



## SUBMITTAL SUMMARY REPORT 33206

**PLAN NAME:** SW HWY 484 SUPER CENTER

**LOCATION:**

**APPLICATION DATE:** 08/15/2025

**PARCEL:** 41200-056-03

**DESCRIPTION:**

CONTACTS	NAME	COMPANY
Applicant	Hunter Johnson	CPH Consulting, LLC
Applicant	Kayla Sheffield	CPH Consulting, LLC
Applicant	Kayla Sheffield	CPH Consulting, LLC
Engineer of Record	Hunter Johnson	CPH Consulting, LLC
Engineer of Record	Kayla Sheffield	CPH Consulting, LLC

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.	08/19/2025	09/02/2025	11/13/2025	Requires Re-submit
OCE: Plan Review (DR) v.	02/09/2026	02/16/2026		In Review

### SUBMITTAL DETAILS

**OCE: Plan Review (DR) v.1**

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)		09/02/2025	11/11/2025	Requires Re-submit
<i>Comments</i>				
YES 2.12.8 - Legal description matches boundary on plan				
NO 2.12.28 - Correct road names supplied In W131528 – SW HWY 484 Civil Permit – SS – Sheet C0.1 SW 57th Avenue Rd is listed incorrectly as SW 57th Ave.				
NO 6.2.1.F - North arrow and graphic drawing and written scale In W131528 – SW HWY 484 Civil Permit – SS - Sheet C4.2 is missing North Arrow.				
NO Additional 911 comments In W131528 – SW HWY 484 Civil Permit – SS - Sheet C1.2 Under Site Data Information has an incorrect address listed. It should be TBD SW HWY 484. (Sheet C1.2 is loaded 2 times).				

Environmental Health (Plans) (Environmental Health)		09/02/2025	11/11/2025	Approved
<i>Comments</i>				
YES Central Sewer Central Sewer				
N/A Lot Size				
N/A Total Flow				
N/A Available Area				
YES DEP Water Approval Central Water				
N/A Operating Permit Required				
N/A 2.12.6 - Location of septic systems & wells				
N/A 2.12.36 - Location of water & septic systems				
INFO Additional Health comments Central Sewer/Central Water				

Fire Marshal (Plans) (Fire)		09/02/2025	11/11/2025	Requires Re-submit
<i>Comments</i>				
NO 6.18.2 - Fire Flow/Fire Hydrant Please show on the plans fire department water supply within 400 feet of the building. Per NFPA 1 Chapter 18.5.3 the maximum distance to a fire hydrant from the closest point on the building shall not exceed 400 feet. The measurement shall be taken by a fire department access roadway from the fire department water supply to the building.				
N/A 6.18.3 - Gated Communities/Properties				
N/A 6.18.4 - Wildland Interface Area				
N/A 6.18.5 - Access Control Box				
N/A 6.18.2.D - Fire Department Connections				
N/A NFPA 1 Chapter 11.10.1 - In Building Minimum Radio Signal Strength				
YES 6.18.2.G - Painting and Marking of Fire Hydrants				
YES NFPA 1 Chapter 18.2.3 - Fire Dept Access Roads				
N/A Additional Fire comments				

Growth Services Planning & Zoning (DR) (GS Planning and Zoning)		09/02/2025	11/11/2025	Requires Re-submit
<i>Comments</i>				
Land Use - Rejected - YES 2.12.4.L(2)/3.2.3 - Use Consistent with FLU Designation?				
YES 2.12.4.L(3) - All applicable Developer's Agreements listed?				
YES 2.12.4.L(2,3, & 5)/6.3.1C(15)(g) - DRI/FQD Compliance Note?				
N/A 3.2.3/6.6/5.2.5/flood - RESIDENTIAL - Complies with Min/Max Density?				
YES 3.2.3 - NON-RESIDENTIAL - Complies with FAR?				
N/A 2.12.4.L(6) - Gross/wetland/floodplain acreage listed?				
N/A 3.3.2.C - Complies with Approved ECSD PUD?				

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N/A 3.3.3.A(1)- Complies with Approved Rural Residential Cluster Plan?  
N/A 3.3.3.A(2) - Complies with Approved Hamlet Plan?  
N/A 2.12.4.L(5)/5.2 - [Applicable ESOZ/FPOZ Status Listed?]  
N/A 2.12.4.L(5)/5.4 - [Applicable Springs Protection Zone Listed?]  
YES 2.12.4.L(5)/5.7 - Wellhead Protection - P/S/T Zones Shown/Listed?  
YES 2.12.4.L(7 & 9) - Building Uses/Identifiers/Designations Provided for 911?  
YES 4.1.4.J - [Greenway Setback Provided?]  
YES 2.12.16/6.5 - [EALS or EALS-ER provided?]  
YES 6.5 & 6.6 - Habitat Preservation/Mitigation Provided?  
N/A 2.12.9 - [Show All Existing Surrounding & Intersecting R/Ws?]  
N/A 6.12.2.A - [Local Road right-of-Way Provided?]  
N/A 6.12.2.A - [Access Improvements R/W Provided (decel/accel/turn lanes)?]  
YES 2.12.9/6.12.2.B - Comp Plan Future Thoroughfares R/W Provided (TE Map)?  
N/A 6.11.4.C - [Additional/Alternate/Interconnected Access (S/QS-L) Provided?]  
YES 6.11.2, 4 & 5 - Internal Access Consistent with PUD/Master Plan/Plat?  
N/A 6.11.4.B & D/7.3.1 - [Cross/Parallel Access Required/Suitable?]  
N/A 6.11.5 - [Driveways to Intersections Separated/Coordinated?]  
N/A 6.11.4.E - [Sight Triangle Provided?]  
N/A 6.11.5 - [Driveways to Driveways Separated/Coordinated?]  
N/A 6.12.12 - [Sidewalks Internal/External Provided?]  
N/A 2.12.5/1.8.2.A - Concurrency/Traffic - Study/Capacity Available?  
N/A 2.12.5/1.8.2.D - Concurrency - PRELIM Evaluation Required?  
NO 2.12.5/1.8.2.F - Is Concurrency Approval or Deferral Elected? Revise the plan Cover Sheet to provide the following note:  
"This proposed project has not been granted concurrency approval and/or granted and/or reserved any public facility capacities. Future rights to develop the property are subject to a deferred concurrency determination, and final approval to develop the property has not been obtained. The completion of concurrency review and/or approval has been deferred to later development review stages, such as, but not limited to, Building Permit review."

N/A 2.12.6, 35, & 36/6.14 - [Concurrency/Water Provided?]  
N/A 2.12.6, 35, & 36/6.14 - [Concurrency/Sewer Provided?]  
N/A Additional Planning Items:

Zoning - Rejected - NO 2.12.4.C - Owner and applicant name Please explicitly indicate property owner on cover sheet C0.1.

YES 2.12.4.L(1) - Parcel number Included  
NO 2.12.21/6.3.1.C(10) - Land use and zoning on project and on adjacent properties shown Please specify PUD case number 191107ZC. B-4 zoning is not necessarily being "proposed" as indicated on sheet C1.2. PUD zoning simply approved commercial development based on B-4 development standards.  
Sheet C1.2 indicates EC FLU designation and DRI EXISTING land use for residential lots to the west of the current parcel (PID 41200-056-03). Marion Oaks residential lots have been granted Medium Residential (MR) FLU designation and are intended for SFR. Please correct.  
NO 2.12.4.L(4) - Zoning requirements: lot width, area, setbacks, coverage (floor area ratios) and parking Please provide above zoning information on cover sheet.  
Sheet C1.2 indicates 0' required setbacks for the north, south, and east, and 50' setbacks for the west? Please indicate correct standards based on B-4 zoning classification, as required by approved PUD.  
187' setback from the south and 51' from the north in sheet C1.2 table? Please note 45' side setbacks for primary structures with accessory gas pumps. Gas pump canopies may protrude up to 10 feet into required setback.  
Please correct provided setbacks for convenience store/gas pumps on the provided table in sheet C1.2.  
NO 2.12.23/4.2 -Setbacks, dimensions for all improvements, and easements Please indicate setbacks for gas pumps AND canopy on site plan. Please indicate front setback for convenience store on site plan. Please indicate width/length of convenience store on site plan.  
NO 2.12.24 - Landscape requirements/6.8.6 - Buffering Staff notes utilities easement in the same place as proposed buffers. Please note that buffers were a condition for PUD approval. In the case that the buffers are cleared, a zoning code violation would exist and the site may be subject to the code enforcement process, at the property owner's risk.  
Landscape plan indicates Type B buffer along SW Hwy 484. Sheet C1.2 indicates 15' buffer width on south line. Please update with required CR 475A C-type buffer, as required by PUD approval. Please call out on site plan in sheet C1.2. Please provide typical detail elevation of required buffer type.  
Please label garbage collection area on sheet C1.2 and landscaping plan. Please provide detail drawing indicating that screening requirements in LDC Sec. 6.8.9.B are met.  
YES 2.12.4.L(7) - List and describe land use including floor area of particular use (example: office, warehouse, storage or assembly) these descriptions are often found in the summary of parking requirements but should be clearly shown on plan Included for convenience store  
INFO 2.12.6 - Location of water and sewer. Does this need a special use permit? Within Marion County Utilities service area. Defer to MCU.

YES 2.12.9 - Show adjacent streets serving development Included  
YES 2.12.32 - Show 100yr flood zone FEMA Flood Zone X  
NO 2.12.32 - Modified Environmental Assessment for Listed Species (LDC 6.5.4) -OR- EALS Exemption Application (LDC 6.5.3) submitted (including habitat assessment as necessary per LDC 6.6.4) Did field reconnaissance include assessment of listed species habitat (gopher tortoises, eastern indigo snakes, scrub jay bird, etc.)? Per LDC Sec. 6.5.4, please provide a more detailed write-up with the following information not clear from the submitted Phase I ESA:  
- Property owner and acreage of the gross lands held under common ownership including and/or adjoining the project area.  
- Exact date(s) and time(s) of the field assessment  
- Name of the individual(s) conducting the field assessment with their qualifications  
- A summary of the published information used to determine the probability of occurrence of listed species on the proposed development or land clearing site, including identifying the agency or organization providing the data. Please provide copy of data.  
- A map of land use and land cover classifications on the site, and directly abutting the site, using the Land Use, Cover and Forms Classification System: A Technical Manual, State of Florida Department of Transportation (FLUCCS), January 1999, as amended.  
- A transect map of the field assessment  
- An inventory of the wildlife and plant communities as found on the site and observed on adjacent property surrounding the site  
- Provide the feasibility and viability of on-site protection and management of native habitats and listed species.

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- Provide the location of the site in relation to any existing or proposed conservation areas and wildlife corridors within the project area and the feasibility of maintaining the corridor or conservation area post-development.
- In the event that on-site protection is shown to be ineffective, evaluate other mitigation options, such as relocation of the listed species to an approved location.

NO 2.12.4.L(10) - Parking requirements, service entrances, space size paved parking isle and access to parking area/6.11.8 - Off-street parking requirements/6.11.7 - Loading Areas/ 6.11.6 - Construction access/route Please provide parking calculations for convenience store.

INFO 4.4.4 -Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan. Site plan indicates NON multi-tenant monument sign that IS consistent with current PUD Master Plan (AR 27373; currently under review). Please note the sign will need a separate permit.

NO 2.12.19 - Provide dimensions and location of all existing site improvements; dimensions and location for all proposed site improvements with all setbacks Please indicate setbacks for gas pumps AND canopy on site plan. Please indicate front setback for convenience store on site plan. Please indicate width/length of convenience store on site plan.

INFO 2.12.27 - Show location of outside storage areas Will there be any outdoor storage areas? If so, outdoor storage area shall be indicated on site plan and shall meet screening requirements pursuant to LDC Sec. 4.2.20.F

INFO 5.2 & 5.3 - Verify any overlay zones such as ESOZ, Springs Protection, or Flood Plain Please indicate on cover sheet:

FEMA Flood Zone X

No ESOZ

Secondary Springs Protection Zone

INFO Additional Zoning comments Please note that the creation of commercial outparcels and residential subdivision (to the north) will require approval of Master Plan, Preliminary Plat, Improvement Plan, and Final Plat. Master Plan (AR #27373) must be approved before Preliminary Plat, Improvement Plan and Final Plat, unless the Applicant receives approved waiver to Sec. 2.1.3 Order of Plan.

Landscape (Plans) (Parks and Recreation) 09/02/2025 11/11/2025 Requires Re-submit

Comments N/A 2.12.18 - All trees 10" DBH and larger  
 N/A 2.12.25 - Marion Friendly Landscape Areas  
 N/A 6.7.3 - Tree protection  
 NO 6.7.4 - Shade tree requirements All shade trees shall be 3.5" cal at installation. Crepe myrtle and Dahoon holly will not count toward shade trees. How will deficit of 6 shade trees be addressed?  
 N/A 6.7.6 - Tree removal submittal requirements  
 N/A 6.7.8 - Protected tree replacement requirements  
 N/A 6.7.9 - Replacement trees; general requirements  
 NO 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes) Provide native status in plant schedule, provide native percentage showing 20% is met  
 YES 6.8.3 - Landscape design standards  
 NO 6.8.4 - Landscape area requirements for non-residential development Provide required and provided landscape area calculations  
 N/A 6.8.5 - Landscape area requirements for residential and mixed use developments  
 NO 6.8.6 - Buffers 1. CR 484 - Show PUD required min. 2 foot berm (5.8.5.B.1) 2. An 8' sidewalk is required per 5.8.5.B.3  
 YES 6.8.7 - Parking areas and vehicular use areas  
 NO 6.8.8 - Building landscaping Provide landscape plantings on the south side of the building  
 NO 6.8.9 - Service and equipment areas Show screening around dumpster  
 N/A 6.13.3.C(5) - Landscaping of public stormwater management facilities  
 N/A 6.13.3.D(4) - Landscaping of private stormwater management facilities  
 NO 6.8.10 - General planting requirements (specifications) 1. Stone mulch along 484 is not advised due to various liability issues  
 Note #22  
 2. Tree rootballs shall have max 1" of mulch. Mulch shall be pulled away from trunk min 6"  
 YES 6.8.11 - Landscape installation  
 YES 6.8.12 - Landscape completion inspection requirements  
 NO 6.9.2 - Irrigation plan requirements (details, legend, notes) Provide signed and sealed irrigation plan  
 PEND 6.9.3 - Irrigation design standards  
 PEND 6.9.5 - Irrigation system installation  
 PEND 6.9.6 - Completion inspection requirements  
 NO 6.19.3 - Outdoor lighting plan requirements Provide signed and sealed photometric plan  
 PEND 6.19.4 - Exterior lighting design standards  
 N/A 5.5.4.B - Permitted uses within Springs Protection Overlay Zone  
 N/A Additional Landscape comments

OCE Design (Plans) (Office of the County Engineer) 09/02/2025 11/11/2025 Requires Re-submit

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ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Design (Plans) (Office of the County Engineer)		09/02/2025	11/11/2025	Requires Re-submit
<i>Comments</i>	YES 2.21.2.B - Major Site Plan fee of \$1,000.00 + (\$10.00 x total site acreage) 8/22/25-fee due with resubmittal			
	N/A 2.21.2.B - Plan review fee of \$40.00 made payable to Marion County Health Department			
	N/A Traffic study / methodology fee of \$200.00 made payable to Marion County BCC is required prior to plan approval. Refer to Resolution 10-R-630 for the current fee schedule.			
	N/A 2.1.6.A - \$100 Resubmittal fee payable to Marion County BCC			
	N/A 2.1.7.A - \$100 Revision fee payable to Marion County BCC			
	N/A 2.1.3 - Order of plan approval			
	NO 2.12.3 - Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions 8/22/25-Missing Title block on ALL sheets denoting type of application; (Major Site Plan)			
	NO 2.12.4.A - Type of application on front page 8/22/25-Missing Application (Major Site Plan)			
	YES 2.12.4.B - Project name centered at top of front page			
	NO 2.12.4.C - Name, address, phone number, and signature of owner and applicant on front sheet 8/22/25-Missing Name, address, phone number, and signature of owner			
	NO 2.12.4.D - Owner's certification on front sheet: I hereby certify that I, my successors, and assigns shall perpetually maintain the improvements as shown on this plan 8/22/25-Missing Owner's certification			
	YES 2.12.4.E - The name, address, phone number, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet			
	YES 6.2.1.A - Name, street address, signature, date, license number, and seal of licensed professional on each sheet			
	YES 2.12.4.F - Licensed professional certification on cover sheet with signature and seal on all sheets after plan approval			
	NO 2.12.4.F(1) - Licensed Design Professional Certification: I hereby certify that these plans and calculations were completed in accordance with all applicable requirements of the Marion County Land Development Code, except as waived. 8/22/25-Missing Licensed Design Professional Certification:			
	YES 2.12.4.G - A key location or vicinity map, with north arrow, with reference to surrounding properties, streets, municipal boundaries, sections, ranges, and township			
	NO 2.12.4.H - A portrait oriented minimal 3 inches x 5 inches space, located 2.75 inches from the right edge of paper and .75 inches from the top edge of paper, shall remain blank to allow for a County approval stamp 8/22/25-not found and no room allotted			
	YES 2.12.4.I & 6.2.1.D - Index of sheets and numbering			
	INFO 2.12.4.K - List of approved waivers, their conditions, and the date of approval 8/22/25-add waivers if requested in future			
	YES 2.12.4.L(1) - Parcel number			
	YES 2.12.7 - A digital version of the plan in a format pre-approved by the Office of the County Engineer			
	YES 2.21.2.A - Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application			
	YES 6.2.1.B - Plans shall be legible and meet typical industry standards			
	YES 6.2.1.C - Standardized sheet size shall be 24" x 36"			
	YES 6.2.1.F - North arrow and graphic drawing and written scale			
	N/A Legal Documents			
	INFO Additional Development Review Comments After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.			

