

April 18, 2024

PROJECT NAME: GOLDEN OCALA - WEC NORTH TRAINING FIELDS PHASE 2

PROJECT NUMBER: 2024010079

APPLICATION: MAJOR SITE PLAN #31106

1 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: Verify with Sunbiz. HR

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

- 2 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.4 - Water (potable) Capital Charges and Flow Rates - proposed use identified to calculate
STATUS OF REVIEW: INFO
REMARKS: utility capacity charges will be due prior to any building permit(s) on this plan being released by MCU permitting.
- 3 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.3 - Fire Protection/Fire Flow Capacity
STATUS OF REVIEW: INFO
REMARKS: defer to MCFR
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.21.2.B - Major Site Plan fee of \$1,000..00 + (\$10.00 x total site acreage)
STATUS OF REVIEW: INFO
REMARKS: 2/13/24-fee due with resubmittal - sk
- 5 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 2/13/24-add waivers if requested in the future - sk
- 6 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: 2/13/24-After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder.
- 7 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.20 - Stormwater Infrastructure Supports Phasing
STATUS OF REVIEW: INFO
REMARKS: Stormwater improvements must be in place to support each phase of development at time of phase completion.
- 8 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.5 - Flood Plain & Protection
STATUS OF REVIEW: INFO
REMARKS: Please confirm that a LOMA will be submitted for the FEMA flood plain areas that will be impacted by this project.
- 9 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 10 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.

- 11 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: INFO
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.
- 12 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.4.L(9)(b) - Data Block (Impervious Area)
STATUS OF REVIEW: NO
REMARKS: Please provide data block on the cover sheet detailing the existing and proposed impervious & pervious area in SF, ac, and %. Please include any offsite drainage to your site in the data block.
- 13 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.8 - Topographical Contours
STATUS OF REVIEW: NO
REMARKS: LDC requires that the survey have been performed in the last 12 months. You can apply for a waiver. Since the site is currently under construction, stormwater staff will support the waiver.
- 14 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.B(5) - Hydraulic Analysis
STATUS OF REVIEW: NO
REMARKS: Please clarify how the tailwater elevation for the hydraulic calculations was determined.
- 15 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.
STATUS OF REVIEW: NO
REMARKS: After all stormwater comments are resolved, please upload a digitally signed and sealed report. A hard copy signed and sealed report can be submitted if desired.
- 16 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Marion County Utilities Contact Information
STATUS OF REVIEW: NO
REMARKS: Change cover sheet point of contact from Jody Kirkman to MCU Customer Service 24/7/365
- 17 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities
STATUS OF REVIEW: NO
REMARKS: \$130 review fee - to pay by phone call 352-671-868 & reference Utility Review Fee for AR 31106 prior to resubmittal to clear this checklist item
- 18 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: Additional Fire comments
STATUS OF REVIEW: NO
REMARKS: Under the fire department notes the references to the 7th edition need to be changed to the 8th edition of the FFPC
- 19 DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: 6.2.1.F - North arrow and graphic drawing and written scale
STATUS OF REVIEW: NO
REMARKS: Sheet LC-4 is missing the North Arrow.

- 20 DEPARTMENT: ENGSUR - SURVEY REVIEW
REVIEW ITEM: 2.12.4.F.(2) - Surveyor and Mapper certification
STATUS OF REVIEW: NO
REMARKS: Please provide the Surveyor's certification on the survey itself.
- 21 DEPARTMENT: ENGSUR - SURVEY REVIEW
REVIEW ITEM: 2.12.8 - Provide current boundary and topographic survey less than one year old
STATUS OF REVIEW: NO
REMARKS: Please update survey.
- 22 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 2.12.18 - All trees 10" DBH and larger
STATUS OF REVIEW: NO
REMARKS: Show all existing trees to be removed, other than those previously planted
- 23 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.7.4 - Shade tree requirements
STATUS OF REVIEW: NO
REMARKS: 1. Provide calculations. 2. site area on Landscape plan and cover sheet differ - please clarify
- 24 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.7 - Parking areas and vehicular use areas
STATUS OF REVIEW: NO
REMARKS: 1. Existing Trees (Phase 1) may be impacted by parking areas, adjust parking 2. Waiver required for trailer parking areas with no islands 3. waiver required to for more than 10 spaces without island in vehicle parking 4. waiver required to plant trees on perimeter instead of in islands in vehicle parking.
- 25 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.9.2 - Irrigation plan requirements (details, legend, notes)
STATUS OF REVIEW: NO
REMARKS: Provide irrigation plan
- 26 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.19.3 - Outdoor lighting plan requirements
STATUS OF REVIEW: NO
REMARKS: will there be outdoor lighting? if so, provide a photometric plan
- 27 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: Additional Landscape comments
STATUS OF REVIEW: NO
REMARKS: Tree shown in pavement in NW area



**Marion County
Board of County Commissioners**

AR 31106

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 04/15/24 Parcel Number(s): 12674-001-00 and 21068-002-00 Permit Number: 31106

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Golden Ocala - WEC North Training Fields Phase 2 Commercial Residential
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Mary Roberts - Chairman
Signature: *Mary Roberts*
Mailing Address: 600 Gillam Road City: Wilmington
State: OH Zip Code: 45177 Phone # (352) 402-4368
Email address: mary@roberts-design.com & dustin.owen@rlcarriers.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Tillman & Associates Engineering, LLC Contact Name: George S. Horton, P.E.
Mailing Address: 1720 SE 16th Ave., Bldg. #100 City: Ocala
State: FL Zip Code: 34471 Phone # (352) 387-4540
Email address: permits@tillmaneng.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): _____
Reason/Justification for Request (be specific): _____

DEVELOPMENT REVIEW USE:

Received By: Email 4/15/24 Date Processed: 4/18/24 BM Project # 2024010079 AR # 31106

ZONING USE: Parcel of record: Yes No Eligible to apply for Family Division: Yes No
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes No
Date Reviewed: _____ Verified by (print & initial): _____



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DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Section & Title of Code (be specific) 2.21.1.A - Major Site Plan

Reason/Justification for Request (be specific): request waiver to the order of plan approval to allow site disturbance prior to Major Site Plan approval, subject to the owner moving forward at their own risk and to hold on final inspection until Site Plan is approved. Runoff and receiving facility are internal to project. Waiver previously approved for AR30344

Section & Title of Code (be specific) 2.12.8 - Current survey boundary and topo

Reason/Justification for Request (be specific): Waiver requested from current survey boundary and topo Project is 36 acres amidst a 166 +/- acre parcel. Legal and sketch of description for project boundary shall be provided to Marion County prior to request for final inspection. Waiver previously approved for AR30344

Section & Title of Code (be specific) 6.13.8.B(7) - Minimum Stormwater Pipe Size

Reason/Justification for Request (be specific): A) Requesting approval for major storm system to include 15" RCP provided a hydraulic calculation concludes there is no adverse effect and is included in the stormwater report. b) Requesting approval for storm piping 12" and under be approved for connections beyond the major storm system (i.e. yard and roof drains). Waiver previously approved for AR30344

Section & Title of Code (be specific) Sec. 6.8.7 Parking and Vehicular Use Areas

Reason/Justification for Request (be specific): Waiver requested to eliminate required landscape islands and relocate plantings in said islands due to vehicle maneuvering radius and high profile truck and horse trailers. Waiver requested for more than 10-parking spaces in a row without islands. Required trees from islands will be relocated to the project perimeter.

Section & Title of Code (be specific) Sec. 6.7.4. A - Shade Trees

Reason/Justification for Request (be specific): The post-development ratio of shade trees to the area of the site shall be a minimum of one shade tree per 3,000 square feet. Request waiver since the site was previously calculated and submitted under AR30344. Additionally, all new planted trees exceed the pre-development area ratio. Waiver previously approved for AR30344

Section & Title of Code (be specific) 2.12.24 - Landscape requirements/6.8.6 - Buffering

Reason/Justification for Request (be specific): Request waiver from providing buffer types and sizes. Approved PUD Buffer Plan allows for no buffers between projects within the same Golden Ocala PUD boundary. Waiver previously approved for AR30344

Section & Title of Code (be specific) 2.12.18-- Tree removal-

Reason/Justification for Request (be specific): Request waiver- since the site was previously calculated and submitted under AR 30344. In addition- no trees are being removed

MAJOR SITE PLAN GOLDEN OCALA - W.E.C. NORTH TRAINING FIELDS - PHASE 2



Tillman & Associates
ENGINEERING, LLC
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 16th Ave. Bldg 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545

A PORTION OF SECTIONS 1 & 12, TOWNSHIP 15 SOUTH, RANGE 20 EAST
MARION COUNTY, FLORIDA

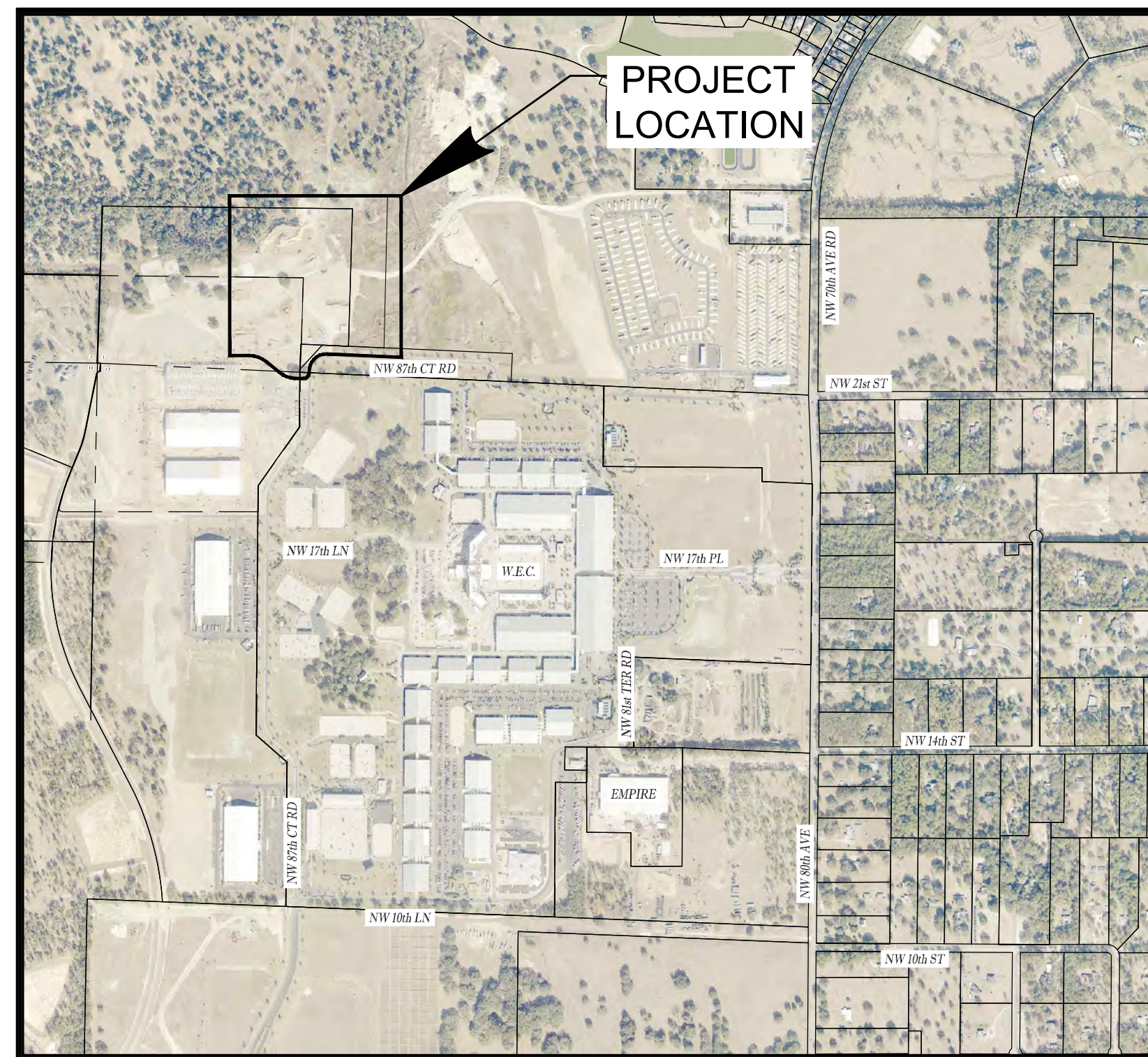
THIS SITE CONTAINS:
PROJECT LIMITS AREA = 36.15 ac
LOCATED IN A PORTION OF PARCEL: #21068-002-00, 12674-001-00
DESCRIPTION OF PURPOSE: PAVEMENT FOR VEHICULAR & PEDESTRIAN ACCESS
FOR OUTDOOR EQUESTRIAN TRAINING FIELDS (BUILT IN PH. 1)
FUTURE LAND USE: WORLD EQUESTRIAN CENTER (W.E.C.)
ZONING: PUD

INDEX OF SHEETS

01.01	COVER SHEET
02.01	GENERAL NOTES
03.01	AERIAL PHOTOGRAPHY
04.01	OVERALL SITE PLAN
05.01-05.02	GEOMETRY PLAN
06.01	MASTER DRAINAGE PLAN
06.02-06.03	GRADING & DRAINAGE PLAN
07.01	DRAINAGE RETENTION AREA DETAILS
08.01-08.02	UTILITY PLAN
09.01	PAVING & GRADING DETAILS
10.01	DRAINAGE DETAILS
13.01-13.02	EROSION CONTROL
S1 - S6	TOPOGRAPHIC SURVEY (PROVIDED BY ROGERS ENGINEERING)
L-1	TREE PRESERVATION AND PROTECTION PLAN
L-2	TREE PLANTING PLAN
L-3	IRRIGATION PLAN
L-4	SITE LIGHTING PLAN

NOTES:

- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE AND THE MARION COUNTY UTILITY MANUAL AS APPLICABLE.
- NW 80th AVENUE IS DESIGNATED A "RURAL COLLECTOR". NW 21st STREET IS A "SECTION/QUARTER-SECTION COLLECTOR."
- BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 120160 PANEL 0484E, EFFECTIVE DATE APRIL 19, 2017, THE PROPERTY DESCRIBED HERON LIES WITHIN FLOOD ZONES "X," "A," AND "AE." - AN AREA WITHIN THE 100-YEAR FLOOD HAZARD AREA.
- DEVELOPMENT OF THE PROPERTY AS SHOWN ON THIS SITE PLAN IS SUBJECT TO THE TERMS AND CONDITIONS OF THE "GOLDEN OCALA DEVELOPMENT OF REGIONAL IMPACT (DRI)" SCALE PROJECT PER MARION COUNTY COMPREHENSIVE PLAN FUTURE LAND USE ELEMENT POLICY 10.6.1, AS MAY BE AMENDED FROM TIME TO TIME, INCLUDING PROVISIONS REGARDING THE CONCURRENCY OF PUBLIC FACILITIES AS MAY BE APPLICABLE, REFERENCE MARION COUNTY OR BOOK 6791, PAGES 105-163 AND 1ST AMENDMENT - BOOK 7388, PAGES 861-903.
- THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.
- ALL UTILITIES UNDER EXISTING OR PROPOSED PAVEMENT SHALL BE SLEEVED IN ACCORDANCE WITH SECTION B.2.6a OF THE MARION COUNTY LAND DEVELOPMENT CODE CRITERIA.
- THIS PROJECT IS LOCATED IN THE SECONDARY SPRINGS PROTECTION ZONE.
- VERTICAL DATA IS BASED ON MARION COUNTY VERTICAL CONTROL POINTS "A 593", PUBLISHED ELEVATION = 129.21, NAVD-88.
- NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE COUNTY ENGINEER.
- FOR EXTERNAL SIGNAGE, PLEASE REFER TO MASTER SIGN PLAN SUBMITTED AS PART OF THE MASTER PLAN PUD DEVELOPED FOR THE GOLDEN OCALA ESTATES AND WEC AREA.
- THE BEARINGS AND DISTANCES FOR THE WETLAND LINES AND THE STATE PLANE COORDINATES FOR THE WETLAND POINTS, ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, FLORIDA WEST ZONE, NAD-83, AND DERIVED FROM THE L-NET NETWORK.
- ALL ROADS AND DRAINS/DRAINAGE EASEMENTS ARE PRIVATELY OWNED AND SHALL BE MAINTAINED BY THE DEVELOPER.
- THE PROJECT WILL NOT BE SUBDIVIDED. THE PROJECT WILL BE PRIVATELY OWNED AND MAINTAINED. THE PROJECT WILL NOT BE PLATTED.
- THE STATE PLANE COORDINATES SHOWN HEREON FOR TWO CORNERS OF THE PROJECT AREA ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, FLORIDA WEST ZONE, NAD-83 AND DERIVED FROM THE L-NET NETWORK. SEE SURVEY.



VICINITY MAP
SCALE: 1" = 1,000'

UTILITY COMPANIES

WATER	MARION COUNTY UTILITIES	JODY KIRKMAN, (352) 307-6000
SEWER	MARION COUNTY UTILITIES	JODY KIRKMAN, (352) 307-6000
ELECTRIC	SECO ENERGY	JERRY BOLDUC, (352) 569-9633
CABLE/PHONE/INTERNET	DIGITAL COMMUNICATION MEDIA	JORGE SANTIAGO, (352) 873-4817
GAS	TECO	CHUCK HUMPHREY, (352) 401-3409

OWNER/APPLICANT:
GOLDEN OCALA EQUESTRIAN LAND, LLC
EQUESTRIAN OPERATIONS, LLC &
ARENA HORSE SHOWS OF OCALA, LLC
CONTACT: MARY ROBERTS, CHAIRMAN
600 GILLAM ROAD
WILMINGTON, OH 45177
PHONE: (352) 402-4368

PREPARED BY:
TILLMAN & ASSOCIATES ENGINEERING, LLC
CONTACT: GEORGE S. HORTON, P.E.
1720 SE 16th AVENUE, BLDG. 100
OCALA, FLORIDA 34471
PHONE: (352) 387-4540, FAX: (352) 387-4545

SURVEYOR:
ROGERS ENGINEERING, LLC
CONTACT: RODNEY K. ROGERS, P.S.M.
1105 SE 3rd AVENUE
OCALA, FLORIDA 34471
PHONE: (352) 622-9214

GEOTECHNICAL CONSULTANT:
GEO-TECH, INC.
CONTACT: CRAIG HAMPY
1016 SE 3rd AVENUE
OCALA, FLORIDA 34471
PHONE: (352) 694-7711

ENVIRONMENTAL:
MODICA & ASSOCIATES, INC.
C/O ELAINE IMBURGLIA, PRESIDENT
302 MOHAWK ROAD
CLERMONT, FL 34715
PHONE (352) 394-2000

SURVEYOR'S CERTIFICATION
I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC) AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS.

RODNEY K. ROGERS, P.S.M.
CERTIFICATE NO. LS 5274
STATE OF FLORIDA

APPLICANT'S/ OWNER'S CERTIFICATION
I HEREBY CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS, SHALL PERPETUALLY OPERATE AND MAINTAIN THE STORMWATER MANAGEMENT AND ASSOCIATED ELEMENTS, IN ACCORDANCE WITH THE SPECIFICATIONS SHOWN HEREIN AND ON THE APPROVED PLAN.

MARY ROBERTS, CHAIRMAN

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED.

GEORGE S. HORTON, P.E.
REGISTERED ENGINEER NO. 62585
STATE OF FLORIDA

REVISIONS	DATE

MAJOR SITE PLAN
GOLDEN OCALA/W.E.C. N. TRAINING FIELDS - PH 2
MARION COUNTY, FLORIDA
COVER SHEET

DATE	02/08/2024
DRAWN BY	RQ
CHKD. BY	GH
JOB NO.	24-9005

SHT. **01.01**

GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF SIZE AND LOCATION OF ALL EXISTING UTILITIES AND RELATED CONSTRUCTION PRIOR TO COMMENCEMENT OF WORK...
2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST STANDARDS OF MARION COUNTY AND FDOT...
3. PAVEMENT STRIPING TO BE IN ACCORDANCE WITH MARION COUNTY SPECIFICATIONS AND WITH THE FLORIDA D.O.T. ROADWAY & TRAFFIC STANDARDS, INDEX 711-001.

PAVING AND DRAINAGE NOTES

- 1. PIPE LENGTHS SHOWN REPRESENT SCALED DISTANCE BETWEEN CENTERLINES OF DRAINAGE STRUCTURES.
2. ALL PAVEMENT RETURN RADI SHALL BE 24" AND MEASURED FROM THE INTERFACE OF THE CONCRETE CURB AND PAVEMENT SURFACE UNLESS OTHERWISE NOTED.
3. DITCH BOTTOM AND CONTROL STRUCTURE INLET GRATES SHALL BE SECURED WITH CHAIN AND EYEBOLT.

SANITARY SEWER NOTES

- 1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE MARION COUNTY MANUAL OF STANDARD SPECIFICATIONS FOR WASTEWATER CONSTRUCTION.
2. ALL SANITARY SEWER CONSTRUCTION AND MATERIALS TO BE PRIVATELY OWNED AND MAINTAINED.
3. ALL MANHOLES SHALL BE 4 FT. INSIDE DIAMETER.
4. PIPE LENGTHS SHOWN REPRESENT SCALED DISTANCES BETWEEN MANHOLE CENTERLINE.

WATER MAIN CONSTRUCTION NOTES

- 1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN COMPLIANCE WITH AWWA STANDARDS AS WELL AS THE MARION COUNTY MANUAL OF STANDARDS AND SPECIFICATIONS FOR WATER MAIN CONSTRUCTION.
2. ALL WATER MAIN CONSTRUCTION AND MATERIALS TO BE PRIVATELY OWNED AND MAINTAINED.
3. SEPARATION REQUIREMENTS (SEE TABLE 1.0 UTILITY SEPARATIONS)
3.1.1. NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST 3' BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER.

FORCE MAIN NOTES

- 1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN COMPLIANCE WITH THE MARION COUNTY MANUAL OF STANDARDS AND SPECIFICATIONS FOR FORCE MAIN CONSTRUCTION.
2. ALL FORCE MAIN CONSTRUCTION AND MATERIALS TO BE PRIVATELY OWNED AND MAINTAINED.
3. PIPE LENGTHS SHOWN IN REPRESENT SCALED DISTANCES BETWEEN FITTINGS OF BRANCHES AND MAINS.

