

April 23, 2024

PROJECT NAME: OCALA PRESERVE SOCIAL AMENITY (REVISION TO AR #27669)

PROJECT NUMBER: 2021110102

APPLICATION: MAJOR SITE PLAN #30684

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 2 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 1/30/24 - add waivers if requested in the future
- 3 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
- 4 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: Proposed pool will require a construction permit through the Department of Health in Marion County
- 5 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: Additional Planning Items:
STATUS OF REVIEW: INFO
REMARKS: Staff acknowledges this is a revision to move the footprint of an amenity building and pool to preserve a tree and additional parking and drive aisles.
- 6 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: Additional Landscape comments
STATUS OF REVIEW: INFO
REMARKS: Previously approved AR#27669 - Revision will increase preserved trees
- 7 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: Additional Zoning comments
STATUS OF REVIEW: INFO
REMARKS: Staff acknowledges this is a revision to move the footprint of an amenity building and pool to preserve a tree and additional parking and drive aisles.



**Marion County
Board of County Commissioners**

AR #30684

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW PLAN APPLICATION

Date: 09/27/2023

A. PROJECT INFORMATION:

Project Name: Ocala Preserve Social Amenity (Revision to AR #27669)
Parcel Number(s): 13697-004-00
Section 33 Township 14 Range 21 Land Use MR Zoning Classification PUD
Commercial Residential Industrial Institutional Mixed Use Other _____
Type of Plan: MAJOR SITE PLAN
Property Acreage 20 acres (+/-) Number of Lots N/A Miles of Roads N/A
Location of Property with Crossroads US 27, approximately 2 miles west of I-75
Additional information regarding this submittal: This application proposes a revision to the Social Amenity building and pool location (to preserve an existing 31-inch oak tree) as well as added parking and revisions to recreational trails.

B. CONTACT INFORMATION (*Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.*)

Engineer:
Firm Name: Atwell, LLC Contact Name: Damon Parrish
Mailing Address: 111 N. Magnolia Avenue, Suite 1350 City: Orlando State: FL Zip Code: 32801
Phone # 407-775-6505 Alternate Phone # 863-514-8444
Email(s) for contact via ePlans: dparrish@atwell-group.com

Surveyor:
Firm Name: GeoPoint Surveying, Inc. Contact Name: David Williams
Mailing Address: 213 Hobbs Street City: Tampa State: FL Zip Code: 33619
Phone # 813-248-8888 Alternate Phone # _____
Email(s) for contact via ePlans: davidw@geopointsurvey.com

Property Owner:
Owner: Forestar USA Real Estate Group, Inc. Contact Name: John Garrity
Mailing Address: 4042 Park Oaks Blvd, Ste 200 City: Tampa State: FL Zip Code: 33610
Phone # 813-392-3385 Alternate Phone # _____
Email address: johngarrity@forestar.com

Developer:
Developer: Forestar USA Real Estate Group, Inc. Contact Name: John Garrity
Mailing Address: 4042 Park Oaks Blvd, Ste 200 City: Tampa State: FL Zip Code: 33610
Phone # 813-392-3385 Alternate Phone # _____
Email address: johngarrity@forestar.com

Revised 6/2021

CLEAR FORM

WATER LINE CONSTRUCTION PER FDEP

- ALL PIPE, PIPE FITTINGS, PIPE JOINT PACKING AND JOINTING MATERIALS, VALVES, FIRE HYDRANTS, AND METERS INSTALLED WILL ADHERE TO APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS.
- ALL PUBLIC WATER SYSTEM COMPONENTS, EXCLUDING FIRE HYDRANTS, THAT WILL BE INSTALLED AND THAT WILL COME INTO CONTACT WITH DRINKING WATER WILL CONFORM TO NATIONAL SANITATION FOUNDATION (NSF) INTERNATIONAL STANDARD 61 AS ADOPTED IN RULE 62-555.335, F.A.C., OR OTHER APPLICABLE STANDARDS, REGULATIONS, OR REQUIREMENTS REFERENCED IN PARAGRAPH 62-55.320 (3)(B), F.A.C.
- ALL PIPE AND PIPE FITTINGS INSTALLED WILL CONTAIN NO MORE THAN 8.0% LEAD, AND ANY SOLDER OR FLUX USED IN THIS PROJECT WILL CONTAIN NO MORE THAN 0.2% LEAD.
- ALL PIPE AND PIPE FITTINGS INSTALLED WILL BE COLOR-CODED OR MARKED IN ACCORDANCE WITH SUBPARAGRAPH 62-555.320 (21)(B) 3, F.A.C., USING BLUE AS A PREDOMINANT COLOR. UNDERGROUND PLASTIC PIPE WILL BE SOLID-WALL BLUE PIPE, WILL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR WILL BE WHITE OR BLACK PIPE WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL. UNDERGROUND METAL OR CONCRETE PIPE WILL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPED DURING MANUFACTURING OF THE PIPE WILL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE OR PAINT WILL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE. FOR PIPE WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT WILL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. ABOVEGROUND PIPE WILL BE PAINTED BLUE OR WILL BE COLOR-CODED OR MARKED LIKE UNDERGROUND PIPE.
- ALL FIRE HYDRANTS THAT HAVE UNPLUGGED, UNDERGROUND DRAINS WILL BE LOCATED AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., OR VACUUM-TYPE SANITARY SEWER; AT LEAST SIX FEET FROM ANY EXISTING OR PROPOSED GRAVITY-, OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-10, F.A.C.; AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM".
- NEW OR ALTERED CHAMBERS, PITS, OR MANHOLES THAT CONTAIN VALVES, BLOW-OFFS, METERS, OR OTHER SUCH WATER DISTRIBUTION SYSTEMS APPURTENANCES WILL NOT BE CONNECTED DIRECTLY TO ANY SANITARY OR STORM SEWER, AND BLOW-OFFS OR AIR RELIEF VALVES INSTALLED UNDER THIS PROJECT WILL NOT BE CONNECTED DIRECTLY TO ANY SANITARY OR STORM SEWER.
- NEW OR ALTERED WATER MAINS WILL BE INSTALLED IN ACCORDANCE WITH APPLICABLE AWWA STANDARDS OR IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDED PROCEDURES.
- A CONTINUOUS AND UNIFORM BEDDING WILL BE PROVIDED IN TRENCHES FOR UNDERGROUND PIPE INSTALLED. BACKFILL MATERIAL WILL BE TAMPED IN LAYERS AROUND UNDERGROUND PIPE INSTALLED AND TO A SUFFICIENT HEIGHT ABOVE THE PIPE TO ADEQUATELY SUPPORT AND PROTECT THE PIPE, AND UNSUITABLY SIZED STONES (AS DESCRIBED IN APPLICABLE AWWA STANDARDS OR MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES) FOUND IN TRENCHES WILL BE REMOVED FOR A DEPTH OF AT LEAST SIX INCHES BELOW THE BOTTOM OF THE UNDERGROUND PIPE.
- ALL WATER MAIN TEES, BENDS, PLUGS, AND HYDRANTS INSTALLED WILL BE PROVIDED WITH RESTRAINED JOINTS TO PREVENT MOVEMENT.
- WATER MAINS THAT ARE CONSTRUCTED OF ASBESTO-CEMENT OR POLYVINYL CHLORIDE PIPE WILL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C903 OR C905, RESPECTIVELY, AS INCORPORATED INTO RULE 62-555.330, F.A.C., AND ALL OTHER NEW OR ALTERED WATER MAINS INCLUDED IN THIS PROJECT WILL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C600 AS INCORPORATED INTO RULE 62-555.330 FAC.
- WATER MAINS, INCLUDING FIRE HYDRANT LEADS AND INCLUDING SERVICE LINES THAT WILL BE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER, WILL BE DISINFECTED AND BACTERIOLOGICALLY EVALUATED IN ACCORDANCE WITH RULE 62-555.340, F.A.C.
- NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-, OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY-SEWER.
- NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER, SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 6 INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
- AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE OTHER SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
- WHERE AUTOMATIC AIR RELIEF VALVES ARE INSTALLED THE ARV WILL BE EXTENDED SUCH THAT THE OPEN END OF THE AIR RELIEF PIPE WILL BE SEPARATED FROM THE GROUND BY AT LEAST ONE FOOT AND WILL BE PROVIDED WITH A SCREENED, DOWNWARD FACING ELBOW.

