

April 24, 2024

PROJECT NAME: GREENWAY ESTATES

PROJECT NUMBER: 2023040043

APPLICATION: IMPROVEMENT PLAN #31022

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.9/10 - Proposed Drainage Right-of-Way/Easements
STATUS OF REVIEW: INFO
REMARKS: This criteria to be reviewed with the final plat.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.22 - Stormwater Tract/Right-of-Way
STATUS OF REVIEW: INFO
REMARKS: This criteria to be reviewed with the final plat.
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.B(8) - Calculation & Plan Consistency
STATUS OF REVIEW: INFO
REMARKS: This criteria to be reviewed with resubmittal.
- 4 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 5 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.
- 6 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, conditions, date of approval
STATUS OF REVIEW: INFO
REMARKS: 3/5/24-add waivers if requested in future - sk
- 7 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
- 8 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2.A(1) - Public water service area/provider
STATUS OF REVIEW: INFO

REMARKS: City of Belleview - per letter (not included with Improvement Plan), water is not currently available within connection distance. Public water connection required within 365 days' notice of availability.

- 9 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2.A(1) - Public sewer service area/provider
STATUS OF REVIEW: INFO
REMARKS: City of Belleview - per letter (not included with Improvement Plan), sewer is not currently available within connection distance. Public sewer connection required within 365 days' notice of availability.
- 10 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.3.B - Springs Protection Zone
STATUS OF REVIEW: INFO
REMARKS: defer to DOH for septic conditions - within the BMAP
- 11 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.3 - Fire Protection/Fire Flow Capacity
STATUS OF REVIEW: INFO
REMARKS: defer to MCFR; no public water available to serve
- 12 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities
STATUS OF REVIEW: INFO
REMARKS: no fee for this review
- 13 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.6 - Location of water and sewer supply systems with size and capacity (is a SUP needed?)
STATUS OF REVIEW: INFO
REMARKS: well & septic
- 14 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.11 - Landscape installation
STATUS OF REVIEW: INFO
REMARKS: Installation shall mean survival in perpetuity
- 15 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW
REVIEW ITEM: Improvement Plan
STATUS OF REVIEW: INFO
REMARKS: IF APPLICABLE:
Sec. 2.18.1.I - Show connections to other phases.
Sec.2.19.2.H – Legal Documents
Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.
Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)
For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."
Sec. 6.3.1.B.2 – Required Right of Way Dedication
For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of

Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."
2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

16 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 2.12.4.L(9)(b) - Data Block (Impervious Area)

STATUS OF REVIEW: NO

REMARKS: Please provide data block on the cover sheet detailing the existing and proposed impervious & pervious area in SF, ac, and %. Please include any offsite drainage to your site in the data block.

17 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 2.12.8 - Topographical Contours

STATUS OF REVIEW: NO

REMARKS: (1) LDC requires that the survey have been performed in the last 12 months. You have one of two options for addressing this. You can have the surveyor recertify the survey. Or you can apply for a waiver. If there have been no changes to the site, staff can support the waiver.

18 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.7 - Geotechnical Criteria

STATUS OF REVIEW: NO

REMARKS: (1) Please note that the LDC requires a minimum of two borings per DRA, with an additional boring for each half acre of pond bottom. (2) The LDC requires that for each retention/detention area utilizing percolation or infiltration in the design model, there shall be a minimum of two infiltration rate tests for each retention/detention area.

19 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.A(1)/(2) - Contributing Basins/Tc

STATUS OF REVIEW: NO

REMARKS: Please provide a table of the lots with a breakdown of the impervious area allocated to each lot. Include the areas allotted for the building, driveway, patio areas, accessory structures (pools, patios, sheds, guest houses, etc.). Ultimately, zoning and stormwater staff need to be able to determine how much impervious is allocated to each lot for permitting structures. Please provide the areas in square feet.

20 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations

STATUS OF REVIEW: NO

REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"

21 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.A(3) - Retention/Detention Area Design Parameters

STATUS OF REVIEW: NO

REMARKS: (1) Please update DRA cross sections to include the estimated seasonal high-water elevation, (2) Please add the following note with the pond cross section: "A minimum of three feet of unconsolidated soil material shall be provided between the surface of any limestone bedrock and the bottom and sides of any stormwater facility." (3) Add coordinates or dimensions to the major pond components (changes in alignment, corners, etc) for constructability.

22 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.3 - Type of Stormwater Facility Criteria

STATUS OF REVIEW: NO

REMARKS: Retention/detention areas serving residential lots shall be designed with a minimum berm width of 12 feet stabilized at a maximum of six percent grade maximum around the entire perimeter of the facility.

23 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.4 - Stormwater Quantity Criteria

STATUS OF REVIEW: NO

REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"

24 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.B(4) - Hydrologic Analysis

STATUS OF REVIEW: NO

REMARKS: (1) For DRA 4.0, please clarify which category description the DRA area was included in for the runoff coefficient calculations. The other DRAs appear to have been included in the Imp. DRA (wetted) category with CN = 100. (2) The Soil boring data summary in the drainage report references a DRA 6.0. This DRA is not depicted on the plans. Please clarify. Also, the location map on the coversheet also labels a DRA 6.0 (3) For DRA 3.0, it appears that the existing offsite property to the North previously drained to the existing low that spans across the property boundary. Please provide analysis demonstrating that berming the north property line will not lead to staging on the offsite property higher than would be expected in current conditions. (4) For DE 5.0, it appears that the existing offsite property to the East drained to the existing low that spans the property boundary. Please provide analysis demonstrating that berming the east property line will not lead to staging on the offsite property higher than would be expected in current conditions. (5) For the modeling of DRA 5.0 you've utilized borings that are several hundred feet apart and one that is several hundred feet outside the footprint of the DRA. You've used the seasonal high of the better boring (rather than averaging) and the hydraulic conductivity from the boring that is not within the footprint of the proposed DRA. If you want to use the data for the two borings, you need to use average values and seek a waiver for the geotechnical requirements of the LDC. Otherwise, you need a second boring and perc tests for within the footprint of the DRA. (6) Per the Ponds input sheets, it appears that the hydraulic conductivity values have been utilized with no factor of safety assumed. This is a relatively aggressive assumption considering the

variety and character of the deeper soils on this site. We typically see factors of safety between 1.5 and 2.0. Please confirm the design intent.

- 25 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.4.C - Discharge Conditions
STATUS OF REVIEW: NO
REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"
- 26 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.B(6) - Freeboard
STATUS OF REVIEW: NO
REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"
- 27 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.4.D - Recovery Analysis
STATUS OF REVIEW: NO
REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"
- 28 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.5 - Flood Plain & Protection
STATUS OF REVIEW: NO
REMARKS: At DE 5.0, there appears to be a County Flood Prone Area (at elevation 62.5) that may be impacted by the proposed grading. Please confirm that there will be no negative impact to the volume of this Flood Prone Area.
- 29 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.B(5) - Hydraulic Analysis
STATUS OF REVIEW: NO
REMARKS: (1) Hydraulic Calculation reference Oak Trace Villas Phase 3, please update. (2) Please label the swales on the plans and identify in the stormwater report which swales are represented by the two different swale calculations.
- 30 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.8.B(3) - Lane Spread Calculations
STATUS OF REVIEW: NO
REMARKS: Please provide spread calculations for the curb and gutter sections of the onsite roadway.
- 31 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.A(9) - Access Accommodates Stormwater
STATUS OF REVIEW: NO
REMARKS: Please clarify the drainage intent across the access roadway within the County ROW on SE 80th Street.
- 32 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.9 - Grading Criteria
STATUS OF REVIEW: NO
REMARKS: (1) The berm being created on the north side of DRA 3.0 is shown to have a top elevation of 66.0 on the cross section. This berm is filling a natural area that is around elevation 64. Per the pond cross section the top of the berm is to be graded down to finished grade at a 4:1. Please confirm there is enough room to accommodate this grading within the developing parcel and will not extend onto adjacent property. The scale of the grading plan makes it difficult to verify. (2) The berm being created on the east side of DE 5.0 is shown to have a top elevation of 65.8 on the cross section. This berm is filling a natural area that is

around elevation 62. Per the pond cross section the top of the berm is to be graded down to finished grade at a 4:1. Please confirm there is enough room to accommodate this grading within the developing parcel and will not extend onto adjacent property. The scale of the grading plan makes it difficult to verify. Also, for this parcel there appears to be existing trees/bushes along the property line. Please confirm the fate of this vegetation with the proposed grading.

- 33 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.10 Karst Topography and High Recharge Areas
STATUS OF REVIEW: NO
REMARKS: Please seal the Karst analysis in addition to signing.
- 34 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 7.1.3 Drainage Construction Specifications
STATUS OF REVIEW: NO
REMARKS: (1) LDC requires the use of RCP pipe for stormwater conveyance piping. To pursue using an alternative material, the engineer needs to submit a request identifying the alternative material type requested, verification that the material is included on the FDOT Approved Products List, and the site specific installation meets install criteria such as depth of cover and UV protection for pipe ends. County will review the request and provide feedback. (2) Please add the following note to the cover page: "No change to the work as shown on the approved plans shall be made without notification to and approval by the office of the County Engineer."
- 35 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.
STATUS OF REVIEW: NO
REMARKS: After all stormwater comments are resolved, please upload a digitally signed and sealed report. A hard copy signed and sealed report can be submitted if desired.
- 36 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: NO
REMARKS: (1) General Note 6 on the cover sheet states there are no FEMA or Marion County 100 year flood Plains on this site. There is a County Flood Prone area on the eastern boundary of this site. Please clarify. (2) The Drainage Summary on the Cover sheet appears to state that the 100 yr./24 hour storm event is 11.0". Per the calculations, 11.5" was modeled. Please clarify. (3) The soil boring summary in the drainage report states that the borings were performed by Central Testing Laboratory, Inc. The geotechnical report submitted is from Florida Geotechnical Services, LLC. Please clarify. (4) If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.
- 37 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 2.12.9 - Location and dimensions of streets and right-of-way
STATUS OF REVIEW: NO
REMARKS: 3/1/24 - Show the driveways on the opposite side of the street.
- 38 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.5.C(4) - Driveway sight distance
STATUS OF REVIEW: NO
REMARKS: 3/1/24 - Show that the driveway meets FDOT Intersection Sight Distance criteria and provide a note on the plans stating such.

- 39 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.9.B - Traffic signs
STATUS OF REVIEW: NO
REMARKS: 3/1/24 - Include street name signs on top of the stop sign and include the detail of the stop and street name combination in the plans.
- 40 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.9.C - Pavement marking
STATUS OF REVIEW: NO
REMARKS: 3/1/24 - Show a stop bar next to the stop sign at the connection to SE 80th Street.
- 41 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.12.2 - Right-of-way
STATUS OF REVIEW: NO
REMARKS: 3/1/24 - A right-of-way dedication is required along SE 80th Street for the Santos Trail project. The right -of-way dedication needs to match what is in the current plans for the project. Please contact Mary Jensen at the Office of the County Engineer. She is the project manager for the trail project and can provide those plans.
- 42 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.12.8 - Soil data
STATUS OF REVIEW: NO
REMARKS: 3/1/24 - Provide roadway centerline soil borings every 600 feet.
- 43 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.12.10 - Intersection layout
STATUS OF REVIEW: NO
REMARKS: 3/1/24 - The connection to SE 80th Street needs to be coordinated with the design for the Santos Trail. The center island likely needs to be moved back.
- 44 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.12.11 - Turn lanes
STATUS OF REVIEW: NO
REMARKS: 3/1/24 - A left turn lane is needed in the curve for safety. This will require a separate offsite improvement plan to be reviewed and approved concurrently with the onsite improvement plan.
- 45 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.18.2.B - Improvement Plan fee of \$1,200.00 + (\$10.00 x per lot)
STATUS OF REVIEW: NO
REMARKS: 3/5/24-fee due with resubmittal
- 46 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.3 - Title block shall be shown on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions
STATUS OF REVIEW: NO
REMARKS: 3/5/24-missing type of application on subsequent title blocks - sk
- 47 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Marion County Utilities Contact Information
STATUS OF REVIEW: NO
REMARKS: Cover sheet - change Marion County Utilities/Josh Kramer/352-438-2383 to the correct utility authority - City of Belleview Utilities and their required contact info.

- 48 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2.A(1) - Letter of Availability and Capacity (w/Location Map of water and/or sewer as app) from provider
STATUS OF REVIEW: NO
REMARKS: Include letter from Marion County Utilities in Documents for plan reference. With no public utilities available from the utility territory provider, all water & wastewater comments will be deferred to DOH for well & septic compliance.
- 49 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.23 - Show typical setback layout for primary uses, as well as accessory uses, dimensions for all improvements
STATUS OF REVIEW: NO
REMARKS: Please provide a lot typical showing the "footprint" of a lot along with the setbacks.
- 50 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.24 - Preliminary buffer plan/6.8.6 - Buffering
STATUS OF REVIEW: NO
REMARKS: There are parcels classified as "agriculture" contiguous to this parcel. Buffering from single-family to agriculture requires an E-type buffer as described in Sec. 6.8.6(K)(5).
- 51 DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: 6.2.1.F - North arrow and graphic drawing and written scale
STATUS OF REVIEW: NO
REMARKS: Sheet C004 has the North Arrow pointing in the wrong direction.
- 52 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 2.12.18 - All trees 10" DBH and larger
STATUS OF REVIEW: NO
REMARKS: Show all existing trees 10" and larger, sizes and species
- 53 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.7.3 - Tree protection
STATUS OF REVIEW: NO
REMARKS: Provide tree protection on plan and in detail
- 54 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.7.6 - Tree removal submittal requirements
STATUS OF REVIEW: NO
REMARKS: Show tree to be removed, sizes and species
- 55 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.7.8 - Protected tree replacement requirements
STATUS OF REVIEW: NO
REMARKS: Provide mitigation calculations
- 56 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.7.9 - Replacement trees; general requirements
STATUS OF REVIEW: NO
REMARKS: Show replacement trees in plant schedule

- 57 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.5 - Landscape area requirements for residential and mixed use developments
STATUS OF REVIEW: NO
REMARKS: Provide MFLA
- 58 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.6 - Buffers
STATUS OF REVIEW: NO
REMARKS: 1. (info)Walter's Viburnum must be 18" installed, reach 36" within 1 yr, slow growing, recommend alternative 2. provide calculations showing 50% buffer area is planted. 3. Provide condition of existing trees to be used in buffer
- 59 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.10 - General planting requirements (specifications)
STATUS OF REVIEW: NO
REMARKS: Add note "All plant material to be Florida Grade #1 or better"
- 60 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.9.2 - Irrigation plan requirements (details, legend, notes)
STATUS OF REVIEW: NO
REMARKS: 1. What and where is water source? 2. Show controller location. 3. How will irrigation system be maintained? who is responsible for maintenance?
- 61 DEPARTMENT: ENGSUR - SURVEY REVIEW
REVIEW ITEM: 6.2.1.F - Provide north arrow and graphic drawing and written scale
STATUS OF REVIEW: NO
REMARKS: Please provide graphic drawing and written scale on both topo. and boundary survey's.



**Marion County
Board of County Commissioners**

AR 31022

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 4/14/2024 Parcel Number(s): 36626-00-00 Permit Number: AR #31022

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Greenway Estates Commercial Residential
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): WMH Properties LLC
Signature: *Michael W. Radcliffe*
Mailing Address: 3501 NE 10th Street City: Ocala
State: FL Zip Code: 34470 Phone #: ((352) 624-0935
Email address: _____

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Radcliffe Engineering, Inc. Contact Name: Mike Radcliffe, P.E.
Mailing Address: 2611 SE Lake Weir Ave City: Ocala
State: FL Zip Code: 34471 Phone #: (352) 629-5500
Email address: info@radcliffeengineering.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 6.13.3 - Type of Stormwater Facility Criteria
Reason/Justification for Request (be specific): Request waiver to use 5' berms as DRA's are shallow and will be privately maintained.

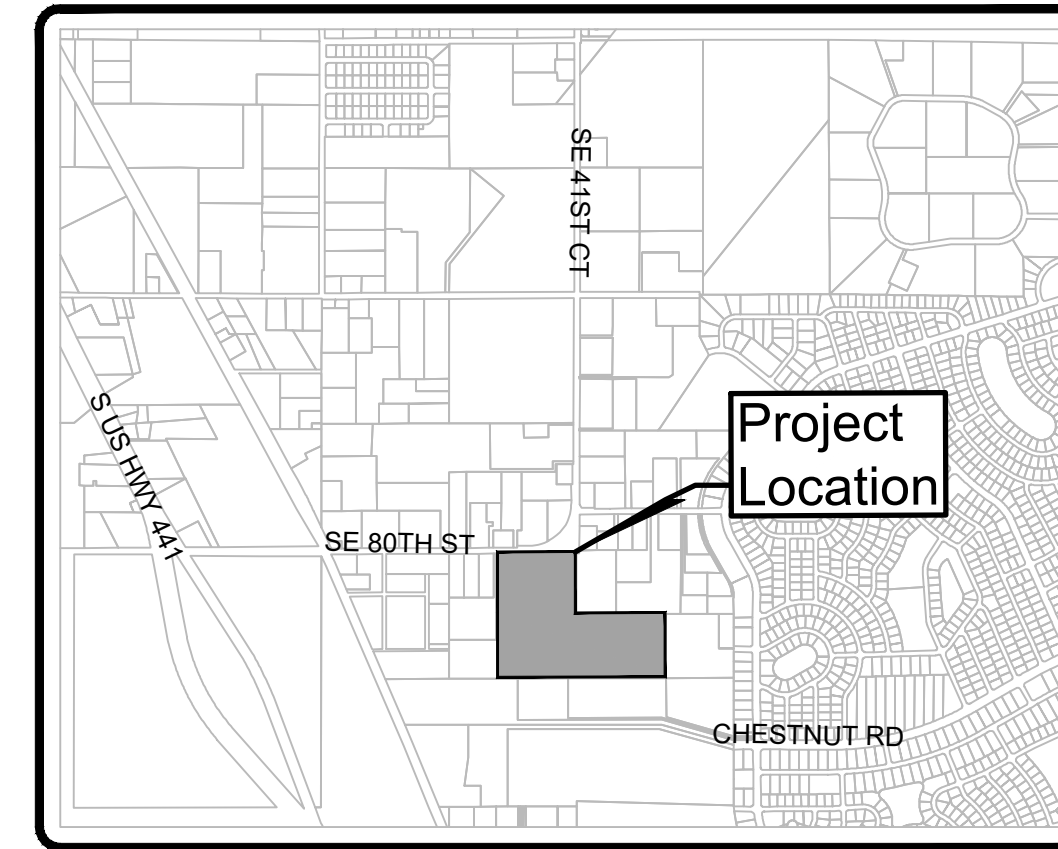
DEVELOPMENT REVIEW USE:

Received By: Email 4/23/24 Date Processed: 4/24/24 BM Project # 2023040043 AR # 31022

ZONING USE: Parcel of record: Yes No Eligible to apply for Family Division: Yes No
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes No
Date Reviewed: _____ Verified by (print & initial): _____

IMPROVEMENT PLANS

for
GREENWAY ESTATES
MARION COUNTY, FLORIDA



LOCATION MAP
SCALE: 1" = 2000'
OCALA, FLORIDA
SECTION 14, TOWNSHIP 16 SOUTH, RANGE 22 EAST

MARION COUNTY PROJECT
No. 31022

General Notes:

- SITE DEVELOPMENT PROPOSED FOR 12 PRIVATELY OWNED SINGLE FAMILY HOMES (LOW DENSITY RESIDENTIAL LAND USE). PROPERTY IS ZONED R-1; WITH 222 MAX ALLOWABLE LOTS PER WEST PUD DEVELOPMENT CONDITIONS (211008Z).
- THE SPECIFIC USE TO BE PERMITTED ON THE PROPERTY IS SINGLE-FAMILY RESIDENTIAL LOTS AND ASSOCIATED PRIVATE USE FACILITIES.
- CONSTRUCTION IS PROPOSED IN A SINGLE PHASE.
- MAXIMUM BUILDING HEIGHT WILL BE 40 FEET.
- SITE IS VACANT LAND WITH SCATTERED TREES AND PASTURE.
- THERE ARE NO FEMA OR MARION COUNTY 100 YEAR FLOOD PLAINS ON THIS SITE.
- EXISTING UTILITIES AS SHOWN ARE BASED ON ABOVE GROUND EVIDENCE PER SURVEY AND MARION COUNTY G.I.S. INFORMATION.
- THE CONSTRUCTION AND MAINTENANCE OF PRIVATE ROADS, PARKING AREAS, DETENTION AREAS, COMMON AREAS, OPEN SPACE, BUFFERS, COMMON AREA LANDSCAPING WILL BE COORDINATED DURING DEVELOPMENT AND PERPETUALLY AFTER THE SITE IS COMPLETE BY A PROPERTY ASSOCIATION FORMED AND ESTABLISHED FOR SUCH PURPOSES.
- FINAL OPEN SPACE AND DRAINAGE RETENTION AREA (DRA) LOCATIONS AND SIZES MAY VARY DURING IMPROVEMENT PLAN DEVELOPMENT AND WILL MEET OR EXCEED MINIMUM MARION COUNTY LAND DEVELOPMENT CODE REQUIREMENTS.
- ALL NECESSARY EASEMENTS WILL BE RECORDED PRIOR TO CERTIFICATE OF OCCUPANCY.

Public & Private Facilities:

- ROADS WITHIN DEVELOPMENT WILL BE PRIVATE.
- INTERIOR ROADS SHALL BE 20' WIDE PAVEMENT.
- ELECTRICAL AND SOLID WASTE COLLECTION SERVICES ARE PUBLIC FOR THE DEVELOPMENT AND WILL BE PROVIDED BY MARION COUNTY AND DUKE ENERGY.
- EXISTING SE 80TH ST IS PUBLIC.

Water & Sewer Notes:

PROJECT APPROVED FOR UP TO 12 LOTS ON PRIVATE WELL AND SEPTIC SYSTEMS. SEE LETTER FROM MARION COUNTY DATED JULY 28, 2022.

WATER:

- NO EXISTING WATER SYSTEM IS PRESENT ON-SITE.
- WATER SERVICE WILL BE PROVIDED BY INDIVIDUAL WELLS.

SEWER:

- NO EXISTING SEWER SYSTEM IS PRESENT ON-SITE.
- SEWER SERVICE WILL BE PROVIDED BY ON-SITE SEPTIC SYSTEM.

Concurrency Deferral Elected Note:

THIS PROPOSED PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF THE CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.

Drainage Design Summary:

THIS PROPERTY WILL HAVE PRIVATE ON-SITE RETENTION AREAS HANDLING THE 100 YR./24 HR. POST (11.0") STORM EVENT THUS MEETING SWFWM REQUIREMENTS FOR WATER QUALITY TREATMENT. STORM WATER FROM THE 55.8 AC SITE WILL BE ACCOMMODATED IN MULTIPLE DRAINAGE RETENTION AREAS EACH CONTAINED WITHIN AN INDIVIDUAL BASIN.

STORMWATER RUNOFF FROM THIS PROJECT WILL BE COLLECTED THROUGH A SERIES OF DRAINAGE INLETS, UNDERGROUND PIPES, GUTTERS, DOWN SPOUTS, OVERLAND FLOW AND SWALES WHICH DISCHARGE INTO PROPOSED DRAINAGE RETENTION AREAS (DRA) FOR WATER QUALITY AND/OR WATER QUANTITY ATTENUATION AS REQUIRED BY MARION COUNTY AND SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT.

EXISTING SOIL TYPE = A_pB (APOPKA) HYDROLOGIC SOIL GROUP = A
A₁B (ASTATULA) HYDROLOGIC SOIL GROUP = A
C_oB (CANDLER) HYDROLOGIC SOIL GROUP = A

DESIGN TO MEET MARION COUNTY STORMWATER QUALITY CRITERIA PER SECTION 6.13.6.A(3)(C):
• DRY RETENTION SYSTEMS THAT HAVE A DEPTH OF SIX FEET OR LESS, MEASURED FROM TOP OF BANK TO POND BOTTOM, WITH SIDE SLOPES THAT ARE NO STEEPER THAN 4:1 AND SODDED BOTTOMS

STORMWATER MANAGEMENT DESIGN TO BE COMPLETED DURING FINAL IMPROVEMENT PLAN STAGE AND PERMITTED THROUGH MARION COUNTY AND SWFWM.

Drainage Design Summary:

THIS PROPERTY WILL HAVE PRIVATE ON-SITE RETENTION AREAS AND DRAINAGE EASEMENTS HANDLING THE 100 YR./24 HR. POST (11.0") STORM EVENT THUS MEETING SWFWM REQUIREMENTS FOR WATER QUALITY TREATMENT.

STORM WATER FROM THE 38.7 AC SITE WILL BE ACCOMMODATED IN DRAINAGE RETENTION AREAS OR NATURAL DRAINAGE EASEMENTS EACH CONTAINED WITHIN AN INDIVIDUAL BASIN.

STORMWATER RUNOFF FROM THIS PROJECT WILL BE COLLECTED VIA OVERLAND FLOW AND DRAINAGE SWALES WHICH DISCHARGE INTO PROPOSED DRAINAGE RETENTION AREAS (DRA) FOR WATER QUALITY AND/OR WATER QUANTITY ATTENUATION AS REQUIRED BY MARION COUNTY AND ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.

EXISTING SOIL TYPE = K_{ea} (KENDRICK LOAMY) HYDROLOGIC SOIL GROUP = A
C_oB (CANDLER) HYDROLOGIC SOIL GROUP = A
A₁B (ARREDONDO) HYDROLOGIC SOIL GROUP = A

DESIGN TO MEET MARION COUNTY STORMWATER QUALITY CRITERIA PER SECTION 6.13.6.A(3)(C):
• DRY RETENTION SYSTEMS THAT HAVE A DEPTH OF SIX FEET OR LESS, MEASURED FROM TOP OF BANK TO POND BOTTOM, WITH SIDE SLOPES THAT ARE NO STEEPER THAN 4:1 AND SODDED BOTTOMS

STORMWATER MANAGEMENT DESIGN TO BE COMPLETED DURING FINAL IMPROVEMENT PLAN STAGE AND PERMITTED THROUGH MARION COUNTY AND SWFWM.

