



## SUBMITTAL SUMMARY REPORT 33553

**PLAN NAME:** TARGET OF OCALA **LOCATION:** 9479 SW 80TH AVE

**APPLICATION DATE:** 10/29/2025 **PARCEL:** 35300-000-16

**DESCRIPTION:**

CONTACTS	NAME	COMPANY
Applicant	Roger Strcula	Upham, Inc.
Engineer of Record	Roger Strcula	Upham, Inc.

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.3	04/24/2026	05/01/2026	05/05/2026	Requires Re-submit
OCE: Plan Review (DR) v.2	02/25/2026	03/04/2026	03/19/2026	Requires Re-submit
OCE: Plan Review (DR) v.1	10/30/2025	11/13/2025	12/23/2025	Requires Re-submit
OCE: Plan Review (DR) v.4				Not Received

### SUBMITTAL DETAILS

**OCE: Plan Review (DR) v.3**

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Kristie Wright	05/01/2026	04/30/2026	Requires Re-submit
<i>Corrections</i>	Additional 911 Comments ( <b>Resolved</b> ) - <b>Corrective Action:</b> In the Target Civil Construction Drawings set, Sheets C401, C405, & C407 have the access road from SW HWY 200 incorrectly labeled as SW 93rd Street Road, this is an unnamed access road and road name label needs to be removed. In the Target Landscape and Irrigation Construction Drawings set, Sheet L201 & C407 have the access road from SW HWY 200 incorrectly labeled as SW 93rd Street Road, this is an unnamed access road and road name label needs to be removed. - Additional Comments:			
<i>Corrections</i>	Additional 911 Comments ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> Landscape and Irrigation Construction Drawings – Sheet L201 has the access road from SW HWY 200 incorrectly labeled as SW 93rd Street Road, this is an unnamed access road and road name label needs to be removed. Please correct on future submittals. - Additional Comments:			
<i>Corrections</i>	2.12.8 - Legal description matches ( <b>Resolved</b> ) - <b>Corrective Action:</b> In the Target Civil Construction Drawings set, Sheet C000 - Cover Sheet has Parcel 35300-001-17 incorrectly listed as 35300-000-17, it should be "portion of 35300-001-17". Sheet C100 has Parcel 35300-001-17 incorrectly listed as 35300-001-1. - 2.12.8 - Legal description matches: 2.12.8 - Legal description matches boundary on plan			
<i>Corrections</i>	Additional 911 Comments ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> Sheet C000 - Cover Sheet has Parcel 35300-001-17 incorrectly listed as 35300-000-17, it should be "portion of 35300-001-17" Please correct on future submittals. - Additional Comments:			
Environmental Health (Plans) (Environmental Health)	Evan Searcy	05/01/2026	05/01/2026	Approved
Fire Marshal (Plans) (Fire)	Jonathan Kenning	05/01/2026	04/24/2026	Approved
<i>Comments</i>	Previously approved			
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Kathleen Brugnoli	05/01/2026	04/27/2026	Approved
Landscape (Plans) (Parks and Recreation)	Susan Heyen	05/01/2026	04/30/2026	Requires Re-submit
<i>Comments</i>	1. Please provide signed and sealed photometric plan 2. See markups on plan sheets			
OCE Design (Plans) (Office of the County Engineer)	William Poole	05/01/2026	04/28/2026	Requires Re-submit
<i>Corrections</i>	2.12.3 - Title block ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> Title block on ALL sheets denoting type of application; project name, location, county, and state; and date of original and all revisions - 2.12.3 - Title block: Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions			

# SUBMITTAL SUMMARY REPORT (33553)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)	Delenie Roman	05/01/2026	04/29/2026	Informational
<i>Comments</i>	<p>Sunbiz and Map checked. Map shows C20 SW 80th Ave - Segment 1 Road Project in progress North of Parcel 35300-000-16            IF APPLICABLE:            Sec. 2.18.1.1 - Show connections to other phases.            Sec.2.19.2.H – Legal Documents            Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.            Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)            For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."            Sec. 6.3.1.B.2 – Required Right of Way Dedication            For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."            Sec. 6.3.1.D.3 - Cross Access Easements            For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."            Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)            "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."            Sec. 6.3.1.C.2 – Utility Easements            "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."            Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:            1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."            2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."            3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."            Sec.6.3.1.D(f) –            If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."            - DR 4/29/26</p>			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	05/01/2026	04/28/2026	Requires Re-submit
<i>Corrections</i>	Final signed and sealed hard copy signature page ( <b>Not Resolved</b> ) - After all stormwater comments are resolved, please upload a scanned copy of the digitally signed and sealed certification page of the stormwater report. Alternatively, a hard copy can be submitted. If you choose to submit a hard copy, you only need to submit the certification page of the report. A full report is not necessary. However, full reports are accepted if desired.			
<i>Corrections</i>	Additional Stormwater comments ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> (1) INFO: Please provide a copy of the NPDES permit or NOI as well as the district permit prior to construction. (2) INFO: Please note that the comments for corrections have two sections for comments. The first section, labeled "Comments", uses pre-loaded comments that describe the section of code that is being referenced. The section section identified comments made by staff for specific details. (3) INFO: If you have questions or would like to discuss the stormwater review comments, please contact Alexander Turnipseed at (352) 671-8376 or at alexander.turnipseed@marionfl.org. - Additional Stormwater comments			
<i>Corrections</i>	6.13.2.B(4) - Hydrologic Analysis ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> See comments under "6.13.7 <input type="checkbox"/> Geotechnical Criteria" - 6.13.2.B(4) - Hydrologic Analysis: Hydrologic stormwater model analysis including all input parameters, supporting calculations, assumptions, documentation for design and results.			
<i>Corrections</i>	6.13.2.B(6) - Freeboard ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> See comments under "6.13.7 <input type="checkbox"/> Geotechnical Criteria" - 6.13.2.B(6) - Freeboard: A minimum freeboard of six inches shall be provided for all retention/detention areas.			
<i>Corrections</i>	6.13.6 - Stormwater Quality Criteria ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> See comments under "6.13.7 <input type="checkbox"/> Geotechnical Criteria" - 6.13.6 - Stormwater Quality Criteria: The following systems shall be considered as meeting the County's stormwater quality criteria: a) Systems that demonstrate numerically the post-development stormwater quality is equal to or better than the pre-development stormwater quality using methodology approved by the County Engineer or his designee. b) Dry retention systems that have a depth of four feet or less, measured from top of bank to pond bottom, shall have an appropriate vegetative cover. c) Dry retention systems that have a depth of six feet or less, measured from top of bank to pond bottom, with side slopes that are no steeper than 4:1, shall have sodded bottoms. d) Wet retention/detention systems, including wetlands, shall meet the governing State standards. e) Systems demonstrating distributed volume.			
<i>Corrections</i>	6.13.4 - Stormwater Quantity Criteria ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> See comments under "6.13.7 <input type="checkbox"/> Geotechnical Criteria" - 6.13.4 - Stormwater Quantity Criteria: Methodologies, rainfall distribution and intensities shall be consistent with those approved by the governing water management district. Assumed parameters must be supported by conventional methods. Design storms shall consider open or closed basins as provided in Table 6.13-1.			

# SUBMITTAL SUMMARY REPORT (33553)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	05/01/2026	04/28/2026	Requires Re-submit
<i>Corrections</i>	6.13.7 - Geotechnical Criteria ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> Soil boring should extend a minimum of 10' below the proposed bottom of the DRA and several borings do not meet this requirement. This comment was previously made regarding BOTH ponds, not just the stagecoach pond - 6.13.7 - Geotechnical Criteria: Soil test borings shall be performed to a minimum depth of 10 feet below the proposed finished grade of the bottom of all retention/detention areas or the permanent pool elevation and once the data has been obtained the hole shall be backfilled and compacted. At least two tests shall be performed within the boundary of each proposed retention/detention area. For each half acre of pond bottom area and for each lineal retention/detention area of 250 feet, an additional test shall be conducted. For retention/detention areas utilizing percolation or infiltration in the design model, there shall be a minimum of two infiltration rate tests for each retention/detention area. Data used for soil permeability testing or infiltration analyses for the retention/detention areas shall be signed and sealed by a professional engineer or professional geologist for both data and procedural accuracy. The estimated seasonal high ground water elevation and confining layer shall be clearly identified. The estimated seasonal high water elevation and the confining layer shall be set no lower than the bottom of the boring for the purposes of stormwater system modeling. The pond bottom elevation of a stormwater facility shall be designed a minimum of 1 foot above the estimated seasonal high water elevation. When the pond bottom is within 1 foot of the estimated seasonal high water elevation, a 50 percent reduction factor shall be used for percolation or ground water mounding analysis shall be included.			
<i>Corrections</i>	6.13.4.D - Recovery Analysis ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> See comments under "6.13.7 □ Geotechnical Criteria" - 6.13.4.D - Recovery Analysis: All retention/detention areas shall recover the total volume required to meet the discharge volume limitations within 14 days following the design rainfall event. For retention/detention areas not able to recover the total required volume within 14 days, the stormwater facility volume shall be increased to retain an additional volume from a second design storm.			
<i>Corrections</i>	6.13.4.C - Discharge Conditions ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> See comments under "6.13.7 □ Geotechnical Criteria" - 6.13.4.C - Discharge Conditions: All stormwater facilities shall be designed to limit discharges considering open or closed basins per Table 6.13-1. A discharge structure shall be required for all retention/detention areas not designed to retain the entire 100-year 24-hour post-development design storm. Discharge structures shall include a skimmer at a minimum.			
<i>Corrections</i>	6.13.2.B(8) - Calculation & Plan Consistency ( <b>Not Resolved</b> ) - This item will be reviewed at resubmittal			
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	05/01/2026	04/28/2026	Approved
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	05/01/2026	04/26/2026	Approved
<i>Corrections</i>	6.11.5 - Driveway access ( <b>Resolved</b> ) - <b>Corrective Action:</b> A full review of the driveway locations and level of access will be completed when the traffic study is submitted for review. - 6.11.5 - Driveway access: The driveways must meet the requirements of section 6.11.5.			
<i>Corrections</i>	6.11.9.A - Traffic signals ( <b>Resolved</b> ) - <b>Corrective Action:</b> A full review of any traffic signal modifications will be completed - 6.11.9.A - Traffic signals: If a new traffic signal or traffic signal modifications are required, provide a separate offsite improvement plan with details as required in Section 6.11.9.A			
<i>Corrections</i>	6.12.12 - Sidewalks ( <b>Resolved</b> ) - <b>Corrective Action:</b> Provide sidewalk down the northern driveway to SW 90th Street - 6.12.12 - Sidewalks: Show sidewalk on the plans as required in section 6.12.12.			
<i>Corrections</i>	6.11.9.B - Traffic signs ( <b>Resolved</b> ) - <b>Corrective Action:</b> Provide a minimum 30"x30" stop sign at the driveway connection to SW 80th Avenue. - 6.11.9.B - Traffic signs: Provide traffic signs as required in Section 6.11.9.B.			
<i>Corrections</i>	6.12.11 - Turn lanes ( <b>Resolved</b> ) - <b>Corrective Action:</b> The need for turn lanes and turn lane modifications will be reviewed with the traffic study once it is submitted. - 6.12.11 - Turn lanes: Turn lanes shall be required as determined by the Traffic Impact Analysis or for safety purposes as determined by the County. A separate offsite improvement plan is required.			
<i>Corrections</i>	6.11.3 - Traffic Impact Analysis ( <b>Resolved</b> ) - <b>Corrective Action:</b> 11/21/25 - A traffic study is required. A traffic methodology has been approved. The traffic study must be submitted and reviewed as a separate application from the site plan. Please submit the traffic study under an application for Traffic Impact Analysis -Traffic Study. - 6.11.3 - Traffic Impact Analysis: Provide a Traffic Impact Analysis			
Utilities (OCE Plans) (Utilities)	Heather Proctor	05/01/2026	04/28/2026	Approved
<i>Corrections</i>	6.14.2.A(1) - Letter from utility provider ( <b>Resolved</b> ) - <b>Corrective Action:</b> Provide a utility availability letter from Bay Laurel Center Community Development District. - 6.14.2.A(1) - Letter from utility provider: Letter of availability and capacity from service area's utility provider, including map of water and sewer mains with distances shown to determine if connection is required.			
<i>Corrections</i>	Parcel numbers match project area ( <b>Resolved</b> ) - <b>Corrective Action:</b> Correct Parcel Number(s) or Project Area footprint - Parcel numbers match project area: The parcels(s) shown on the application and/or site plan must match the project area.			
<i>Comments</i>	Previously approved. Bay Laurel Center Community Development District will be serving this project with public water and wastewater.			
<b>eREVIEW SESSION FILES:</b>	Bay Laurel Center CDD Target Ocala Utility Status Letter 08.22.25.pdf FEMA Map Panel.pdf File Category Placeholder.pdf Geo-Tech Karst Sensitive and Geologic Assessment Report Target Ocala 04.03.26.pdf National Wetland Inventory Map With Boundary.pdf NRCS Soils Map.pdf Quad Contour Map.pdf SavATree Tree Inventory and Evaluation Report 03.17.26.pdf Stagecoach Pond Modification Stormwater Report 01.28.26-ES.pdf Stagecoach Stormwater Operations and Maintenance Plan 04.20.26.pdf Target Aerial Photo Overlay.pdf Target Boundary Topographic and Tree Survey 02.23.26-ES.pdf Target Landscape and Irrigation Construction Drawings 02.23.26-ES.pdf Target Major Site Plan Resubmittal #2 Letter 04.21.26.pdf Target Storm Piping HGL Report 04.21.26-ES.pdf Target Stormwater Operations and Maintenance Plan 04.15.26.pdf Target Stormwater Pond Report 02.20.26-ES.pdf WTE SW 90th at SW 80th Big Box Operational Analysis 04.09.26-ES.pdf WTE SW 90th at SW 80th Big Box Response to Traffic Comments 04.09.26.pdf			
REVIEWER	MARKUP	DATE/TIME	FILE NAME	PG #
Kristie W	Should be Portion of 35300-001-17.	04/28/2026 3:31	PMFile Category Placeholder.pdf	1