SANITARY GRAVITY & FORCE MAINS

- ALL PVC GRAVITY SANITARY SEWER SHALL BE SDR35, UNLESS OTHERWISE NOTED; AND ALL PVC SANITARY SEWER FORCEMAIN 4" THRU 12" SHALL BE C900/DR18, UNLESS OTHERWISE NOTED.
- LEAKAGE TESTS FOR THE SANITARY SEWER SYSTEM SHALL MEET PROVIDER'S SPECIFICATIONS USING THE LOW PRESSURE AIR TEST METHOD, 5 PSI FOR 5 MINUTES AND SHALL NOT EXCEED 400 FEET IN LENGTH AND SHALL BE TESTED BETWEEN ADJACENT MANHOLES AND SHALL INCLUDE ALL LATERALS.
- ALL PVC SANITARY FORCE MAINS SHALL BE COLOR-CODED OR MARKED USING GREEN AS A PREDOMINANT COLOR TO DIFFERENTIATE THE FORCE MAIN FROM OTHER UTILITY LINES.
- MINIMUM SLOPE ALLOWED FOR SANITARY SEWER PIPE IS 0.40%.
- PVC PIPE AND FITTINGS 4-INCHES THROUGH 15-INCHES SHALL CONFORM TO ASTM D3034, SDR35 OR 28.
- PVC PIPE AND FITTINGS 18-INCHES THROUGH 27-INCHES SHALL CONFORM TO ASTM F679-T1, SDR35.
- PVC PIPE AND FITTINGS SHALL BE SOLID GREEN IN COLOR.
- DUCTILE IRON PIPE FOR GRAVITY OR NON-PRESSURE SERVICE SHALL BE DESIGNED IN ACCORDANCE WITH AND CONFORMING TO THE REQUIREMENTS OF ASTM A746 FOR INSTALLATION WITH TRENCH TYPE II, OR IN ACCORDANCE WITH ANSI/AWWA C150/A21.50 AND ANSI/AWWA C151/A21.51.
- DUCTILE IRON FITTINGS FOR USE IN GRAVITY OR NON-PRESSURE SERVICE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C153/A21.53, COMPACT DUCTILE IRON FITTINGS.
- DUCTILE IRON PIPE AND FITTINGS FOR GRAVITY OR NON-PRESSURE SERVICE SHALL HAVE AN INTERIOR LINING CONSISTING OF A MINIMUM 40 MILS OF A CERAMIC EPOXY COATING. REFER TO SPECIFICATIONS FOR DETAILS.
- MATERIAL FOR GRAVITY SEWER PIPE AND FITTINGS SHALL BE AS SHOWN FOR THE FOLLOWING DEPTHS OF EXCAVATION:
A. 5' TO 12' PVC, ASTM 3034/ASTM F679, SDR 35.
B. LESS THAN 5' OR GREATER THAN 12': PVC, ASTM 3034, SDR26.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL EQUIPMENT AND MATERIALS FOR APPROVAL BY THE ENGINEER AND SERVICE PROVIDER PRIOR TO PROCUREMENT.
- PIPE MEASUREMENTS ON THE MAIN "TRUNK" SEWER SHALL BE FROM CENTER TO CENTER OF MANHOLES OR CLEANOUTS, UNLESS OTHERWISE NOTED.
- PIPE MEASUREMENTS FOR SERVICE LATERALS SHALL BE FROM THE MAIN "TRUNK" SEWER TO THE PROPERTY LINE. THE DEPTH OF THE LATERAL AT THE PROPERTY LINE SHALL BE MEASURED AND RECORDED ON THE RECORD DRAWINGS.
- FOR A SCHEDULED INTERRUPTION OF SANITARY SEWER MAIN FLOW, THE CONTRACTOR SHALL PROVIDE TO THE AGENCY HAVING JURISDICTION AND SERVICE PROVIDER FOR REVIEW A WRITTEN SCHEDULE AS TO THE METHOD AND DURATION OF FLOW INTERRUPTION.
- DURING NORMAL SANITARY SEWER MAIN FLOW INTERRUPTION, THE CONTRACTOR SHALL PROVIDE UNINTERRUPTED BY PASS FLOW AND SHALL PROVIDE ALL EQUIPMENT NECESSARY TO ACCOMPLISH THE SAME IN THE FORM OF, BUT NOT LIMITED TO, THE FOLLOWING: POWER, PUMPS, PIPING, APPURTENANT VALVES AND FITTINGS AND/OR SEPTIC TANKER TRUCK PUMPING, HAULING AND DISPOSAL SERVICES.
- CONTRACTOR SHALL PAY FOR INSPECTION OF THE GRAVITY SEWER LINE BY A TV CAMERA SYSTEM, A CD/DVD OR OTHER APPROVED RECORDING MATERIAL/DEVICE AND REPORT SHALL BE SUBMITTED TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FINAL INSPECTION BY SERVICE PROVIDER'S AUTHORIZED REPRESENTATIVE.

HAZARDOUS MATERIALS

- HAZARDOUS MATERIAL MEANS ANY SUBSTANCE:
A. THE PRESENCE OF WHICH REQUIRES INVESTIGATION OR REMEDIATION UNDER ANY PRESENT FEDERAL, STATE OR LOCAL STATUTE, REGULATION, ORDINANCE, RULE, CODE, ORDER, ACTION, POLICY OR COMMON LAW, OR
B. WHICH IS OR BECOMES DEFINED AS A "HAZARDOUS WASTE," "HAZARDOUS SUBSTANCE," "POLLUTANT OR CONTAMINANT UNDER ANY PRESENT FEDERAL, STATE OR LOCAL STATUTE, REGULATION, RULE OR ORDINANCE, OR AMENDMENTS THERETO INCLUDING, WITHOUT LIMITATION, THE COMPREHENSIVE ENVIRONMENTAL RESPONSE COMPENSATION AND LIABILITY ACT (42 U.S.C. SECTIONS 9601 ET SEQ.) AND/OR THE RESOURCE CONSERVATION AND RECOVERY ACT (42 U.S.C. SECTIONS 6901 ET SEQ.), OR
C. WHICH IS TOXIC, EXPLOSIVE, CORROSIVE, FLAMMABLE, INFECTIOUS, RADIOACTIVE, CARCINOGENIC, MUTAGENIC, OR OTHERWISE HAZARDOUS AND IS REGULATED BY ANY GOVERNMENTAL AUTHORITY, AGENCY, DEPARTMENT, COMMISSION, BOARD, AGENCY OR INSTRUMENTALITY OF THE UNITED STATES, THE STATE IN WHICH THE PREMISES ARE LOCATED OR ANY POLITICAL SUBDIVISION THEREOF, OR
D. THE PRESENCE OF WHICH ON THE PREMISES CAUSES OR THREATENS TO CAUSE A NUISANCE UPON THE PREMISES OR TO ADJACENT PROPERTIES OR POSES OR THREATENS TO POSE A HAZARD TO THE HEALTH OR SAFETY OF PERSONS ON OR ABOUT THE PREMISES, OR
E. WHICH CONTAINS GASOLINE, DIESEL, FUEL OR OTHER PETROLEUM HYDROCARBONS, OR
F. WHICH CONTAINS POLYCHLORINATED BIPHENYLS (PCBS), ASBESTOS, LEAD, OR UREA FORMALDEHYDE FOAM INSULATION.
- CONTRACTOR AND ITS SUBCONTRACTORS SHALL USE, HANDLE, TRANSPORT, AND DISPOSE OF ALL HAZARDOUS MATERIALS (AS DEFINED HEREIN) IN COMPLIANCE WITH ALL PRESENT FEDERAL, STATE, AND LOCAL ENVIRONMENTAL, HEALTH OR SAFETY LAW, INCLUDING, BUT NOT LIMITED TO, ALL SUCH STATUTES, REGULATIONS, RULES, ORDINANCES, CODES, AND RULES OF COMMON LAW.
- CONTRACTOR FURTHER AGREES THAT CONTRACTOR AND ITS SUBCONTRACTORS SHALL NOT CAUSE THE DISCHARGE, RELEASE, OR DISPOSAL OF ANY HAZARDOUS MATERIAL CREATED BY ITS WORK ON OR ABOUT THE JOB SITE. IN THE EVENT OF ANY SPILL, RELEASE OR ANY OTHER REPORTABLE OCCURRENCE, CONTRACTOR SHALL NOTIFY THE APPROPRIATE GOVERNMENTAL AGENCY AND SHALL TAKE SUCH ACTION AS MAY BE NECESSARY TO MINIMIZE THE DELETERIOUS EFFECT OF SUCH SPILL ON PERSONS OR PROPERTY.
- CONTRACTOR AND ITS SUBCONTRACTORS SHALL, UPON COMPLETION OF PERFORMANCE OF ALL DUTIES UNDER THIS CONTRACT, REMOVE ALL SUPPLIES, MATERIALS, AND WASTE CONTAINING ANY HAZARDOUS MATERIAL FROM THE JOB SITE. CONTRACTOR SHALL BEAR FULL FINANCIAL RESPONSIBILITY, AS BETWEEN THE PARTIES OF THIS CONTRACT, FOR THE COMPLIANCE OF CONTRACTOR AND ITS SUBCONTRACTORS WITH THE PROVISIONS AS OUTLINED HEREIN.
- CONTRACTOR AGREES TO INDEMNIFY, DEFEND, PROTECT AND HOLD THE OWNER HARMLESS FROM AND AGAINST ANY CLAIMS INCLUDING, WITHOUT LIMITATION, ACTUAL ATTORNEY'S FEES AND ANY COSTS OF INVESTIGATION, SOILS TESTING, GOVERNMENTAL APPROVALS, REMEDIATION AND CLEANUP ARISING OUT OF, OR IN ANY WAY CONNECTED WITH, THE FAILURE OF CONTRACTOR OR ITS SUBCONTRACTORS, OR THEIR AGENTS, EMPLOYEES, OFFICERS, OR REPRESENTATIVES, TO COMPLY WITH THE TERMS AS DESCRIBED HEREIN.
- SHOULD CONTRACTOR OR ITS SUBCONTRACTORS DISCHARGE, RELEASE OR DISPOSE OF ANY HAZARDOUS MATERIAL ON OR ABOUT THE JOB SITE IN VIOLATION OF THIS PARAGRAPH, CONTRACTOR SHALL IMMEDIATELY INFORM THE OWNER IN WRITING, IN THE EVENT OF ANY SPILL, RELEASE, OR ANY OTHER REPORTABLE OCCURRENCE, CONTRACTOR SHALL NOTIFY THE APPROPRIATE GOVERNMENTAL AGENCY(S) AND SHALL TAKE SUCH ACTION AS MAY BE NECESSARY TO MINIMIZE THE DELETERIOUS EFFECT OF SUCH SPILL ON PERSONS, PROPERTY OR THE ENVIRONMENT.
- IN THE EVENT CONTRACTOR OR ITS SUBCONTRACTORS ENCOUNTER ON THE PREMISES ANY PIPELINE, UNDERGROUND STORAGE TANK OR OTHER CONTAINER, OF ANY KIND, THAT MAY CONTAIN A HAZARDOUS MATERIAL, OR ENCOUNTER MATERIAL REASONABLY BELIEVED TO BE A HAZARDOUS MATERIAL, CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE AREA AFFECTED AND REPORT THE CONDITION TO THE OWNER IN WRITING.
- IF CONTRACTOR OR ITS SUBCONTRACTORS DO NOT COMPLY WITH THE REQUIREMENTS AS OUTLINED HEREIN, OWNER MAY, BUT IS NOT OBLIGATED TO, GIVE WRITTEN NOTICE OF VIOLATION TO CONTRACTOR. SHOULD CONTRACTOR OR ITS SUBCONTRACTORS FAIL TO COMPLY WITH THE REQUIREMENTS OF THE PARAGRAPH WITHIN TWENTY-FOUR (24) HOURS FROM THE TIME OWNER ISSUES SUCH WRITTEN NOTICE OF NONCOMPLIANCE OR WITHIN THE TIME OF AN ABATEMENT PERIOD SPECIFIED BY ANY GOVERNMENTAL AGENCY, WHICHEVER PERIOD IS SHORTER, CONTRACTOR SHALL BE IN MATERIAL DEFAULT OF THIS CONTRACT.
- ALL AREAS USED FOR FUEL STORAGE SHALL HAVE THE PROPERTY OWNER'S PRIOR APPROVAL AND APPROPRIATE MEASURES SHALL BE TAKEN TO INSURE PROTECTION OF GROUNDWATER AND SOIL RESOURCES.
- DURING CONSTRUCTION, WHEN COMBUSTIBLES ARE BROUGHT ON TO THE SITE, ACCESS ROADS AND A SUITABLE TEMPORARY OR PERMANENT SUPPLY OF WATER ACCEPTABLE TO THE FIRE DEPARTMENT SHALL BE PROVIDED AND MAINTAINED PER CHAPTER 16, NFPA 1 2009 EDITION (FPCC 2010 EDITION).

