranty Deed
5. MCPA Property Card
6. Location Map
7. Aerial Map
8. FEMA Firmette
9. NRCS Soils Report
10. Quad Map
11. Wetland Map
12. Bay Laurel PUD Master Plan
13. Bay Laurel PUD Master Plan Development Standards
14. Melody Preserve Conceptual Plan
15. Melody Preserve Buffer Rendering
16. ALTA Boundary Survey (Amendment Area)
17. Bay Laurel PUD Survey
18. Drainage Analysis

Should you need any additional information to aid in the review, please feel free to contact our office.

Sincerely,

A handwritten signature in blue ink that reads "Gene Losito".

Gene B. Losito, P.E.

CC: Kenneth D. Colen, On Top of the World Communities, L.L.C.  
Jessica Icerman, Esq., Stearns Weaver Miller Weissler Alhadeff & Sitterson, P.A.  
File

K:\OCA\_Civil\242248009-Melody Preserve\doc\Lmc241220gbl - PUD.docx



## ATTACHMENT A - Application Package (initial)

### Marion County Board of County Commissioners

#### Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

### DEVELOPMENT REVIEW PLAN APPLICATION

Date: December 18, 2024

#### A. PROJECT INFORMATION:

Project Name: Bay Laurel PUD Master Plan Amendment

Parcel Number(s): 35474-000-00, 35300-000-15, 35300-000-17, 35300-001-01, 35300-000-11

Section \_\_\_\_\_ Township \_\_\_\_\_ Range \_\_\_\_\_ Land Use OTOW DRI/MR Zoning Classification PUD

Commercial ☒ Residential ☐ Industrial ☐ Institutional ☐ Mixed Use ☐ Other \_\_\_\_\_

Type of Plan: MASTER PLAN

Property Acreage 44.25(additional acreage) Number of Lots 0 additional Miles of Roads \_\_\_\_\_

Location of Property with Crossroads North of SW 80th Street, East of SW 80th Avenue

Additional information regarding this submittal: This application accompanies a PUD Zoning Application request.

#### B. CONTACT INFORMATION *(Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.)*



##### Engineer:

Firm Name: Kimley-Horn & Associates, Inc. Contact Name: Gene Bruno Losito, P.E.

Mailing Address: 1700 SE 17 Street, Suite 200 City: Ocala State: FL Zip Code: 34471

Phone # 352-438-3000 Alternate Phone # \_\_\_\_\_

Email(s) for contact via ePlans: ocala.permits@kimley-horn.com, gene.losito@kimley-horn.com



##### Surveyor:

Firm Name: JCH Consulting Group, Inc. Contact Name: Christopher Howson, PSM CFM

Mailing Address: 426 SW 15th Street City: Ocala State: FL Zip Code: 34471

Phone # 352-405-1482 Alternate Phone # \_\_\_\_\_

Email(s) for contact via ePlans: chris@jchcg.com

##### Property Owner:

Owner: On Top of the World Communities, L.L.C. Contact Name: Kenneth D. Colen

Mailing Address: 8445 SW 80th Street City: Ocala State: FL Zip Code: 34481

Phone # 352-387-7480 Alternate Phone # \_\_\_\_\_

Email address: LD\_permits@colenbuilt.net

##### Developer:

Developer: \_\_\_\_\_ Contact Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Phone # \_\_\_\_\_ Alternate Phone # \_\_\_\_\_

Email address: \_\_\_\_\_

Revised 6/2021



## ATTACHMENT A - Application Package (initial)

### Marion County Board of County Commissioners

Growth Services ♦ Planning & Zoning

2710 E. Silver Springs Blvd.  
Ocala, FL 34470  
Phone: 352-438-2600  
Fax: 352-438-2601

#### STAFF/OFFICE USE ONLY

Case No.:	
AR No.:	
PA:	

PARCEL ACCOUNT NUMBERS: 35474-000-00

### APPLICATION FOR PUD REZONING or PUD AMENDMENT

With: Concept Plan \_\_\_\_\_ Master Plan X

The undersigned hereby requests a zoning change per Marion County Land Development Code (LDC), Article 4, Zoning, on the below described property and area, to **PUD (PLANNED UNIT DEVELOPMENT)** from:

A-1

Property Address: 7875 ~~8445~~ SW 80th Street, Ocala, FL 34481

**Legal Description:** Attach a copy of the deed(s) with property legal description and demonstrating ownership.

**Required Documents:** Attach a copy of the required PUD Documents listed in the checklist on the reverse side of this application as required by LDC Section 4.2.31.F(2) and LDC Division 2.13.

**Total PUD Acreage:** 44.25 AC ADDED TO **Maximum Proposed Residential Units:** 0 - Additional  
PUD; 837.0 AC TOTAL (# SFR 2,552 # MF 399)  
(PREVIOUSLY APPROVED)

**Maximum Non-Residential (Commercial or Industrial) Acreage:** 0 - Additional

The property owner must sign this application unless written authorization naming the listed applicant/agent to act on his/her behalf is attached.

On Top of the World Communities, L.L.C.

**Property Owner name (please print)**

8445 SW 80th Street

**Mailing Address**

Ocala, FL 34481

**City, State, Zip Code**

352-387-7480

**Phone Number (include area code)**

LD\_Permits@colerbuilt.net

**E-Mail Address (include complete address)**

[Signature]

**Signature\***

Kimley-Horn and Associates, Inc

**Applicant/Agent Name (please print)**

1700 SE 17th St, Suite 200

**Mailing Address**

Ocala, FL 34471

**City, State, Zip Code**

352-438-300

**Phone Number (include area code)**

ocala.permits@kimley-horn.com

**E-Mail Address (include complete address)**

[Signature]

**Signature**

\*By signing this application, applicant hereby authorizes Growth Services to enter onto, inspect, and traverse the property indicated above, to the extent Growth Services deems necessary, for the purposes of assessing this application and inspecting for compliance with County ordinance and any applicable permits.

NOTE: A zoning change will not become effective until after a final decision is made by the Marion County Board of County Commissioners and any applicable appeal period concludes. The owner, applicant or agent must be present at the public hearing to represent this application. If no representative is present and the board requires additional information, the request may be postponed or denied. Notice of said hearing will be mailed to the above-listed address(es). All information given by the owner and/or applicant/agent must be correct and legible in order to be processed.

#### STAFF/OFFICE USE ONLY

Project No.:	Code Case No.:	Application No.:
Rcvd by:	Rcvd Date: / /	FLUM: AR No.: Rev: 12/21/23

Empowering Marion for Success

## ATTACHMENT A - Application Package (initial)

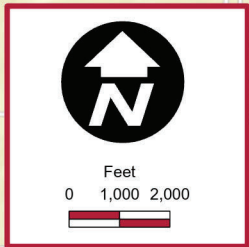
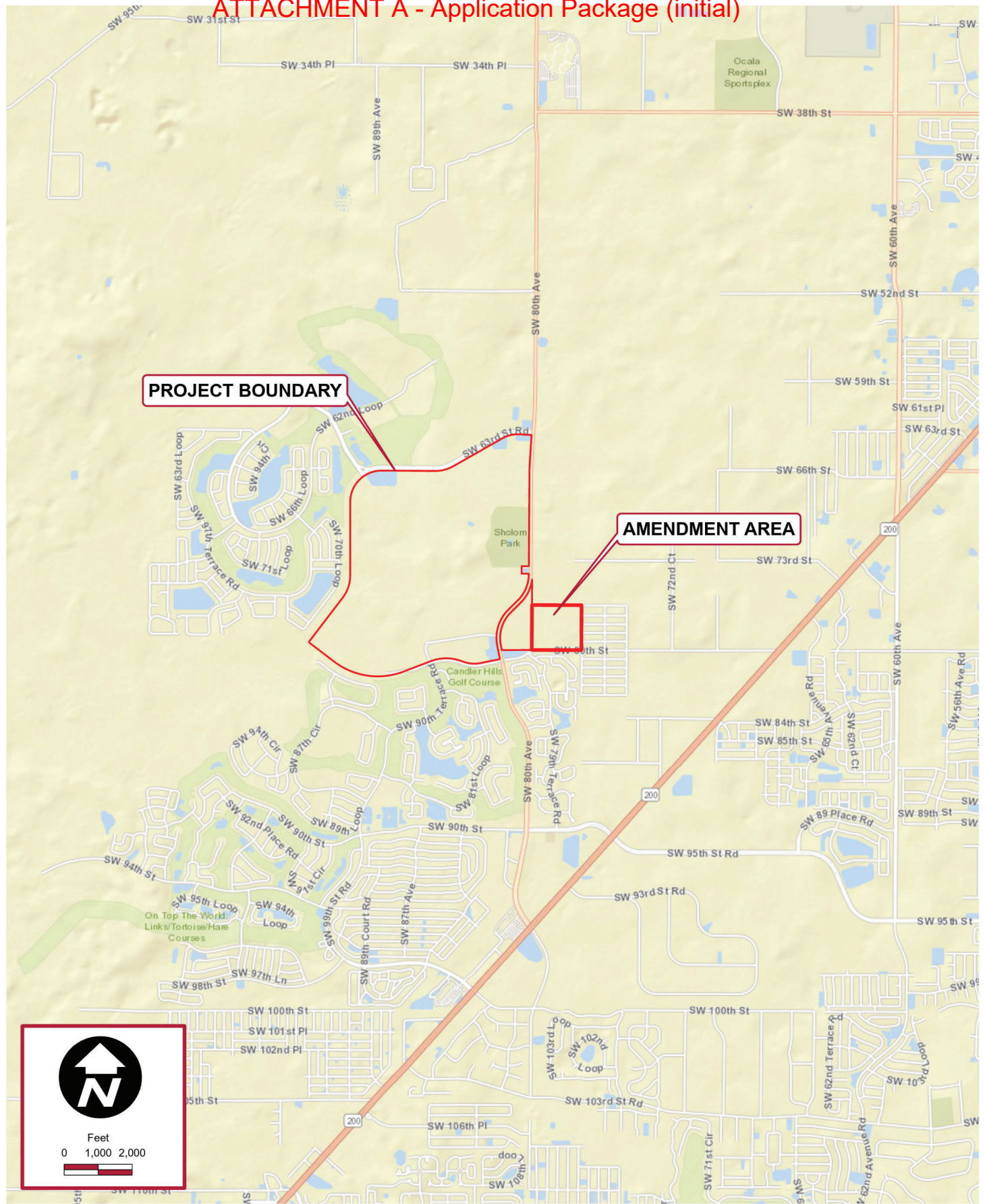
\_\_\_\_\_ A) Application Fee:

<b>NEW PUD or PUD Amendment Requiring Board of County Commissioners Approval</b>	<b>PUD Amendment that does NOT require Board of County Commissioners Approval</b>
<b>BASE FEE: \$1,000.00 AND</b> <b>PLUS \$5.00 X maximum number of potential residential dwelling units (DU) (IF ANY) AND</b> <b>PLUS \$5.00 X maximum acreage (AC) for non-residential development (commercial, industrial, institutional, etc.) (IF ANY).</b>	<b>BASE FEE: \$150.00 AND</b> <b>PLUS \$5.00 X maximum number of potential residential dwelling units (DU) (IF ANY) AND</b> <b>PLUS \$5.00 X maximum acreage (AC) for non-residential development (commercial, industrial, institutional, etc.) (IF ANY).</b>
<b>Fee Calculation Method Example:</b> <b>(Base Fee - \$1,000 or \$150.00) + (\$ _____ X Max DUs) + ( _____ X Max Non-Res AC) = \$ _____ Total Fee</b>	

\_\_\_\_\_ B) Conceptual Plan with Architectural information: At a minimum, the PUD Rezoning Application shall be accompanied by a Conceptual Plan, in compliance with Land Development Code Division 2.13 and Land Development Code Section 4.2.31, along with accompanying documentation for review by the County Growth Services Department and shall provide documentation addressing the following:

1. The name of the proposed PUD shall be centered at the top of the sheet along the long dimension of the sheet.
2. Vicinity map that depicts relationship of the site to the surrounding area within a 1 mile radius.
3. Drawing of the boundaries of the property showing dimensions of all sides.
4. Provide the acreage of the subject property along with a legal description of the property.
5. Identify the Comprehensive Plan future land use and existing zoning of the subject property (including acreage of each) and for all properties immediately adjacent to the subject property.
6. Identify existing site improvements on the site.
7. A list of the uses proposed for the development.
8. A typical drawing of an interior lot, corner lot, and cul-de-sac lot noting setback requirements. For residential development, the typical drawings will show a standard house size with anticipated accessory structure.
9. Proposed zoning and development standards (setbacks, FAR, building height, etc.).
10. Identify proposed phasing on the plan.
11. Identify proposed buffers.
12. Identify access to the site.
13. Preliminary building lot typical(s) with required yard setbacks and parking lot locations. *(This information must address all possible principle and accessory structures for all uses.)*
14. Preliminary sidewalk locations.
15. Proposed parallel access locations.
16. Required traffic impact analysis in compliance with Land Development Code 2.12.29.
17. Show 100 year floodplain on the site.
18. Show any proposed land or right of way dedication.
19. Identify any proposed parks or open spaces.
20. A note describing how the construction and maintenance of private roads, parking areas, detention areas, common areas, etc. will be coordinated during development and perpetually after the site is complete
21. Architectural renderings or color photos detailing the design features, color pallets, buffering details.
22. Any additional information that may be deemed appropriate for the specific project *(e.g., documentation and/or presentation material by the owner or applicant/agent, or information identified as required or recommended by County staff in the pre-application meeting conducted prior to submitting the application).*

# ATTACHMENT A - Application Package (initial)



**Kimley»Horn**

© 2024 Kimley-Horn and Associates, Inc.  
1700 SE 17th Street, Suite 200, Ocala, FL 34471  
Phone: (352) 438-3000  
www.kimley-horn.com Registry No. 35106

LOCATION MAP

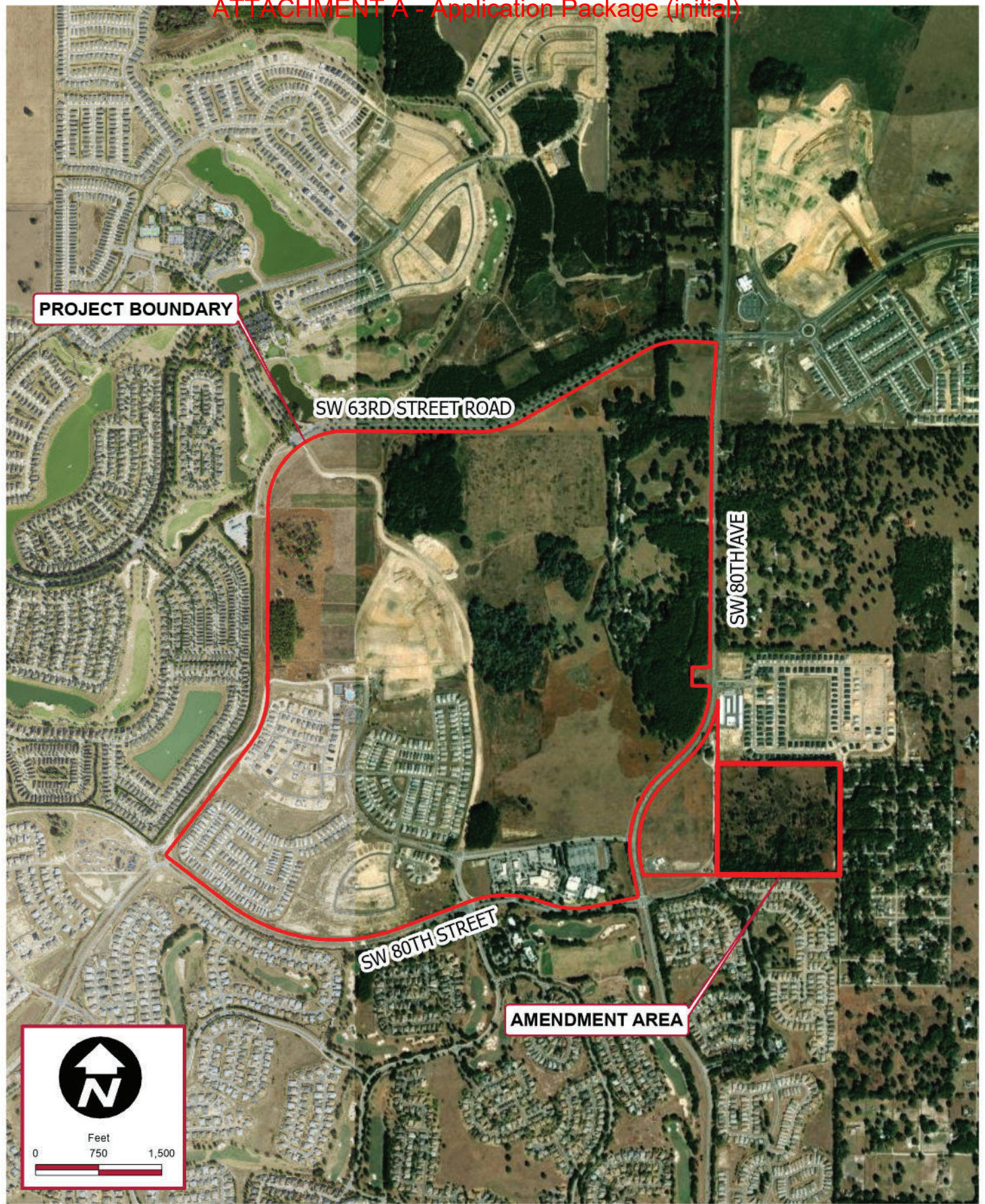
BAY LAUREL PUD  
MARION COUNTY, FL

Scale: As Noted <sup>6</sup>

Project No.: 242248009

November 2024

Figure 1



**Kimley»Horn**

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Phone: (352) 438-3000  
www.kimley-horn.com Registry No. 35106

AERIAL MAP

BAY LAUREL PUD  
MARION COUNTY, FL

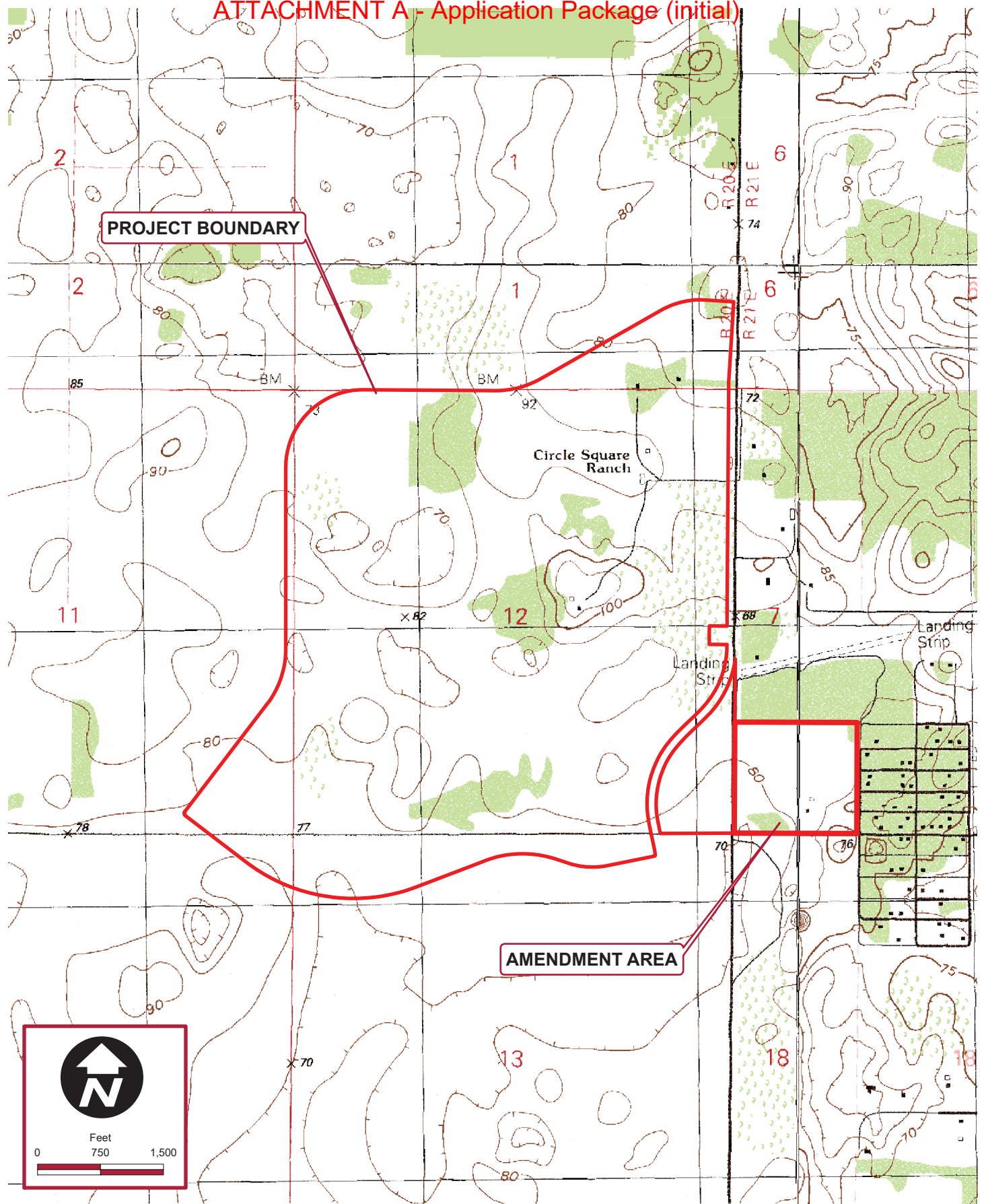
Scale: As Noted

Project No.: 242248009

November 2024

Figure 2

# ATTACHMENT A - Application Package (initial)



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QUADRANGLE MAP

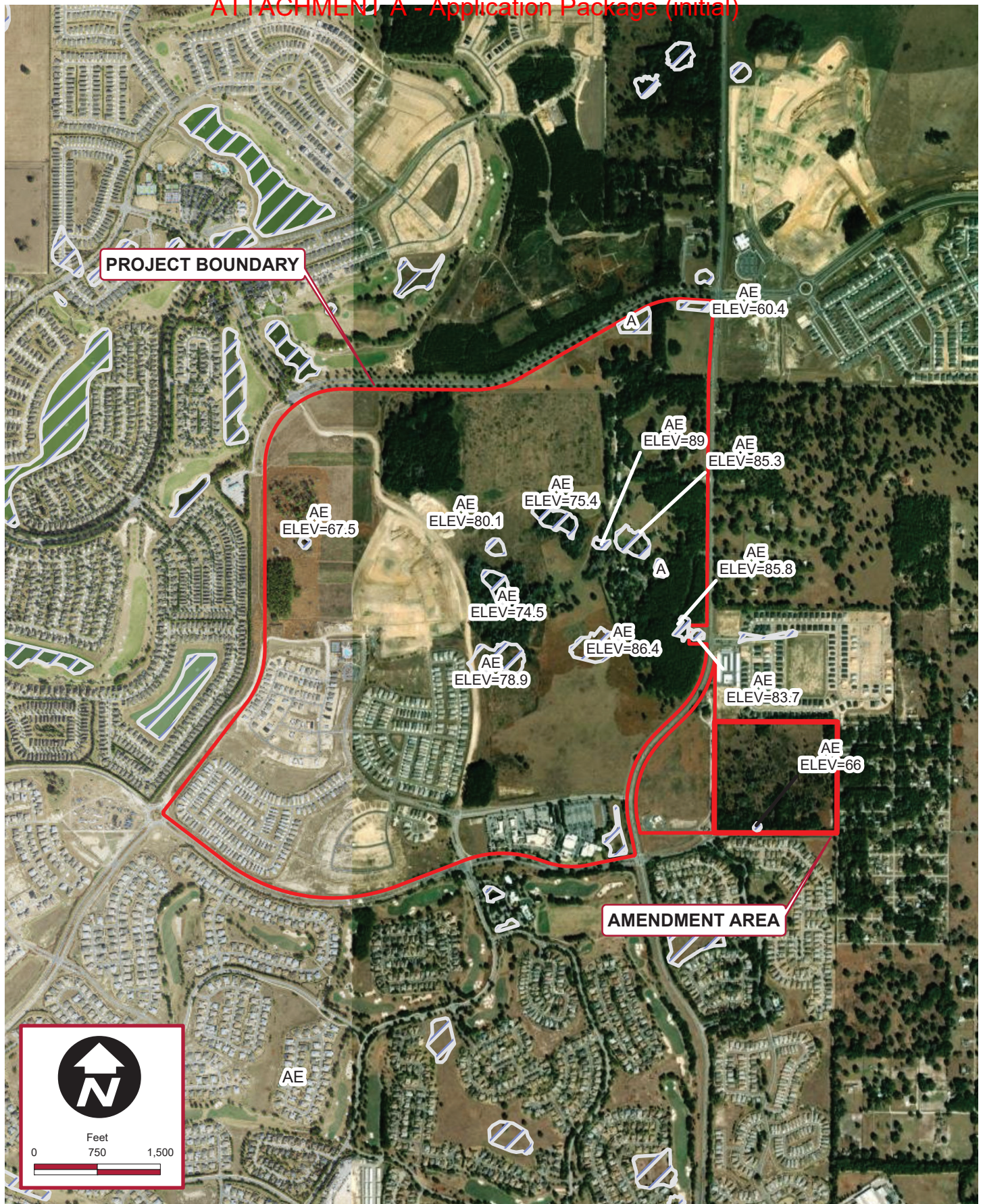
BAY LAUREL PUD  
MARION COUNTY, FL

Scale: As Noted <sup>8</sup>

Project No.: 242248009

November 2024

Figure 3



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Phone: (352) 438-3000  
www.kimley-horn.com Registry No. 35106