**Marion County  
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Date: 05/11/2026 Parcel Number(s): PORTION 35300-000-16 AND 001-17 Permit Number: AR 33553

**A. PROJECT INFORMATION:** Fill in below as applicable:

Project Name: TARGET OF OCALA Commercial  Residential   
Subdivision Name (if applicable): PROPOSED CORNERSTONE OCALA (Final Plat-000756-2026)  
Unit \_\_\_\_\_ Block \_\_\_\_\_ Lot 1 Tract \_\_\_\_\_

**B. PROPERTY OWNER'S AUTHORIZATION:** The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): C. GUY WOOLBRIGHT  
Signature: *C. Guy Woolbright*  
Mailing Address: 8445 SW 80TH STREET City: OCALA  
State: FL Zip Code: 34481 Phone #: 352.387.7480  
Email address: ID\_PERMITS@OTOWFL.COM

**C. APPLICANT INFORMATION:** The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): UPHAM, INC. Contact Name: ROGER W. STRCULA, PE  
Mailing Address: 265 KENILWORTH AVENUE City: ORMOND BEACH  
State: FL Zip Code: 32174 Phone #: 386.672.9515  
Email address: RWS TRCULA@UPHAMINC.COM

**D. WAIVER INFORMATION:**

Section & Title of Code (be specific): 6.13.7 - GEOTECHNICAL CRITERIA  
Reason/Justification for Request (be specific): BORINGS INDICATED ON SHEET C200 PER THE GEO-TECH REPORT WERE DRILLED DEPTHS INDICATED EXCEPT WHERE ENCOUNTERING RESISTANCE DUE TO LIMESTONE LAYER. BORINGS NOT MEETING THE MINIMUM 10' BELOW POND BOTTOMS ARE INDICATED ON SHEET C200. REQUEST WAIVER DEPTH, USE BORINGS PERFORMED AS SUFFICIENT INFORMATION.

**DEVELOPMENT REVIEW USE:**

Received By: \_\_\_\_\_ Date Processed: \_\_\_\_\_ Project # \_\_\_\_\_ AR # \_\_\_\_\_

ZONING USE: Parcel of record: Yes  No  Eligible to apply for Family Division: Yes  No   
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ P.O.M. \_\_\_\_\_ Land Use: \_\_\_\_\_ Plat Vacation Required: Yes  No   
Date Reviewed: \_\_\_\_\_ Verified by (print & initial): \_\_\_\_\_



**Marion County  
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Date: 05/11/2026 Parcel Number(s): PORTION 35300-000-16 AND 001-17 Permit Number: AR 33553

**A. PROJECT INFORMATION:** Fill in below as applicable:

Project Name: TARGET OF OCALA Commercial  Residential   
Subdivision Name (if applicable): PROPOSED CORNERSTONE OCALA (Final Plat-000756-2026)  
Unit \_\_\_\_\_ Block \_\_\_\_\_ Lot 1 Tract \_\_\_\_\_

**B. PROPERTY OWNER'S AUTHORIZATION:** The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): C. GLY WOOL BRIGHT  
Signature: *C. Gly Wool Bright*  
Mailing Address: 8445 SW 80TH STREET City: OCALA  
State: FL Zip Code: 34481 Phone # 352.387.7480  
Email address: ID PERMITS@OTOWFL.COM

**C. APPLICANT INFORMATION:** The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): UPHAM, INC. Contact Name: ROGER W. STRCULA, PE  
Mailing Address: 265 KENILWORTH AVENUE City: ORMOND BEACH  
State: FL Zip Code: 32174 Phone # 386.672.9515  
Email address: RW STRCULA@UPHAMINC.COM

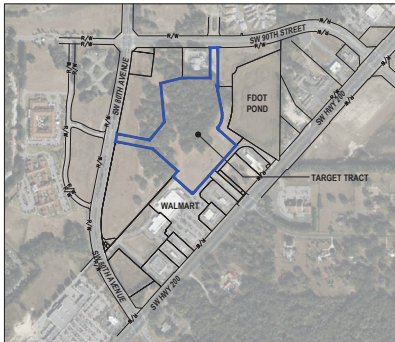
**D. WAIVER INFORMATION:**

Section & Title of Code (be specific): 6.8.6.K(2) - BUFFERS  
Reason/Justification for Request (be specific): IN LIEU OF MASONRY WALL, PROVIDE 6' OPAQUE PVC FENCE WITHIN TYPE "A" BUFFER PER 6.8.6.L(1). THE FENCE WILL MATCH THE EXISTING WALMART FENCE, THE FENCE WILL RUN ALONG THE BOUNDARY FOR APPROX 1,000 LF PER EXHIBIT 1. LOTS 2 AND 3 ADJACENT TO TARGET WILL PROVIDE SEPARATE BUFFERS PER TABLE 6.8-2.

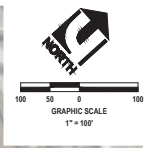
**DEVELOPMENT REVIEW USE:**

Received By: \_\_\_\_\_ Date Processed: \_\_\_\_\_ Project # \_\_\_\_\_ AR # \_\_\_\_\_

**ZONING USE:** Parcel of record: Yes  No  Eligible to apply for Family Division: Yes  No   
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ P.O.M. \_\_\_\_\_ Land Use: \_\_\_\_\_ Plat Vacation Required: Yes  No   
Date Reviewed: \_\_\_\_\_ Verified by (print & initial): \_\_\_\_\_



LOCATION MAP



REVISIONS	
DATE	DESCRIPTION

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALABLE BY PROJECT ARCHITECTURE ON THE DATE INDICATED TO THE SEAL. SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

**LUPHAME**  
 CIVIL ENGINEERING • SURVEYING • LANDSCAPE ARCHITECTURE  
 265 Kenilworth Avenue • Ormond Beach • Florida 32174  
 Voice: 386.672.8515 • Fax: 386.673.6554 • uphame.com  
 ERF 289912

THIS DRAWING IS THE PROPERTY OF LUPHAME INC. ANY USE OR REPRODUCTION IN WHOLE OR PART IS PROHIBITED WITHOUT THE EXPRESS WRITTEN CONSENT OF LUPHAME INC. COPYRIGHT 2008. ALL RIGHTS RESERVED.

FENCE WAIVER EXHIBIT  
 TARGET OCALA  
 Ocala, Florida 34716

PROJECT No:	
DATE:	
DESIGN BY:	RWS
DRAWN BY:	JMB
CHECKED BY:	RWS
SCALE:	1" = 10'
MAJOR SITE PLAN No:	
SHEET NUMBER:	<b>1</b>



NOTE: ALL PIPES AND INLETS SHALL BE FLUSHED AND CLEANED OF DEBRIS AND SEDIMENTS UPON COMPLETION OF FINAL STAGE OF WORK. WHEN LANDSCAPE WORK IS COMPLETE, CAPTURE DEBRIS AND FINES IN DOWNSTREAM INLETS. DO NOT DISCHARGE INTO POND. REMOVE FINES OFF-SITE.

NOTE: REMOVE ALL CONSTRUCTION DEBRIS. ALL DISTURBED AREAS SHALL BE PROPERLY REGRADED AND SEEDING SHALL BE COMPLETED PRIOR TO CONSTRUCTION.