PRE-CONSTRUCTION

- CONTRACTOR SHALL ATTEND A MANDATORY PRE-CONSTRUCTION MEETING WITH THE ENGINEER OF RECORD AND APPLICABLE STAFF OF THE LOCAL AGENCY HAVING JURISDICTION (E.G. CITY OR COUNTY) PRIOR TO ANY DISTURBANCE OF LAND, CLEARING, OR DEMOLITION. CONTRACTOR MUST PROVIDE WRITTEN NOTICE OF THE PRE-CONSTRUCTION MEETING'S TIME, DATE, AND LOCATION TO THE OWNER AND ENGINEER OF RECORD A MINIMUM OF 48 HOURS PRIOR TO.
- IF ANY TESTING, INSPECTION, OR APPROVAL UNDER THIS PARAGRAPH REVEAL DEFECTIVE WORK, CONTRACTOR SHALL NOT BE ALLOWED TO RECEIVE ANY ASSOCIATED COSTS AND THE OWNER SHALL BE ENTITLED TO DEDUCT FROM THE CONTRACT PRICE, BY ISSUING A CHANGE ORDER, OWNER'S COSTS ARISING OUT OF THE DEFECTIVE WORK, INCLUDING COSTS OF REPEATED PROCEDURES, COMPENSATION FOR ENGINEER'S AND DESIGN ENGINEER'S SERVICES, AND OTHER RELATED COSTS.
- SHOP DRAWINGS AND CERTIFICATIONS FOR ALL STORM DRAINAGE, WATER SYSTEM, SEWER SYSTEM, AND PAVING SYSTEM MATERIALS AND STRUCTURES ARE REQUIRED. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING THE MATERIALS REQUIRED FOR CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE THE ENGINEER 48-HOUR ADVANCE NOTIFICATION FOR THE FOLLOWING CONSTRUCTION AND OBSERVATION ACTIVITIES:

SANITARY SEWER LAMPING AND VIDEO INSPECTION
CONNECTIONS TO EXISTING SYSTEMS
STORM DRAINAGE LAMPING
INLET TOP POURS (REINFORCING STEEL CHECK)
WATER AND FORCE MAIN PRESSURE TESTS
BACTERIOLOGICAL SAMPLING
BASE OBSERVATION & SOUNDING
ASPHALT PLACEMENT
PRE-FINAL OBSERVATION
FINAL OBSERVATION

RECORD DRAWINGS & CERTIFICATION

- PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL OBTAIN A COPY OF THE MINIMUM REQUIREMENTS FOR AS-BUILT RECORD DRAWING ACCEPTANCE FOR THE AGENCY HAVING JURISDICTION (SUCH AS THE CITY OR COUNTY) AND/OR UTILITY SERVICE PROVIDER. FAMILIARIZE THEMSELVES WITH THESE REQUIREMENTS, AND PRODUCE AS-BUILT RECORD DRAWINGS THAT SUBSTANTIALLY COMPLY WITH OR EXCEED THESE REQUIREMENTS, INCLUDING ANY REQUIRED ELECTRONIC DATA SUBMITTALS.
- AS-BUILT DRAWINGS SHALL BE ACCURATELY RECORDED AND CERTIFIED BY A LICENSED LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA AND SHALL MEET THE MINIMAL TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 FLORIDA STATUTES.
- THE CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE SUFFICIENT AS-BUILT INFORMATION TO CONVEY THAT THE CONSTRUCTION HAS BEEN COMPLETED WITHIN ACCEPTABLE TOLERANCES TO THE APPROVED DESIGN AND SHALL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING:

SANITARY SEWER:
1. TOP ELEVATION OF EACH MANHOLE FRAME AND COVER.
2. INVERT OF EACH LINE ENTERING AND LEAVING EACH MANHOLE/STRUCTURE.
3. LENGTH OF EACH RUN OF MAIN BETWEEN MANHOLES (CENTER TO CENTER).
4. ACTUAL GRADE OF PIPE BETWEEN MANHOLES.
5. LOCATE ALL SERVICE WYES FROM DOWNSTREAM MANHOLE WITH DEPTH AT LOT LINE AND DISTANCE FROM THE MAIN LINE.
6. LOCATE WITH MEASUREMENTS FROM PERMANENT VISIBLE OBJECTS ALL FITTINGS/ACCESSORIES NOT VISIBLE FROM THE SURFACE (MINIMUM TWO POINT TIES).

WATER AND REUSE SYSTEM AND FORCE MAINS:
1. ACTUAL LENGTHS OF PIPE BETWEEN BRANCHES AND VALVES IN THE RUN.
2. LOCATE WITH MEASUREMENTS FROM PERMANENT VISIBLE OBJECTS ALL FITTINGS/ACCESSORIES NOT VISIBLE FROM THE SURFACE (MINIMUM TWO POINT TIES).
3. LIST THE DEPTHS OF THE LINES AT ALL VALVES, FITTINGS AND FIRE HYDRANTS.

OTHER IMPROVEMENTS:
BUILDING(S), SIDEWALKS, PAVEMENT, CURB AND GUTTER.
- SUBMIT CERTIFIED DRAWINGS TO THE ENGINEER TWO WEEKS PRIOR TO FINAL INSPECTION OF THE WORK TO BE CERTIFIED.
- THE ENGINEER STRONGLY RECOMMENDS THAT THE CONTRACTOR KEEP A DAILY "AS-BUILT" SET OF DRAWINGS WHILE THE WORK BEING DONE IS VISIBLY EXPOSED ACCORDING TO THE CRITERIA OUTLINED HEREIN.
- THE ENGINEER RESERVES THE RIGHT TO REQUIRE THE CONTRACTOR TO UNCOVER, RETEST AND/OR PERFORM ANY ACTION NECESSARY TO ENSURE THAT THE IMPROVEMENTS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- FINAL "AS-BUILT" DRAWINGS FOR POTABLE WATER SHALL CLEARLY INDICATE COMPLIANCE TO MINIMUM SEPARATION DISTANCES OR REQUIRED PIPE UPGRADES. ALL WATER MAIN AND FORCE MAIN PIPE FITTINGS SHALL BE REFERENCED TO AT LEAST TWO VISIBLE REFERENCE POINTS (SWING TIES) AND THE NEAREST DISTANCE TO THE CENTERLINE OF ROAD.
- THE CONTRACTOR'S GEOTECHNICAL ENGINEER SHALL CERTIFY ALL SITE, UTILITY, AND ROADWAY COMPACTION AND ALL UNDERDRAIN AND PAVEMENT CONSTRUCTION TO WALDROP ENGINEERING, INC.
- ALL PVC WATER MAINS AND PVC FORCE MAINS SHALL BE INSTALLED WITH A SOLID COPPER "LOCATING WIRE" WITH SUFFICIENT GROUNDING POINTS AT MAXIMUM 500 FEET SPACING.