Maintenance and Operation Schedule for Stormwater Management System:

- BASINS SHALL BE CLEANED AND MOWED REGULARLY TO AVOID EXCESSIVE VEGETATIVE GROWTH AT LEAST MONTHLY DURING WINTER MONTHS AND BI-WEEKLY DURING THE GROWING SEASON.
- THE BASINS SHALL BE CLEANED OUT ANNUALLY OF ACCUMULATED SEDIMENTATION BUILDUP. IF THE BASINS ARE SHOWING EXCESSIVE SEDIMENTATION AT THE BASIN BOTTOM, THE BASIN BOTTOM SHALL BE SCRAPED CLEAN MORE FREQUENTLY.
- BASIN SIDE SLOPES SHALL BE MAINTAINED WITH A GOOD STAND OF GRASS DURING ALL SEASONS TO AVOID EROSION.
- REMEDIAL ACTION MAY BE REQUIRED, IF THE BASINS DO NOT DRAW DOWN PROPERLY AND MAINTAIN STANDING WATER FOR AN EXTENDED PERIOD OF TIME. THE ENGINEER SHALL BE NOTIFIED TO ASSIST IN THE IMPLEMENTATION OF THE REMEDIAL ACTION.

Flood Certification:

FLOOD ZONE "X" - AN AREA OF MINIMAL FLOODING, AND ZONE "AE" - A FLOOD PRONE AREA, ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT ADMINISTRATION (FEMA) PER THE MARION COUNTY GEOGRAPHIC INFORMATION SYSTEMS WEB PAGE LOCATED AT: <http://www.marioncountyfl.org>

Tree Planting & Landscaping Requirements:

SEE BUFFER PLAN (C004) AND BUFFER DETAILS (C005).

Development Notes:

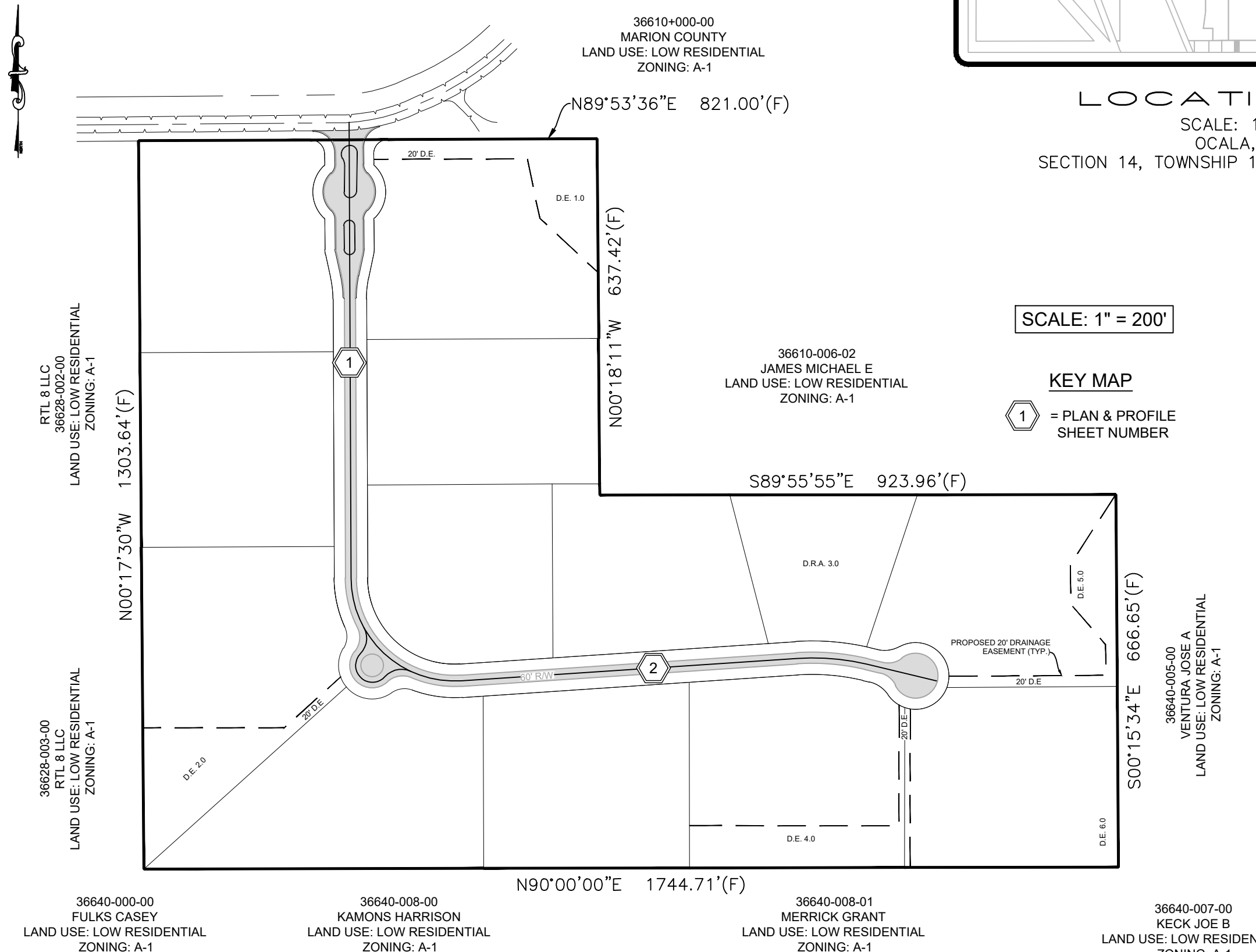
- THE CONSTRUCTION AND MAINTENANCE OF PRIVATE ROADS, PARKING AREAS, DETENTION AREAS, COMMON AREAS, OPEN SPACE, BUFFERS, COMMON AREA LANDSCAPING WILL BE COORDINATED DURING DEVELOPMENT AND PERPETUALLY AFTER THE SITE IS COMPLETE BY A PROPERTY ASSOCIATION FORMED AND ESTABLISHED FOR SUCH PURPOSES.
- ALL NECESSARY EASEMENTS WILL BE RECORDED PRIOR TO CERTIFICATE OF OCCUPANCY.

Existing Conditions:

THE SITE IS SITUATED ON ROLLING PASTURES SURROUNDED BY EXISTING LOW DENSITY RESIDENTIAL USES. NATURAL WOODED TREE LINES WILL BE PRESERVED AROUND THE PROJECT PERIMETER. SANDY WELL DRAINED SOILS ARE FOUND THROUGHOUT THE PROPERTY. DRAINAGE AND STORMWATER CONTROLS WILL BE PROVIDED TO MEET SWFWM AND MARION COUNTY STANDARDS.

Public & Private Facilities:

- ALL ROADS, DRAINAGE FACILITIES, & OTHER INFRASTRUCTURE SHALL BE PRIVATE.



Description:

THE WEST 924 FEET OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 14, TOWNSHIP 16 SOUTH, RANGE 22 EAST; AND THE EAST 820 FEET OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, EXCEPT THE NORTH 30.00 FEET THEREOF FOR RIGHT OF WAY, BEING SITUATE IN MARION COUNTY, FLORIDA.

Traffic Statement:

SE 80TH ST HAS A POSTED SPEED LIMIT OF 35 MPH. TRAFFIC GENERATION RATES ARE BASED ON THE ITE 10th EDITION, SINGLE-FAMILY DETACHED HOUSING AVERAGE VEHICLE TRIP ENDS (ITE CODE 210).

TOTAL DAILY TRIPS: 12 HOMES X 9.44 = 113.3 TRIPS
PEAK TRIPS (AM): 12 HOMES X 0.74 = 8.9 TRIPS
PEAK TRIPS (PM): 12 HOMES X 0.99 = 11.9 TRIPS

Waivers: (Granted by DRC 7/12/23)

APPROVED WAIVER TO ALLOW CURVE WITH 25MPH SIGNAGE.

APPROVED WAIVER FOR NO INTERNAL SIDEWALKS SUBJECT TO PROVIDING A 30' EASEMENT FOR A PROPOSED CROSS FLORIDA GREENWAY MULTI-USE PATH ON SE 80TH ST.

Underground Electric:

ALL ELECTRIC WILL BE UNDERGROUND AND COORDINATED WITH DUKE ENERGY ELECTRIC SERVICE AT TIME OF SUBDIVISION IMPROVEMENT PLANS.

Springs Protection Zone:

THIS PROJECT LIES WITHIN THE PRIMARY SPRINGS PROTECTION ZONE FOR MARION COUNTY.

Environmental:

ECOLOGICAL ASSESSMENT DONE BY OTHERS. SEE REPORT DATED JUNE 2023.

Sight Distance:

SIGHT DISTANCE CALCULATED USING FDOT INDEX No. 546 (2 LANE UNDIVIDED ROADWAY). NO CONFLICTS NOTED.

Sign Standards:

THE FOLLOWING SIGN STANDARDS ARE PROPOSED WITH THIS APPROVAL:

- RESIDENTIAL SUBDIVISION IDENTIFICATION SIGNS SHALL BE ALLOWED AT THE PRINCIPAL ENTRANCE TO THE SUBDIVISIONS, WITH A MAXIMUM AREA OF 60 SQUARE FEET EACH.

Outdoor Lighting:

OUTDOOR STREET LIGHTING TO BE COORDINATED WITH DUKE ELECTRIC. NO OUTDOOR LIGHTING IS CURRENTLY PROPOSED. NO PHOTOMETRIC PLAN IS CURRENTLY PROVIDED.

Owner's Certification:

I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

BY: STEVE WEITLAUF, MANAGER DATE

Site Information:

PROJECT NAME: GREENWAY ESTATES
PARCEL NUMBER: 36626-000-00
OWNER: WMH PROPERTIES LLC
CONTACT ADDRESS: 3501 NE 10TH ST
OCALA FL 34470
CONTACT: STEVE WEITLAUF, MANAGER
TELEPHONE: (352) 624-0935
TOTAL SITE AREA: 38.17 ACRES
EXISTING IMPERVIOUS: -0-
PROPOSED IMPERVIOUS: 177,521 SF (4.08 AC.)
EXISTING ZONING: R-1
SETBACKS: FRONT = 25'
REAR = 25'
SIDE = 8'
BUFFERS: NORTH = 15' TYPE "C" BOUNDARY
NO BUFFERS REQUIRED ON SOUTH, EAST, & WEST
PROPOSED LOTS: 12 SINGLE FAMILY LOTS
PROPOSED DENSITY: 12 LOTS/38.7 ACRES = 0.31 LOTS PER ACRE
LAND USE: LOW RESIDENTIAL
PROPOSED ROAD LENGTH: 1,913 LF. (0.36 MILES)

Sheet Index:

C001 COVER SHEET
C002 HORIZONTAL CONTROL
C003 DRAINAGE PLAN
C004 PLAN & PROFILE 1
C005 PLAN & PROFILE 2
C006 BUFFER & TREE LOCATION PLAN
C007 BUFFER & IRRIGATION DETAILS
C008 CONSTRUCTION DETAILS
C009 CROSS SECTIONS
C010 SWPPP
S001 BOUNDARY SURVEY
S002 TOPOGRAPHIC SURVEY

Fire Protection:

- AN ON-SITE FIRE STORAGE TANK IS PROPOSED WHERE SHOWN.
- CONTRACTOR SHALL COORDINATE WITH THE FIRE DEPARTMENT FOR FIRE PROTECTION IN COMPLIANCE WITH CURRENT N.F.P.A. CODES AND STANDARDS
- FIRE DEPARTMENT WATER SUPPLY IS PROVIDED WITHIN 400 FEET OF THE BUILDING.
- FIRE DEPARTMENT ACCESS IS PROVIDED WITH 24' WIDE STABILIZED SURFACE WITHIN 50 FEET OF THE ACCESS DOOR.
- IF A NEW HYDRANT IS INSTALLED THE HYDRANT SHALL BE INSTALLED, TESTED, AND PAINTED PER N.F.P.A. 291, BY A THIRD PARTY CONTRACTOR AND WITNESSED BY A MARION COUNTY FIRE INSPECTOR

Statement of Intent:

INFRASTRUCTURE & CONSTRUCTION FOR SITE DEVELOPMENT OF 12 PRIVATELY OWNED SINGLE FAMILY HOMES. CONSTRUCTION IS PROPOSED IN A SINGLE PHASE.

Engineer's Certification:

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED;

MICHAEL W. RADCLIFFE, P.E.
FLORIDA REG. ENGINEER. NO. 31170

SIGNATURE DATE

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
MICHAEL W. RADCLIFFE, P.E. ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

DESIGN PROFESSIONALS			
DESIGN SUBJECT	COMPANY	CONTACT PERSON	PHONE NUMBER
ENGINEER	RADCLIFFE ENGINEERING	MICHAEL W. RADCLIFFE, P.E.	(352) 629-5500
SURVEYOR	C & A SURVEY INC.	ANDREW W. CARBAUGH	(352) 694-6566

UTILITY CONTACTS			
UTILITY	COMPANY	CONTACT PERSON	PHONE NUMBER
ELECTRIC	DUKE ELECTRIC	BEAU YANCEY	(352) 237-4107
TELEPHONE	CENTURY LINK	OWEN HURLEY	(352) 431-2217
CABLE	SPECTRUM	KENNETH POWELL	(352) 330-2905
WATER	MARION COUNTY UTILITIES	JOSH KRAMER	(352) 438-2383
SEWER	MARION COUNTY UTILITIES	JOSH KRAMER	(352) 438-2383
FIRE	MARION COUNTY FIRE DEPT.	KEN MCCANN	(352) 291-8000

Revised: _____
By: _____
Date: _____

Prepared: MWR
Drawn: EEM/OSB
Checked: MWR
File: 2022-27 Greenway Est. Imp. Plans.dwg

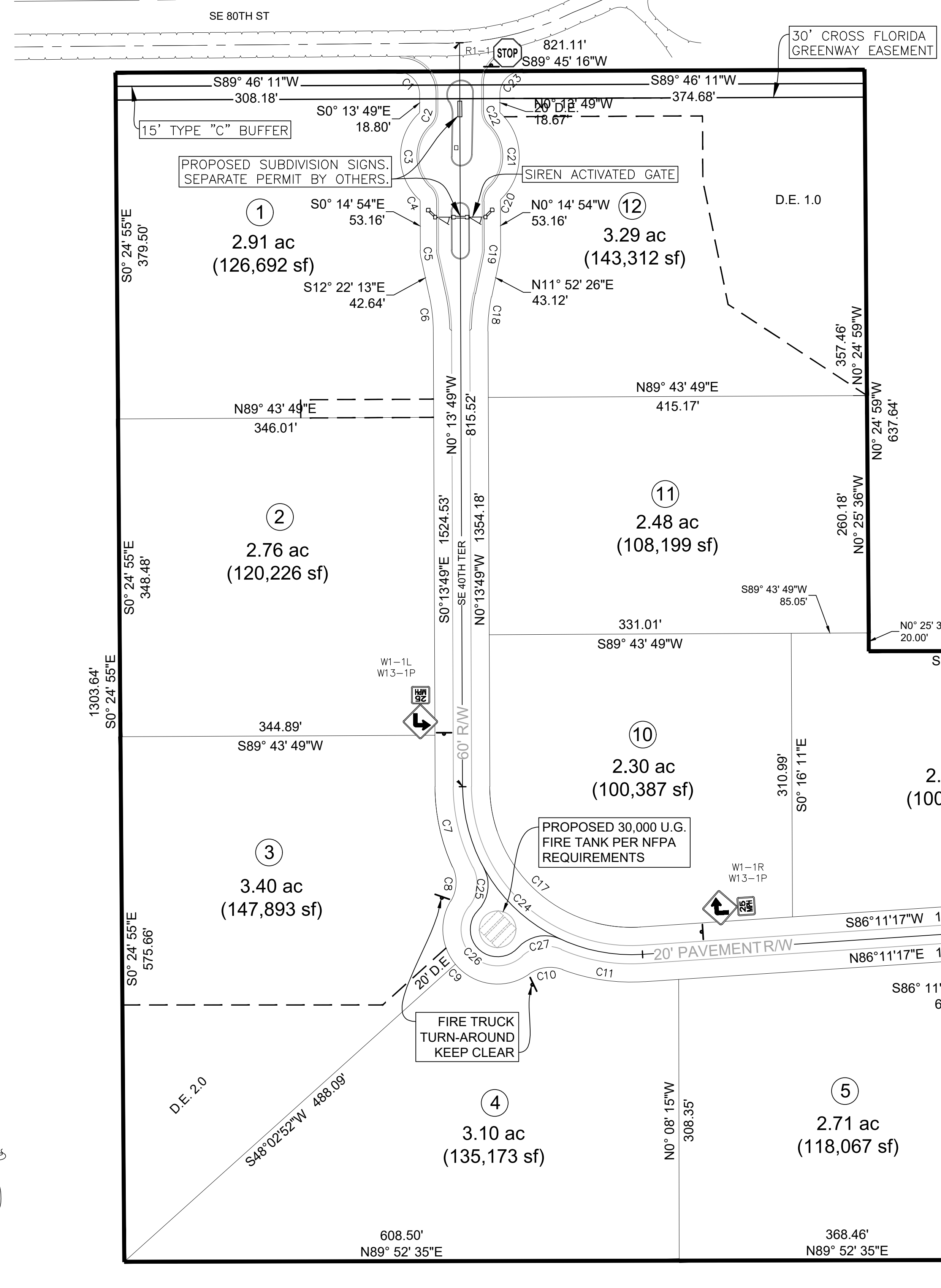
MAR MICHAEL W. RADCLIFFE ENGINEERING, INC.
2611 S.E. Lake View Avenue
Ocala, FL 34471
(352) 629-5500 FAX (352) 629-1018
Certification No. 13-500018 • Michael W. Radcliffe, P.E. #1110 • Christopher A. Wei, P.E. #6606

Project Name: Greenway Estates Improvement Plans - Marion Co., FL
Sheet Name: _____

Revisions to Plan Set
THIS DATE INDICATES PART OF THIS PLAN SET WAS REVISED.
Date: 1-19-2024

Sheet No.
C001
of
C010

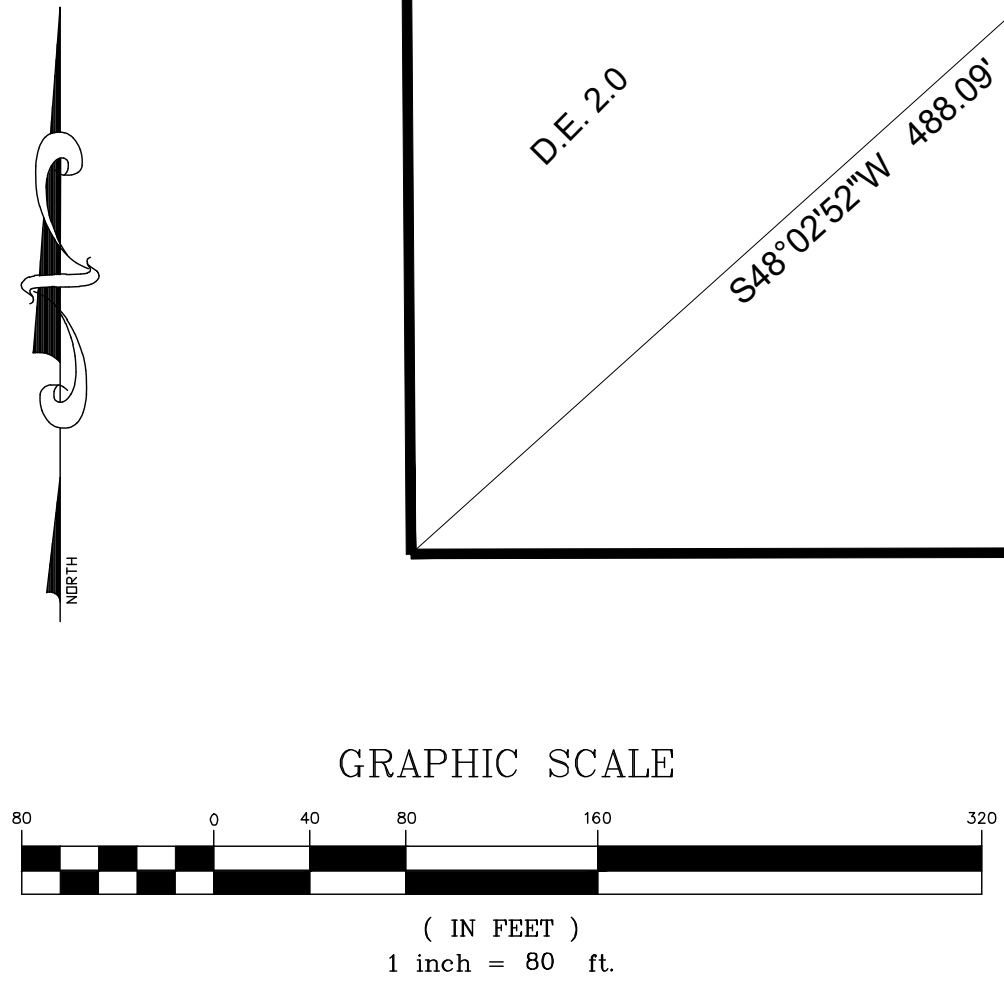
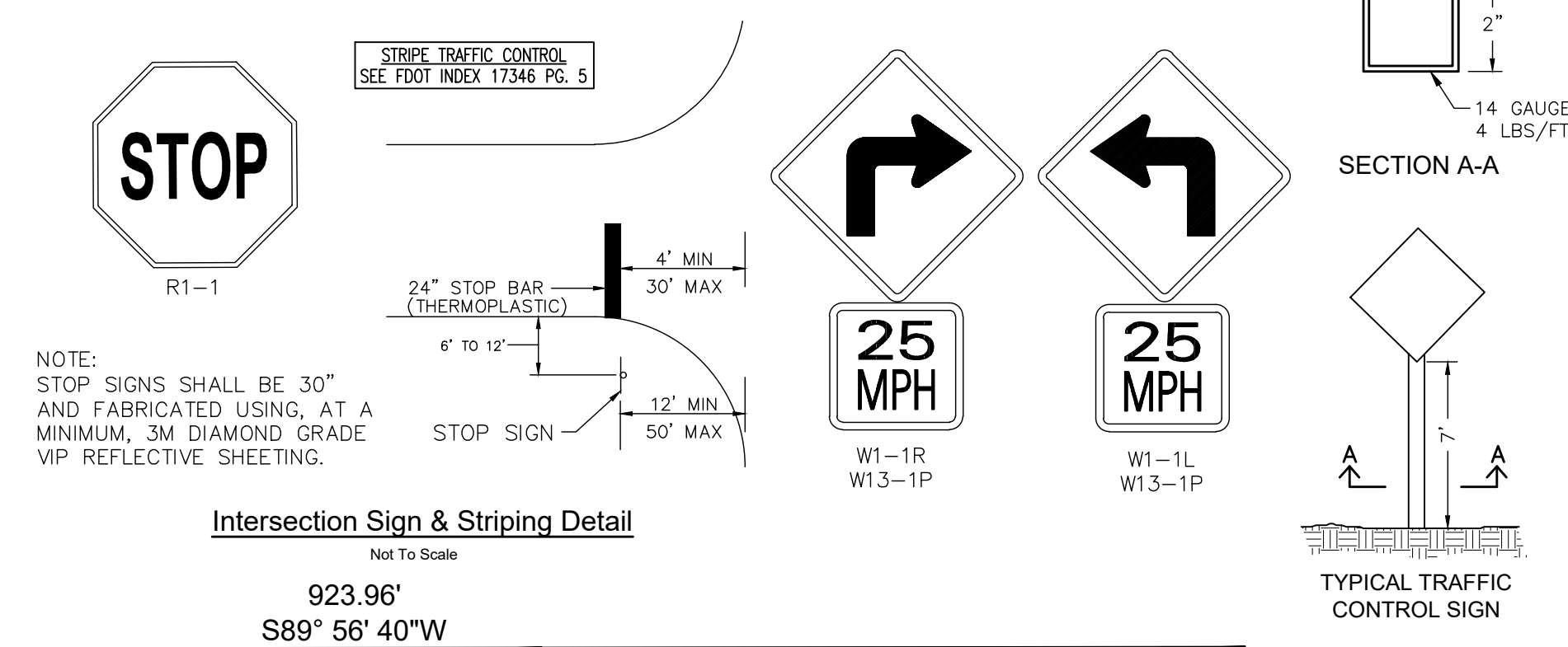
THE DRIVEWAY CONNECTION
TO SE 80TH ST MEETS FDOT
SIGHT DISTANCE CRITERIA



Curve Table					
CURVE #	LENGTH	RADIUS	DELTA	CHORD LEN.	CH. BEAR.
C1	39.27	25.00	90°00'00"	35.36	N45°13'49"W
C2	3.21	4.00	45°55'15"	3.12	N22°42'44"E
C3	104.19	65.00	91°50'30"	93.39	S0°14'54"E
C4	3.21	4.00	45°55'15"	3.12	N23°12'31"W
C5	9.31	44.00	12°07'20"	9.29	S6°18'33"E
C6	38.14	180.00	12°08'24"	38.07	N6°18'01"W
C7	90.88	215.00	24°13'05"	90.20	S12°20'22"E
C8	38.83	40.00	55°37'05"	37.32	N3°21'39"E
C9	163.76	60.00	156°22'55"	117.46	S47°01'16"E
C10	38.83	40.00	55°37'05"	37.32	N82°35'49"E
C11	90.88	215.00	24°13'05"	90.20	S81°42'10"W
C12	116.83	390.00	17°09'48"	116.39	N85°13'49"W
C13	40.71	55.00	42°24'22"	39.78	N55°26'44"W
C14	275.97	59.79	264°27'20"	88.55	N13°31'47"E

Curve Table					
CURVE #	LENGTH	RADIUS	DELTA	CHORD LEN.	CH. BEAR.
C15	40.36	55.00	42°02'58"	39.46	N82°19'36"E
C16	134.80	450.00	17°09'48"	134.30	N85°13'49"W
C17	253.16	155.00	93°34'53"	225.95	N47°01'16"W
C18	38.03	180.00	12°06'15"	37.96	S5°49'18"W
C19	9.31	44.00	12°07'20"	9.29	N5°48'46"E
C20	3.21	4.00	45°55'15"	3.12	S22°42'44"W
C21	104.19	65.00	91°50'30"	93.39	N0°14'54"W
C22	3.21	4.00	45°55'15"	3.12	S23°12'31"E
C23	39.54	25.17	89°59'20"	35.60	S44°55'37"W
C24	302.16	185.00	93°34'53"	269.68	S47°01'16"E
C25	50.84	40.00	72°49'41"	47.49	N7°31'00"E
C26	95.24	30.00	181°54'13"	59.99	S47°01'16"E
C27	50.84	40.00	72°49'41"	47.49	N78°26'28"E
C28	125.81	420.00	17°09'48"	125.34	N85°13'49"W