Target Pond (2.7 Acre)  
Boring Requirement:  $2 + 1 \cdot (75803/43560) / .5 = 5.48$  Borings

• 5 Borings

Target Pond Boring Analysis

Boring	Ex Grade	Boring Depth (ft)	Boring Termination	Pond Bottom	10 Feet Below	Meet?
P-3 (I)	69.1	20	49.1	62	52	Yes
P-4	68.6	5	63.6	62	52	NO
P-5 (I)	70.9	9.5	61.4	62	52	NO
P-6	71.3	10	61.3	62	52	NO
P-9	70.8	20	50.8	62	52	Yes

(I) DENOTES INFILTRATION TEST

Stagecoach Pond (1.3 Acre)

Boring Requirement:  $2 + 1 \cdot (26725/43560) / .5 = 3.23$  Borings

• 3 Borings

Stagecoach Pond Boring Analysis

Boring	Ex Grade	Boring Depth (ft)	Boring Termination	Pond Bottom	10 Feet Below	Meet?
P-1 (I)	56.0	20	36	56	46	Yes
P-2 (I)	59.9	6	53.9	56	46	NO
R-3	59.8	10	49.8	56	46	NO
R-7	58.3	10	48.3	56	46	NO
S-10 (WM)	64	20	44	56	46	Yes
S-11 (WM)	63.5	20	43.5	56	46	Yes
S-12 (WM)	63	20	43	56	46	Yes
S-13 (WM)	62.25	20	42.25	56	46	Yes

(I) DENOTES INFILTRATION TEST  
(WM) DENOTES BORINGS FROM WALMART DEVELOPMENT

**DEMOLITION AND CONSTRUCTION NOTES:**

- LITTER CONTROL MEASURES TO PREVENT WIND-DRIVEN DEBRIS SHALL BE IMPLEMENTED THROUGHOUT THE DURATION OF CONSTRUCTION. ALL DEBRIS SHALL BE REMOVED AND THE PROJECT SITE CLEANED WITHIN 5 DAYS OF COMPLETION OF CONSTRUCTION. NEGLECT OR DISREGARD OF LITTER CONTROL MAY RESULT IN A FINE FOR VIOLATION OF OR FAILURE TO COMPLY TO ANY CORRECTIVE NOTICE.
- ONLY ONE TEMPORARY CONSTRUCTION SIGN IS PERMITTED, NOT TO EXCEED 32 SQUARE FEET IN SIGN AREA AND SET BACK AT LEAST 10' FROM THE INTERSECTION OF ROAD RIGHTS-OF-WAY.
- A BUILDING PERMIT IS REQUIRED FOR THE CONSTRUCTION TRAILER. PERMITS FOR PLUMBING, MECHANICAL AND ELECTRICAL FACILITIES FOR THE TRAILER ARE REQUIRED IF APPLICABLE.
- PROVIDE MINIMUM 10'x10' STABILIZED AREA AROUND THE EXISTING MANHOLES, CLEANOUTS AND VALVE PADS WITHIN PROPOSED PAVEMENT AREAS AND RAISE TO GRADE PRIOR TO PAVING OR LAWN REGRADED. ANY DAMAGE TO INFRASTRUCTURE SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION PRIOR TO PROVIDING SERVICE.
- CONTRACTOR SHALL PROTECT EXISTING ROADWAY FROM DAMAGE. ANY DAMAGE TO THE EXISTING ROADWAYS DURING CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL ADJACENT ROADWAYS SHALL REMAIN CLEAN AND FREE OF SAND AND DEBRIS. SWEEP CLEAN IMMEDIATELY IF NEEDED.
- OVEREXCAVATE POND BOTTOM 4 FEET WHERE INDICATED. BACKFILL 2 FEET WITH SANDY CLAY SOILS WITH MINIMUM OF 25 AND A MINIMUM 50% PASSING SIEVE #200. PLACE IN 6" LIFTS AND COMPACT TO 90% OF MOD. PROCTOR MAX DRY DENSITY. BACKFILL REMAINING 2 FEET WITH FREE DRAINING CLEAN GRANULAR SAND IN 1 FOOT LIFTS AND COMPACT WITH FRONT END LOADER IN TWO PASSES. SUBMIT BACKFILL SOIL SAMPLES TO GEO-TECH FOR APPROVAL PRIOR TO EXCAVATION. DO NOT ALLOW UNCOVERED LIMESTONE TO BE EXPOSED TO RAINWATER. REPEAT TO AND FINE GRADE BOTTOM AND SIDE SLOPES.

RESERVED FOR COUNTY STAMP

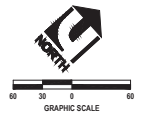
**REVISIONS**

DATE	DESCRIPTION
11/18/25	REV PER 119 SHFWMD RAI
02/23/26	REV PER 1202 COUNTY CSE
03/26/26	REV PER 1193 BC CCOO RAI
04/22/26	REV PER 313 SHFWMD RAI
	AND 319 COUNTY RAI



THIS PLAN HAS BEEN DIGITALLY REPRODUCED AND REPRODUCED FROM THE ORIGINAL SET. ANY USE OF THIS PLAN WITHOUT THE ORIGINAL SET IS UNAUTHORIZED. THE ORIGINAL SET IS THE ONLY AUTHORITY FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE REPRODUCED SET IS FOR INFORMATIONAL PURPOSES ONLY.

**LUPHAME INC.**  
CIVIL ENGINEERING/URBAN/LANDSCAPE ARCHITECTURE  
285 Kirtland Avenue • Ormond Beach • Florida 32174  
Voice: 386.672.8514 • Fax: 386.673.6554 • luphame.com  
LSP 2509012



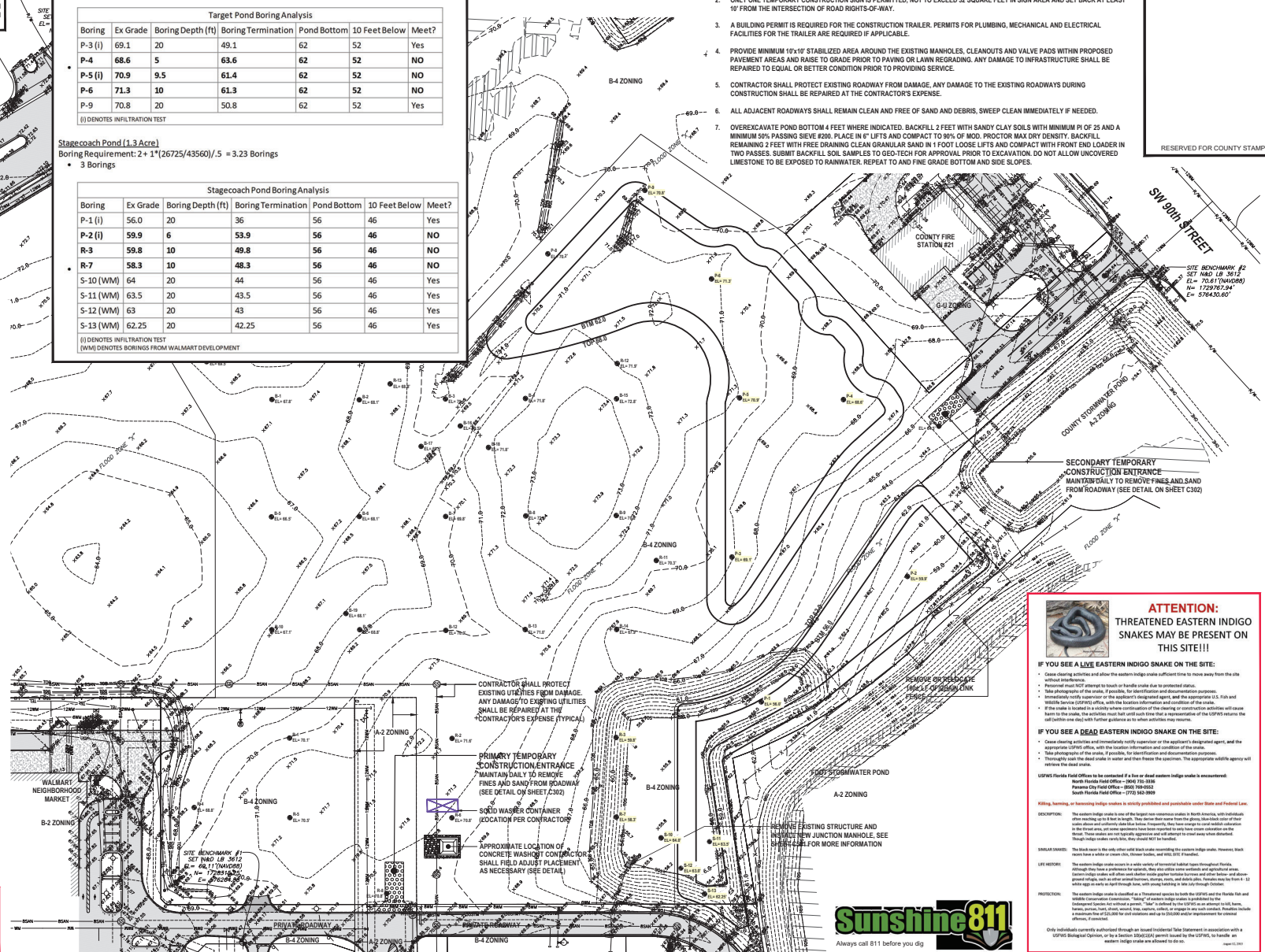
ALL INVASION SPECIES SHALL BE REMOVED FROM THE SITE

**LEGEND:**

- SM STORMWATER MANHOLE
- SIM STORM INLET / CATCH BASIN
- EB ELECTRIC BOX
- CL CLEANOUT
- SM SANITARY SEWER MANHOLE
- SS SANITARY SEWER VALVE
- BP BACKFLOW PREVENTER
- WV WATER VALVE
- (I) DENOTES 30" OR LARGER TREE REMOVAL
- B# BORING ID NUMBER
- E# BORING ELEVATION
- LIMITS OF CONSTRUCTION
- LIMITS OF OVEREXCAVATE AND CLEAN BACKFILL
- PROPOSED SAWCUT
- HATCH DENOTES REMOVE OF EXISTED IMPROVEMENTS
- PROPOSED SEDIMENT FENCE
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- TREE PROTECTION FENCE
- EXISTING STORM PIPE
- TOE OF SLOPE
- TOP OF BANK
- EXISTING OVERHEAD WIRE
- EXISTING UNDERGROUND POWER
- EXISTING FORCE MAIN
- EXISTING SEWER LINE
- EXISTING TELECOM LINE
- EXISTING FIBER OPTIC CABLE
- EXISTING WATER MAIN
- EXISTING GAS MAIN

**WARNING!** CONTRACTOR SHALL TAKE ALL PRECAUTIONS DURING CONSTRUCTION TO AVOID CONTACT WITH BURIED GAS MAINS, OVERHEAD POWER LINES AND UNDERGROUND UTILITIES.

NOTE: THE CONTRACTOR SHALL DETERMINE FINAL LOCATIONS OF CONSTRUCTION STAGING ITEMS, INCLUDING TRAILER, STOCKPILE AREAS, LAYDOWN, AND CONSTRUCTION PARKING WITH THE EROSION CONTROL INSPECTOR. LOCATIONS SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY.