AS-BUILT NOTES

- 1. THE CONTRACTOR SHALL SUBMIT A CERTIFIED SET OF RECORD DRAWINGS TO THE ENGINEER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING INFORMATION ON THE APPROVED PLANS CONCURRENTLY WITH CONSTRUCTION PROGRESS.
2. DRAWINGS SHALL BE LEGIBLY MARKED TO RECORD ACTUAL CONSTRUCTION.
3. DRAWINGS SHALL SHOW ACTUAL LOCATION OF ALL UNDERGROUND AND ABOVE GROUND STRUCTURES, WATER, REUSE AND WASTEWATER PIPING AND RELATED APPURTENANCES.

CLEARANCES

- 1. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING 90 DAYS PRIOR TO THE ANTICIPATED COMPLETION OF CONSTRUCTION AND/OR CERTIFICATION OF COMPLETION APPROVAL DATE.
2. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH SIGNED AND SEALED AS-BUILTS OF ALL UTILITY IMPROVEMENTS, PRESSURE TESTS, BACTERIOLOGICAL TESTS, AND ANY OTHER INFORMATION NECESSARY FOR THE CLEARANCE APPROVALS WITH F.D.E.P. AND THE LOCAL UTILITY PROVIDER.

FORCE MAIN NOTES

- 1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN COMPLIANCE WITH THE MARION COUNTY MANUAL OF STANDARDS AND SPECIFICATIONS FOR FORCE MAIN CONSTRUCTION.
2. ALL FORCE MAIN CONSTRUCTION AND MATERIALS TO BE PRIVATELY OWNED AND MAINTAINED.
3. PIPE LENGTHS SHOWN IN REPRESENT SCALED DISTANCES BETWEEN FITTINGS OF BRANCHES AND MAINS.

FIRE DEPARTMENT

- 1. THE STRUCTURES BEING CONSTRUCTED ON THE PROPERTY WILL BE CONSTRUCTED UNDER THE 7TH EDITION OF FLORIDA FIRE PREVENTION CODE.
2. PER MARION COUNTY CRITERIA: FIRE HYDRANTS MUST BE LOCATED SO AS NOT TO REQUIRE THE LAYING OF MORE THAN FOUR HUNDRED (400) FEET OF HOSE CONNECTED TO SUCH HYDRANT, ALONG THE NEAREST PUBLIC RIGHT-OF-WAY, TO THE CENTER OF ANY BUILDABLE LOT OR PARCEL IN THE DEVELOPMENT.
3. ANY NEW HYDRANTS MUST BE ABLE TO SUPPLY 1000 G.P.M. OF WATER AT 20 P.S.I. AT ANY TIME OF THE DAY.

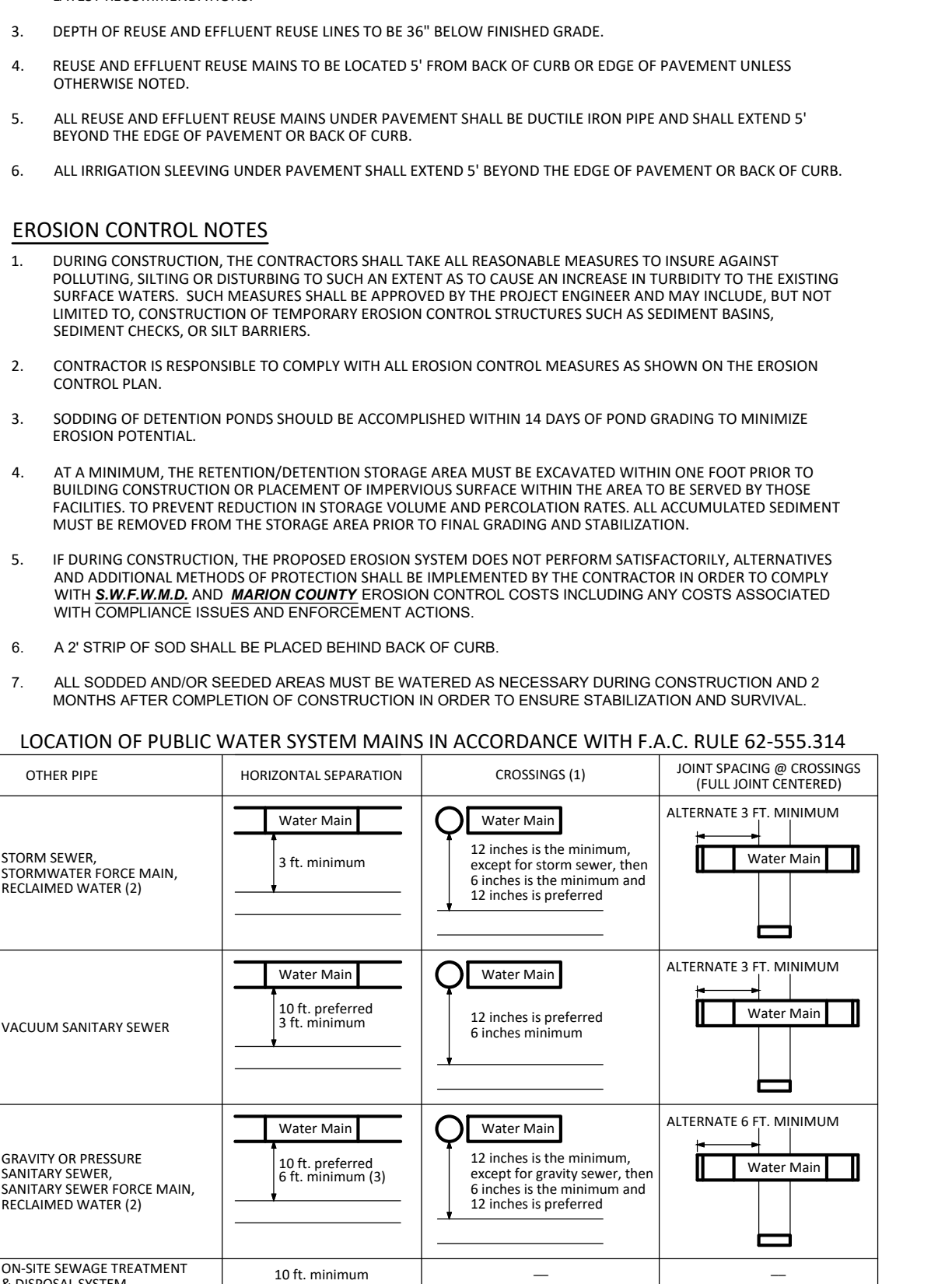
REUSE NOTES

- 1. ALL IRRIGATION, REUSE AND EFFLUENT REUSE PIPING TO BE PRIVATELY OWNED AND MAINTAINED SHALL BE A SOLID PURPLE COLOR.
2. REUSE AND EFFLUENT REUSE MAINS SHALL BE PVC CONFORMING TO AWWA C900, OR 18 FOR PIPE SIZES 4"-12", PIPES 14" & LARGER SHALL BE AWWA C905, DR 18 IN ALL APPLICATIONS.
3. DEPTH OF REUSE AND EFFLUENT REUSE LINES TO BE 36" BELOW FINISHED GRADE.

EROSION CONTROL NOTES

- 1. DURING CONSTRUCTION, THE CONTRACTORS SHALL TAKE ALL REASONABLE MEASURES TO INSURE AGAINST POLLUTING, SILTING OR DISTURBING TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO THE EXISTING SURFACE WATERS.
2. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL EROSION CONTROL MEASURES AS SHOWN ON THE EROSION CONTROL PLAN.
3. SOODING OF DETENTION PONDS SHOULD BE ACCOMPLISHED WITHIN 14 DAYS OF POND GRADING TO MINIMIZE EROSION POTENTIAL.

LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555-314



- 1. WATER MAIN SHOULD CROSS ABOVE OTHER PIPE. WHEN WATER MAIN WILL BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
2. RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
3. 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
4. RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

AS-BUILT NOTES

- 1. THE CONTRACTOR SHALL SUBMIT A CERTIFIED SET OF RECORD DRAWINGS TO THE ENGINEER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING INFORMATION ON THE APPROVED PLANS CONCURRENTLY WITH CONSTRUCTION PROGRESS.
2. DRAWINGS SHALL BE LEGIBLY MARKED TO RECORD ACTUAL CONSTRUCTION.
3. DRAWINGS SHALL SHOW ACTUAL LOCATION OF ALL UNDERGROUND AND ABOVE GROUND STRUCTURES, WATER, REUSE AND WASTEWATER PIPING AND RELATED APPURTENANCES.

CLEARANCES

- 1. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING 90 DAYS PRIOR TO THE ANTICIPATED COMPLETION OF CONSTRUCTION AND/OR CERTIFICATION OF COMPLETION APPROVAL DATE.
2. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH SIGNED AND SEALED AS-BUILTS OF ALL UTILITY IMPROVEMENTS, PRESSURE TESTS, BACTERIOLOGICAL TESTS, AND ANY OTHER INFORMATION NECESSARY FOR THE CLEARANCE APPROVALS WITH F.D.E.P. AND THE LOCAL UTILITY PROVIDER.

TABLE 3.0 - STORM PIPE COVER (RIGID PAVEMENT)

Table with 2 columns: PIPE TYPE/SIZE & SHAPE, MINIMUM COVER. Rows include CONCRETE, CORRUGATED STEEL, CORRUGATED ALUMINUM, CORRUGATED POLYETHYLENE, POLYVINYL CHLORIDE.

*FOR PIPE CLASS "S" WITH DIAMETERS OF 12" TO 30", THE MINIMUM HEIGHT OF FILL IS 3'.

TABLE 2.0 - STORM PIPE COVER (UNPAVED)

Table with 3 columns: PIPE TYPE/SIZE & SHAPE, COMMERCIAL, NON-COMMERCIAL. Rows include CONCRETE, CORRUGATED STEEL, CORRUGATED ALUMINUM, CORRUGATED POLYETHYLENE, POLYVINYL CHLORIDE.

*FOR PIPE CLASS "S" WITH DIAMETERS OF 12" TO 30", THE MINIMUM HEIGHT OF FILL IS 3'.

TABLE 4.0 - STORM PIPE COVER (FLEXIBLE PAVEMENT)

Table with 3 columns: PIPE TYPE/SIZE & SHAPE, COMMERCIAL, NON-COMMERCIAL. Rows include CONCRETE, CORRUGATED STEEL, CORRUGATED ALUMINUM, CORRUGATED POLYETHYLENE, POLYVINYL CHLORIDE.

*FOR PIPE CLASS "S" WITH DIAMETERS OF 12" TO 30", THE MINIMUM HEIGHT OF FILL IS 3'.

Tillman & Associates ENGINEERING, LLC. CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL 1720 SE 16th Ave. Bldg 100, Ocala, FL 34471 Office: (352) 387-4540 Fax: (352) 387-4545

REVISIONS table with columns for DATE, REVISIONS, and a grid for tracking changes.

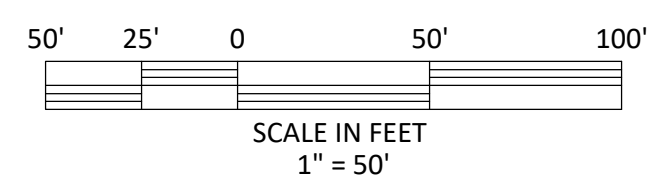
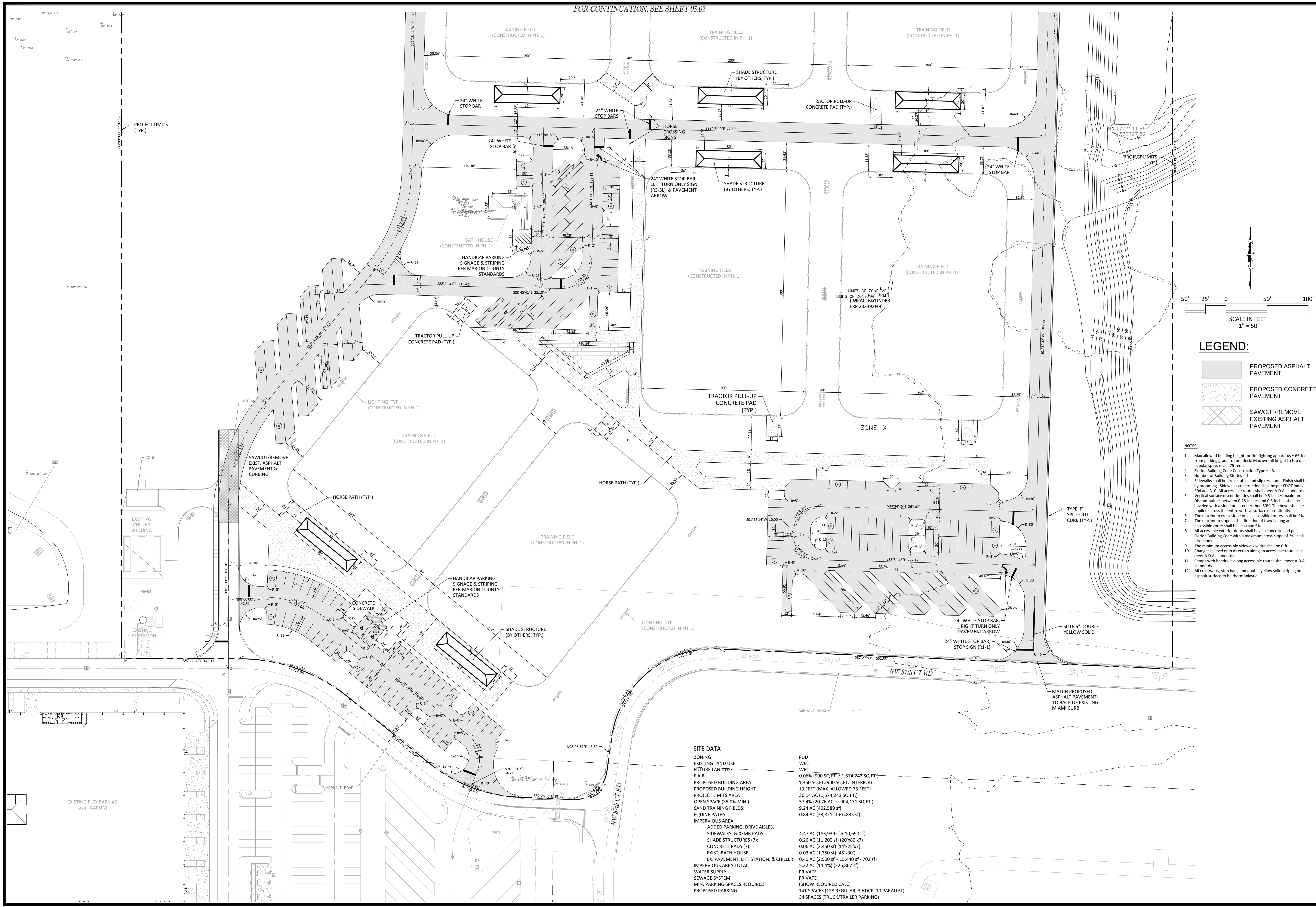
MAJOR SITE PLAN GOLDEN Ocala/W.E.C. N. TRAINING FIELDS - PH 2 MARION COUNTY, FLORIDA GENERAL NOTES

DATE 02/08/2024 DRAWN BY RQ CHECKED BY GH JOB NO. 24-9005

VALUES SHOWN IN PARENTHESES () ARE FOR 3" X 1" CORRUGATIONS WHICH MUST BE SPECIFIED TO UTILIZE THE LESSER COVER. VALUES SHOWN IN BRACKETS [] APPLY TO TYPE 1-R (SPIRAL RIB) PIPE WHICH MUST BE SPECIFIED TO UTILIZE THE LESSER COVER.

SHT. 02.01

FOR CONTINUATION, SEE SHEET 05.02



- LEGEND:**
- PROPOSED ASPHALT PAVEMENT
 - PROPOSED CONCRETE PAVEMENT
 - SAWCUT/REMOVE EXISTING ASPHALT PAVEMENT

- NOTES:**
1. Max allowed building height for fire fighting apparatus = 65-feet from parking grade to roof deck. Max overall height to top of cupola, spire, etc = 75-feet.
 2. Florida Building Code Construction Type = IB.
 3. Number of Building Stories = 1.
 4. Sidewalks shall be firm, stable, and slip resistant. Finish shall be by brooming. Sidewalk construction shall be per FDOT section 304 and 310. All accessible routes shall meet A.D.A. standards. Vertical surface discontinuities shall be 0.5-inches maximum. Discontinuities between 0.25-inches and 0.5-inches shall be beveled with a slope not steeper than 50%. The bevel shall be applied across the entire vertical surface discontinuity.
 5. The maximum cross-slope on all accessible routes shall be 2%.
 6. The maximum slope in the direction of travel along an accessible route shall be less than 5%.
 7. All accessible exterior doors shall have a concrete pad per Florida Building Code with a maximum cross-slope of 2% in all directions.
 8. The minimum accessible sidewalk width shall be 6-ft.
 9. Changes in level or in direction along an accessible route shall meet A.D.A. standards.
 10. Ramps with handrails along accessible routes shall meet A.D.A. standards.
 11. All crosswalks, stop bars, and double yellow solid striping on asphalt surface to be thermoplastic.

SITE DATA	
ZONING	PUD
EXISTING LAND USE	WEC
FUTURE LAND USE	WEC
F.A.R.	0.06% (900 SQ.FT. / 1,574,243 SQ.FT.)
PROPOSED BUILDING AREA	1,350 SQ.FT. (900 SQ.FT. INTERIOR)
PROPOSED BUILDING HEIGHT	13 FEET (MAX. ALLOWED 75 FEET)
PROJECT LIMITS AREA	36.14 AC (1,574,243 SQ.FT.)
OPEN SPACE (35.0% MIN.)	57.4% (20.76 AC or 904,131 SQ.FT.)
SAND TRAINING FIELDS:	9.24 AC (402,589 sf)
EQUINE PATHS:	0.84 AC (33,821 sf + 6,835 sf)
IMPERVIOUS AREA:	
ADDED PARKING, DRIVE AISLES, SIDEWALKS, & XFRM PADS:	4.47 AC (183,939 sf + 10,690 sf)
SHADE STRUCTURES (7):	0.26 AC (11,200 sf) (20'x80'x7)
CONCRETE PADS (7):	0.06 AC (2,450 sf) (14'x25'x7)
EXIST. BATH HOUSE:	0.03 AC (1,350 sf) (45'x30')
EX. PAVEMENT, LIFT STATION, & CHILLER:	0.40 AC (1,500 sf + 15,440 sf - 702 sf)
IMPERVIOUS AREA TOTAL:	5.22 AC (14.4%) (226,867 sf)
WATER SUPPLY:	PRIVATE
SEWAGE SYSTEM:	PRIVATE
MIN. PARKING SPACES REQUIRED:	(SHOW REQUIRED CALC)
PROPOSED PARKING:	141 SPACES (128 REGULAR, 3 HDCP, 10 PARALLEL) 34 SPACES (TRUCK/TRAILER PARKING)

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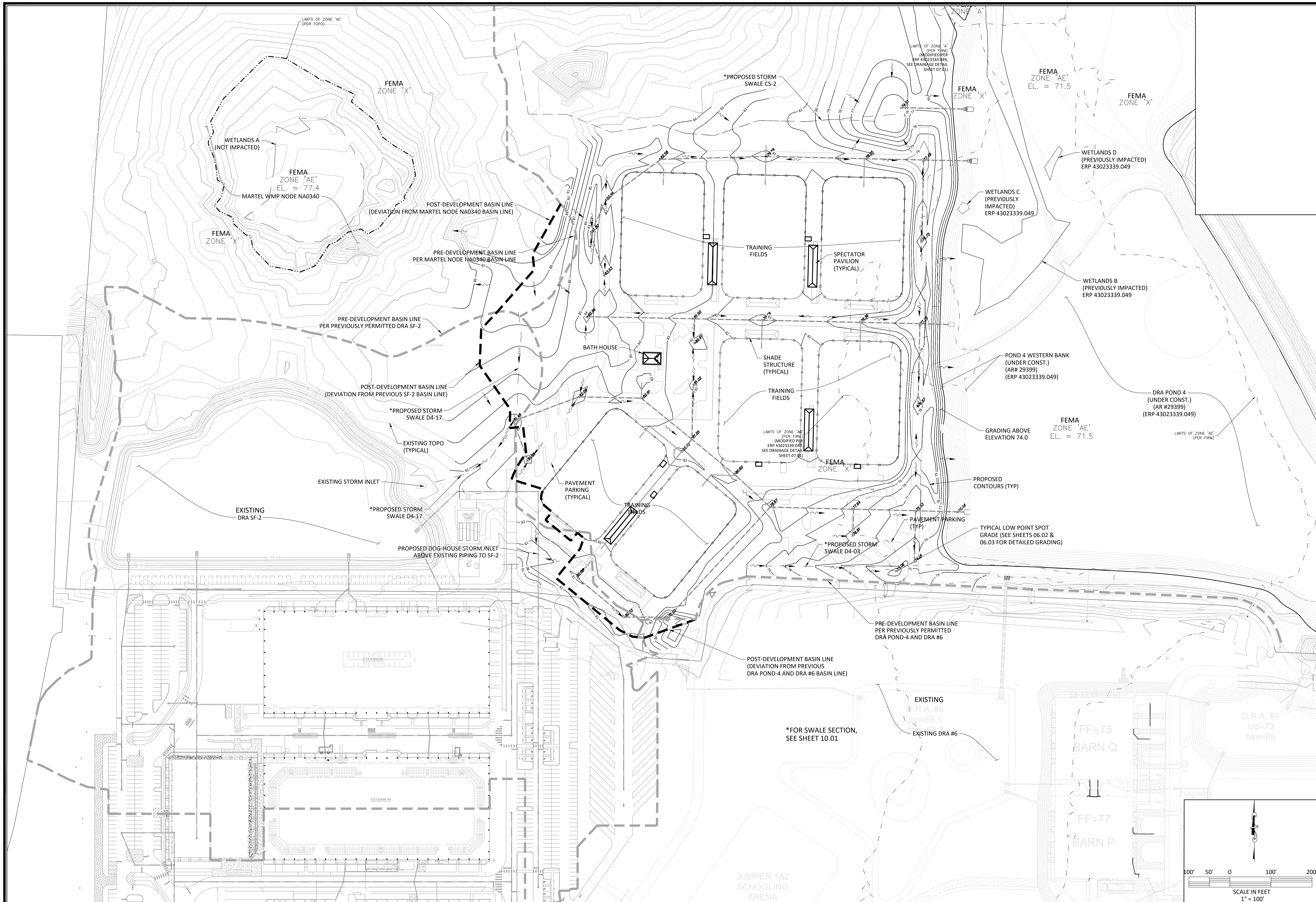
REVISIONS	DATE