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ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
<p>OCE Property Management (Plans) (Office of the County Engineer)</p> <p><i>Comments</i></p> <p>NO Major Site Plan Need Owner's Certification/Signature Line. Sunbiz shows Richard W. McGinley as signer. -EMW 8.25.25</p> <p>IF APPLICABLE:</p> <p>Sec. 2.18.1.I - Show connections to other phases.</p> <p>Sec.2.19.2.H – Legal Documents</p> <p>Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.</p> <p>Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)</p> <p>For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."</p> <p>Sec. 6.3.1.B.2 – Required Right of Way Dedication</p> <p>For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."</p> <p>Sec. 6.3.1.D.3 - Cross Access Easements</p> <p>For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."</p> <p>Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)</p> <p>"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."</p> <p>Sec. 6.3.1.C.2 – Utility Easements</p> <p>"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:</p> <ol style="list-style-type: none"> <li>1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."</li> <li>2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."</li> <li>3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."</li> </ol> <p>Sec.6.3.1.D(f) –</p> <p>If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."</p>		09/02/2025	11/11/2025	Requires Re-submit
<p>OCE Stormwater (Permits &amp; Plans) (Office of the County Engineer)</p>		09/02/2025	11/11/2025	Requires Re-submit

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## Comments

NO 2.12.4.L(9)(b) - Data Block (Impervious Area) Please provide data block on the cover sheet detailing the existing and proposed impervious & pervious area in SF, ac, and %. Please include any offsite drainage to your site in the data block.

NO 2.12.8 - Topographical Contours Please submit a survey for review.

NO 2.12.9/10 - Existing Drainage Right-of-Way/Easements Please submit a survey for review.

NO 2.12.9/10 - Proposed Drainage Right-of-Way/Easements (1) Proposed improvement plan appears to rely on a plat to establish outparcels. Please clarify that a preliminary and final plat will be submitted. (2) Appropriate drainage easements/ROW shall be included on the final plat.

YES 2.12.13/14/15 - General Exhibits

INFO 2.12.20 - Stormwater Infrastructure Supports Phasing Stormwater improvements must be in place to support each phase of development at time of phase completion.

NO 2.12.38 - Stormwater Maintenance Entity Please add Owner's Certification to cover sheet to state "I hereby certify that I, my successors, and assigns shall perpetually maintain the improvements as shown on this plan ". Please add the name of the individual who will sign the Owner's Certification to the signature line. The individual signing the certification needs to be an agent or member of the entity that will own and maintain the stormwater system, or an authorized signatory of that entity. If signatory is not an agent or member, a letter authorizing a different individual needs to be submitted with the signed documents. The authorization letter must be signed by and agent/officer of owner. Sunbiz will be used to verify agents and/or officers.

N/A 6.13.2.C - Geotechnical Investigation Report

N/A 6.13.7 - Geotechnical Criteria

NO 6.13.2.A(1)/(2) - Contributing Basins/Tc See comment under "6.13.2.B(4) - Hydrologic Analysis"

NO 6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations See comment under "6.13.2.B(4) - Hydrologic Analysis"

YES 6.13.2.A(4) - Stormwater Features & Connective Elements

N/A 6.13.2.A(3) - Retention/Detention Area Design Parameters

N/A 6.13.3 - Type of Stormwater Facility Criteria

NO 6.13.4 - Stormwater Quantity Criteria See comment under "6.13.2.B(4) - Hydrologic Analysis"

NO 6.13.2.B(4) - Hydrologic Analysis Please submit a signed and sealed drainage memo documenting curve number compliance with the proposed site plan design for AR 33171. Memo also needs to include conveyance system calculations that justify the size of onsite pipes and consider the tailwater condition of the downstream conveyance system being designed with AR 33171. Conveyance system calculations need to utilize the rainfall intensity and tailwater conditions as required by LDC section 6.13.8

N/A 6.13.4.C - Discharge Conditions

N/A 6.13.2.B(6) - Freeboard

N/A 6.13.4.D - Recovery Analysis

N/A 6.13.5 - Flood Plain & Protection

YES 6.13.2.A(8) - Finish Floor Elevation Criteria

N/A 6.13.6 - Stormwater Quality Criteria

N/A 6.12.6 - Roadway Flooding Level of Service

N/A 6.13.6.B - Alternative Treatment Techniques

NO 6.13.6.C - Best Management Practices The proposed use requires the installation of an oil/water separator on the stormwater system. Drainage from the pump canopy areas need to be routed through the oil/water separator. These oil/water separators are in addition to any oil/water separators than that may be required by utilities for the retail building. Please indicate the installation locations of the stormwater oil/water separators on the grading/drainage plan. Please also include the details of the units in the plan set. If you need examples of oil/water separators please contact the reviewer.

N/A 6.13.8 - Stormwater Conveyance Criteria See comment under "6.13.2.B(4) - Hydrologic Analysis"

N/A 6.13.2.B(5) - Hydraulic Analysis See comment under "6.13.2.B(4) - Hydrologic Analysis"

N/A 6.13.8.B(3) - Lane Spread Calculations

INFO 6.13.2.A(9) - Access Accommodates Stormwater CPH responsible for coordinating connection point grading with engineering designing AR 33171.

NO 6.13.8.B(7) - Minimum Pipe Size LDC requires conveyance pipes to be a minimum of 18" diameter or equivalent. Reduction in pipe size to 15" for conveyance and 12" for yard drains may be supported with corroborating calculations; applicants can request a waiver.

YES 6.13.2.A(5) - Existing/Proposed Stormwater Structures

NO 6.13.2.A(6) - Existing/Proposed Stormwater Pipes Please label all proposed pipes with sizes and materials.

N/A 6.13.2.A(7) - Existing/Proposed Stormwater Swales

INFO 6.13.9 - Grading Criteria CPH responsible for coordinating connection point grading with engineering designing AR 33171.

YES 6.13.2.A(11)(a) - Construction Entrance

YES 6.13.2.A(11)(b) - Erosion Control

YES 6.13.2.A(12)/6.12.5 - Stormwater Details, Cross Sections, References

INFO 6.13.2.B(8) - Calculation & Plan Consistency This criteria to be reviewed with resubmittal.

INFO 6.13.10.B - Copy of NPDES Permit or NOI Please provide a copy of the NPDES permit or NOI prior to construction.

INFO Copy of District Permit (County Interest) Please provide a copy of the District permit prior to construction.

N/A 6.10 - Karst Topography and High Recharge Areas

NO 7.1.3 - Drainage Construction Specifications (1) LDC requires the use of RCP pipe for stormwater conveyance piping. To pursue using an alternative material, the engineer needs to submit a request letter identifying the alternative material type requested, explanation for why alternative pipe material is being requested, and providing documentation of compliance with the following conditions: 1. Pipe service life shall be equal to or greater than 100 years. 2. Pipe diameter for High Density Polyethylene (HDPE) and Polypropylene shall be 48" maximum. 3. Polyvinyl Chloride (PVC), HDPE, and Polypropylene pipe shall not be installed exposed to direct sunlight. 4. Steel pipe shall only be listed as an option after consideration of all other pipe materials and justification is provided. 5. Justification for steel pipe shall include, but not be limited to data and values of water levels, soil conditions, resistivity, pH, chlorides and sulfates. 6. Pipe shall not be installed outside of the allowable maximum and minimum cover heights as specified by the manufacturer. (2) Please add the following note to the cover page: "No change to the work as shown on the approved plans shall be made without notification to and approval by the office of the County Engineer."

NO 6.13.12 - Operation and Maintenance Please provide an O&M manual detailing the steps for operating and maintaining the onsite drainage system, including oil/water separator. An owner's certification is required on the O&M manual. Certification to state "I hereby certify that I, my successor, and assigns shall perpetually operate and maintain the stormwater management and associated elements in accordance with the specifications shown herein and on the approved plan." The individual signing the certification needs to be an agent or member of the entity that will own and maintain the stormwater system, or an authorized signatory of that entity. If signatory is not an agent or member, a letter authorizing a different individual needs to be submitted with the signed documents. The authorization letter must be signed by and agent/officer of owner. Please have the person signing also print their name for verification. Sunbiz will be used to verify agents and/or officers. Please contact reviewer if you need examples of O&M manuals accepted in the past.

NO Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis. After all stormwater comments are resolved, please upload a digitally signed and sealed report. A

# SUBMITTAL SUMMARY REPORT (33206)

hard copy signed and sealed report can be submitted if desired.

INFO Additional Stormwater comments If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org. (2) Approval of this project will not occur until the AR 33171 parent project is approved.

OCE Survey (Plans) (Office of the County Engineer)	09/02/2025	11/11/2025	Requires Re-submit
<b>Comments</b>	YES 6.2.1.A - The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet. YES 6.2.1.E - Provide drawing legend YES 6.2.1.F - Provide north arrow and graphic drawing and written scale NO 6.4.7.A(1) - Show a minimum of two bench marks per site Please provide. NO 6.4.7.A(2 & 3) - Bench mark information shown Please provide. N/A 6.4.7.A(2 & 3) - One copy of the vertical control field notes shall be submitted to the Office of the County Engineer for review NO 6.4.7.B(1) - Show a minimum of two intervisible horizontal control points per site Please provide. NO 6.4.7.B(2) - Horizontal control points shall be monumented and referenced to the Florida State Plane Coordinate System Please provide. NO 6.4.7.B(4) - Provide a statement or table detailing horizontal datum, adjustment, and coordinate values Please provide. N/A 6.4.7.B(4) - One copy of the horizontal control notes along with reduction reports shall be submitted to the Office of the County Engineer for review NO 6.4.7.D - The location of the existing one percent (100-year) flood plain as shown on FEMA FIRM, with zone, elevation, and vertical datum noted Please provide. NO 6.4.7.D - A note shall appear on the construction plans detailing source and survey field methods used to obtain and delineate the flood plain line shown Please provide. NO 6.4.7.E - Line and curve table must be shown on the sheet to which they apply Please provide. YES 6.4.7.F - All abbreviations used shall be clearly defined in the legend NO 2.12.4.F.(2) - Surveyor and Mapper certification Please provide. YES 2.12.4.G - Show a location or vicinity map NO 2.12.8 - Provide current boundary and topographic survey less than one year old Please provide boundary and topographic survey showing a minimum of two bench marks per site and showing a minimum of two intervisible horizontal control points per site. YES 2.12.9 - Provide location and dimensions of all rights-of-way serving the project NO 2.12.10 - Show any known existing or proposed easement or land reservation Please provide. YES 2.12.11 - Provide an aerial map of the site with a layout of the development NO 2.12.32 - Provide site analysis map depicting the existing (100-year) flood plain Please provide. N/A Additional Survey comments		

OCE Traffic (Permits & Plans) (Office of the County Engineer)	09/02/2025	11/11/2025	Requires Re-submit
<b>Comments</b>	YES 2.12.9 - Location and dimensions of streets and right-of-way N/A 2.12.20 - Phases of development N/A 2.12.30 - Route Plan N/A 2.12.38 - Maintenance of improvements YES 6.2.1.E - Drawing legend N/A 6.11.3 - Traffic Impact Analysis N/A 6.11.4.B - Cross access YES 6.11.4.E - Sight triangle NO 6.11.5 - Driveway access 8/28/25 - Full-access driveway shown east of the C-Store and connecting to the northern drive aisle is too close to the intersection and should be eliminated. Cars essentially making a U-Turn at that location are at risk of conflict with vehicles approaching the exit and entering the drive aisle. Queue stacking is also likely. N/A 6.11.6 - Construction route N/A 6.11.9.A - Traffic signals NO 6.11.9.B - Traffic signs 8/28/25 - 1) Sheet C1.2: Yield sign south side of C-Store exit-only driveway should be changed to stop sign due to pedestrian crosswalk on that side of the roadway. 2) Sheet C1.2: Add "Do Not Enter" sign on south side of C-Store exit-only driveway. YES 6.11.9.C - Pavement marking N/A 6.12.1.A - Transportation Facilities - Purpose and Intent N/A 6.12.2 - Right-of-way INFO 6.12.11 - Turn lanes 8/28/25 - Per project-related Developer's Agreement(s), the following are required to have been substantially completed prior to Issuance of Certificate of Occupancy: 1) INT 2 - Extend WB right turn lane to 200'. 2) INT 2 - Construct SB left turn lane of 360'. 3) RD 2 - WB right turn lane of 200'. YES 6.12.12 - Sidewalks N/A 6.12.13 - Utility position in right-of-way INFO Additional Traffic comments 8/28/25 - Per project-related Developer's Agreement(s), the following are required to have been substantially completed prior to Issuance of Certificate of Occupancy: INT 2 - Construct median to allow for dual SB left turn lanes in future and shared thru right.		

Utilities (OCE Plans) (Utilities)	09/02/2025	11/11/2025	Requires Re-submit
<b>Comments</b>	NO Marion County Utilities Contact Information C1.1 - Sewer and water reads PACE WATER SYSTEMS. Replace all notes with Marion County Utilities and LDC requirements. (2) Remove Carrie Hyde and list Customer Service. (3) The phone number ends with 6000 NO Parcel numbers identified in project match proposed site plan layout C1.1 Note on cover that this project is for a Portion of ID: 41200-056- YES 6.14.2.A(1) - Public water service area/provider Marion County Utilities YES 6.14.2.A(1) - Public sewer service area/provider Marion County Utilities N/A 6.14.2.A(1) - Letter of Availability and Capacity (w/Location Map of water and/or sewer as app) from provider NO 6.14.2.A - Water Connection Requirements C1.4 - Include size of water main at the connection point. L1.0 infrastructure by others, should be grey to delineate what is being constructed on this plan. L1.0 and C1.4 Need to call out Fire Hydrant. NO 6.14.2.A - Sewer Connection Requirements C1.4 - Move sewer clean out, outside of pavement. (2) No connection to manholes. NO 6.14.2.C.2(e) - Grease Trap, FOG Worksheet C1.4 Does this project need a grease trap? Will there be food prep or food served?		

# SUBMITTAL SUMMARY REPORT (33206)

N/A 6.14.2.C - Industrial Pretreatment TBD  
N/A 6.14.3 - Onsite Waste Treatment and Disposal System (OSTDS) - connection requirement on plan  
N/A 6.14.3.B - Springs Protection Zone - Secondary  
INFO 6.14.4 - Water (potable) Capital Charges and Flow Rates - proposed use identified to calculate Capital charges and flow rates will be calculated during the permitting stage, before approval.  
INFO 6.14.4 - Water (irrigation) Capital Charges and Flow Rates - total irrigated area identified Capital charges and flow rates will be calculated during the permitting stage, before approval.  
INFO 6.14.4 - Sewer Capital Charges and Flow Rates - proposed use identified to calculate Capital charges and flow rates will be calculated during the permitting stage, before approval.  
YES 6.14.5.A(1) - Submittal Requirements - Existing on-site & off-site mains and service connections  
YES 6.14.5.A(2) - Submittal Requirements - Proposed on-site & off-site mains and service connections  
N/A 6.14.5.A(3) - Submittal Requirements - Lift Stations layout, elevations, schedules  
YES 6.14.5.A(6) - Submittal Requirements - Manhole locations, rim and invert elevations outside paved areas  
YES 6.14.5.A(8) - Submittal Requirements - Connection to existing water system  
NO 6.14.5.A(8) - Submittal Requirements - Connection to existing sanitary system No connection to manholes  
YES 6.14.5.B - Construction Notes - Cover, horiz/vert datums, construction requirements  
NO 6.14.5.B - Construction Notes - UT DETAILS - current LDC version C5.4 What is UT 202 for?  
INFO 6.14.5.C - All issued permits related to this project shall be submitted to MCU (DOT, ROW, misc) Copies of all related permit applications and issued permits shall be submitted to the Development Reviewer for Marion County Utilities Department at or before the Pre-Construction meeting.