**ATTENTION:**  
THREATENED EASTERN INDIGO SNAKES MAY BE PRESENT ON THIS SITE!

**IF YOU SEE A LIVE EASTERN INDIGO SNAKE ON THE SITE:**

- Cease clearing activities and allow the eastern indigo snake sufficient time to move away from the site without disturbance.
- Personnel must NOT attempt to touch or handle snakes due to potential disease.
- Take photographs of the snake, if possible, for identification and documentation purposes.
- Notify the Florida Department of Agriculture and Consumer Services (FDACS), Fish and Wildlife Service (FWS) and the local law enforcement agency of the sighting.
- If you are located in a vicinity where construction of the clearing or construction activities will occur near to the snake, the contractor must halt all such work that a representative of the USFWS retains the call number and will further address to those activities may occur.

**IF YOU SEE A DEAD EASTERN INDIGO SNAKE ON THE SITE:**

- Cease clearing activities and immediately notify supervisor or the applicant's designated agent, and the contractor's designated agent, with the sighting information and location of the snake.
- Take photographs of the snake, if possible, for identification and documentation purposes.
- Notify the local dead snake traps and have them check the specimen. The appropriate agency will retrieve the dead snake.

USFWS Florida Field Offices to be contacted if a live or dead eastern indigo snake is encountered:  
North Florida Field Office - 386.330.3338  
Panama City Field Office - 904.769.0032  
South Florida Field Office - 305.344.3865

**Killing, handling, or releasing indigo snakes is strictly prohibited and punishable under State and Federal Law.**

**DESCRIPTION:** The eastern indigo snake is one of the largest non-venomous snakes in North America, with individuals often reaching up to three feet in length. They are native to the southeastern United States, but have been introduced to other parts of the United States and other countries for pest control. They are also native to the Florida Keys and are found in a variety of habitats, including wetlands, swamps, and coastal areas. They are known for their ability to consume a wide variety of prey, including rodents, birds, and other snakes. They are also known for their ability to survive in a variety of environments, including urban areas. They are considered a pest because they can damage crops and structures. They are also considered a pest because they can consume a wide variety of prey, including rodents, birds, and other snakes. They are also known for their ability to survive in a variety of environments, including urban areas.

**SEPARATE SHEETS:** The back cover to this set of sheets and back cover to this set of sheets are located on the back cover to this set of sheets. The back cover to this set of sheets is located on the back cover to this set of sheets.

**DATE:** 10/20/25

**DESIGN BY:** JMB

**DRAWN BY:** JMB

**CHECKED BY:** JMB

**SCALE:** 1" = 10'

**MAJOR SITE PLAN NO.:** AS-#3502

**SHEET NUMBER:** C200

**CIVIL SHEET 3 OF 41**



MATTHEW T. FLETCHER

EXISTING SITE CONDITIONS & CLEARING PLAN - PHASE 1  
TARGET OCALA ADDRESS/ID MARION COUNTY, FLORIDA



May 13, 2026

Marion County Development Services  
412 SE 25<sup>th</sup> Avenue  
Ocala, FL 34471

Re: Target of Ocala AR #33553  
Two Requested Waivers

Submitted are two requested waivers to the proposed Target currently under a Major Site Plan review per the referenced AR number to address comments from Engineering and Landscaping.

- DRC Waiver Application for Geotechnical Criteria (executed by Landowner)
- Boring Plan Exhibit
- DRC Waiver Application for Buffers (executed by Landowner)
- Proposed PVC Fence Exhibit

**Section 6.13.7 – Geotechnical Criteria**

For the Target pond, the depth of the geotechnical borings within the two stormwater ponds. Two of the six borings within the Target stormwater pond satisfied the required 10 ft below the pond bottom. The remaining four borings encountered limestone layer and could not go any further per Geo-Tech. There are other borings outside the pond periphery that are deep or did not encounter the limestone layer. The depth of the limestone was considered in the stormwater design.

For the Stagecoach pond modification. Four borings were performed; one boring satisfied the required 10 ft below the pond bottom and one boring was 3 ft short of the 10 ft. Four borings from the original Stagecoach pond design were considered in the design of the stormwater pond modification. Those four borings satisfied the depth requirement.

Technical stormwater comments have been addressed with comments remaining dependent on approval of the waiver to utilize the boring depths per the design calculations. The stormwater pond is a closed system and meets both the County and SWFWMD requirements.

It is requested to approve the requested waiver on the basis of the information provided to allow resubmittal for issuance of the Development Order.

**Section 6.8.6.K(2) - Buffers**

A 20 ft Type “B” buffer with a 6 ft masonry wall is required along the boundary adjacent to R-3 zoning. Lots 2 and 3 are proposed for multi-family use with a 30 ft Type “A” buffer required along the R-3 side of the two lots for an effective 50 ft buffer width. Per Section 6.8.6.L(1) a 6 ft opaque fence is an alternate to the masonry wall.

It is requested to approve the requested waiver to match the existing Walmart fence that is adjacent to the same R-3 zoning on Lot 2.

Please schedule these two waiver requests for the next available DRC meeting.

Sincerely:

Roger W. Strcula, PE, CPESC  
President

Cc: Mark Hudgins, Cornerstone Ocala Partners, LLC  
Lisa Lazaro, On Top of the World Communities, LLC

SHEET #	DESCRIPTION	IFC REVISIONS
C000	COVER SHEET	
C100	SITE DEVELOPMENT INFORMATION	
C200	EXISTING SITE CONDITIONS & CLEARING PLAN - PHASE 1	
C201	EXISTING SITE CONDITIONS & CLEARING PLAN - PHASE 2	
C202	FOOT TCP INDICES	
C300	EROSION & SEDIMENT CONTROL PLAN - PHASE 1	
C301	EROSION & SEDIMENT CONTROL PLAN - PHASE 2	
C302	EROSION CONTROL DETAILS & NOTES	
C303	STORMWATER POLLUTION PREVENTION PLAN - PHASE 1	
C304	STORMWATER POLLUTION PREVENTION PLAN - PHASE 2	
C400	OVERALL SITE GEOMETRY & LAYOUT PLAN	
C401 TO C403	SITE GEOMETRY & LAYOUT PLAN	
C404	OVERALL PAVEMENT MARKING & SIGNAGE PLAN	
C405 TO C407	PAVEMENT MARKING & SIGNAGE PLAN	
C408	VEHICULAR MANUEVER PLAN	
C409	MISCELLANEOUS DETAILS & NOTES	
C410 TO C413	TARGET STANDARD DETAILS & NOTES	
C414	OVERALL DEVELOPMENT PLAN	
C500	OVERALL SITE GRADING & DRAINAGE PLAN	
C501 TO C503	SITE GRADING & DRAINAGE PLAN	
C504	STORMWATER POND PLAN	
C505	SECTIONS, DETAILS & NOTES	
C600	OVERALL SITE UTILITY PLAN	
C601 TO C603	SITE UTILITY PLAN	
C700	MISCELLANEOUS UTILITY DETAILS AND NOTES	
C701 TO C704	MARION COUNTY UTILITY DETAILS & NOTES	
C800	BUILDING WALK AROUND PLAN	
L100	OVERALL LANDSCAPE PLAN	
L101 TO L103	LANDSCAPE PLAN	
L200	OVERALL IRRIGATION PLAN	
L201 TO L204	IRRIGATION PLAN	
L300	LANDSCAPE / IRRIGATION DETAILS AND NOTES	
SU-1 TO SU-5	BOUNDARY, TOPOGRAPHIC & TREE SURVEY	
SL-1	SITE LIGHTING PLAN (1 OF 2)	
SL-2	SITE LIGHTING PLAN (2 OF 2)	

**DEVELOPMENT CONTACTS:**

<b>APPLICANT / DEVELOPER:</b> CORNERSTONE OCALA PROPERTIES, LLC 140 HWY A1A, SUITE 301 SATELLITE BEACH, FL 32937 MATTHEW WILLIAMS PHONE: 321.254.2400	<b>GEOTECHNICAL:</b> GEO-TECH, INC. 1016 SW 3RD AVENUE OCALA, FL 34401 CRAIG A. HUMPHREY, PE PHONE: 352.694.7711	<b>ARCHITECT:</b> BIGNELL WATKINS HASSER ARCHITECTURE & INTERIORS, PC ONE PARK PLACE, SUITE 200 ANNAPOLIS, MD 21401 CHARLIE FRONTER PHONE: 410.224.2727
<b>LANDOWNER:</b> OTOW COMMUNITIES, LLC 845 SW 87TH STREET OCALA, FL 34481 PHONE: 352.387.7480	<b>TRAFFIC:</b> WALSH TRAFFIC ENGINEERING 225 PALMETTO SPRINGS STREET DEBARY, FL 32713 CHRIS WALSH, PE PHONE: 352.688.0602	<b>ARBORIST:</b> SAVATREE, LLC 7800 W. HWY 216 REDDICK, FL 32866 PHIL HOWELL, ISA ARBORIST PHONE: 352.268.0603
<b>ENGINEER / SURVEYOR / LANDSCAPE:</b> UPHAM, INC. 216 KENILWORTH AVENUE ORMOND BEACH, FL 32174 ROGER W. STRCULA, PE, CPESC CLOIS D. VAN KLEEF, R, PSM RICHARD L. POORE, RLA PHONE: 386.672.8515	<b>BIOLOGIST:</b> ECOLOGICAL CONSULTING SOLUTIONS, INC. 410 NORTH STREET, UNIT 130 LONGWOOD, FL 32750 BILL GRIFTY PHONE: 407.810.9434	

**UTILITY SERVICE PROVIDERS:**

<b>WATER:</b> BAY LAUREL CENTER CDD 5075 SW 87TH AVENUE ROAD OCALA, FL 34474 BRYAN SCHWALZ bryan.schwalmz@occd.com PHONE: 352.41.4544	<b>ELECTRIC:</b> SECO ENERGY 310 SW 90th AVENUE OCALA, FL 34474 JACOB HUTO jacob.huto@secoenergy.com PHONE: 352.589.9852	<b>GAS:</b> TECO PEOPLE GAS 310 SW 90th AVENUE OCALA, FL 34474 CHUCK HUMPHREY chuck.humphrey@tecoenergy.com PHONE: 352.427.9747
<b>SEWER:</b> BAY LAUREL CENTER CDD 5075 SW 87TH AVENUE ROAD OCALA, FL 34474 BRYAN SCHWALZ bryan.schwalmz@occd.com PHONE: 352.41.4544	<b>TELECOM:</b> CENTURYLINK-OCALA (LUMEN) 310 SW 90th AVENUE OCALA, FL 34474 OWEN HURLEY owen.hurley@lumen.com PHONE: 352.41.2217	



NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE COUNTY ENGINEER.