MAJOR SITE PLAN
GOLDEN OCALA/W.E.C. N. TRAINING FIELDS - PH 2
MARION COUNTY, FLORIDA

GEOMETRY PLAN

DATE 24/08/2024
DRAWN BY RQ
CHKD. BY GH
JOB NO. 24-9005

SHT. **05.01**



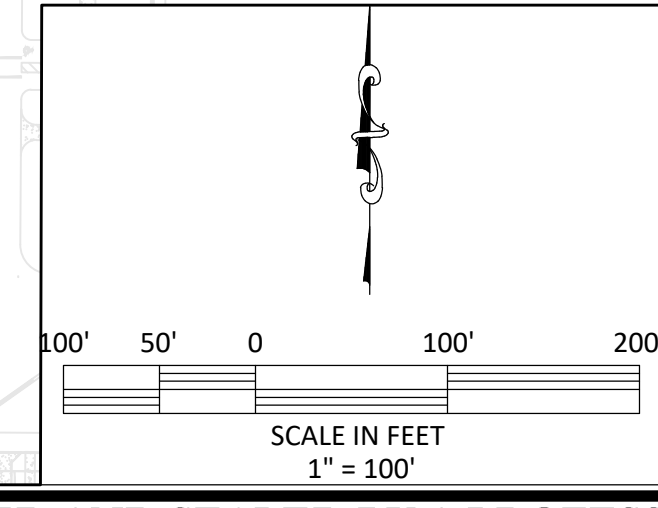
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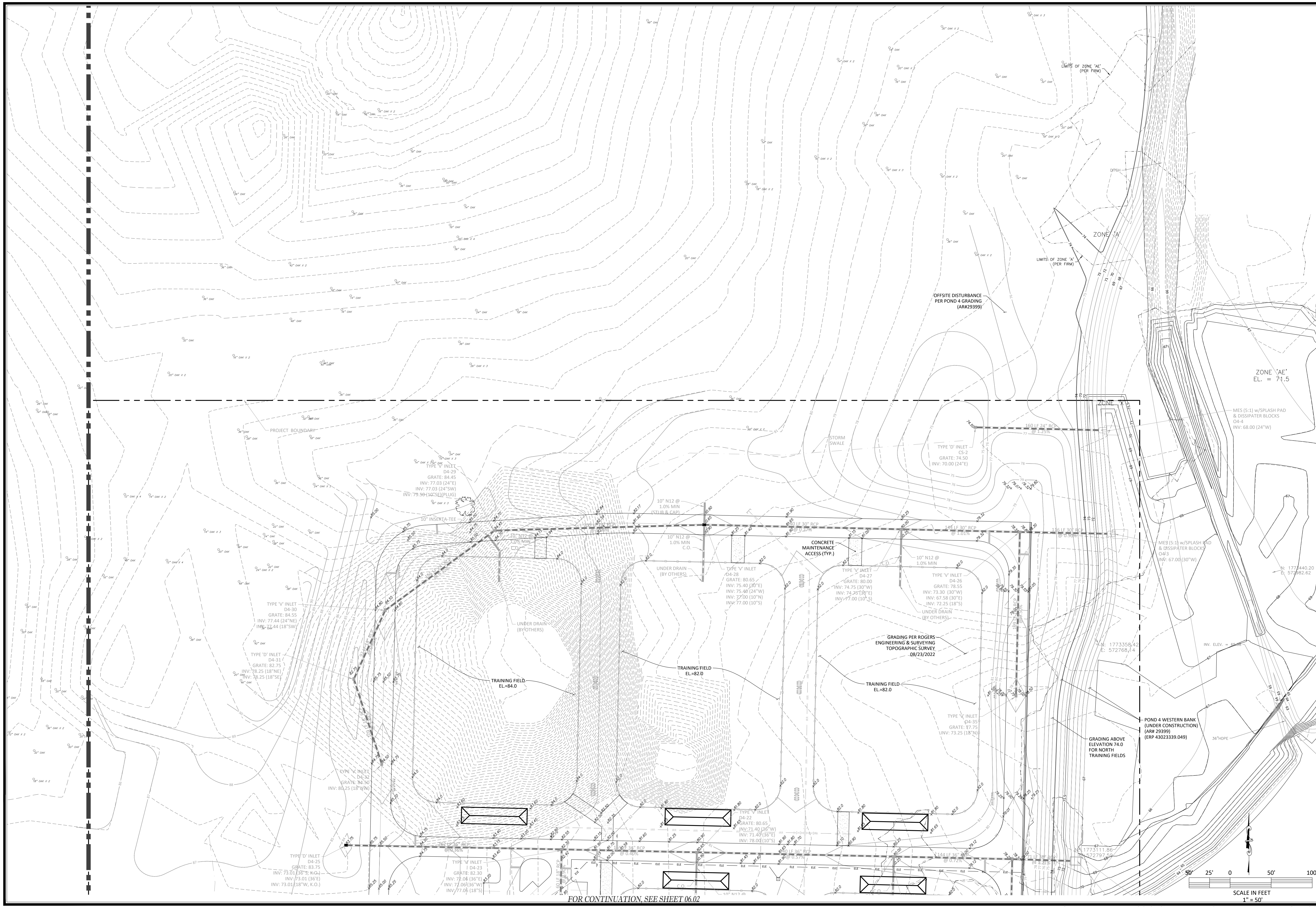
MAJOR SITE PLAN
 GOLDEN OCALA WEC - NORTH TRAINING FIELD - PH.1
 MARION COUNTY, FLORIDA
MASTER DRAINAGE PLAN

DATE 2/9/24
 DRAWN BY HB
 CHKD. BY GH
 JOB NO. 22-8157

SHT. 06.01



NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



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NO.	DATE	REVISIONS

MAJOR SITE PLAN
 GOLDEN OCALA/W.E.C. N. TRAINING FIELDS - PH 2
 MARION COUNTY, FLORIDA

GRADING & DRAINAGE PLAN

DATE 02/08/2024
 DRAWN BY RQ
 CHKD. BY GH
 JOB NO. 24-9005

SHT. 06.03

FLOODPLAIN STORAGE VOLUME: PRE-DEVELOPMENT TO CURRENT CONDITION COMPARISON

Post - NTF / Pond 4 Grading (Current Conditions of WMP Node A0590)
POST DEVELOPED

AREA & STAGE STORAGE VOLUME

Stage-Storage Volume @ 100-Yr Stage 71.50 = 117.63 ac-ft

Stage (ft)	Area (ac)	Area (sq-ft)	Stor. Vol. (ac-ft)	BTM
64.55	13.54	589921	0.00	
65.00	13.74	598490	6.14	
66.00	14.13	615478	20.07	
67.00	15.71	684419	34.99	
68.00	16.85	734012	51.28	
69.00	18.18	791872	68.79	
70.00	19.22	837307	87.49	
71.00	20.43	890114	107.32	
71.50	20.80	906014	117.63	FIRM 100-YR STAGE

Pre-Pond 4 ERP 23339.049 (See DRA DETAILS sheet for area A0590)
PRE-DEVELOPED

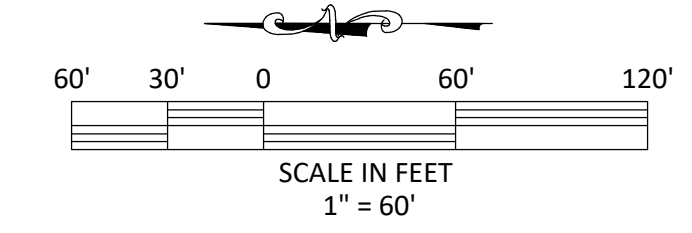
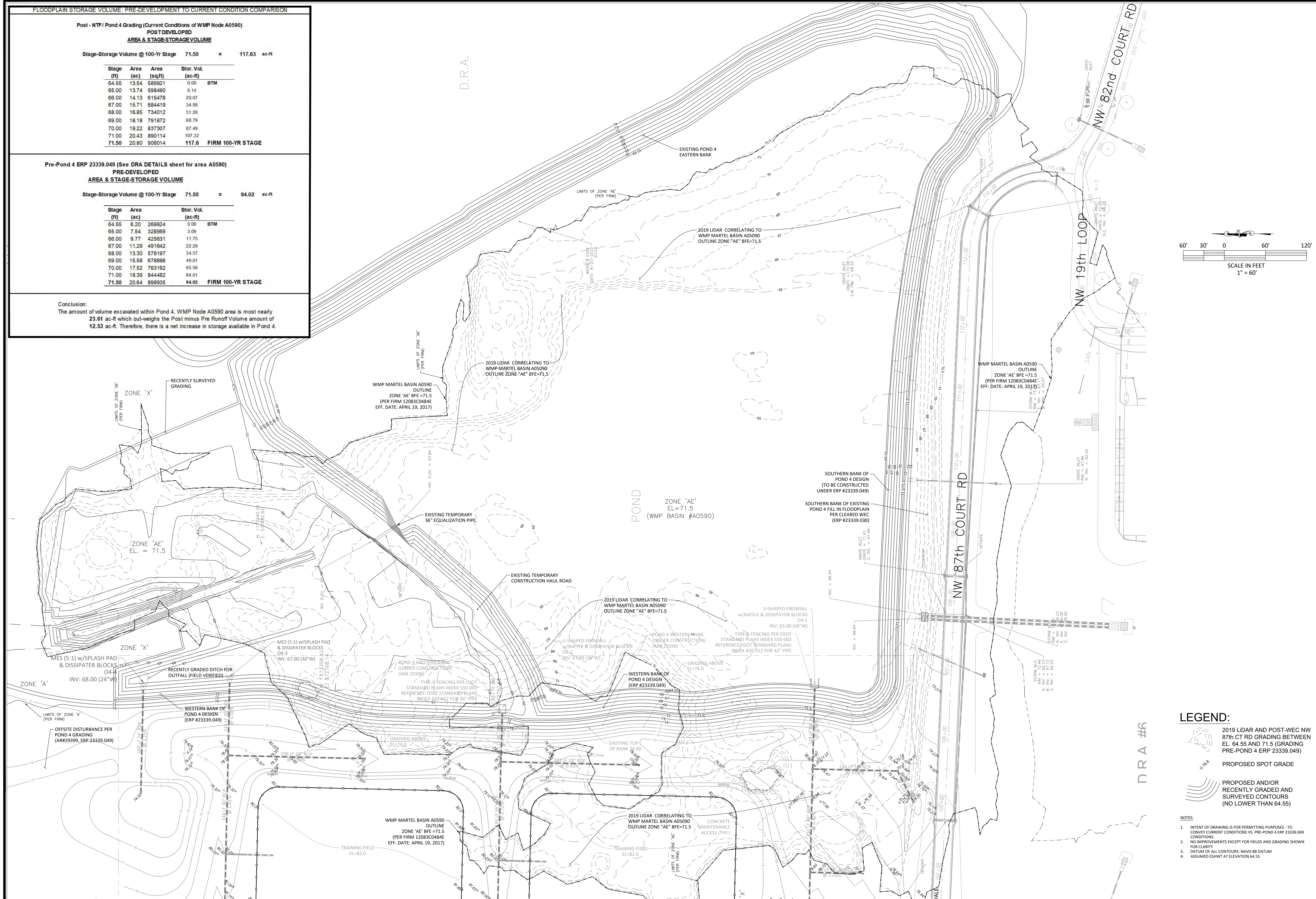
AREA & STAGE STORAGE VOLUME

Stage-Storage Volume @ 100-Yr Stage 71.50 = 94.02 ac-ft

Stage (ft)	Area (ac)	Area (sq-ft)	Stor. Vol. (ac-ft)	BTM
64.55	6.20	269924	0.00	
65.00	7.54	328569	3.09	
66.00	9.77	425631	11.75	
67.00	11.29	491642	22.28	
68.00	13.30	579197	34.57	
69.00	15.58	678696	49.01	
70.00	17.52	763192	65.56	
71.00	19.39	844482	84.01	
71.50	20.64	898935	94.02	FIRM 100-YR STAGE

Conclusion:

The amount of volume excavated within Pond 4, WMP Node A0590 area is most nearly 23.61 ac-ft which out-weighs the Post minus Pre Runoff Volume amount of 12.53 ac-ft. Therefore, there is a net increase in storage available in Pond 4.



LEGEND:

- 2019 LIDAR AND POST-WEC NW 87th CT RD GRADING BETWEEN EL. 64.55 AND 71.5 (GRADING PRE-POND 4 ERP 23339.049)
- PROPOSED SPOT GRADE
- PROPOSED AND/OR RECENTLY GRADED AND SURVEYED CONTOURS (NO LOWER THAN 64.55)

NOTES:

- INTENT OF DRAWING IS FOR PERMITTING PURPOSES - TO CONVEY CURRENT CONDITIONS VS. PRE-POND 4 ERP 23339.049 CONDITIONS.
- NO IMPROVEMENTS EXCEPT FOR FIELDS AND GRADING SHOWN FOR CLARITY.
- DATUM OF ALL CONTOURS: NAVD-88 DATUM
- ASSUMED ESWHT AT ELEVATION 64.55

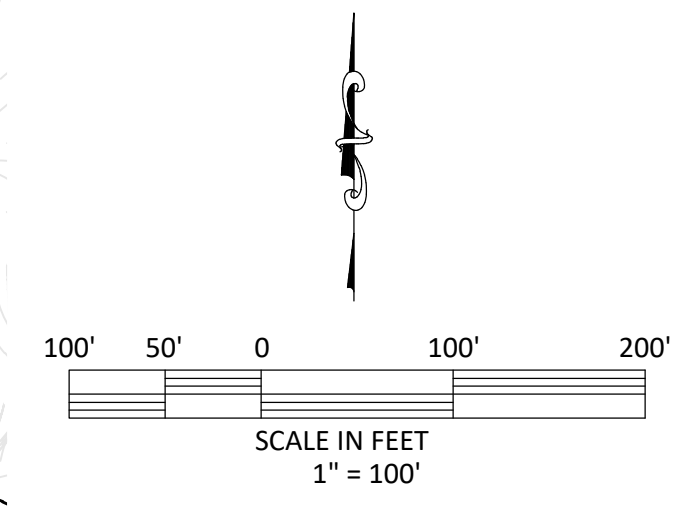
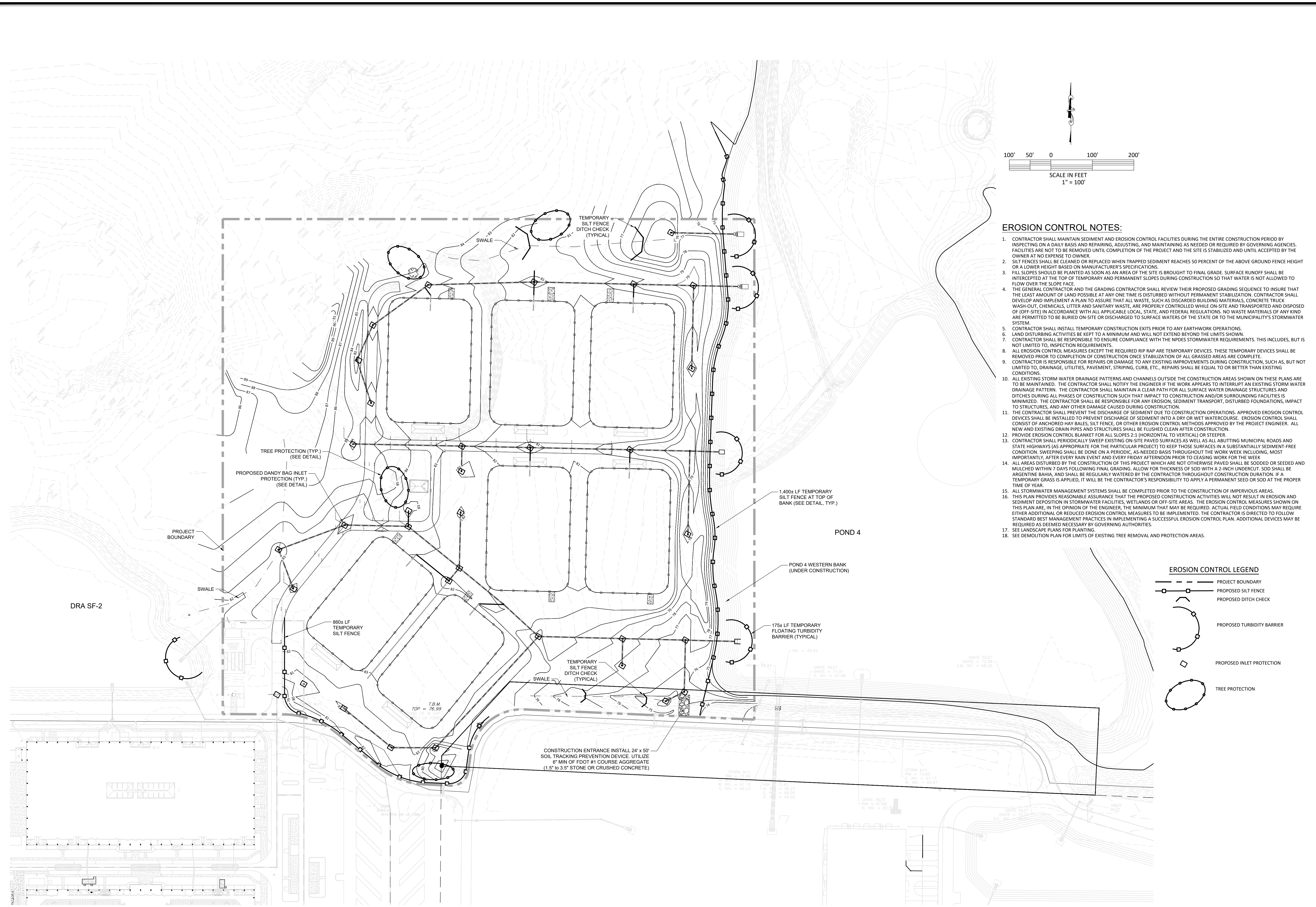
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NO.	DATE	REVISIONS

MAJOR SITE PLAN
GOLDEN Ocala/W.E.C. N. TRAINING FIELDS - PH 2
MARION COUNTY, FLORIDA
**DRAINAGE RETENTION
AREA (DRA) DETAIL**

DATE 02/09/2024
DRAWN BY RQ
CHKD. BY GH
JOB NO. 24-9005

SHT. 07.01



EROSION CONTROL NOTES:

1. CONTRACTOR SHALL MAINTAIN SEDIMENT AND EROSION CONTROL FACILITIES DURING THE ENTIRE CONSTRUCTION PERIOD BY INSPECTING ON A DAILY BASIS AND REPAIRING, ADJUSTING, AND MAINTAINING AS NEEDED OR REQUIRED BY GOVERNING AGENCIES. FACILITIES ARE NOT TO BE REMOVED UNTIL COMPLETION OF THE PROJECT AND THE SITE IS STABILIZED AND UNTIL ACCEPTED BY THE OWNER AT NO EXPENSE TO OWNER.
2. SILT FENCES SHALL BE CLEANED OR REPLACED WHEN TRAPPED SEDIMENT REACHES 50 PERCENT OF THE ABOVE GROUND FENCE HEIGHT OR A LOWER HEIGHT BASED ON MANUFACTURER'S SPECIFICATIONS.
3. FILL SLOPES SHOULD BE PLANTED AS SOON AS AN AREA OF THE SITE IS BROUGHT TO FINAL GRADE. SURFACE RUNOFF SHALL BE INTERCEPTED AT THE TOP OF TEMPORARY AND PERMANENT SLOPES DURING CONSTRUCTION SO THAT WATER IS NOT ALLOWED TO FLOW OVER THE SLOPE FACE.
4. THE GENERAL CONTRACTOR AND THE GRADING CONTRACTOR SHALL REVIEW THEIR PROPOSED GRADING SEQUENCE TO INSURE THAT THE LEAST AMOUNT OF LAND POSSIBLE AT ANY ONE TIME IS DISTURBED WITHOUT PERMANENT STABILIZATION. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A PLAN TO ASSURE THAT ALL WASTE, SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASH-OUT, CHEMICALS, LITTER AND SANITARY WASTE, ARE PROPERLY CONTROLLED WHILE ON-SITE AND TRANSPORTED AND DISPOSED OF (OFF-SITE) IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. NO WASTE MATERIALS OF ANY KIND ARE PERMITTED TO BE BURIED ON-SITE OR DISCHARGED TO SURFACE WATERS OF THE STATE OR TO THE MUNICIPALITY'S STORMWATER SYSTEM.
5. CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION EXITS PRIOR TO ANY EARTHWORK OPERATIONS.
6. LAND DISTURBING ACTIVITIES BE KEPT TO A MINIMUM AND WILL NOT EXTEND BEYOND THE LIMITS SHOWN.
7. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE COMPLIANCE WITH THE NPDES STORMWATER REQUIREMENTS. THIS INCLUDES, BUT IS NOT LIMITED TO, INSPECTION REQUIREMENTS.
8. ALL EROSION CONTROL MEASURES EXCEPT THE REQUIRED RIP RAP ARE TEMPORARY DEVICES. THESE TEMPORARY DEVICES SHALL BE REMOVED PRIOR TO COMPLETION OF CONSTRUCTION ONCE STABILIZATION OF ALL GRASSED AREAS ARE COMPLETE.
9. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OR DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC., REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
10. ALL EXISTING STORM WATER DRAINAGE PATTERNS AND CHANNELS OUTSIDE THE CONSTRUCTION AREAS SHOWN ON THESE PLANS ARE TO BE MAINTAINED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF THE WORK APPEARS TO INTERRUPT AN EXISTING STORM WATER DRAINAGE PATTERN. THE CONTRACTOR SHALL MAINTAIN A CLEAR PATH FOR ALL SURFACE WATER DRAINAGE STRUCTURES AND DITCHES DURING ALL PHASES OF CONSTRUCTION SUCH THAT IMPACT TO CONSTRUCTION AND/OR SURROUNDING FACILITIES IS MINIMIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION, SEDIMENT TRANSPORT, DISTURBED FOUNDATIONS, IMPACT TO STRUCTURES, AND ANY OTHER DAMAGE CAUSED DURING CONSTRUCTION.
11. THE CONTRACTOR SHALL PREVENT THE DISCHARGE OF SEDIMENT DUE TO CONSTRUCTION OPERATIONS. APPROVED EROSION CONTROL DEVICES SHALL BE INSTALLED TO PREVENT DISCHARGE OF SEDIMENT INTO A DRY OR WET WATERCOURSE. EROSION CONTROL SHALL CONSIST OF ANCHORED HAY BALES, SILT FENCE, OR OTHER EROSION CONTROL METHODS APPROVED BY THE PROJECT ENGINEER. ALL NEW AND EXISTING DRAIN PIPES AND STRUCTURES SHALL BE FLUSHED CLEAN AFTER CONSTRUCTION.
12. PROVIDE EROSION CONTROL BLANKET FOR ALL SLOPES 2:1 (HORIZONTAL TO VERTICAL) OR STEEPER.
13. CONTRACTOR SHALL PERIODICALLY SWEEP EXISTING ON-SITE PAVED SURFACES AS WELL AS ALL ABUTTING MUNICIPAL ROADS AND STATE HIGHWAYS (AS APPROPRIATE FOR THE PARTICULAR PROJECT) TO KEEP THOSE SURFACES IN A SUBSTANTIALLY SEDIMENT-FREE CONDITION. SWEEPING SHALL BE DONE ON A PERIODIC, AS-NEEDED BASIS THROUGHOUT THE WORK WEEK INCLUDING, MOST IMPORTANTLY, AFTER EVERY RAIN EVENT AND EVERY FRIDAY AFTERNOON PRIOR TO CEASING WORK FOR THE WEEK.
14. ALL AREAS DISTURBED BY THE CONSTRUCTION OF THIS PROJECT WHICH ARE NOT OTHERWISE PAVED SHALL BE SODDED OR SEEDDED AND MULCHED WITHIN 7 DAYS FOLLOWING FINAL GRADING. ALLOW FOR THICKNESS OF SOD WITH A 2-INCH UNDERCUT. SOD SHALL BE ARGENTINE BAHIA, AND SHALL BE REGULARLY WATERED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION DURATION. IF A TEMPORARY GRASS IS APPLIED, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO APPLY A PERMANENT SEED OR SOD AT THE PROPER TIME OF YEAR.
15. ALL STORMWATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION OF IMPERVIOUS AREAS.
16. THIS PLAN PROVIDES REASONABLE ASSURANCE THAT THE PROPOSED CONSTRUCTION ACTIVITIES WILL NOT RESULT IN EROSION AND SEDIMENT DEPOSITION IN STORMWATER FACILITIES, WETLANDS OR OFF-SITE AREAS. THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE, IN THE OPINION OF THE ENGINEER, THE MINIMUM THAT MAY BE REQUIRED. ACTUAL FIELD CONDITIONS MAY REQUIRE EITHER ADDITIONAL OR REDUCED EROSION CONTROL MEASURES TO BE IMPLEMENTED. THE CONTRACTOR IS DIRECTED TO FOLLOW STANDARD BEST MANAGEMENT PRACTICES IN IMPLEMENTING A SUCCESSFUL EROSION CONTROL PLAN. ADDITIONAL DEVICES MAY BE REQUIRED AS DEEMED NECESSARY BY GOVERNING AUTHORITIES.
17. SEE LANDSCAPE PLANS FOR PLANTING.
18. SEE DEMOLITION PLAN FOR LIMITS OF EXISTING TREE REMOVAL AND PROTECTION AREAS.