FEMA MAP

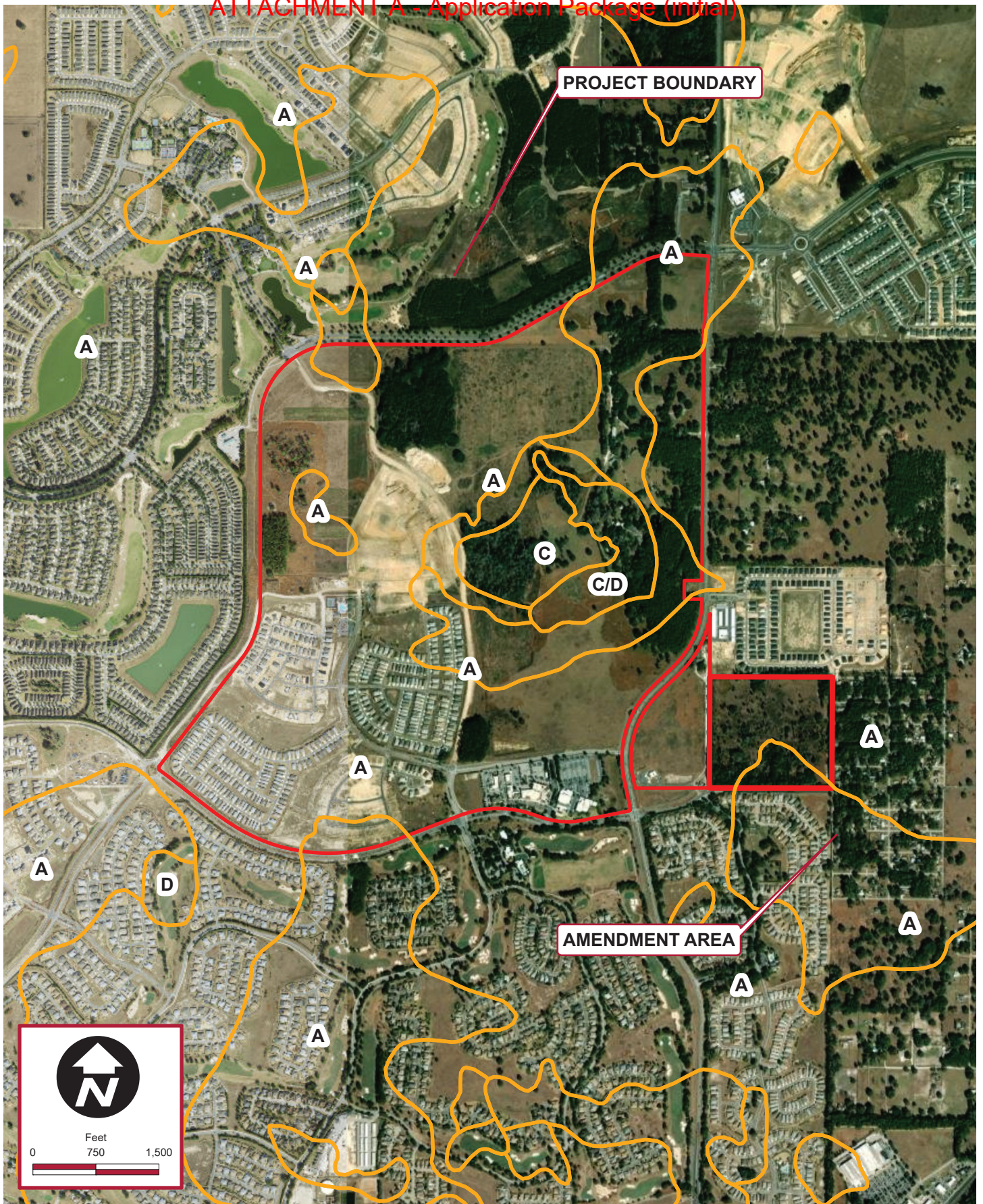
BAY LAUREL PUD  
MARION COUNTY, FL

Scale: As Noted <sup>9</sup>

Project No.: 242248009

November 2024

Figure 4



K:\OCA\_Civil\242248009-Melody Preserve\GIS\GIS EXHIBITS.aprx - 11/15/2024 9:45 AM - Grace.Egile

**Kimley»Horn**

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1700 SE 17th Street, Suite 200, Ocala, FL 34471  
Phone: (352) 438-3000  
www.kimley-horn.com Registry No. 35106

SOIL MAP

BAY LAUREL PUD  
MARION COUNTY, FL

Scale: As Noted



10

Project No.: 242248009

November 2024

Figure 5

**Legend**

-  Amendment Area
-  Overall Boundary

**PROJECT BOUNDARY**

SW 63RD STREET ROAD

SW 80TH AVE

**AMENDMENT AREA**

SW 80TH STREET

SW 80TH AVE



Feet  
0 750 1,500

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Phone: (352) 438-3000  
www.kimley-horn.com Registry No. 35106

NATIONAL WETLAND INVENTORY MAP

BAY LAUREL PUD  
MARION COUNTY, FL

Scale: As Noted **11**

Project No.: 242248009

November 2024

Figure 6

WAIVERS APPROVED FOR ON TOP OF THE WORLD DRI:

8.2.15.3.b.4 DETAIL 29 - DECORATIVE POSTS FOR REGULATORY AND WARNING SIGN	12/21/2009
8.2.16(7) - MINIMAL GRADE EASEMENT	12/21/2009
8.2.16(8) - UTILITY LOCATION	12/21/2009
8.2.10 - BUFFERS/LANDSCAPE BUFFERS	12/21/2009
8.2.5(a) - CORNER RAIL AT INTERSECTIONS	12/21/2009
8.2.5(a)(b) - PRIVATE DRIVE RIGHT OF WAY WIDTH	12/21/2009
8.2.5(2) - RIGHT OF WAY DEDICATION	12/21/2009
8.2.5(1)(2)(b) - SECTION/QUARTER SECTION LINE ROADS	12/21/2009
8.2.5.1.3 - CENTERLINE RAIL	12/21/2009
8.2.5(a)(b) - CUL DE SAC AND DEAD ENDS	01/04/2010
8.2.5(a)(b) - OFF STREET PARKING	12/21/2009
8.2.4 - CROSS SECTIONS	12/21/2009
8.2.5(1)(b) - PRIVATE ROAD STATUS	12/21/2009
8.2.9(a) (b) - RETENTION BASIN SIGNAGE	12/10/2012
8.19.42 - IMPROVEMENTS	09/04/2018
6.13.4 - STORMWATER QUALITY CRITERIA	09/12/2020
6.12.12.8 and 6.12.12.9 - SIDEWALKS AND SIDEWALK FEE	05/24/2025

WAIVERS APPROVED BAY LAUREL PUD MASTER PLAN:

2.4.2 (Pages 4 & 14)	DEVELOPER REQUESTS WAIVER FOR ALLOWING USE OF GRASS OVERTFLOW PARKING.	11/01/2004
TABLE 8-5	GOLF CART PARKING	11/01/2004
TABLE 8-5	WAREHOUSE	11/01/2004
TABLE 8-5	SHOPPING CENTERS PARKING	11/01/2004
WAIVER REQUESTED FOR DELETION OF REQUIRED DEDICATIONS		
ALONG SECTION AND QUARTER SECTION LINES THAT EXTEND ACROSS THE SITE.		
8.2.6.a(7)	LOADING AREA 20' WIDE ONE WAY	11/01/2004
8.2.6.a(2)(d)	SECTION/QUARTER SECTION LINE ROLDS	11/01/2004
8.2.6.c(1)	PARKING AREA	11/01/2004
8.2.3.a(1)(a)	MASTER PLAN	11/01/2004
8.2.10K	LANDSCAPE PLAN	11/08/2004
APPENDIX B DETAIL 29		
		11/01/2004

GENERAL NOTES:

- [illegible]

## PROJECT OWNER AND CONSULTANTS

OWNER / APPLICANT:  
ON TOP OF THE WORLD COMMUNITIES, L.L.C.  
8445 SW 80TH STREET ROAD  
OCALA, FL 33481  
(352) 387-7480

**CIVIL ENGINEERING CONSULTANT:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
1700 SE 17TH STREET, SUITE 200  
OCALA, FLORIDA 34471  
(352) 438-3000

<u>SURVEYOR:</u>	<u>ENVIRONMENTAL:</u>
JCH CONSULTING GROUP, INC.	BREEDLOVE, DENNIS & ASSOCIATES, INC.
3128 NW BLITCHTON ROAD	330 W. CANTON AVENUE
OCALA, FLORIDA 34475	WINTER PARK, FL 32789
(352) 405-1482	(407) 677-1882

**GEOTECHNICAL ENGINEER**  
GEO-TECH, INC.  
1016 SE 3RD AVENUE  
OCALA, FLORIDA 34471  
(352) 694-7711

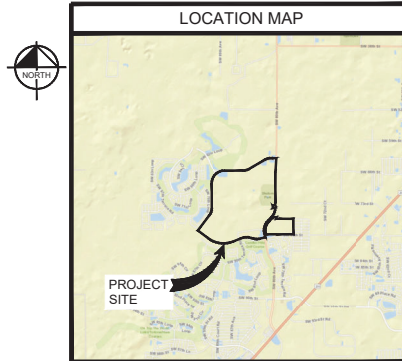
# PUD MASTER PLAN

# BAY LAUREL

# MARION COUNTY, FLORIDA

**SECTIONS 1,7,11,12,13,14  
TOWNSHIP 16S  
RANGE 20E,21E**

# DECEMBER 2024



**LEGAL DESCRIPTION:**

BAY LAUREL PARCEL 1

[illegible]

TOGETHER WITH

BAY LAUREL PARCEL 2

DESCRIPTION: A PARCEL OF LAND LYING IN SECTION 12, TOWNSHIP 16 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF SAID SECTION 12, TO A POINT OF BEGINNING, RUN THENCE ALONG THE SOUTHEAST BOUNDARY OF SAID SECTION 12, 5.89°48'58" NORTH, 113.03°48'58" WEST, TO THE EASTLY RIGHT-OF-WAY LINE OF S.W. 80TH AVENUE, 143.97 FEET ALONG SAID EASTLY RIGHT-OF-WAY LINE, TO A POINT FOUR (4) FEET SOUTH OF N. 1°30'48" W., 143.97 FEET TO A POINT ON A CURVE; 2) NORTHERLY, 1065.61 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 1073.03 FEET AND A CENTRAL ANGLE OF 56°54'04" (CHORD BEARING N. 6°57'59" E., 1022.35 FEET); 3) N. 23°23'51" E., 395.24 FEET TO A POINT ON A CURVE; 4) NORTHEASTERLY, 921.36 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 1173.03 FEET AND A CENTRAL ANGLE OF 60°05'04" (CHORD BEARING N. 23°23'51" E., 921.36 FEET); 5) SOUTHWESTERLY, 1065.61 FEET ALONG THE ARC OF THE AFORESAID SECTION 12, THENCE ALONG SAID EAST BOUNDARY LINE, 5.89°19'38" W., 2219.54 FEET TO THE POINT OF BEGINNING, CONTAINING 27,390 ACRES, MORE OR LESS.