MARION COUNTY PROJECT
No. 31022



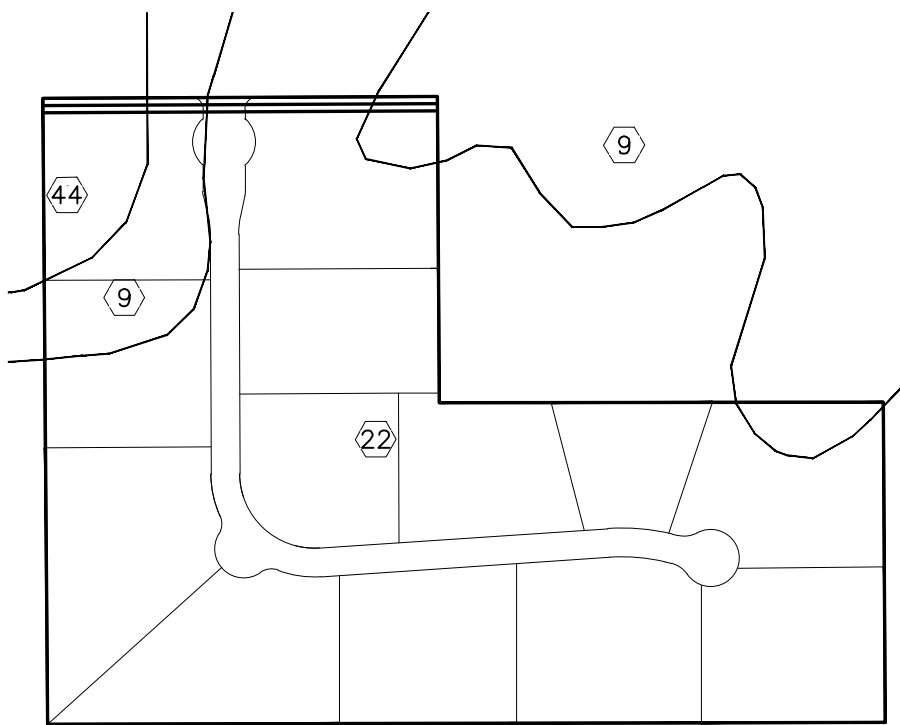
TOTAL ROAD LENGTH = 1,976'

Project Name: Greenway Estates Improvement Plans - Marion Co., FL
 Sheet Name: Horizontal Control / Site Layout
 Sheet No. C002 of C010

Designed: MWR Scale: 1"=80'
 Drawn: EEM/OSS Project: 2022-27
 Checked: MWR Date: 1-19-24
 File: 2022-27 Greenway Est. Imp. Plans.dwg

MICHAEL W. RADCLIFFE ENGINEERING, INC.
 2311 SE 13th Ave, Marion County, FL 32010
 (352) 659-5500 • FAX (352) 659-1000
 License No. EB-0008198 • Michael W. Radcliffe P.E. #11170 • Christopher A. Cain P.E. #4688

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ON-SITE SOILS		
PLAN SYMBOL	SOIL TYPE	HYDROLOGIC RATING
(44)	KENDRICK LOAMY	A
(22)	CANDLER	A
(9)	ARREDONDO	A

SEE STORMWATER REPORT FOR DRAINAGE CALCULATIONS

Legend:

- EXISTING DRAINAGE BOUNDARY
- 74- 1' TOPOGRAPHY (CONTOUR LINES)
- PROPOSED BUFFER
- PROPOSED DRAINAGE RETENTION AREA
- PROPERTY BOUNDARY
- PROPOSED DRAINAGE EASEMENT

EACH LOT WILL BE DESIGNED WITH 9000 S.F. OF IMPERVIOUS AREA, INCLUDING DRIVEWAY.

DRAINAGE PLAN IS PRELIMINARY & SUBJECT TO CHANGE AT IMPROVEMENT PLAN STAGE.

5 DRAINAGE EASEMENTS ARE PROPOSED DUE TO LARGE LOT SIZE, WELL DRAINED SANDY SOILS, & UTILIZATION OF NATURAL TOPOGRAPHY.

FINISH FLOOR ELEVATIONS (FFE) SHOWN ARE MINIMUM, CONTRACTOR MAY INCREASE FFE.

DRAINAGE AREAS (SF)			
D.A.	ON-SITE	OFF-SITE	TOTAL
1	368,795	15,167	383,962
2	324,888	446,872	771,760
3	592,913	15,378	608,291
4	262,741	113,416	376,157
5	97,696	N/A	97,696

Stormwater Structure Table					
Structure Name	Structure Details	Alignment Details	Required Flow (cfs)	Flow Capacity (cfs)	
S-1.1.0	18" Concrete M.E.S. SP-2 INV IN = 71.25	STA: 0+71.26 OFF: -69.990	N/A	N/A	
S-1.1.1	P-6 Modified Inlet GRATE = 73.84 SP-1 INV IN = 71.44 SP-2 INV OUT = 71.44	STA: 0+69.90 OFF: -23.469	1.76	10.00	
S-1.1.2	P-6 Modified Inlet GRATE = 73.84 SP-1 INV IN = 71.63 SP-2 INV OUT = 71.63	STA: 0+69.71 OFF: -23.573	4.97	10.00	
S-3.1.0	24" Concrete M.E.S. SP-4 INV IN = 61.50	STA: 17+50.90 OFF: -61.751	N/A	N/A	
S-3.1.1	FDOT Type "E" Inlet GRATE = 66.03 SP-3 INV IN = 63.98 SP-4 INV OUT = 63.72	STA: 17+53.03 OFF: -18.038	8.89	10.00	
S-3.1.2	FDOT Type "E" Inlet GRATE = 66.03 SP-3 INV IN = 63.82	STA: 17+53.41 OFF: -15.672	8.21	10.00	

NOTE: ALL DRAINAGE STRUCTURE INVERTS SHALL BE GROUDED TO ELIMINATE SUMP CONDITIONS UNLESS OTHERWISE INDICATED. SEE SHEET 4 OF FDOT STANDARD PLAN 425-001 FOR REFERENCE.

Stormwater Pipe Table					
Pipe Name	Size	Length	Slope	Required Flow (cfs)	Flow Capacity (cfs)
SP-1	18	47.04	0.40%	4.97	7.20
SP-2	18	46.53	0.40%	6.73	7.20
SP-3	18	33.71	0.70%	8.89	9.52
SP-4	24	43.78	0.50%	17.10	17.33

REQUIRED FLOW IN CHARTS ABOVE & BELOW BASED ON RAINFALL INTENSITY FROM ZONE 7, IDF CURVE FOR THE 25 YEAR / 24 HOUR STORM EVENT. SEE SUB-BASIN Q=CIA CALCULATIONS SHEETS IN STORMWATER REPORT.

TYPE "A" SWALE AT 0.2% SLOPE CAN CARRY 10.81 CFS OF DISCHARGE (SEE STORMWATER REPORT). THEREFORE ALL TYPE "A" SWALES WITH A SLOPE GREATER THAN 0.2% (ALL TYPE "A" SWALES ON-SITE) SHALL FLOW MORE THAN REQUIRED.

MARION COUNTY PROJECT No. 31022

ROADWAY LEVEL OF SERVICE		
DRAINAGE BASIN	DRA STAGE ELEVATION	MINIMUM ROAD ELEVATION
DA 1.0	65.47	74.47
DA 2.0	68.94	N/A
DA 3.0	64.84	68.03
DA 4.0	66.37	N/A
DA 5.0	64.51	N/A

NOTE: ALL PROPOSED TRAVEL LANE MID-POINT ELEVATIONS ARE HIGHER THAN THE 100yr DESIGN STORM STAGE. THEREFORE THE ROADWAY LEVEL OF SERVICE REQUIREMENT THAT THE WATER LEVEL FROM THE 25yr DESIGN STORM MUST BE BELOW ONE-HALF OF THE TRAVEL LANE IS SUFFICIENTLY MET.

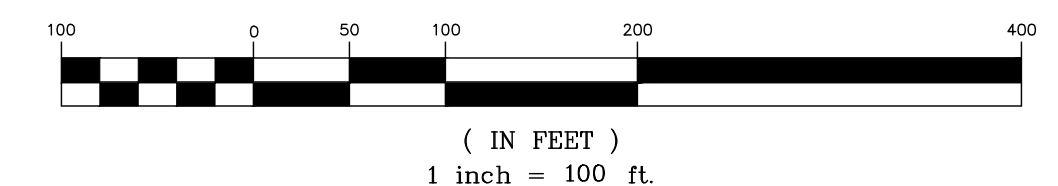
Grading Notes:

1. FINISH FLOOR ELEVATIONS AS SHOWN CAN BE HIGHER AND ARE THE MINIMUM ALLOWED PER THIS DESIGN. USE OF A LOWER ELEVATION THAN SHOWN REQUIRES APPROVAL BY PROJECT ENGINEER AND MARION COUNTY BUILDING DEPARTMENT. SITE CONTRACTOR SHALL GRADE LOTS TO MATCH TYPICAL LOT DRAINAGE PATTERNS AND SPECIFIC GRADES WHERE SHOWN.
2. ALL SWALES TO BE SODDED.
3. REASONABLE CARE WAS TAKEN IN THE DETERMINATION OF PROPOSED LOT AND PAD GRADES TO MEET REQUIRED GRADING AND DRAINAGE CRITERIA. NOTIFY PROJECT ENGINEER WHEN GRADES POSE A SITUATION NOT MEETING THE INTENT OF THE APPROVED DRAINAGE PLAN.
4. EACH BUILDING LOT PAD SHALL BE CONSTRUCTED WITH CLEAN FILL TO A MIN. DEPTH OF 4" BELOW THE PROPOSED FINISH FLOOR ELEVATION, AND COMPACTED TO A MINIMUM OF 95% RELATIVE SOIL COMPACTION IN 12" LIFTS.
5. AS-BUILT PLANS SHALL BE PROVIDED VERIFYING ALL PROPOSED LOT GRADES ON THIS PLAN HAVE BEEN CONSTRUCTED PER PLAN.
6. ALL RIGHT-OF-WAY AND SWALES SHALL BE SODDED WITH ARGENTINE BAHIA, AND WATERED UNTIL PROJECT COMPLETION. ALLOW FOR THICKNESS OF SOD WITH A 2" UNDERCUT. ALL FINISHED BUILDING PADS AND ANY OTHER DISTURBED AREAS NOT SODDED SHALL BE SEED AND MULCHED, OR HYDROSEEDED. THESE AREAS SHALL BE WATERED UNTIL THE PROJECT HAS BEEN CERTIFIED COMPLETE, OR EVIDENCE OF GERMINATION IS OBSERVED, WHICHEVER OCCURS LATER.

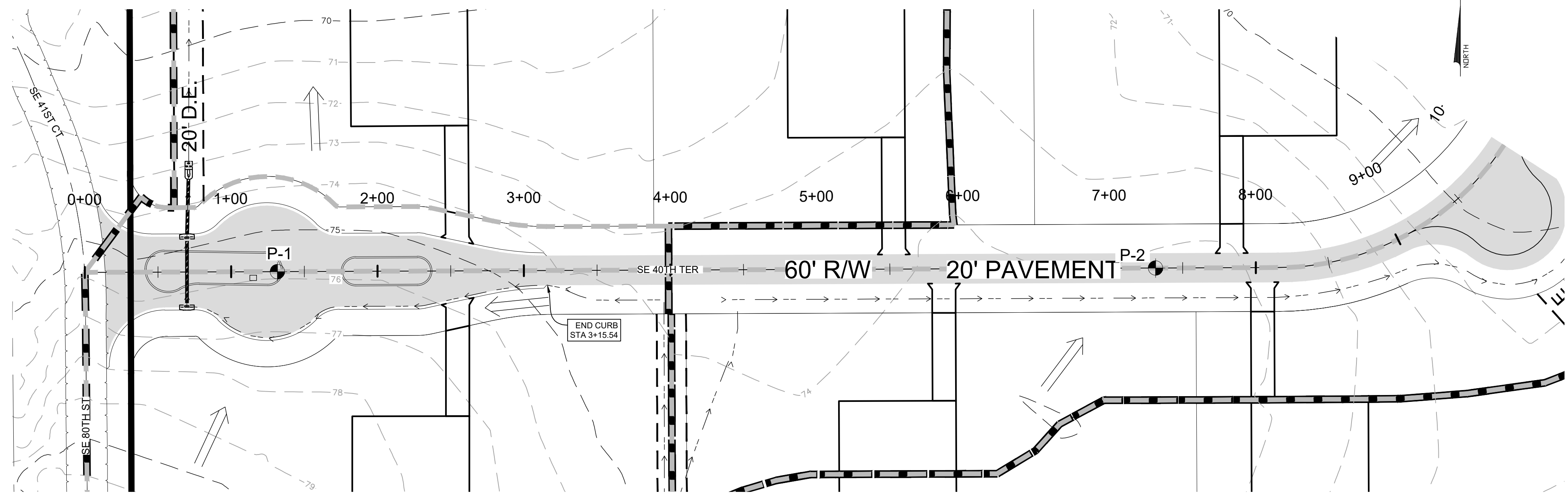
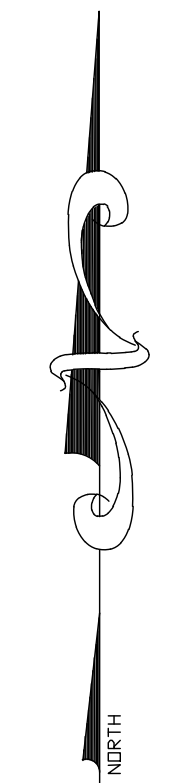
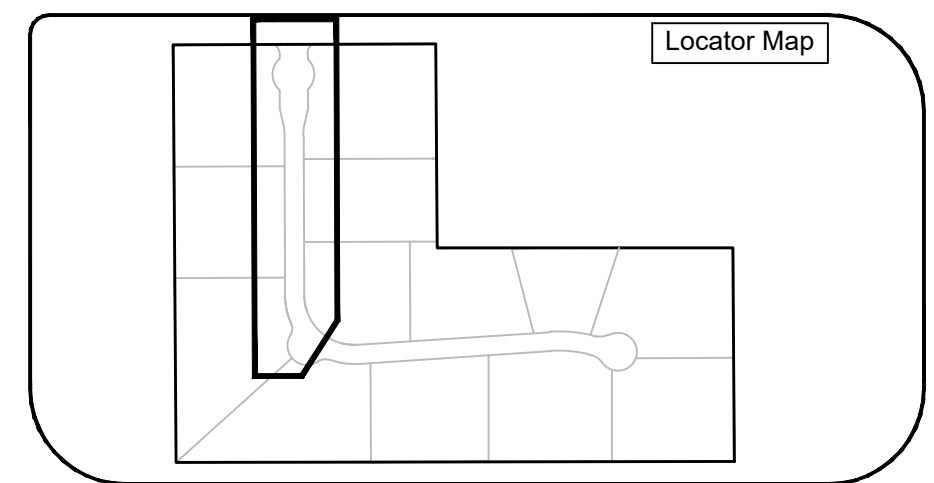
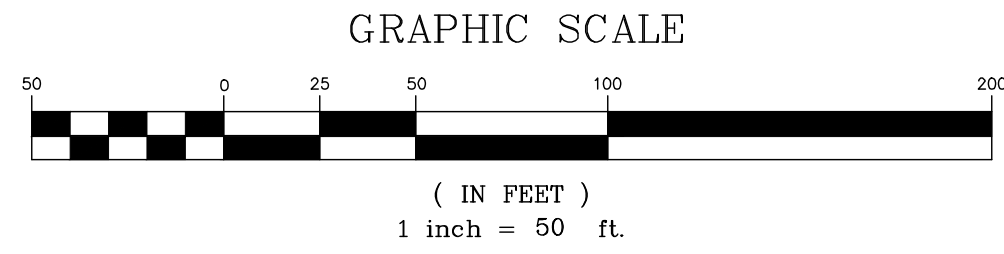
NOTES:

1. DISTANCES ARE APPROXIMATE AND SUBJECT TO CHANGE.
2. LOT AREAS INCLUDE DRAINAGE EASEMENTS.

GRAPHIC SCALE



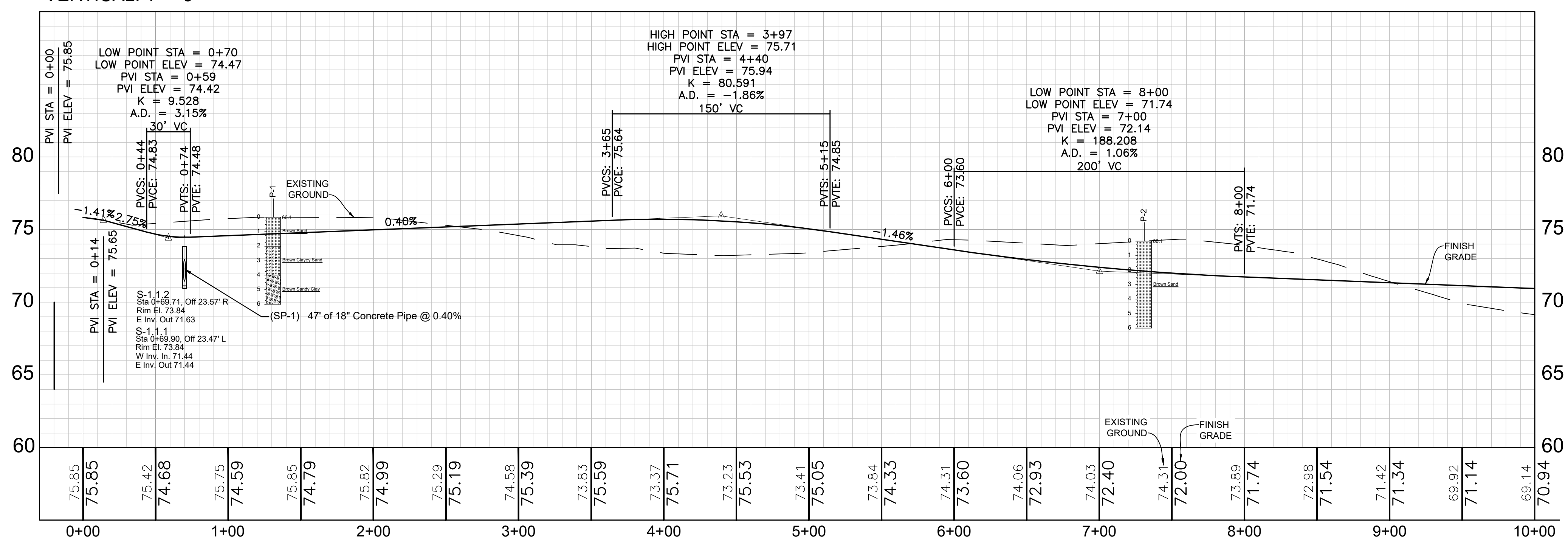
Project Name: Greenway Estates Improvement Plans - Marion Co., FL
 Sheet Name: Drainage Plan
 Scale: 1" = 100'
 Project: 2022-27
 Date: 1-19-24
 Checked: MWR
 Drawn: EEM/OSB
 Project: 2022-27 Greenway Est. Imp. Plans.dwg
 MICHAEL W. RADLITZ ENGINEERING, INC.
 2811 S.E. Lake Weir Avenue
 Ocala, FL 34471 (352) 629-5500 FAX (352) 629-1010
 Certificate No. EB-000698 • Michael W. Radlitz P.E. #5170 • Christopher A. Cain P.E. #4658
 www.radlitzengineering.com
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MARION COUNTY PROJECT
No. 31022

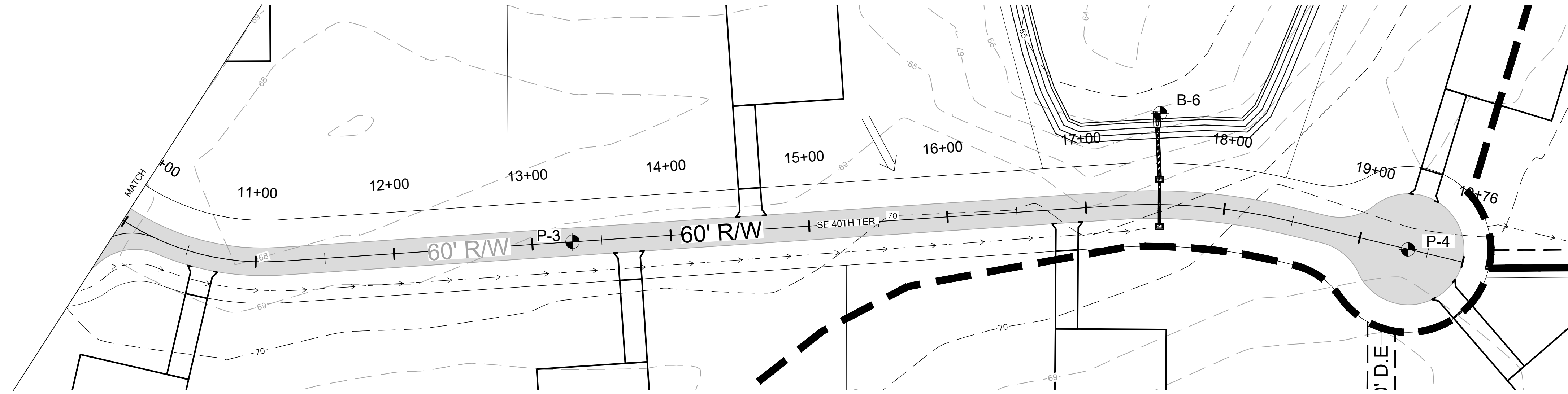
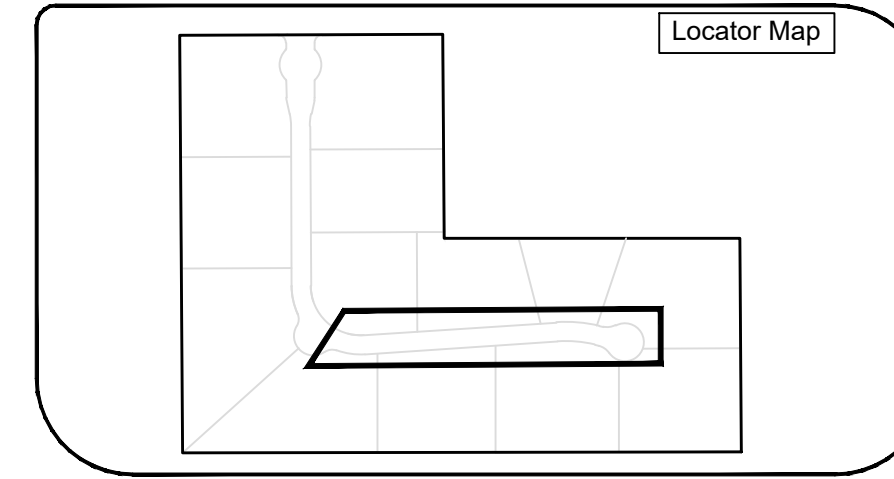
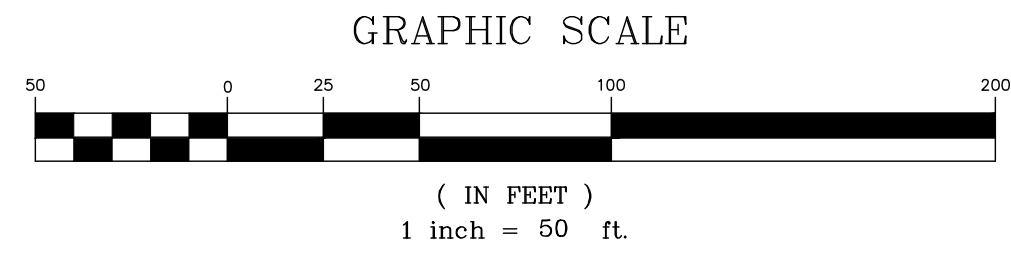
SE 40th TER

SCALE
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'



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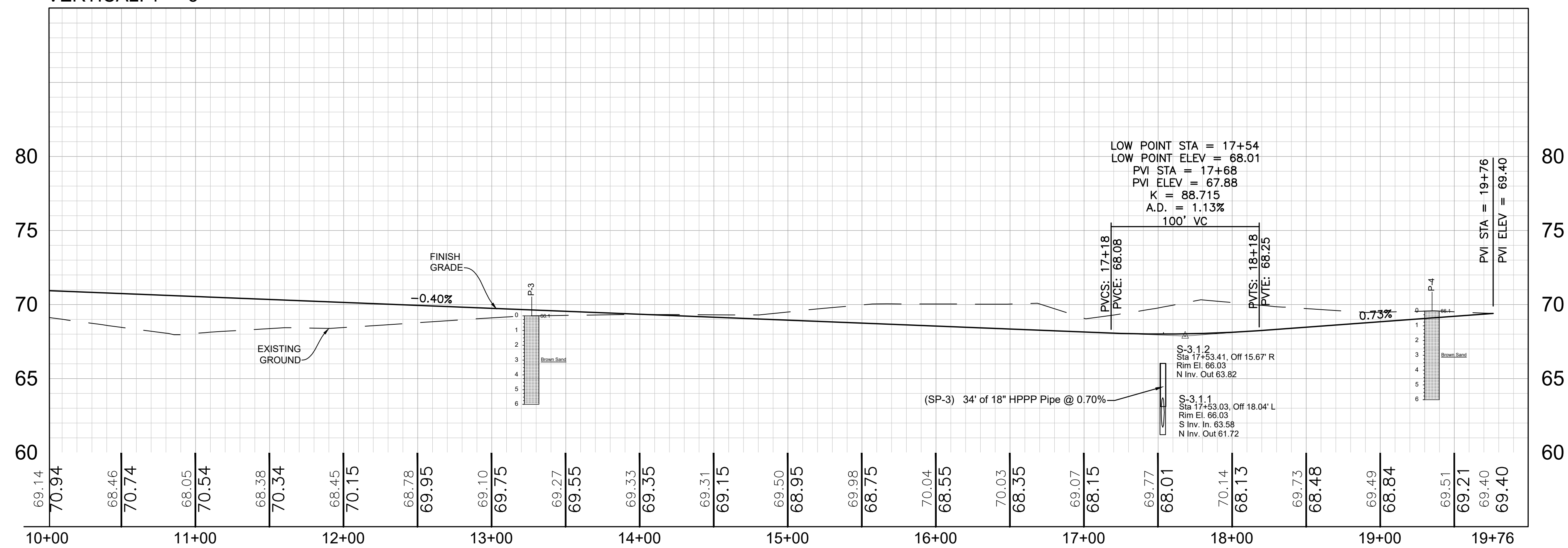
Project Name: Greenway Estab\Drawings\2022-27 Greenway Estab - Marion Co., FL
 Sheet Name: Plan & Profile
 Sheet No. C004 of C010
 MICHAEL W. RADCLIFFE ENGINEERING, INC.
 2811 S.E. Lake Weir Avenue, Ocala, FL 34471 (352) 629-5500 FAX (352) 629-1010
 Certificate No. EB-0006198 • Michael W. Radcliffe, P.E. #31170 • Christopher A. Cain, P.E. #46588
 www.radcliffeengineering.com
 Scale: 1" = 50'
 Project: 2022-27
 Date: 1-19-24
 Checked: MWR
 Drawn: EEM/OSB
 Designer: MWR
 Date: 1-19-24
 File: 2022-27 Greenway Estab - Plans.dwg
 Date: _____
 By: _____
 Revises: _____