EROSION CONTROL LEGEND

- PROJECT BOUNDARY
- PROPOSED SILT FENCE
- PROPOSED DITCH CHECK
- PROPOSED TURBIDITY BARRIER
- PROPOSED INLET PROTECTION
- TREE PROTECTION

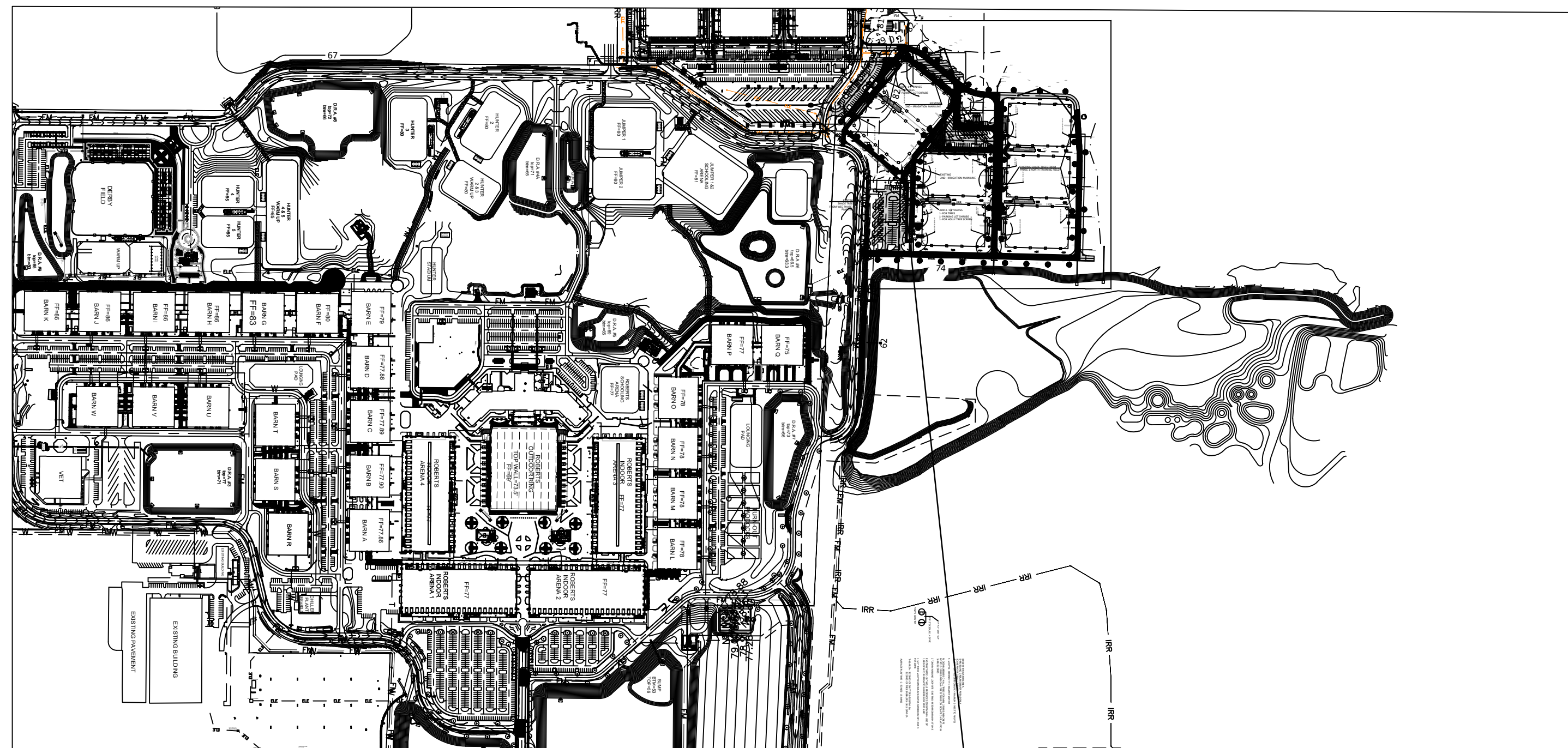
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NO.	DATE	REVISIONS

MAJOR SITE PLAN
 GOLDEN OCALA WEG - NORTH TRAINING FIELD - PH 2
 MARION COUNTY, FLORIDA

DATE 01-25-24
 DRAWN BY HB
 CHKD. BY GH
 JOB NO.

SHT. 13.02



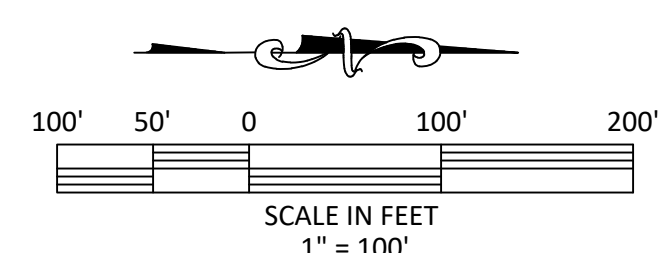
MINIMUM LANDSCAPE REQUIREMENTS:
4- PARKING AREAS:
PROJECT AREA- 175,000 SF
PARKING AND BUILDING AREA- 125,000 SF
TOTAL GREEN AREA-50,000 SF--- 29% GREEN AREA
BUFFERS- PER PUD-300' FRONT 15' wide 50% planting
WILL HAVE 7'6" PLANTING 2250SF-- PROVIDED-3800SF
NO SIDE OR REAR BUFFER REQUIRED
BUILDING PUBLIC SIDE- NO BUILDINGS PROPOSED
INTERIOR PARKING LOT ISLANDS-
1- VEHICLE PARKING LOT- ISLANDS PROVIDED
1- TRAILER PARKING LOT- NO CENTER ISLANDS-WAIVER REQUESTED
SHADE TREES FOR INTERIOR ISLANDS RELOCATED TO EXTERIOR

NEW LANDSCAPE AREA
TOTAL PLANTED AREA- 8,000 SF- SHRUB AND PLANTED AREA
BALANCE OF GREEN AREA- BAHIA SOD

PRE DEVELOPMENT INCHES- 0" INCHES TREES REMOVED-
 INCHES REQUIRED MITIGATION= 0
 INCHES RETAINED ON SITE- 0"

SHADE TREE CALCULATIONS--
WAIVER GRANTED FOR THIS AREA

NEW TREES- THIS PHASE
13-LIVE OAKS 8"-10" CALIPER =150"
17-MEDIUM TREES 5" CALIPER = 65"



LANDSCAPE NOTES: (SEE SPECIFICATIONS FOR COMPLETE REQUIREMENTS)

- ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS SPECIFIED IN GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, AND SHALL CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, LATEST EDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF QUANTITIES IN THE PLANT LIST. IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES IN THE LIST AND THE PLANS, THE PLANS SHALL CONTROL AND THE DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BID. ANY DEVIATION FROM THESE PLANS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND LOCAL REGULATIONS, AND IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THE WORK.
- ALL LANDSCAPE INSTALLATION/ MAINTENANCE PROFESSIONALS SHALL BE LICENSED AND CERTIFIED IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- THE CONTRACTOR SHALL EXAMINE EXISTING SITE CONDITIONS AND PROMPTLY REPORT ALL DISCREPANCIES AND UNSUITABLE CONDITIONS (WEEDS, MUCK, DEBRIS, OBSTRUCTIONS, ETC.) TO THE LANDSCAPE ARCHITECT PRIOR TO BIDDING. THE CONTRACTOR IS RESPONSIBLE FOR SOIL ANALYSIS PRIOR TO INSTALLATION OF PLANTINGS, AND SHALL ENSURE ALL SOIL AMENDMENTS CONFORM TO SPECIFICATIONS.
- THE CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE SITE AND ALL UTILITIES, (INCLUDING WATER, SEWER AND ELECTRICAL SUPPLY). THE CONTRACTOR SHALL CALL FLORIDA SUNSHINE 811 AND AREA UTILITIES NOT LISTED ON THE LOCATE TICKET. THE EXACT LOCATION OF ALL EXISTING ABOVE GROUND AND UNDERGROUND STRUCTURES, UTILITIES, SPRINKLERS AND PIPE MAY NOT BE INDICATED ON DRAWINGS. THE CONTRACTOR SHALL CONDUCT HIS WORK IN A MANNER TO PROTECT AND PREVENT INTERRUPTION OR DAMAGE TO EXISTING SYSTEMS AND UTILITY SERVICES WHICH MUST REMAIN OPERATIONAL. THE CONTRACTOR IS RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED BY HIM AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN, AND IS RESPONSIBLE FOR THEIR COMPARABLE REPLACEMENT IF DAMAGED BY HIM AT NO ADDITIONAL COST TO THE OWNER.
- ALL TREE MATERIAL SHALL BE CONTAINER GROWN UNLESS OTHERWISE SPECIFIED.
- SOIL PROVIDED SHALL BE FREE OF LIMEROCK, PEBBLES OR OTHER CONSTRUCTION DEBRIS.
- ALL PLANTING BEDS SHALL RECEIVE A 3" LAYER OF MULCH (1" OVER ROOTBALL), MEASURED AFTER MULCH HAS SETTLED.
- ALL PLANT BEDS SHALL BE FREE OF WEEDS, ROCKS, AND CONSTRUCTION DEBRIS, ETC., AT TIME OF INSPECTION BY LANDSCAPE ARCHITECT/ OWNER/ INSPECTOR.
- MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH THE FLORIDA YARDS & NEIGHBORHOODS HANDBOOK <http://fl.ifas.ufl.edu>
- ALL LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH MARION COUNTY LDC SEC. 6.8.13.
- FERTILIZER AND LANDSCAPE CHEMICAL USE SHALL COMPLY WITH MARION COUNTY LDC SEC. 6.8.14.
- ALL IRRIGATION SYSTEMS SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH MARION COUNTY LDC DIV. 9 IRRIGATION.
- ALL CERTIFICATION AND LICENSING OF LANDSCAPE PROFESSIONALS AND IRRIGATION INSTALLATION/MAINTENANCE PROFESSIONALS SHALL BE IN ACCORDANCE WITH MARION COUNTY LDC SEC. 6.8.15 AND SEC. 6.9.10.

LANDSCAPE COMPLETION INSPECTION REQUIREMENTS

- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL DOCUMENT THE ACTUAL FIELD INSTALLATION OF THE LANDSCAPE AND SUBMIT TO MARION COUNTY A REQUIRED LANDSCAPE AS-BUILT CERTIFICATION PLAN, SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT (MARION COUNTY LDC DIV 8, SEC. 6.8.12).
- UPON COMPLETION OF THE INSTALLATION, AND AT A MINIMUM OF SEVEN (7) DAYS PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL PROVIDE A CLEAR AND LEGIBLE AS-BUILT DIAGRAM THAT ACCURATELY REPRESENTS THE LANDSCAPE PLAN AS INSTALLED, AND REQUEST AN ON-SITE INSPECTION BY THE LANDSCAPE ARCHITECT.
- WHEN ACCEPTABLE TO THE LANDSCAPE ARCHITECT, THE AS-BUILT PLANS WILL BE APPROVED AND A FINAL INSPECTION AND LANDSCAPE RELEASE GRANTED.

THE CONTRACTOR SHALL MARK-UP A COPY OF THE APPROVED LANDSCAPE DESIGN PLAN WITH THE FOLLOWING AS-BUILT INFORMATION: (NOTE: PRE-APPROVAL BY THE DESIGN PROFESSIONAL IS REQUIRED FOR ANY DESIGN CHANGE (INCLUDING PLANT SUBSTITUTIONS, LAYOUT, QUANTITIES, MATERIALS, ETC.)

- INSTALLED PLANT SPECIES AND SIZES
- INSTALLED PLANT QUANTITIES
- OTHER INSTALLED MATERIALS DOCUMENTATION

THE CONTRACTOR SHALL PROVIDE CONFIRMATION THAT THE OWNER HAS RECEIVED:

- WRITTEN MAINTENANCE, PRUNING, AND FERTILIZER INSTRUCTIONS AND SCHEDULE.

IRRIGATION COMPLETION INSPECTION REQUIREMENTS

UPON COMPLETION OF THE IRRIGATION SYSTEM AND COMPLETION OF THE AS-BUILT DRAWINGS AND OPERATIONS MANUAL, A RELEASE SHALL BE SIGNED AND APPROVE BY THE QUALIFIED PROFESSIONAL AND SHALL BE SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT.

OWNER RESPONSIBILITY

THE OWNER IS RESPONSIBLE FOR CONTINUED SURVIVAL OF THE PLANTS

PER LDC SECTION 6.8.11 - LANDSCAPE INSTALLATION SHALL MEAN SURVIVAL IN PERPETUITY, AND REPLACEMENT IF NECESSARY, OF ALL MATERIALS. DEAD AND/ OR DYING PLANT MATERIAL SHALL BE REPLACED BY THE OWNER WITHIN 30 DAYS OF NOTIFICATION BY THE COUNTY.

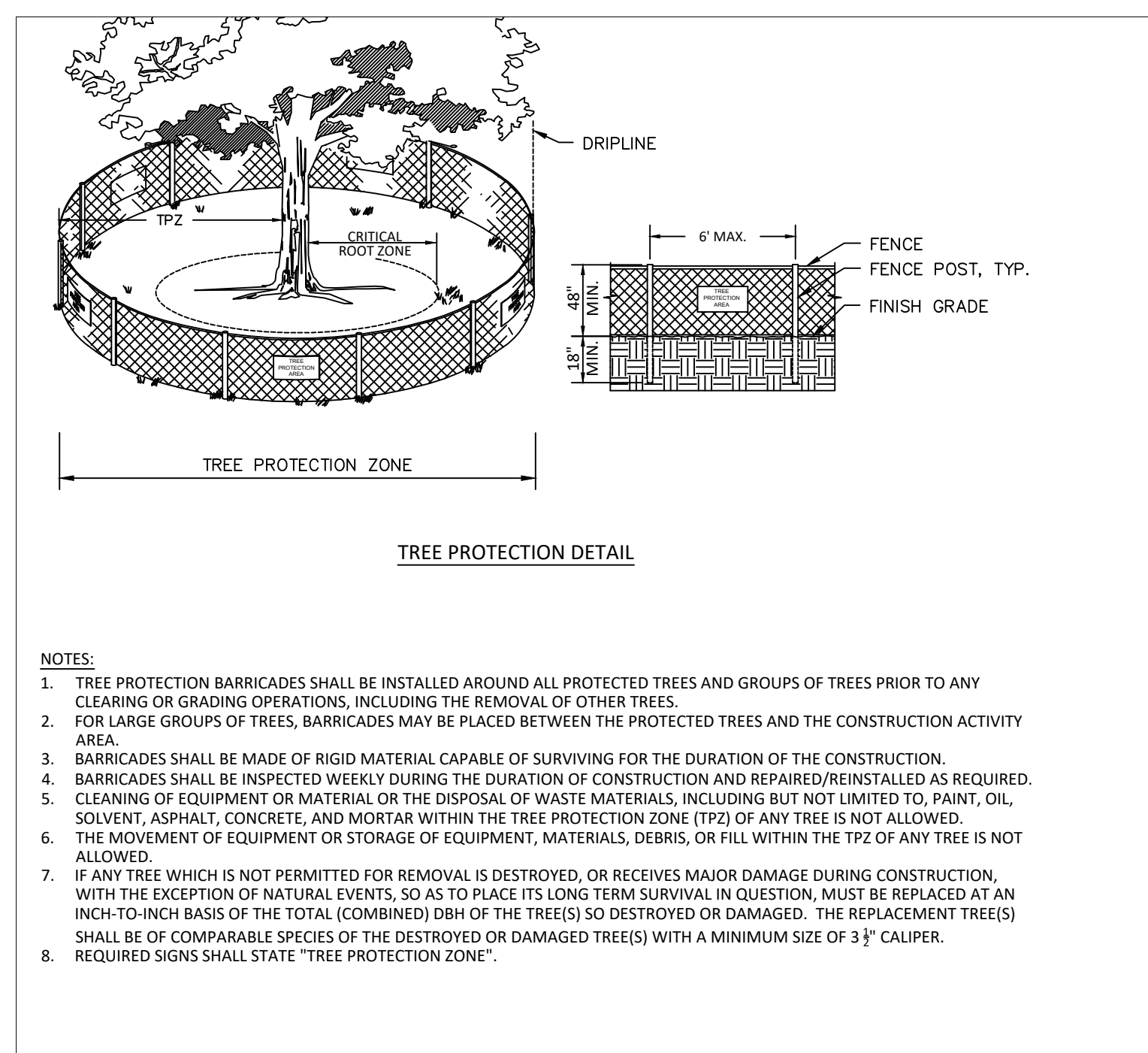
ADDITIONAL NOTES

- ALL PLANTS SHALL BE FL#1 OR BETTER; PLANTS SHALL MEET OR EXCEED ALL MINIMUM HEIGHT, SPREAD, AND CALIPER SPECIFICATIONS BASED ON PLANT TYPE AS DESCRIBED IN FL GRADES AND STANDARDS (SEE LANDSCAPE NOTES).
- ALL TREES SHALL MEET MARION COUNTY LDC MINIMUM SIZE REQUIREMENTS: SHADE TREES = 3.5" CAL MIN.; UNDERSTORY TREES = 6' HT x 42" SPRD MIN.; PALMS = 10' CT MIN.
- * SHOULD CONTAINER TREES BE UNAVAILABLE, OBTAIN APPROVAL FROM PROJECT LANDSCAPE ARCHITECT FOR USE OF 888 MATERIAL THROUGH APPROVED ROOTS PLUS GROWER (RPG).

EXISTING TREES AT PERIMETER TO REMAIN
 PROTECT WITH TREE FENCE

THIS PROJECT IS A MODIFICATION TO A PREVIOUS PROJECT.
 ORIGINAL APPLICATION # 30343
 ALL TREE MITIGATION AND TREE CALCULATIONS WERE PROVIDED
 FOR AND WAIVERS SUPPLIED.

NO EXISTING TREES OR TREES PLANTED IN PHASE 1 WILL BE
 REMOVED OR ALTERED WITH THIS MODIFICATION.



- NOTES:**
- TREE PROTECTION BARRICADES SHALL BE INSTALLED AROUND ALL PROTECTED TREES AND GROUPS OF TREES PRIOR TO ANY CLEARING OR GRADING OPERATIONS, INCLUDING THE REMOVAL OF OTHER TREES.
 - FOR LARGE GROUPS OF TREES, BARRICADES MAY BE PLACED BETWEEN THE PROTECTED TREES AND THE CONSTRUCTION ACTIVITY AREA.
 - BARRICADES SHALL BE MADE OF RIGID MATERIAL CAPABLE OF SURVIVING FOR THE DURATION OF THE CONSTRUCTION.
 - BARRICADES SHALL BE INSPECTED WEEKLY DURING THE DURATION OF CONSTRUCTION AND REPAIRED/REINSTALLED AS REQUIRED.
 - CLEANING OF EQUIPMENT OR MATERIAL OR THE DISPOSAL OF WASTE MATERIALS, INCLUDING BUT NOT LIMITED TO, PAINT, OIL, SOLVENT, ASPHALT, CONCRETE, AND MORTAR WITHIN THE TREE PROTECTION ZONE (TPZ) OF ANY TREE IS NOT ALLOWED.
 - THE MOVEMENT OF EQUIPMENT OR STORAGE OF EQUIPMENT, MATERIALS, DEBRIS, OR FILL WITHIN THE TPZ OF ANY TREE IS NOT ALLOWED.
 - IF ANY TREE WHICH IS NOT PERMITTED FOR REMOVAL IS DESTROYED, OR RECEIVES MAJOR DAMAGE DURING CONSTRUCTION, WITH THE EXCEPTION OF NATURAL EVENTS, SO AS TO PLACE ITS LONG TERM SURVIVAL IN QUESTION, MUST BE REPLACED AT AN INCH-TO-INCH BASIS OF THE TOTAL (COMBINED) DBH OF THE TREE(S) SO DESTROYED OR DAMAGED. THE REPLACEMENT TREE(S) SHALL BE OF COMPARABLE SPECIES OF THE DESTROYED OR DAMAGED TREE(S) WITH A MINIMUM SIZE OF 3 1/2" CALIPER. REQUIRED SIGNS SHALL STATE "TREE PROTECTION ZONE".