MAJOR SITE PLAN REVISION TO AR #27669

OCALA PRESERVE
SOCIAL AMENITY

GENERAL NOTES

MARION COUNTY, FL

PLAN REVISIONS
02/22/24 REVISED PER MARION COUNTY COMMENTS

NOT TO SCALE

FLORIDA CERTIFICATE OF AUTHORIZATION #LC260005

DAMON PARRISH, P.E.
FL LICENSE NO. 7143

SET NUMBER: 1143-200-03

SHEET : 03

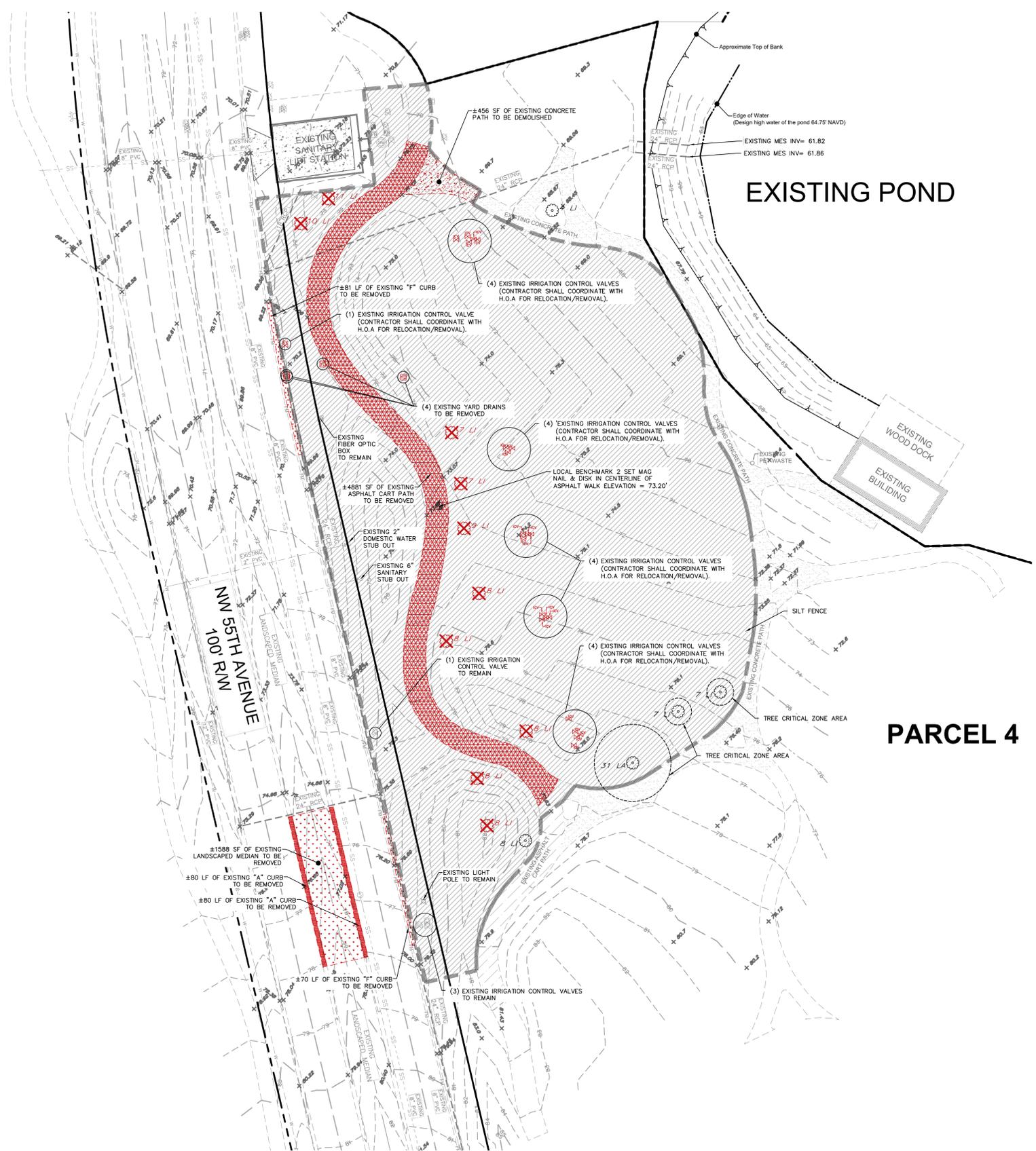


EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS AND ALL REGULATIONS CONTROLLING POLLUTION OF THE ENVIRONMENT.
2. THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) ACCORDING TO EPA/FDEP NPDES CRITERIA TO MINIMIZE EROSION AND INSURE PROPER FUNCTIONING OF STORM WATER MANAGEMENT SYSTEM UPON COMPLETION OF CONSTRUCTION. IN ADDITION TO MEETING EPA/FDEP NPDES CRITERIA, THE SWPPP SHALL BE SUBMITTED TO AND COMPLY WITH LOCAL AGENCY HAVING JURISDICTION'S MINIMUM EROSION CONTROL CRITERIA.
3. CONTRACTOR SHALL EXECUTE ALL MEASURES NECESSARY TO LIMIT THE TRANSPORTATION OF SEDIMENTS OUTSIDE THE LIMITS OF THE PROJECT TO THE VOLUME AND AMOUNT AS THOSE THAT EXIST PRIOR TO COMMENCEMENT OF CONSTRUCTION. THIS CONDITION MUST BE SATISFIED UNTIL PROJECT IS FULLY COMPLETED AND ACCEPTED. CONTRACTOR SHALL PROVIDE ROUTINE MAINTENANCE AND TEMPORARY EROSION CONTROL FEATURES AT HIS EXPENSE. PROVISION MUST BE MADE TO PRESERVE THE INTEGRITY AND CAPACITY OF CHECK WEIRS, SEDIMENT BASINS, SLOPE DRAINS, GRADING PATTERNS, ETC. REQUIRED TO MEET THIS PROVISION THROUGHOUT THE LIFE OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE HAY BALES, SILT BARRIERS, MURFAL FILTERS, TEMPORARY GRASSING, ETC., AS REQUIRED TO FULLY COMPLY WITH THE INTENT OF THIS SPECIFICATION. CONTRACTOR SHALL PROVIDE CONTINUOUS MONITORING OF EROSION AND SEDIMENT CONTROLS TAKEN AND SHALL DOCUMENT ALL CORRECTIVE MEASURES. A COPY OF THE APPROVED SWPPP SHALL BE KEPT ON SITE AT ALL TIMES FOR REVIEW BY OWNER'S REPRESENTATIVE AND BY NPDES INSPECTORS. THIS PERMIT MUST BE SUBMITTED TO MARION COUNTY BY THE CONTRACTOR PRIOR TO THE ISSUANCE OF PERMITS.
4. THE OWNER AND/OR CONTRACTOR SHALL PROVIDE A NOTICE OF INTENT IN ACCORDANCE WITH CRITERIA SET FORTH IN THE NPDES PERMIT REQUIREMENTS 8 HOURS PRIOR TO BEGINNING CONSTRUCTION, CLEARING, OR DEMOLITION.
5. PROVIDE EFFECTIVE TEMPORARY AND PERMANENT EROSION CONTROL FOLLOWING THE REQUIREMENTS IN SECTION 104 OF THE STATE DEPT. OF TRANSPORTATION STANDARDS SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. (F.D.O.T. SECTION 104).
6. INLETS AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENTATION RESULTING FROM SURFACE RUNOFF UNTIL COMPLETION OF ALL CONSTRUCTION OPERATION THAT MAY CAUSE SEDIMENT RUNOFF. FILTER FABRIC SHALL BE PLACED AND MAINTAINED UNDER THE GRATE AND FILTER SOCKS PLACED IN FRONT OF THE THROAT OF CURB INLETS, DURING CONSTRUCTION.
7. TURBIDITY BARRIERS MUST BE INSTALLED AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SEDIMENTS AND SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO CONSTRUCTION. TURBIDITY BARRIERS SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED, SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.
8. ALL SLOPES 5:1 OR GREATER SHALL BE SODDED. ALL POND SLOPES AND RIGHTS-OF-WAY SHALL BE SODDED.
9. IN ACCORDANCE WITH FDEP AND WATER MANAGEMENT DISTRICT PERMITS, ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS OF THE END OF CONSTRUCTION ACTIVITIES.
10. AN EROSION CONTROL PLAN SHALL BE APPROVED BY MARION COUNTY ENGINEERING PRIOR TO THE PRE-CONSTRUCTION MEETING.

DEMOLITION AND CLEARING NOTES:

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CLEARLY DESIGNATE THE LIMITS OF CONSTRUCTION ON-SITE. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE THE LIMITS OF CONSTRUCTION.
2. THE CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES THAT ARE TO BE SAVED, WHETHER SHOWN IN THE PLANS OR DESIGNATED IN THE FIELD.
3. ALL PRACTICAL AND NECESSARY EFFORT SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT UNNECESSARY TREE REMOVAL.
4. ANY PROPOSED CUT OR FILL MATERIAL TO BE REMOVED OR PLACED WITHIN THE DRIP LINE OF SPECIMEN TREES TO REMAIN, INCLUDING TRENCHING FOR PROPOSED IMPROVEMENTS SUCH AS UTILITIES, WILL REQUIRE THE ADVANCED PRE-TREATMENT OF EACH IMPACTED TREE BY A QUALIFIED ARBORIST OR AT THE DIRECTION OF THE LANDSCAPE ARCHITECT TO MINIMIZE THE POTENTIALLY ADVERSE IMPACTS OF CONSTRUCTION.
5. TREE PROTECTION BARRICADES OR EQUIVALENT PROTECTIVE MEASURES WILL BE CONSTRUCTED ACCORDING TO THE LOCAL JURISDICTION'S CRITERIA FOR TREES TO REMAIN WITHIN THE LIMITS OF CONSTRUCTION.
6. IN AREAS REQUIRING FILL MATERIAL, THE CONTRACTOR SHALL STRIP OR OTHERWISE REMOVE ALL VEGETATION SUCH AS BRUSH, HEAVY SODS, HEAVY GROWTH OF GRASS, DECAYED VEGETATION MATTER, RUBBISH AND ANY OTHER DELETERIOUS MATERIAL BEFORE EMBANKMENT IS PLACED. IMMEDIATELY PRIOR TO THE PLACING OF FILL MATERIAL, THE ENTIRE AREA UPON WHICH FILL IS TO BE PLACED, SHALL BE SCARIFIED IN A DIRECTION APPROXIMATELY PARALLEL TO THE AXIS OF FILL. THE GEOTECHNICAL ENGINEER SHALL APPROVE THE AREA PRIOR TO THE PLACEMENT OF FILL.
7. AN EROSION CONTROL PLAN SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO PRE-CONSTRUCTION MEETING.



LEGEND

- LIMITS OF DISTURBANCE (±1.60 AC)
- DEMO EXISTING PAVEMENT (±4.881 SF)
- DEMO EXISTING CONCRETE PATH (±456 SF)
- DEMO EXISTING "F" CURB (±150 LF)
- DEMO EXISTING "A" CURB (±160 LF)
- EXISTING TREE TO BE PRESERVED. REFER TO SHEET L-1 FOR TREE PROTECTION BARRIER.
- EXISTING TREE TO BE REMOVED
- CONTRACTOR SHALL FIELD VERIFY SIZE AND LOCATION OF ANY EXISTING WELLS. ALL WELLS WITHIN PROJECT LIMITS TO BE ABANDONED BY A FLORIDA LICENSED WATER WELL CONTRACTOR IN ACCORDANCE WITH RULE 40D-3.531(2) F.A.C. (TYP.)