**MAJOR SITE PLAN AR #33553  
CONSTRUCTION DRAWINGS FOR**



9-1-1 REQUIRES RESUBMIT

**TARGET**

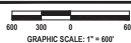
STORE# tbd  
address tbd  
MARION COUNTY, FLORIDA

TAX PARCELS: 35300-000-03 AND  
PORTIONS OF 35300-000-16 AND 35300-000-17  
SECTION 24, TOWNSHIP 16 SOUTH, RANGE 20 EAST  
AND SECTION 19, TOWNSHIP 16 SOUTH, RANGE 21 EAST

SUBMITTED OCTOBER 30, 2025      REVISED MARCH 06, 2026  
REVISED NOVEMBER 18, 2025      REVISED APRIL 14, 2026  
REVISED FEBRUARY 23, 2026



**AERIAL PHOTO & LOCATION MAP**



**JURISDICTIONAL AGENCIES**

MARION COUNTY (DEVELOPMENT ORDER)  
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (NPDES)  
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PORTABLE WATER)  
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (WASTEWATER)  
SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT (STORMWATER) (PHASE-1 STAGECOACH)  
SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT (STORMWATER) (PHASE-2 TARGET)

**PERMIT No.**

AR 35553  
-  
-  
-  
833581  
834298

ATTENTION IS DIRECTED TO THE FACT THAT THESE PLANS MAY HAVE BEEN REDUCED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.

THE GENERAL CONTRACTOR SHALL ENSURE THAT ANY SUBCONTRACTOR HAS A COMPLETE SET OF CONSTRUCTION DRAWINGS FOR ITS RESPECTIVE WORK. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR SUBCONTRACTORS ONLY UTILIZING INDIVIDUAL DRAWINGS FOR ITS WORK WHERE ADDITIONAL INFORMATION MAY BE CONTAINED ON OTHER DRAWINGS WITHIN THE SET.

BUILDING SHALL COMPLY WITH THE IN BUILDING PUBLIC SAFETY MINIMUM RADIO SIGNAL STRENGTH REQUIREMENTS PER NFPA 1 CHAPTER 11.9.1. THE LOCATION WILL NEED TO HIRE AN INDEPENDENT FIRM TO TEST THE STRENGTH OF THE SIGNAL AND IF DEEMED NECESSARY ADD EQUIPMENT WHICH ALLOWS THE BUILDING TO MEET THE MINIMUM POLICES. THE BUILDING MUST HAVE A PASSING RADIO TEST PRIOR TO CALLING FOR THE FINAL FIRE INSPECTION OF THE BUILDING. ANY INSTALLATION OF EQUIPMENT MUST BE DONE UNDER A PERMIT AND BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.

**PROJECT DESCRIPTION:**

DEVELOPMENT OF A 17.634 ACRES PARCEL, FOR A PROPOSED 128,660 TARGET STORE WITH ASSOCIATED SITE IMPROVEMENTS FOR PARKING, UTILITIES, STORMWATER POND WITH COLLECTION PIPING AND STRUCTURES. DIRECT ACCESS WILL BE PROVIDED TO SW 80TH AVENUE, SW 90TH STREET AND SW 93RD STREET. THERE IS NO DIRECT ACCESS TO FOOT RIGHT-OF-WAY. AN EXISTING STORMWATER POND WILL BE MODIFIED WITH NO LOSS OF FERTILIZED TREATMENT VOLUME.

A PREAPPLICATION MEETING WAS HELD ON JULY 3, 2025 WITH MARION COUNTY DRC STAFF.

**SITE DEVELOPMENT NOTES:**

- THE PROPERTY HAS A FUTURE LAND USE OF "CIRCLE SQUARE WOODS VORF" AND THE CURRENT ZONING IS B-4 "REGIONAL BUSINESS" PER CASE NO. 2511092C. A PREAPPLICATION MEETING WAS HELD WITH MARION COUNTY DRC STAFF ON JULY 3, 2025.
- THE PARCEL IS MOSTLY UNDEVELOPED, PARTIALLY CLEARED AND WOODED WITH AN EXISTING STORMWATER POND AND VARIOUS UTILITIES.
- FLOOD PLAN CERTIFICATION ACCORDING TO THE FEMA (FEDERAL EMERGENCY MANAGEMENT AGENCY) F.I.R.M (FEDERAL INSURANCE RATE MAP), MAP NUMBERS 12803084E AND 128030705E, COMMUNITY: MARION COUNTY, DATED: APRIL 19, 2017. THE PROJECT APPEARS TO BE IN FLOOD ZONE "X".
- DEVELOPMENT INFORMATION:  
PROPOSED LOT 1 (TARGET) COVERAGES (SF) (AC) %      EXISTING LOT 1 (TARGET) COVERAGES (SF) (AC) %  
BUILDING      128,660    2,954    18.4      BUILDING      0      0      0.0  
PAVEMENT      29,799    0,964    17.2      PAVEMENT      13,131    0,301    1.9  
MISC. SURFACES      60,820    1,837    5.9      MISC. SURFACES      1,583    0,043    0.2  
STORMWATER POND      113,660    2,689    16.3      STORMWATER POND      33,847    0,779    4.7  
OPEN SPACE      268,460    6,193    38.5      OPEN SPACE      862,745    19,674    97.9  
TOTAL PROJECT AREA      697,739    19,818    100.0      TOTAL PROJECT AREA      897,739    19,618    100.0  
TOTAL IMPERVIOUS AREA      429,279    8,655    61.5      TOTAL IMPERVIOUS AREA      14,994    0,344    2.1  
MAX FLOOR AREA RATIO (FAR) = 1.0  
PROPOSED (FAR) = (BUILDING AREA 128,660 GSF / TARGET SITE AREA 697,739 GSF) = 0.18  
NET INCREASE IN IMPERVIOUS AREA = 414,289 SF  
VEHICLE USE AREA = 268,222 SF  
PERCENT OF INTERIOR OPEN SPACE 59.253 SF (105) / 268,222 SF (VUA) = 22.8%.
- THE TARGET STORMWATER POND IS DESIGNED TO MEET BOTH THE MARION COUNTY LDR AND SWFWMD REQUIREMENTS FOR A CLOSED BASIN TO ACCOMMODATE THE 100YR/24HR STORM EVENT FOR DRY POND WITH DRAWDOWN RECOVERY.  
AN EXISTING STORMWATER POND LOCATED NEAR THE SOUTHEAST PARCEL AS PERMITTED BY MARION COUNTY AND SWFWMD FOR "SR 200 PARCELS 1, 2, 1 AND TRACTS A & C" SWFWMD PERMIT 70868, DATED JULY 31, 2015 WILL BE MODIFIED WITH NO LOSS OF PERMITTED DESIGN VOLUME. THE DRAINAGE EASEMENT (AS RECORDED IN ORB 7197, PG 183) WILL BE MODIFIED TO THE NEW POND CONFIGURATION. THE O&M MAINTENANCE ENTRY WILL NOT CHANGE.
- PARKING TABULATION  

CODE	REQUIRED	PROVIDED
RETAIL STORE: 1 SPACE PER 300 SF	420 STANDARD SPACES	456 STANDARD SPACES
CALC.	9 ADA SPACES	10 ADA SPACES
128,660 SF / 300 SF	429 TOTAL SPACES	466 TOTAL SPACES
- BUILDING SETBACKS  

	REQUIRED	PROVIDED
FRONT (ROADWAY)	40' 15" TYPE "C"	343.88' 15" TYPE "C"
SIDE (COMMERCIAL)	10'	N/A 15" TYPE "C"
SIDE (POND & MUNICIPAL)	10' 15" TYPE "C"	109.89' 15" TYPE "C"
SIDE (RESIDENTIAL)	10' 20" TYPE "B"	83.00' 20" TYPE "B"
REAR (RESIDENTIAL)	10' 20" TYPE "B"	61.00' 20" TYPE "B"
- BUILDING HEIGHT MAXIMUM = 5'.
- THE POTABLE WATER AND WASTEWATER UTILITIES WILL BE PROVIDED BY WALSH LAUREL CENTER COMMUNITY DEVELOPMENT DISTRICT INTERIOR, UTILITY SERVICES OR MAINS NOT WITHIN A UTILITY EASEMENT SHALL BE OWNED AND MAINTAINED BY TARGET.
- RECLAIM WATER IS NOT AVAILABLE. POTABLE WATER WILL BE USED FOR IRRIGATION, OWNED AND MAINTAINED BY TARGET.
- FOR EXISTING TOPOGRAPHY, REFER TO ALTAIRPS LAND TITLE SURVEY PERFORMED BY UPHAM, INC., PROJECT NO. 25094 DATED FEBRUARY 02, 2026, INCLUDING ANY UPDATES.
- REFER TO GEOTECHNICAL EXPLORATION REPORT PREPARED BY GEO-TECH, INC. PROJECT NO. 25-7347.03.1, DATED SEPTEMBER 15, 2025 FOR SPECIFIC SUBSURFACE EXPLORATION, BORINGS, FINDINGS AND RECOMMENDATIONS FOR CONSTRUCTION. THE REPORT SHALL BE INCLUDED AS PART OF THE CONSTRUCTION DOCUMENTS.
- REFER TO THE TRAFFIC IMPACT STUDY PREPARED BY WALSH TRAFFIC ENGINEERING, PROJECT NO 18228, DATED OCTOBER 2025. TRIP GENERATION FOR THE PROPOSED TARGET (ITE CODE 815) IS ESTIMATED TO GENERATE A NET 5,297 DAILY TRIPS WITH A NET AM PEAK HOUR OF 151 TRIPS AND A NET PM PEAK HOUR OF 455 TRIPS. PASSES BY TRIPS OF 20% WERE INCLUDED IN THE TRIP GENERATION.
- A LISTED SPECIES SURVEY WAS PERFORMED BY ECOLOGICAL CONSULTING SOLUTIONS, INC. ON OCTOBER 7, 2025. PROJECT NO. 091.195.25. ONE LISTED SPECIES, COPPER TORTOISE BURROWS WERE OBSERVED WITHIN THE PROPERTY. A PERMIT MUST BE OBTAINED TO REMOVE COPPER TORTOISE WITHIN 90 DAYS OF LAND DISTURBING ACTIVITIES. THE USFWS MUST BE NOTIFIED AT LEAST 90 DAYS PRIOR TO ANY LAND CLEARING WITH A PROTECTION / EDUCATION PLAN CONCERNING EASTERN INDIAN SNAKES.
- DEVELOPMENT OF THE PROPERTY AS SHOWN ON THIS SITE PLAN IS SUBJECT TO THE TERMS AND CONDITIONS OF THE TARGET OCALA DRIFD DEVELOPMENT ORDER, AS MAY BE AMENDED FROM TIME TO TIME, INCLUDING PROVISIONS REGARDING THE CONCURRENCY OF PUBLIC FACILITIES.

**OWNER'S CERTIFICATION:**

I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNEES SHALL PERPETUALLY OPERATE AND MAINTAIN THE IMPROVEMENTS IN ACCORDANCE WITH THE SPECIFICATIONS SHOWN HEREIN AND ON THE APPROVED PLANS.

BY: \_\_\_\_\_ DATE \_\_\_\_\_  
SIGNATURE      DATE  
PRINT NAME: \_\_\_\_\_  
NAME OF LANDOWNER: \_\_\_\_\_

**LICENSED DESIGN PROFESSIONAL CERTIFICATION:**

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LOC), EXCEPT AS WAIVED.