NOTE:
 ALL PLANT MATERIAL SUBJECT TO CHANGE- OWNER WILL APPROVE ALL PLANT SPACING PRIOR TO INSTALL
 ALL TREES AND SHRUBS LAYOUT MAY BE ALTERED IN THE FIELD WITH OWNERS APPROVAL

**CYPRESS MANAGEMENT
 AND DESIGN**
 P.O. BOX 8880 FLEMING ISLAND, FL 32006
 904-759-9576---SITEOPT@BELLSOUTH.NET

DATE	DATE#	REVISIONS

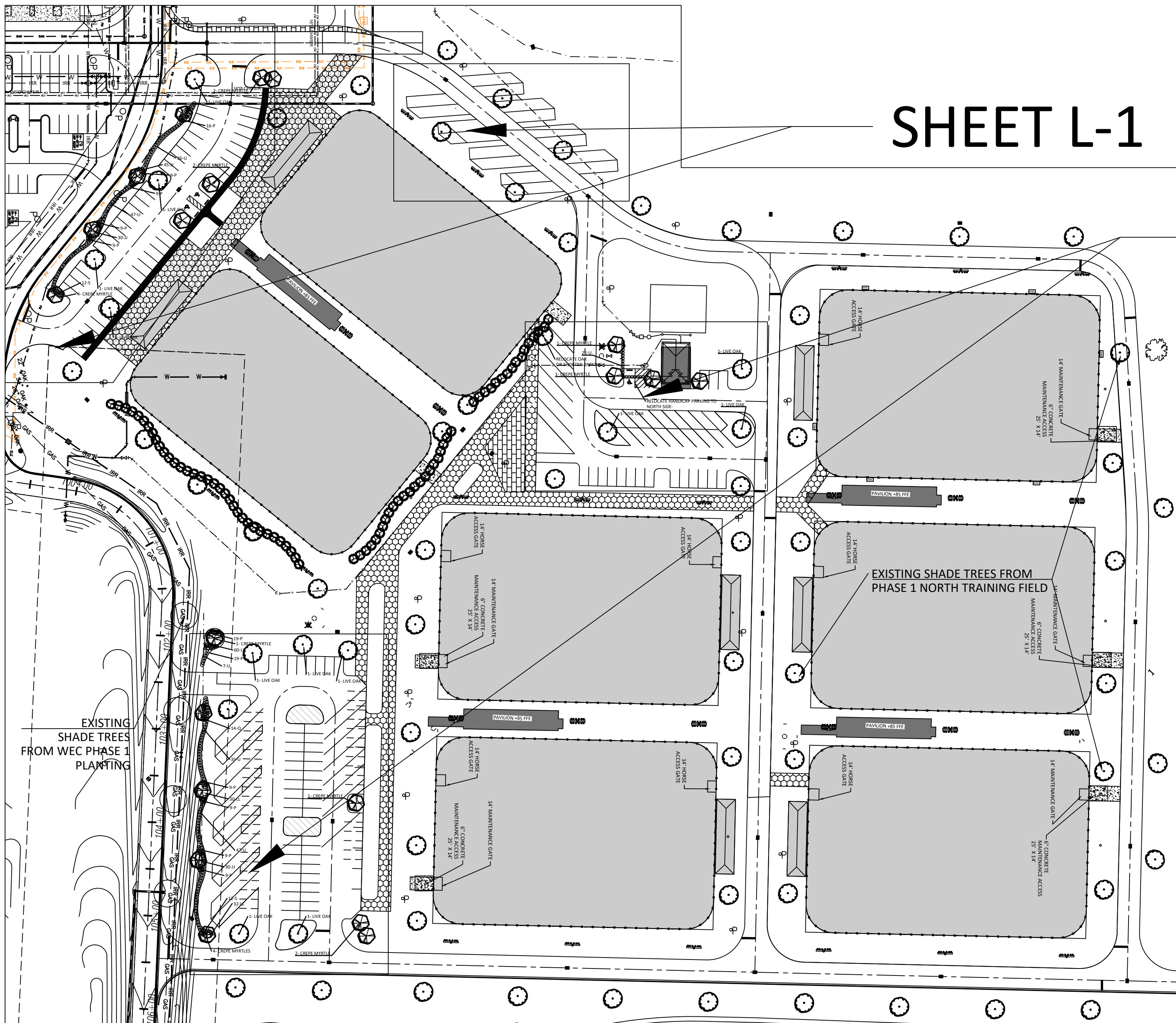
**WORLD EQUESTRIAN CENTER
 NORTH TRAINING FIELDS
 NORTH TRAINING FIELD**

DATE 2-12-2024
 DRAWN BY
 CHKD. BY
 JOB NO.

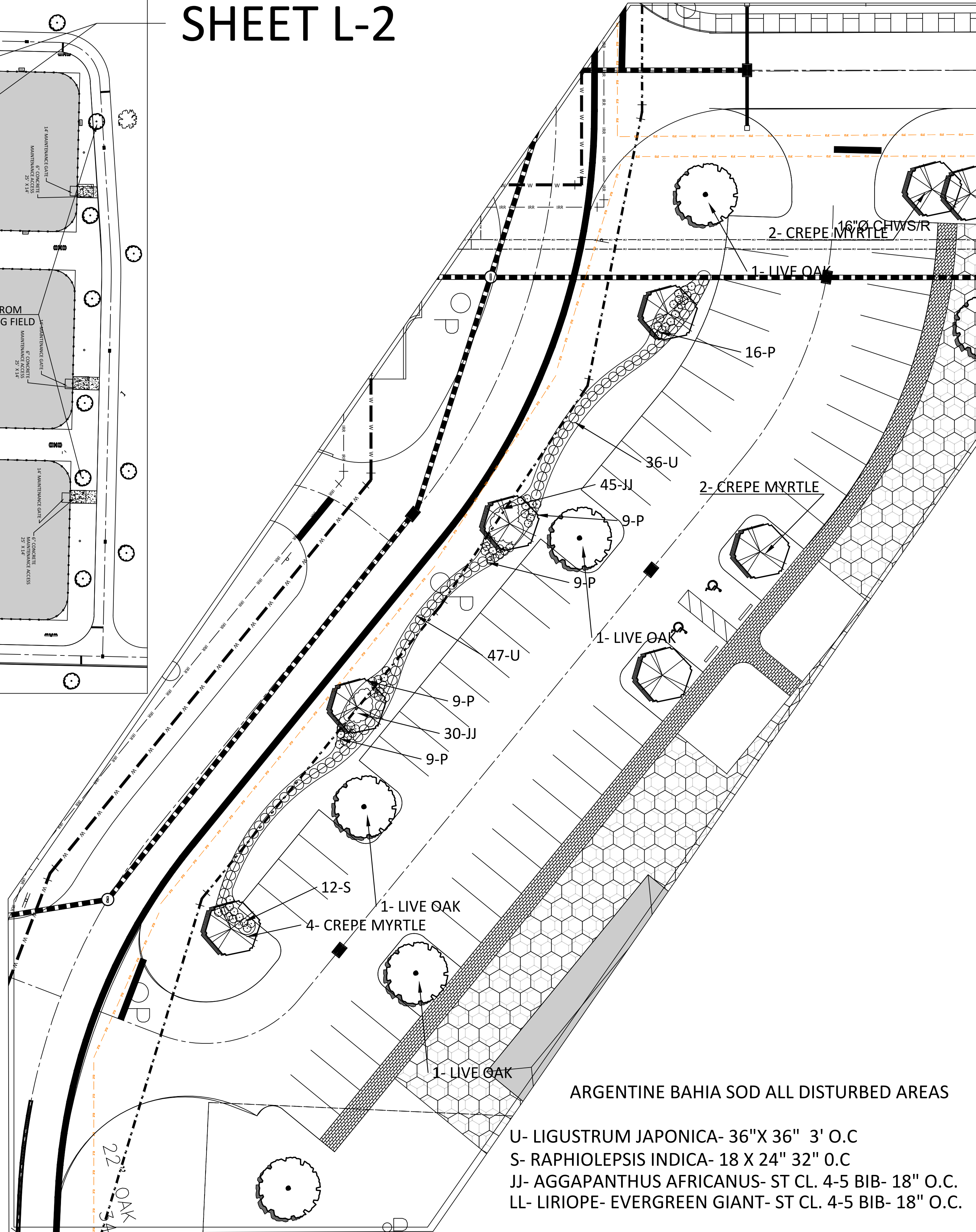
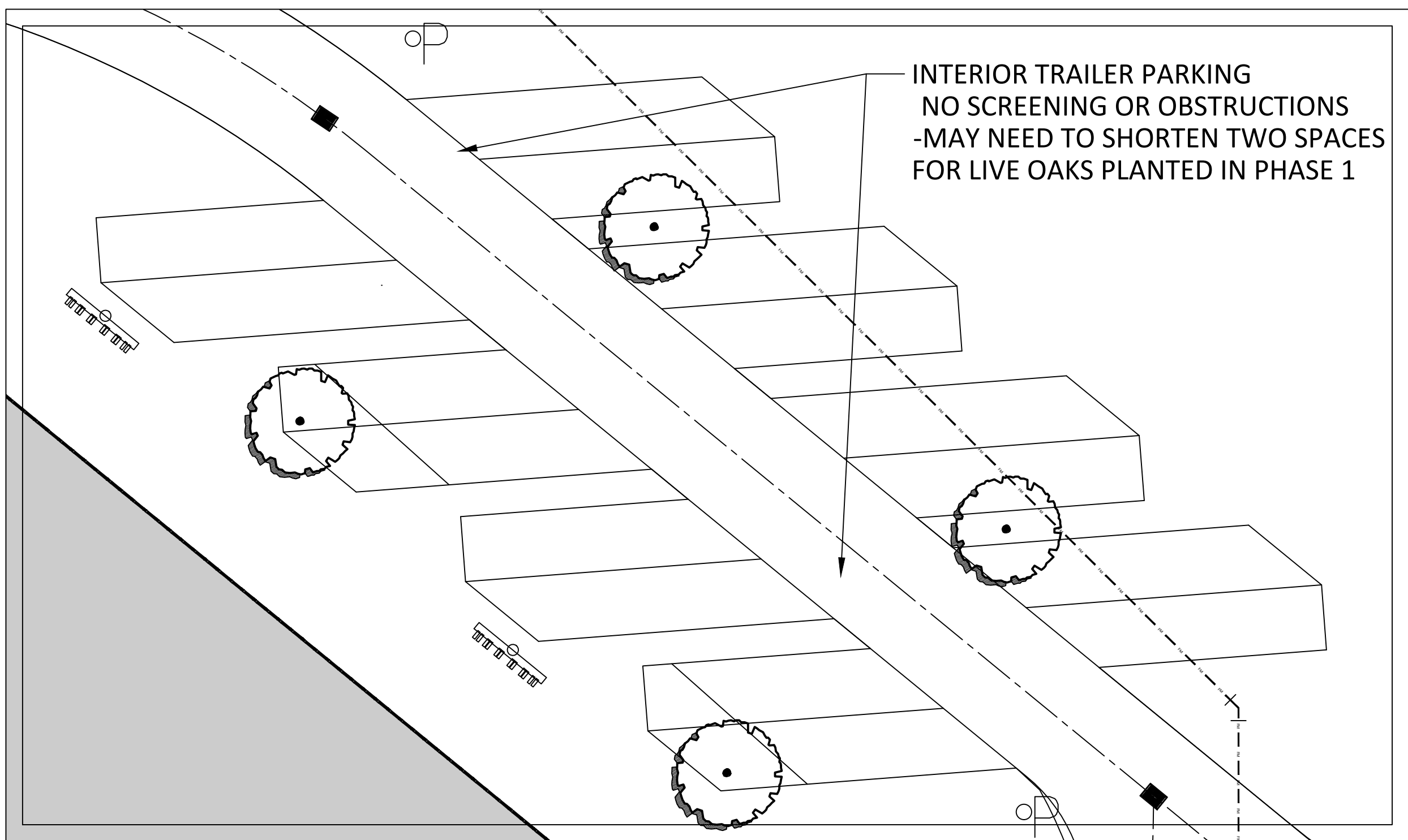
KELLY W HARTWIG
 LA 1282

SHT. LC-0

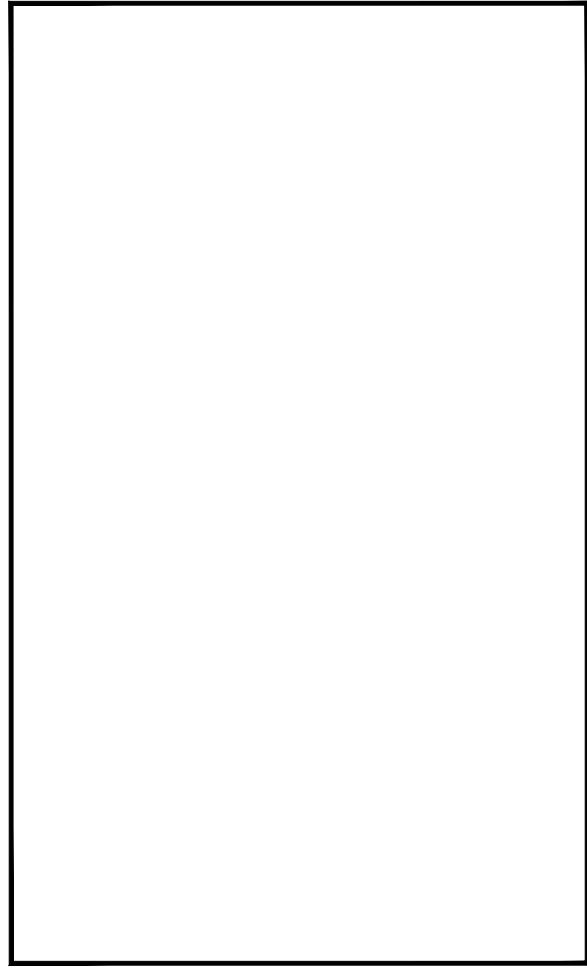
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SHEET L-1



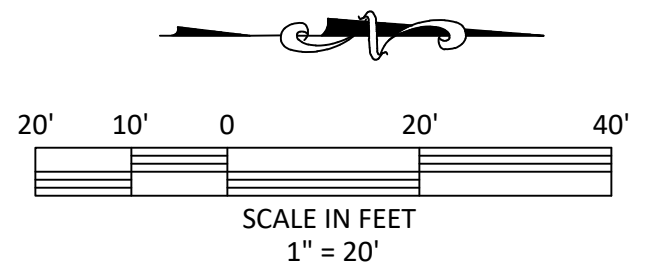
SHEET L-2



MARION COUNTY APPROVAL STAMP

- LIVE OAK TREE
8-10" CALIPER
- CREPE MYRTLE
14-16' HT MULTI-STEM
- HOLLY TREE
10' HT MIN. 4" CALIPER

ALL NEW TREES ARE LABELED.
ALL OTHER TREES SHOWN ARE
EXISTING FROM PREVIOUS
STAGES



- U- LIGUSTRUM JAPONICA- 36"X 36" 3' O.C
- S- RAPHIOLEPSIS INDICA- 18 X 24" 32" O.C
- JJ- AGGAPANTHUS AFRICANUS- ST CL. 4-5 BIB- 18" O.C.
- LL- LIRIOPE- EVERGREEN GIANT- ST CL. 4-5 BIB- 18" O.C.

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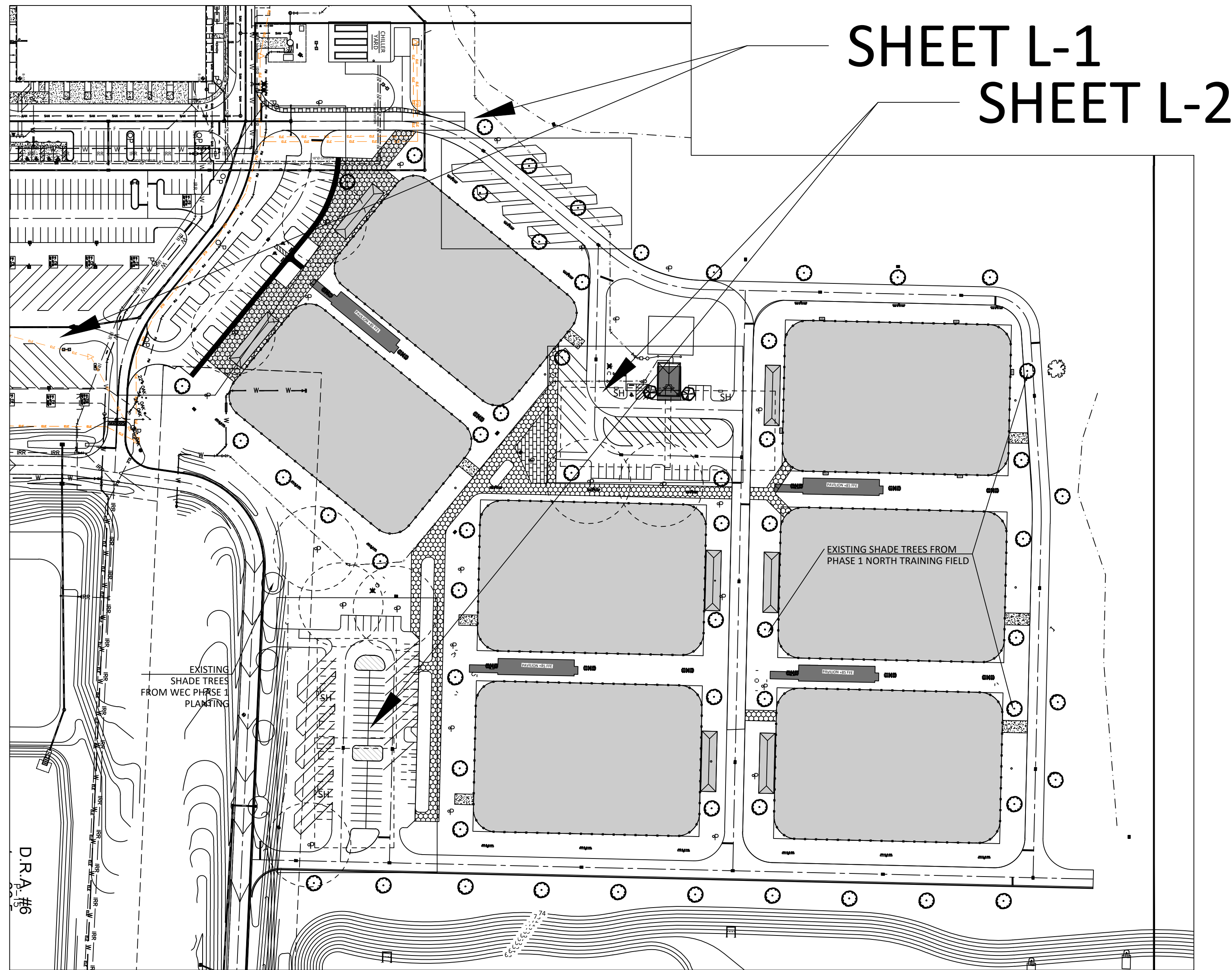
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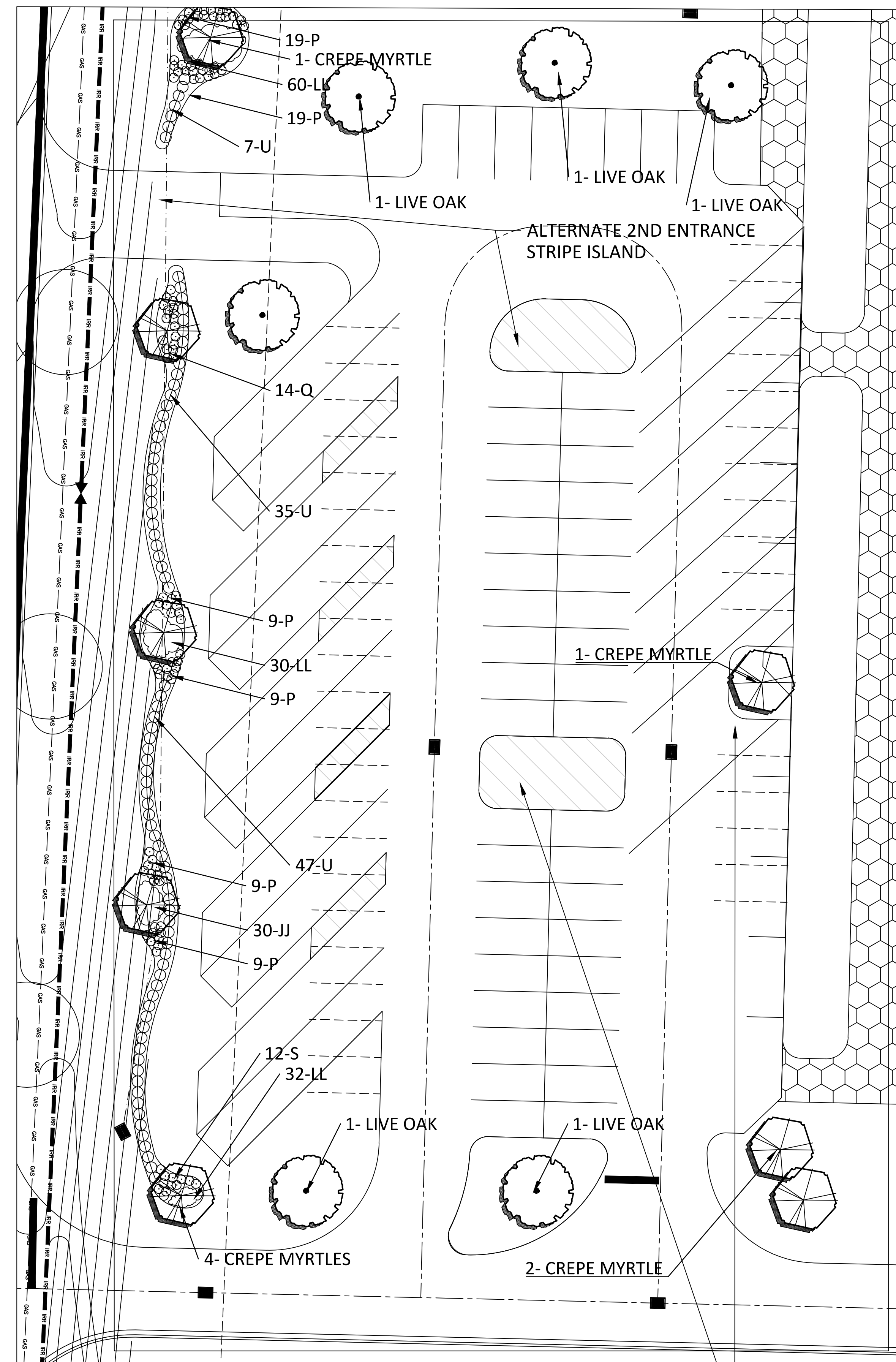
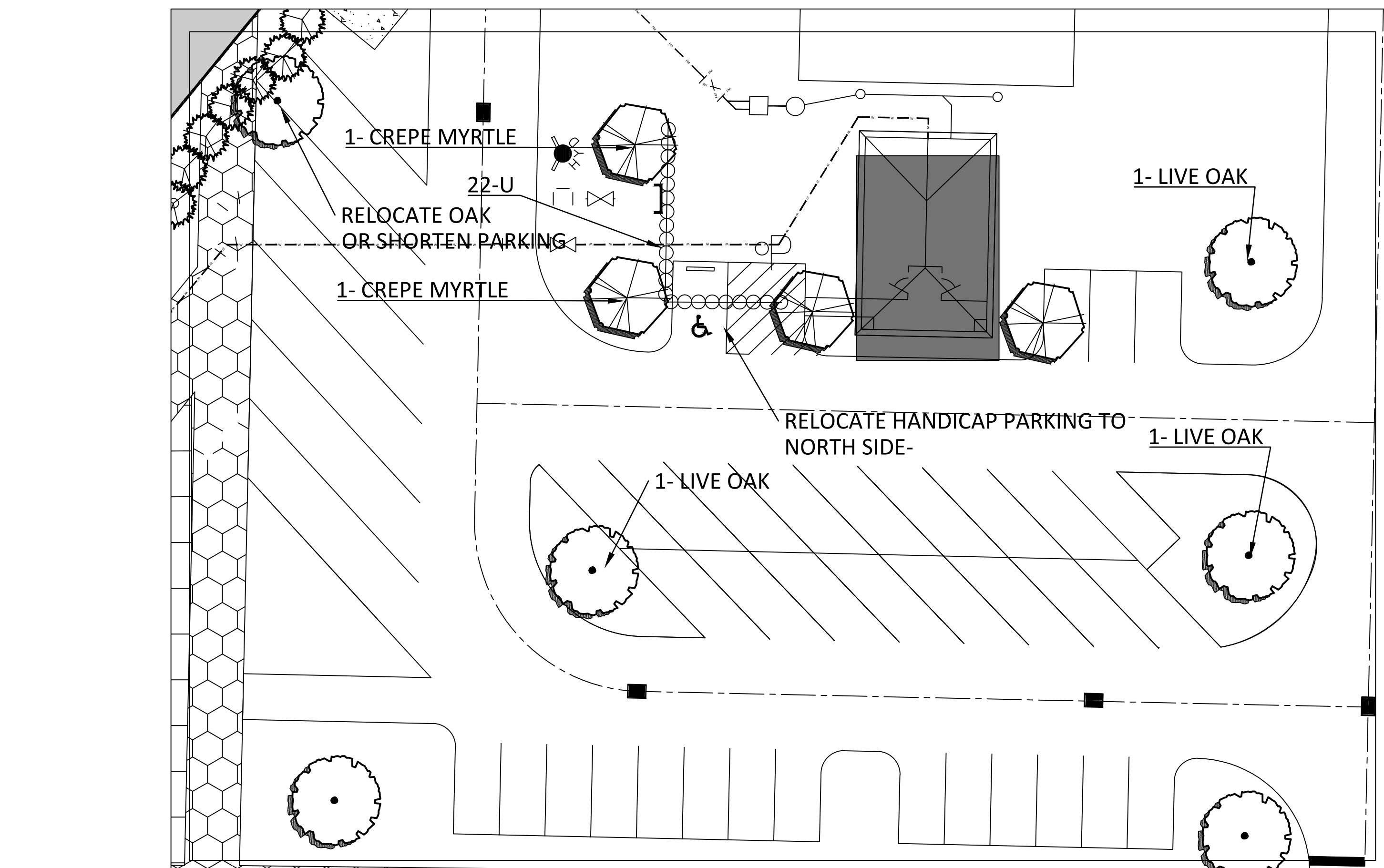
DATE 2-12-2024
DRAWN BY
CHKD. BY
JOB NO.