MARION COUNTY PROJECT
No. 31022

SE 40th TER

SCALE
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'



Project Name: Greenway Estates Improvement Plans - Marion Co., FL
Sheet Name:

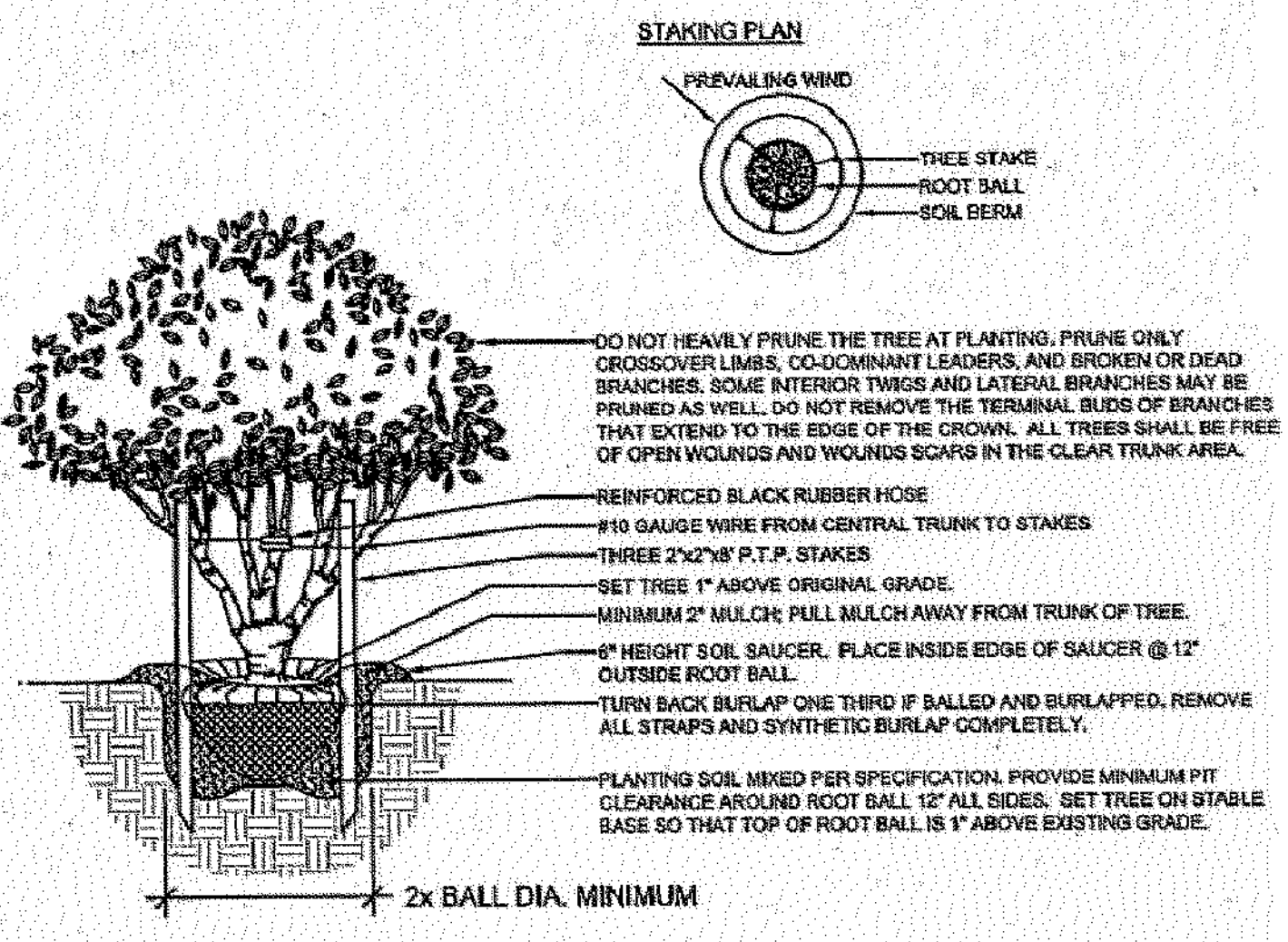
Plan & Profile

Sheet No.
C005
of
C010

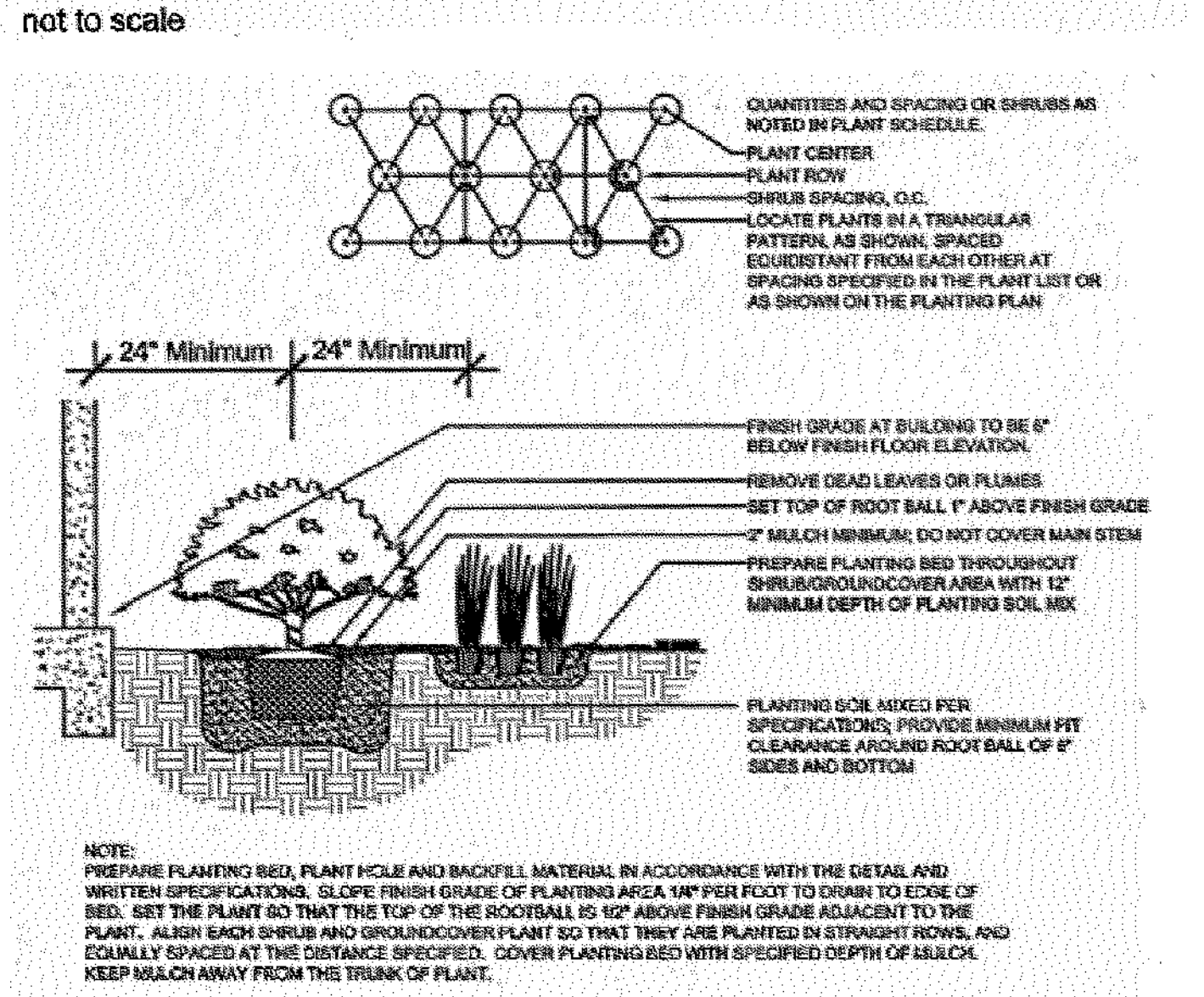
MAR MICHAEL W. RADCLIFFE ENGINEERING, INC.
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Certificate No. EB-0006198 • Michael W. Radcliffe P.E. #5170 • Christopher A. Cain P.E. #46588
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Scale: 1" = 50'
Project: 2022-27
Date: 1-19-24
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Drawn: EEM/OSB
File: 2022-27 Greenway Est. Imp. Plans.dwg

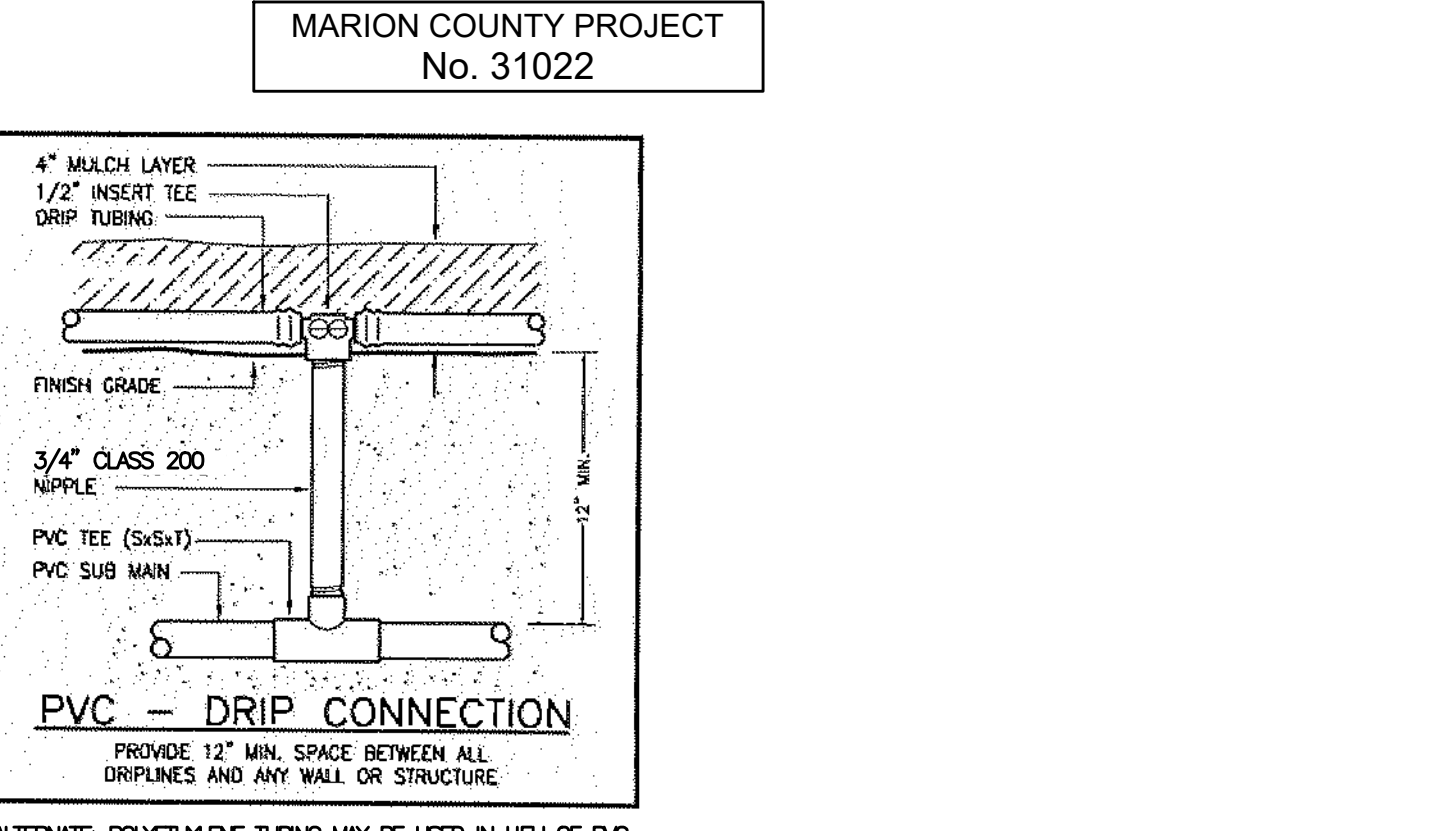
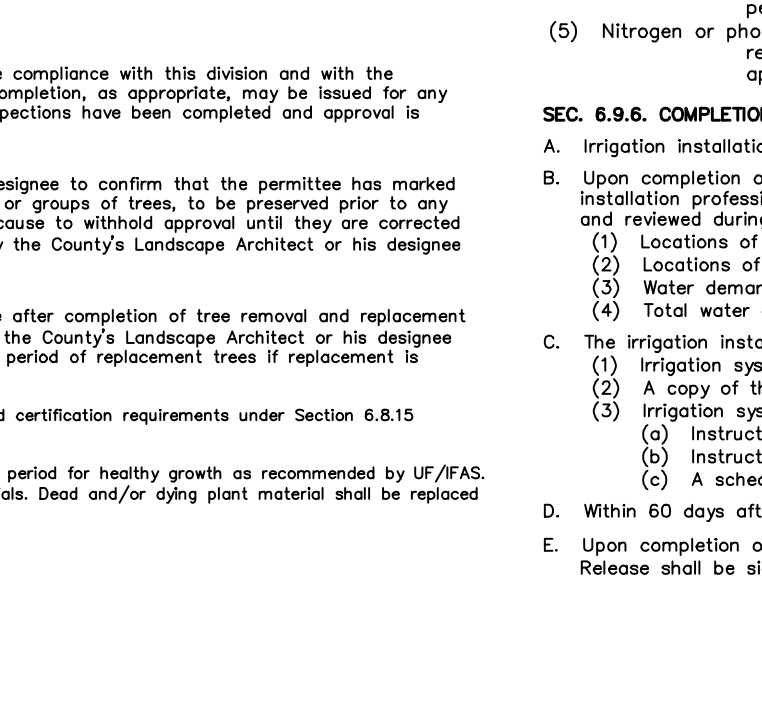
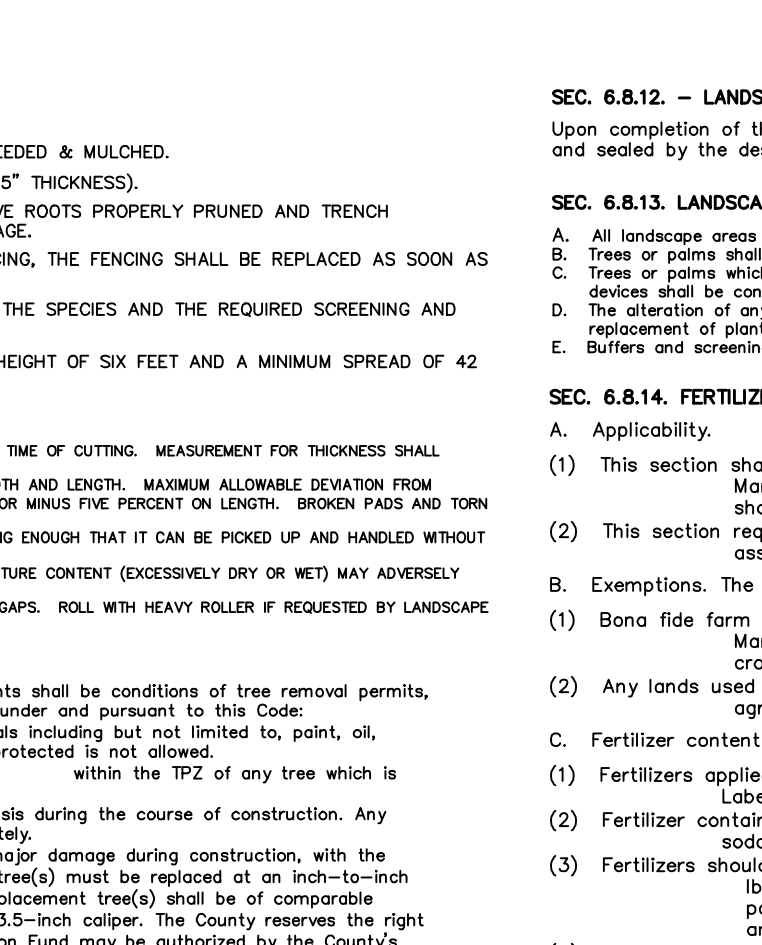
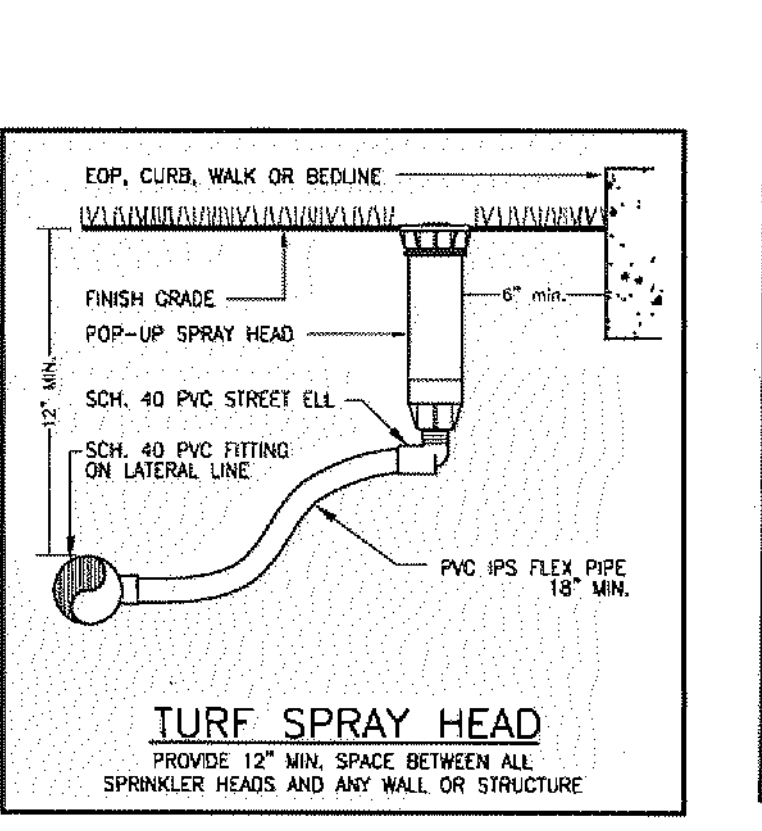
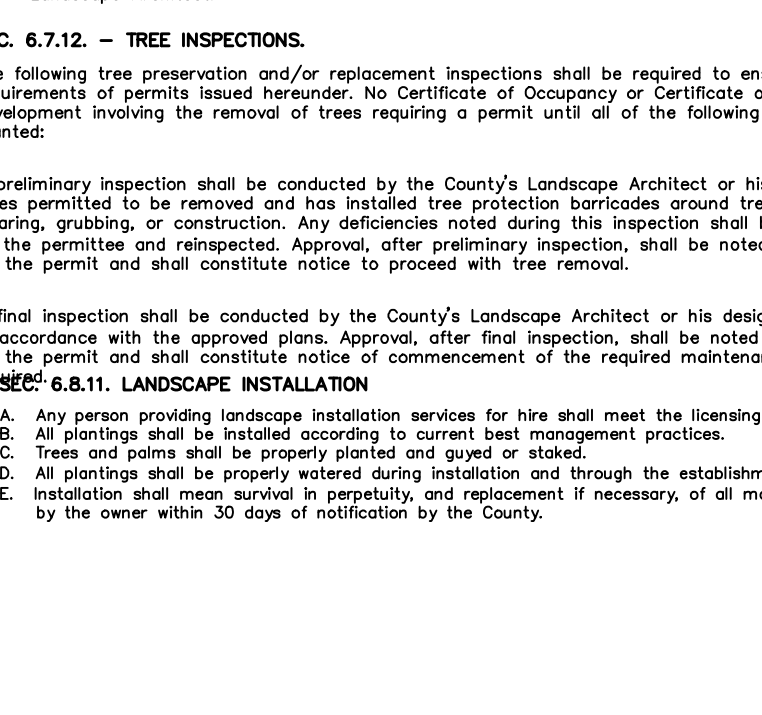
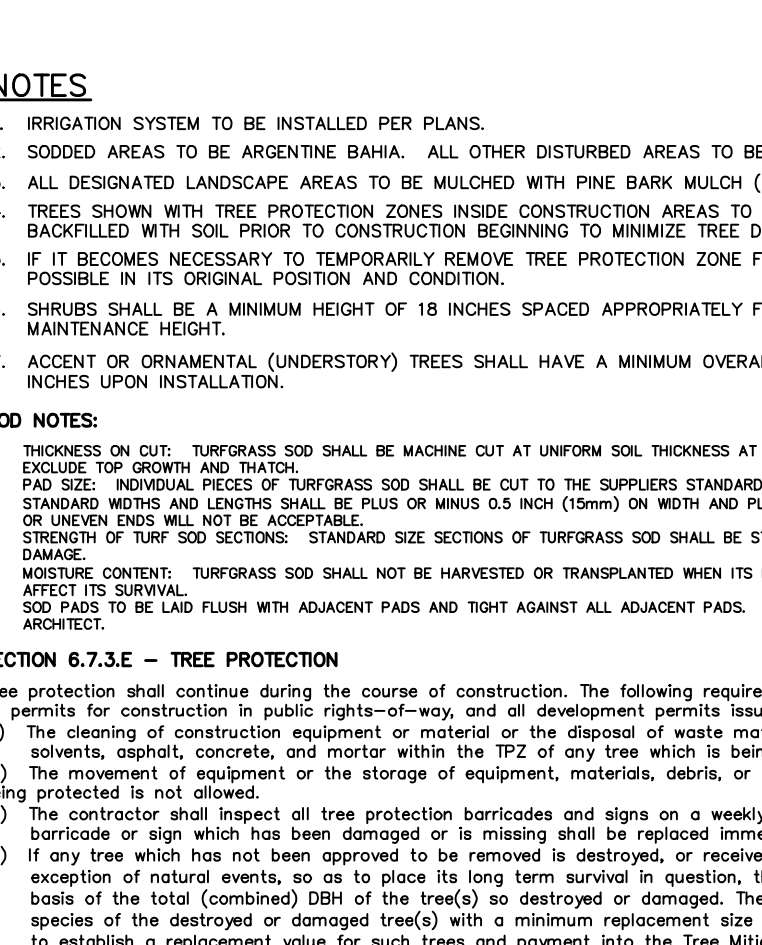
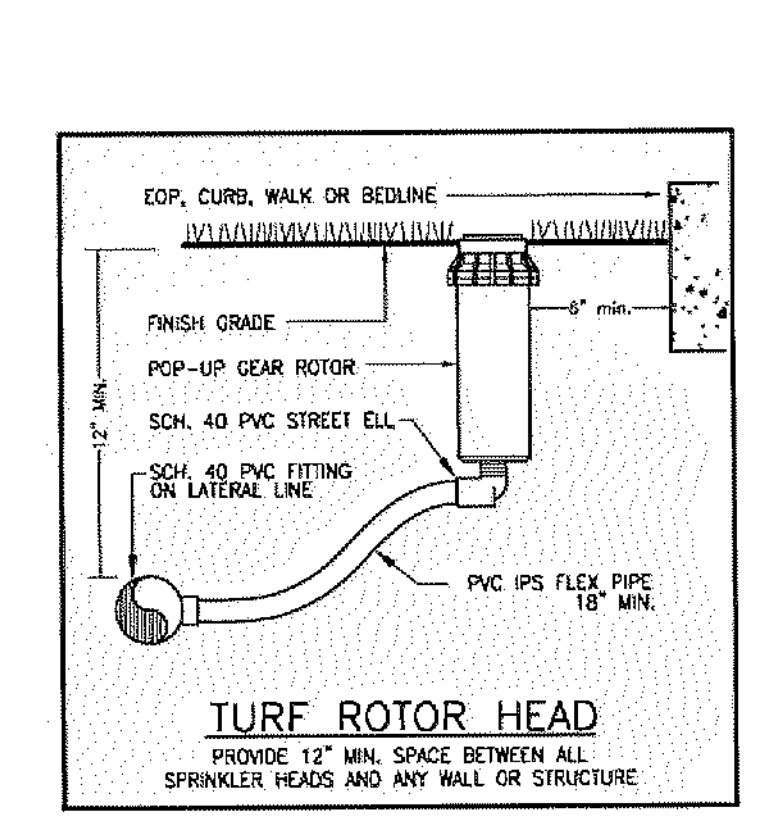
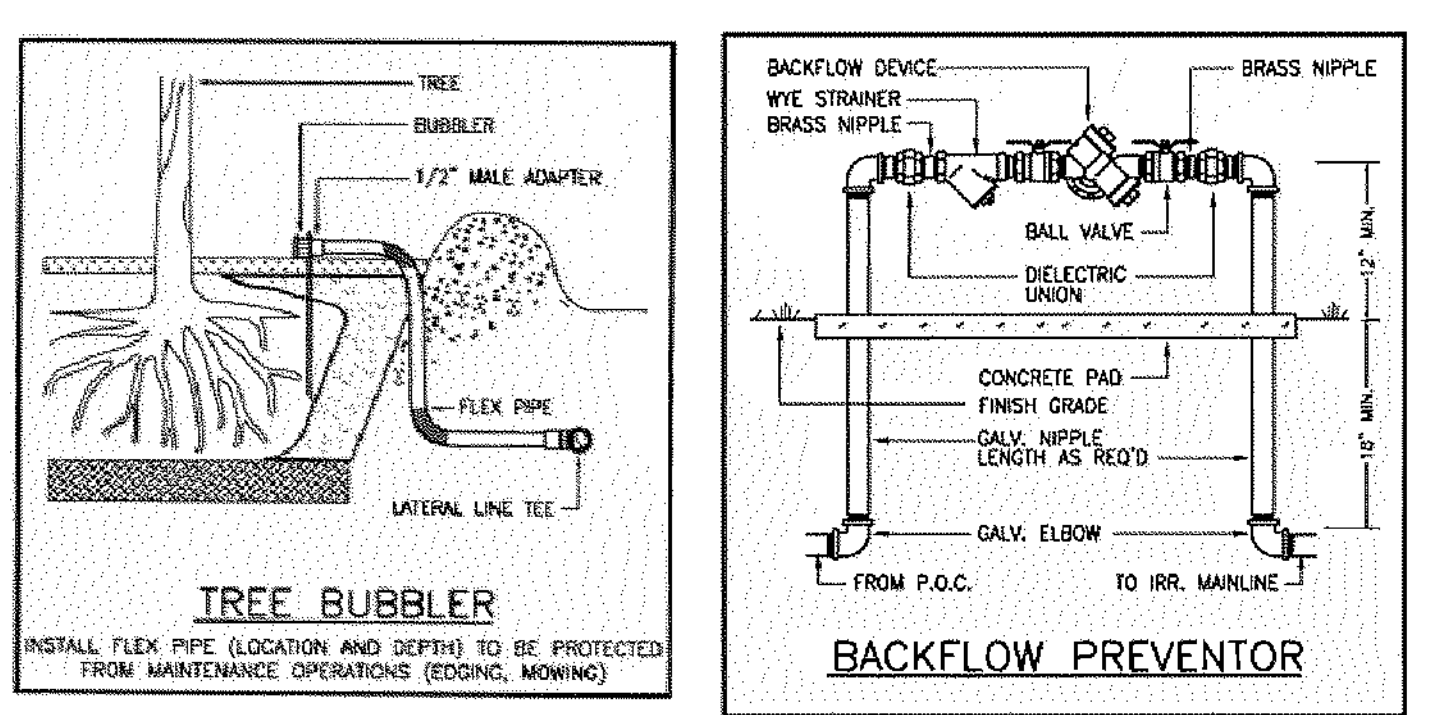
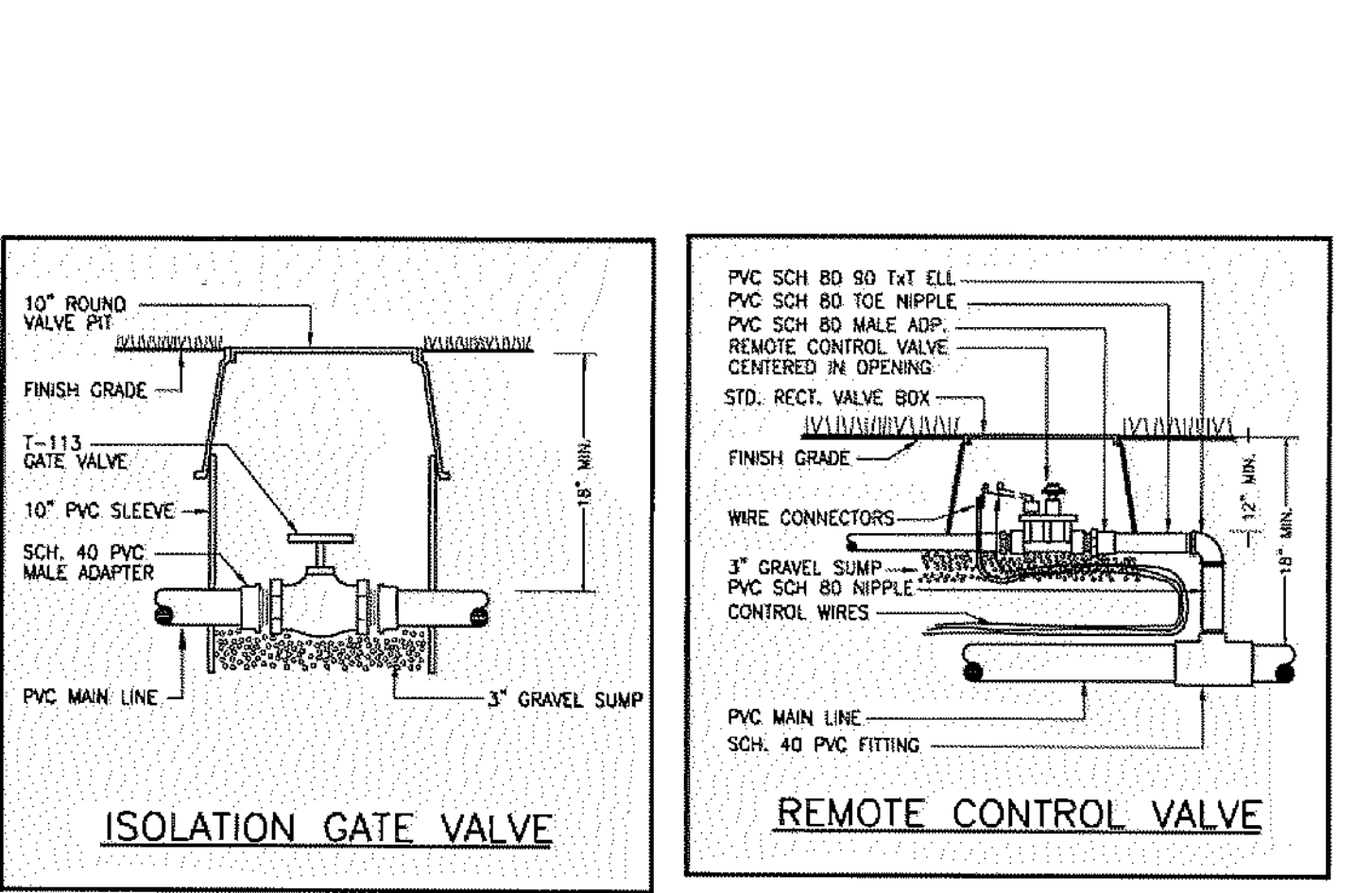
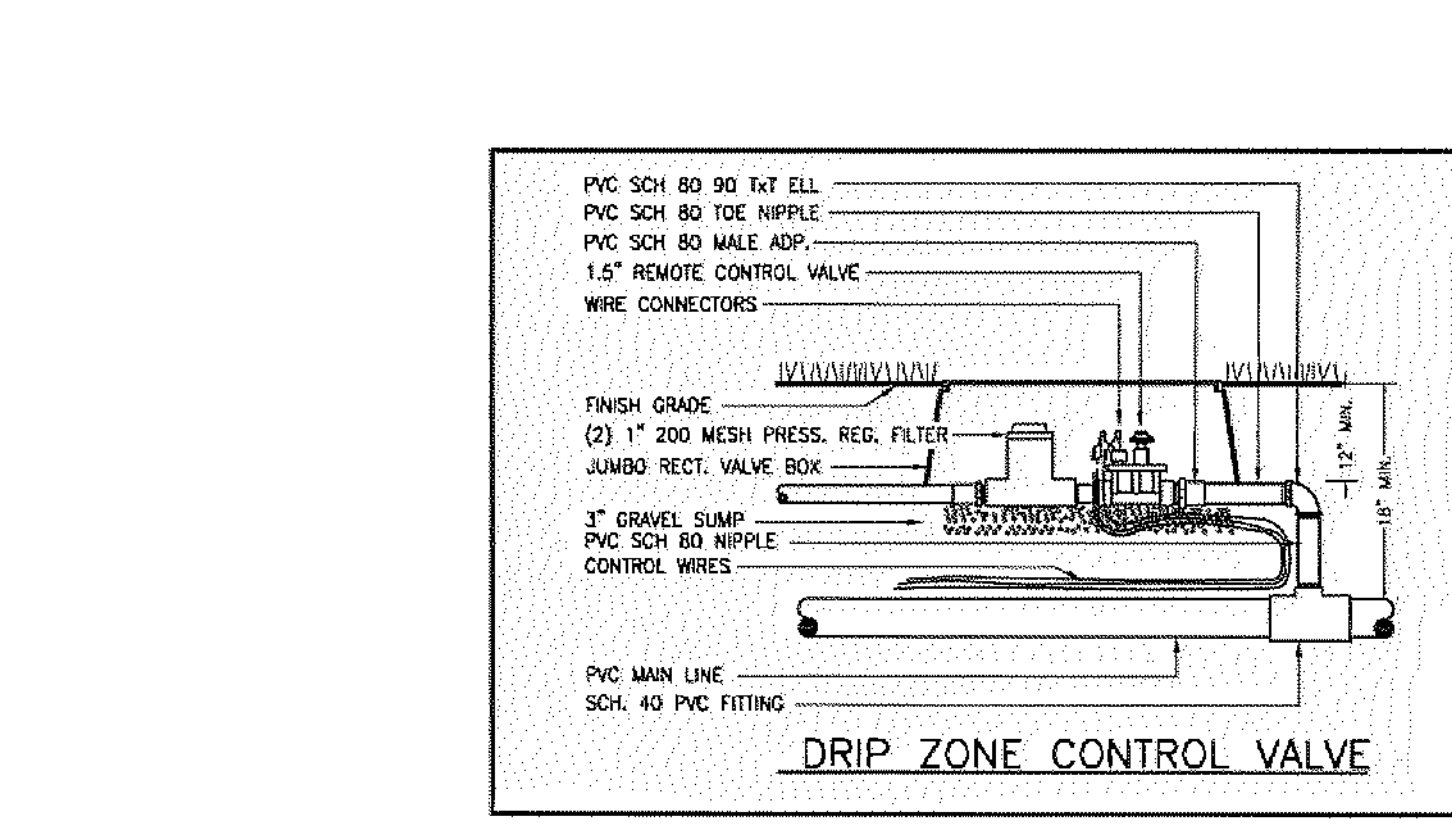
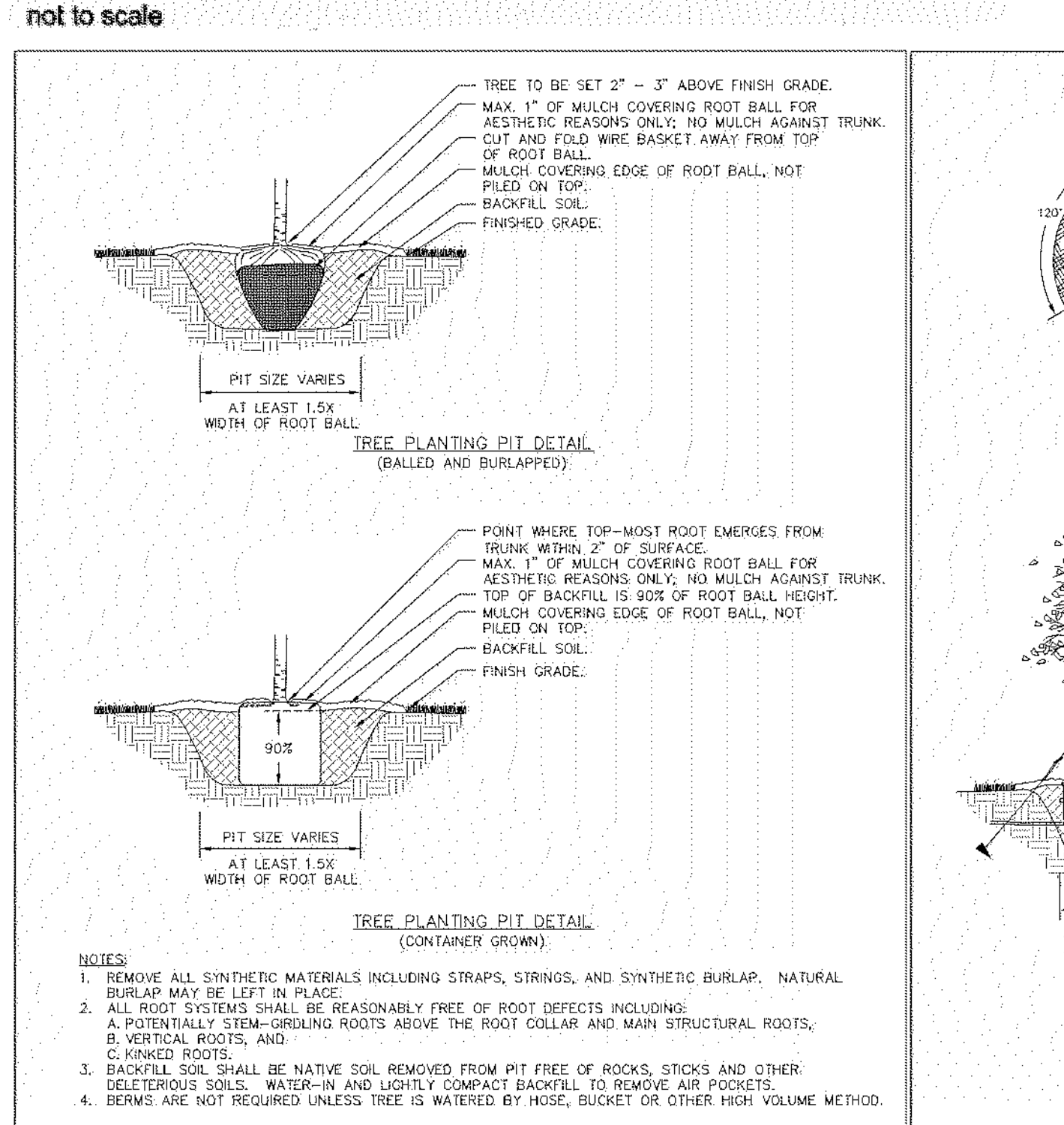
Date: _____
By: _____
Revised: _____