N/A 6.14.5.C - DEP permit for water mains to be constructed/owned by MCU  
N/A 6.14.5.C - DEP permit for water mains to be constructed/owned by developer  
N/A 6.14.5.C - DEP permit for sewer mains to be constructed/owned by MCU  
N/A 6.14.5.C - DEP permit for sewer mains to be constructed/owned by developer  
INFO 6.14.5.D - Hydraulic Analysis The Hydraulic Analysis has not been provided for this site. (LDC 6.14.5.C)

YES 6.14.6 - Design Criteria for Utility Systems to be owned/maintained by MCU  
INFO 6.14.7 - Construction Inspection - PLAN NOTE: MCU personnel are to inspect any work performed on or around existing MCU infrastructure. A pre-construction meeting is required to be held a minimum of 48 hours prior to start of any construction. If the pre-construction meeting is not completed, any work may be halted. To schedule, contact MCU's Construction Division, 352) 307-6000, ext. 5 or MCUconstruction@marionfl.org

INFO 6.14.8.A - Completion and Closeout - PLAN NOTE: As-builts For any Utility assets between the water main and the meter, Marion County will require a Bill of Sale and As-builts of the service, prior to meter(s) being installed. A final hold has been placed on permit, if applicable. All as-builts shall comply with the current Marion County LDC, section 6.14.8

N/A 6.14.9.A - Developer's Agreement  
YES 6.14.9.B - Transfer of Facilities to Marion County Utilities - PLAN NOTE:  
INFO 6.14.9.B - Bill of Sale All facilities constructed on the developer's property prior to interconnection with Marion County Utility's existing or proposed facilities, shall convey such component parts to MCU by bill of sale in a form satisfactory to the County Attorney, with the following evidence required by MCU: Refer to LDC 6.14.9 (B).

N/A 6.15.1 - Potable Water Distribution System  
N/A 6.15.2 - Decentralized Water System (WTP)  
INFO 6.15.3 - Fire Protection/Fire Flow Capacity Water service will be provided by Marion County Utilities. Please consult with Marion County Fire Rescue for any additional comments or requirements related to fire protection.

N/A 6.15.4 - Water Main Piping Installation  
NO 6.15.5 - Water Service and Connection C1.4 - Water Legend - Change PACE WATER SYSTEM to Marion County Utilities.  
YES 6.15.6.A - Potable Water Metering - individual/banked, size  
NO 6.15.6.B - Irrigation Water Metering - size C1.4 How is this parcel irrigating? Need irrigation tap/meter. (2) Need total irrigated square feet.  
N/A 6.15.6.C - Sewer service only (water meter required/shown)  
NO 6.15.6.D - Meter Location C1.4 - Confirm meters are in ROW and not within property boundary.  
N/A 6.15.6.E - Meter Easements  
YES 6.15.6.F - Meter Boxes  
YES 6.15.6.G & H - Meter Sizing  
YES 6.15.7 - Cross Connection Control and Backflow Prevention  
N/A 6.15.8 - Public Water Well Standards  
N/A 6.15.9 - Wellfield and Water Supply  
N/A 6.15.10 - Water Treatment Plants (WTP)  
N/A 6.16.2 - Decentralized Wastewater Treatment Plant (WWTP)  
YES 6.16.4 - Wastewater Collection Systems (Gravity/Pressurized) Design  
N/A 6.16.5.A & B - Private Wastewater Pump Stations  
N/A 6.16.5.C - Public Wastewater Pump Stations (MCU Standards)  
N/A 6.17 - Water Reclamation/Reuse Facilities  
INFO Article 7 - Construction Standards - PLAN NOTE: All facilities constructed on the developer's property prior to interconnection with Marion County Utility's existing or proposed facilities, shall convey such component parts to MCU by bill of sale in a form satisfactory to the County Attorney, with the following evidence required by MCU: Refer to LDC 6.14.9 (B).

INFO Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities Utilities Plan Review Fee: \$415.00 Fee (s) can be paid by calling 352-671-8686 or visiting the Development Review Office at 412 SE 25th Ave, Ocala, FL 34471. Reference AR# 33206

INFO Additional Utilities comments C1.4 Delineate End of County Maintenance.

INFO Additional Utilities comments For any questions regarding this review, please contact Heather Proctor, Utilities Development Review Officer, at Heather.Proctor@marionfl.org or by phone at (352) 438-2846.

# SUBMITTAL SUMMARY REPORT (33206)

INFO Additional Utilities comments L1.0 - What is the grey drawing next to the water connection?  
 N/A Additional Utilities comments  
 N/A Additional Utilities comments

**OCE: Plan Review (DR) v.2**

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Jamie Waldron	02/16/2026		Pending Assignment
Environmental Health (Plans) (Environmental Health)		02/16/2026		Pending Assignment
Fire Marshal (Plans) (Fire)	Roxanna Coleman	02/16/2026	02/09/2026	Requires Re-submit
<i>Comments</i>	Fire Review Reject 1. Please provide further details about the existing fire hydrant and its proximity to the building. The distance shall be measured by stabilized roadway from the fire department water supply to the building.			
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Erik Kramer	02/16/2026		Pending Assignment
Landscape (Plans) (Parks and Recreation)		02/16/2026		Pending Assignment
OCE Design (Plans) (Office of the County Engineer)		02/16/2026		Pending Assignment
OCE Property Management (Plans) (Office of the County Engineer)		02/16/2026		Pending Assignment
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Kevin Vickers	02/16/2026		Pending Assignment
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	02/16/2026		Pending Assignment
OCE Traffic (Permits & Plans) (Office of the County Engineer)		02/16/2026		Pending Assignment
Utilities (OCE Plans) (Utilities)		02/16/2026		Pending Assignment



**Marion County  
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Date: 1/30/2026 Parcel Number(s): 41200-056-03 Permit Number: AR# 33206

**A. PROJECT INFORMATION:** Fill in below as applicable:

Project Name: SW HWY 484 Super Center Commercial  Residential   
Subdivision Name (if applicable): \_\_\_\_\_  
Unit \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_ Tract \_\_\_\_\_

**B. PROPERTY OWNER'S AUTHORIZATION:** The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Robert Myers, President - The Phillips Edison Group, LLC  
Signature: \_\_\_\_\_  
Mailing Address: 11501 Northlake Drive City: Cincinnati  
State: OH Zip Code: 45249 Phone # 513-538-4460  
Email address: amadigan@phillipsedison.com

**C. APPLICANT INFORMATION:** The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): CPH Consulting LLC. Contact Name: Hunter Johnson  
Mailing Address: 5200 Belfort Road, Suite 220 City: Jacksonville  
State: Florida Zip Code: 32256 Phone # 904-332-0999x4412  
Email address: hjohnson@cphcorp.com, ksheffield@cphcorp.com

**D. WAIVER INFORMATION:**

Section & Title of Code (be specific): \_\_\_\_\_ Sec. 6.8.8.B Building Landscaping  
Reason/Justification for Request (be specific): Required building landscape (143.35 SF) for the south side of the bldg has been relocated to the south buffer due to area constraints and is in addition to buffer requirements. Refer to sheet L1.0 for information.

**DEVELOPMENT REVIEW USE:**

Received By: \_\_\_\_\_ Date Processed: \_\_\_\_\_ Project # \_\_\_\_\_ AR # \_\_\_\_\_

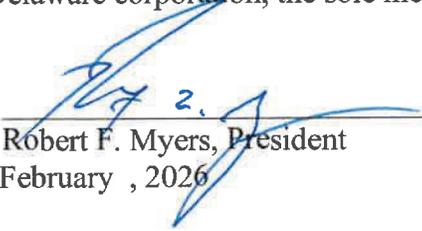
ZONING USE: Parcel of record: Yes  No  Eligible to apply for Family Division: Yes  No   
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ P.O.M. \_\_\_\_\_ Land Use: \_\_\_\_\_ Plat Vacation Required: Yes  No   
Date Reviewed: \_\_\_\_\_ Verified by (print & initial): \_\_\_\_\_

SIGNATURE PAGE FOR DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

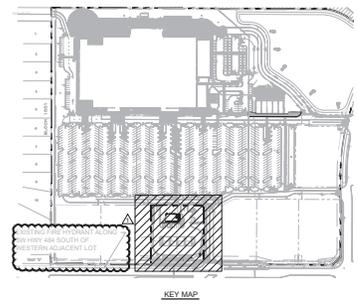
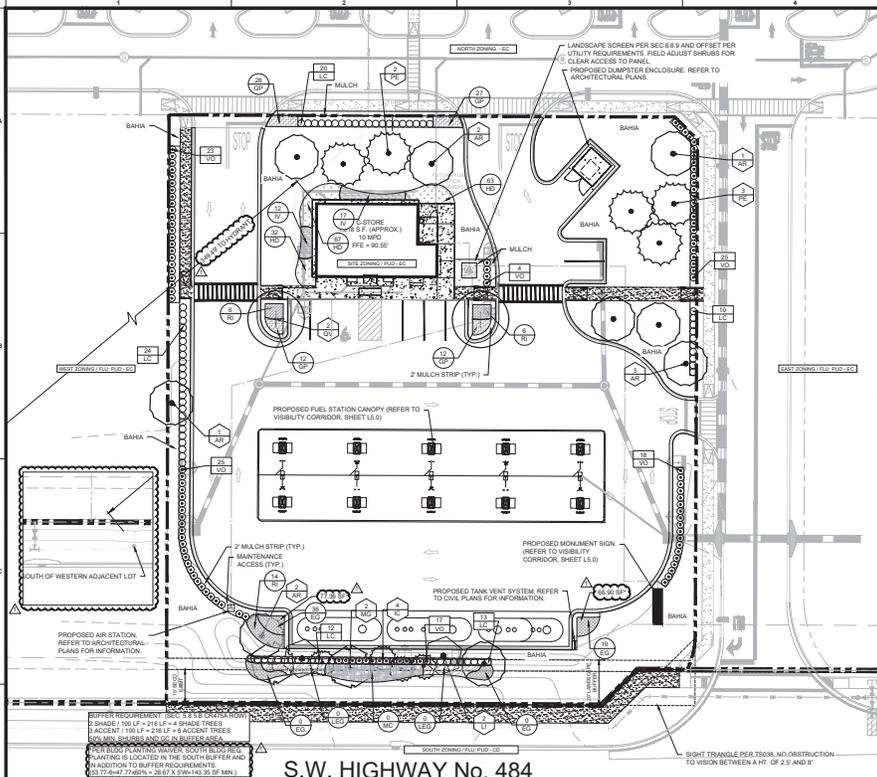
A. PROPERTY OWNER'S AUTHORIZATION

MARION OAKS TRS STATION LLC  
a Delaware limited liability company

By: Phillips Edison Grocery TRS, Inc.  
a Delaware corporation, the sole member

By:  \_\_\_\_\_  
Robert F. Myers, President

Date: February , 2026



**PLANT LIST**

SYMBOL	COMMON NAME	BOTANICAL NAME	DESCRIPTION	QTY	%
<b>TREES</b>					
AN	FLORIDA FLAME RED MAPLE (N)	ACER RUBRUM FLORIDA FLAME	3.5" CAL., 9" MIN. HT., 5" SPRD.	9	24%
IC	DAHOON HOLLY (N)	ILEX CASINE	6" MIN. HT., 42" SPRD.	4	22%
LI	CRAPE MYRTLE	LAGERSTROEMIA INDICA	6" MIN. HT., 42" SPRD.	2	11%
MO	SOUTHERN MAGNOLIA (N)	MAGNOLIA GRANDIFLORA	3.5" CAL., 9" MIN. HT., 5" SPRD.	2	11%
PE	SLASH PINE (N)	PAISUS ELIOTTI	3.5" CAL., 9" MIN. HT., 5" SPRD.	5	17%
OV	LIVE OAK (N)	QUERCUS VIRGINIANA	3.5" CAL., 9" MIN. HT., 5" SPRD.	2	11%
<b>SHRUBS</b>					
LC	LOROPETALUM	LOROPETALUM CHINENSE	3 GAL., 18" MIN. HT., 15" MIN. SPRD., 30" O.C.	74	38%
VO	WALTER'S VIBURNUM (N)	VIBURNUM OBOVATUM	3 GAL., 18" MIN. HT., 15" MIN. SPRD., 30" O.C.	142	62%
<b>SHRUB/GRASS/COVER AREAS</b>					
IV	DWARF YALPOON HOLLY (N)	ILEX VOMITORIA 'NANA'	3 GAL., 12" MIN. HT., 12" SPRD., 30" O.C.	29	3%
LEI	EVERGREEN GIANT	LIRIOPE MUSCARI 'EVERGREEN GIANT'	1 GAL., FULL, 18" O.C.	90	11%
MC	MIRY GRASS (N)	MUSKEMBERGIA CAPILLARS	3 GAL., 15" MIN. HT., 10" SPRD., 30" O.C.	44	5%
RI	INDIAN HARTSTON	RINAKIOPUS INDICA	3 GAL., 17" MIN. HT., 12" SPRD., 30" O.C.	40	5%
EG	DWARF MORNING GLORY	EVOLVUS GLOMERATUS 'BLUE MY MIND'	1 GAL., FULL, 18" O.C.	335	39%
HD	DUNE SUNFLOWER (N)	HELIANTHUS DEBILIS	1 GAL., FULL, 18" O.C.	162	19%
GP	BLANKET FLOWER	GALLIARDIA PULCHELLA	1 GAL., FULL, 18" O.C.	158	18%
<b>OTHER</b>					
BABA	ARGENTINE BAHIA SOD	PASPALUM NOTATUM 'ARGENTINE'	SOLID SOD, CONTRACTOR TO VERIFY QTY.		

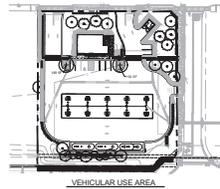
**ALERT TO CONTRACTOR:**

ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS. OUTLET AREAS TO BE KEPT FREE OF JOB TRAILERS AND STORAGE AFTER THE CONTRACTOR MILESTONE DATE FOR THE OUTLET. GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLET. CONTRACTOR TO PROVIDE CLEAR ACCESS AT ALL TIMES AFTER MILESTONE DATE. PURCHASER OF OUTLET TO PROVIDE PERMIT DOCUMENTS AND SHIPPER REQUIRED BY STATISTICAL REQUIREMENTS FOR SPECIFIC OUTLET.

**NOTES TO CONTRACTOR:**

- 24" WIDE MULCH STRIP IS REQUIRED BEHIND ALL CONCRETE CURBS/BUFFERS. WHERE TYPICAL STRIPS WILL BE ESTABLISHED ADJACENT TO CONCRETE CURBS/BUFFERS, EITHER A 12" OR 24" DEPENDENT ON AVAILABILITY. WIDE SOD STRIP IS REQUIRED.
- CONTRACTOR IS CAUTIONED THAT STORMWATER CONVEYANCES AND FORD BANKS AND BOTTOM CAN BE DAMAGED BY MACHINE MOWED WHILE THESE SOLS ARE WET. ANY ASSOCIATED DAMAGES ARE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AT NO EXPENSE TO OWNER.

S.W. HIGHWAY No. 484



**LANDSCAPE DATA (SEC 6.8.7.) (SEC 6.8.8.)**

**VEHICULAR USE AREA:**

- REQUIRED LANDSCAPE AREA
- INTERNAL 1 SHADE TREE ISLAND (DESIGNATED 9" WIDE CURB/YP WHERE BUFFER REQ.)
- PER SEC. 6.8.7.C, PARKING LOTS ISLANDS SHALL BE COMPLETELY PLANTED WITH SHRUBS AND GROUNDCOVER.