TOGETHER WITH

BAY LAUREL PARCEL 3

THE S.W. 1/4 OF THE S.W. 1/4 OF SECTION 7, TOWNSHIP 16 SOUTH, RANGE 21 EAST, MARION COUNTY FLORIDA, CONTAINING 44.25 ACRES, MORE OR LESS.

SHEET INDEX:

C01 - COVER  
C02 - PUD MASTER PLAN  
C03 - DEVELOPMENT STANDARDS

[illegible]

**Kimley»Horn**

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.  
SE 17TH STREET, SUITE 200, OCALA, FLORIDA 34471  
PHONE: 352-438-3000  
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

LICENSED PROFESSIONAL

ENE BRUNO LOSITO, P.E.

FLORIDA LICENSE NUMBER  
7E6A7

154

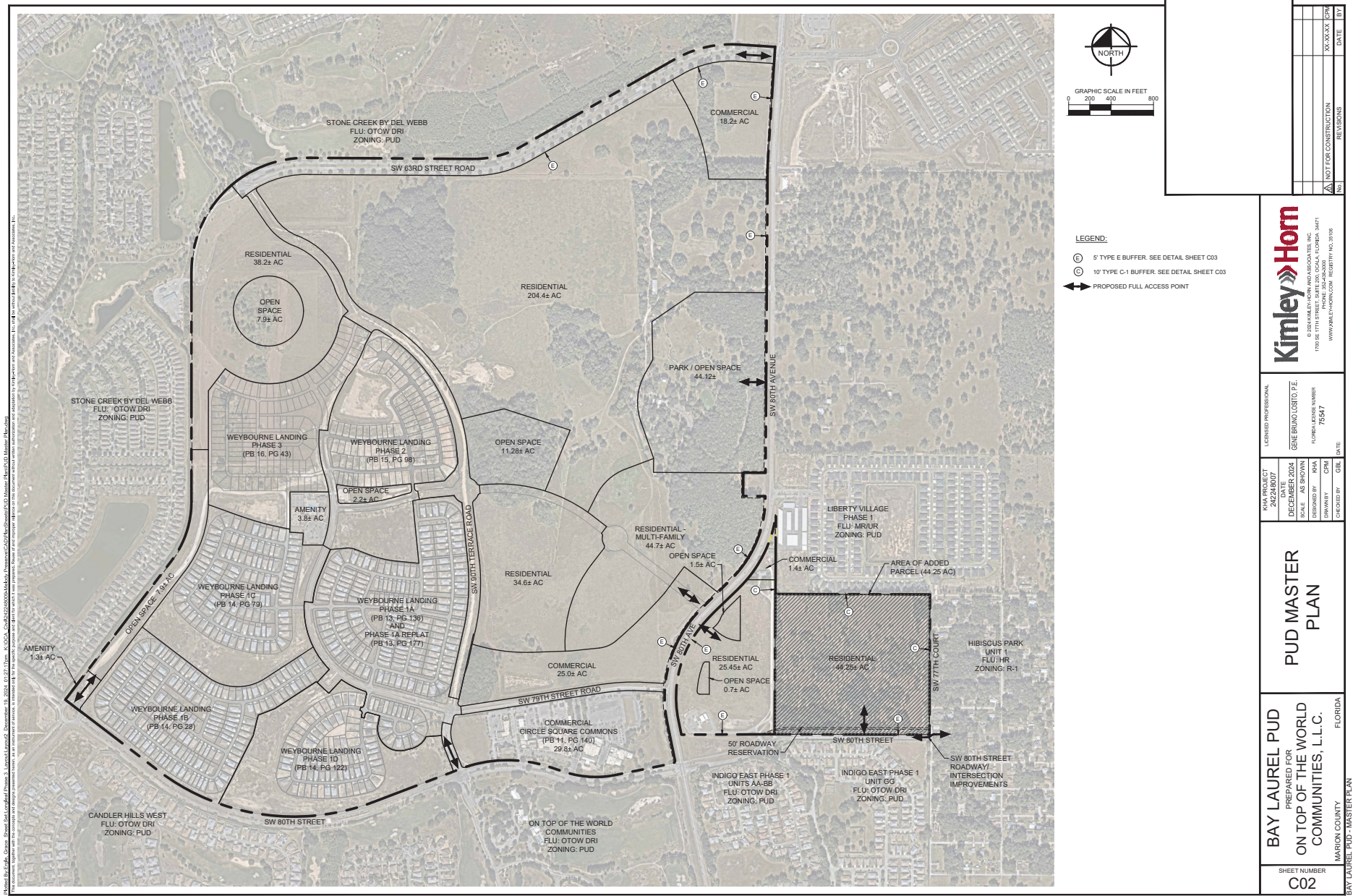
KHA PROJECT	DATE
242428007	DECEMBER 2024
SCALE	AS SHOWN
DESIGNED BY	KHA
DRAWN BY	CPM
CHECKED BY	CPM

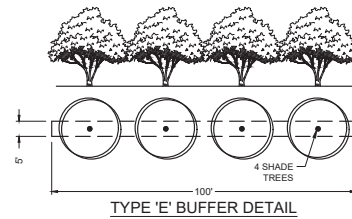
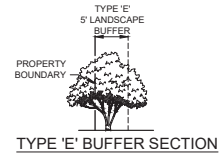
COVER SHEET

**BAY LAUREL PUD**  
PREPARED FOR  
**ON TOP OF THE WORLD**  
**COMMUNITIES, L.L.C.**

SHEET NUMBER  
C01

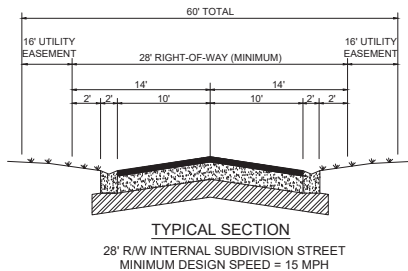
ATTACHMENT A - Application Package (initial)



[illegible]

1. EXISTING VEGETATION SHALL BE PRESERVED WHERE PRACTICAL. EXISTING VEGETATION SHALL COUNT TOWARDS SHRUB AND TREE REQUIREMENTS WHERE PRESERVED. ALL NUISANCE VEGETATION SHALL BE REMOVED AND SUPPLEMENTED WITH PLANTINGS AS NEEDED.

LAND USE	DENSITY	ACREAGE
RESIDENTIAL (SINGLE FAMILY)	2,552 UNITS	621.0 ±
RESIDENTIAL (MULTI-FAMILY)	399 UNITS	44.7 ±
AMENITY	N/A	5.1 ±
PARK, OPEN SPACE	N/A	75.6 ±
ROAD RIGHT-OF-WAY	N/A	43.2±
COMMERCIAL	801,000 SF	47.4 ±
TOTAL	2,951	837.0 ±
TOTAL UNITS/AC (LESS COMMERCIAL):		3.74 UNITS



Plotted By: Engh, Genoa. Sheet Set: Lcandaf Phase 3. Layout: Layout3. Date: 2024-01-28 22:56pm. K:\OCCA\_Cmb\242248000-Melboj\_Preservat\CA\DrawSheets\PUD Master Plans\PUD Master Planning

**Kimley»»Horn**  
© 2004 KIMLEY HORN AND ASSOCIATES, INC.  
1700 SE 17TH STREET, SUITE 200, OCOALA, FLORIDA 34471  
PHONE: 352-438-3000

KHA PROJECT 242248007	LICENSED PROFESSIONAL
DATE DECEMBER 2024	GENE BRUNO LOSITO, P.E.
SCALE AS SHOWN	FLORIDA LICENSE NUMBER 75547
DESIGNED BY KHA	DATE
DRAWN BY CPM	
CHECKED BY GBL	

DETAILS

**BAY LAUREL PUD**  
**PREPARED FOR**  
**ON TOP OF THE WORLD**  
**COMMUNITIES, L.L.C.**

---

**FLORIDA**

---

**BRION COUNTY**

---

**PUD - MASTER PLAN**

SHEET NUMBER  
C03

## **BAY LAUREL PUD MASTER PLAN AND DEVELOPMENT STANDARDS**

### GENERAL COMMERCIAL AND RESIDENTIAL REQUIREMENTS

#### Section 1. Definitions for the Bay Laurel PUD:

Accessory Building: A separate structure that is subordinate to and serves the main use of the property; such as, by way of example, a separate garage or storage building, an attached screened enclosure.

Bay Laurel Architectural Review Board (ARB): The Bay Laurel Architectural Review Board of the Circle Square Ranch Master Association, that body constituted by the Developer of Circle Square Ranch 1.) to adopt or amend Master Planning and Development Criteria for the Bay Laurel Planned Development, in writing, and made available to all builders and developers doing business in the Properties, and all Members, Owners and prospective Owners of Units in the Properties, and 2.) to administer the adopted planning and development criteria. The Master Planning Criteria may include any matters considered appropriate by the Master ARB not inconsistent with the provisions of the Circle Square Ranch Master Association Declaration, including but not limited to height, size and placement of improvements, standards for water conservation and design of irrigation systems, and other matters relating, but not limited to, improvements and land uses within the Bay Laurel Planned Development, design, and construction.

Artisan Use: Premises used for the manufacture and sale of arts, crafts, handcrafted items, and handiwork.

Bay Laurel Planned Development: All lands within the Planned Development excluding the lands constituting Melody Preserve.

Block: A subset of a parcel of land designated to be subdivided into lots.

Commercial/Residential Uses: Primarily business uses with some residential uses allowed. Religious institutions are also allowed in this use designation.

Community Uses: Those structures or facilities created for the use and benefit of 1.) residents of a community development district, or 2.) members of a neighborhood association that is subject to the Circle Square Ranch Master Association or Melody Preserve Neighborhood Association, as applicable. Such uses may be held in private, Association, or Community Development District ownership.

Residential (Multi-Family): Residential development with a density of up to 16 dwelling units per acre; religious institutions and limited business uses are also allowed as provided in the General Standards.

Lot: A sub-set of a parcel intended for development or sale that may be described either by platting or by a metes and bounds description.

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Residential (Single Family): Residential development with a density of 5.0 dwelling units per acre or less.

Master Association: Circle Square Ranch Master Association, Inc., a Florida corporation not for profit, its successors and assigns.

Melody Preserve: That portion of the Planned Development that is east of SW 80th Ave and identified as residential, containing approximately 71.6 acres.

Melody Preserve Architectural Review Board (ARB): The Architectural Review Board of the Melody Preserve Neighborhood Association, that body constituted by the Developer of Melody Preserve 1.) to adopt or amend Master Planning and Development Criteria for Melody Preserve, in writing, and made available to all builders and developers doing business in the Properties, and all Members, Owners and prospective Owners of Units in the Properties, and 2.) to administer the adopted planning and development criteria. The Master Planning Criteria may include any matters considered appropriate by the Melody Preserve ARB not inconsistent with the provisions of the Melody Preserve Neighborhood Association Declaration, including but not limited to height, size and placement of improvements, standards for water conservation and design of irrigation systems, and other matters relating, but not limited to, improvements and land uses within Melody Preserve, design, and construction.

Melody Preserve Neighborhood Association: Melody Preserve Neighborhood Association, Inc., a Florida corporation not for profit, its successors and assigns.

Neighborhood Association: Each corporation not for profit, condominium or cooperative association, or other incorporated or unincorporated entity, other than the Master Association, established for the purpose of exercising jurisdiction over and administering a Neighborhood.

Neighborhood: Each separate area of the Properties designated by the Developer as having separate Neighborhood status. Developer may designate any portion of the Properties as a separate Neighborhood or as an addition to a then-existing Neighborhood.

Net Floor Area (NFA): Building area less non-air-conditioned storage space, electrical and mechanical rooms, and other non-air-conditioned spaces.