MULTI-TRUNK TREE PLANTING DETAIL



SHRUB & GROUNDCOVER PLANTING AND SPACING DETAIL



NOTES

- IRRIGATION SYSTEM TO BE INSTALLED PER PLANS.
- SODDED AREAS TO BE ARGENTINE BAHIA. ALL OTHER DISTURBED AREAS TO BE SEEDED & MULCHED.
- ALL DESIGNATED LANDSCAPE AREAS TO BE MULCHED WITH PINE BARK MULCH (4\"/>

SOO NOTES:

- THICKNESS ON CUT: TURFGRASS SOO SHALL BE MACHINE CUT AT UNIFORM SOO THICKNESS AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWN AND THATCH.
- PAD SIZE: INDIVIDUAL PIECES OF TURFGRASS SOO SHALL BE CUT TO THE SUPPLIERS STANDARD WIDTH AND LENGTH. MAXIMUM ALLOWABLE DEVIATION FROM STANDARD WIDTH AND LENGTH SHALL BE PLUS OR MINUS 0.5 INCH (13mm) ON BOTH AND PLUS OR MINUS FIVE PERCENT ON LENGTH. BROKEN PADS AND TOPS OR UNIFORM ENDS WILL NOT BE ACCEPTABLE.
- STRETCH OF TURF SOO SECTIONS: STANDARD SIZE SECTIONS OF TURFGRASS SOO SHALL BE STRETCH KNOWN THAT IT CAN BE POKED UP AND HANDLED WITHOUT DAMAGE.

SECTION 6.7.3.E - TREE PROTECTION

- Tree protection shall continue during the course of construction. The following requirements shall be conditions of tree removal permits, all permits for construction in public rights-of-way, and all development permits issued under and pursuant to this Code.
- The clearing of construction equipment or material or the disposal of waste materials including but not limited to, paint, oil, solvents, asphalt, concrete, and mortar within the TPZ of any tree which is being protected is not allowed.
 - The movement of equipment or the storage of equipment, materials, debris, or fill within the TPZ of any tree which is being protected is not allowed.
 - The contractor shall inspect all tree protection barricades and signs on a weekly basis during the course of construction. Any barricade or sign which has been damaged or is missing shall be replaced immediately.

SECTION 6.7.12 - TREE INSPECTIONS

- The following tree preservation and/or replacement inspections shall be required to ensure compliance with this division and the requirements of permits issued hereunder. No Certificate of Occupancy or Certificate of Completion, as appropriate, may be issued for any development involving the removal of trees requiring a permit until all of the following inspections have been completed and approval is granted:
- A preliminary inspection shall be conducted by the County's Landscape Architect or his designee to confirm that the permittee has marked trees permitted to be removed and has installed tree protection barricades around trees, or groups of trees, to be preserved prior to any clearing, grubbing, or construction. Any deficiencies noted during this inspection shall be corrected to the satisfaction of the permittee and inspected. Approval, after preliminary inspection, shall be noted by the County's Landscape Architect or his designee on the permit and shall constitute notice to proceed with tree removal.
 - A final inspection shall be conducted by the County's Landscape Architect or his designee after completion of tree removal and replacement in accordance with the approved plans. Approval, after final inspection, shall be noted by the County's Landscape Architect or his designee on the permit and shall constitute notice of commencement of the required maintenance period of replacement trees if replacement is required.

SECTION 6.8.11. LANDSCAPE INSTALLATION

- Any person providing landscape installation services for hire shall meet the licensing and certification requirements under Section 6.8.15.
- All plantings shall be installed according to current best management practices.
- Trees and palms shall be properly planted and guyed or staked.
- All plantings shall be properly watered during installation and through the establishment period for healthy growth as recommended by UF/IFAS.
- Installation shall proceed in perpetuity, and replacement if necessary, of all materials. Dead and/or dying plant material shall be replaced by the owner within 30 days of notification by the County.

SECTION 6.8.12 - LANDSCAPE COMPLETION INSPECTION REQUIREMENTS

Upon completion of the installation, the contractor shall request an inspection by the design professional. A Landscape and Irrigation As-Built Certification shall be signed and sealed by the design professional and submitted to the County Landscape Architect prior to the issuance of a Certificate of Occupancy.

SECTION 6.8.13. LANDSCAPE MAINTENANCE

- All landscape areas shall be maintained in accordance with the Florida-Friendly Best Management Practices for Protection of Water Resources by the Green Industries, UF/IFAS and FDEP.
- Trees or palms shall not be severely pruned or shaped. The natural growth habit of a tree or palm shall be considered during the design phase to avoid maintenance conflicts.
- Trees or palms which are gyped or topped shall have such gyping or topping removed once sufficient root growth has enabled the tree or palm to support itself. Damaging trees with gyping devices shall be considered a violation of this Code. Damaged trees shall be replaced at the expense of the owner.

SECTION 6.8.14. FERTILIZERS AND OTHER LANDSCAPE CHEMICALS

- Application:
 - This section shall be applicable to and shall regulate any and all applicators of fertilizer and areas of application of fertilizer within the unincorporated area of Marion County, unless such applicator is specifically exempted by the terms of this section from the regulatory provisions of this Code. This section shall be prospective only, and shall not impair any existing contracts.
 - This section requires the use of BMPs which provide specific management guidelines to minimize negative secondary and cumulative environmental effects associated with the misuse of fertilizers.
- Exemptions. The provisions set forth in Section 6.8.14 above in this section shall not apply to:
 - Bona fide farm operations as defined in the Florida Right to Farm Act, § 823.14 FS, provided that fertilizers are applied in accordance with the appropriate Best Management Practices Manual adopted by the Florida Department of Agriculture and Consumer Services, Office of Agricultural Water Policy for the crop in question.
 - Any lands used for bona fide scientific research, including, but not limited to, research on the effects of fertilizer use on urban stormwater, water quality, agronomics, or horticulture.
- Fertilizer content and application rates:
 - Fertilizers applied to turfgrass and/or landscape plants within Marion County shall be applied in accordance with directions provided by FAC Rule 5E-1.003(2), Labeling Requirements for Urban Turf Fertilizers.
 - Fertilizer containing nitrogen or phosphorus shall not be applied before seeding or sodding a site, and shall not be applied for the first 30 days after seeding or sodding.
 - Fertilizers should be applied to turf and/or landscape plants at the lowest rate necessary. Nitrogen shall not be applied at an application rate greater than 0.7 lbs of readily available nitrogen per 1,000 square feet of any one time based on the soluble fraction of formulated fertilizer, with no more than 1 pound total nitrogen per 1,000 square feet applied at any one time, and not to exceed the nitrogen recommendations set forth below on an annual basis:
 - No phosphorus fertilizer shall be applied to existing turf and/or landscape plants within the County at application rates which exceed 0.25 pounds phosphorus per 1,000 square feet per application nor exceed 0.50 pounds phosphorus per 1,000 square feet per year.
 - Nitrogen or phosphorus fertilizer shall not be applied to turf or landscape plants except as provided in Section 6.8.14(C)(1) above for turf, or in UF/IFAS recommendations for landscape plants, vegetable gardens, and fruit trees and shrubs, unless a soil or tissue deficiency has been verified by an approved test.

SECTION 6.8.8. COMPLETION INSPECTION REQUIREMENTS

- Irrigation installation professionals shall be accountable for the proper installation and compliance with the conditions of the irrigation permit and approved plans.
- Upon completion of the installation, the contractor or owner shall request an inspection by the irrigation design professional. Prior to the inspection, the irrigation installation professional shall produce a clear and legible as-built diagram which accurately represents the irrigation system that was installed. The diagram shall be presented and reviewed during the final inspection. The diagram may be a marked-up copy of the approved irrigation plan and shall include at a minimum:
 - Locations of all mainlines and mainline valves;
 - Locations of all remote control valves;
 - Water demand per zone in GPM; and
 - Total water demand per operating cycle.
- The irrigation installation professional shall also provide to the owner:
 - Irrigation system scheduling information;
 - A copy of the irrigation controller owner's manual;
 - Irrigation system maintenance schedule, which includes:
 - Instructions for seasonal adjustments of controller and sensors;
 - Instructions covering how and when to check for leaks;
 - A schedule for checking for proper irrigation distribution coverage.
- Within 60 days after installation the irrigation controller shall be adjusted to be set in accordance with the applicable irrigation schedule set forth in this Code.

Project Name: Greenway Estates Improvement Plans - Marion Co., FL
Sheet No: 005 of 010
Project: 2022-27
Scale: N/A
Date: 1-19-24
Checked: NWR
Drawn: EEM/JSB
Project: 2022-27
Scale: N/A
Date: 1-19-24
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MICHAEL W. RADLIFE, P.E. #3170
CHRISTOPHER A. OLM, P.E. #4568
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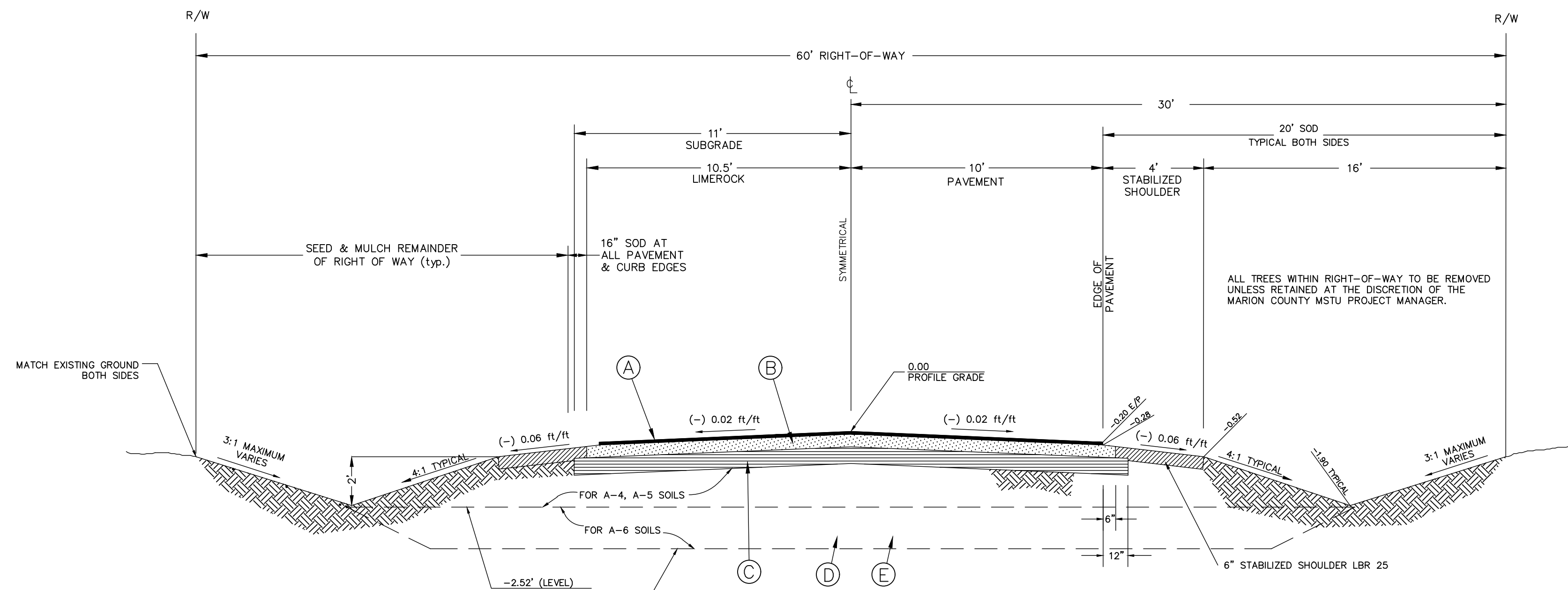
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Buffer Details

Tree Protection Detail: Shows a tree in a pit with a mulch ring, staking kit, and irrigation system. Includes notes: 'IRRIGATION DEVICE TO BE INSTALLED WITHIN TREE PIT; DRIP IRRIGATION TO BE SET BELOW MULCH BERM...', 'SHRUBS ADJACENT TO CURVED EDGES SHALL BE PLANTED IN ROWS PARALLEL TO THE CURVED EDGES...', 'DESIGN PLANT SPACING: 1'-0" MIN. DESIGN PLANT SPACING', 'HARD EDGE, TYP. MULCH, TYP.'