**BUILDING LANDSCAPE AREA:**

- WITHIN 20' OF WALL, 60% OF TOTAL LENGTH (EXCLUDING ACCESS: 8' WIDE, 2' FROM FACADE) (150 LF x 60% = 90 LF x 9' WIDE = MIN. 205 SF REQ. / 563 SF PROP.)
- POST DEVELOPMENT (PER 6.7.A.3.) 1 SHADE TREE 20000 SF = 52,408 SF / 3000 = 17.47 TREES + 18 TREES
- PER SEC. 6.8.4, 20% LANDSCAPE AREA / OPEN SPACE

**NOTE:**

PLANT DESCRIPTIONS ARE FOR MINIMUM ACCEPTABLE SPECIFICATIONS. ALL CRITERIA LISTED FOR CONTAINER SIZE, CALIPER, HEIGHT, SPREAD, ETC. MUST BE MET FOR PLANT MATERIAL ACCEPTANCE. FOR EXAMPLE, IF A THREE GALLON SHRUB DOES NOT MEET THE HEIGHT OR SPREAD SPECIFICATION, IT WILL NOT BE ACCEPTED.

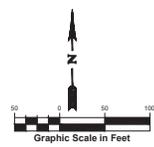
IF SPECIFIED PLANTS ARE UNAVAILABLE AT TIME OF CONSTRUCTION, CONTRACTOR MAY REPLACE SPECIFIED PLANTS WITH PLANTS APPROVED BY LANDSCAPE ARCHITECT AND COUNTY STAFF.

ALL OPEN SPACE AREAS WITHIN THE PROPERTY SHALL BE SOODED UNLESS PAVED, SEEDED AND MULCHED OR PLANTED WITH SHRUBS AND GROUND COVER.

ALL LANDSCAPED AREAS WILL BE 100% IRRIGATED WITH A CENTRAL AUTOMATIC IRRIGATION SYSTEM INCLUDING A RAIN SENSOR.

CONTRACTOR SHALL REPLACE ANY EXISTING SOD OR OTHER PLANT MATERIALS DAMAGED DURING CONSTRUCTION IN AREAS THAT ARE OUTSIDE PROPOSED LANDSCAPE AS SHOWN ON THE PLAN.

BUFFERS WERE A CONDITION OF PUD APPROVAL. IN THE CASE THAT THE BUFFERS ARE CLEARED, A ZONING CODE VIOLATION WOULD EXIST AND THE SITE MAY BE SUBJECT TO THE CODE ENFORCEMENT PROCESS AT THE PROPERTY OWNER'S RISK.



THIS SHEET NOT VALID FOR CONSTRUCTION UNLESS STAMPED APPROVED

**Sunshine811.com**

**cph**  
www.cphcorp.com  
Building Better Communities Together

Mano Prepared By:  
CPH Consulting, LLC  
A Full Service A-E Firm

DATE: 10/17/25  
DRAWN: J. SMITH  
CHECKED: P. GUY  
DATE: 10/17/25

OVERALL LANDSCAPE PLAN  
MAJOR SITE PLAN  
C-SITE PLAN

MARKON CANEEL, CHAIRMAN

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS

Sheet No. **L1.0**

# MAJOR SITE PLAN FOR

## C-STORE SW HWY 484 & SW 57TH AVE RD

OCALA, FLORIDA  
MARION COUNTY

SECTION 09 - TOWNSHIP 17 -  
RANGE 21

PORTION OF PARCEL ID: 41200-056-03

PERVIOUS IMPROVED AREAS

USE DEVELOPMENT	SCALE S.F.	(1/8"=1')	(100.00%)
PERVIOUS AREA	SCALE S.F.	(1/8"=1')	(100.00%)
IMPROVED AREA	SCALE S.F.	(1/8"=1')	(100.00%)
TOTAL S.F. AREA	SCALE S.F.	(1/8"=1')	(100.00%)

- NOTES:
1. THIS PROPOSED PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR ISSUED BY ANY PUBLIC AGENCY. FUTURE REPLY TO DEVELOP THE PROPERTY ARE SUBJECT TO A DELIBERED CONCURRENCY OF TERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN GRANTED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.
  2. FEMA FLOOD ZONE X - NO EXIST SECONDARY SPRINGS PROTECTION ZONE.

### ENGINEER

CPI, LLC  
1125 BARTON RD.  
LAKELAND, FLORIDA 33801  
PHONE: (813) 288-0233  
ATTN: JOSHUA D. LOCKHART, P.E.

### LANDSCAPE ARCHITECT

CPI, LLC  
500 W. FULTON STREET  
SANTORF, FLORIDA 32771  
PHONE: (407) 322-6841  
ATTN: GALEN J. PUGH, RLA

### BUILDING ARCHITECT

HFA  
1135 S. WALTON BLVD, STE 3  
BENTONVILLE, AR 72712  
PHONE: (479) 278-7708  
ATTN: MATHEW TURNER

### APPROVAL AGENCIES

MARION COUNTY  
OFFICE OF THE COUNTY ENGINEER  
412 SE 25TH AVE  
OCALA, FL 34471  
(352) 671-6698

STATE DEPARTMENT OF ENVIRONMENTAL PROTECTION  
ENVIRONMENTAL RESOURCE PERMITTING  
160 W. GOVERNMENT ST, STE 308

WATER MANAGEMENT DISTRICT  
SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT  
2379 BROAD STREET  
BROOKSVILLE, FL 34604  
(352) 756-7211

### LICENSED DESIGN PROFESSIONAL CERTIFICATION:

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS WAIVED.

### NOTES:

1. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
2. ENGINEER SEAL DOES NOT COVER LANDSCAPE PLANS, TREE RETENTION PLANS, PHOTOMETRIC PLANS AND DETAILS, AND REGIONAL UTILITIES DETAIL SHEETS.



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### UTILITY CONTACT LIST

CABLE	NAME	PHONE
COMMUNICATION	LAREN LAREN HURLEY (352) 411-6553	
COMMUNICATION	COMCAST SCOTT STEPHENSON (352) 267-7629	
COMMUNICATION	COX STEVEN WILLIAMS (352) 364-9197	
ELECTRIC	BECS 238 SOUTH US HWY 260 DUNBARVILLE, FL 32826 DAVID JOHNSON (407) 266-4757	
SANITARY SEWER	MARION COUNTY UTILITIES 1800 S US HWY 441 BELLINGRUE, FL 34620 (352) 367-6680	
WATER	MARION COUNTY UTILITIES 1800 S US HWY 441 BELLINGRUE, FL 34620 (352) 367-6680	

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STATE OF FLORIDA  
MARION COUNTY  
APPROVED FOR RECORDING

CELEBRATING  
**40** YEARS

MARION COUNTY COMMUNITY DEVELOPMENT

COVER  
MAJOR SITE PLAN - C-STORE  
MARION COUNTY, FLORIDA

Designed: H. JOHNSON  
Drawn: P. SHEFFIELD  
Checked: M. SHELLTON  
Job No: W131528  
Date: 1/2/2026

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS

Sheet No.  
**C0.1**





**GENERAL NOTES**

- A. PROJECT OFFICE WALL SWPPP POSTING:** THE FOLLOWING ITEMS MUST BE POSTED TOGETHER IN A SINGLE, ORGANIZED LOCATION ON A WALL INSIDE THE PROJECT OFFICE: 1) SWPPP SITE MAPS ALL PHASES 2) SWPPP DETAIL SHEETS, 3) MAP SHOWING LOCATION OF THE OWNER, IMPORT OR EXPORT FACILITY, 4) REVISIONS TO DETAILS, SITE MAPS, OR SWPPP PERMITTED LEVELS 5) ETS SWPPP NUMBER, 6) CONTACT INFORMATION FOR OWNER, 7) EROSION CONTROL TRAINING CERTIFICATES FOR SUPERINTENDENTS AND COMPLIANCE OFFICERS, AND 8) CERTIFICATIONS AND/OR TRAINING CERTIFICATES NECESSARY TO PERFORM FUNCTIONS BY THE APPLICABLE CONSTRUCTION GENERAL PERMIT OR AUTHORITY HAVING JURISDICTION.
- B. PERMITTED PROJECT AREA:** FOR PURPOSES OF THIS SWPPP AND ASSOCIATED STORMWATER PERMIT, PERMITTED PROJECT AREA IS DEFINED AS ANY AND ALL AREAS WITHIN THE PROJECT LIMITS OF DISTURBANCE AS SHOWN ON THE SWPPP SITE MAPS AND IDENTIFIED IN THE NOTICE OF INTENT TO THE AGENCY. ALL GROUND-LEVELING AND CONSTRUCTION-RELATED ACTIVITIES (MATERIAL STORAGE, DAMPERS, PARKING AREAS, PROJECT OFFICE TRAILER, ETC.) MUST BE INCLUDED WITHIN THE PERMITTED PROJECT AREA LIMITS OF DISTURBANCE.

OFFSITE AREAS TO BE DISTURBED AS PART OF THIS PROJECT NOT ON OWNER PROPERTY 0.00 AC

ALL AREAS OUTSIDE THE PERMITTED PROJECT AREA (I.E. LIMITS OF DISTURBANCE) ACQUIRED FOR USE BY THE GC OR A SUBCONTRACTOR OF THE GC (BORROW SOURCES, DISPOSAL AREAS, ETC.) MUST BE MANAGED IN ACCORDANCE WITH APPROVED E. 7.04.21 OF THE EROSION CONTROL PLAN. THE CONTRACTOR IS REQUIRED TO LOCATE OFFICE TRAILERS AND MATERIAL STORAGE AREAS FOR THE PROJECT WITHIN THE LIMITS OF DISTURBANCE. THE CONTRACTOR MUST REQUEST USE OF OFF-SITE LOCATIONS FOR OFFICE TRAILERS OR NON-ERODIBLE MATERIAL STORAGE. HOWEVER, APPROVAL MUST BE OBTAINED FROM THE CONSTRUCTION MANAGER, THE GC, AND THE SPOC PRIOR TO THEIR USE. REQUESTS WILL BE REVIEWED ON A CASE BY CASE BASIS AND APPROVED LIMITATIONS ON USE WILL BE PROVIDED BY THE GC.

**C. SPECIAL PROJECT VERIFY:** THERE ARE NO SPECIAL PROJECTS LOCATED BEYOND THE OWNER PERMITTED PROJECT AREA. REQUIRED INSPECTION AND MAINTENANCE ASSOCIATED WITH THIS CONSTRUCTION PROJECT.

**D. NON-STORMWATER DISCHARGES:** THE GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES PROHIBITS MOST NON-STORMWATER DISCHARGES DURING THE CONSTRUCTION PHASE. ALLOWABLE NON-STORMWATER DISCHARGES THAT OCCUR DURING CONSTRUCTION ON THIS PROJECT ARE INCLUDED IN PART 3.2 OF THE GENERAL PERMIT AND INCLUDE THE FOLLOWING, PROVIDED THAT THE NON-STORMWATER COMPONENT OF THE DISCHARGE IS IN COMPLIANCE WITH PART 1.5 OF THE GENERAL PERMIT:

- 1. DISCHARGES FROM FIREPROOFING ACTIVITIES.
- 2. FRESH HYDRANT FLOWINGS.
- 3. WATERS WITHOUT DETERGENTS USED TO SPRAY OFF LOOSE SOILS FROM VEHICLES.
- 4. WATERS USED TO CONTROL DUST.
- 5. POTABLE WATER SOURCES SUCH AS WATERLINE FLOWINGS.
- 6. LANDSCAPE IRRIGATION WATER AND DRAINAGE.
- 7. ROUTING EXTERNAL BUILDING WASHDOWN PROVIDED NO DETERGENTS ARE USED.
- 8. FAYMENT WASHWATERS THAT DO NOT CONTAIN DETERGENTS, LEAKS, SPILLS OF TOXIC OR HAZARDOUS MATERIALS.
- 9. AIR CONDITIONING CONDENSATE.
- 10. SPRING WATER.
- 11. FOUNDATION OR FOOTING DRAIN FLOWS THAT ARE NOT CONTAMINATED WITH PROCESS MATERIAL, SUCH AS SOLVENTS.
- 12. NONCONTAMINATED GROUND WATER ASSOCIATED WITH Dewatering Activities as Described in Part 3.4.

BEST MANAGEMENT PRACTICES (BMPs) MUST BE IMPLEMENTED FOR THE GENERAL PERMIT ALLOWABLE DISCHARGES FOR THE DURATION OF THE PERMIT. THE TECHNIQUES DESCRIBED IN THIS SWPPP FOCUS ON PREVENTING CONTROL OF POLLUTANT DISCHARGES WITH PRACTICAL APPROACHES THAT UTILIZE READILY AVAILABLE EXPERTISE, MATERIAL, AND EQUIPMENT.

NON-STORMWATER COMPONENTS OF SITE DISCHARGES MUST BE UNCONTAMINATED NON-TURBID WATER. ALL NON-STORMWATER DISCHARGES MUST BE ROUTED TO A STORMWATER CONTROL PRIOR TO DISCHARGE. WATER USED FOR CONSTRUCTION WHICH DISCHARGES FROM THE SITE MUST ORIGINATE FROM A PUBLIC WATER SUPPLY OR PRIVATE WELL APPROVED BY THE STATE HEALTH DEPARTMENT. WATER USED FOR CONSTRUCTION THAT DOES NOT ORIGINATE FROM AN APPROVED PUBLIC SUPPLY MUST NOT DISCHARGE FROM THE SITE. IT CAN BE REFINED IN RETENTION POUNDS UNTIL IT INFILTRATES OR EVAPORATES. WHEN NON-STORMWATER IS DISCHARGED FROM THE SITE, IT MUST BE DONE IN A MANNER SUCH THAT IT DOES NOT CAUSE EROSION OF THE SOIL DURING DISCHARGE.

**D2. POWER WASHING:** PROCESS WATER SUCH AS POWER WASHING WATER AND CONCRETE CUTTING EFFLUENT SHOULD BE COLLECTED FOR TREATMENT AND DISPOSAL. IT MUST NOT BE FLUSHED INTO THE SITE STORM DRAIN SYSTEM OR DISCHARGED OFF-SITE.

**13. DISCHARGE POINTS:** ALL DISCHARGE POINTS MUST BE INSPECTED TO DETERMINE WHETHER EROSION AND SEDIMENTATION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING DISCHARGE OF SEDIMENT FROM THE SITE AND/OR IMPACTS TO RECEIVING WATERS. SEDIMENT ACCUMULATION DOWNSTREAM OF DISCHARGE LOCATIONS SHALL BE REPORTED AS A SEDIMENT DISCHARGE (SEE APPROVED E. 7.04.14 SEDIMENT RELIEFERS OF THE EROSION CONTROL PLAN) AND THE POTENTIAL UPSTREAM CAUSE SHALL BE INVESTIGATED TO PREVENT FUTURE OCCURRENCE. CONTACT THE GC, GC, AND SPOC TO DETERMINE APPROPRIATE ACTION FOR CLEANUP OF DISCHARGED SEDIMENT THAT MAY BE OUTSIDE OF THE LIMITS OF DISTURBANCE. SEE SAMPLING AND MONITORING OF EFFLUENT PLAN (IF APPLICABLE).