MAJOR SITE PLAN REVISION TO AR #27669

OCALA PRESERVE SOCIAL AMENITY EXISTING CONDITIONS & DEMOLITION PLAN

MARION COUNTY, FL

NO.	DATE	REVISION PER MARION COUNTY COMMENTS
1	02/22/24	REVISION PER MARION COUNTY COMMENTS



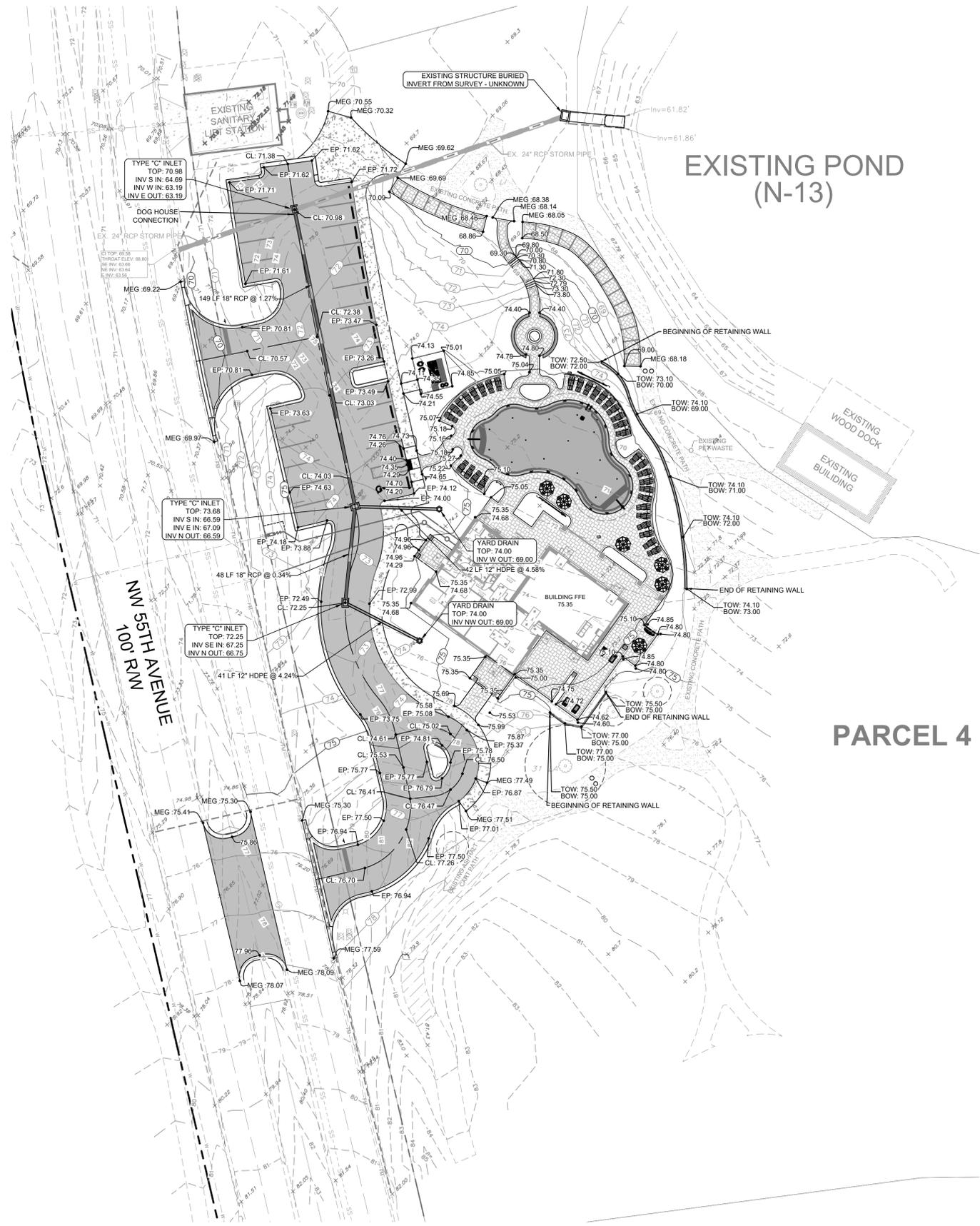
FLORIDA CERTIFICATE OF AUTHORIZATION (LC260005)

DAMON PARRISH, P.E.
FL LICENSE NO. 7145

SET NUMBER: 1143-200-03

SHEET: 04

ATWELL
866.850.4200 www.atwell-group.com
111 N. MAGNOLIA AVE., SUITE 1350
ORLANDO, FL 32801
407.743.3524



LEGEND	
	RIGHT OF WAY LINE
	EASEMENT LINE
	PROPOSED RCP STORM PIPE
	PROPOSED HDPE STORM PIPE
	EXISTING STORM PIPE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	DRAINAGE INLET
	MITERED END SECTION MANHOLE (MH)
	FINISHED GRADE ELEVATION
	TOP/ BOTTOM OF WALL ELEVATION
	MATCH EX. GRADE ELEVATION
	EDGE OF PAVEMENT ELEVATION
	CENTER OF ROAD ELEVATION

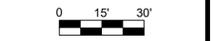
- GENERAL NOTES**
- ALL STORMWATER PIPE JOINTS AND BOX INLETS TO BE WRAPPED WITH FOOT APPROVED FILTER FABRIC PER FDOT INDEX 280.
 - ELEVATIONS SHOWN HEREIN ARE PER NORTH AMERICAN VERTICAL DATUM (NAVD 88).
 - "TYPE C INLETS" SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE FDOT DESIGN STANDARDS INDEX #425-05
 - NATURAL GRADE SHALL BE MAINTAINED WITHIN THE DRIPLINE/CRITICAL ROOT ZONE OF ALL EXISTING TREES TO BE PRESERVED. WHERE CONFLICTS EXIST, CONTRACTOR SHALL COORDINATE WITH A CERTIFIED ARBORIST OR REGISTERED LANDSCAPE ARCHITECT FOR ROOT PRUNING TECHNIQUES AND EXTENTS OF POSSIBLE TIMBER RETAINING WALL.

MAJOR SITE PLAN REVISION TO AR #27669

**Ocala Preserve
Social Amenity**
PAVING, GRADING, DRAINAGE

MARION COUNTY, FL

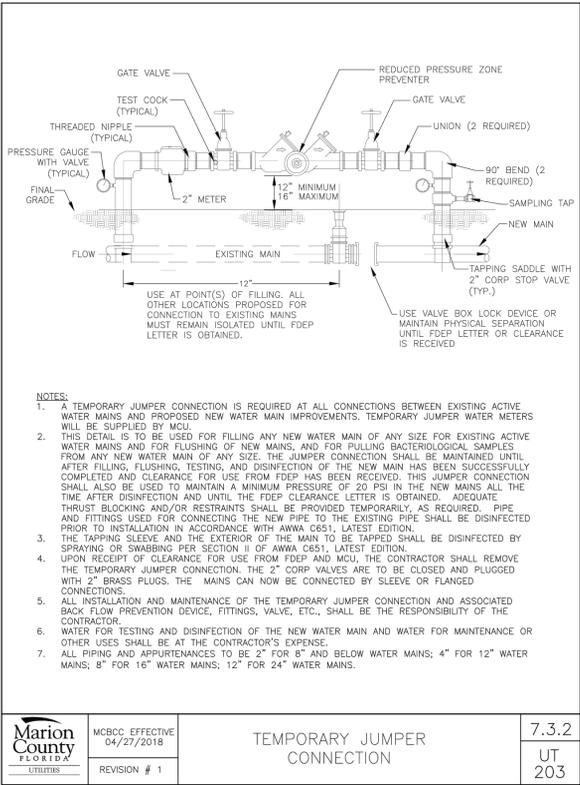
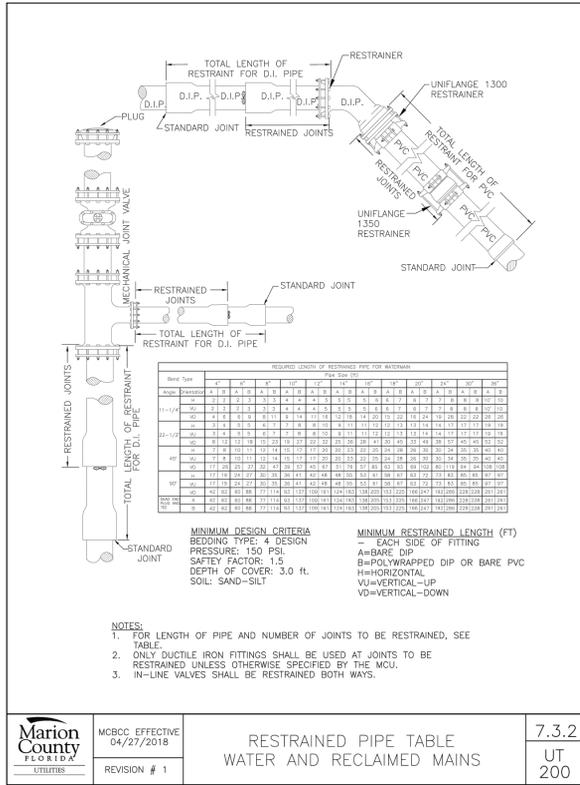
PLAN REVISIONS