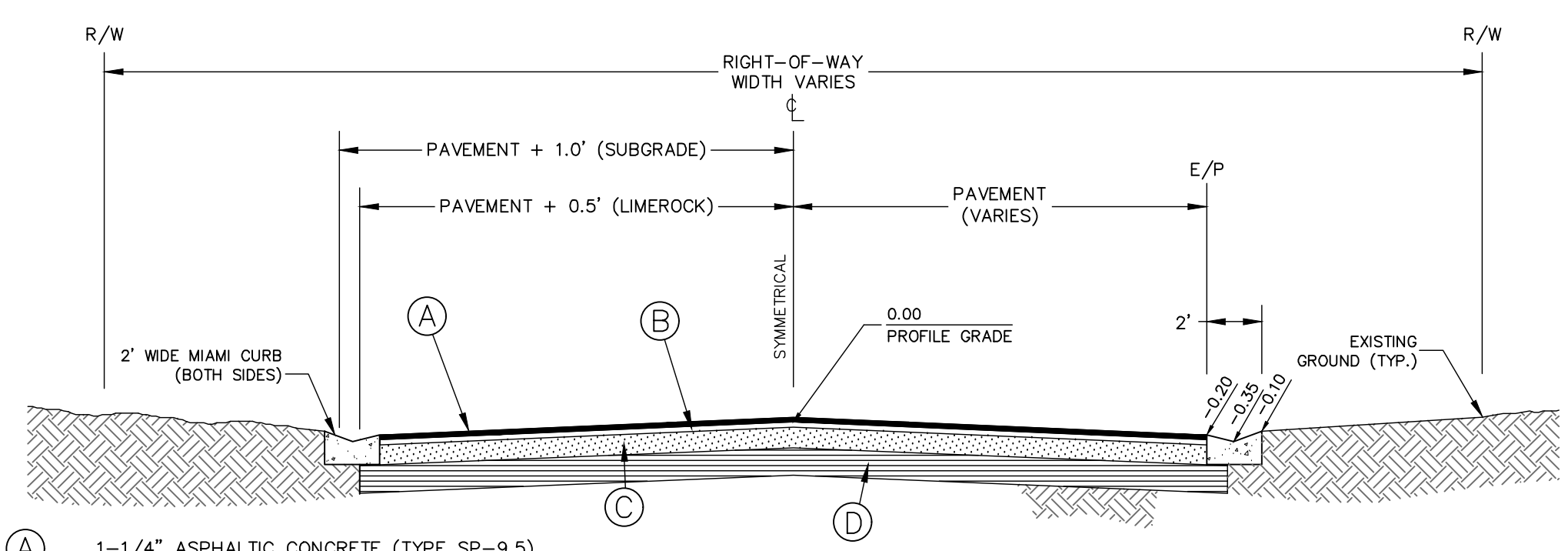
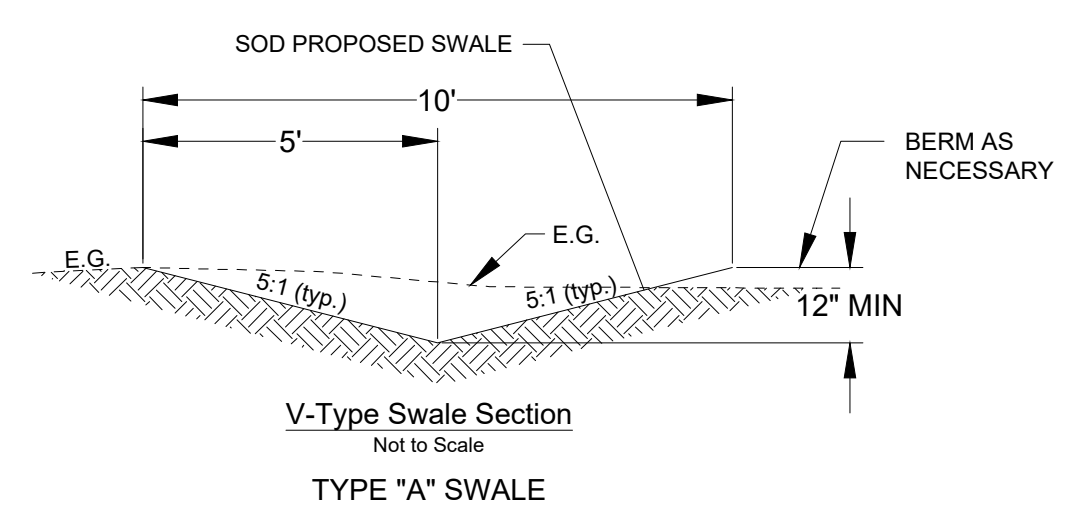
Tree Protection Detail: Shows a tree in a pit with a mulch ring, staking kit, and irrigation system. Includes notes: 'TREE PROTECTION BARRICADES SHALL BE INSTALLED AROUND ALL PROTECTED TREES AND GROUPS OF TREES PRIOR TO ANY CLEARING OR GRADING OPERATIONS...', 'FOR LARGE GROUPS OF TREES, BARRICADES MAY BE PLACED BETWEEN THE PROTECTED TREES AND THE CONSTRUCTION ACTIVITY AREA', 'BARRICADES SHALL BE MADE OF RIGID MATERIAL CAPABLE OF SURVIVING FOR THE DURATION OF THE CONSTRUCTION', 'BARRICADES SHALL BE INSPECTED WEEKLY DURING THE DURATION OF CONSTRUCTION AND REPAIRED/REINSTALLED AS REQUIRED.', 'CLEANING OF EQUIPMENT OR MATERIAL OR THE DISPOSAL OF WASTE MATERIALS, INCLUDING BUT NOT LIMITED TO, PAINT, OIL, SOLVENT, ASPHALT, CONCRETE, AND MORTAR WITHIN THE TREE PROTECTION ZONE (TPZ) OF ANY TREE IS NOT ALLOWED.', 'THE MOVEMENT OF EQUIPMENT OR STORAGE OF EQUIPMENT, MATERIALS, DEBRIS, OR FILL WITHIN THE TPZ OF ANY TREE IS NOT ALLOWED.', 'IF ANY TREE WHICH IS NOT PERMITTED FOR REMOVAL IS DESTROYED, OR RECEIVES MAJOR DAMAGE DURING CONSTRUCTION, WITH THE EXCEPTION OF NATURAL EVENTS, SO AS TO PLACE ITS LONG TERM SURVIVAL IN QUESTION, IT MUST BE REPLACED AT AN INCH-TO-INCH BASIS OF THE TOTAL (COMBINED) DBH OF THE TREE(S) SO DESTROYED OR DAMAGED. THE REPLACEMENT TREE(S) SHALL BE OF COMPARABLE SPECIES OF THE DESTROYED OR DAMAGED TREE(S) WITH A MINIMUM SIZE OF 3\"/>

<p>MARION COUNTY FLORIDA PARKS AND RECREATION</p>	<p>MCBCC EFFECTIVE 10/12/2013 REVISION # NA</p>	<p>7.3.4 LS 001</p>	<p>TREE PLANTING PIT</p>	<p>MARION COUNTY FLORIDA PARKS AND RECREATION</p>	<p>MCBCC EFFECTIVE 10/12/2013 REVISION # NA</p>	<p>7.3.4 LS 003</p>	<p>TREE INSTALLATION GUYING KIT</p>	<p>MARION COUNTY FLORIDA PARKS AND RECREATION</p>	<p>MCBCC EFFECTIVE 10/12/2013 REVISION # NA</p>	<p>7.3.4 LS 006</p>	<p>SHRUB INSTALLATION</p>	<p>MARION COUNTY FLORIDA PARKS AND RECREATION</p>	<p>MCBCC EFFECTIVE 10/12/2013 REVISION # NA</p>	<p>7.3.4 LS 007</p>	<p>SHRUB MASSING</p>	<p>MARION COUNTY FLORIDA PARKS AND RECREATION</p>	<p>MCBCC EFFECTIVE 10/12/2013 REVISION # NA</p>	<p>7.3.4 LS 009</p>	<p>TREE PROTECTION</p>
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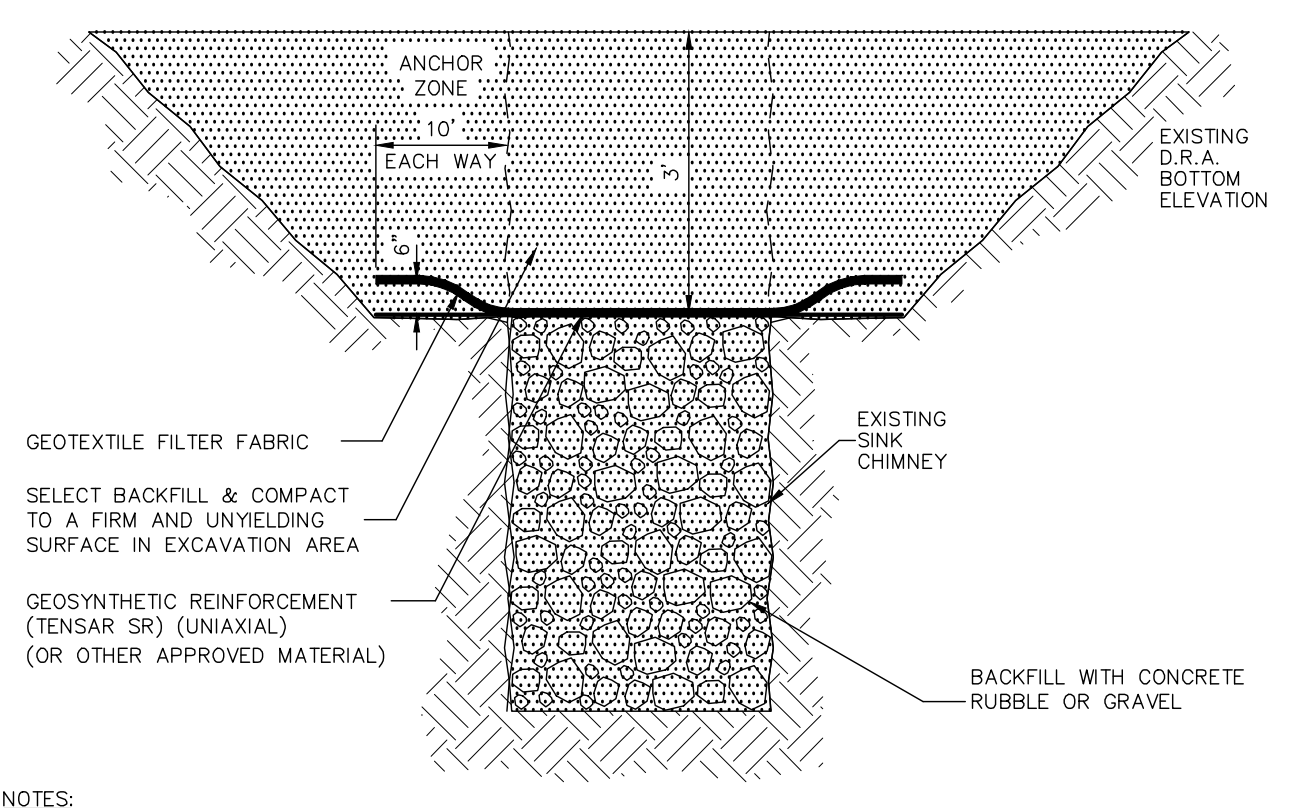
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- (B) 8" LIMEROCK BASE COURSE (LBR 100)
- (C) 12" STABILIZED SUBGRADE (LBR 40)
- (D) EMBANKMENT MATERIAL WHEN REQUIRED BY UNSTABLE MATERIAL EXCAVATION
- (E) UNSTABLE MATERIAL EXCAVATION (IF REQUIRED)
- (F) 6" STABILIZED SHOULDER (LBR 40)

TYPICAL SECTION 60' R/W



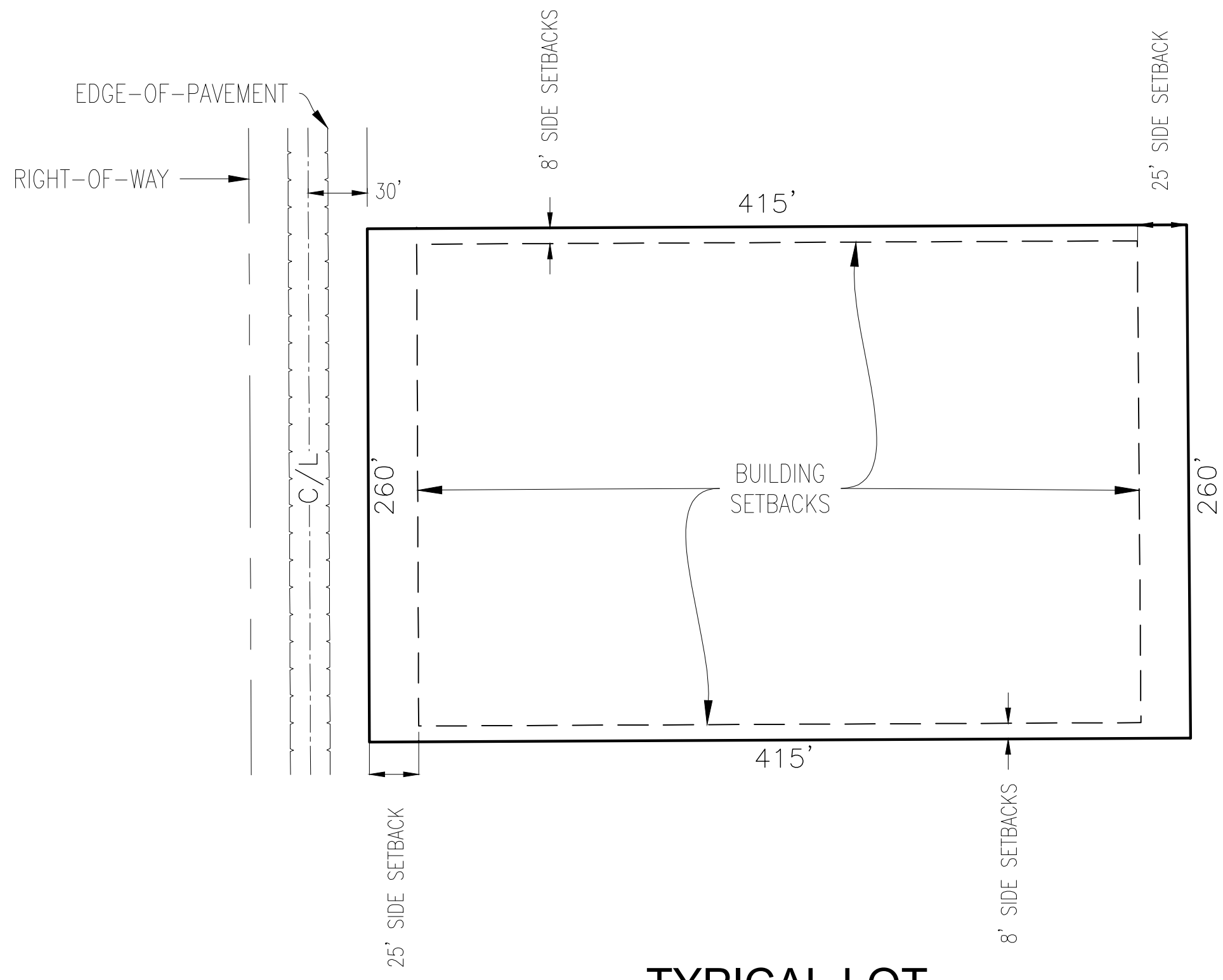
- (A) 1-1/4" ASPHALTIC CONCRETE (TYPE SP-9.5)
- (B) BITUMINOUS TACK COAT
- (C) 8" LIMEROCK BASE COURSE (LBR 100)
- (D) 12" STABILIZED SUBGRADE (LBR 40)

TYPICAL SECTION ENTRANCE



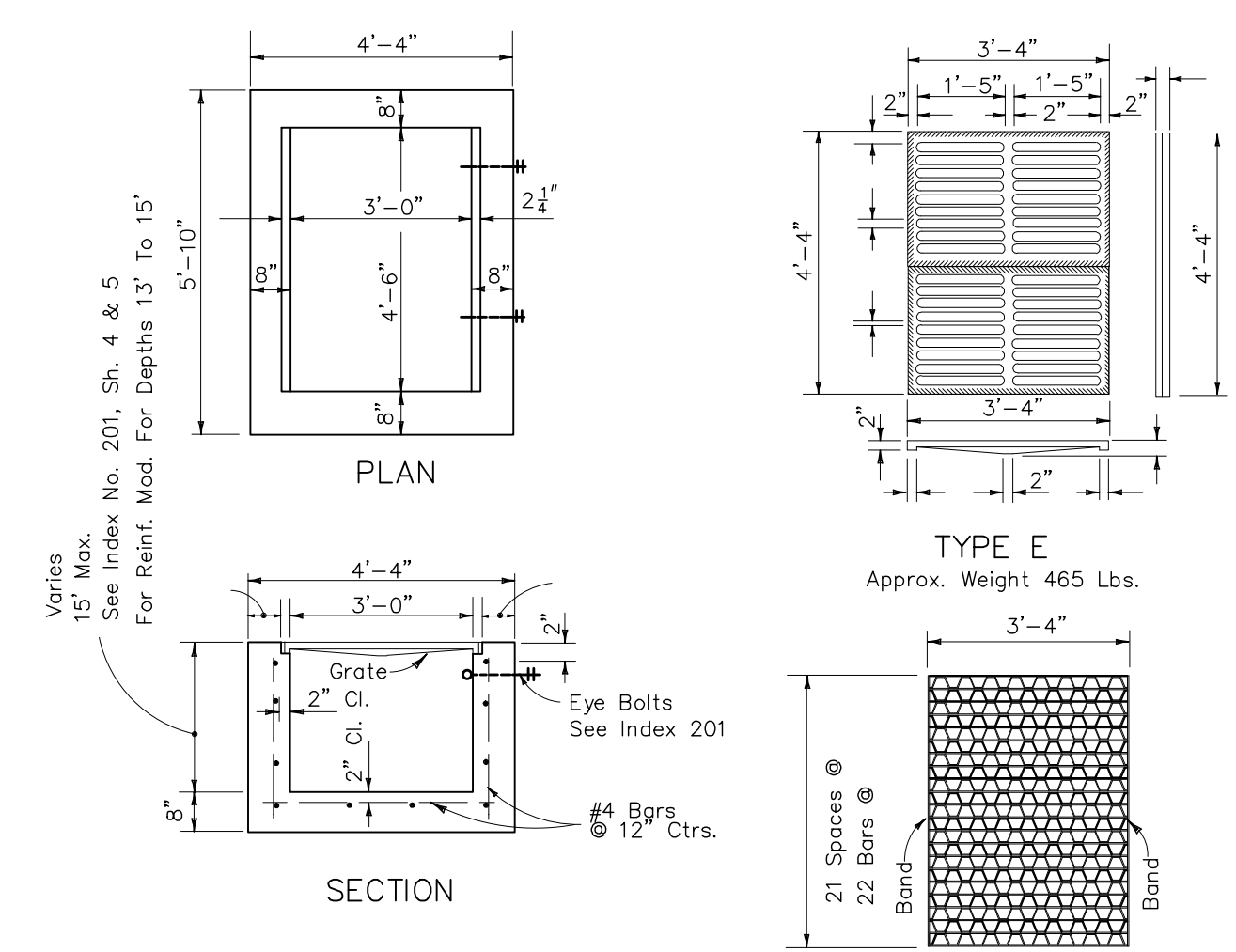
- NOTES:**
- IF LIMESTONE IS ENCOUNTERED OR A SINKHOLE OR SOLUTION PIPE FORMS DURING CONSTRUCTION, CONSTRUCTION OF THE BASIN MUST BE HALTED AND THE PROJECT GEOTECHNICAL ENGINEER MUST BE NOTIFIED IMMEDIATELY.
 - THE SINKHOLE OR SOLUTION PIPE MUST BE REPAIRED WITHIN 10 DAYS OF THE DISCOVERY USING A DISTRICT APPROVED METHOD.
 - THE STORMWATER SYSTEM MUST BE INSPECTED MONTHLY FOR THE OCCURRENCE OF SINKHOLES OR SOLUTION PIPES.

TYPICAL SINK CHIMNEY REPAIR DETAIL



TYPICAL LOT

60' RIGHT-OF-WAY
NOT TO SCALE



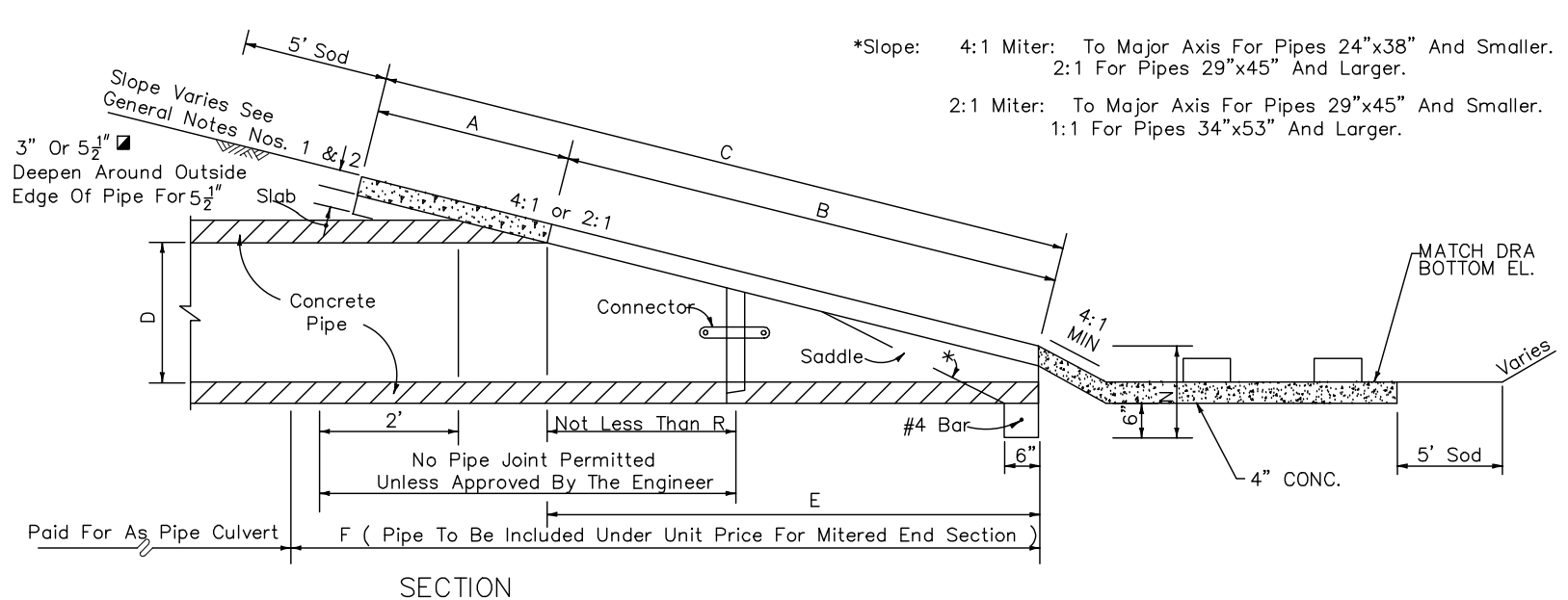
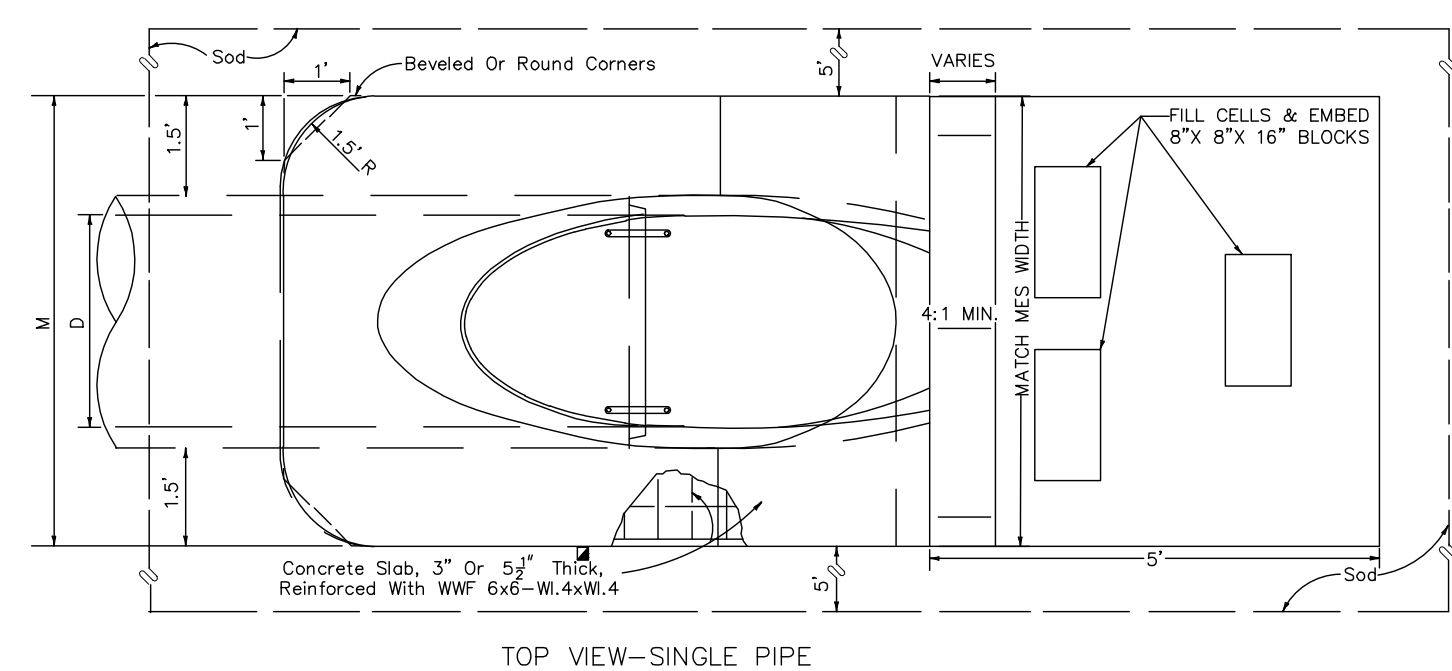
Recommended Maximum Pipe Size:
 3'-0" Wall=24" Pipe
 4'-0" Wall=42" Pipe

NOTICE: Steel Grates Are Required On Inlets With Traversable Slots And On Inlets where Bicycle Traffic Is Anticipated.