**EROSION AND SEDIMENT CONTROL NOTES**

- A. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THIS STORM WATER POLLUTION PREVENTION PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.**
- B. BEST MANAGEMENT PRACTICES (BMPs) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.**
- C. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS, PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.**
- D. CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH SWPPP IMPLEMENTATION REQUIREMENTS OR AS REQUIRED BY THE APPLICABLE GENERAL PERMIT. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.**
- E. ALL DENUDABLE AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF MOST RECENT GRADING ACTIVITY. WITH THE USE OF FAST-GERMINATING ANNUAL GRASS/GRAIN VARIETIES, STRAWHAY MULCH, WOOD CELLULOSE FIBERS, TACKIFIERS, NETTING AND/OR BLANKETS. COMPLETION MUST BE ACHIEVED WITHIN 7 DAYS.**
- F. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS TEMPORARILY STOPPED SHALL BE PERMANENTLY STABILIZED AS SOON AS POSSIBLE. THESE AREAS SHALL BE STABILIZED AND/OR REVEGETATED IMMEDIATELY, AND COMPLETED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.**
- G. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. TEMPORARY AND/OR PERMANENT STABILIZATION SHALL BE APPLIED PER REQUIREMENTS IN THESE ERS CONTROL NOTES.**
- H. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE OFF-SITE.**
- I. ALL MEASURES STATED ON THIS SITE MAP AND IN THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE SITE PLAN.**
- J. STORM WATER POLLUTANT CONTROL MEASURES INSTALLED DURING CONSTRUCTION THAT WILL ALSO PROVIDE STORM WATER MANAGEMENT AFTER CONSTRUCTION ARE INCLUDED IN THE CONTRACT DOCUMENTS. THE SITE-SPECIFIC POST CONSTRUCTION STORM WATER OPERATION AND MAINTENANCE (O&M) MANUAL IS INCLUDED IN THE CONTRACT DOCUMENTS.**
- K. ALL PERMANENT CONTROLS AND SYSTEMS MUST BE INSTALLED AND FUNCTIONING AS DESIGNED AND FREE OF ACCUMULATED SEDIMENT AND DEBRIS DURING FINAL PROJECT INSPECTION AND APPROVAL.**
- L. ALL SOIL STOCKPILES SHALL BE PROTECTED AGAINST DUST AND EROSION.**
- M. AT ALL TIMES DURING AND AFTER DEVELOPMENT, CLEARED AREAS SHALL BE STABILIZED. FINAL STABILIZATION MEASURES SHALL BE IN PLACE WITHIN FOURTEEN (14) DAYS OF GRADING.**
- N. ALL CONTROL MEASURES SHALL COMPLY WITH THE MANAGEMENT PRACTICES CONTAINED IN THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S EROSION & SEDIMENT CONTROL DESIGNER AND REVIEWERS MANUAL, LATEST EDITION.**
- O. ANY SEDIMENT OR DEBRIS THAT LEAVES THE DEVELOPMENT SITE SHALL BE PROPERLY COLLECTED BY THE BIDDING/PREMIT HOLDER.**
- P. CONTRACTOR IS TO MINIMIZE THE EXTENT OF THE AREA EXPOSED AT ONE TIME, THE DISTURBANCE OF STEEP SLOPES, AND THE DURATION OF EXPOSED DURING CONSTRUCTION. THIS INCLUDES AVOIDING CLEARING, GRUBBING, AND GRADING THE ENTIRETY OF THE SITE AT ONCE. THE PERMITTEE SHALL SUBMIT A PHASED CONSTRUCTION SCHEDULE PRIOR TO THE START OF CONSTRUCTION WHICH INCLUDES A DESCRIPTION OF CONSTRUCTION TECHNIQUES, SEQUENCING, AND EQUIPMENT. PLEASE REFER TO SUBSECTION 11.2 OF ERP APPLICANT'S HANDBOOK, VOLUME I AND PART 1.16 SECTION 6 OF THE ERP APPLICATION FORM (AS-2006-001) FOR MORE INFORMATION.**
- Q. IF IT IS THE CONTRACTOR'S RESPONSIBILITY TO MANAGE ALL SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED BY REGULATORY AGENCIES, NO CLEARING, GRADING, EXCAVATING, FILLING, OR OTHER DISTURBANCE OF THE NATURAL TERRAIN SHALL OCCUR UNTIL EROSION AND SEDIMENTATION CONTROL MEASURES HAVE BEEN INSTALLED, EXCEPT THOSE OPERATIONS NECESSARY TO IMPLEMENT THESE MEASURES.**
- R. THE CONTRACTOR SHALL PROVIDE THE COUNTY ENGINEER WITH A COPY OF THE INDEX PERMIT PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES AS REQUIRED BY TRIPS NPDES PROGRAM.**

**HAZARDOUS MATERIAL MANAGEMENT & SPILL REPORTING**

ANY HAZARDOUS OR POTENTIALLY HAZARDOUS MATERIAL THAT IS BROUGHT ONTO THE CONSTRUCTION SITE SHALL BE HANDLED PROPERLY TO REDUCE THE POTENTIAL FOR STORMWATER POLLUTION. ALL MATERIALS USED ON THIS CONSTRUCTION SITE SHALL BE PROPERLY STORED, HANDLED, DISPOSED AND REPORTED AS FOLLOWS: ALL APPLICABLE LABEL DIRECTIONS. FLAMMABLE AND COMBUSTIBLE LIQUIDS SHALL BE STORED AND HANDLED ACCORDING TO APPLICABLE REGULATIONS, AND AT A MINIMUM, ACCORDING TO 25 CFR 1206.150. ONLY APPROVED CONTAINERS AND PORTABLE TANKS SHALL BE USED FOR STORAGE AND HANDLING OF FLAMMABLE AND COMBUSTIBLE LIQUIDS.

MATERIAL SAFETY DATA SHEETS (MSDS) INFORMATION SHALL BE KEPT ON SITE FOR ANY AND ALL APPLICABLE MATERIALS. HOWEVER, MSDS MAY ALSO BE ACCESSED VIA TELEPHONE OR OTHER ELECTRONIC MEANS OR APPARATUS.

IN THE EVENT OF AN ACCIDENTAL SPILL, IMMEDIATE ACTION SHALL BE TAKEN BY THE GC TO CONTAIN AND REMOVE THE SPILLED MATERIAL. THE SPILL SHALL BE REPORTED TO THE APPROPRIATE AGENCIES IN THE REQUIRED TIME FRAMES AS REQUIRED UNDER THE PROVISIONS OF THE CLEAN WATER ACT. ANY SPILL OR DISCHARGE ENTERING WATERS OF THE UNITED STATES SHALL BE PROPERLY REPORTED.

ALL HAZARDOUS MATERIALS INCLUDING CONTAMINATED SOIL AND LIQUID CONCRETE WASTE, SHALL BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER SPECIFIED BY FEDERAL, STATE AND LOCAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS.

THE GC SHALL PREPARE A WRITTEN RECORD OF ANY SPILL AND ASSOCIATED CLEANUP ACTIVITIES OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF 1 GALLON OR REPORTABLE QUANTITIES, WHICHEVER IS LESS, ON THE DAY OF THE SPILL. THE GC SHALL PROVIDE NOTICE TO DOWNER VIA THE ONLINE CRITICAL INCIDENT REPORT, IMMEDIATELY UPON RECEPTION OF ANY SPILL REPORT. ONLINE REPORTS ARE AVAILABLE IN THE ONLINE SWPPP REPORTING SYSTEM PROVIDED BY THE OWNER. COPIES OF SPILL CRITICAL INCIDENT REPORTS SHALL BE PRINTED AND MAINTAINED IN THE JOBSITE BINDER.

ANY SPILLS OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF REPORTABLE QUANTITIES AS DEFINED BY EPA OR THE STATE OR LOCAL AGENCY REGULATIONS, SHALL BE IMMEDIATELY REPORTED TO THE EPA NATIONAL RESPONSE CENTER (1-800-424-9303) AND FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (1-800-352-6519). HTTP://DEP.STATE.FL.US/ER/REPORTABLE\_INCIDENT\_HTM

THE STATE REPORTABLE QUANTITY FOR PETROLEUM PRODUCTS IS: 25 GALLONS OR ANY QUANTITY THAT COMES INTO CONTACT WITH STATE WATERS PER F.A.C. 62.765(2)

DISCHARGES OF PETROLEUM OR PETROLEUM PRODUCTS OF LESS THAN 25 GALLONS THAT ARE NOT ADDRESSED PURSUANT TO SUBSECTION 62.765(2)(1), F.A.C. SHALL BE REPORTED WITHIN ONE WEEK OF DISCOVERY. DISCHARGES OF PETROLEUM OR PETROLEUM PRODUCTS EQUAL TO OR EXCEEDING 25 GALLONS ONTO PERVIOUS SURFACES OR ANY DISCHARGE TO SURFACE WATERS SHALL BE REPORTED TO THE STATE WATCH OFFICE ON EVERY OFFICE OF EMERGENCY RESPONSE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER OCCURRENCE. THE REPORTABLE QUANTITY FOR HAZARDOUS MATERIALS CAN BE FOUND IN 49 CFR 302 AND THE EPA LIST AT HTTP://WWW.EPA.GOV/EPICAC/CONDOG/DAT/4816151

TO MINIMIZE THE POTENTIAL FOR A SPILL OF PETROLEUM PRODUCT OR HAZARDOUS MATERIALS TO COME IN CONTACT WITH STORMWATER, THE FOLLOWING STEPS SHALL BE IMPLEMENTED:

- 1) ALL MATERIALS WITH HAZARDOUS PROPERTIES SUCH AS PESTICIDES, PETROLEUM PRODUCTS, FERTILIZERS, SOAP, DETERGENTS, CONSTRUCTION CHEMICALS, ACIDS, BASES, PAINTS, PAINT SOLVENTS, ADHESIVES FOR SOIL STABILIZATION, CONCRETE CURING COMPOUNDS AND ADDITIVES, ETC. SHALL BE STORED IN A SECURE LOCATION, UNDER COVER AND IN APPROPRIATE TIGHTLY SEALED CONTAINERS WHEN NOT IN USE.
- 2) THE MINIMUM PRACTICAL QUANTITY OF ALL SUCH MATERIALS SHALL BE KEPT ON THE JOB SITE AND SCHEDULED FOR DELIVERY AS CLOSE TO TIME OF USE AS PRACTICAL.
- 3) A SPILL CONTROL AND CONTAINMENT KIT (CONTAINING FOR EXAMPLE, ABSORBENT MATERIAL, SUCH AS KITTY LITTER OR SAWDUST, ACID, BASE, NEUTRALIZING AGENT, BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, PLASTIC AND METAL TRASH CONTAINERS, ETC.) SHALL BE PROVIDED AT THE CONSTRUCTION SITE, AND ITS LOCATIONS SHALL BE IDENTIFIED WITH LEGIBLE SIGNAGE AND SHOWN ON SITE MAPS. A SPILL CONTROL AND CONTAINMENT KIT SUPPLIES SHALL BE SUFFICIENT QUANTITIES AND APPROPRIATE CONTENT TO CONTAIN A SPILL FROM THE LARGEST ANTICIPATED PIECE OF EQUIPMENT AND FROM THE LARGEST ANTICIPATED QUANTITIES OF PRODUCTS STORED ON THE SITE AT ANY GIVEN TIME.
- 4) CONTAINMENT SHALL BE INSPECTED TO ONLY DURING THE DAILY STORMWATER INSPECTIONS.
- 5) ALL PRODUCTS SHALL BE STORED IN AND USED FROM THE ORIGINAL CONTAINER WITH THE ORIGINAL PRODUCT LABEL. CONTAINERS MUST BE STORED IN A MANNER TO PROTECT THEM FROM ELEMENTS AND INCIDENTAL DAMAGE.
- 6) ALL PRODUCTS SHALL BE USED IN STRICT COMPLIANCE WITH INSTRUCTIONS ON THE PRODUCT LABEL.
- 7) THE DISPOSAL OF EXCESS OR USED PRODUCTS SHALL BE IN STRICT COMPLIANCE WITH INSTRUCTIONS ON THE PRODUCT LABEL AND REGULATIONS.



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FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION  
STATE OF FLORIDA  
SWPPP NO. 22781  
DATE: 12/12/2016

NO.	DATE	BY	REVISION

Drawn: H. JOHNSON  
Checked: P. SHEFFIELD  
Checked: M. WELLS  
Job No.: W131228  
Date: 12/12/2016

SWPPP NOTES  
MAJOR SITE PLAN - C - STORE  
MARION COUNTY, FLORIDA

Always call 811 two full business days before you dig  
**Sunshine811.com**  
www.sunshine811.com

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS  
Sheet No. **SW.1**



NO.	DATE	BY	DESCRIPTION
1	1/2/2024	H. JOHNSON	REVISED COUNTY COMMENTS
2			
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Designed: H. JOHNSON  
 Drawn: P. SHEFFIELD  
 Checked: N. WILLYTON  
 Job No: W131528  
 Date: 1/2/2024

**SWPPP IMPLEMENTATION SEQUENCE AND LIMITS OF WORK**  
**MAJOR SITE PLAN - C - STORE**  
 MARION COUNTY, FLORIDA

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS  
**Sheet No. SW.2**

**LEGEND**  
 LIMITS OF DISTURBANCE  
 PERMITTED LIMITS OF DISTURBANCE  
 LIMITS OF WORK

**SWPPP IMPLEMENTATION SEQUENCE**

NOTE: UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASH-OUT, MASON'S AREA, FUEL AND MATERIAL STORAGE AREA/CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY LOCATE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS. IN ADDITION, NOTE ALL AREAS WHERE FILL IS IMPORTED FROM OR SOIL IS EXPORTED TO ON THE SITE MAPS.

NOTE: DOWN SLOPE PROTECTIVE MEASURES MUST ALWAYS BE IN PLACE BEFORE SOIL IS DISTURBED. ACTIVITIES ARE PRESENT IN THE ORDER OR SEQUENCE IN WHICH THEY ARE REQUIRED TO BE COMPLETED.

**PHASE 1**

1. INSTALL THE SWPPP INFORMATION SIGN AND POST REQUIRED DOCUMENTS NEAR THE PLANNED CONSTRUCTION EXIT, AND WITHIN EASY ACCESS TO THE GENERAL PUBLIC WITHOUT ENTERING THE SITE.
2. STAKE/FLAG THE LOD (WHERE STAKING IS NOT POSSIBLE/PRACTICAL, THE LOD MUST BE CONSPICUOUSLY AND PROMINENTLY MARKED TO DENOTE THE BOUNDARY). LOD MUST REMAIN CONSPICUOUSLY MARKED THROUGHOUT THE ENTIRE CONSTRUCTION PROJECT.
3. INSTALL PERIMETER SEDIMENT CONTROL, BMPs IN THE VICINITY OF, AND DOWN GRADIENT FROM, THE LOCATION OF THE PLANNED CONSTRUCTION EXIT, CONSTRUCTION OFFICE TRAILER, AND TEMPORARY PARKING AND STORAGE AREAS. CLEAR ONLY THE MINIMUM AREA ABSOLUTELY NECESSARY TO INSTALL THESE PERIMETER CONTROL BMPs.
4. INSTALL STABILIZED CONSTRUCTION EXITS WITH SEDIMENT TRAPS, AND SET THE PROJECT OFFICE TRAILER.
5. INSTALL REMAINING PERIMETER SEDIMENT CONTROL, BMPs, AS SHOWN ON THE SITE MAPS. CLEAR ONLY THE MINIMUM AREA NECESSARY TO INSTALL PERIMETER CONTROL BMPs.
6. PREPARE TEMPORARY PARKING AND STORAGE AREA.
7. HALT ALL ACTIVITIES.

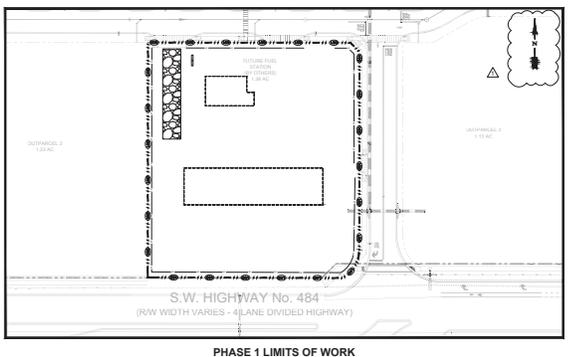
CONTACT THE CEC TO PERFORM INSPECTION AND CERTIFICATION OF BMPs. BMP CERTIFICATION MUST OCCUR BEFORE STORMWATER PRE-CONSTRUCTION MEETING. (THIS MAY SHOULD BE SCHEDULED IN ADVANCE, IN ANTICIPATION OF THE EXPECTED DATE WHEN THE ABOVE SEQUENCE ITEMS WILL BE COMPLETED.)

ALL EXCEPTIONS NOTED ON THE BMP CERTIFICATION FORM MUST BE ADDED AS DEFICIENCIES WITHIN THE BMP CERTIFICATION FORM AND RESOLVED WITHIN 24 HOURS. BMPs MUST NOT BE CERTIFIED IF ONE OR MORE OF THE EXCEPTIONS WILL NOT BE RESOLVED WITHIN 24 HOURS OF THE BMP CERTIFICATION BY THE CEC.

IF THE CEC IS UNABLE TO CERTIFY THAT SITE CONDITIONS ARE PER PLANS AND SPECIFICATIONS, THE CERTIFICATION OF BMPs MUST BE RESCHEDULED. THE STORMWATER PRE-CONSTRUCTION MEETING MAY ONLY OCCUR AFTER BMPs CAN BE CERTIFIED.

GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT THE STORMWATER PRE-CONSTRUCTION MEETING WITH THE CEC, OWNER'S CONSTRUCTION MANAGER, AGENCY(IES) AND SUBCONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.

DAILY STORMWATER INSPECTION REPORTS IN THE ONLINE SWPPP REPORTING SYSTEM PROVIDED BY THE OWNER MUST START ON THE NEXT BUSINESS DAY AFTER THE SITE BMPs & PRE-CONSTRUCTION MEETING CERTIFICATION IS SIGNED/CERTIFIED BY THE CEC.