Parcel: A single, undivided tract intended a) to remain intact and undivided, or b) to be subdivided into blocks and lots in the future by platting or by a metes and bounds description.

Planned Development: Those lands identified within the Bay Laurel PUD Master Plan, which contains two distinct areas: Bay Laurel Planned Development and Melody Preserve.

Public Uses: Uses that are not held in private ownership and are under the ownership or control of a Community Development District (CDD) or other governmental entity and created for the common use and benefit of residents of the CDD or the public. Uses may include schools, auditoriums, libraries, and similar public purpose structures.

Section 2. General Standards.

1. Lots and Buildings:

- a. All lots shall front on a street or square.
- b. Stoops and balconies may encroach up to into the front setbacks consistent with Table 1.
- c. Two-story office and retail uses may front across the street from residential uses on roads designated as minor collectors internal to the PUD.
- d. Residential structures fronting on a square, park, or other public or community open space may front on at least 60% of the perimeter of the square, public or community open space, or park. Commercial Uses may be permitted on all Lots surrounding public or community open space.
- e. Lot and building standards, road right-of-way widths, parking requirements, and residential lot profiles are provided in Tables 1- 5, and attached drawings.

2. Streets & Alleys:

- a. Streets shall provide access to all tracts, parcels, blocks, and lots.
- b. There may be a continuous network of alleys to the rear of the lots.
- c. Street right-of-way and easement standards are as set forth in Table 2.

3. Parking:

- a. On-street parking directly fronting a lot shall be allowed and shall count toward fulfilling the parking requirement.
- b. The required number of parking spaces may be reduced by demonstrating the possibility of shared parking.
- c. Adjacent parking lots shall have internal cross access connections.
- d. Non-residential off-street parking:
  1. Standards for off-street parking for non-residential uses, including shared parking, phased parking, and loading requirements, and optional grass parking, are as provided in Table 3A.
  2. Parking requirements may be met up to 35% with overflow grass parking.

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3. Up to 25% of the total off-street parking requirement may be designated for golf cart parking only and shall be counted towards meeting the minimum parking requirements.
    - e. Off-street parking requirements for residential uses are as set forth in Table 3B herein.
  4. Public Use:
    - a. Uses allowed:

Public uses may include libraries, post offices, schools, child care centers, club houses, recreational facilities, museums, cultural societies, visual and performing arts, governmental and quasi-governmental offices and facilities, parks, squares, edge areas, public use buildings, streets and alleys and other similar uses approved by the Bay Laurel Architectural Review Board or Melody Preserve Architecture Review Board, as applicable.
    - b. Public Buildings:

Balconies, pergolas, porches, and colonnades shall be consistent with Table 1.
    - c. Street Frontage:

Streets fronting public uses such as squares may deviate from the street standards provided the change will enhance the public use, as determined by the Bay Laurel Architectural Review Board or Melody Preserve Architecture Review Board, as applicable.
    - d. Public Use Parking:

The Developer shall determine the provision of adequate parking for public uses that consist of or contain squares and parks based on Table 3A herein. Shared parking shall be encouraged for public uses.
  5. Community Use [Not Applicable to Melody Preserve]:
    - a. Uses Allowed: Community uses include uses consistent with the definition herein, including but not limited to meeting halls, libraries, schools, child care centers, club houses, religious institutions, recreational facilities, museums, cultural societies, visual and performing arts, master or neighborhood association offices and facilities, and other similar uses approved by the Bay Laurel Architectural Review Board.
    - b. Community Streets & Alleys:

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1. Streets fronting on property designated for a community use may deviate from the street standards provided the change will enhance the community use, as determined by the Bay Laurel Architectural Review Board.
- c. Community Parking:
  1. The Developer shall determine the provision of adequate parking for the various types of community buildings or uses based on Table 3A herein.
  2. Off-street parking spaces for community buildings may be located at the rear of the building. Access may be from the front.
6. Commercial/Residential [Not Applicable to Melody Preserve]:
  - a. Commercial/Residential Uses are allowed on lots or parcels, primarily for business uses including retail, restaurant, club, office uses, medical, indoor and outdoor entertainment, educational uses, storage facilities, lodging, and artisan, with residential also allowed. Other similar uses may be allowed as approved by the Bay Laurel Architectural Review Board.
  - b. Commercial/Residential Lots & Buildings:
    1. Maximum floor area shall be consistent with Table 1.
  - c. Commercial Buildings:
    1. Commercial buildings shall be set back consistent with Table 1.
  - d. Commercial/Residential Streets & Alleys:
    1. Commercial Use Lots and structures shall front on streets consistent with Table 2. When parallel parking is used it shall be 8 ft. minimum in width and may be on one or both sides of the roadway.
    2. The rear property line of a commercial use lot may abut an alley meeting the standards set forth in Table 2.
    3. Corner radii at the intersection of two rights of way shall not be less than 25 feet. Minimum pavement radii shall be 40 feet for residential and 45' for commercial and industrial.
    4. Commercial driveway access at corners shall be 50 feet from the point of tangency of the right-of-way corner radius.
    5. Minimum driveway spacing shall be determined by the Bay Laurel Architectural Review Board.

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7. Commercial/Residential Parking:
  - a. Parking shall be consistent with Tables 3a and 3b.
8. Residential (Multi-Family) [Not Applicable to Melody Preserve]:
  - a. Uses/Structures Allowed: Residential (Multi-Family) uses shall be generally developed in buildings for residential uses, including townhouses apartment buildings. Limited business uses are also allowed, including charitable foundation offices, educational uses, coffee houses, offices, lodging, artisan, and other limited business uses approved by the Bay Laurel Architectural Review Board.
  - b. All of the building area above the ground floor of a building may be designated for residential use. Office and residential uses above the ground floor may be mixed.
  - c. An accessory building is permitted on each lot.
  - d. Residential (Multi-Family) uses may be located adjacent to or across the street from all other land uses, subject to required buffers and building setbacks.
  - e. Residential (Multi-Family) Streets & Alleys:
    1. Residential (Multi-Family) Uses shall front on streets consistent with Table 2.
    2. The rear lot line of a Residential (Multi-Family) lot may abut an alley or access drive meeting the standards set forth in Table 2.
  - f. Residential (Multi-Family) Parking:
    1. Parking shall be consistent with Tables 3a and 3b.
    2. Off-street parking spaces may be located at the rear of the building.
9. Residential (Single Family):
  - a. Uses Allowed: Residential land uses including single family attached and detached homes, artist studios, guest cottages, lodging and other similar uses approved by the Bay Laurel Architectural Review Board or Melody Preserve Architectural Review Board, as applicable. Home occupations are also allowed.
  - b. An accessory building is permitted on each lot.
  - c. Residential (Single Family) Land Allocation:

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1. A maximum of two Residential (Single Family) Lots may be consolidated for the purpose of constructing a single building.
    2. Setbacks on consolidated Residential (Single Family) lots shall apply as on a single lot.
  - d. Residential (Single Family) Lots & Buildings:
    1. The entire side setback may be allocated to one side.
  - e. Residential (Single Family) Streets & Alleys:
    1. Residential (Single Family) Use Lots shall front on streets consistent with Table 2.
    2. The rear lot line of a Residential (Single Family) use lot may abut an alley a minimum of 18 ft. wide containing a vehicular pavement width of at least 12 ft.
  - f. Residential (Single Family) Parking:
    1. Shall be consistent with Table 3b.
10. Workplace [Not Applicable to Melody Preserve]:
- a. Uses allowed: Generally, buildings for corporate office, light industry, artisan, warehousing, automotive, and other business and commerce uses approved by the Bay Laurel Architectural Review Board.
  - b. Workplace Land Allocation:
    1. A maximum of two Workplace Use Parcels may be consolidated for the purpose of constructing a single building.
    2. Workplace Use lots, parcels and uses shall generally be grouped together.
  - c. Workplace Streets & Alleys:
    1. Workplace Use lots, parcels and uses may front on streets consistent with Table 2.
    2. Parcels, lots, and uses may front on thru streets.
  - d. Workplace Parking:
    1. Parking shall be consistent with Table 3a.

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2. Off-street parking spaces may be located on the side or the rear of the building.

<b>TABLE 1</b> <b>BAY LAUREL PLANNED UNIT DEVELOPMENT</b> <b>TYPICAL LOT AND BUILDING STANDARDS</b>							
Building Setbacks from right-of-way	Public Use	Community Use	Comm./ Res.	Res. (Multi-Family)		Res. (Single Family)	Workplace
Front	10 ft.	10 ft.	10 ft.	20 ft.		15 ft.	10 ft.
Side Street	5 ft.	5 ft.	5 ft.	10 ft.		15 ft.	10 ft.
Side	-0-	-0-	-0-	15		5 ft.	-0-
Rear	10 ft.	10 ft.	10 ft.	20 ft.		20 ft.	10 ft.
Lot Width	-0-	-0-	-0-	Varies		35' or >	-0-
Building Height	-0-	-0-	4 Story	3 Story		2 Story	2 Story
Impervious Coverage	-0-	-0-	80%	80%		70%	70%
Pergolas, Porches, Canopies	5 ft.	5 ft.	5 ft.	16 ft.		20 ft.	5 ft.

Front setbacks shall be increased by eight (8) feet when on-street parking is used.

Side street setbacks shall be increased by five (5) feet when on-street parking is used.

Rear setbacks shall be 10 foot for non-structural accessory use.

Additional typical lot details are provided in the Exhibits. The less restrictive standard shall apply.

<b>TABLE 2</b> <b>INTERNAL ROAD RIGHT-OF-WAY AND EASEMENT STANDARDS</b>						
Street Type	R-O-W	Easement	Roadway Description	Pavement Width	Shoulder	Sidewalk
Alleys	N/A	18'	1-12'	12'	4'	N/A
Local Residential	28'	36'	2-10'	20'	N/A	N/A
Minor Collector	32'	60'	2-12'	24'	N/A	N/A
Arterials	80' to *100'+	NA	4 -12'	48'	NA	Optional

\* Parallel Parking

On-street parking may be constructed within an Easement area.

<b>TABLE 3A</b> <b>GUIDELINES FOR OFF-STREET PARKING REQUIREMENTS</b> <b>FOR NONRESIDENTIAL LAND USES</b>		
Required Off-Street Parking Spaces per indicated Area		
Assembly (Public or Community)	1	Per 4 Seats
Assembly operations	1	Per 650 sq. ft. NFA
Assisted or Congregant Living	1	Per 3 beds
Artisan uses	2	Per 1,000 sq. ft. NFA
Bar	1	Per 4 seats
Bowling Alley	3	Per lane
Car wash	5	Per washing lane
Fiduciary institutions	1	Per 300 sq. ft. NFA
Finishing operations	1	Per 650 sq. ft. NFA
Hotel	0.5 10	Per guest room plus Per 1,000 sq. ft. NFA non-room area
Houses of Worship	1	Per 3 seats
Industrial	1	Per 675 sq. ft. NFA
Library	1	Per 300 sq. ft. NFA
Manufacturing	1	Per 625 sq. ft. NFA
Medical Center	1	Per 250 sq. ft. NFA
Neighborhood or convenience center under 100,000 sq. ft. GLA Greater than 100,000 sq. ft. GLA	4	Per 1,000 sq. ft. NFA
	3	Per 1,000 sq. ft. NFA
Nightclub	1	Per 3 seats
Offices	2.5	Per 1,000 sq. ft. NFA
Research	1	Per 1,000 sq. ft. NFA
Restaurant	1	Per 4 seats
Fast-food establishments	1	Per 75 sq. ft. NFA
Retail Store	1	Per 300 sq. ft. NFA
Schools		
Elementary	2	Per classroom
Middle	2	Per classroom
High School	5.5	Per 30 students
Service Station	3	Per work bay
Shopping Center	3.5	Per 1,000 sq. ft. NLA
Self Storage	1	Per 4,000 sq. ft. NLA
Theater	1	Per 650 sq. ft. NFA
Warehouse	1	Per 4,000 sq. ft. NLA

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Loading spaces for all commercial, industrial, and warehouse	1	Per 25,000 sq. ft. NFA
Accessible Spaces		Per Standard Building Code

Non-residential parking requirements may be reduced by the Bay Laurel Architectural Review Board or the Melody Preserve Architectural Review Board, as applicable, for shared parking considerations.