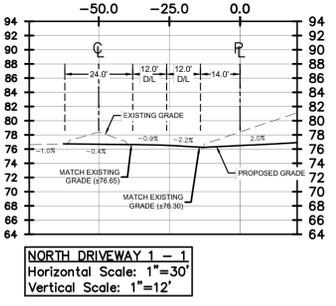
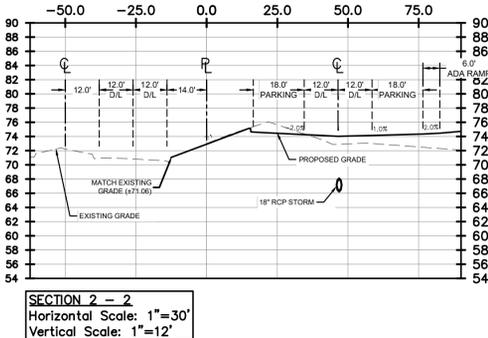
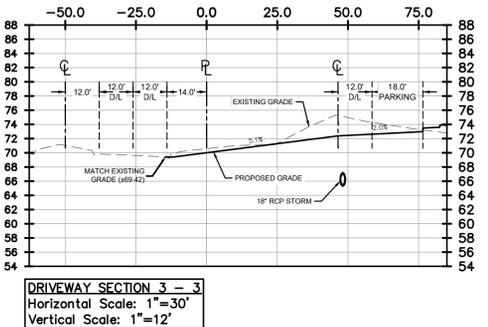
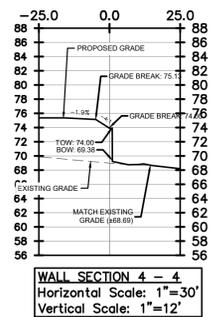
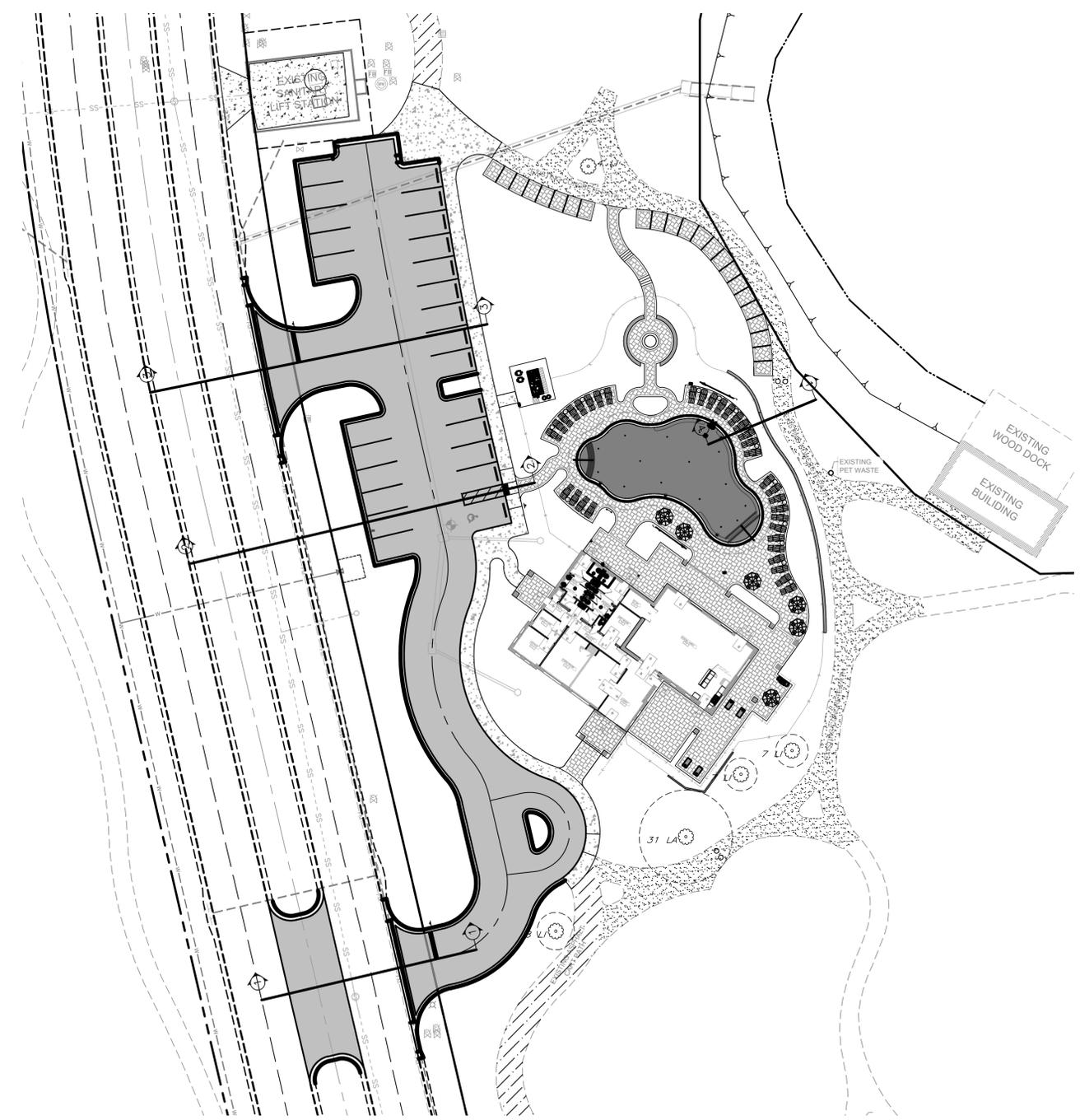
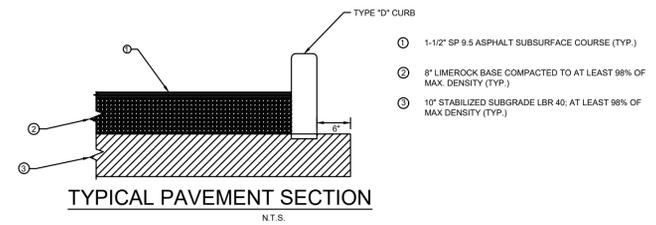


FLORIDA CERTIFICATE OF AUTHORIZATION #LC2600035

DAMON PARRISH, P.E.
FL LICENSING #1314
SET NUMBER: 1143-200-03
SHEET: 08

ATWELL
866.850.4200 www.atwell-group.com
111 N. MAGNOLIA AVE., SUITE 1350
ORLANDO, FL 32801
407.743.3524





MAJOR SITE PLAN REVISION TO AR #27669

**OCALA PRESERVE
SOCIAL AMENITY**
CIVIL DETAILS & CROSS SECTIONS

MARION COUNTY, FL

PLAN REVISIONS

NO.	DATE	REVISION PER MARION COUNTY COMMENTS
1	02/22/24	



FLORIDA CERTIFICATE OF AUTHORIZATION (FC2600035)

DAMON PARRISH, P.E.
FL LICENSING 7143

SET NUMBER: 1143-200-03

SHEET: 11



OCALA PRESERVE SOCIAL AMENITY CODE MINIMUM LANDSCAPE PLANS OCALA, FLORIDA

PROJECT NO: 1143-301-01
DATE: 12/04/2023
DRAWN: BO
REVIEWED: JC

REVISIONS
△ REVISED PER SITE PLAN MODIFICATIONS

CODE MINIMUM LANDSCAPE PLAN

L1

PLANT SCHEDULE L1									
TREES	QTY	BOTANICAL / COMMON NAME	SIZE	CAL	CONT	NATIVE	ZONE		
	9	Quercus virginiana / Live Oak	14'-16"H x 7'-8"S	3.5" CAL	65G	YES	7a-10b		
FLOWERING & FRUIT TREES	QTY	BOTANICAL / COMMON NAME	SIZE	CAL	CONT	NATIVE	ZONE		
	8	Magnolia grandiflora 'D.D. Blanchard' / D.D. Blanchard Magnolia	14'-16"H x 7'-8"S	3.5" CAL	65G	YES	6a-10b		
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	CAL	CONT	NATIVE	ZONE	DRT. TOLERANCE	
	125	Viburnum odoratissimum / Sweet Viburnum	24"H x 18"S	3G	NO	NO	8a-10b		
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	SIZE	CAL	CONT	NATIVE	ZONE	DRT. TOLERANCE	SPACING
	101	Callistemon viminalis 'Little John' / Dwarf Weeping Bottlebrush	18"H x 24"S	3G	NO	NO	6a-10		36" o.c.
	385	Muhlenbergia capillaris / Pink Muhly Grass	24"H x 18"S	3G	YES	YES	5a-9b		42" o.c.
	112	Zamia pumila / Coonice	12"H x 12"S	3G	YES	YES	8b-11a		36" o.c.

MARION COUNTY REQUIREMENTS

- Upon completion of the installation, the contractor shall request an inspection by the design professional. A landscape and irrigation As-Built Certification shall be signed and sealed by the design professional and submitted to the County Landscaper/Arborist prior to the issuance of a Certificate of Occupancy, per Section 6.8.12 of LDC.
- Landscape maintenance shall be in accordance with Section 6.8.13 of LDC.

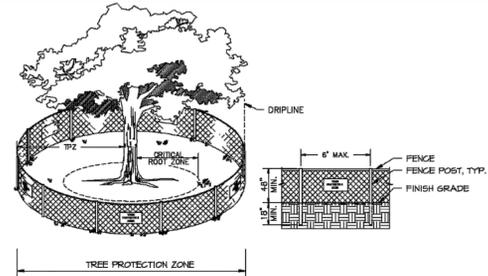
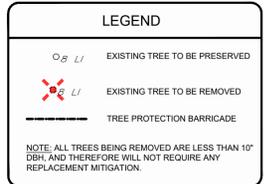
LANDSCAPE CALCULATIONS:
Total Site Area: 1.47 Acres (64,217 SF)
Existing Trees On Site: 42" Laurel Oak (28 27 LA), 21" Laurel Oak (21 LA), 31" Laurel Oak (31 LA)
Shade Tree Credits from Existing Canopy Trees: 6 Shade Trees (Per LDC Sec. 6.7.4 C)
Shade Trees Proposed: 17 (Native: 17 (100%))
Shrubs, Grasses and Groundcover Proposed: 661 (Native: 471 (69%))

- All landscape areas shall be maintained in accordance with the Florida-Friendly Best Management Practices for Protection of Water Resources by the Green Industries, UF/IFAS and FDEP.
- Trees or palms shall be severely pruned or shaped. The natural growth habit of a tree or palm shall be considered during the design phase to avoid maintenance conflicts.
- Trees or palms which are girdled or braced shall have such girdling or bracing removed once sufficient root growth has enabled the tree or palm to support itself. Damaging trees with girdling devices shall be considered a violation of the Code. Damaged trees shall be replaced at the expense of the owner.
- The alteration of any required and approved landscape area without obtaining prior written approval from the County is prohibited. The expansion of drought tolerant landscaping, excluding the replacement of planted areas with turfgrass, or replacing dying or diseased plants with similar plant material is excluded.
- Buffers and screening plantings shall provide healthy appearance year round and be maintained at the required minimum heights.

3. Landscape installation and maintenance shall be in accordance with Section 6.8.15 of the LDC.

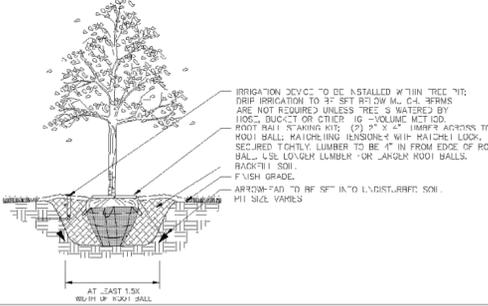
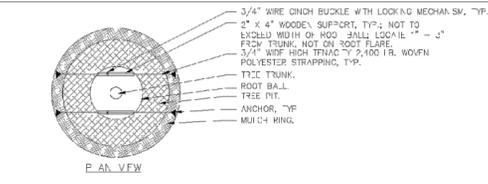
- Landscape installation professionals performing work for hire within the unincorporated areas of Marion County shall be landscape contractors licensed by the Marion County Building Department, unless otherwise licensed by the State of Florida.
- Landscape maintenance professionals performing work for hire within the unincorporated areas of Marion County shall possess current GI-BMP Certificate of Completion.
- Any person providing services for hire regarding any aspect of landscape maintenance that includes the application of fertilizer or pesticide shall meet the applicable state and County licensing and certification requirements included herein.
- An irrigation plan shall be provided prior to issuance of a development order or building permit. All irrigation systems, including temporary, shall comply with the design standards of the Marion County Land Development Code Division 9, Sec. 6.8, and all other state and local statutes that apply, irrigation design and plans by others.