**PHASE 1 LIMITS OF WORK**  
 NTS

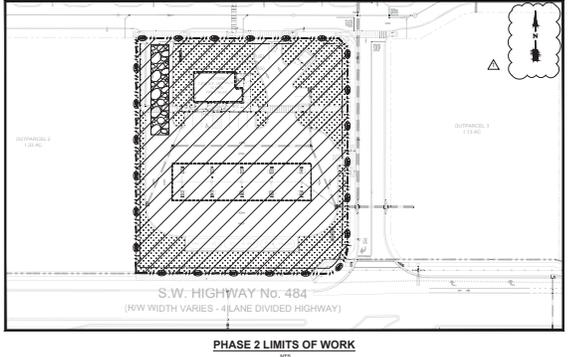
**PHASE 2**

1. BEGIN CLEARING, GRUBBING, AND STRIPPING THE SITE. (PHASE CLEARING AND GRUBBING TO THE EXTENT PRACTICAL TO MINIMIZE THE AMOUNT OF AREA DISTURBED AT ANY POINT IN TIME).
2. BEGIN GRADING THE SITE.
3. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
4. TEMPORARILY STABILIZE, THROUGHOUT CONSTRUCTION IMMEDIATELY FOLLOWING THE COMPLETION OF THE MOST RECENT LAND DISTURBING/GRADING ACTIVITY, ANY DISTURBED AREAS, INCLUDING MATERIAL STOCKPILES THAT ARE SCHEDULED OR LIKELY TO REMAIN INACTIVE FOR 7 DAYS OR MORE.

5. IMMEDIATELY PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
6. INSTALL UTILITIES UNDERGROUND, STORM SEWERS, CURBS AND GUTTERS.
7. INSTALL BMP RAP AROUND OUTLET STRUCTURES AS EACH OUTLET STRUCTURE IS INSTALLED.
8. PREPARE SITE FOR PARKING.
9. PAVE SITE.
10. INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES, PER BMP DETAILS.
11. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS, INCLUDING OUT LOTS AND POKES.
12. OBTAIN CONFORMANCE FROM THE OWNER'S CONSTRUCTION MANAGER (CM) THAT THE SITE HAS BEEN FULLY STABILIZED AND ALL CONSTRUCTION HAS BEEN COMPLETED, THEN:
  - A. REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs).
  - B. STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF TEMPORARY BMPs AND
  - C. ADV. THE CM TO CONTACT THE CEC TO COMPLETE THE CEC-FINAL SITE INSPECTION AND REPORT (ONLY CM MAY DO THIS).
13. CONTINUE DAILY INSPECTIONS AND REPORTS UNTIL THE CM FINAL DAILY INSPECTION REPORT, MARKED READY TO TERMINATE PERMIT, IS SIGNED BY THE CONSTRUCTION MANAGER AND SUBMITTED VIA THE ONLINE SWPPP REPORTING SYSTEM PROVIDED BY THE OWNER.

NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY, ONLY IF ALL PRECEDING BMPs AND STABILIZATION ACTIVITIES HAVE BEEN COMPLETELY INSTALLED. BMP-RELATED STEPS IN THE ABOVE SEQUENCE ARE BOLDED FOR CLARITY. THE CEC MUST APPROVE, IN WRITING, ANY CHANGES IN THE ABOVE SWPPP IMPLEMENTATION SEQUENCE, BEFORE THEIR IMPLEMENTATION BEGINS.

THE ESTIMATED DATES OF IMPLEMENTATION OF POLLUTION CONTROL MEASURES SHALL BE DOCUMENTED BY THE CONTRACTOR ON THE SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE ON SHEET C-7.



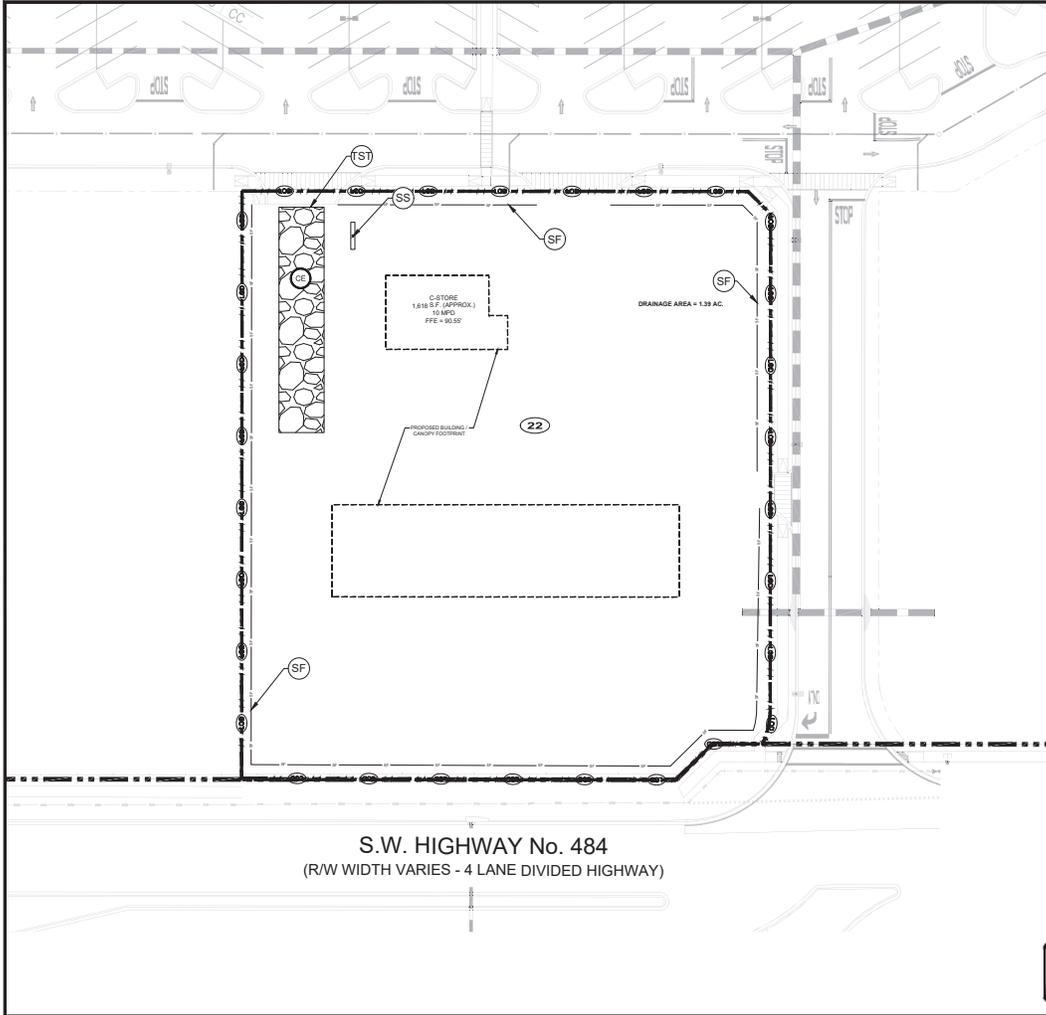
**PHASE 2 LIMITS OF WORK**  
 NTS



**MINIMIZATION OF DISTURBED AREAS:**

1. CONTRACTOR SHALL MANAGE CONSTRUCTION ACTIVITIES TO REDUCE EROSION AND RETAIN SEDIMENT AND OTHER POLLUTANTS IN THE SOIL AT THE CONSTRUCTION SITE.
2. CONTRACTOR SHALL MINIMIZE THE TIME BARE SOIL IS EXPOSED.
3. CONTRACTOR SHALL MINIMIZE SITE DISTURBANCE BY MINIMIZING THE EXTENT OF GRADING AND CLEARING TO EFFECTIVELY REDUCE SEDIMENT YIELD.

NOTE TO GC: OWNER HAS AUTHORITY AT ANY TIME TO LIMIT SURFACE AREA OF EXPOSED EARTH MATERIAL, SUPPORTED BY CLEARING AND GRUBBING, EXCAVATION, BORROW AND DRAINAGE OPERATIONS AND TO DIRECT THE GC TO PROVIDE IMMEDIATE PERMANENT OR TEMPORARY POLLUTION CONTROL MEASURES.



**TEMPORARY BENCHMARK**

8&2, 1&1, AND 0&0 IN ASPHALT  
ELEVATION = 108.00 (MVD 88)  
REFERENCE ATLANTA'S LAND TITLE SURVEY SHEET 2 OF 3.

**SWPPP UPDATES AND AMENDMENTS**

THIS SHEET SHOWS THE SWPPP INCLUDING THE BENCHMARK AND SITE MAPS TO REFLECT THE PROGRESS OF CONSTRUCTION ACTIVITIES AND GENERAL CHANGES TO THE PROJECT SITE. UPDATES SHALL BE MADE ONLY TO THOSE PORTIONS WHICH AFFECT THE EROSION CONTROL SWPPP. SWPPP INSTALLATION, MODIFICATION OR REMOVAL, CONSTRUCTION ACTIVITIES (E.G. PAVING, STORM SEWER INSTALLATION, FOOTING INSTALLATION, ETC.) CLEARING, GRUBBING OR GRADING, OR TEMPORARY OR PERMANENT STABILIZATION.

**NOTICE:** THE GENERAL CONTRACTOR MUST SUBMIT A REQUEST FOR INFORMATION (RFI) TO THE DEC AND OPIA (WRITTEN DEC APPROVAL) BEFORE DOING ANY OF THE FOLLOWING:

1. MODIFYING EROSION OR SEDIMENT CONTROL SWPPP SUBSTITUTIONS ARE TYPICALLY ONLY APPROVED IF SPECIFIED MATERIALS ARE NOT AVAILABLE OR THERE IS A MAJOR REASON THE PROPOSED MATERIAL WILL NOT WORK.
2. APPROVING THE LOCATION OF SEDIMENT CONTROL SWPPP.
3. MODIFYING THE SWPPP BARRIERS ORIENTATION, SIGNAGE, OR
4. PERFORMING ANY ACTION OR IN ANY MANNER THAT IS CONTRARY TO THE SWPPP.

THE CONTRACTOR MAY MODIFY OR ADD ADDITIONAL SWPPP WITHOUT DEC APPROVAL IN AN EMERGENCY SITUATION TO PREVENT SEDIMENT DISCHARGE OR PROTECT WATER QUALITY PROVIDED THE CONTRACTOR SHALL AS SOON AS PRACTICABLE AS TO TAKE ACTION TO CORRECT THE NEED FOR ADDITIONAL OR SUPPLEMENTAL MEASURES AND TO OBTAIN THE REQUIRED APPROVALS. THE CONTRACTOR IS SOLELY RESPONSIBLE TO ENSURE COMPLIANCE WITH THE PERMIT AND PROTECTION OF DOWNSTREAM WATER QUALITY.

ANYTIME THE SWPPP DOES NOT MEAN THAT IT HAS TO BE REPEATED. IT IS ACCEPTABLE TO ADD ADDITIONAL SWPPPS, NEW SECTIONS, DETAILS AND/OR TO BE CHANGED FROM DEC. ENGINEERING FEES MUST BE COVERED AND DATED, AND ARE ACCOMPANIED BY WRITTEN COPY OF THE ASSOCIATED BY AND IT'S SIGNATURE FROM DEC. ENGINEERING FEES MUST BE COVERED AND DATED BY THE DEC OF RECORD FOR THE PROJECT.

**LEGEND**

- SITE FEATURES:**
- PROPERTY LINE
  - RIGHT OF WAY LINE
  - LIMITS OF DISTURBANCE
  - EXISTING CONTOUR
  - EXISTING STORM PIPE
  - DIRECTION OF OVERLAND FLOW
- EROSION DETAILS:**
- TEMPORARY CONSTRUCTION FENCE
  - SEDIMENTATION SILT FENCE WITH WIRE BACKING
  - TEMPORARY SEDIMENT TRAP
  - SWPPP INFORMATION SIGN
- EROSION NOTES:**
- SOIL TYPE: Candler Sand



**DEWATERING NOTE:**  
WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.

**NOTE TO GENERAL CONTRACTOR:**  
BEFORE CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE BENCHMARK AND BENCHMARK ARE LOCATED IN THE SWPPP AS IN THE FIELD. TO BE PROTECTED BY A SIGNAGE BARRIER. THESE BENCHMARKS ARE TO BE PROTECTED THROUGHOUT THE PROJECT. PROTECT THESE BENCHMARKS THROUGHOUT THE PROJECT.

**cph**  
www.cphcorp.com  
Building Better Communities Together

Plans Prepared By:  
CPH Consulting, LLC  
A Full Service A & E Firm

PROFESSIONAL ENGINEER  
No. 92781  
STATE OF GEORGIA  
APPROVED FOR THE PROJECT

DESIGNED BY: H. JOHNSON  
DRAWN BY: P. SHEFFIELD  
CHECKED BY: H. JOHNSON  
DATE: 1/2/2026

PHASE 1 EROSION AND SEDIMENTATION CONTROL PLAN - C-STORE  
MAJOR SITE PLAN - C-STORE

MARKON, CHARLES, GEORGIA

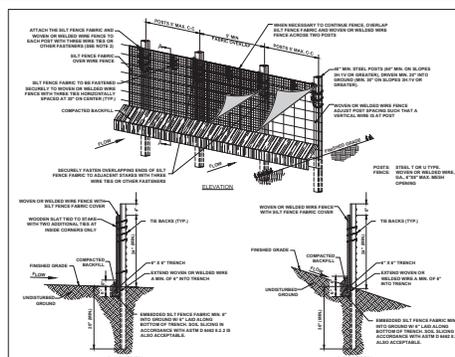
THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS

Sheet No. SW.3









TYPE	SECTION	REINFORCEMENT	MINIMUM	MAXIMUM
RETAINING WALL	SECTION 1	6" x 6" WELLS	1.00 LF	1.00 LF
RETAINING WALL	SECTION 2	6" x 6" WELLS	1.00 LF	1.00 LF
RETAINING WALL	SECTION 3	6" x 6" WELLS	1.00 LF	1.00 LF
RETAINING WALL	SECTION 4	6" x 6" WELLS	1.00 LF	1.00 LF
RETAINING WALL	SECTION 5	6" x 6" WELLS	1.00 LF	1.00 LF
RETAINING WALL	SECTION 6	6" x 6" WELLS	1.00 LF	1.00 LF
RETAINING WALL	SECTION 7	6" x 6" WELLS	1.00 LF	1.00 LF
RETAINING WALL	SECTION 8	6" x 6" WELLS	1.00 LF	1.00 LF
RETAINING WALL	SECTION 9	6" x 6" WELLS	1.00 LF	1.00 LF
RETAINING WALL	SECTION 10	6" x 6" WELLS	1.00 LF	1.00 LF

NO.	DESCRIPTION	QUANTITY	UNIT	REMARKS
1	RETAINING WALL	100	LF	
2	FABRIC REINFORCEMENT	100	LF	
3	BACKFILL	100	CU YD	
4	DRAINAGE	100	LF	
5	SEEDING/VEGETATION	100	SQ YD	
6	MULCHING	100	SQ YD	
7	SOD	100	SQ YD	
8	CONCRETE	100	SQ YD	
9	STEEL	100	LB	
10	WOOD	100	CU YD	

**REINFORCEMENT NOTES:**

- RETAINING WALL SHALL BE REINFORCED WITH 6" x 6" WELLS AT 10' ON CENTER.
- FABRIC REINFORCEMENT SHALL BE ATTACHED TO THE WALL WITH 6" x 6" WELLS AT 10' ON CENTER.
- BACKFILL SHALL BE PLACED BEHIND THE WALL WITH 6" x 6" WELLS AT 10' ON CENTER.
- DRAINAGE SHALL BE INSTALLED BEHIND THE WALL WITH 6" x 6" WELLS AT 10' ON CENTER.
- SEEDING/VEGETATION SHALL BE INSTALLED ON THE FACE OF THE WALL WITH 6" x 6" WELLS AT 10' ON CENTER.
- MULCHING SHALL BE INSTALLED ON THE FACE OF THE WALL WITH 6" x 6" WELLS AT 10' ON CENTER.
- SOD SHALL BE INSTALLED ON THE FACE OF THE WALL WITH 6" x 6" WELLS AT 10' ON CENTER.
- CONCRETE SHALL BE INSTALLED ON THE FACE OF THE WALL WITH 6" x 6" WELLS AT 10' ON CENTER.
- STEEL SHALL BE INSTALLED ON THE FACE OF THE WALL WITH 6" x 6" WELLS AT 10' ON CENTER.
- WOOD SHALL BE INSTALLED ON THE FACE OF THE WALL WITH 6" x 6" WELLS AT 10' ON CENTER.