KELLY W HARTWIG
LA 1252

SHT. LC-1



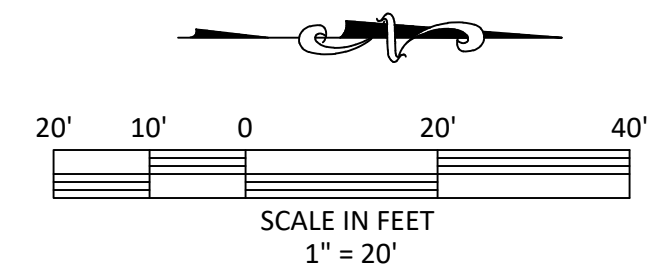
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SHEET L-2

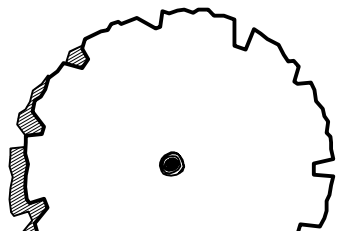
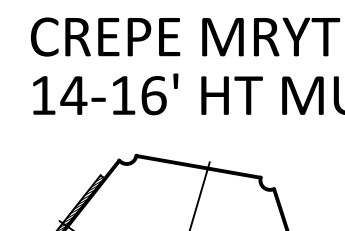



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JJ- AGGAPANTHUS AFRICANUS- ST CL. 4-5 BIB- 18" O.C.
LL- LIRIOPE- EVERGREEN GIANT- ST CL. 4-5 BIB- 18" O.C.

ALTERNATE PARKING LOT- USED FOR CARS OR HORSE TRAILERS--NO CENTER ISLANDS- SHADE TREES RELOCATED TO OUTSIDE EDGE

ARGENTINE BAHIA SOD ALL DISTURBED AREAS



-  LIVE OAK TREE 8-10" CALIPER
-  CREPE MYRTLE 14-16' HT MULTI-STEM
-  HOLLY TREE 10' HT MIN. 4" CALIPER

ALL NEW TREES ARE LABELED. ALL OTHER TREES SHOWN ARE EXISTING FROM PREVIOUS STAGES

MARION COUNTY APPROVAL STAMP

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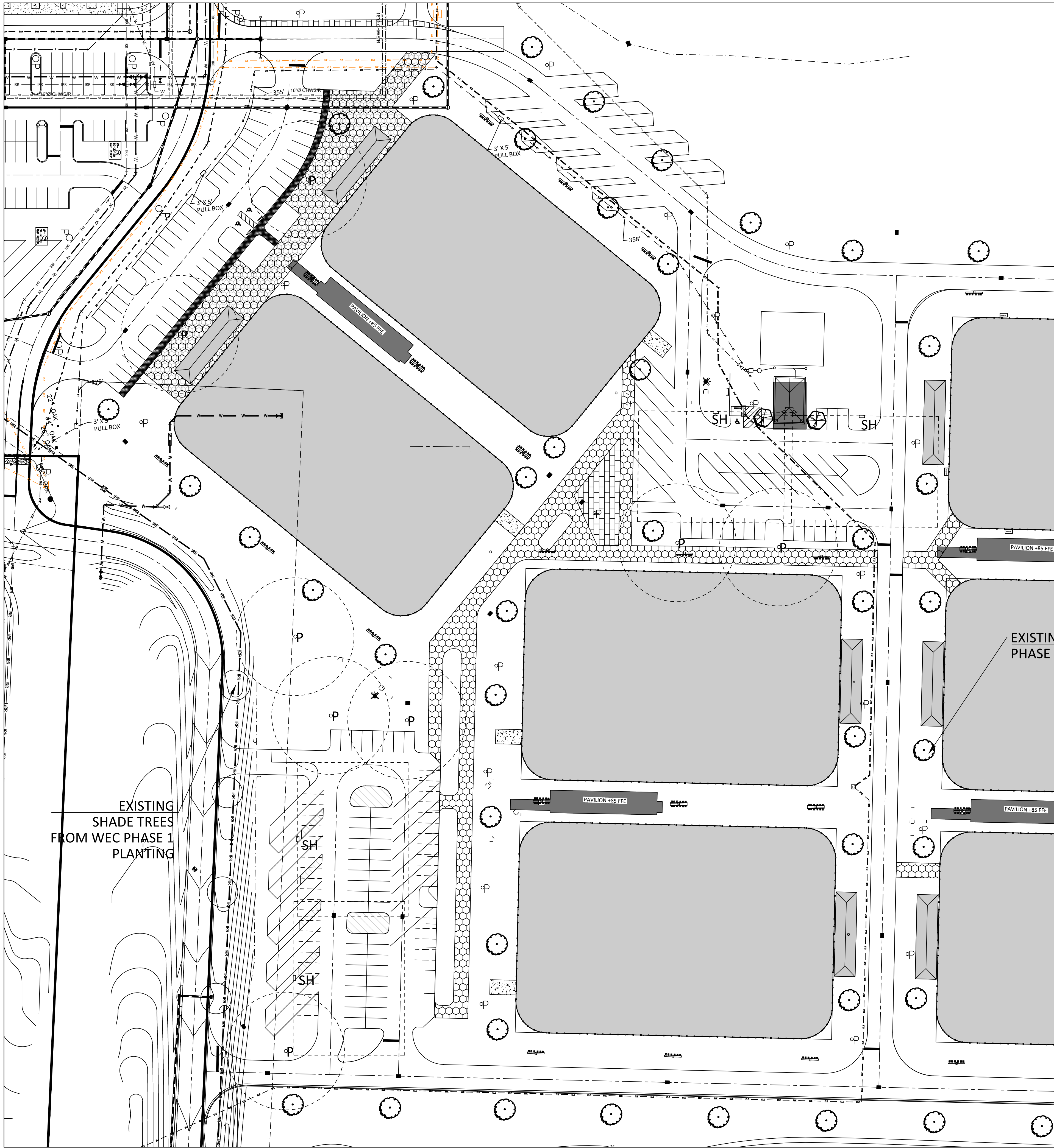
NO.	DATE	REVISIONS

WORLD EQUESTRIAN CENTER
NORTH TRAINING FIELDS
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DATE 2-12-2024
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JOB NO.

KELLY W HARTWIG
LA 1252

SHT. LC-2



ELECTRICAL SPECIFICATIONS:

SEAL TO MAINTAIN THE INTEGRITY OF THE ASSEMBLY PER UL AND NFPA.

11. CONTRACTOR SHALL PROVIDE STRICT COORDINATION WITH NEW EQUIPMENT REQUIRED FOR THE NEW BATHROOM AND FIELD KIBBY THE EXACT FINAL LOCATION AND EQUIPMENT POWER CHARACTERISTICS WITH EQUIPMENT AND THE GOVERNMENT PRIOR TO CONSTRUCTION.

12. EACH CONTRACTOR/OFFEROR SHALL INSPECT THE SITE AS REQUIRED FOR KNOWLEDGE OF EXISTING CONDITIONS PRIOR TO PROPOSING FAILURE TO OBTAIN SUCH KNOWLEDGE SHALL NOT RELIEVE THE SUCCESSFUL CONTRACTOR/OFFEROR OF THE RESPONSIBILITY TO COORDINATE EXISTING CONDITIONS IN PERFORMING THE WORK UNDER THIS CONTRACT.

13. WHERE NEW WORK CANNOT BE INSTALLED WITHOUT CHANGES IN EXISTING FACILITIES OR SYSTEMS OR WHERE IT IS INDICATED ON DRAWINGS TO REMOVAL AN EXISTING INSTALLATION, THIS CONTRACTOR SHALL INCLUDE ALTERATIONS TO EXISTING WORK AS REQUIRED TO INSTALL NEW WORK. ADDITIONS TO THE CONTRACT COST WILL NOT BE ALLOWED DUE TO THE CONTRACTOR'S FAILURE TO INSPECT EXISTING CONDITIONS AT THE SITE OF THE WORK.

14. THE WORK SHALL INCLUDE REVISIONS, MODIFICATIONS, AND REWORK OF THE EXISTING FACILITY ELECTRICAL SYSTEMS AS REQUIRED FOR INSTALLATION OF NEW WORK AND FOR CONNECTIONS BETWEEN EXISTING WORK AND NEW WORK WHERE REQUIRED. THE WORK SHALL ALSO INCLUDE THE COMPLETION OF ELECTRICAL POWER AND CONTROL CIRCUITS FOR DEVICES AND EQUIPMENT THAT ARE TO REMAIN IN SERVICE. IF THE CIRCUITS ARE BROKEN BY DEMOLITION WORK, OR BY THE REMOVAL OR CUTTING OF EXISTING BUILDING CONSTRUCTION, THE EXISTING CONDUIT AND WIRING SHALL BE REROUTED AND RECONNECTED WHERE NECESSARY.

SITE LIGHTING

1. THERE ARE EXISTING POLE MOUNTED SITE LIGHTING FIXTURES THAT SHALL BE PROTECTED AS IDENTIFIED ON THE CIVIL ENGINEERING DRAWINGS. CONTRACTOR SHALL COORDINATE THE ELECTRICAL WORK WITH THE SITE CONTRACTOR. FURNISH AND INSTALL LIKE MATERIALS REQUIRED TO EXTEND EXISTING WIRING, AND RECONNECT TO PROVIDE A FULLY OPERATIONAL SYSTEM.

CUTTING AND PATCHING

1. THE RESPONSIBILITY FOR ANY CUTTING OF CONSTRUCTION WHICH SHALL BE REQUIRED FOR THE INSTALLATION OF ELECTRICAL WORK, SHALL BE BY THE CONTRACTOR. THE CONTRACTOR SHALL COORDINATE ALL ASPECTS OF THE WORK BEFORE ANY CUTTING AND OBTAIN APPROVAL FROM THE GOVERNMENT PRIOR TO ANY CUTTING. ALL PAINTING, PAINTING AND FINISH SHALL BE BY THE CONTRACTOR.

AS-BUILT DRAWINGS

1. THE CONTRACTOR SHALL PROVIDE AND KEEP UP TO DATE A COMPLETE RECORD SET OF CONSTRUCTION "AS-BUILT" BLUELINE PRINTS WHICH SHALL BE CORRECTED DAILY AND SHALL SHOW EVERY CHANGE FROM THE ORIGINAL CONTRACT DRAWINGS, INCLUDING ADDENDA AND CHANGE ORDERS. THIS SET OF PRINTS SHALL BE KEPT ON THE JOB SITE AND SHALL BE USED ONLY AS A RECORD SET. THIS SHALL NOT BE CONSIDERED AS AUTHORIZATION FOR THE CONTRACTOR TO MAKE CHANGES IN THE LAYOUT WITHOUT DEFINITE INSTRUCTION IN EACH CASE.

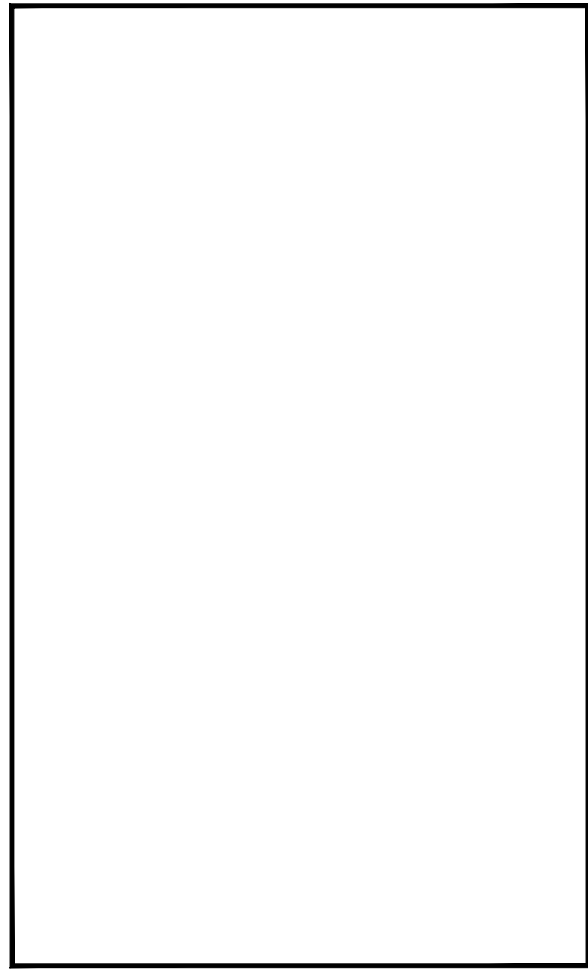
PROTECTION

1. THE CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE CLEAN OF ALL WASTE MATERIALS AND DEBRIS CAUSED BY HIS WORK OR EMPLOYEES. UPON COMPLETION OF THE WORK AND AT TIMES DURING PROGRESS OF THE WORK WHEN REQUESTED BY THE GOVERNMENT, THE CONTRACTOR SHALL REMOVE ALL SURPLUS MATERIALS, RUBBER AND DEBRIS RESULTING FROM THE OPERATION, AND SHALL LEAVE THE ENTIRE BUILDING AND INVOLVED PORTIONS OF THE SITE, INsofar AS THE WORK OF THE CONTRACT IS CONCERNED, IN A NEAT, CLEAN AND ACCEPTABLE CONDITION AS APPROVED BY THE GOVERNMENT. EQUIPMENT, LIGHTING FIXTURES, MATERIALS AND ACCESSORIES SHALL BE THOROUGHLY CLEANED OF CONCRETE, PLASTER AND OTHER MATERIALS.

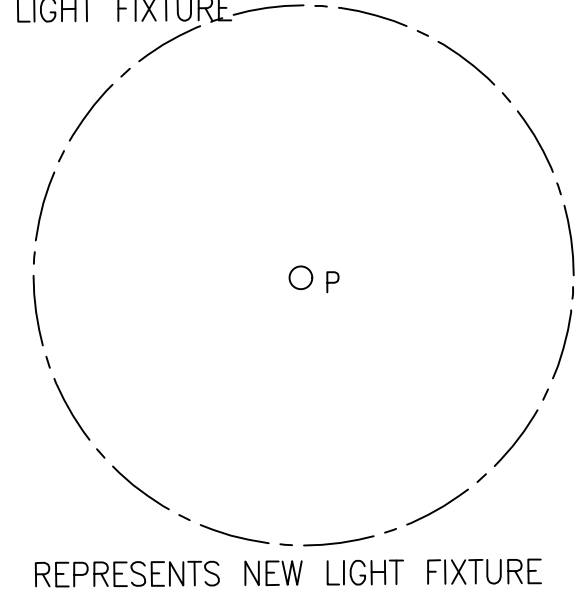
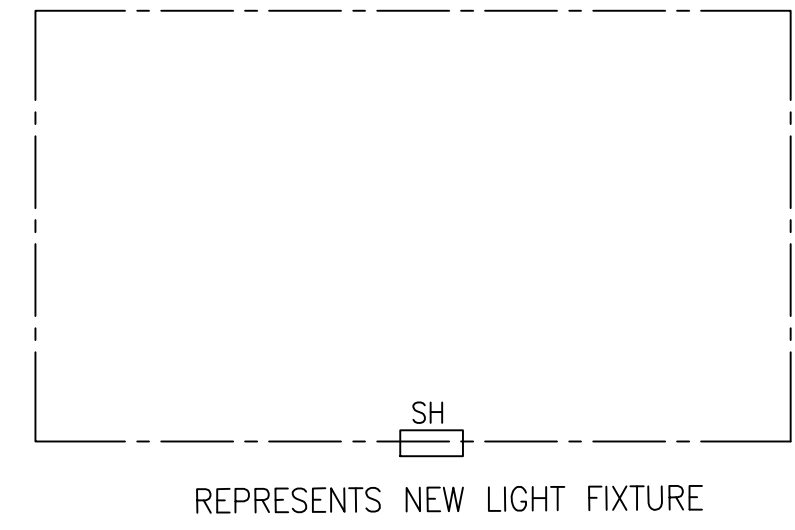
2. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION, WHEREVER WORK IS TO BE PERFORMED IN FINISHED/OCCUPIED SPACES, TO PREVENT DAMAGE TO ADJACENT AREAS, EQUIPMENT, OR FURNISHINGS. TO PREVENT ACCIDENTAL INJURY TO BUILDING OCCUPANTS AND THE PUBLIC; TO PREVENT THE SPREADING OF DUST, DEBRIS AND MOISTURE FROM THE AREA WHERE WORK IS BEING PERFORMED; AND TO PREVENT DIRT, DEBRIS AND MOISTURE FROM GETTING ON OR IN THE BUILDING OCCUPANTS FURNISHINGS OR EQUIPMENT.

3. THE CONTRACTOR SHALL REPAIR, AT NO COST TO THE GOVERNMENT, ANY DAMAGE DONE BY HIMSELF OR HIS EMPLOYEES. HE SHALL ALSO BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED TO PROPERLY INSTALL HIS WORK. THIS SHALL ALSO INCLUDE THE PATCHING OF EXISTING ROADWAYS (PAVED OR IMPROVED), PARKING AREAS, SIDEWALKS, CURBS, GUTTERS, ETC. CUT TO INSTALL WORK PROVIDED BY THE CONTRACTOR. PATCH WORK SHALL COMPLY WITH THE APPLICABLE SECTIONS OF THESE SPECIFICATIONS AND SHALL MATCH THE EXISTING FINISHES.