### Shared Parking:

Shared parking is encouraged to balance the need for adequate parking and use cycles of complementary uses. Shared parking may be considered by the Bay Laurel Architectural Review Board or the Melody Preserve Architectural Review Board, as applicable, and allowed based upon compatible uses and daily use cycles. For example:

ACLF (ALF): Independent Living Facility; elderly; disabled

One (1) space per three dwelling units

One (1) space per four dwelling units with cross easement parking when commercial parking is adjacent

Phased Parking: 65% of the total required parking spaces may be installed in phases subject to:

- a. Site plan shows total number of initial and future needed spaces;
- b. Drainage plan shall provide for adequate drainage for initial and future spaces combined;
- c. Future parking area shall be graded and grassed;
- d. No additional maintenance or performance bond shall be required;
- e. A permanent Certificate of Occupancy shall be issued for the completed phase of construction; and
- f. Parking for disabled persons shall comply with the requirements of the Americans With Disabilities Act and the Standard Building Code.

### Grass Parking:

Up to 35% of total parking requirements for commercial, public, or community parking may be comprised of grass parking areas. This option is intended to meet the needs of: 1) overflow event parking; 2) reservation of parking expansion requirements for future commercial development; and 3) employee parking.

Grass parking areas may be installed on a uniformly graded surface compacted to a minimum of LBR 40.

Loading Requirements: Each retail sales establishment requiring a loading access shall have a service drive a minimum of 12' wide and shall be separate from any drive or circulation system

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used by vehicles of shoppers or emergency vehicles. Loading access drives shall be of sufficient length to prevent the blocking of any public or private drive or street used for vehicular circulation.

### Size of Spaces:

Off-street parallel	8' wide by 22' long
Off-street angle	9' wide by 18' long
Golf Cart	6' wide by 10' long

### Width of Aisles:

	<u>One-Way</u>	<u>Two-Way</u>
30° angle parking	12'	22'
45° angle parking	13'	22'
60° angle parking	18'	22'
90° angle parking	24'	24'

When sidewalks occur in a parking area, parked vehicles shall not overhang the sidewalk unless an additional two (2) feet of walkway width is provided to accommodate said overhang.

**TABLE 3B**  
**OFF-STREET PARKING REQUIREMENTS FOR**  
**RESIDENTIAL LAND USES**

<u>Residential (Single Family)</u>	<u>Off-Street Parking</u>	<u>On-Street Parking*</u>
2 bedroom or less	1.0	0.5
3 bedroom or less	2.0	0.5
4 bedroom or less	2.5	0.5
5 bedroom or less	3.0	0.5
<u>Residential (Multi-Family)</u>		
1 bedroom	1.5	0.25
2 bedroom	1.5	0.25
3 bedroom	2.0	0.25

\*Note: On-street parking is optional and may be used to offset total parking needs of each developed neighborhood.

A covered garage or carport and a minimum 10' x 20' driveway shall count as two (2) parking spaces.

<b>TABLE 4</b> <b>TYPICAL RESIDENTIAL LOT PROFILE</b>					
	Description	Setback		Description	Setback
1.	Accessory uses	10'	6.	Balconies, stoops, or porches, exclusive of roofline overhangs	4'
2.	Back of building (rear yard setback)	Table 1	7.	Side lot setback	Table 1
3	Easements (utilities)	Table 2	8.	Corner lot side yard setback from right-of-way line	15'
4.	Front setback from road right-of-way	Table 1	9	Building footprint	varies
5.	Minimum lot depth	75'	10.	On-street parking	Optional

Note: Fences may be allowed pursuant to Bay Laurel Architectural Review Board requirements or Melody Preserve Architecture Review Board requirements, as applicable,. Garage setback may be 15 feet from edge of right-of-way; add 8 feet if on-street parking is used.

Driveway Access:

a. Driveway Access at Corners

All: Setback 50 feet from point of tangency of the right-of-way corner radius or one-half the lot width, whichever is less.

All Residential: No obstruction to vision shall be constructed, placed, or maintained within a triangle formed by the point of intersection of lot lines abutting a street right-of-way and a distance of 25 feet along the lot lines from the point of intersection.

b. Minimum Driveway Width

Each residential lot shall have a driveway minimum width of 10 feet.

Section 3. Administrative

1. The Marion County Zoning Director may issue administrative variances for deviations up to ten (10) percent of the criteria contained herein. Variances of greater than ten (10) percent of the criteria contained herein may be approved by the Development Review Committee.
2. Provisions of the Bay Laurel PUD as described herein supersede any conflicting provisions in the Land Development Code of Marion County Florida.

3. The Bay Laurel PUD zoning (the "PUD Ordinance") for the Project authorizes the development of up to 2,951 residential units (2,552 single family and 399 multi-family), associated recreational amenities, and commercial uses in support of the PUD and related residential development.

The Master Plan illustrates the general location of proposed access points, driveways, and other pertinent information. The exact location of structures, lot lines, roadways and other improvements are subject to change through the development process and such modifications do not require amendment of this Agreement or the zoning approval for the Project. Modifications to the exact location of structures, lot lines, roadways and other improvements may be requested by the Developer and approved by the Development Review Committee ("DRC") during review of the site development plans and/or plats for the Project or portions thereof. In the event of a conflict between the terms of this Master Plan and the Marion County Land Development Code, the terms of this Master Plan shall prevail.

DRC is hereby authorized to issue an approval for Improvement Plans within the Project, as and if needed, without further review Marion County Commission. Publication and notification requirements for rezoning shall not apply to minor modifications of this Agreement. Modifications to this Agreement which are not considered minor modifications by the Zoning Director shall require approval of the Marion County Commission following a recommendation from the DRC. Any modification of this Agreement shall require the written consent of the Developer.

4. Amendments and Modifications to the Master Plan which are requested by the Developer may occur during the site plan and plat review processes and will be reviewed as provided in paragraph 3 above. Revisions which meet the intent and purpose of the PUD Ordinance and this Agreement shall be approved by the DRC, during site plan or plat review as long as the substantial integrity of the original Master Plan and the development standards contained herein are maintained.
5. The Project may be developed in multiple phases, at the discretion of the Developer. The Developer will notify the County of proposed phasing changes at the time of site plan submittal(s). Each phase may include temporary support trailers (including but not limited to sales, construction, development and real estate offices) which will be removed upon completion of work in each applicable phase. Infrastructure necessary to support each phase of the Project shall be constructed concurrently with that phase as a condition of platting and/or site plan approval. The final preliminary plat or site Improvement Plan for this Project shall be submitted within fifteen (15) years of approval of the PUD by the Marion County Commission.
6. Development actions required by this Agreement and the PUD Ordinance shall be taken within fifteen (15) years of the effective date of this Agreement. This Agreement shall remain in effect for fifteen (15) years, or as long as the Project is ongoing, whichever is longer. The Project shall be considered ongoing as long as substantial and good faith progress has been shown by the Developer, or its

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successors and assigns, conducting construction activities in a regular continuing and orderly manner designed to meet the approved development schedule dates. Building permits and certificates of occupancy may be issued for the Project beyond the effective date of this Agreement if the infrastructure to service those buildings/structures is in place.

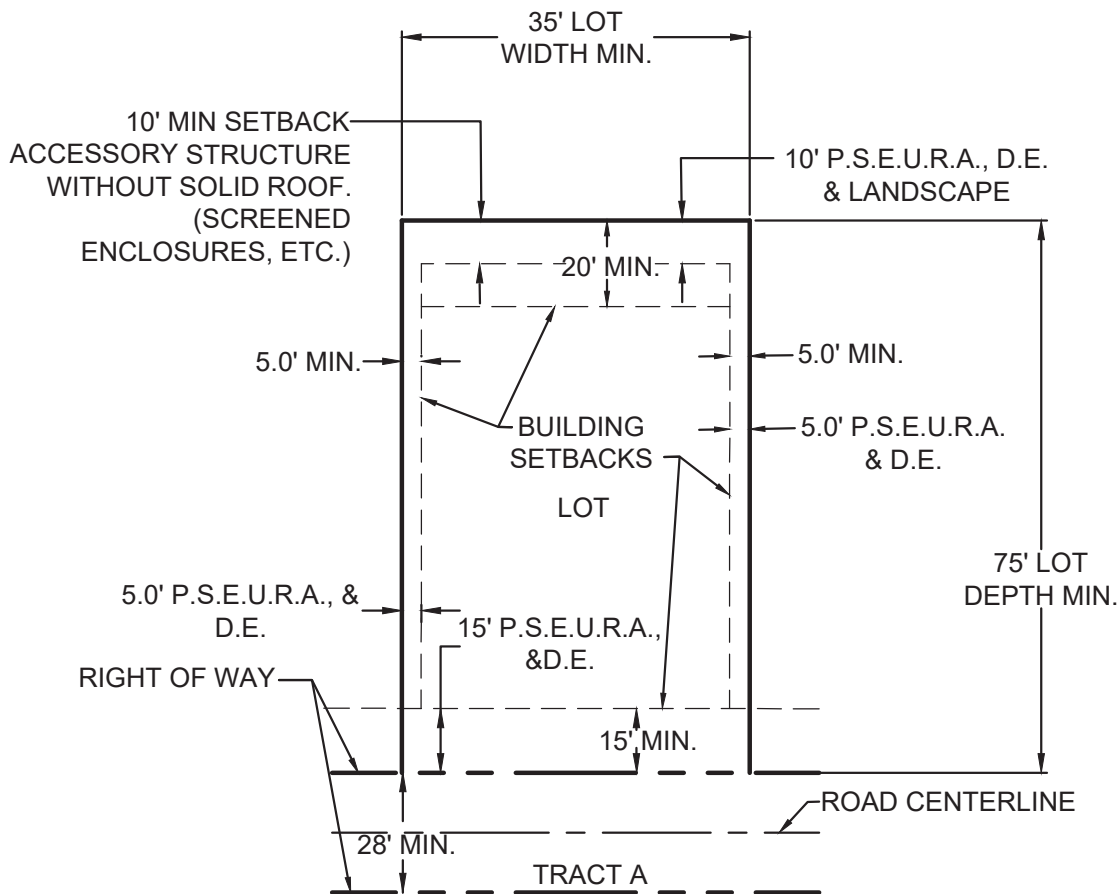
7. The Project will include infrastructure to support the proposed uses, including water and wastewater service, drainage, roads, public and private rights-of-way.

The Project is located wholly within the Bay Laurel Center Community Development District water and wastewater service areas or Marion County Utilities. All proposed permanent residential and mixed uses within the Project will be served by central water and sewer.

All residential units in the Project shall be required to connect to central water and sewer services prior to issuance of a certificate of occupancy. Temporary private potable wells for any service areas or temporary facilities or trailers shall be permitted until a reasonable time period after central water service is made available to the Project. Temporary on-site sewage treatment and disposal systems for any service areas or temporary trailers shall be permitted until a reasonable time after central wastewater service is made available.

The Project may include a master irrigation system(s) for common landscape area and residential landscape area irrigation. A master irrigation system(s) may utilize water sources as allowed by the Florida Administrative Code, Chapter 40D-2, including, but not limited to groundwater, surface water, reclaimed water, and/or potable water. Appropriate permits will be obtained for consumptive uses of water.

8. The residential component of the Project may contain private, gated neighborhoods. The roads may be privately owned and the Developer may elect to manage and control access. Alternatively, roads may be owned by a Community Development District or dedicated to Marion County. Cul-de-sacs shall not be limited in length; however, cul-de-sacs greater than 2,640 feet in length must provide intermediate turning areas not spaced more than 2,000 feet apart.
9. If any provision of this PUD Master Plan and Development Standards, or its application to any person, entity or circumstances is specifically held to be invalid or unenforceable by a Court of competent jurisdiction, the remainder of this Agreement and the application of the provisions hereof to other persons, entities or circumstances shall not be affected thereby and, to that end, this Agreement shall continue to be enforced to the greatest extent possible consistent with law and the public interest. This Master Plan shall be modified as necessary to maintain the original intent of the Master Plan.
10. The Exhibits attached hereto are incorporated into this Agreement and are a part of the Agreement upon which the parties have relied.