**SEEDING/VEGETATION REQUIREMENTS:**

- CONSIDERATION MUST BE GIVEN TO ANTICIPATED CLIMATE AND SEASONAL CONDITIONS WHEN PLANTING SEED.
- SEED SHALL BE FREE OF WEED SEEDS AND APPROPRIATE FOR SITE SOILS AND REGIONAL CLIMATE. SEEDS ARE MULCH FOR THE UNDESIRABLE SOIL CONDITIONS AND THE SEEDS PLANTING SPECIFICATIONS IMMEDIATELY AFTER PLANTING IS APPLIED TO THE SEEDS.
- THE SITE HAS COVERED FINAL STABILIZATION ONCE ALL AREAS ARE COVERED WITH SEEDS FOUNDATION OR FERTILIZER. SEEDS ARE MULCH FOR THE UNDESIRABLE SOIL CONDITIONS AND THE SEEDS PLANTING SPECIFICATIONS IMMEDIATELY AFTER PLANTING IS APPLIED TO THE SEEDS.
- THE VEGETATION SEEDS MUST BE SEEDS THAT ARE SUITABLE FOR THE CLIMATE AND SOILS OF THE REGION. SEEDS ARE MULCH FOR THE UNDESIRABLE SOIL CONDITIONS AND THE SEEDS PLANTING SPECIFICATIONS IMMEDIATELY AFTER PLANTING IS APPLIED TO THE SEEDS.
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- ALL VEGETATION SEEDS SHALL BE SEEDS THAT ARE SUITABLE FOR THE CLIMATE AND SOILS OF THE REGION. SEEDS ARE MULCH FOR THE UNDESIRABLE SOIL CONDITIONS AND THE SEEDS PLANTING SPECIFICATIONS IMMEDIATELY AFTER PLANTING IS APPLIED TO THE SEEDS.

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**TEMPORARY SEEDING OR STABILIZATION:**

- THE SOIL IS REQUIRED TO BE A MINIMUM. INITIAL SOIL STABILIZATION REQUIRES IMMEDIATELY PROTECTIVE MAT COVERING, EROSION CONTROL, OR OTHER EROSION CONTROL MEASURES IMMEDIATELY AFTER PLANTING IS APPLIED TO THE SEEDS.
- THE SOIL IS REQUIRED TO BE A MINIMUM. INITIAL SOIL STABILIZATION REQUIRES IMMEDIATELY PROTECTIVE MAT COVERING, EROSION CONTROL, OR OTHER EROSION CONTROL MEASURES IMMEDIATELY AFTER PLANTING IS APPLIED TO THE SEEDS.
- ALL DISTURBED AREAS MUST BE STABILIZED IMMEDIATELY WITH THE USE OF EROSION CONTROL PRODUCTS. EROSION CONTROL PRODUCTS SHALL BE INSTALLED IMMEDIATELY AFTER PLANTING IS APPLIED TO THE SEEDS.
- ALTERNATIVE STABILIZATION REQUIRES TO BE INSTALLED. SUCH AN ALTERNATIVE STABILIZATION PRODUCT SHALL BE INSTALLED IMMEDIATELY AFTER PLANTING IS APPLIED TO THE SEEDS.
- IF IT IS NOT ACCEPTABLE TO ALLOW SOIL TO REMAIN EXPOSED AT ANY TIME DURING THE YEAR, REGARDLESS OF WEATHER CONDITIONS.
- ALTERNATIVE STABILIZATION REQUIRES TO BE INSTALLED. SUCH AN ALTERNATIVE STABILIZATION PRODUCT SHALL BE INSTALLED IMMEDIATELY AFTER PLANTING IS APPLIED TO THE SEEDS.
- ALL SOILS AND EROSION CONTROL PRODUCTS SHALL HAVE CURRENT CERTIFICATE OF ANALYSIS FROM THE EROSION CONTROL BOARD. EROSION CONTROL PRODUCTS SHALL BE INSTALLED IMMEDIATELY AFTER PLANTING IS APPLIED TO THE SEEDS.
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**PERMANENT SEEDING, SOD OR MULCHING:**

- PERMANENT STABILIZATION SHALL BE ACCOMPLISHED BY ALL DISTURBED AREAS OF COVERING THE SOIL WITH PERMANENT EROSION CONTROL PRODUCTS. EROSION CONTROL PRODUCTS SHALL BE INSTALLED IMMEDIATELY AFTER PLANTING IS APPLIED TO THE SEEDS.
- THE SOIL IS REQUIRED TO BE A MINIMUM. INITIAL SOIL STABILIZATION REQUIRES IMMEDIATELY PROTECTIVE MAT COVERING, EROSION CONTROL, OR OTHER EROSION CONTROL MEASURES IMMEDIATELY AFTER PLANTING IS APPLIED TO THE SEEDS.
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**SEEDING/VEGETATION REQUIREMENTS:**

- CONSIDERATION MUST BE GIVEN TO ANTICIPATED CLIMATE AND SEASONAL CONDITIONS WHEN PLANTING SEED.
- SEED SHALL BE FREE OF WEED SEEDS AND APPROPRIATE FOR SITE SOILS AND REGIONAL CLIMATE. SEEDS ARE MULCH FOR THE UNDESIRABLE SOIL CONDITIONS AND THE SEEDS PLANTING SPECIFICATIONS IMMEDIATELY AFTER PLANTING IS APPLIED TO THE SEEDS.
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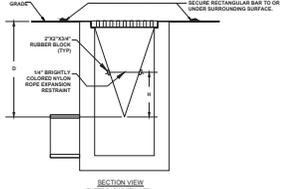
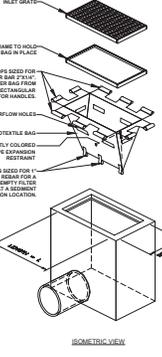
Plans Prepared By:  
CPH Consulting, LLC  
A Fort Service & S.E. Firm

PROFESSIONAL SEAL  
STATE OF FLORIDA  
REGISTERED PROFESSIONAL ENGINEER  
NO. 12345  
EXPIRES 12/31/2024

DESIGNED BY: H. JOHNSON  
DRAWN BY: P. SHEFFIELD  
CHECKED BY: S. SHELTON  
JOB NO.: 1913128  
DATE: 12/15/20

SWPPP DETAILS  
MAJOR SITE PLAN - C - STORE  
MARION COUNTY, FLORIDA

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS  
Sheet No. SW.7



- NOTES:**
1. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATION TABLE.
  2. PLACE AN OIL ABSORBENT PAD OR FLOWOVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
  3. THE WIDTH, \"W\", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET.
  4. THE HEIGHT, \"H\", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 26 INCHES. THE LENGTH, \"L\", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.
- MAINTENANCE NOTES:**
1. INLET PROTECTION DEVICES MUST BE INSPECTED FOR SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
  2. REMOVAL OF SEDIMENT ACCUMULATED IN OR ADJACENT TO A STORM DRAIN INLET MUST BEGIN IMMEDIATELY UPON OCCURRENCE, WITH COMPLETION OF THE ACTIVITY OCCURRING NO LATER THAN THE END OF THE FOLLOWING BUSINESS DAY.
  3. INLET PROTECTION DEVICES SHALL BE INSPECTED FOR UNINTENDED BYPASS OR IMPROPER FUNCTION BY THE BAY CRUISE SUPERVISOR/LEADER.
  4. CONTACT THE CDD FOR ALTERNATE INLET PROTECTION IF THE DESIGNED PROTECTION MAY NOT BE SUITABLE FOR THE PROJECT'S OPERATIONAL CONDITIONS.
  5. NO UNDESIRABLE INLET PROTECTION DEVICES MAY OCCUR.
  6. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF WEAR/DAMAGE OR DESTRUCTION.

**LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE**

PROPERTIES	TEST METHOD	UNITS	MINIMUM
GRAIN TENSILE STRENGTH	ASTM D-4482	200 LBS	
GRAIN TENSILE ELONGATION	ASTM D-4482	%	
PUNCTURE ELONGATION	ASTM D-4482	100 LBS	
MULLER BERRY	ASTM D-3753	NO. OF	
TRAPEZOID TEAR	ASTM D-4482	100 LBS	
UV RESISTANCE	ASTM D-4482	HR	
ADJUSTED OPENING SIZE	ASTM D-4481	NO. 20 SIEVE	
PERMEABILITY	ASTM D-4481	NO. 20 SIEVE	

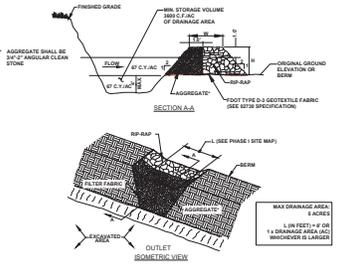
**MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE**

PROPERTIES	TEST METHOD	UNITS	MINIMUM
GRAIN TENSILE STRENGTH	ASTM D-4482	200 LBS	
GRAIN TENSILE ELONGATION	ASTM D-4482	%	
PUNCTURE ELONGATION	ASTM D-4482	100 LBS	
MULLER BERRY	ASTM D-3753	NO. OF	
TRAPEZOID TEAR	ASTM D-4482	100 LBS	
UV RESISTANCE	ASTM D-4482	HR	
ADJUSTED OPENING SIZE	ASTM D-4481	NO. 20 SIEVE	
PERMEABILITY	ASTM D-4481	NO. 20 SIEVE	

**INLET PROTECTION FILTER SACK**

FOR USE ONLY IN PAVED AREAS WHERE SEDIMENT LOADS ARE EXPECTED TO BE VERY LOW. FILTER SACKS MUST HAVE OVERFLOW HOLES TO PREVENT FLOODING.

LAST REVISED: APRIL 30, 2011



**SEDIMENT TRAPS**

TRAP NAME	AREA (S.F.)	DESIGN VOLUME (CU FT)	DESIGNED RETENTION TIME (HRS)	PERMANENT OUTLET TYPE	EMERGENCY OUTLET TYPE

- MAINTENANCE NOTES:**
1. SEDIMENT TRAPS MUST BE INSPECTED AND MUST BE CLEANED WHEN THE ORIGINAL CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR LESS AS REQUIRED BY THE GOVERNING AGENCY.
  2. ALL MATERIAL EXCAVATED FROM SEDIMENT BARRIERS OR FROM TRAPS SHALL BE INCORPORATED INTO ON-SITE SOILS OR EXPORTED OFF-SITE AS REQUIRED BY THE AGENCY.
  3. VERIFY THAT NO SEDIMENT IS OCCURRING AT DISCHARGE POINTS TO AND FROM IMPROVEMENTS AND VERIFY THAT TRAP SIDE SLOPES ARE ESTABLISHED AND SHOW NO SIGNS OF EROSION.

**TEMPORARY SEDIMENT TRAP**

LAST REVISED: JUNE 2012

**EDITOR NOTES:**

1. COMPLETE THE SEDIMENT TRAP TABLE TO PROVIDE DIMENSIONS, DRAINAGE AREAS AND VOLUME CALCULATIONS FOR EACH AND EVERY SEDIMENT TRAP SHOWN ON THE SITE MAPS, AS STIPULATED IN THE CONSTRUCTION GENERATING AGENCY REQUIREMENTS, OR STIPULATED ENGINEERING PRACTICE. DEMONSTRATE ADEQUATE VOLUME TO RETAIN RUNOFF AND ALLOW SETTLEMENT OF SUSPENDED SOILS BEFORE DISCHARGING DOWNSTREAM OR BEFORE EVAPORATION.
2. STATE THE TRAPS, IF ANY, WHICH WILL BE CONVERTED TO A PERMANENT STORMWATER BMP AT THE COMPLETION OF THE CONSTRUCTION PROJECT.



NO.	DATE	BY	FOR COUNTY COMMENTS	REVISION

Designed: H. JOHNSON  
Drawn: P. SHEFFIELD  
Checked: M. SHELTON  
Job No.: W131528  
Date: 12/2008

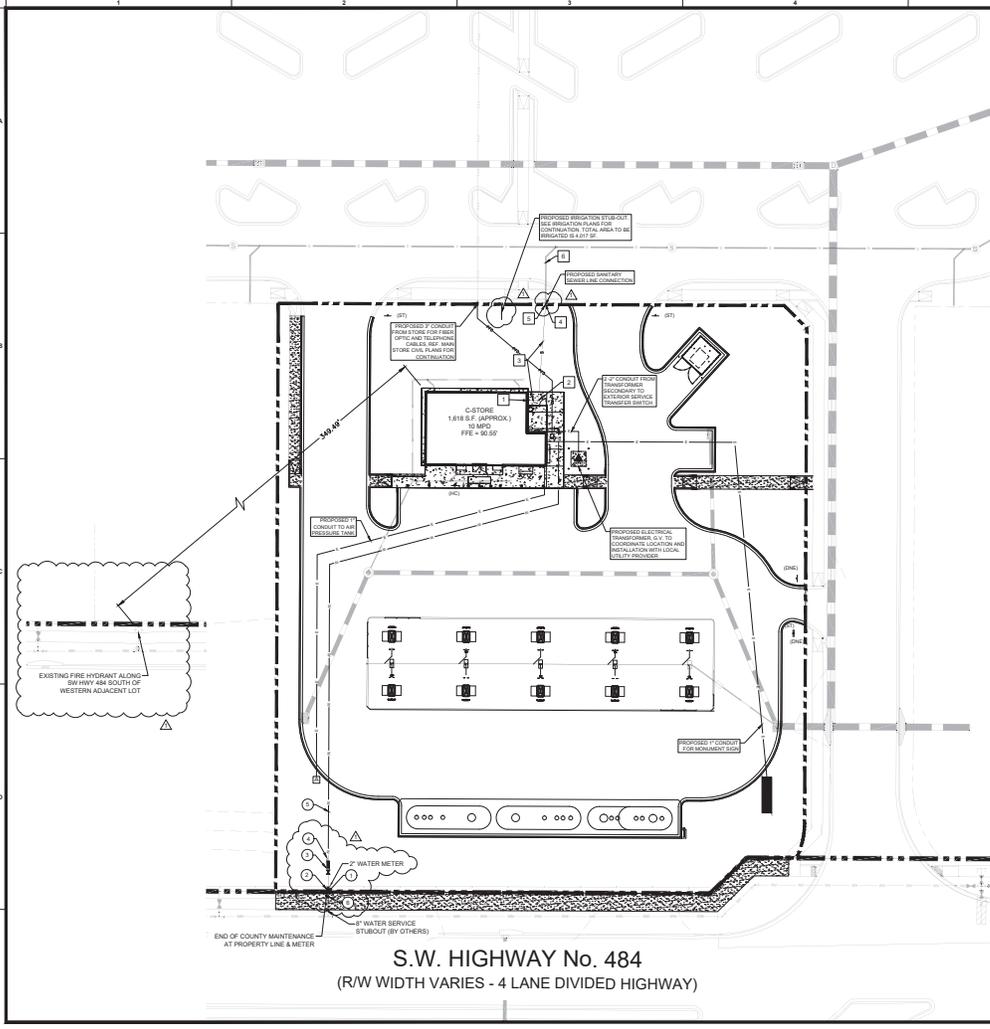












**LEGEND**

---	PROPERTY LINE
---	EASEMENT
---	ELECTRIC LINE
---	FIRE WATER
---	GAS LINE
---	SANITARY SEWER
---	TAMPER SWITCH
---	TELEPHONE LINE
---	WATER MAIN
---	CLEAN OUT
---	CONDUIT
---	FIRE HYDRANT
---	FIRE DEPARTMENT CONNECTION
---	GATE VALVE
---	SITE LIGHTING AND LOCATION POINT

**NOTE**

NOTES SHOWN SCREENED REPRESENT EXISTING CONDITIONS. NOTES SHOWN BOLD REPRESENT PROPOSED CONDITIONS.