2. CUTTING SHALL BE DONE WITH EXTREME CARE AND IN SUCH A MANNER THAT THE STRENGTH OF THE STRUCTURE SHALL NOT BE ENDANGERED. WHEREVER POSSIBLE OPENINGS IN CONCRETE OR MASONRY CONSTRUCTION SHALL BE BY CONCRETE SAW OR PORTLAND CEMENT DRILL. OPENINGS IN ANY CONSTRUCTION SHALL BE CUT THE MINIMUM SIZE REQUIRED FOR THE INSTALLATION OF THE WORK. ADEQUATE PROTECTION SHALL BE PROVIDED TO PREVENT DAMAGE TO ADJACENT AREAS AND TO PREVENT DUST FROM SPREADING TO ADJACENT AREAS.
3. WHERE OPENINGS OR HOLES ARE CUT IN CONSTRUCTION AND THE CUTTING BREAKS ELECTRICAL CIRCUITRY OR CONTROL CIRCUITRY CONDUIT AND WIRING, THEN IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REROUTE THE CIRCUITRY CONDUIT AND REWIRING AND TO COMPLETE THE CIRCUITRY AS REQUIRED AND AS APPROVED BY THE GOVERNMENT. TEMPORARY PROTECTION SHALL BE PROVIDED WHERE NECESSARY BEFORE THE PERMANENT REROUTING AND COMPLETION WORK IS FINISHED.
4. BEFORE ANY CUTTING, PATCHING, OR FINISHING WORK IS STARTED, DUST AND MOISTURE PROTECTION SHALL FIRST BE INSTALLED AS REQUIRED.
- PAINTING**
1. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAINTING AREAS OF CONSTRUCTION THAT ARE SCRATCHED, MARRED, OR DAMAGED BY THE NEW CONSTRUCTION. CONTRACTOR SHALL MATCH THE COLOR, TYPE AND THICKNESS OF PAINT AS PREVIOUS.
- ACCEPTANCE TESTING**
1. UPON COMPLETION OF WORK, THE ENTIRE WIRING SYSTEM SHALL BE TESTED AND SHALL BE SHOWN TO BE IN PROPER WORKING CONDITION IN ACCORDANCE WITH INTENT OF THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL SYSTEMS READY FOR OPERATION AND TO HAVE AN ELECTRICIAN AVAILABLE TO OPERATE SAME IN ACCORDANCE WITH AND UNDER THE SUPERVISION OF THE INSPECTION REPRESENTATIVE OF THE GOVERNMENT. THE CONTRACTOR SHALL BE AVAILABLE TO ASSIST IN REMOVAL OF PANEL FRONTS, ETC. TO PERMIT INSPECTION AS REQUIRED.



ORIGINAL SITE LIGHTING IN PLACE FROM PREVIOUS SUBMITTAL AND ORIGINAL WEC DRAWINGS THESE 12 FIXTURES ARE ADDED FOR SAFETY ONLY



EXISTING SITE LIGHTING- SHOWN IS CONTROLLED BY SITE PANEL LOCATED NEXT TO EXISTING BATHROOM NEW LIGHT POLES WILL BE ADDED TO EXISTING CIRCUITS

ELECTRICAL POLE SPECIFICATIONS:

TYPE	MANUFACTURER & CATALOG NO.	DESCRIPTION	LAMPS	WATTS	VOLTS	REMARKS
O P	SPRING CITY : ALMWSH-LE880-119-30-ONS-YS11-CU	LIGHTING POLE	LED	80	120/277V	AS APPROVED BY OWNER
SH	LEOTEK: (2)A113-15M2-M-NW-4-XX-S30-S_MH 30'	LIGHTING POLE	LED	180	120/277V	AS APPROVED BY OWNER

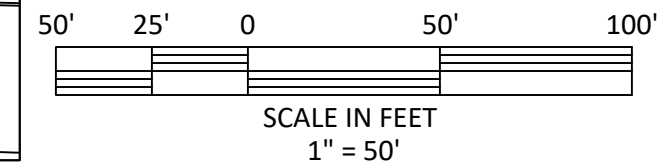
NOTE: PROVIDE ALL REQUIRED MOUNTING HARDWARE AND WIRING TO CONNECT LIGHTING FIXTURES AT HOLLOW CORE, POST TENSION SLAB & STRUCTURAL STEEL LOCATIONS INCLUDING BOXES, HANGER BARS, STRUCTURAL APPROVED FASTENERS AND UL APPROVED CONNECTORS.

PROVIDE ALL DEVICES, DRYWALL FLANGES, MOUNTING EQUIPMENT, CHAIN, STRAIN RELIEFS, CLIPS, ESCUTCHEONS, PLATES AND STRUCTURAL SUPPORTS FOR THE INSTALLATION AND CONNECTION OF ALL LIGHTING FIXTURES.

ALL LAMPING COLOR TEMPERATURE SHALL BE 4000K MINIMUM FOR ALL LIGHTING FIXTURES.

COORDINATE THE ACTUAL TYPE OF LIGHTING FIXTURES WITH ARCHITECTURAL LIGHTING SCHEDULES AND OWNER LIGHTING FIXTURE STANDARD CRITERIA AS REQUIRED.

PROVIDE RECEPTACLE AT BASE OF EACH POLE



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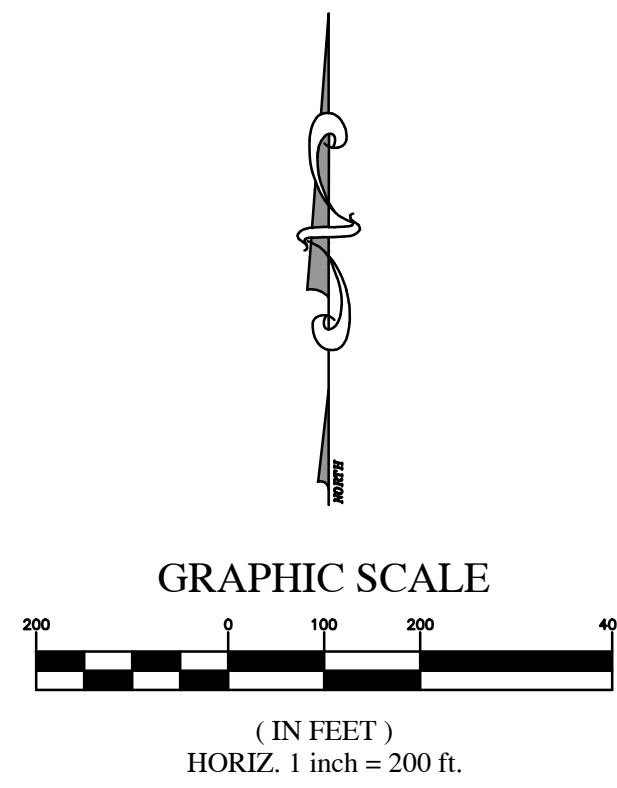
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		XXX	

**WORLD EQUESTRIAN CENTER
NORTH TRAINING FIELDS
MAIN ELECTRIC MASTERPLAN**

DATE 2-12-2024
DRAWN BY
CHKD. BY
JOB NO.

ROBERT HARTWIG
LA 0012

SHT. LC-4



- LEGEND**
- W.R.A. WATER RETENTION AREA
 - D.R.A. DRAINAGE RETENTION AREA
 - P.O.B. POINT OF BEGINNING
 - P.O.C. POINT OF COMMENCEMENT
 - D.E. DRAINAGE EASEMENT
 - TREE (SEE TREE SCHEDULE)
 - GROUND CONTOUR
 - T.B.M. TEMPORARY BENCHMARK
 - F.F. FINISH FLOOR
 - ELEV. ELEVATION
 - INV. INVERT
 - TRAFFIC SIGNAL BOX
 - SANITARY MANHOLE
 - WATER METER
 - WATER VALVE
 - TRAFFIC SIGN
 - STREET SIGN
 - GAS MARKER
 - FIBER OPTIC CABLE MARKER
 - C.M.E.S. CONCRETE MITERED END SECTION
 - LIGHT POLE
 - FIRE HYDRANT
 - TELEPHONE PEDESTAL
 - ELECTRIC METER
 - SPOT ELEVATIONS

STATE PLANE COORDINATES

CORNER A
 SET 5/8" I.R. & CAP (ROGERS LB 4074)
 NORTHING Y = 1774263.99
 EASTING X = 570715.26

CORNER B
 SET 5/8" I.R. & CAP (ROGERS LB 4074)
 NORTHING Y = 1772444.83
 EASTING X = 570585.74

SHEET INDEX:

SHEET NO.	CONTENT
1	Topographic Survey Map
2	FEMA Flood Zone Map
3	Wetlands Map
4	Wetland Area Details
5	Tree Location Map
6	Tree Schedule

- SURVEY REPORT:**
1. THE STATE PLANE COORDINATES SHOWN HEREON FOR TWO CORNERS OF THE PROJECT AREA ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, FLORIDA WEST ZONE, NAD-83 AND DERIVED FROM THE L-NET NETWORK.
 2. VERTICAL DATA IS BASED ON MARION COUNTY VERTICAL CONTROL POINTS "A 593", PUBLISHED ELEVATION = 129.21, NAVD-88
 3. FIELD SURVEY DATE: 8-23-2022.
 4. THIS PROPERTY APPEARS TO BE IN A ZONE "X" (AREA OF MINIMAL FLOOD HAZARD), ZONE "A" AND ZONE "AE (ELEVATIONS VARY)" (SPECIAL FLOOD HAZARD AREA) ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY NUMBER 120160, PANEL 0484, SUFFIX E, WITH AN EFFECTIVE DATE OF 4/19/2017. THE LIMITS OF ZONE "AE" SHOWN HEREON WERE INTERPOLATED FROM THE FIRM AND ALSO THE TOPOGRAPHIC SURVEY PERFORMED BY THIS FIRM ON 8-23-2022.
 5. THE BEARINGS AND DISTANCES FOR THE WETLAND LINES AND THE STATE PLANE COORDINATES FOR THE WETLAND POINTS, ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, FLORIDA WEST ZONE, NAD-83, AND DERIVED FROM THE L-NET NETWORK.

RODNEY K. ROGERS DATE
 PROFESSIONAL SURVEYOR & MAPPER
 REGISTRATION NO. 5274
 STATE OF FLORIDA

DATE	REVISION

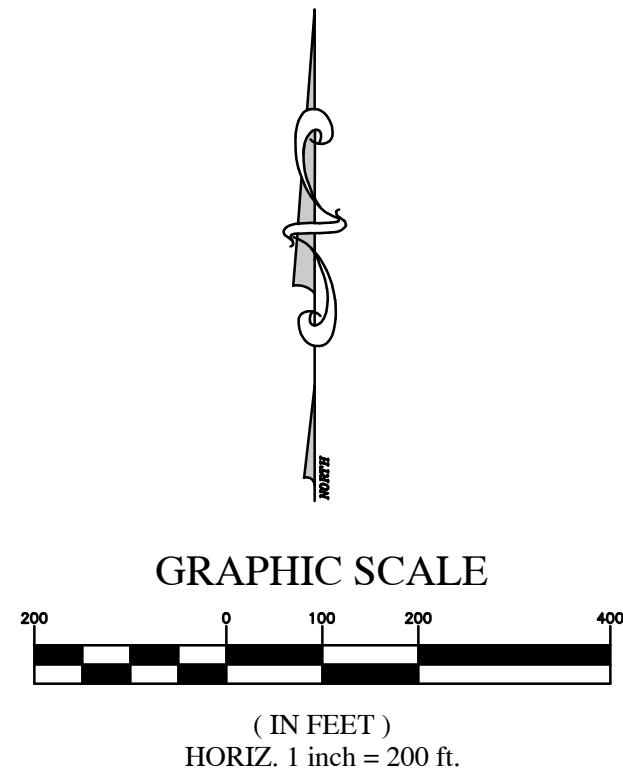
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A TOPOGRAPHIC SURVEY
 FOR
 EQUESTRIAN OPERATIONS, LLC
Topographic Survey Map

JOB No. 22_MASTER
DATE 11-2-2022
SCALE 1" = 200'
SHEET 1 OF 6



- LEGEND**
- W.R.A. WATER RETENTION AREA
 - D.R.A. DRAINAGE RETENTION AREA
 - P.O.B. POINT OF BEGINNING
 - P.O.C. POINT OF COMMENCEMENT
 - D.E. DRAINAGE EASEMENT
 - TREE (SEE TREE SCHEDULE)
 - GROUND CONTOUR
 - T.B.M. TEMPORARY BENCHMARK
 - F.F. FINISH FLOOR
 - ELEV. ELEVATION
 - INV. INVERT
 - ☐ TRAFFIC SIGNAL BOX
 - SANITARY MANHOLE
 - ⊗ WATER METER
 - ⊕ WATER VALVE
 - ⊕ TRAFFIC SIGN
 - ⊕ STREET SIGN
 - ⊕ GAS MARKER
 - ⊕ FIBER OPTIC CABLE MARKER
 - C.M.E.S. CONCRETE MITERED END SECTION
 - ⊕ LIGHT POLE
 - ⊕ FIRE HYDRANT
 - ⊕ TELEPHONE PEDESTAL
 - ⊕ ELECTRIC METER
 - ⊕ SPOT ELEVATIONS

DATE	REVISION

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A TOPOGRAPHIC SURVEY
 FOR
EQUESTRIAN OPERATIONS, LLC
 FEMA Flood Zone Mgp

JOB No. 22_MASTER
DATE 11-2-2022
SCALE 1" = 200'
SHEET 2 OF 6

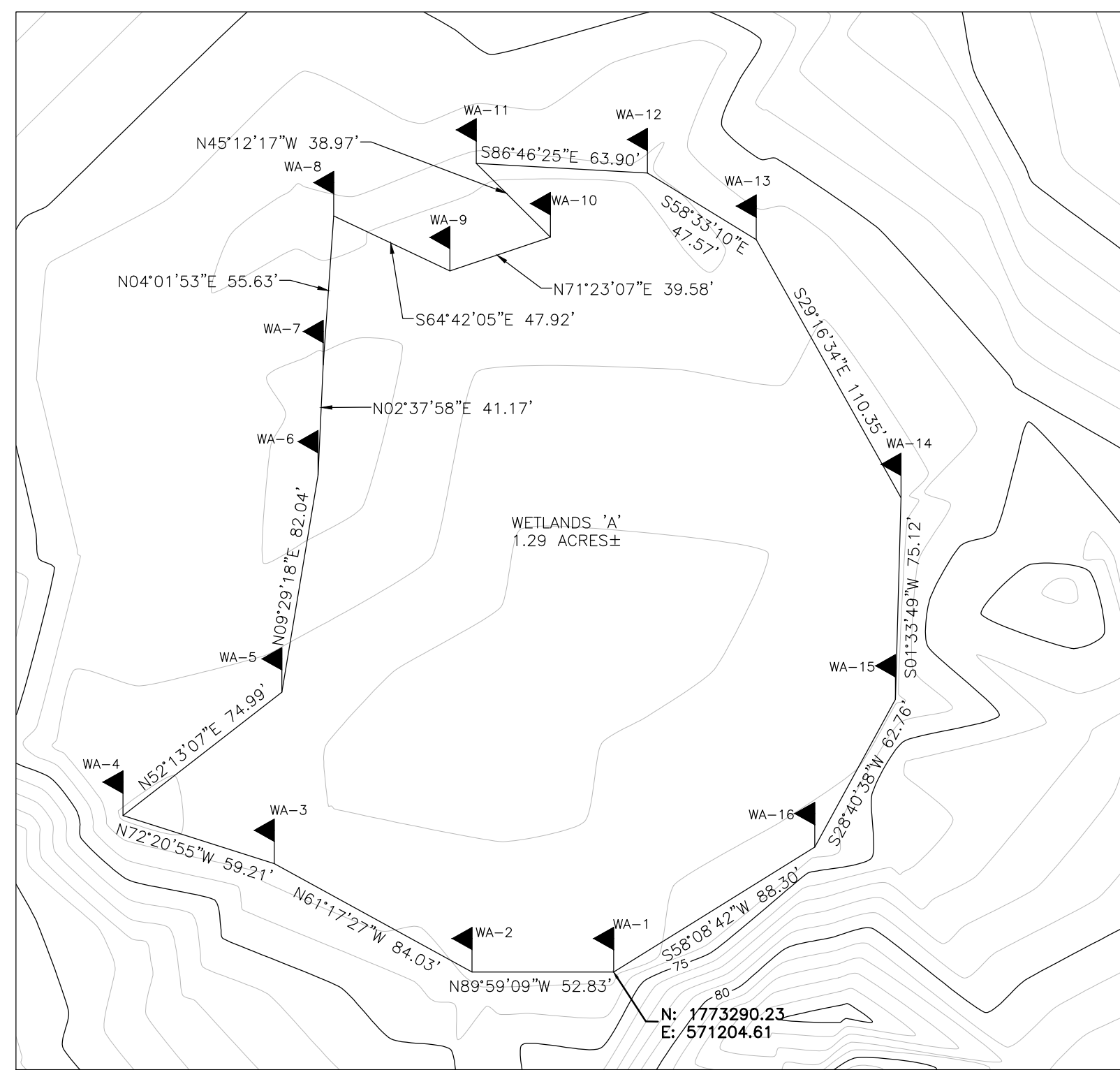
RODNEY K. ROGERS DATE
 PROFESSIONAL SURVEYOR & MAPPER
 REGISTRATION NO. 5274
 STATE OF FLORIDA



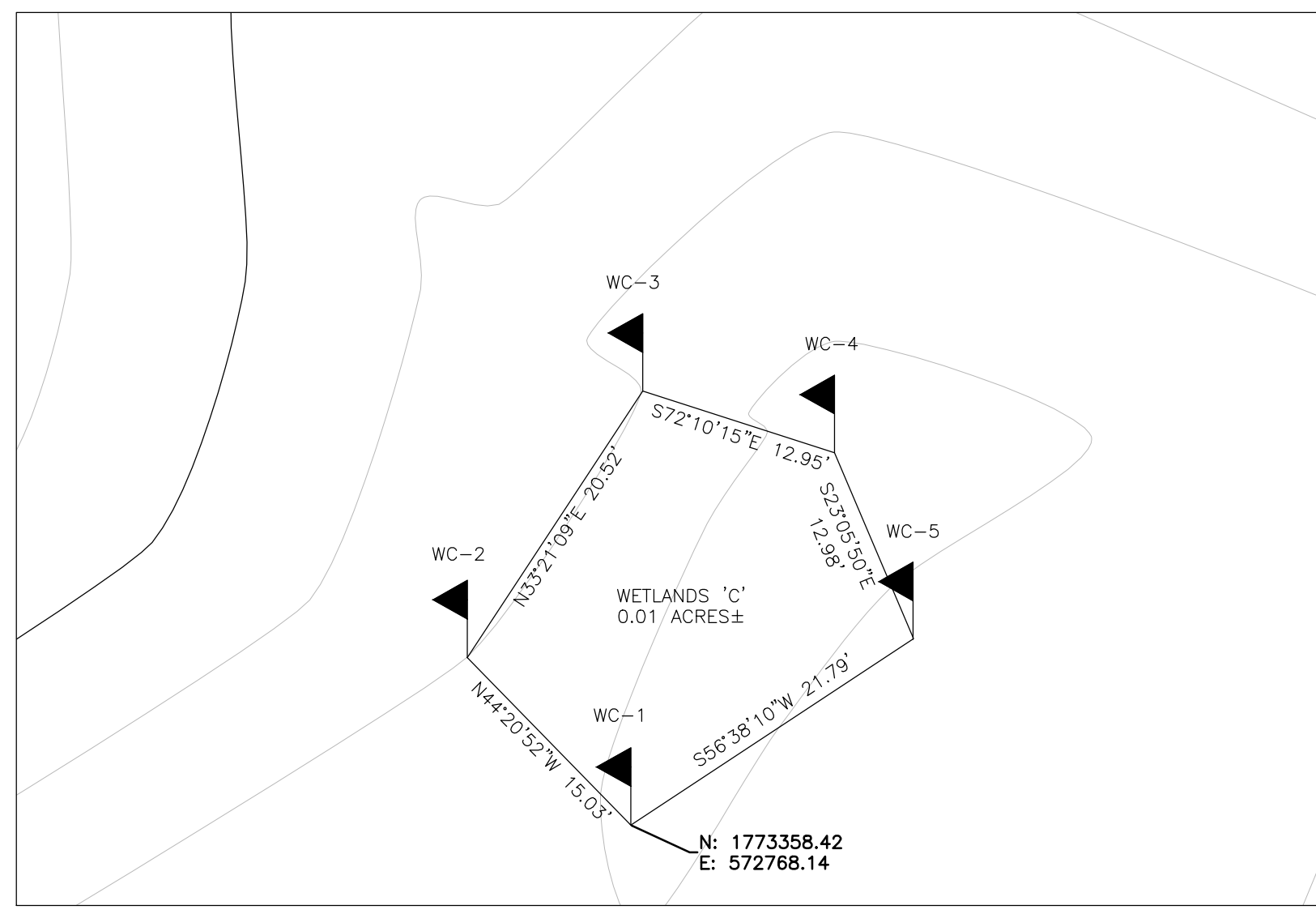
WETLANDS 'B' DETAIL
SCALE
1" = 60'

LINE TABLE FOR WETLAND 'B'