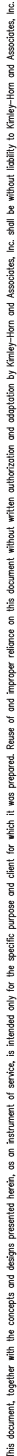


**STANDARD LOT DIMENSIONS, SETBACKS  
AND EASEMENTS**  
**TYPICAL LOT DIAGRAM**

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XREFS: xborder - 242248009 18148EXP PH1DEXP 18148 Plat Phase 2 EXP 18148EXP PH1DEXP 18148 Plat Phase 3 18148EXP PH1A-REPLATEXP 18148EXP PH1B EXP 18148PLAT PH1CEXP xBase - MELODY PRESERVE DrawingData

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DATE DECEMBER 2024	BAY LAUREL PUD PREPARED FOR ON TOP OF THE WORLD COMMUNITIES, L.L.C.	SCALE NOT TO SCALE DESIGNED BY KHA DRAWN BY KHA CHECKED BY KHA	DESIGN ENGINEER: GENE BRUNO LOSITO, P.E. FLORIDA P.E. LICENSE NUMBER: 75547 DATE:	<b>Kimley»Horn</b> © 2024 KIMLEY-HORN AND ASSOCIATES, INC. 1700 SE 17TH STREET, SUITE 200, OCALA, FLORIDA 34471 PHONE: 352-438-3000 WWW.KIMLEY-HORN.COM REGISTRY NO. 35108
PROJECT NO. 242248007				
SHEET NUMBER 01				

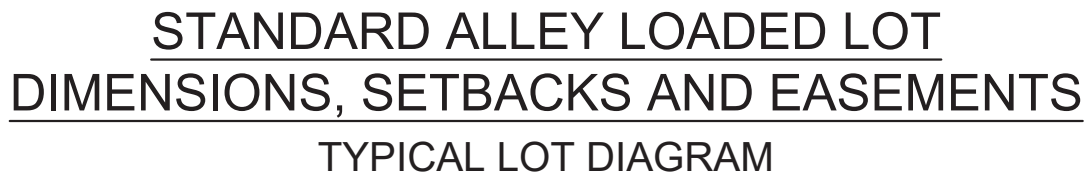



**BAY LAUREL PUD**  
PREPARED FOR  
**ON TOP OF THE WORLD**  
**COMMUNITIES, L.L.C.**

SCALE	NOT TO SCALE
DESIGNED BY	KHA
DRAWN BY	KHA
CHECKED BY	KHA

DESIGN ENGINEER:  
GENE BRUNO LOSITO, P.E.  
FLORIDA P.E. LICENSE NUMBER:  
75547  
DATE:

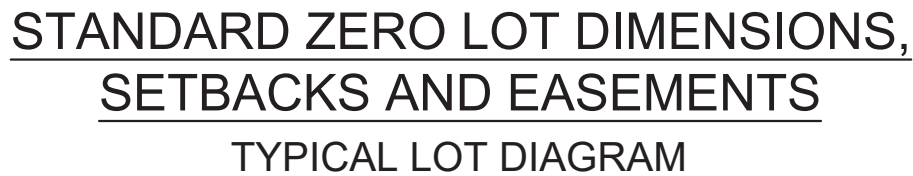
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PHONE: 352-438-3000  
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DATE DECEMBER 2024	<p><b>BAY LAUREL PUD</b></p> <p>PREPARED FOR</p> <p><b>ON TOP OF THE WORLD COMMUNITIES, L.L.C.</b></p>	SCALE NOT TO SCALE	DESIGN ENGINEER: GENE BRUNO LOSITO, P.E.	 <p>© 2024 KIMLEY-HORN AND ASSOCIATES, INC.</p> <p>1700 SE 17TH STREET, SUITE 200, OCALA, FLORIDA 34471</p> <p>PHONE: 352-438-3000</p> <p>WWW.KIMLEY-HORN.COM REGISTRY NO. 35106</p>
PROJECT NO. 242248007		DESIGNED BY KHA	FLORIDA P.E. LICENSE NUMBER: 75547	
SHEET NUMBER 03		DRAWN BY KHA	CHECKED BY KHA	



DATE DECEMBER 2024	<div> <div>BAY LAUREL PUD</div> <div>PREPARED FOR</div> <div>ON TOP OF THE WORLD COMMUNITIES, L.L.C.</div> </div>	<div>SCALE</div> <div>NOT TO SCALE</div> <div>DESIGNED BY KHA</div> <div>DRAWN BY KHA</div> <div>CHECKED BY KHA</div>	<div>DESIGN ENGINEER:</div> <div>GENE BRUNO LOSITO, P.E.</div> <div>FLORIDA P.E. LICENSE NUMBER:</div> <div>75547</div> <div>DATE:</div>	<div> <div>Kimley»Horn</div> <div>© 2024 KIMLEY-HORN AND ASSOCIATES, INC.</div> <div>1700 SE 17TH STREET, SUITE 200, OCALA, FLORIDA 34471</div> <div>PHONE: 352-438-3000</div> <div>WWW.KIMLEY-HORN.COM REGISTRY NO. 35106</div> </div>
PROJECT NO. 242248007				
SHEET NUMBER 04		32		



DATE DECEMBER 2024	BAY LAUREL PUD PREPARED FOR ON TOP OF THE WORLD COMMUNITIES, L.L.C.	33	SCALE NOT TO SCALE	DESIGN ENGINEER: GENE BRUNO LOSITO, P.E.	 © 2024 KIMLEY-HORN AND ASSOCIATES, INC. 1700 SE 17TH STREET, SUITE 200, OCALA, FLORIDA 34471 PHONE: 352-438-3000 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106
PROJECT NO. 242248007			DESIGNED BY KHA	FLORIDA P.E. LICENSE NUMBER: 75547	
SHEET NUMBER 05			DRAWN BY KHA	CHECKED BY KHA	

ATTACHMENT A - Application Package (initial)

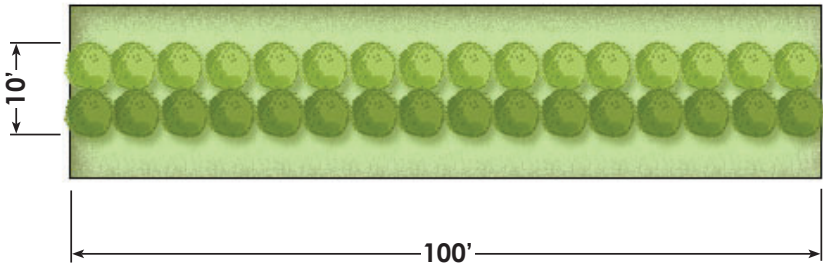


MELODY PRESERVE CONCEPTUAL PLAN

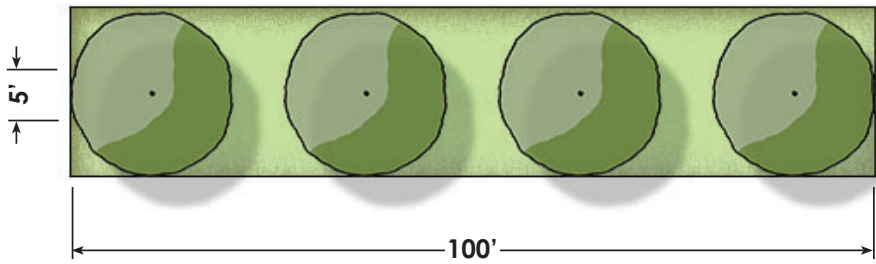
DECEMBER 2024

ON TOP OF THE WORLD COMMUNITIES, L.L.C.

MARION COUNTY, FLORIDA



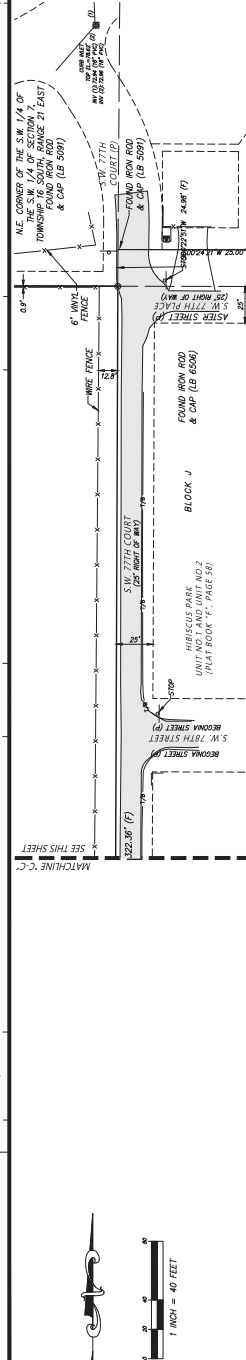
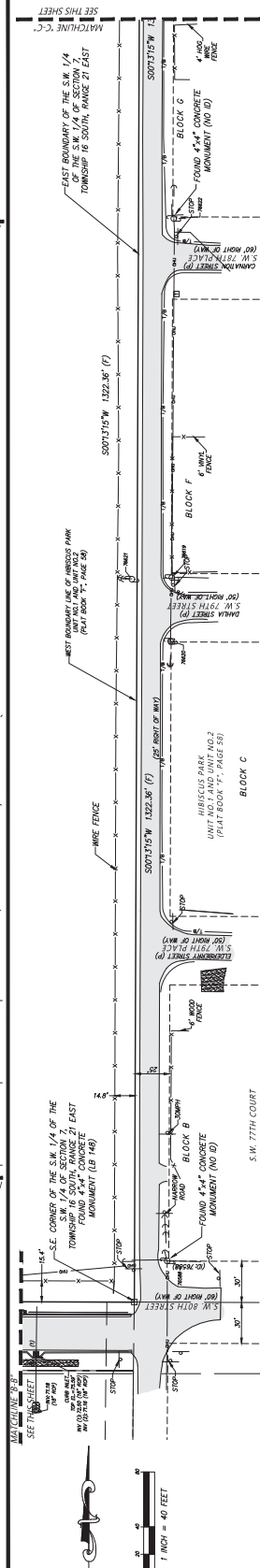
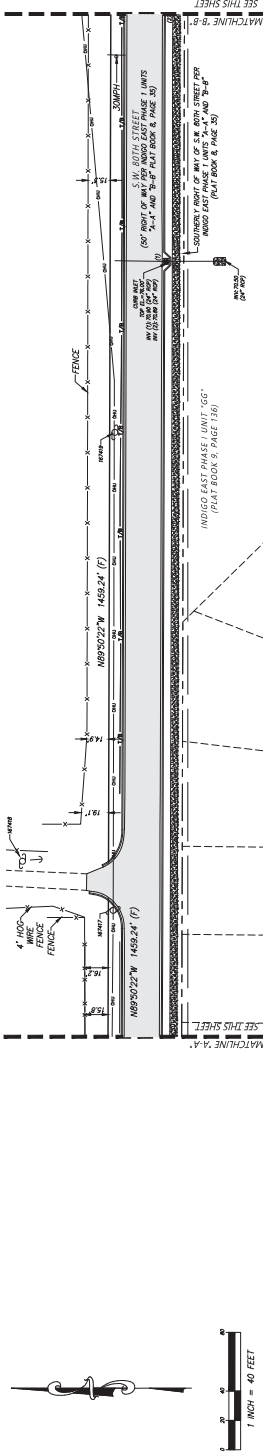
**TYPE 'C-1' BUFFER**