**WATER LEGEND**

○	REMOVE CAP AND CONNECT TO EXISTING STUB OUT (PROVIDED BY OTHERS)
○	PROPOSED 2" WATER METER, PER MARION COUNTY STANDARD DETAIL (SEE SHEET NO. S.7)
○	PROPOSED 2" GATE VALVE, PER MARION COUNTY STANDARD DETAIL (SEE SHEET NO. S.7)
○	PROPOSED REDUCED PRESSURE BACKFLOW PREVENTER ASSEMBLY PER MARION COUNTY STANDARD DETAIL (SEE SHEET NO. C.1)
○	PROPOSED 2" DOMESTIC WATER LINE
○	PROPOSED 1/2" PIPERIG

**SANITARY SEWER LEGEND**

1	CONNECT TO PROPOSED BUILDING BOTTOM MANHOLE + 66.50
2	4" PVC SANITARY SEWER (SDR 35)
3	CONNECT TO PROPOSED STUB OUT BY OTHERS WITH 4" C.C. & GUMMET CONNECTION @ PROPERTY LINE PER MARION COUNTY SPECIFICATIONS, PER TOP OF AS-PAV. BOTTOM OF SEWER
4	4" PVC C.C.
5	4" PVC C.C.
6	PROPOSED 8" PVC SANITARY SEWER LINE BY OTHERS

**STANDARD NOTES:**

1. THE CONTRACTOR SHALL VERIFY ALL WORK PERFORMED ON OR AROUND EXISTING UTILITIES PRIOR TO CONSTRUCTION. A PRE-CONSTRUCTION MEETING IS REQUIRED TO BE HELD A MINIMUM OF 14 DAYS PRIOR TO THE START OF CONSTRUCTION. THE PRE-CONSTRUCTION MEETING IS NOT COMPLETED, ANY WORK MAY BE HALTED TO SCHEDULE. CONTACT MOUS CONSTRUCTION DIVISION (505 OF 505) EXT. 5108 FOR INFORMATION.
2. FOR ANY UTILITY ASSETS BETWEEN THE WATER MAIN AND THE METER, MARION COUNTY WILL REQUIRE A SET OF AS-BUILT RECORDS TO BE SUBMITTED TO THE SERVICE PRIOR TO THE WORK BEING INITIATED. A FINAL HOLD HAS BEEN PLACED ON PERMIT IF APPLICABLE. ALL AS-BUILTS SHALL COMPLY WITH THE CURRENT MARION COUNTY USE, SECTION 11.8.
3. ALL FACILITIES CONSTRUCTED ON THE DEVELOPER'S PROPERTY PRIOR TO INTERCONNECTION WITH MARION COUNTY UTILITIES EXISTING OR PROPOSED FACILITIES SHALL LOANER EACH COMPONENT PARTS TO MOU BY BILL OF SALE IN A FORM SATISFACTORY TO THE COUNTY ATTORNEY WITH THE FOLLOWING ENDORSEMENT REQUIRED BY MOU: REFER TO USE 11.8 (B).

4. CONTRACTOR IS RESPONSIBLE FOR ADJUSTMENT OF EXISTING UTILITIES IF PROPOSED IMPROVEMENTS AFFECT EXISTING UTILITIES.
5. NO PRESSURE PIPING OR FITTINGS SHALL BE ALLOWED UNDER ANY PROPOSED PAVING INCLUDING SIDEWALKS, CURBS, AND DRIVEWAYS, ETC.
6. CONTRACTOR SHALL MAINTAIN A MINIMUM ONE SET OF PLANS APPROVED BY MOU ON THE JOB SITE.
7. SUBMITTALS ON ALL MATERIAL LOCATED IN THE RIGHT-OF-WAY SHALL BE SUBMITTED TO MOU FOR APPROVAL PRIOR TO CONSTRUCTION.
8. ANY ADJUSTMENTS OF THE FINISHED GRADE FROM APPROVED CONSTRUCTION PLANS THAT AFFECT ANY UTILITIES, SEWER, OR FACILITIES BY THE OWNER AND/OR SERVICES MUST BE ADJUSTED TO REQUIRED DEPTHS AT DEVELOPER'S EXPENSE.
9. ENSURE 2' SEPARATION BETWEEN PRESSURE PIPING AND SEWERAGE.
10. ALL SANITARY SEWERS SHALL BE 6" DIA. AND COLORED GREEN TO INDICATE LATERALS AS WELL.
11. VERIFY EXISTING AND SANITARY SEWER MAINS AND LATERALS AND PROVIDE TO MOU PRIOR TO ACCEPTANCE. ALL MAINS AND SERVICES TO BE CLEARED PRIOR TO FIELD INSPECTION.
12. UTILITY CROSSINGS SHALL MAINTAIN MINIMUM 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).

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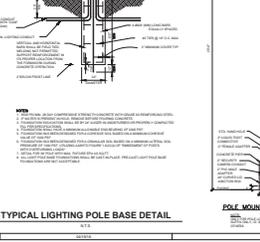
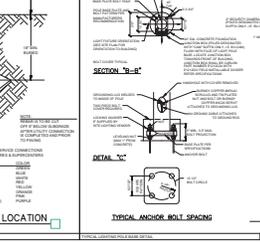
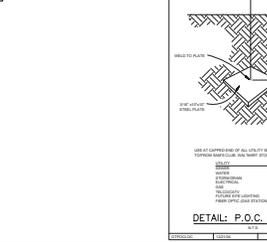
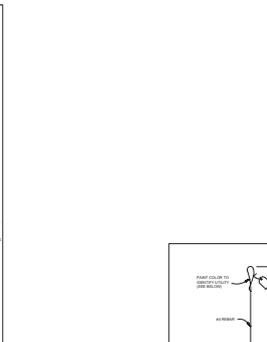
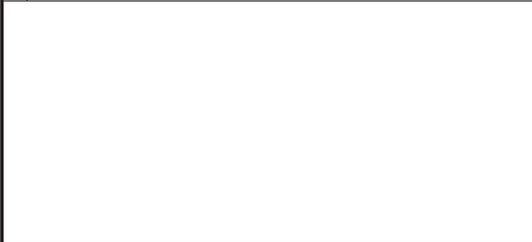
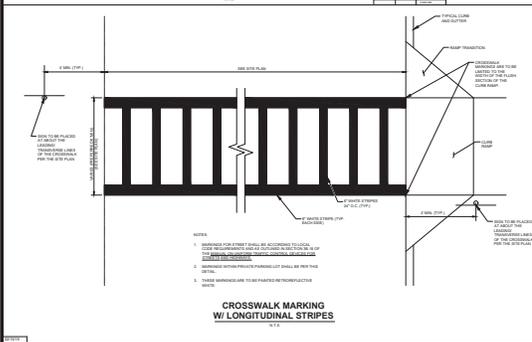
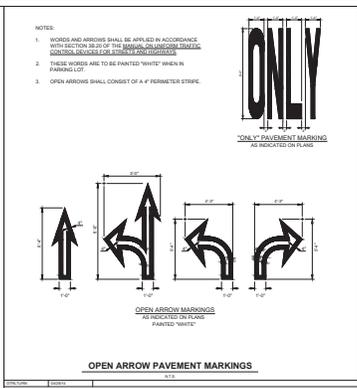
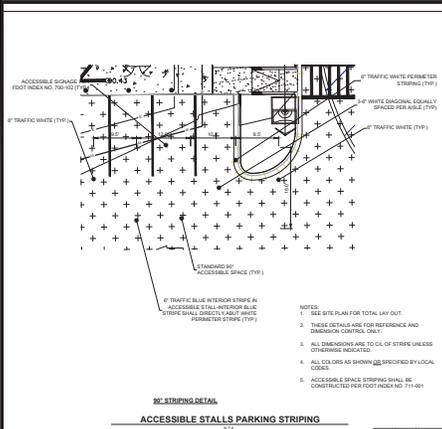
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DRAWN BY: P. SHEFFIELD  
CHECKED BY: S. SHELTON  
JOB NO.: W131528  
DATE: 12/20/20

COMPOSITE UTILITY PLAN  
MAJOR SITE PLAN - C-STORE

MARION COUNTY, FLORIDA

SHEET NO. C1.4

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS



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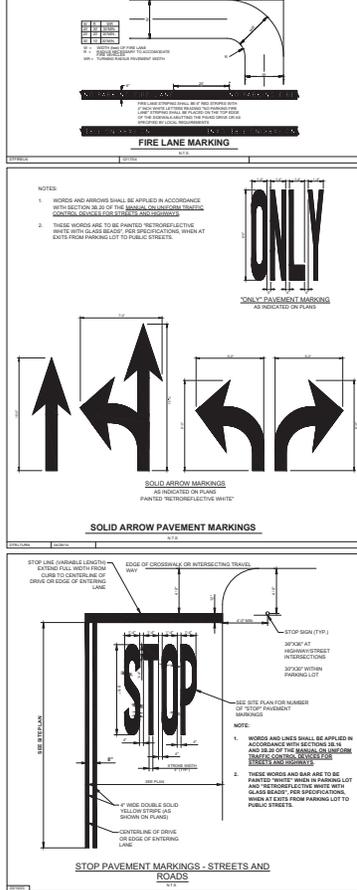
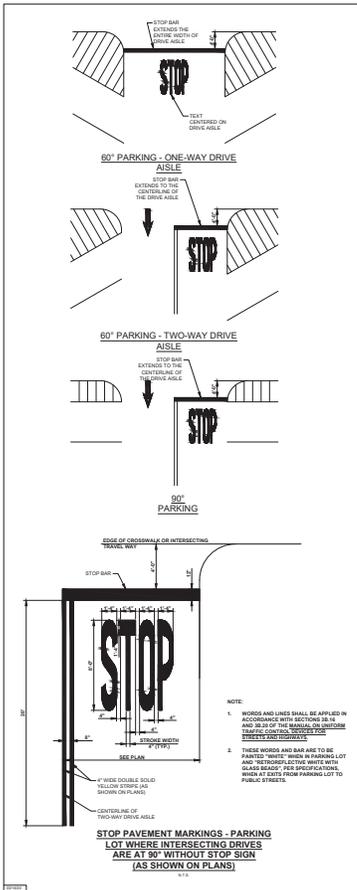
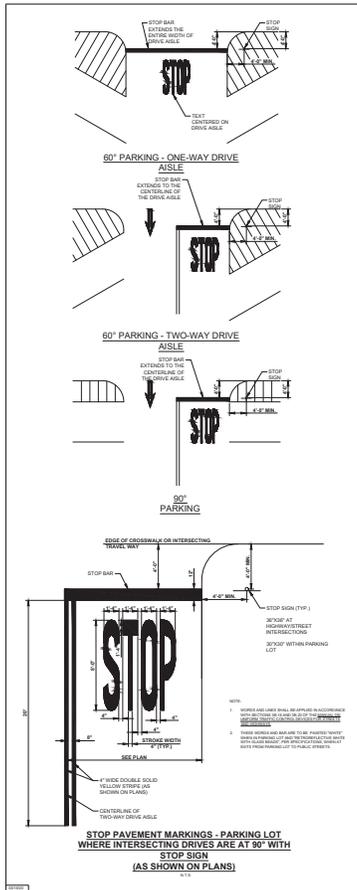
DESIGNED BY: H. JOHNSON  
DRAWN BY: P. SHEFFIELD  
CHECKED BY: M. BILLYTON  
JOB NO.: W131528  
DATE: 1/2/2026

GENERAL DETAILS  
MAJOR SITE PLAN - C - STORE  
MARION, OREGON, U.S.A.

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Sheet No.  
**C5.1**





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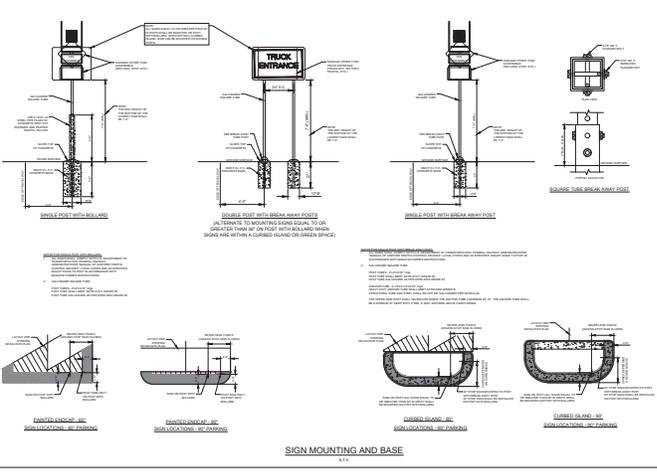
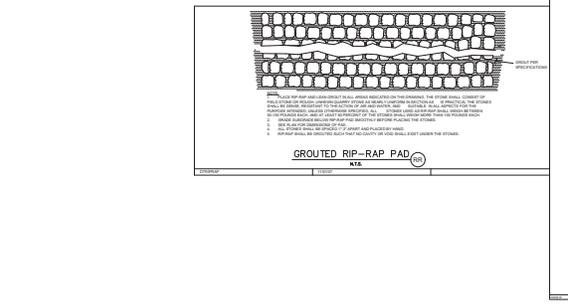
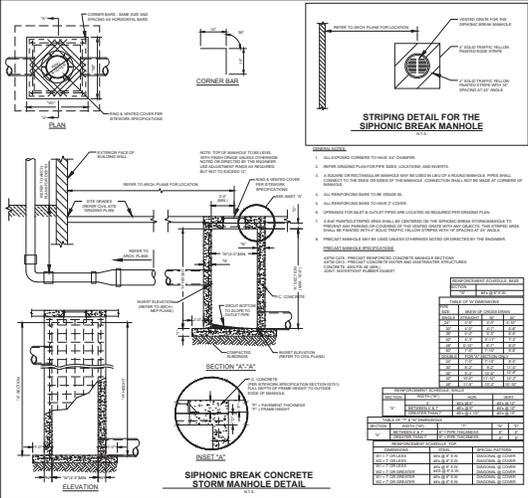
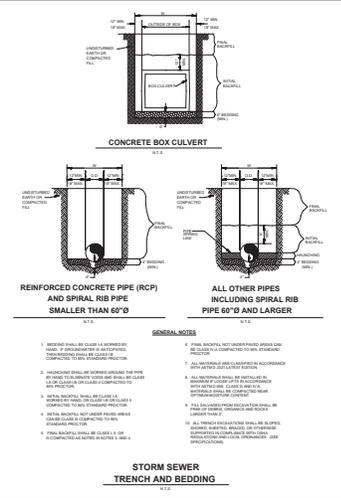
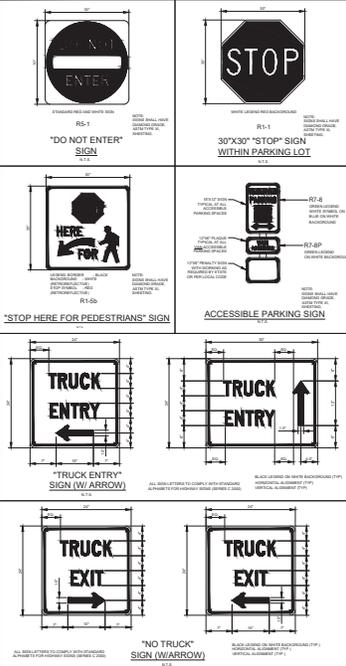
STATE OF CALIFORNIA  
REGISTERED PROFESSIONAL ENGINEER  
No. 92781  
C. J. SHEPHERD

GENERAL DETAILS  
MAJOR SITE PLAN - C - STORE

MARKON CANEEL, CIVIL ENGINEER

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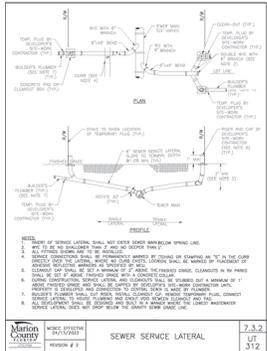
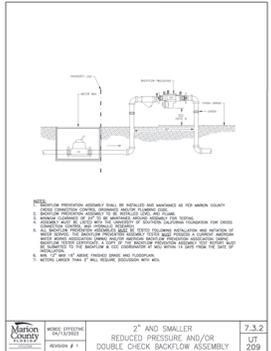
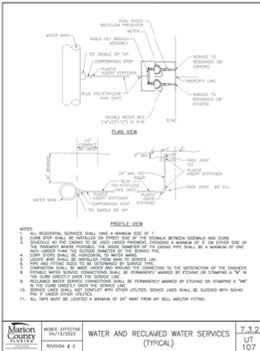
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**STATE OF FLORIDA**  
 PROFESSIONAL ENGINEER  
 No. 92781  
 CIVIL ENGINEER

**GENERAL DETAILS**  
**MAJOR SITE PLAN - C - STORE**  
 MARION, FLORIDA

Designed: R. JOHNSON  
 Check: P. SHEPHERD  
 Checked: N. SKELTON  
 Job No.: W131528  
 Date: 10/20/08

Sheet No. **C5.4**



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PROFESSIONAL ENGINEER  
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CPI CONSULTING, LLC  
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SUITE 200  
DADE CITY, FL 34724

DESIGNED BY: JOHNSON  
DRAWN BY: SHEPHERD  
CHECKED BY: SKELTON  
JOB NO.: W131528  
DATE: 10/23/08

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