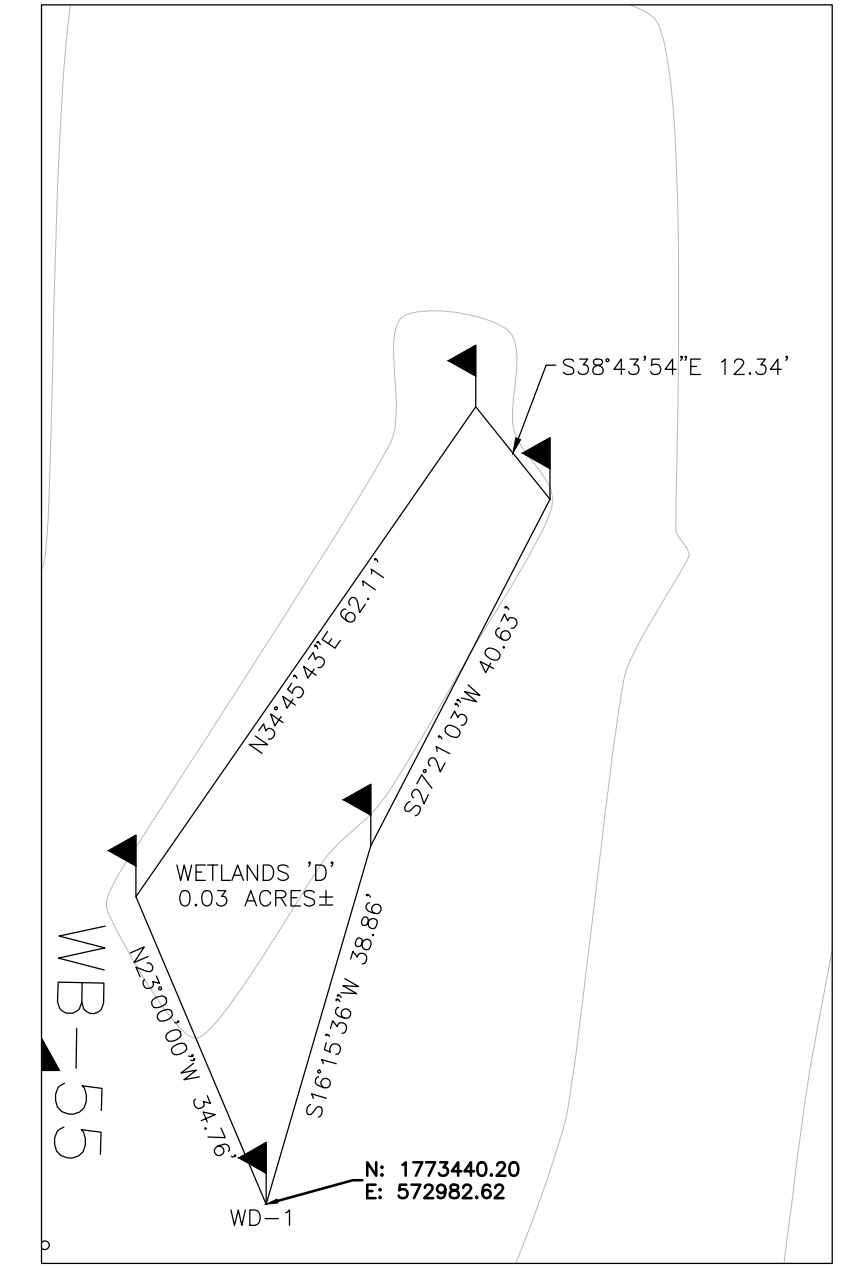
L1 N06°51'06"W 24.66'	L10 S78°17'38"E 36.87'
L2 N10°22'44"E 12.44'	L11 S35°57'15"W 48.86'
L3 N61°22'04"E 15.48'	L12 N29°25'00"E 28.46'
L4 S87°34'22"E 19.27'	L13 N02°17'58"E 58.97'
L5 S47°11'16"E 13.32'	L14 N07°59'05"E 52.06'
L6 S15°07'20"W 27.09'	L15 S80°39'56"E 34.00'
L7 S16°32'34"W 20.31'	L16 N00°56'41"E 30.51'
L8 S19°14'10"E 46.39'	L17 N70°32'36"E 38.52'
L9 S39°20'10"E 33.31'	L18 N02°22'13"E 30.52'



WETLANDS 'A' DETAIL
SCALE
1" = 50'



WETLANDS 'C' DETAIL
SCALE
1" = 10'



WETLANDS 'D' DETAIL
SCALE
1" = 20'

RODNEY K. ROGERS DATE
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 5274
STATE OF FLORIDA

- LEGEND**
- ▲ WETLAND FLAGS
 - WA-1 WETLAND FLAG NUMBERS
 - W.R.A. WATER RETENTION AREA
 - D.R.A. DRAINAGE RETENTION AREA
 - P.O.B. POINT OF BEGINNING
 - P.O.C. POINT OF COMMENCEMENT
 - D.E. DRAINAGE EASEMENT
 - TREE (SEE TREE SCHEDULE)
 - GROUND CONTOUR
 - T.B.M. TEMPORARY BENCHMARK
 - F.F. FINISH FLOOR
 - ELEV. ELEVATION
 - INV. INVERT
 - TRAFFIC SIGNAL BOX
 - SANITARY MANHOLE
 - WATER METER
 - WATER VALVE
 - TRAFFIC SIGN
 - STREET SIGN
 - GAS MARKER
 - FIBER OPTIC CABLE MARKER
 - C.M.E.S. CONCRETE MITERED END SECTION
 - LIGHT POLE
 - FIRE HYDRANT
 - TELEPHONE PEDESTAL
 - ELECTRIC METER
 - SPOT ELEVATIONS

DATE	REVISION

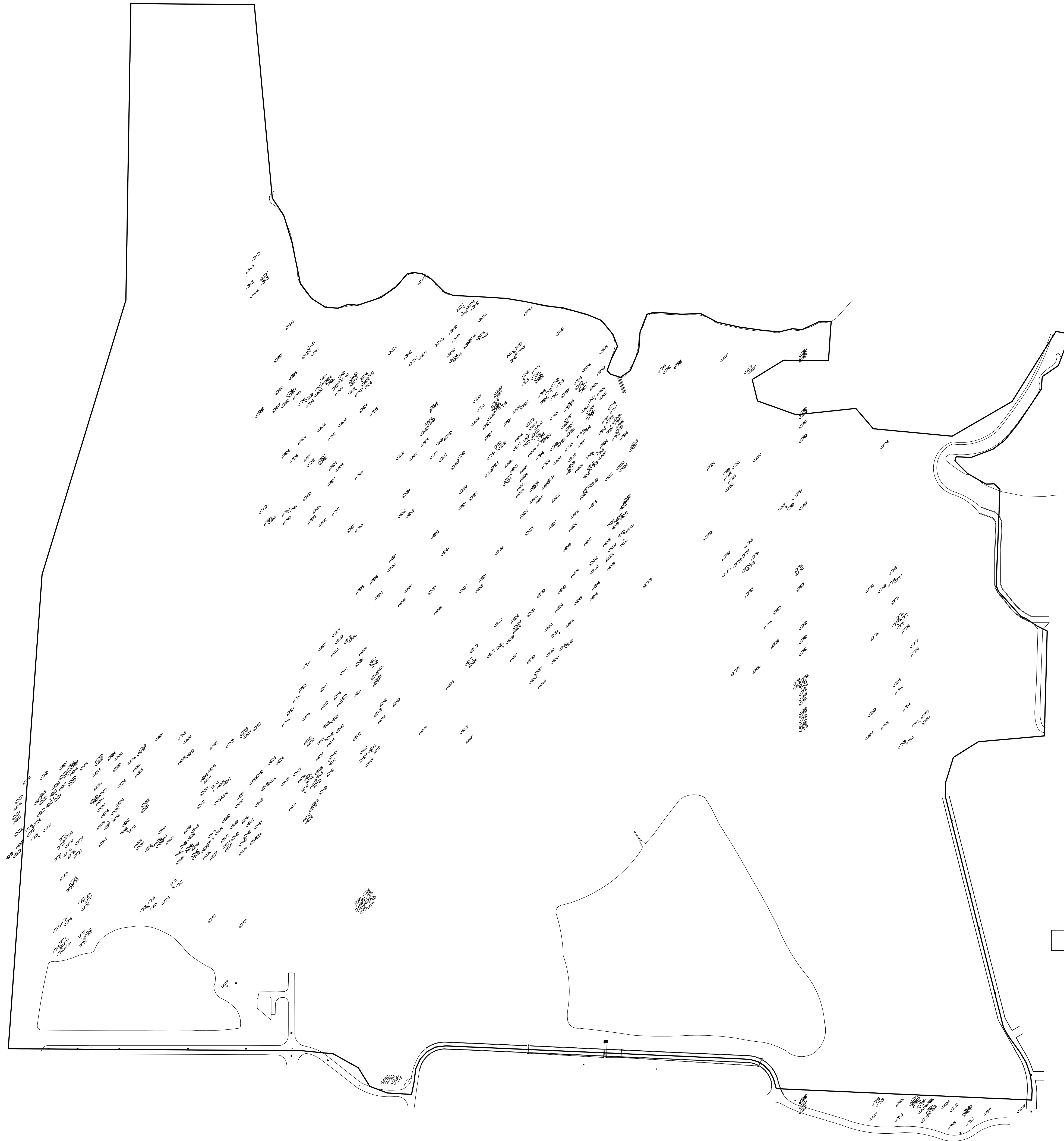
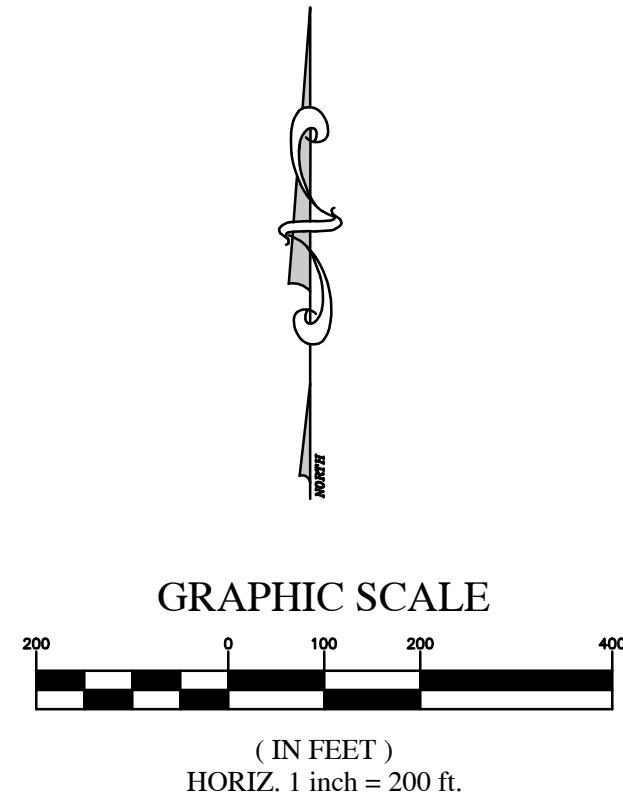
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A TOPOGRAPHIC SURVEY
FOR
EQUESTRIAN OPERATIONS, LLC
Wetlands Area Details

JOB No. 22_MASTER
DATE 11-2-2022
SCALE 1" = 200'
SHEET 4 OF 6



SEE SHEET 6 FOR TREE SCHEDULE

- LEGEND**
- W.R.A. WATER RETENTION AREA
 - D.R.A. DRAINAGE RETENTION AREA
 - P.O.B. POINT OF BEGINNING
 - P.O.C. POINT OF COMMENCEMENT
 - D.E. DRAINAGE EASEMENT
 - TREE (SEE TREE SCHEDULE)
 - GROUND CONTOUR
 - T.B.M. TEMPORARY BENCHMARK
 - F.F. FINISH FLOOR
 - ELEV. ELEVATION
 - INV. INVERT
 - TRAFFIC SIGNAL BOX
 - SANITARY MANHOLE
 - WATER METER
 - WATER VALVE
 - TRAFFIC SIGN
 - STREET SIGN
 - GAS MARKER
 - FIBER OPTIC CABLE MARKER
 - C.M.E.S. CONCRETE MITERED END SECTION
 - LIGHT POLE
 - FIRE HYDRANT
 - TELEPHONE PEDESTAL
 - ELECTRIC METER
 - SPOT ELEVATIONS

RODNEY K. ROGERS DATE
 PROFESSIONAL SURVEYOR & MAPPER
 REGISTRATION NO. 5274
 STATE OF FLORIDA

DATE	REVISION

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A TOPOGRAPHIC SURVEY
 FOR
EQUESTRIAN OPERATIONS, LLC
Tree Location Map

JOB No. 22_MASTER
DATE 11-2-2022
SCALE 1" = 200'
SHEET 5 OF 6

TREE NUMBER	TREE DESCRIPTION
17008	26" OAK
17009	12" OAK
17010	12" OAK
17011	10" OAK
17012	10" OAK
17013	12" OAK
17014	15" OAK
17015	14" OAK
17016	20" OAK
17017	15" OAK
17018	24" OAK
17019	12" OAK
17020	30" OAK
17021	30" OAK
17022	14" OAK
17023	10" OAK
17024	30" OAK
17025	28" OAK
17026	12" OAK
17027	12" OAK
17028	18" OAK
17029	16" OAK
17030	14" OAK
17031	12" OAK
17032	10" OAK
17081	36" OAK
17208	40" OAK
17234	12" OAK
17235	(2) 36" OAKS
17236	12" OAK
17250	18" OAK
17310	30" OAK
17311	20" OAK
17312	30" OAK
17313	24" OAK
17315	28" OAK
17316	60" OAK
17317	(2) 30" OAKS
17318	60" OAK
17319	12" OAK
17320	80" OAK
17321	(2) 14" OAKS
17322	(4) 12" OAKS
17323	15" OAK
17324	18" TURKEY OAK
17325	18" OAK
17326	14" OAK
17327	15" OAK
17328	14" OAK
17329	48" OAK
17330	(2) 10" OAKS
17331	(2) 16" OAKS
17332	(3) 12" OAKS
17374	24" OAK
17377	36" OAK
17378	50" OAK
17379	48" OAK
17380	36" OAK
17381	30" OAK
17383	26" OAK
17384	26" OAK
17385	36" OAK
17386	40" OAK
17388	(2) 18" OAK
17389	(2) 12" OAK
17392	30" OAK
17402	18" OAK X 2
17417	14" OAK X 8
17418	36" OAK
17419	24" OAK X 4
17422	30" OAK X 3
17438	40" OAK
17444	18" OAK X 2
17450	18" OAK
17454	18" OAK
17460	15" OAK
17461	12" OAK
17463	24" OAK
17464	20" OAK
17484	24" OAK
17485	16" OAK
17486	20" OAK
17487	15" OAK
17492	30" OAK
17493	28" OAK
17498	40" OAK
17510	26" OAK
17511	36" OAK
17512	36" OAK
17513	36" OAK
17514	32" OAK
17515	20" OAK X 2
17516	18" OAK

17517	42" OAK
17518	14" OAK
17519	26" OAK
17520	36" OAK
17521	18" OAK X 2
17536	(4) 18" OAK
17543	15" OAK
17544	30" OAK X 2
17547	12" OAK X 3
17548	36" OAK
17549	36" OAK
17550	36" OAK
17551	20" OAK X 3
17552	12" OAK X 3
17553	15" OAK X 3
17554	14" OAK
17555	12" OAK X 3
17556	12" OAK X 2
17557	20" OAK
17558	24" OAK
17559	14" OAK
17560	20" OAK
17561	14" OAK
17562	18" OAK
17563	16" OAK
17564	24" OAK
17565	28" OAK
17566	16" OAK
17567	20" OAK X 2
17568	24" OAK
17569	14" OAK X 2
17570	24" OAK
17571	22" OAK
17572	12" OAK
17574	20" OAK
17575	12" OAK
17576	20" OAK
17577	12" OAK
17580	14" OAK
17584	18" OAK
17585	14" OAK
17586	46" OAK
17587	30" OAK
17588	14" OAK
17589	18" OAK
17590	20" OAK
17591	16" OAK X 2
17593	18" OAK
17594	24" OAK
17596	14" OAK
17597	14" OAK
17598	22" OAK
17599	18" OAK
17600	20" OAK
17602	16" OAK
17603	16" OAK
17604	15" OAK X 3
17605	18" OAK
17606	24" OAK
17608	14" OAK X 3
17609	14" OAK
17610	14" OAK
17611	16" OAK
17612	16" OAK
17613	12" OAK X 5
17614	24" OAK
17615	24" OAK
17616	18" OAK
17617	22" OAK
17618	12" OAK X 2
17628	20" OAK
17644	14" OAK X 2
17645	12" OAK X 4
17646	12" OAK
17647	12" OAK
17648	14" OAK X 2
17649	14" OAK X 3
17684	38" OAK
17701	30" OAK
17702	44" OAK
17703	48" OAK
17704	36" OAK
17705	30" OAK
17706	34" OAK
17707	18" PINE
17708	15" OAK
17709	18" OAK
17710	22" OAK
17711	18" OAK
17712	20" OAK
17713	12" OAK
17714	15" OAK
17715	14" OAK
17716	18" PINE

17717	16" OAK
17718	20" PINE
17719	(2) 14" OAKS
17720	13" OAK
17721	12" OAK
17722	(2) 36" OAKS
17723	15" OAK
17724	12" PINE
17725	48" PINE
17726	12" OAK
17727	20" PINE
17728	22" PINE
17729	18" PINE
17730	18" PINE
17731	(4) 12" OAKS
17732	72" OAK
17733	30" OAK
17734	28" OAK
17735	18" OAK
17736	20" PINE
17737	24" PINE
17738	14" PINE
17739	12" OAK
17740	16" PINE
17741	15" OAK
17743	18" OAK
17744	30" OAK
17749	24" OAK
17754	48" OAK
17757	24" OAK X 3
17758	24" OAK X 2
17760	14" OAK X 3
17761	20" OAK X 2
17762	60" OAK
17763	28" OAK
17764	28" OAK
17765	32" OAK
17766	20" OAK X 3
17767	18" OAK X 2
17768	12" OAK X 3
17770	16" OAK X 5
17771	24" OAK
17772	14" OAK
17773	12" OAK
17774	16" OAK
17775	18" OAK
17776	20" OAK X 4
17777	18" OAK
17778	20" OAK X 2
17779	16" OAK X 4
17780	40" OAK
17781	16" OAK
17782	12" OAK
17783	12" OAK
17787	28" OAK
17788	36" OAK
17790	18" OAK X 5
17791	28" OAK X 2
17792	36" OAK
17793	16" OAK X 2
17794	16" OAK X 2
17795	34" OAK
17796	72" OAK
17797	22" OAK X 2
17798	22" OAK X 4
17799	30" OAK
17800	20" OAK X 4
17801	30" OAK X 2
17802	38" OAK
17803	42" OAK
17804	42" OAK
17806	18" OAK X 2
17807	16" OAK X 2
17808	69" OAK
17809	14" OAK X 5
17810	16" OAK X 4
17811	18" OAK X 2
17812	24" OAK X 2
17813	16" OAK X 2
17814	14" OAK
17815	14" OAK
17816	16" OAK
17817	18" OAK
17818	16" OAK
17819	28" OAK
17820	36" OAK
17822	14" OAK
17823	24" OAK
17824	24" OAK
17825	24" OAK
17826	30" OAK
17829	22" OAK
17832	14" OAK
17833	30" OAK

17834	36" OAK
17835	22" OAK
17836	26" OAK
17837	26" OAK
17838	36" OAK
17839	28" OAK
17840	18" OAK
17841	14" OAK
17842	36" OAK
17843	28" OAK
17844	24" OAK
17845	18" OAK X 2
17846	36" OAK
17847	20" OAK
17848	24" OAK
17849	14" OAK
17850	32" OAK
17855	20" OAK
17856	18" OAK
17857	15" OAK
17858	28" OAK
17861	14" OAK
17862	16" OAK X 2
17863	15" OAK
17864	24" OAK
17866	18" OAK
17867	16" OAK X 2
17868	24" OAK
17869	22" OAK
17870	12" OAK X 3
17871	18" OAK
17872	18" OAK
17873	12" OAK X 4
17874	28" OAK
17875	36" OAK
17876	40" OAK
17889	45" OAK
17890	14" OAK
17891	36" OAK X 4
17892	18" OAK
17893	30" OAK
17894	30" OAK
17895	36" OAK
17896	18" OAK
17897	18" OAK
17898	16" OAK
17899	32" OAK
17900	18" OAK
17901	18" OAK
17902	30" OAK
17904	32" OAK
17905	26" OAK
17906	22" OAK
17907	22" OAK
17908	18" OAK
17909	15" OAK
17912	30" OAK X 2
17913	18" OAK
17940	20" OAK
17945	16" OAK
17946	16" OAK
17948	22" OAK
17949	18" OAK
17950	24" OAK
17959	14" OAK X 2
17962	22" OAK
17968	16" OAK
17974	22" OAK X 2
17985	12" OAK X 2
17986	18" OAK
17987	12" OAK
17988	12" OAK
17989	12" OAK X 3
17990	18" OAK
17991	14" OAK
17992	18" OAK
17993	16" OAK
17994	16" OAK
17996	18" OAK
17997	18" OAK
17998	16" OAK
17999	16" OAK
18000	18" OAK
18001	20" OAK
18002	16" OAK
18003	12" OAK X 3
18004	16" OAK X 3
18005	16" OAK
18006	42" OAK
18007	12" OAK X 2
18008	12" OAK
18009	12" OAK
18010	14" OAK X 2
18017	12" OAK X 5

18018	18" OAK
18019	22" OAK
18020	16" OAK
18021	22" OAK
18022	16" OAK
18023	18" OAK
18024	14" OAK
18025	24" OAK
18026	14" OAK X 2
18027	18" OAK
18028	18" OAK
18029	12" OAK
18030	16" OAK X 2
18031	16" OAK
18032	14" OAK
18033	24" OAK
18034	24" OAK
18035	12" OAK X 3
18036	18" OAK
18037	38" OAK
18038	18" OAK X 3
18039	16" OAK X 2
18040	18" OAK
18041	16" OAK X 2
18042	16" OAK X 2
18043	18" OAK X 2
18044	14" OAK
18046	20" OAK
18047	20" OAK
18048	22" OAK
18049	20" OAK X 3
18050	18" OAK X 3
18051	30" OAK X 2
18052	30" OAK
18053	42" OAK
18054	32" OAK
18055	14" OAK
18056	14" OAK
18057	20" OAK X 2
18058	16" OAK
18059	38" OAK
18060	38" OAK
18061	18" OAK X 3
18062	18" OAK X 2
18063	20" OAK
18064	14" OAK
18065	18" OAK X 2
18066	20" OAK
18067	36" OAK
18068	14" OAK X 2
18069	14" OAK
18070	14" OAK X 2
18071	16" OAK X 2
18072	14" OAK
18073	28" OAK
18074	18" OAK X 2
18075	20" OAK
18076	36" OAK
18077	22" OAK X 2
18078	42" OAK
18079	36" OAK
18080	36" OAK
18081	16" OAK
18082	16" OAK
18083	18" OAK
18084	18" OAK
18085	16" OAK
18086	48" OAK
18087	36" OAK
18088	36" OAK
18089	30" OAK
18090	46" OAK
18091	16" OAK X 2
18092	18" OAK
18093	14" OAK X 3
18094	24" OAK
18095	16" OAK X 2
18096	16" OAK
18097	18" OAK
18098	18" OAK
18099	36" OAK
18100	50" OAK
18101	18" OAK
18102	14" OAK
18103	20" OAK X 4
18104	36" OAK
18105	18" OAK
18106	24" OAK
18107	18" OAK
18108	38" OAK
18109	26" OAK X 3
18110	24" OAK
18111	40" OAK
18112	36" OAK

18113	20" OAK