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Total Site Area: 1.47 Acres (64,217 SF)
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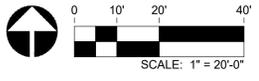


- NOTES:**
- TREE PROTECTION BARRICADES SHALL BE INSTALLED AROUND ALL PROTECTED TREES AND GROUPS OF TREES PRIOR TO ANY CLEARING OR GRADING OPERATIONS, INCLUDING THE REMOVAL OF OTHER TREES.
 - FOR LARGE GROUPS OF TREES, BARRICADES MAY BE PLACED BETWEEN THE PROTECTED TREES AND THE CONSTRUCTION ACTIVITY AREA.
 - BARRICADES SHALL BE MADE OF RIGID MATERIAL CAPABLE OF SURVIVING FOR THE DURATION OF THE CONSTRUCTION.
 - BARRICADES SHALL BE INSPECTED WEEKLY DURING THE DURATION OF CONSTRUCTION AND REPAIRED/RENTAL AS REQUIRED.
 - CLEANING OF EQUIPMENT OR MATERIAL OR THE DISPOSAL OF WASTE MATERIALS, INCLUDING BUT NOT LIMITED TO, PAINT, OIL, SOLVENT, ASPHALT, CONCRETE, AND MORTAR WITHIN THE TREE PROTECTION ZONE (TPZ) OF ANY TREE IS NOT ALLOWED.
 - THE MOVEMENT OF EQUIPMENT OR STORAGE OF EQUIPMENT, MATERIALS, DEBRIS, OR FILL WITHIN THE TPZ OF ANY TREE IS NOT ALLOWED.
 - IF ANY TREE WHICH IS NOT PERMITTED FOR REMOVAL IS DESTROYED, OR RECEIVES MAJOR DAMAGE DURING CONSTRUCTION, WITH THE EXCEPTION OF NATURAL EVENTS, SO AS TO PLACE ITS LONG TERM SURVIVAL IN QUESTION, MUST BE REPLACED AT AN INCH-TO-INCH BASIS OF THE TOTAL (COMBINED) DBH OF THE TREE(S) SO DESTROYED OR DAMAGED. THE REPLACEMENT TREE(S) SHALL BE OF COMPARABLE SPECIES OF THE DESTROYED OR DAMAGED TREE(S) WITH A MINIMUM SIZE OF 3" CALIPER.
 - REQUIRED SIGNS SHALL STATE "TREE PROTECTION ZONE".

B TREE PROTECTION
SCALE: N.T.S.



A TREE INSTALLATION WITH ROOT BALL KIT
SCALE: N.T.S.

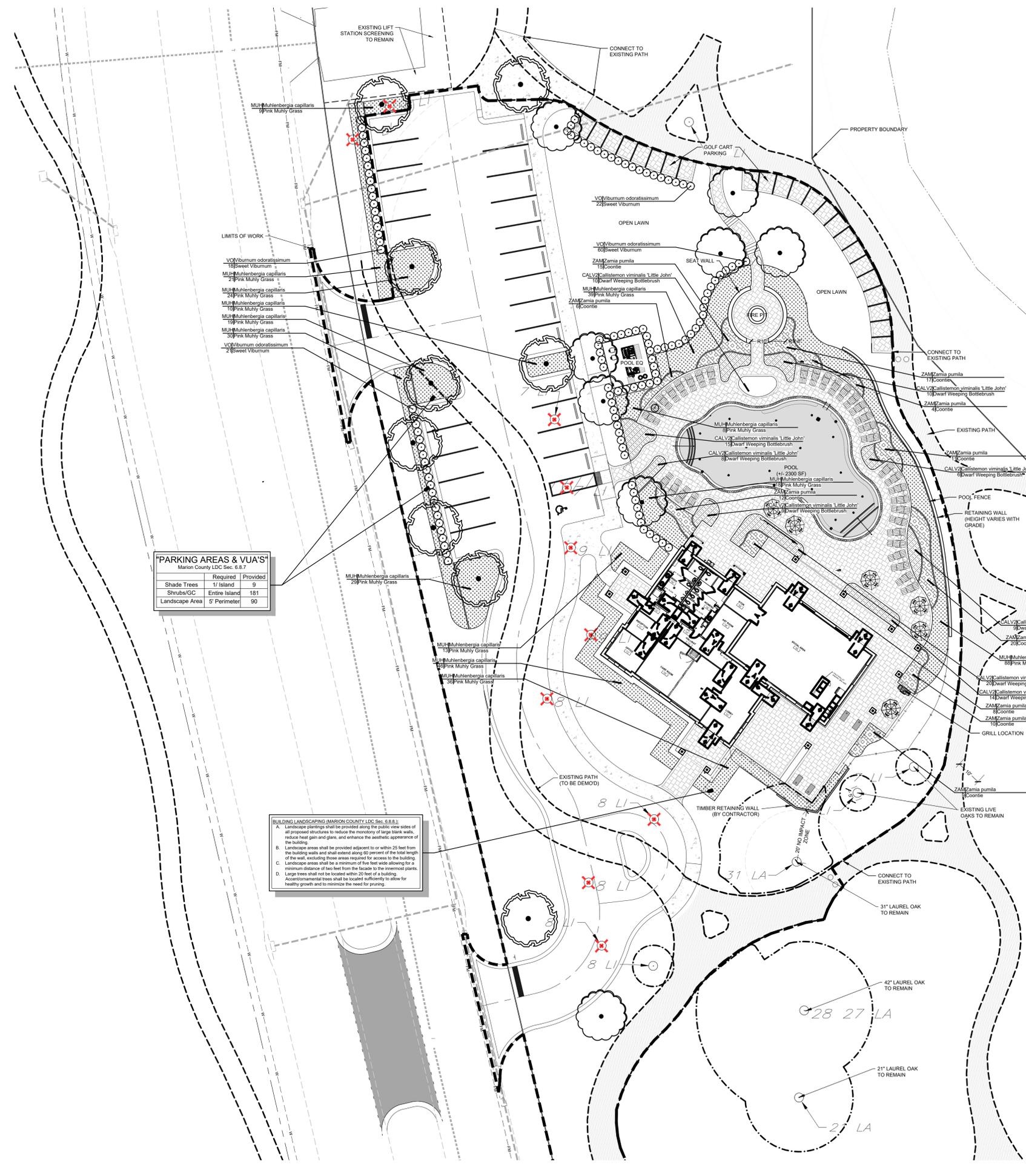


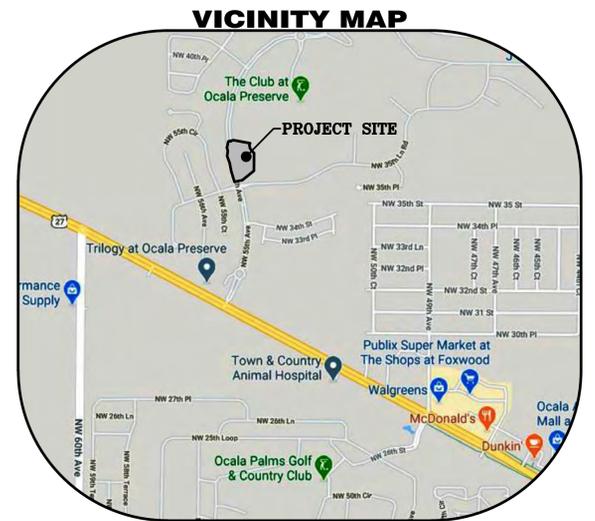
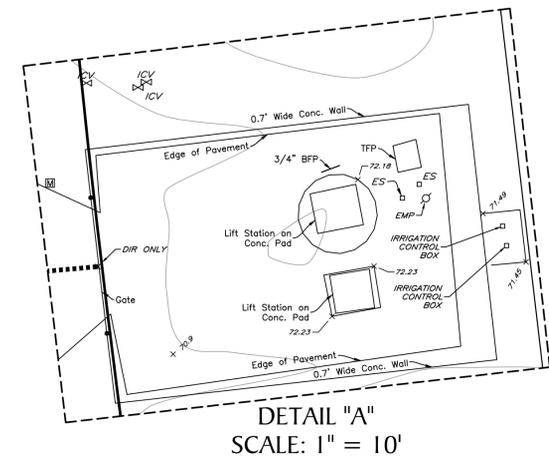
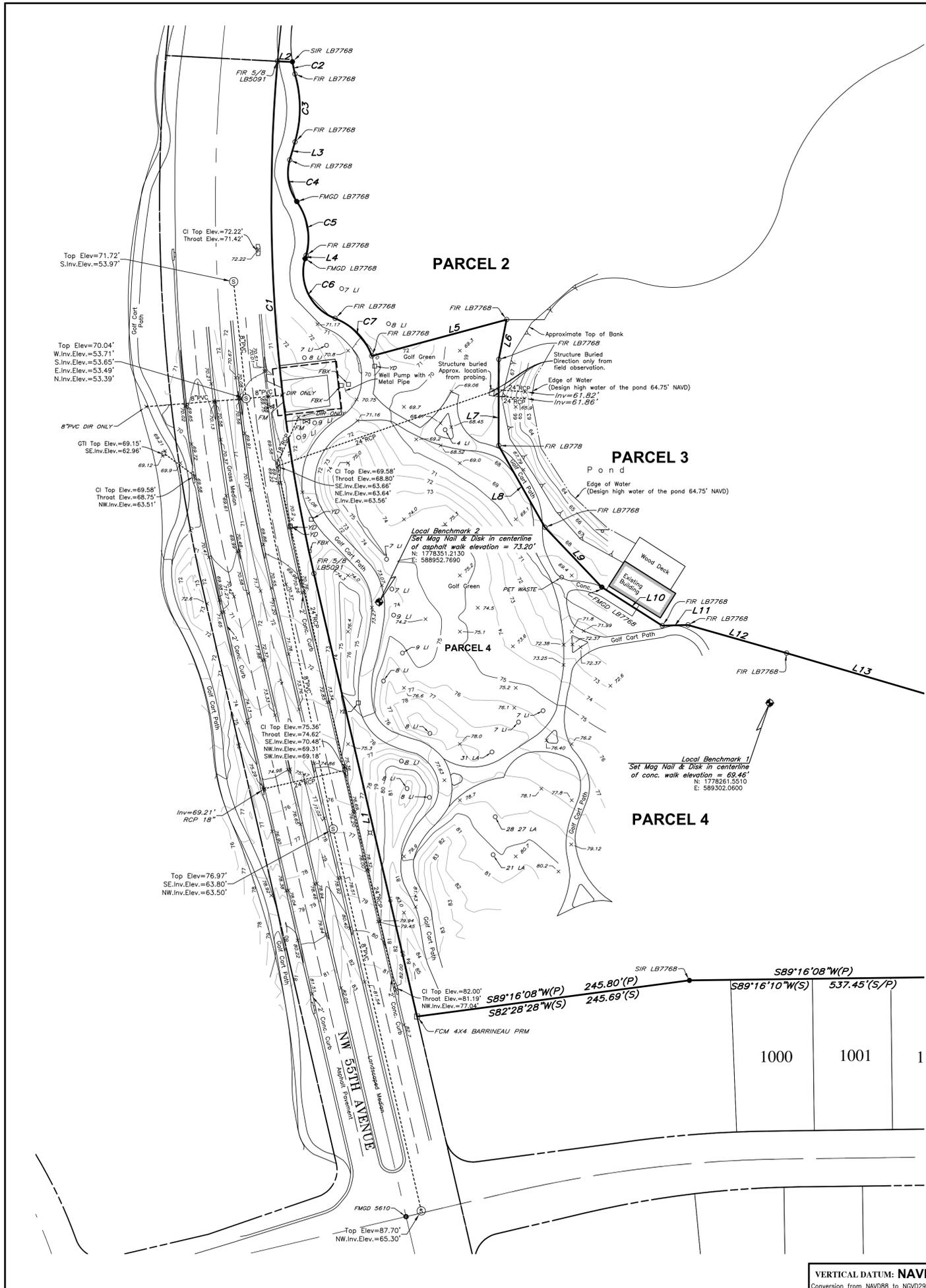
PARKING AREAS & VJUA'S
Marion County LDC Sec. 6.8.7