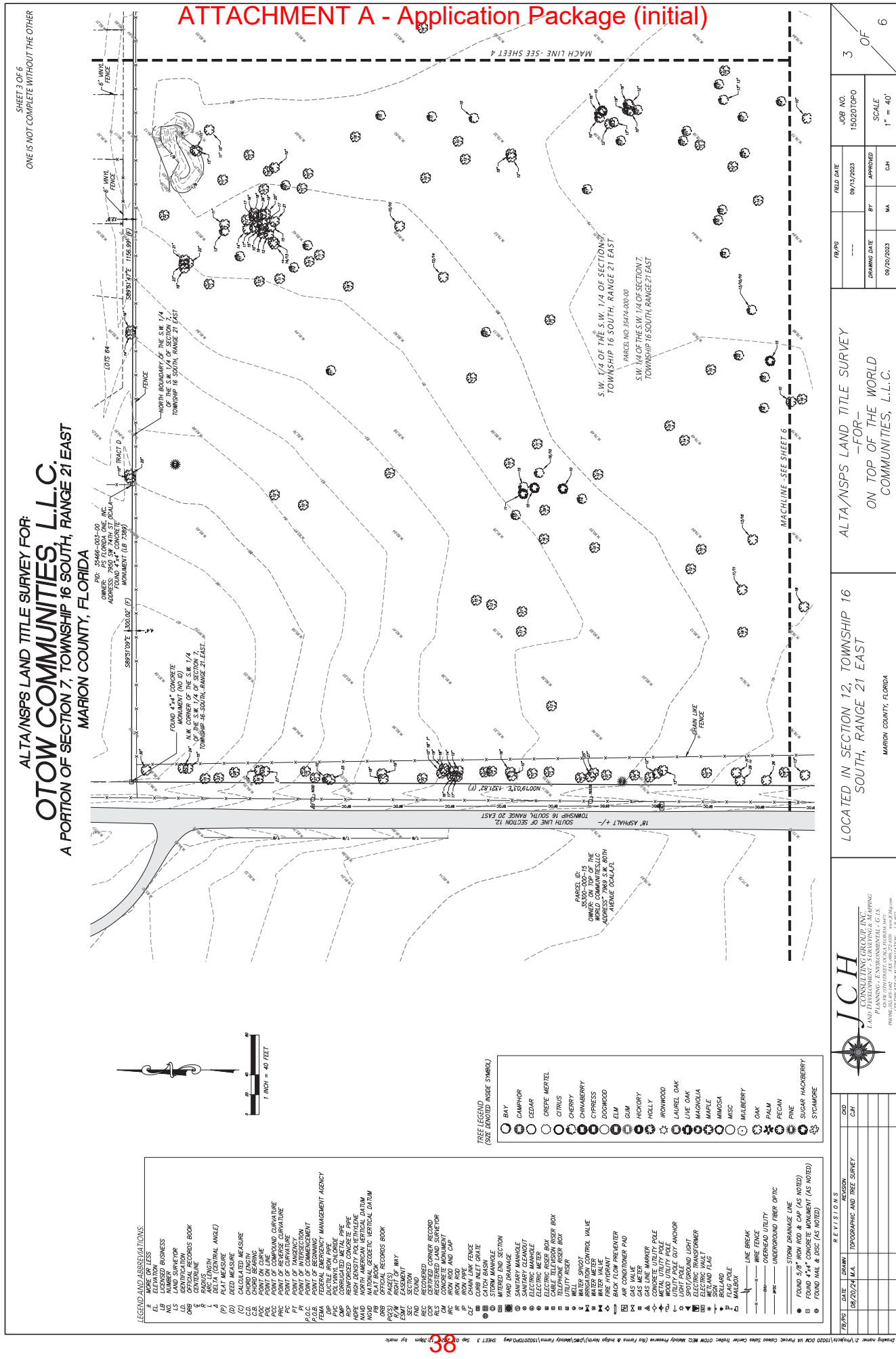


**TYPE 'E' BUFFER**



**SHEET 2 OF 6**  
**ONE IS NOT COMPLETE WITHOUT THE OTHER**


[illegible]







- [illegible]

<div><div><div><b>JCH</b></div><div>CONSULTING GROUP, INC.</div><div>LAND DEVELOPMENT - SURVEYING &amp; MAPPING</div><div>PLANNING - ENVIRONMENTAL - G.I.S.</div><div>3636 W. 17TH STREET, SUITE 400, BOCA RATON, FL 33433</div><div>PHONE: (561) 369-1100 FAX: (561) 369-1101</div><div>CERTIFICATE OF AUTHORIZATION - J.B. 851</div></div></div>				LOCATED IN SECTION 12, TOWNSHIP 16 SOUTH, RANGE 21 EAST  MARION COUNTY, FLORIDA				ALTA/NSPS LAND TITLE SURVEY -FOR- ON TOP OF THE WORLD COMMUNITIES, L.L.C.				JOB NO. 15020TOP0				5 OF 6	
REVISIONS										FIELD DATE		SCALE					
TB/PG		DATE		DRAWN		CHECKED		BY		APPROVED		CJH		1" = 40'			
		08/20/24		M.A.						09/20/2023		MA					
										09/13/2023							







[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Limited Liability Company  
ON TOP OF THE WORLD COMMUNITIES, L.L.C.

### Filing Information

<b>Document Number</b>	L19000111783
<b>FEI/EIN Number</b>	59-6059413
<b>Date Filed</b>	05/01/2019
<b>Effective Date</b>	02/26/1957
<b>State</b>	FL
<b>Status</b>	ACTIVE
<b>Last Event</b>	LC STMNT OF AUTHORITY 21
<b>Event Date Filed</b>	06/04/2024
<b>Event Effective Date</b>	NONE

### Principal Address

8445 SW 80TH STREET  
OCALA, FL 34481

Changed: 06/25/2019

### Mailing Address

8445 SW 80TH STREET  
OCALA, FL 34481

Changed: 06/25/2019

### Registered Agent Name & Address

COLEN & WAGONER, P.A.  
1756 N. BELCHER RD  
CLEARWATER, FL 33765

Name Changed: 03/02/2022

Address Changed: 03/02/2022

### Authorized Person(s) Detail

#### **Name & Address**

Title PRESIDENT

**ATTACHMENT A - Application Package (initial)**

COLEN, KENNETH D  
8445 SW 80TH STREET  
OCALA, FL 34481

Title VP/CHIEF FINANCIAL OFFICER/SEC./TRE

WOOLBRIGHT, C. GUY  
8445 SW 80TH STREET  
OCALA, FL 34481

Title ASSISTANT TREASURER

COLEN, ROBERT L  
8445 SW 80TH STREET  
OCALA, FL 34481

Title ASSISTANT SECRETARY

SORIANO, PATRICIA  
8445 SW 80TH STREET  
OCALA, FL 34481

Title Exec VP, COO

Massarella-Aiosa, Linda  
8445 SW 80TH STREET  
OCALA, FL 34481

**Annual Reports**

Report Year	Filed Date
2023	01/31/2023
2024	02/14/2024
2024	04/10/2024

**Document Images**

<a href="#">06/04/2024 -- CORLCAUTH</a>	<a href="#">View image in PDF format</a>
<a href="#">04/10/2024 -- AMENDED ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/14/2024 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">10/02/2023 -- AMENDED ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/31/2023 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/02/2022 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/09/2021 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/22/2020 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">07/01/2019 -- CORLCAUTH</a>	<a href="#">View image in PDF format</a>
<a href="#">06/25/2019 -- LC Amendment</a>	<a href="#">View image in PDF format</a>
<a href="#">05/06/2019 -- CORLCAUTH</a>	<a href="#">View image in PDF format</a>
<a href="#">05/01/2019 -- Florida Limited Liability</a>	<a href="#">View image in PDF format</a>

# ATTACHMENT A - Application Package (initial)

Florida Department of State, Division of Corporations

# ATTACHMENT A - Application Package (initial)

Prepared by  
Jennifer Langdon, an employee of  
**First American Title Insurance Company**  
2301 Maitland Center Parkway, Suite 450  
Maitland, Florida 32751  
(407)691-5200

Return to: Grantee

File No.: 2021-110070008E

## **WARRANTY DEED**

This indenture made on **October 5<sup>th</sup>**, 2023 A.D., by

**WEC Ocala LLC, a Washington limited liability company**

whose address is: **3950 Fairview Industrial Dr. SE, Suite 240, Salem, OR 97302**  
hereinafter called the "grantor", to

**On Top of the World Communities, L.L.C., a Florida limited liability company**

whose address is: **8445 SW 80TH ST OCALA, FL 34481**  
hereinafter called the "grantee":

(Which terms "Grantor" and "Grantee" shall include singular or plural, corporation or individual, and either sex, and shall include heirs, legal representatives, successors and assigns of the same)

**Witnesseth**, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in **Marion County, Florida**, to-wit:

The SW 1/4 of the SW 1/4 of Section 7, Township 16 South, Range 21 East, Marion County, Florida.

Parcel Identification Number:

**Subject to** all reservations, covenants, conditions, restrictions and easements and other matters of record and to all applicable zoning ordinances and/or restrictions imposed by governmental authorities, if any.

**To Have and to Hold**, the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31st of 2022, and all reservations, covenants, conditions, restrictions, easements and other matters of record and all applicable zoning ordinances and/or restrictions imposed by governmental authorities, if any.

**In Witness Whereof**, the said Grantor has caused this instrument to be executed in its name, the day and year first above written.

ATTACHMENT A - Application Package (initial)

WEC Ocala LLC, a Washington limited liability company

By: Harvest Management Services Corp., a Washington corporation, Its Manager

By: [Signature]

Name: Norman L. Brenden

Title: President

Signed, sealed and delivered in our presence:

[Signature]  
Witness Signature

Print Name: Robin R. Goins

[Signature]  
Witness Signature

Print Name: Jill Henry

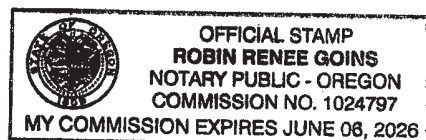
State of Oregon

County of Marion

**The Foregoing Instrument Was Acknowledged** before me by means of ☒ physical presence or ☐ online notarization, on October 2, 2023, by **Norman L. Brenden as President of Harvest Management Services Corp the manager of WEC Ocala LLC, a Washington limited liability company**, existing under the laws of the State of **Washington**.

[Signature]  
Notary Public for the State of Oregon

Robin Renee Goins  
(Printed Name)



My Commission expires: June 06, 2026

{Notarial Seal}

Personally Known ☒ OR Produced Identification ☐  
Type of Identification Produced a valid driver's license

# Marion County Property Appraiser



## Prime Key: 876607

Situs: Situs: 7875 SW 80TH ST OCALA

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2024	\$1,424,000	\$0	\$6,065	\$1,430,065	\$1,430,065	\$0	\$1,430,065
2023	\$910,000	\$0	\$6,065	\$916,065	\$571,102	\$0	\$571,102
2022	\$618,800	\$0	\$6,065	\$624,865	\$519,184	\$0	\$519,184

[Property Transfer History](#)

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8163/0323</a>	10/2023	07 WARRANTY	4 V-APPRAISERS OPINION	Q	V	\$3,000,000
<a href="#">4802/0743</a>	05/2007	07 WARRANTY	2 V-SALES VERIFICATION	U	I	\$2,004,800
<a href="#">2028/0521</a>	04/1994	07 WARRANTY	2 V-SALES VERIFICATION	Q	I	\$150,000
<a href="#">D368/0547</a>	12/1958	07 WARRANTY	0	U	V	\$100

[Property Description](#)

SEC 07 TWP 16 RGE 21  
SW 1/4 OF SW 1/4

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
9902		.0	.0	A1	40.00	AC	40,000.0000	1.00	0.89	1.00	1,424,000	1,424,000
9994		.0	.0	A1	1.00	UT	.0000	1.00	1.00	1.00		
Neighborhood 8371 - TR 16/21 AC MKT 7 N OF SR 200												Total Land - Class \$1,424,000
Mkt: 7 70												Total Land - Just \$1,424,000

[Miscellaneous Improvements](#)

Type	Nbr	Units	Type	Life	Year In	Grade	Length	Width
190 SEPTIC 1-5 BTH	2.00	UT	99	1994	2	0.0	0.0	0.0
256 WELL 1-5 BTH	1.00	UT	99	1994	3	0.0	0.0	0.0
105 FENCE CHAIN LK	960.00	LF	20	1994	3	0.0	0.0	0.0
159 PAV CONCRETE	2,840.00	SF	20	1995	3	0.0	0.0	0.0
112 FENCE WIRE/BD	860.00	LF	10	1990	3	0.0	0.0	0.0
114 FENCE BOARD	320.00	LF	10	1990	3	0.0	0.0	0.0
								Total Value - \$6,065

[Appraiser Notes](#)

NO ACCESS BUT APPEARS VACANT

[Planning and Building](#)  
[\\*\\* Permit Search \\*\\*](#)

Permit Number	Date Issued	Date Completed	Description
071523	7/1/1999	10/1/1999	ROM
MA98046	8/1/1995	-	EPB
MA95842	6/1/1995	-	POOL
MA80917	7/1/1994	-	MH
MA78734	5/1/1994	-	MH

50