Straight Bars 2" x Reticuline Bars x Bands x Approx. Weight 215 Lbs.

Type "E" Inlet - Traffic Bearing

Not to Scale



MITERED END SECTION DETAIL WITH SPLASH PAD

General Notes:

- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE CITIZEN'S STANDARDS FOR ASSESSMENT / MSTU ROAD DESIGN AND CONSTRUCTION.
- LENGTH OF CROSS DRAINS SHOWN INCLUDES MITERED END SECTIONS.
- ALL ROADWAY PAVEMENT RADII ARE 25' UNLESS SHOWN OTHERWISE ON PLANS.
- ALL DRIVEWAY PAVEMENT RADII ARE 10' UNLESS SHOWN OTHERWISE ON PLANS.
- THE ROAD CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN THROUGH DIRECT CONTACT WITH THE UTILITIES. SUCH CONTACT SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT. ANY UTILITIES OBSTRUCTIVE TO HIS OPERATION ARE TO BE RELOCATED PRIOR TO CONSTRUCTION. MARION COUNTY SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGES OR DELAYS CAUSED BY THE LOCATION OR DISPOSITION OF ANY UTILITIES.
- ALL DRIVEWAY STATIONING IS APPROXIMATE. FINAL LOCATION MAY BE FIELD ADJUSTED IF APPROVED BY COUNTY INSPECTOR OR PROJECT MANAGER.
- ALL PROPOSED DRIVES SHALL BE ASPHALT UNLESS OTHERWISE NOTED.
- ROADWAY IS SYMMETRICAL ABOUT CENTERLINE UNLESS OTHERWISE SHOWN ON PLANS AND CROSS SECTIONS.
- SPECIAL SWALES ARE INDICATED ON EITHER THE PLAN AND PROFILE OR CROSS SECTION SHEETS.
- TREES WITHIN THE BACKSLOPE OF SWALE ARE TO BE REMOVED UNLESS RETAINED AT THE DISCRETION OF THE MARION COUNTY MSTU PROJECT MANAGER.
- UNLESS OTHERWISE NOTED, SWALES SHALL BE CONSTRUCTED ACCORDING TO TYPICAL SECTION WITH BACKSLOPES TYING INTO EXISTING GROUND AT THE RIGHT-OF-WAY. BACKSLOPES STEEPER THAN 3:1 MAY BE ALLOWED FOR SHORT DISTANCES WHEN APPROVED BY PROJECT MANAGER.

MARION COUNTY PROJECT
No. 31022

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 Sheet No: C005 of C010

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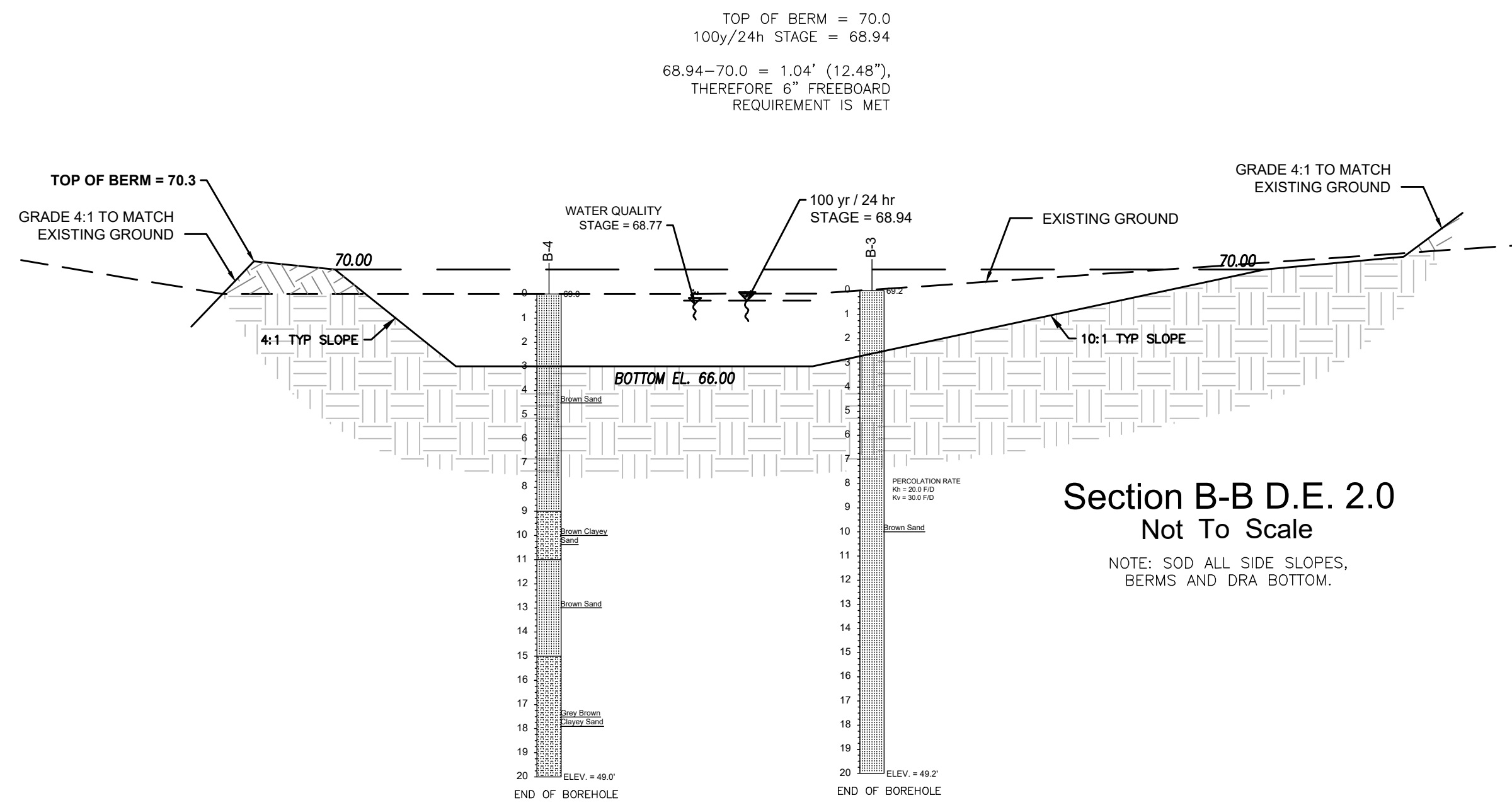
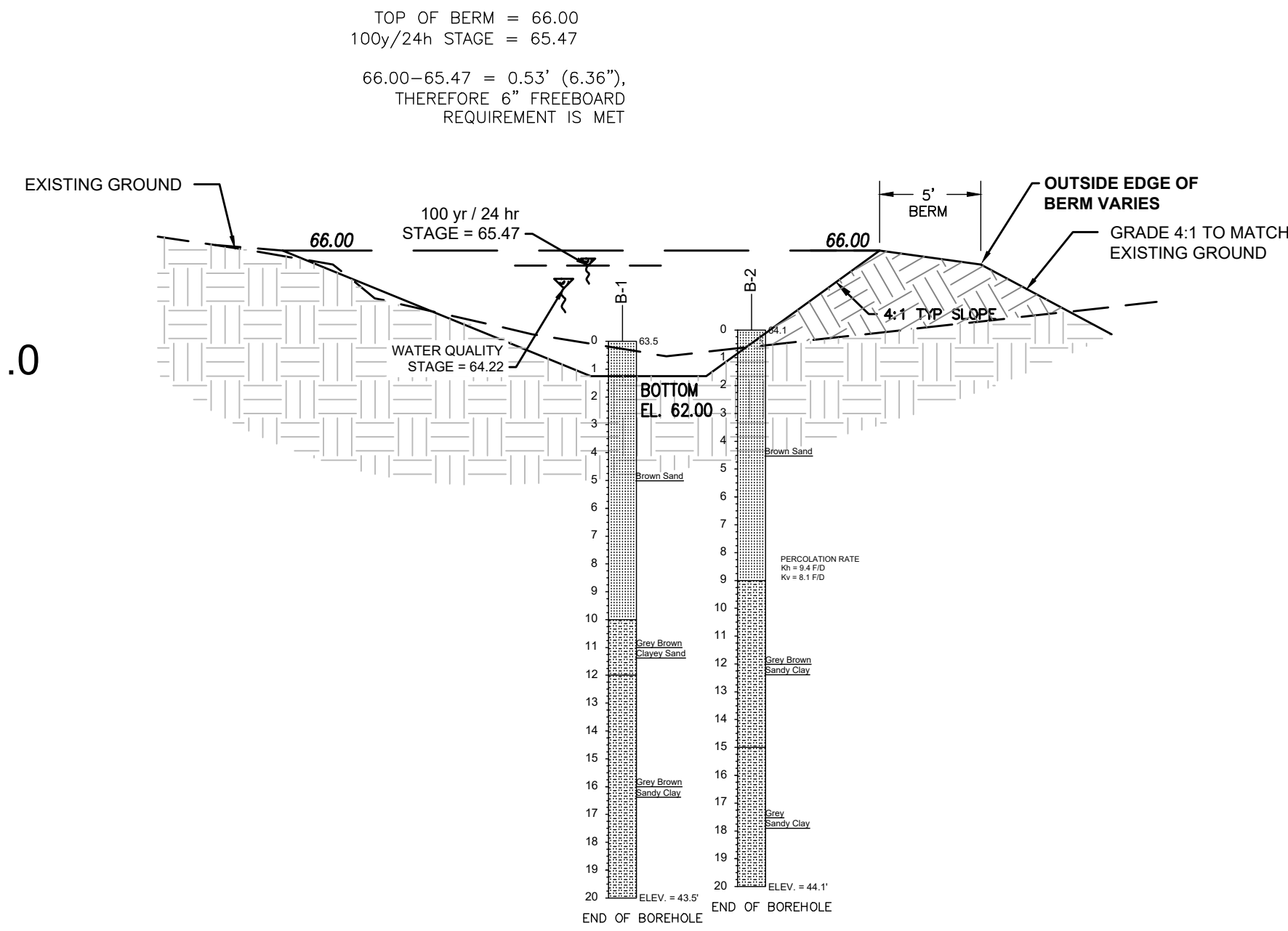
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Construction Details

Section A-A D.E. 1.0
Not To Scale

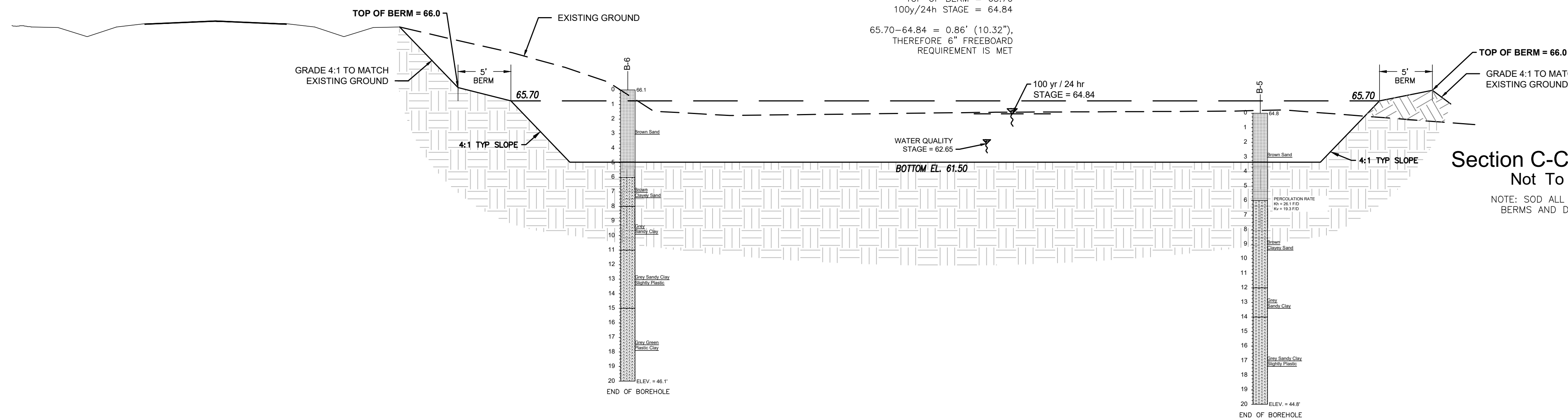
NOTE: SOD ALL SIDE SLOPES, BERMS AND DRA BOTTOM.



Section B-B D.E. 2.0
Not To Scale

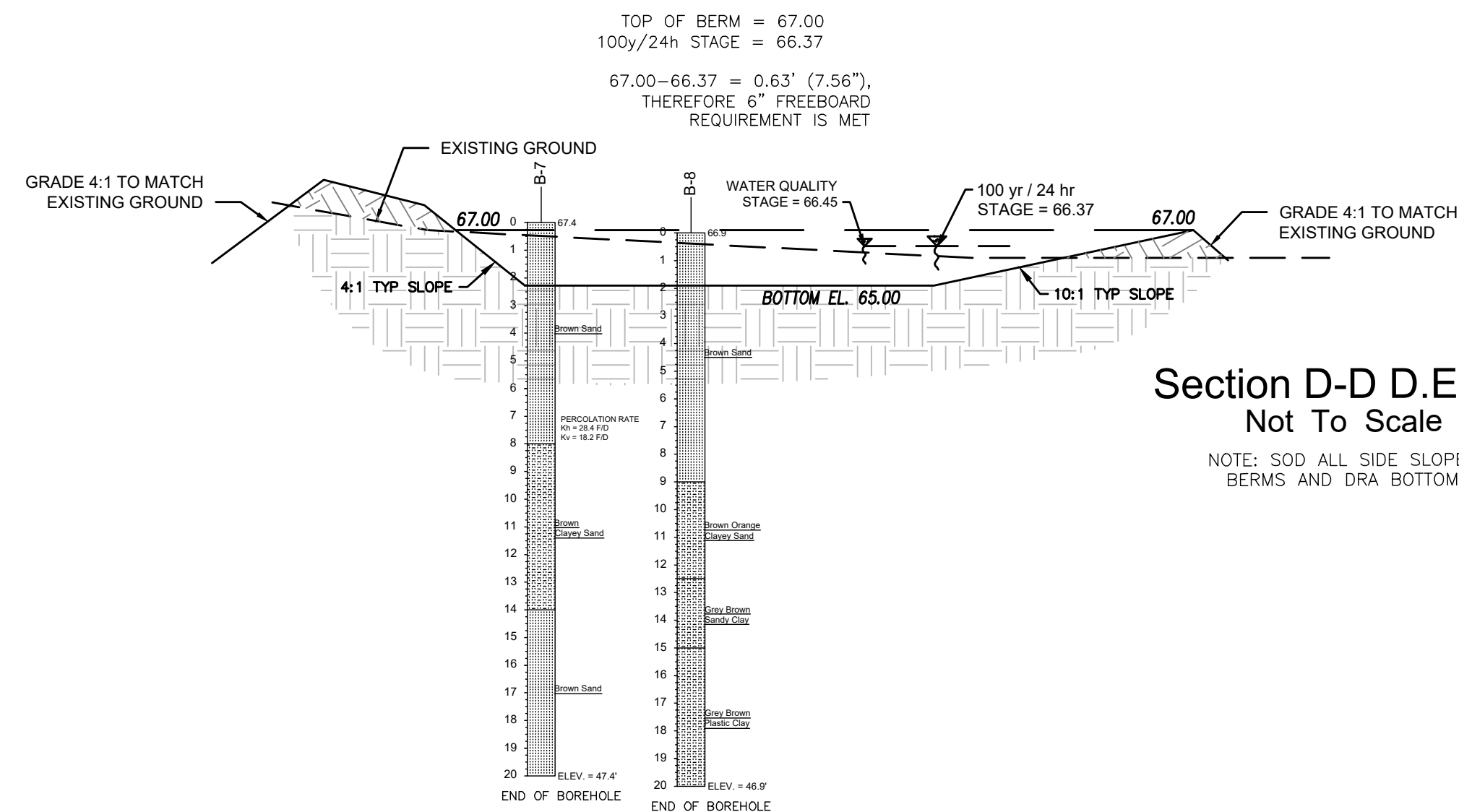
NOTE: SOD ALL SIDE SLOPES, BERMS AND DRA BOTTOM.

MARION COUNTY PROJECT
No. 31022



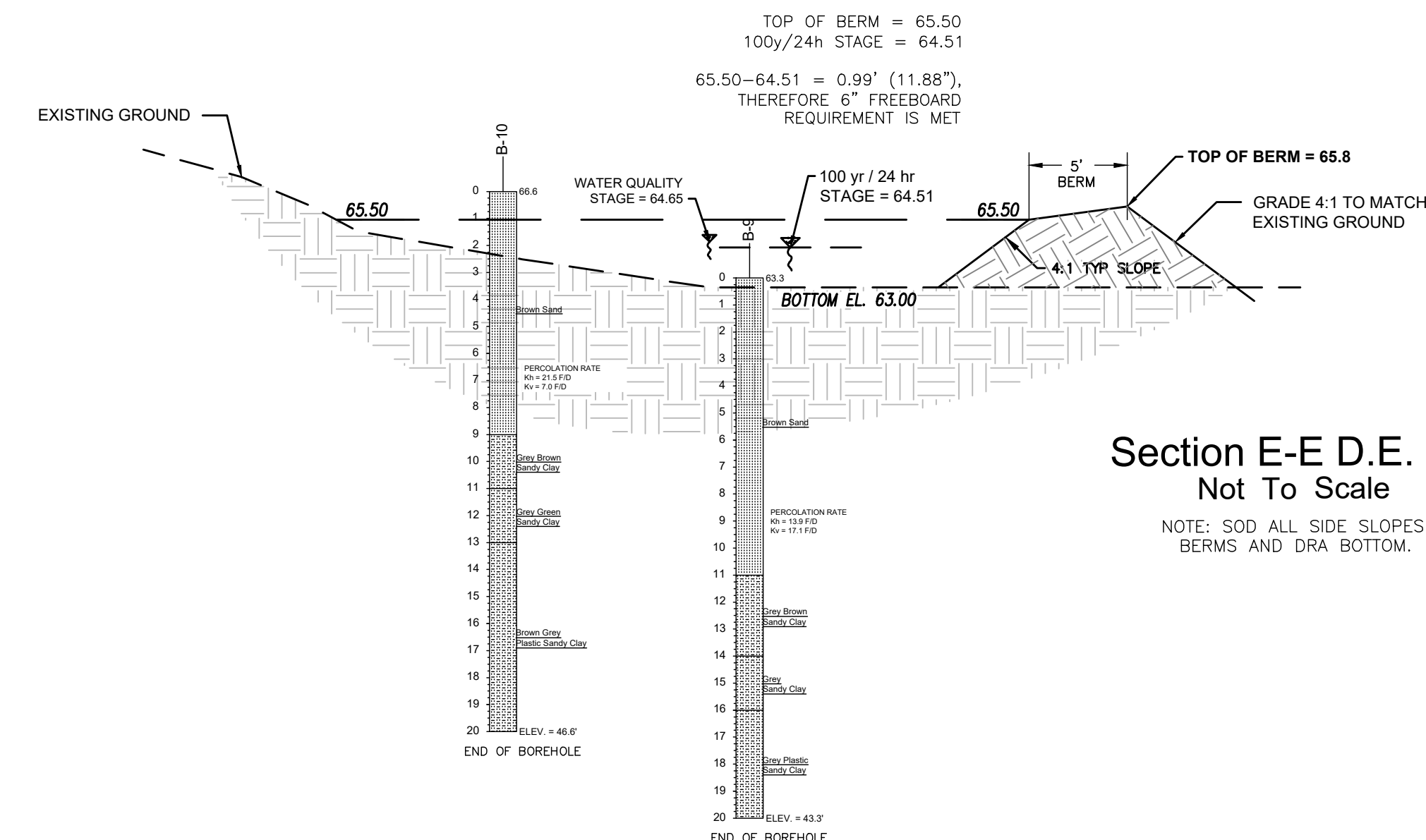
Section C-C D.R.A. 3.0
Not To Scale

NOTE: SOD ALL SIDE SLOPES, BERMS AND DRA BOTTOM.



Section D-D D.E. 4.0
Not To Scale

NOTE: SOD ALL SIDE SLOPES, BERMS AND DRA BOTTOM.



Section E-E D.E. 5.0
Not To Scale

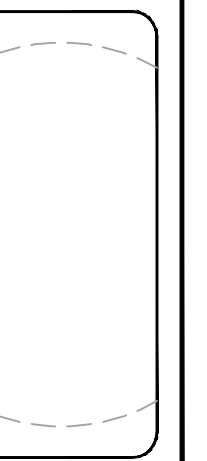
NOTE: SOD ALL SIDE SLOPES, BERMS AND DRA BOTTOM.

Revised:	
By:	
Date:	

Scale:	N/A
Project:	2022-27
Date:	1-19-24
File:	2022-27_Greenway_Est. Imp. Plans.dwg

MICHAEL W. RADCLIFFE ENGINEERING, INC.
 2611 S.E. Lake Wier Avenue, Ocala, FL 34471
 (352) 628-5500 FAX (352) 629-1010
 Michael W. Radcliffe P.E. #31170 Christopher A. Cain P.E. #65588
 Certificate No. EP-00061983 www.w.radcliffeengineering.com

Project Name: Greenway Estates Improvement Plans - Marion Co., FL
 Sheet Name: Cross Sections



Sheet No.
C009
of
C010

General Notes:

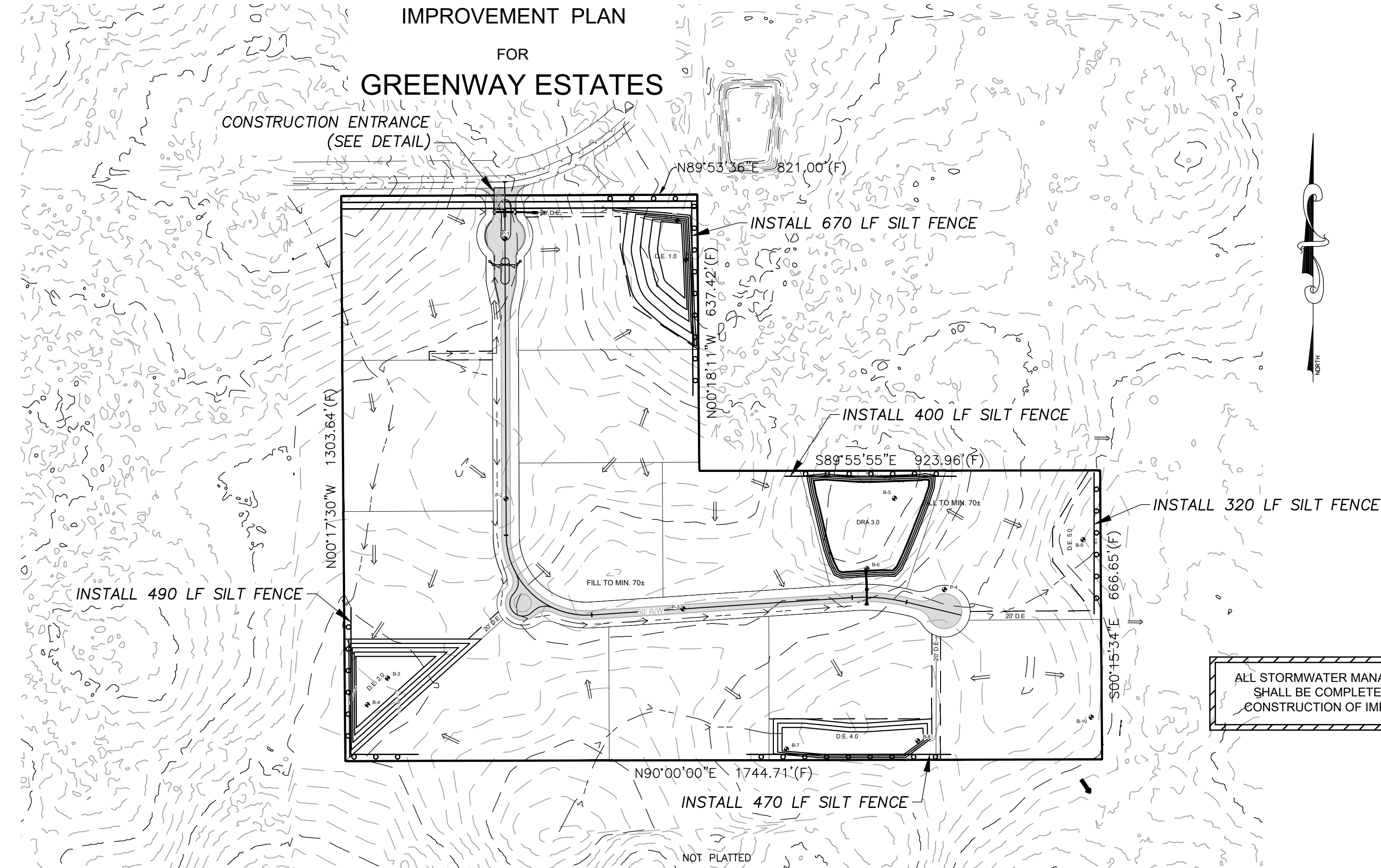
- Contractor shall file Notice of Intent (NOI) or obtain a letter from the Department of Environmental Protection (DEP) confirming coverage under this Generic Permit prior to construction. A copy of the NOI or letter from DEP shall be posted at the construction site in a prominent place for public viewing (such as alongside a building permit).
- The discharge of hazardous substances or oil in the stormwater discharge(s) from a facility or activity shall be prevented or minimized in accordance with the applicable stormwater pollution prevention plan for the facility or activity.
- The permittee shall provide for compliance with the terms and schedule of this plan beginning with the initiation of construction activities.
- Permittee shall adhere to the State of Florida DEP Generic Permit for Stormwater Discharge from Large and Small Construction Activities.
- Preserve existing vegetation where attainable and stabilize disturbed portions of the site to prevent erosion. Stabilization measures include permanent seeding, sod, preservation of existing mature vegetation and protection of existing trees. Stabilization measures shall be initiated as soon as practicable, but in no case more than 7 days, in portions of the site where construction activities have temporarily or permanently ceased.
- Each plan shall include a description of structural practices, to divert flows from exposed soils, store flows, retain sediment on-site, or otherwise limit runoff and the discharge of pollutants from exposed areas of the site. Such practices may include silt fences, swales, check dams, storm drain inlet protection, permanent sediment basins or Drainage Retention Areas (D.R.A.'s).
- Construct temporary Sediment Control Basins at each point of discharge into D.R.A.'s.
- Controls for Other Potential Pollutants.
 - Waste Disposal. The plan shall assure that waste, such as discarded building materials, chemicals, litter, and sanitary waste are properly controlled in accordance with all applicable state, local, and federal regulations. This permit does not authorize the discharge of solid materials, including building materials, to surface waters of the State or an Municipal Separate Storm Sewer System (MS4).
 - The plan shall assure that off-site vehicle tracking of sediments and the generation of dust is minimized.
 - The plan shall be consistent with applicable State and local waste disposal, sanitary sewer or septic system regulations.
 - The plan shall address the proper application rates and methods for the use of fertilizers, herbicides and pesticides at the construction site and set forth how these procedures will be implemented and enforced. Nutrients shall be applied only at rates necessary to establish and maintain vegetation.
 - The plan shall ensure that the application, generation, and migration of toxic substances is limited and that toxic materials are properly stored and disposed.
- A qualified inspector (provided by the operator) shall inspect all points of discharge into surface waters of the State or a Municipal Separate Storm Sewer System (MS4); disturbed areas of the construction site that have not been finally stabilized; areas used for storage of materials that are exposed to precipitation; structural controls; and, locations where vehicles enter or exit the site, at least once every seven calendar days and within 24 hours of the end of a storm that is 0.50 inches or greater in accordance with the Generic Permit.
- The permittee shall retain copies of stormwater pollution prevention plans and all reports required by this permit, and records of all data used to complete the NOI to be covered by this permit, for a period of at least three years from the date that the site is finally stabilized.
- The permittee shall retain a copy of the stormwater pollution prevention plan and all reports, records and documentation required by this permit at the construction site, or an appropriate alternative location as specified in the NOI, from the date of project initiation to the date of final stabilization.
- The permittee shall submit a completed Notice of Termination (NOT) (DEP Form 62-621.300(6)), signed in accordance with Part VII.C. of this permit, within 14 days of final stabilization of the site to terminate coverage under this permit.
- A permittee shall submit a NOI to the following address:
 NPDES Stormwater Notices Center, MS# 2510
 Florida Department of Environmental Protection
 2600 Blair Stone Road
 Tallahassee, Florida 32399-2400
- Projects that discharged stormwater associated with construction activity to a MS4 shall submit a copy of the NOI to the operator of the MS4.