BY: \_\_\_\_\_ DATE \_\_\_\_\_  
SIGNATURE      DATE  
PRINT NAME: \_\_\_\_\_  
ROGER W. STRCULA, PE, FL REGISTRATION NUMBER 52784

DATE	DESCRIPTION
11/18/25	REV PER 119 SWFWMD RAI
02/20/26	REV PER 1202 COUNTY USE
03/26/26	REV PER 119 SWFWMD RAI
04/12/26	REV PER 313 SWFWMD RAI
	AND 319 COUNTY RAI

Roger W Strcula  
Digitally signed by Roger W Strcula  
Date: 2026.04.21 11:16:39 -0400



UPHAM, INC.  
CIVIL ENGINEER/ARCHITECT/LANDSCAPE ARCHITECTURE  
265 Kenilworth Avenue • Ormond Beach • Florida 32174  
Voice: 386.672.8515 • Fax: 386.673.6554  
LCT #260017

THIS DRAWING IS THE PROPERTY OF UPHAM, INC. ANY USE OR REPRODUCTION IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF UPHAM, INC. IS PROHIBITED. ALL RIGHTS RESERVED.



COVER SHEET  
TARGET OCALA  
ADDRESS tbd  
MARION COUNTY, FLORIDA

PROJECT No: 25094  
DATE: OCTOBER 30, 2025  
DESIGN BY: RWB  
DRAWN BY: JMB  
CHECKED BY: RWB  
SCALE: AS SHOWN  
MAJOR SITE PLAN No: AR #3553

SHEET NUMBER:  
**C000**  
CIVIL SHEET 1 OF 41

LEGEND:

Table with 4 columns: Symbol, Description, Symbol, Description. Lists various construction and utility symbols such as 'EXISTING TRANSFORMER PAD', 'EXISTING AIR RELEASE VALVE', 'EXISTING SANITARY SEWER MANHOLE', etc.

GENERAL CONSTRUCTION NOTES:

- 1. GENERAL SPECIFICATIONS: MARION COUNTY LAND DEVELOPMENT CODE, LATEST EDITION, FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN AND CONSTRUCTION STANDARDS, LATEST EDITION, AND STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, LATEST EDITION, AND SUPPLEMENTALS THEREOF IF NOTED IN THE SPECIAL PROVISIONS FOR THIS PROJECT.
2. ALL UTILITY WORK SHALL BE IN ACCORDANCE WITH MARION COUNTY UTILITIES STANDARDS AND STANDARD DETAILS AS THE APPROVED STANDARDS AND DETAILS BY BAY LAUREL CENTER COMMUNITY DEVELOPMENT DISTRICT.

FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD PLANS FOR ROAD CONSTRUCTION 2026-2027 AND QUALIFIED PRODUCTS LIST

Table with 4 columns: INDEX NO., DESCRIPTION, INDEX NO., DESCRIPTION. Lists standard plan numbers and descriptions like '102-400 GENERAL INFORMATION FOR TRAFFIC CONTROL THROUGH WORK ZONES', '425-410 STRUCTURE BOTTOMS TYPE J AND P SUPPLEMENTARY DETAILS FOR', etc.

ABBREVIATIONS:

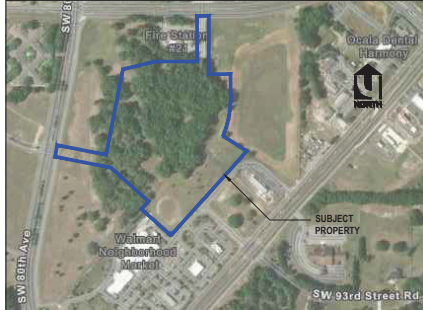
Table with 4 columns: Abbreviation, Description, Abbreviation, Description. Lists abbreviations for various materials and standards such as 'AC AIR CONDITIONING', 'AHJ AUTHORITY HAVING JURISDICTION', 'ALTA AMERICAN LAND TITLE ASSOCIATION', etc.

LEGAL DESCRIPTION: (LOT 1 AND TRACT "D")

A PORTION OF LAND LYING IN LOTS 13, 14, 15, 16, AND 17, BLOCK 199 AND LOTS 2, 3, 5, AND 13 BLOCK 170 AND 82ND AVENUE S.W. AND CLOVERDALE RANCH LAKE AND TRACT "Y" AND WATER RETENTION AREA 89-35, ACCORDING TO THE PLAT OF CIRCLE SQUARE WOODS, AS RECORDED IN PLAT BOOK "P", PAGE 30, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, AND ALL OF PARCELS 3, ACCORDING TO THE PLAT OF S.R. 200 COMMERCIAL, AS RECORDED IN PLAT BOOK 14, PAGE 14, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, AND A PORTION OF TRACT "A", ACCORDING TO THE PLAT OF OCEALA WEST RETAIL, AS RECORDED IN PLAT BOOK 12, PAGE 148 PAGE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE ABOVE DESCRIPTION CONTAINS 17.634 ACRES, MORE OR LESS.

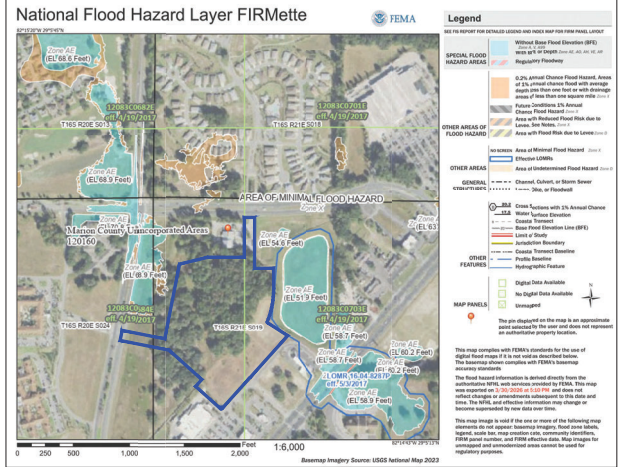
TAX PARCELS: 35300-000-01, AND PORTIONS OF 35300-000-16 AND 35300-001-17



NATIONAL WETLAND INVENTORY MAP NOT TO SCALE



SOIL SURVEY MAP NOT TO SCALE



REVISIONS

Table with 2 columns: DATE, DESCRIPTION. Lists revision dates and descriptions.

Roger W Strcula Digitally signed by Roger W Strcula Date: 2026.04.21 11:17:59 -0400



RESERVED FOR COUNTY STAMP

UPHAMSON logo and contact information: UPHAMSON CIVIL ENGINEERING/SURVEYING/LANDSCAPE ARCHITECTURE, 265 Knitwood Avenue • Ormond Beach • Florida 32174, Voice: 386.872.8515 • Fax: 386.873.6554 • uphamson.com • Lic# 2690012

THIS DRAWING IS THE PROPERTY OF UPHAMSON, INC. ANY USE OR REPRODUCTION IN WHOLE OR PART WITHOUT THE WRITTEN CONSENT OF UPHAMSON, INC. IS PROHIBITED. ALL RIGHTS RESERVED.

MATTHEW

SITE DEVELOPMENT INFORMATION TARGET OCEALA ADDRESS: 11000 S.W. 93RD AVE. MARION COUNTY, FLORIDA

Table with 2 columns: PROJECT NO., DATE, DESIGN BY, DRAWN BY, CHECKED BY, SCALE, MAJOR SITE PLAN NO., SHEET NUMBER. Lists project details.

C100 CIVIL SHEET 2 OF 41

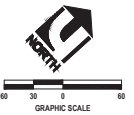
NOTE: ALL PIPES AND INLETS SHALL BE FLUSHED AND CLEANED OF DEBRIS AND SEDIMENT UPON COMPLETION OF FINAL STAGE OF WORK. WHEN LANDSCAPE WORK IS COMPLETE, CAPTURE DEBRIS AND FINES IN DOWNSTREAM INLETS. DO NOT DISCHARGE INTO POND. REMOVE FINES OFF-SITE.

NOTE: REMOVE ALL CONSTRUCTION DEBRIS. ALL DISTURBED AREAS SHALL BE PROPERLY REGRADED AND SEEDED UNLESS SPECIFIED OTHERWISE. THE CONTRACTOR SHALL INSPECT THE SITE TO ENSURE ALL SPECIFICATIONS PER THE SWPPP HAVE BEEN COMPLETED.

TREE REMOVAL SCHEDULE - PHASE 1																																	
		DBH SIZE (INCHES)																															
		10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	36	37					
QNTY OF OAKS		4	3	5	8	6	4	5	2	4	0	2	0	4	0	3	1	3	0	0	0	0	0	0	0	0	0	0	0				
QNTY OF PINES		0	0	0	1	1	0	0	0	0	0	0	0	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0					

**DEMOLITION AND CONSTRUCTION NOTES:**

- LITTER CONTROL MEASURES TO PREVENT WIND-DRIVEN DEBRIS SHALL BE IMPLEMENTED THROUGHOUT THE DURATION OF CONSTRUCTION. ALL DEBRIS SHALL BE REMOVED AND THE PROJECT SITE CLEANED WITHIN 5 DAYS OF COMPLETION OF CONSTRUCTION. NEGLECT OR DISREGARD OF LITTER CONTROL MAY RESULT IN A FINE FOR VIOLATION OF OR FAILURE TO COMPLY TO ANY CORRECTIVE NOTICE.
- ONLY ONE TEMPORARY CONSTRUCTION SIGN IS PERMITTED, NOT TO EXCEED 32 SQUARE FEET IN SIGN AREA AND SET BACK AT LEAST 10' FROM THE INTERSECTION OF ROAD RIGHTS-OF-WAY.
- A BUILDING PERMIT IS REQUIRED FOR THE CONSTRUCTION TRAILER. PERMITS FOR PLUMBING, MECHANICAL AND ELECTRICAL FACILITIES ARE REQUIRED IF APPLICABLE.
- PROVIDE MINIMUM 10'x10' STABILIZED AREA AROUND THE EXISTING MANHOLES, CLEANOUTS AND VALVE PADS WITHIN PROPOSED PAVEMENT AREAS AND RAISE TO GRADE PRIOR TO PAVING OR LAWN REGRAIDING. ANY DAMAGE TO INFRASTRUCTURE SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION PRIOR TO PROVIDING SERVICE.
- CONTRACTOR SHALL PROTECT EXISTING ROADWAY FROM DAMAGE. ANY DAMAGE TO THE EXISTING ROADWAYS DURING CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL ADJACENT ROADWAYS SHALL REMAIN CLEAN AND FREE OF SAND AND DEBRIS, SWEEP CLEAN IMMEDIATELY IF NEEDED.
- OVEREXCAVATE POND BOTTOM 4 FEET WHERE INDICATED. BACKFILL 2 FEET WITH SANDY CLAY SOILS WITH MINIMUM OF 25 AND A MINIMUM 50% PASSING SIEVE #200. PLACE IN 6" LIFTS AND COMPACT TO 90% OF MOD. PROCTOR MAX DRY DENSITY. BACKFILL REMAINING 2 FEET WITH FREE DRAINING CLEAN GRANULAR SAND IN 1 FOOT LOOSE LIFTS AND COMPACT WITH FRONT END LOADER IN TWO PASSES. SUBMIT BACKFILL SOIL SAMPLES TO GEO-TECH FOR APPROVAL. PRIOR TO EXCAVATION DO NOT ALLOW UNCOVERED LIMESTONE TO BE EXPOSED TO RAINWATER. REPEAT TO AND FINE GRADE BOTTOM AND SIDE SLOPES.