	Required	Provided
Shade Trees	1/ Island	9
Shrubs/GC	Entire Island	181
Landscape Area	5' Perimeter	90

BUILDING LANDSCAPING (MARION COUNTY LDC Sec. 6.8.8.1)

- Landscape plantings shall be provided along the primary view sides of all proposed structures to reduce the monotony of large blank walls, reduce heat gain and glare, and enhance the aesthetic appearance of the building.
- Landscape areas shall be provided adjacent to or within 25 feet from the building walls and shall extend along 60 percent of the total length of the wall, excluding those areas reserved for access to the building.
- Landscape areas shall be a minimum of five feet wide allowing for a minimum distance of two feet from the facade to the innermost plants.
- Large trees shall not be located within 20 feet of a building. Accessional trees shall be located sufficiently to allow for healthy growth and to minimize the need for pruning.





SURVEY

LINE DATA TABLE

NO.	BEARING	LENGTH
L1	N 13°09'28" W	404.67'
L2	S 87°03'25" E	13.35'
L3	S 16°29'44" W	16.74'
L4	S 15°47'08" W	3.18'
L5	N 74°59'09" E	124.89'
L6	S 11°15'04" W	36.11'
L7	S 00°01'35" W	76.70'
L8	S 29°35'26" E	83.55'
L9	S 43°41'00" E	73.70'
L10	S 57°38'21" E	63.97'
L11	N 88°26'14" E	23.07'
L12	S 74°09'06" E	91.63'
L13	S 73°43'29" E	138.03'

PLAT

LINE DATA TABLE

NO.	BEARING	LENGTH
L1	N 13°09'28" W	404.66'
L2	S 87°03'23" E	13.35'
L3	N 16°29'46" E	15.34'
L4	N 15°47'10" E	3.18'
L5	N 74°59'11" E	124.89'
L6	S 11°15'50" W	36.11'
L7	S 00°01'37" W	76.70'
L8	S 29°35'24" E	83.55'
L9	S 43°40'58" E	73.70'
L10	S 57°38'19" E	63.97'
L11	N 88°26'16" E	23.07'
L12	S 74°09'16" E	91.63'
L13	S 73°43'27" E	138.03'

SURVEY

CURVE DATA TABLE

NO.	RADIUS	DELTA	ARC	CHORD	BEARING
C1	1450.00'	18°08'15"	459.01'	457.10'	N 04°05'20" W
C2	110.07'	5°42'42"	10.97'	10.97'	S 11°49'21" E
C3	106.00'	33°05'01"	61.21'	60.36'	S 00°02'46" E
C4	44.00'	50°33'55"	38.83'	37.58'	S 09°42'03" E
C5	56.00'	51°19'33"	50.17'	48.50'	S 09°52'39" E
C6	44.00'	84°58'50"	65.26'	59.44'	S 26°42'17" E
C7	56.00'	49°27'09"	48.35'	46.86'	S 44°29'17" E

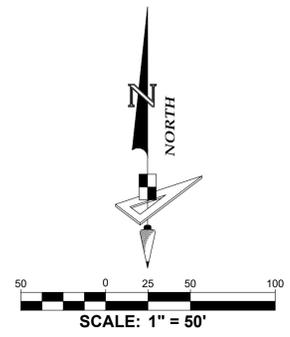
PLAT

CURVE DATA TABLE

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C2	110.07'	5°42'42"	10.97'	10.97'	N 11°49'18" W
C3	106.00'	33°05'01"	61.21'	60.36'	N 00°02'44" W
C4	44.00'	52°23'35"	40.24'	38.85'	N 08°47'12" W
C5	56.00'	51°19'32"	50.16'	48.50'	N 09°52'36" W
C6	44.00'	84°59'46"	65.27'	59.45'	N 26°42'43" W
C7	56.00'	49°27'25"	48.34'	46.85'	N 44°28'53" W

SURVEYOR'S NOTES:

- Current title information on the subject property had not been furnished to GeoPoint Surveying, Inc. at the time of this survey, and is subject to title review and/or abstract. GeoPoint Surveying, Inc. makes no representations or guarantees pertaining to easements, rights-of-way, set back lines, reservations, agreements, and other similar matters.
- This survey is limited to above ground visible improvements along and near the boundary lines, except as shown hereon, and that nothing below the ground was located including, but not limited to foundations (footings), utilities, etc.
- This survey is intended to be displayed at 1" = 50' or smaller.
- All dimensions, unless otherwise noted, are survey dimensions.
- Additions or Deletions to survey maps or reports by other than the signing party or parties is prohibited without the written consent of the signing party or parties.
- The subject parcel lies in Flood Zone "X", according to Flood Insurance Rate Map, Map No. 12083C0502E for Marion County, Community No. 120160, Marion County, Florida, dated April 19, 2017 and issued by the Federal Emergency Management Agency. Lines shown have been digitally translated from DFIRM database information supplied by the FEMA Map Service Center (<https://msc.fema.gov>).
- Elevations shown hereon are based on the North American Vertical Datum of 1988 (NAVD 88) based on National Geodetic Survey Benchmark "D 593", having a published elevation of 61.45 feet (NAVD 88).
- Use of this survey for purposes other than intended, without written verification, will be at the user's sole risk and without liability to the surveyor. Nothing hereon shall be construed to give any rights or benefits to anyone other than those certified to.
- A boundary survey was not performed as part of this topographic survey work. Boundary lines as shown hereon are plotted from the plat Ocala Preserve Golf Course, as recorded in Plat Book 13, Page 23, of the Official Records of Marion County, Florida.
- The Horizontal coordinates as shown hereon refer to the State Plane Coordinate System, North American Horizontal Datum of 1983 (NAD 83-2011 ADJUSTMENT) for the West Zone of Florida.



LEGEND

- ES_□ ----- Electric Switch Box
- Elev ----- Elevation
- ICV_□ ----- Irrigation Control Valve
- SM_○ ----- Sanitary Sewer Manhole
- Conc. ----- Concrete
- Inv ----- Invert Elevation
- FBX ----- Fiber Optic Junction Box
- FM_□ ----- Force Main Gate Valve
- BFP ----- Water Backflow Preventer
- TFP ----- Transformer Pad
- GTI ----- Gate Top Inlet
- X ----- Light Pole
- PVC ----- Polyvinyl Chloride Pipe
- RCP ----- Reinforced Concrete Pipe
- CI ----- Curb Inlet
- YD ----- Yard Drain
- M ----- Water Meter
- Location of reading
- Spot Elevation

TREE LEGEND

- LA ----- LAUREL OAK (DIAMOND OAK)
 - LI ----- LIVE OAK
- NOTE: Trees by nature are irregular in size and shape. Every effort is made to accurately locate trees. The tree size is determined at dia— meter breast height. The tree location is the center of the tree. This location may be different if located from a different direction. All tree locations should be field checked if critical to design.
-

VERTICAL DATUM: NAVD88
Conversion from NAVD88 to NGVD29: +0.93'

PROJECT: TRILOGY PHASE: TOPOGRAPHIC SURVEY DRAWN: LAT DATE: 09/23/22 CHECKED BY: MHC P.CHIEF: CG FIELD BOOK: 32-2022-Pages: 75 DATA FILE: TRILOGY-PIPES.txt		SURVEYOR'S CERTIFICATION I DO HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS & MAPPERS STATED IN RULES 5J-17.051, 5J-17.052, AND 5J-17-053, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.		DATE OF LAST FIELD SURVEY: September 23, 2022	
REVISIONS		NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER		David W. Maxwell FLORIDA PROFESSIONAL SURVEYOR & MAPPER NO. LS7311	
DATE	DESCRIPTION	DRAWN BY	LEAD		
07-15-22	SURVEYOR'S NOTES UPDATE		LEY		
09-23-22	SECOND PIPK. ON THE NORTH AREA		LEY		

Topographic Survey

PREPARED FOR
Forestar (USA) Real Estate Group, Inc
 LOCATED IN
Section 4, Township 15 S, Range 21 E.
 Marion County, Florida

GeoPoint Surveying, Inc.
 213 Hobbs Street
 Tampa, Florida 33619
 www.geo-pointsurvey.com
 Phone: (813) 248-8888
 Fax: (813) 248-2266
 Licensed Business No.: LB 7768

SHEET NUMBER: 01 of 01

FILE PATH: P:\TRIOLOGY\SURVEY\TRIOLOGY_AMENITY-CENTER-TS.DWG PLOTTED BY: DAVID MAXWELL. ON: 9/26/2022 3:30 PM LAST SAVED BY: DMAXWELL. ON: 9/26/2022 3:30 PM