Notes:

- For silt fence detail see this sheet. Silt fence location shown for clarity only, actual fence to be as near the property line as practical. For additional silt fence construction information, refer to the FDOT Erosion and Sediment Control Designer and Reviewer Manual.
- All existing storm water drainage patterns and channels outside the construction areas shown on these plans are to be maintained. The contractor shall notify the engineer if the work appears to interrupt an existing storm water drainage pattern. The contractor shall maintain a clear path for all surface water drainage structures and ditches during all phases of construction such that impact to construction and/or surrounding facilities is minimized. The contractor shall be responsible for any erosion, sediment transport, disturbed foundations, impact to structures, and any other damage caused during construction.
- The contractor shall prevent the discharge of sediment due to construction operations. Approved erosion control devices shall be installed to prevent discharge of sediment into a dry or wet watercourse. Recommended erosion control shall consist of silt fence, or other erosion control methods as shown or approved by the project engineer. All new and existing drain pipes and structures shall be flushed clean after construction.
- Provide erosion control blanket for all slopes 2:1 (horizontal to vertical) or steeper.
- Swales and disturbed areas shall be sodded or seeded and mulched as soon as practical.
- Should additional erosion and sedimentation controls be needed, then the contractor needs to prevent the discharge of turbid waters off the project site.
- This plan provides reasonable assurance that the proposed construction activities will not result in erosion and sediment deposition in wetlands or off-site, adverse impacts to wetlands, off-site flooding or violation of water quality standards.

Project Information:

- THIS PLAN IS INTENDED FOR USE IN CONJUNCTION WITH THE IMPROVEMENT PLANS FOR THIS PROJECT.
- THE CONSTRUCTION ACTIVITIES ON THIS SITE CONSIST OF AND WILL BE PERFORMED IN THE FOLLOWING ORDER: CLEARING AND GRUBBING, EXCAVATION OF THE PROPOSED DRA, EXCAVATION OF THE ROADWAY AND DRAINAGE.
- THE ESTIMATED PROJECT AREA IS 1.176 ACRES. THE AREA TO BE DISTURBED BY CONSTRUCTION IS 1.176 ACRES.
- THE TOPOGRAPHY OF THE AREA HAS LITTLE SLOPE AND NATURALLY DELINEATES THE DRAINAGE BASIN AS SHOWN ON THE DRAINAGE PLAN (SHEET 4 OF THE SITE PLANS). VEGETATIVE COVER CONSISTS OF BAHIA GRASS WITH APPROXIMATELY 131 TREES LOCATED THROUGHOUT THE SITE. EXISTING SOILS WITHIN PROJECT AREA ARE PREDOMINANTLY JUMPER TYPE "B" HYDROLOGIC SOILS, WHICH ARE WELL-DRAINED SANDS ACCORDING TO THE NATIONAL RESOURCE CONSERVATION SERVICE (NRCS) CLASSIFICATION.

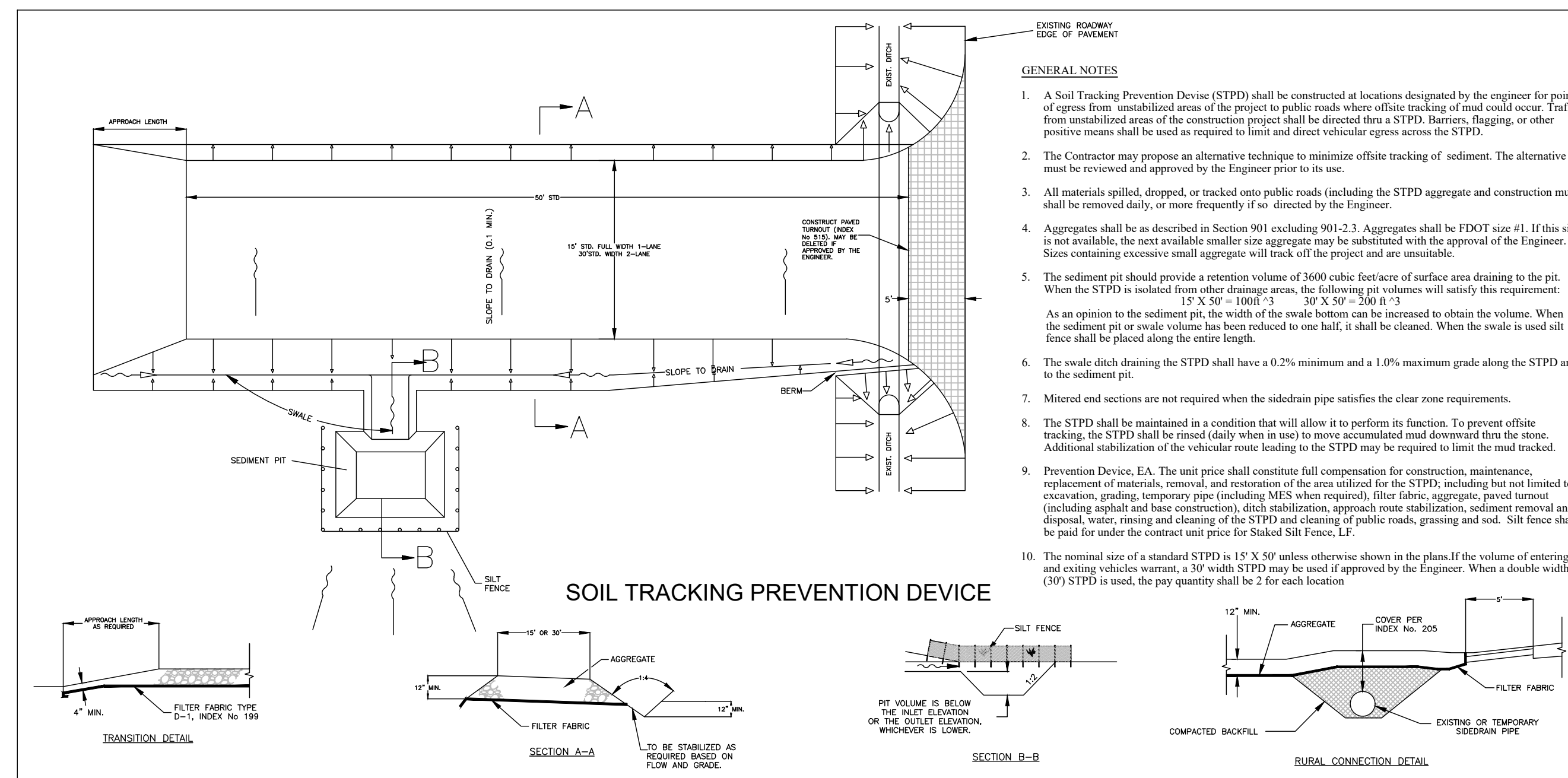
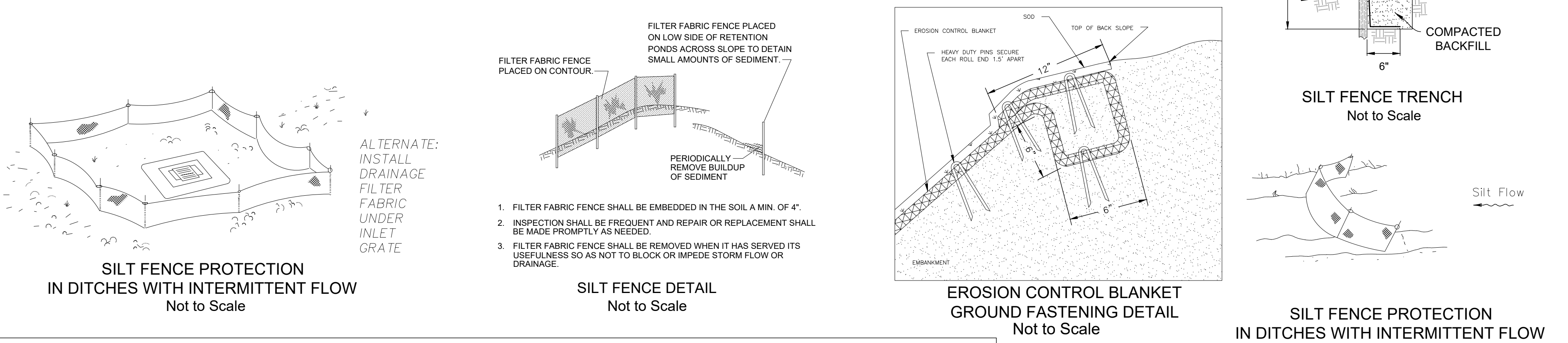


MARION COUNTY PROJECT
No. 31022

LEGEND:
 SILT FENCE
 TOTAL 2,350 LF SILT FENCE

Scale:
1 inch = 200 feet

ALL STORMWATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION OF IMPERVIOUS AREAS.



EROSION CONTROLS & BEST MANAGEMENT PRACTICES (BMP's)

Contractor's Certification:

"I certify under penalty of law that I understand, and shall comply with, the terms and conditions of the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities and this Stormwater Pollution Prevention Plan prepared thereunder."

Signature _____ Date _____

Print Name _____

Address _____

Phone Number _____

Operator's Certification:

The undersigned ensures that the surface water and stormwater management measures proposed in the plan will be effectively implemented until completion of the project or until the permanent surface water management system is operational.

Signature _____ Date _____

Print Name _____

Stabilization Schedule:
(Required to be completed by Contractor)

Major Construction Activities:
Start Date _____
End Date _____

Cease Construction Activities:
Temporary Dates _____
Permanent Date _____

Date that Stabilization Measures were Initiated: _____

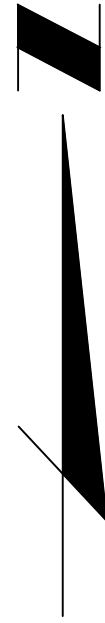
Note: Install erosion control features prior to any construction activities on this site.

Project Name: Greenway Estates Improvement Plans - Marion Co., FL
 Sheet Number: _____
 Scale: 1" = 200'
 Project: 2022-27
 Date: 1-19-24
 Drawn: EEM/OSB
 Checked: NWR
 File: 2022-27_Greenway_Est. Imp. Plans.dwg

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 2611 S.E. Lake Nair Avenue
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 Michael W. Radcliffe P.E. #3170 Christopher A. Cain P.E. #6588
 Certificate No. EP-0006198
 www.mradcliffeengineering.com

STORMWATER POLLUTION PREVENTION PLAN (SWPPP)

Sheet No.
C010
of
C010



SURVEY REPORT

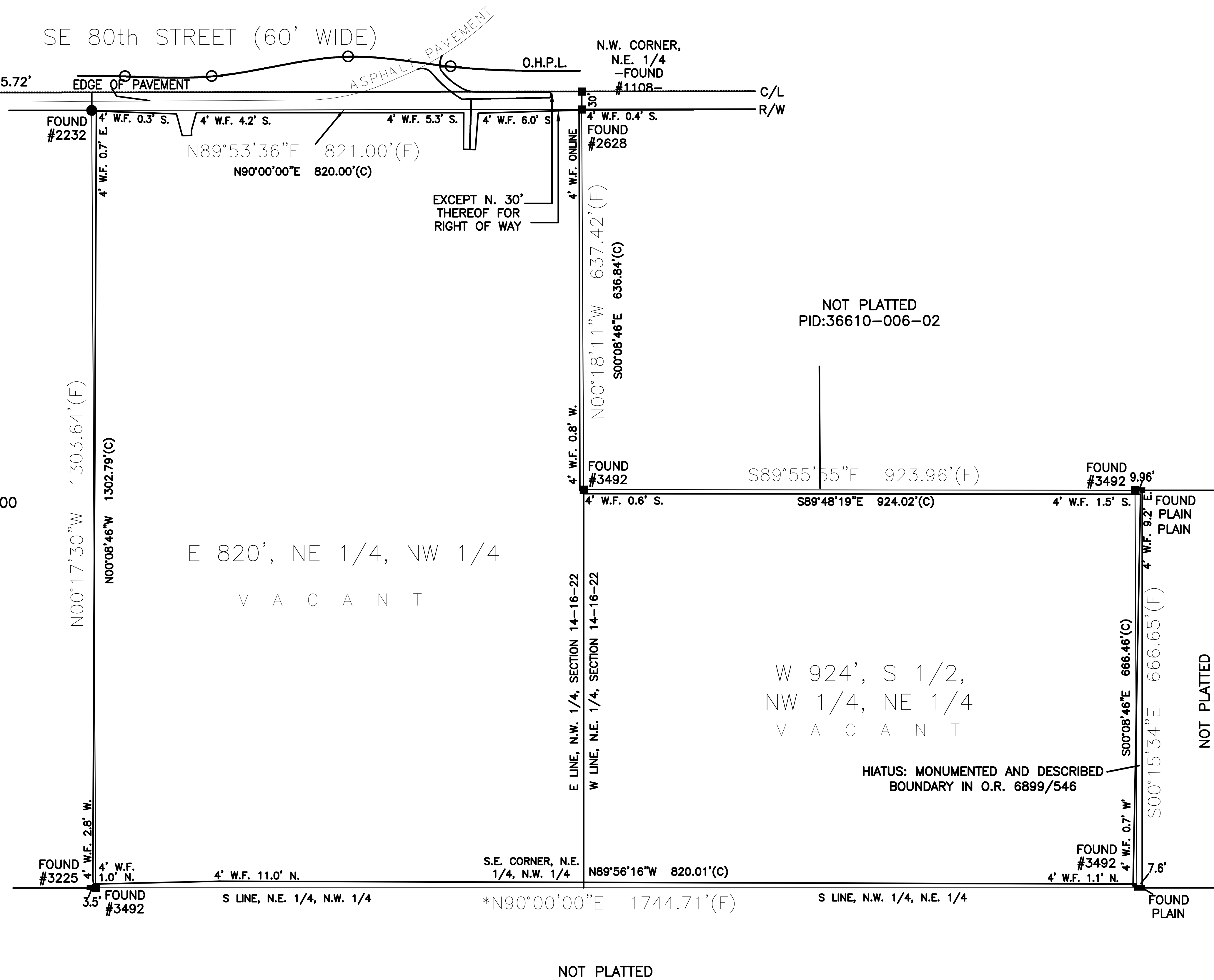
LEGEND:

- A/C AIR CONDITIONER
- B.F. BOARD FENCE
- C/L CENTER LINE
- C.L.F. CHAIN LINK FENCE
- CONC. CONCRETE
- D. CENTRAL ANGLE
- F.C. FENCE CORNER
- M.E.A. MARION ENGINEERING & ASSOC.
- M.E.C. MOORHEAD ENGINEERING CO.
- N.P. NOT PERMANENT
- P.C.P. PERMANENT CONTROL POINT
- P.O.B. POINT-OF-BEGINNING
- P.O.C. POINT-OF-COMMENCEMENT
- PP POWER POLE
- P.R.M. PERMANENT REFERENCE MONUMENT
- R. RADIUS
- R/W RIGHT-OF-WAY
- SAT. SATELLITE
- (D) DESCRIPTION
- (F) FIELD MEASURED
- (P) PLAT
- PP ⊕ POWER POLE
- (R) ⊕ RADIAL
- OHPL PPOVERHEAD POWER LINE
- V.F. VINYL/PVC FENCE
- W.F. WIRE FENCE
- 4"x4" CONCRETE MONUMENT
- IRON ROD
- ▲ NAIL & DISK
- ⊥ BREAK IN LINE
- ⊕ FH FIRE HYDRANT
- TB ☐ TELEPHONE BOX
- WM ☒ WATER METER BOX
- XFMR ☑ UTILITY TRANSFORMER BOX

NOTES:

1. THIS SURVEY IS BASED ON THE PROPERTY DESCRIPTION PROVIDED BY THE CLIENT.
2. ASSUMED NORTH IS BASED ON THE BEARING FOR THE LINE SHOWN WITH (*).
3. UNDERGROUND ENCROACHMENTS WERE NOT LOCATED UNLESS OTHERWISE SHOWN.
4. THE LOCATIONS OF ANY EASEMENTS, OR RIGHTS-OF-WAY OF RECORD, OTHER THAN THOSE SHOWN ON RECORDED PLATS ARE NOT SHOWN.
5. ALL STREETS OR STREET RIGHTS-OF-WAY SHOWN ARE PHYSICALLY OPEN UNLESS OTHERWISE SHOWN.
6. ALL DISTANCES ARE EITHER DEED OR PLAT UNLESS OTHERWISE SHOWN.

NOT PLATTED
PID:36628-003-00



DESCRIPTION:

THE WEST 924 FEET OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 14, TOWNSHIP 16 SOUTH, RANGE 22 EAST; AND THE EAST 820 FEET OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, EXCEPT THE NORTH 30.00 FEET THEREOF FOR RIGHT OF WAY, BEING SITUATE IN MARION COUNTY, FLORIDA.

ANDREW W. CARBAUGH, LICENSE NUMBER 6787
BOARD CERTIFIED SURVEYOR AND MAPPER
STATE OF FLORIDA

SURVEY DATE: SEPTEMBER 26, 2022
REVISED CERTIFICATIONS: OCTOBER 14, 2022

ADDITIONS OR DELETIONS TO THIS SURVEY MAP OR SURVEY REPORT ARE PROHIBITED. THIS SURVEY MAP AND REPORT, OR COPIES THEREOF, ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. NO ONE OTHER THAN THE PARTY OR PARTIES NAMED HEREON SHALL RELY ON THIS SURVEY.

BOUNDARY SURVEY
CERTIFIED TO:

WMH PROPERTIES, LLC
RENASANT BANK, ISAOA ATIMA
MCGRAW, RAUBA, & MUTARELLI, P.A.
KLEIN & KLEIN, LLC
FIRST AMERICAN TITLE INSURANCE COMPANY

C & A SURVEY, INC.
CERTIFICATE OF AUTHORIZATION NO. LB #7872
3106 E. FORT KING STREET OCALA, FLORIDA 34470
352.694.6566 CandAsurvey.com

SCALE: 1"=200'
F.B.: 444 PG.: 39
FILE: 1221595

N.W. CORNER, SECTION 14-16-22,
MARION COUNTY, FLORIDA
STATE PLANE: X:628474.318,
Y:1734934.608
-FOUND #1108-

SE 80th STREET (60' WIDE)

N.W. CORNER, N.E. 1/4, SECTION
14-16-22, MARION COUNTY, FLORIDA
STATE PLANE: X:631139.833,
Y:1734945.327
FLORIDA ZONE WEST
-FOUND #1108-

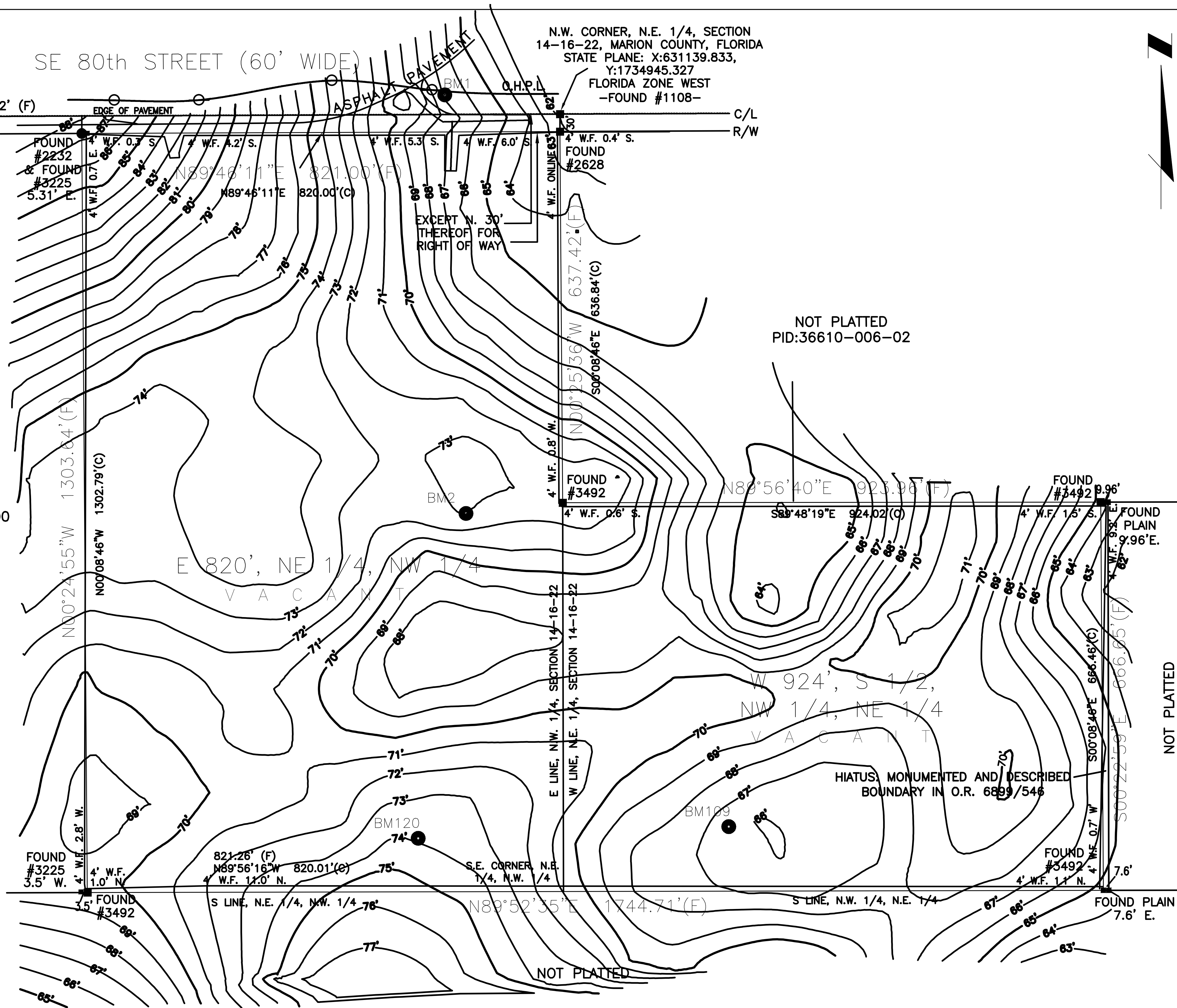
BENCHMARK DETAIL TABLE				
IDENTIFIER	NORTHING (Y)	EASTING (X)	ELEVATION	DESCRIPTION
BM1	1734978.47	630942.49	66.74	REBAR/CAP #7872
BM2	1734259.72	630978.956	73.05	REBAR/CAP #7872
BM109	1733721.875	631430.098	66.13	REBAR/CAP #7872
BM120	1733701.798	630896.890	73.78	REBAR/CAP #7872

SURVEY REPORT

LEGEND:

- A/C AIR CONDITIONER
- B.F. BOARD FENCE
- C/L CENTER LINE
- C.L.F. CHAIN LINK FENCE
- CONC. CONCRETE
- D. CENTRAL ANGLE
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- ▲ NAIL & DISK
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- ALL DISTANCES ARE EITHER DEED OR PLAT UNLESS OTHERWISE SHOWN.
- STATE PLANE COORDINATES AND ELEVATION MEASUREMENTS USING TOPCON HIPER SR ANTENNA, WITH CORRECTIONS FROM F.D.O.T. F.P.R.N. REFERENCE STATION "OCLA". DATUM:NAVD-88. FLORIDA WEST ZONE. HORIZONTAL DATUM: NAD-83.

DESCRIPTION:

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ANDREW W. CARBAUGH, LICENSE NUMBER 6787
BOARD CERTIFIED SURVEYOR AND MAPPER
STATE OF FLORIDA

TOPOGRAPHY MAP: JANUARY 05, 2022
ADJUSTED TO STATE PLANE: DECEMBER 14, 2022
SURVEY DATE: SEPTEMBER 26, 2022
REVISED CERTIFICATIONS: OCTOBER 14, 2022

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TOPO SURVEY CERTIFIED TO:

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