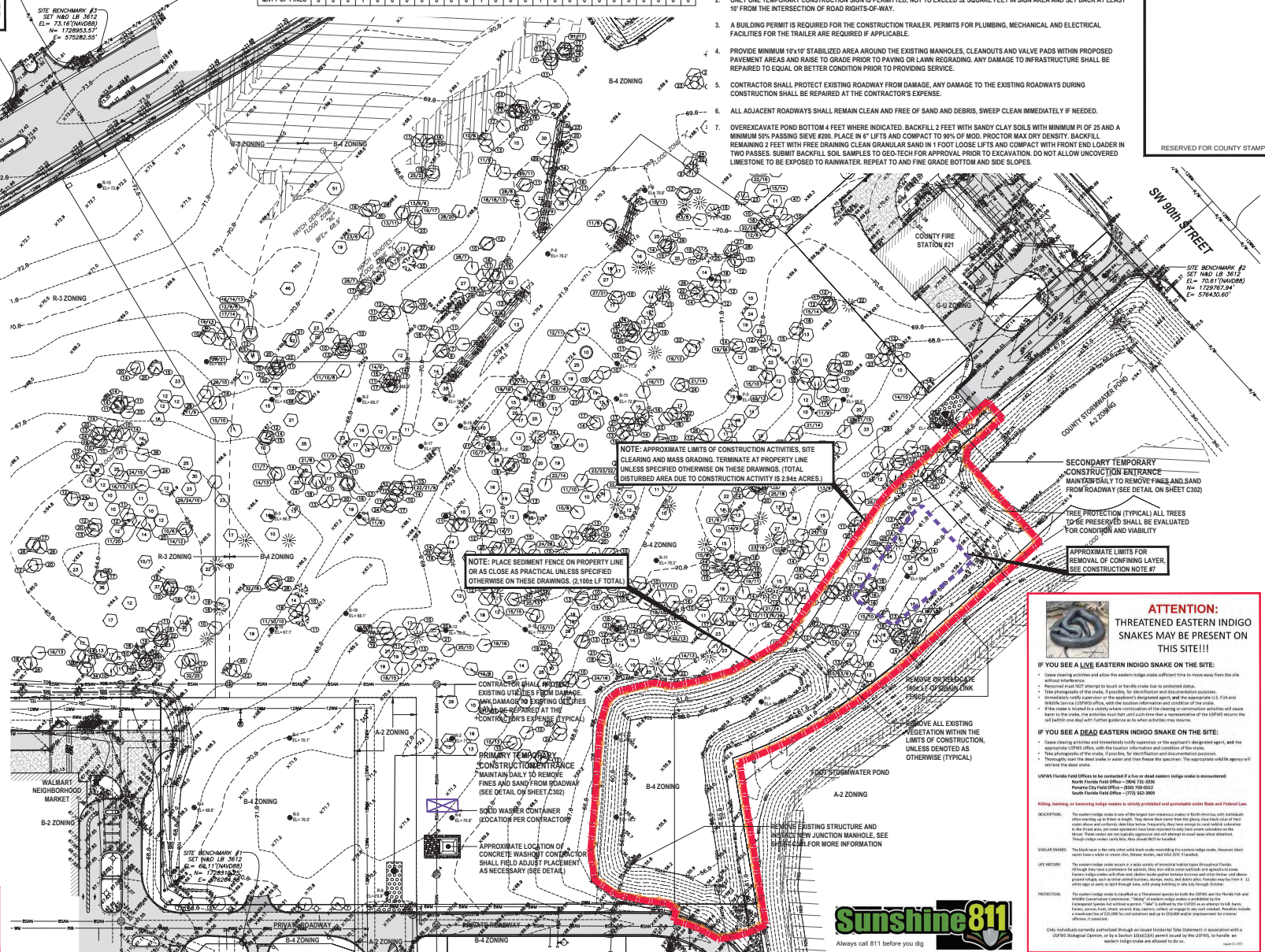
ALL INVASION SPECIES SHALL BE REMOVED FROM THE SITE

**LEGEND:**

- STORMWATER MANHOLE
- STORM INLET / CATCH BASIN
- ELECTRIC BOX
- CLEANOUT
- SANITARY SEWER MANHOLE
- SANITARY SEWER VALVE
- BACKFLOW PREVENTER
- WATER VALVE
- BORING ID NUMBER
- BORING ELEVATION
- LIMITS OF CONSTRUCTION
- LIMITS OF OVEREXCAVATE AND CLEAN BACKFILL
- PROPOSED SAWCUT
- HATCH DENOTES REMOVE OF EXISTING IMPROVEMENTS
- PROPOSED SEDIMENT FENCE
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- TREE PROTECTION FENCE
- EXISTING STORM PIPE
- TOE OF SLOPE
- TOP OF BANK
- EXISTING OVERHEAD WIRE
- EXISTING UNDERGROUND POWER
- EXISTING FORCE MAIN
- EXISTING SEWER LINE
- EXISTING TELECOM LINE
- EXISTING FIBER OPTIC CABLE
- EXISTING WATER MAIN
- EXISTING GAS MAIN

**WARNING!** CONTRACTOR SHALL TAKE ALL PRECAUTIONS DURING CONSTRUCTION TO AVOID CONTACT WITH BURIED GAS MAINS, OVERHEAD POWER LINES AND UNDERGROUND UTILITIES.

**NOTE:** THE CONTRACTOR SHALL DETERMINE FINAL LOCATIONS OF CONSTRUCTION STAGING ITEMS, INCLUDING TRAILER, STOCKPILE AREAS, LAYDOWN, AND CONSTRUCTION PARKING WITH THE EROSION CONTROL INSPECTOR. LOCATIONS SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY.



NOTE: APPROXIMATE LIMITS OF CONSTRUCTION ACTIVITIES. SITE CLEARING AND MASS GRADING TERMINATE AT PROPERTY LINE UNLESS SPECIFIED OTHERWISE ON THESE DRAWINGS. (TOTAL DISTURBED AREA DUE TO CONSTRUCTION ACTIVITY IS 2.944 ACRES)

NOTE: PLACE SEDIMENT FENCE ON PROPERTY LINE OR AS CLOSE AS PRACTICAL UNLESS SPECIFIED OTHERWISE ON THESE DRAWINGS. (2.186 LF TOTAL)

**ATTENTION:**  
THREATENED EASTERN INDIGO SNAKES MAY BE PRESENT ON THIS SITE!

**IF YOU SEE A LIVE EASTERN INDIGO SNAKE ON THE SITE:**

- Cease clearing activities and allow the eastern indigo snake sufficient time to move away from the site and/or shelter.
- Personnel must NOT attempt to touch or handle snakes due to potential status.
- Take photographs of the snake, if possible, for identification and documentation purposes.
- Notify the Florida Fish and Wildlife Conservation Commission (FWC) at 1-888-385-3226 or the nearest FWC office.
- If you are unable to identify the snake, contact the nearest FWC office for assistance.
- If you are unable to identify the snake, contact the nearest FWC office for assistance.

**IF YOU SEE A DEAD EASTERN INDIGO SNAKE ON THE SITE:**

- Cease clearing activities and immediately notify the supervisor or the applicant's designated agent, and the nearest FWC office with the snake's location and description.
- Take photographs of the snake, if possible, for identification and documentation purposes.
- If you are unable to identify the snake, contact the nearest FWC office for assistance.
- If you are unable to identify the snake, contact the nearest FWC office for assistance.

FWC's Florida Field Offices will be contacted if a live or dead eastern indigo snake is encountered:  
North Florida Field Office - 904.224.2038  
South Florida Field Office - 305.356.3895  
Panhandle Field Office - 904.224.2038

**Killing, handling, or releasing indigo snakes is strictly prohibited and punishable under both state and federal law.**

**DESCRIPTION:** The eastern indigo snake is one of the largest non-venomous snakes in North America, with individuals often reaching up to 6 feet in length. They have their own heat from the ground, but lack color of their skin in the area where the snake's body has been exposed to the sun. They are found in a variety of habitats, including wetlands, swamps, and other areas with high humidity. They are found in a variety of habitats, including wetlands, swamps, and other areas with high humidity. They are found in a variety of habitats, including wetlands, swamps, and other areas with high humidity.

**SEPARATE:** The snake may be the only one of its kind and should be protected from harm. It should be kept in a secure container and should not be released back into the wild.

**REPORTING:** The eastern indigo snake is a protected species under the Florida Wildlife Conservation Act. It is illegal to kill, handle, or release a protected species without a permit from the Florida Fish and Wildlife Conservation Commission. If you are unable to identify the snake, contact the nearest FWC office for assistance.

Only individuals authorized through an issued Incident/Take Statement in accordance with a 329.10 Biological Opinion, or by a 329.10000 Permit to Take and Possess, may take, possess, or release an eastern indigo snake or other listed species.

REVISIONS	
DATE	DESCRIPTION
11/18/2024	REV PER 119 SWFWMD RAI
02/23/2026	REV PER 1202 COUNTY CSE
03/06/26	REV PER 1198 COO RAI
04/21/22	REV PER 313 SWFWMD RAI
	AND 319 COUNTY RAI

Roger W Strcula Digitally signed by Roger W Strcula Date: 2026.04.21 11:17:27 -0400



THIS DRAWING IS THE PROPERTY OF UPHAM INC. ANY USE OR REPRODUCTION IN WHOLE OR PART WITHOUT THE WRITTEN CONSENT OF UPHAM INC. IS STRICTLY PROHIBITED.

**UPHAM INC.**  
CIVIL ENGINEERING/LANDSCAPE ARCHITECTURE  
285 Kniplowth Avenue • Ormond Beach • Florida 32174  
Voice: 386.672.8514 • Fax: 386.673.6554 • uphaminc.com  
E: 250.250.0212

**EXISTING SITE CONDITIONS & CLEARING PLAN - PHASE 1**  
**TARGET OCALA ADDRESS**  
MARION COUNTY, FLORIDA

PROJECT No.	250201
DATE	OCTOBER 20, 2025
DESIGN BY	8063
DRAWN BY	8063
CHECKED BY	JMB
SCALE	1" = 40'
MAJOR SITE PLAN No.	AR #3502

**C200**  
CIVIL SHEET 3 OF 41



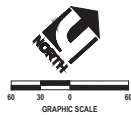
NOTE: ALL PIPES AND INLETS SHALL BE FLUSHED AND CLEANED OF DEBRIS AND SEDIMENTS UPON COMPLETION OF FINAL STAGE OF WORK. WHEN LANDSCAPE WORK IS COMPLETE, CAPTURE DEBRIS AND FINES IN DOWNSTREAM INLETS. DO NOT DISCHARGE INTO POND, REMOVE FINES OFF-SITE.

NOTE: REMOVE ALL CONSTRUCTION DEBRIS. ALL DISTURBED AREAS SHALL BE PROPERLY REGRADED AND SEEDED UNLESS SPECIFIED OTHERWISE. THE CONTRACTOR SHALL INSPECT THE SITE TO ENSURE ALL SPECIFICATIONS PER THE SWPPP HAVE BEEN COMPLETED.

DBH SIZE (INCHES)	TREE REMOVAL SCHEDULE - PHASE 2																											
	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	32	33	35	36	38	40	46
QNTY OF CEDAR	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
QNTY OF OAKS	68	53	38	49	49	35	28	26	29	25	24	16	19	10	7	5	4	5	5	1	1	1	2	1	2	1	1	
QNTY OF PINES	1	3	4	3	4	1	2	4	3	3	2	1	0	2	2	2	1	1	3	1	1	0	0	0	0	0	0	

**DEMOLITION AND CONSTRUCTION NOTES:**

- LITTER CONTROL MEASURES TO PREVENT WIND-DRIVEN DEBRIS SHALL BE IMPLEMENTED THROUGHOUT THE DURATION OF CONSTRUCTION. ALL DEBRIS SHALL BE REMOVED AND THE PROJECT SITE CLEANED WITHIN 5 DAYS OF COMPLETION OF CONSTRUCTION. NEGLIGENCE OR DISREGARD OF LITTER CONTROL MAY RESULT IN A FINE FOR VIOLATION OF OR FAILURE TO COMPLY TO ANY CORRECTIVE NOTICE.
- ONLY ONE TEMPORARY CONSTRUCTION SIGN IS PERMITTED, NOT TO EXCEED 32 SQUARE FEET IN SIGN AREA AND SET BACK AT LEAST 10' FROM THE INTERSECTION OF ROAD SIGNS-OF-WAY.
- A BUILDING PERMIT IS REQUIRED FOR THE CONSTRUCTION TRAILER. PERMITS FOR PLUMBING, MECHANICAL, AND ELECTRICAL FACILITIES FOR THE TRAILER ARE REQUIRED IF APPLICABLE.
- PROVIDE MINIMUM 15'-10" STABILIZED AREA AROUND THE EXISTING MANHOLES, CLEANOUTS AND VALVE PADS WITHIN PROPOSED PAVEMENT AREAS AND RAISE TO GRADE PRIOR TO PAVING OR LAWN REGRADING. ANY DAMAGE TO INFRASTRUCTURE SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION PRIOR TO PROVIDING SERVICE.
- CONTRACTOR SHALL PROTECT EXISTING ROADWAY FROM DAMAGE, ANY DAMAGE TO THE EXISTING ROADWAYS DURING CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL ADJACENT ROADWAYS SHALL REMAIN CLEAN AND FREE OF SAND AND DEBRIS, SWEEP CLEAN IMMEDIATELY IF NEEDED.
- OVEREXCAVATE POND BOTTOM 4 FEET WHERE INDICATED. BACKFILL 2 FEET WITH SANDY CLAY SOILS WITH MINIMUM P1 OF SAND AND A MINIMUM 90% PASSING SIEVE #20. PLACE IN 6" LIFTS AND COMPACT TO 98% OF MOD. PROCTOR MAX DRY DENSITY. BACKFILL REMAINING 2 FEET WITH FREE DRAINING CLEAN GRANULAR SAND IN 1 FOOT LOOSE LIFTS AND CONTACT WITH FRONT END LOADER IN TWO PASSES. SUBMIT BACKFILL SOIL SAMPLES TO GEO-TECH FOR APPROVAL PRIOR TO EXCAVATION. DO NOT ALLOW UNCOVERED LIMESTONE TO BE EXPOSED TO RAINWATER. REPEAT TO FINI GRADE BOTTOM AND SIDE SLOPES.



ELEVATION SHOWN HEREON BASED ON NAVD 1989 DATUM

NOTE: APPROXIMATE LIMITS OF CONSTRUCTION ACTIVITIES, SITE CLEARING AND MASS GRADING, TERMINATE AT PROPERTY LINE UNLESS SPECIFIED OTHERWISE ON THESE DRAWINGS. (TOTAL DISTURBED AREA DUE TO CONSTRUCTION ACTIVITY IS 16.31± ACRES)

INSTALL TEMPORARY PAVEMENT FOR MULTIMODE PATH UNTIL MEN DRIVEWAY IS CONSTRUCTED. SEE SHEETS C201 AND C493 FOR MORE INFORMATION (2.0% MAX. GROSS SLOPE).

APPROXIMATE LIMITS FOR REMOVAL OF CONFINING LAYER. SEE CONSTRUCTION NOTE #7.

NOTE: APPROXIMATE LIMITS OF CONSTRUCTION ACTIVITIES, SITE CLEARING AND MASS GRADING, TERMINATE AT PROPERTY LINE UNLESS SPECIFIED OTHERWISE ON THESE DRAWINGS. (TOTAL DISTURBED AREA DUE TO CONSTRUCTION ACTIVITY IS 16.31± ACRES)

NOTE: PLACE SEDIMENT FENCE ON PROPERTY LINE OR AS CLOSE AS PRACTICAL UNLESS SPECIFIED OTHERWISE ON THESE DRAWINGS. (4,600± LF TOTAL)

SECONDARY TEMPORARY CONSTRUCTION ENTRANCE MAINTAIN DAILY TO REMOVE FINES AND SAND FROM ROADWAY (SEE DETAIL ON SHEET C302)

TRSP PROTECTION (TYPICAL) ALL TREES TO BE PRESERVED SHALL BE EVALUATED FOR CONDITION AND VIABILITY

CONTRACTOR SHALL PROTECT EXISTING UTILITIES FROM DAMAGE. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE (TYPICAL)

PRIMARY TEMPORARY CONSTRUCTION ENTRANCE MAINTAIN DAILY TO REMOVE FINES AND SAND FROM ROADWAY (SEE DETAIL ON SHEET C302)

REMOVE ALL EXISTING VEGETATION WITHIN THE LIMITS OF CONSTRUCTION, UNLESS DENOTED AS OTHERWISE (TYPICAL)

APPROXIMATE LOCATION OF CONCRETE WASHOUT CONTRACTOR SHALL FIELD ADJUST PLACEMENT AS NECESSARY (SEE DETAIL)

**LEGEND:**

- ⊕ STORMWATER MANHOLE
- ⊕ STORM INLET / CATCH BASIN
- ⊕ ELECTRIC BOX
- ⊕ CLEANOUT
- ⊕ SANITARY SEWER MANHOLE
- ⊕ SANITARY SEWER VALVE
- ⊕ BACKFLOW PREVENTER
- ⊕ WATER VALVE
- ⊕ DENOTES 30" OR LARGER TREE REMOVAL
- ⊕ BORING ID NUMBER
- ⊕ BORING ELEVATION
- LIMITS OF CONSTRUCTION
- LIMITS OF OVEREXCAVATE AND CLEAN BACKFILL
- PROPOSED SAWCUT
- ⊗ HATCH DENOTES REMOVE OF EXISTED IMPROVEMENTS
- PROPOSED SEDIMENT FENCE
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- TREE PROTECTION FENCE
- EXISTING STORM PIPE
- TOE OF SLOPE
- TOP OF BANK
- EXISTING OVERHEAD WIRE
- EXISTING UNDERGROUND POWER
- EXISTING FORCE MAIN
- EXISTING SEWER LINE
- EXISTING TELECOM LINE
- EXISTING FIBER OPTIC CABLE
- EXISTING WATER MAIN
- EXISTING GAS MAIN

**WARNING!** CONTRACTOR SHALL TAKE ALL PRECAUTIONS DURING CONSTRUCTION TO AVOID CONTACT WITH BURIED GAS MAINS, OVERHEAD POWER LINES AND UNDERGROUND UTILITIES.

NOTE: THE CONTRACTOR SHALL DETERMINE FINAL LOCATIONS OF CONSTRUCTION STAGING ITEMS, INCLUDING TRAILER, STOCKPILE AREAS, LAYDOWN, AND CONSTRUCTION PARKING WITH THE EROSION CONTROL INSPECTOR. LOCATIONS SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY.

**REVISIONS**

DATE	DESCRIPTION
11/18/23	REV PER 119 SWPPW/RAI
02/23/24	REV PER 1202 COUNTY CSE
03/06/24	REV PER 119 SWPPW/RAI
04/12/24	REV PER 119 SWPPW/RAI
	AND 319 COUNTY RAI

Digitally signed by Roger W Strcula  
 2024.04.21 11:17:46 -0400



THIS PLAN HAS BEEN DIGITALLY SIGNED AND REPRODUCED BY ROGER W. STRCULA, P.E. IN ACCORDANCE WITH THE REAL SIGNATURE ACT. FOR VERIFICATION, VISIT WWW.ELECTRONICSEALS.COM

**UPPHAM**  
 CIVIL ENGINEER/ARCHITECT/LANDSCAPE ARCHITECTURE  
 265 Kniplowth Avenue • Ormond Beach • Florida 32174  
 Voice: 386.672.8515 • Fax: 386.673.6554 • uppham.com  
 Lic # 250001

THIS DRAWING IS THE PROPERTY OF UPPHAM, INC. ANY USE, REPRODUCTION OR REUSE OF ANY PART OF THIS DRAWING WITHOUT THE EXPRESS WRITTEN CONSENT OF UPPHAM, INC. IS PROHIBITED. ALL RIGHTS RESERVED.

MATTHEW

**ATTENTION:**  
 THREATENED EASTERN INDIANO SNAKES MAY BE PRESENT ON THIS SITE!!!

**IF YOU SEE A LIVE EASTERN INDIANO SNAKE ON THE SITE:**

- Cease clearing activities and allow the eastern indigo snake sufficient time to move away from the site and into refuge.
- Relocate any live snakes to a safe location or to a refuge.
- Take photographs of the snake, for identification and documentation purposes.
- Immediately notify the appropriate regulatory agency (e.g., Florida Fish and Wildlife Service (FWFWS) office, with the location information and condition of the snake.
- If the snake is located within the project limits, the contractor shall immediately cease all activities until the snake has been relocated. The contractor shall not catch the snake that is representative of the USFWS square the 100' buffer and shall capture the snake in a safe and secure manner.

**IF YOU SEE A DEAD EASTERN INDIANO SNAKE ON THE SITE:**

- Cease clearing activities and immediately notify the supervisor or the applicant's designated agent, and the contractor shall allow the snake to remain in place until the appropriate regulatory agency arrives on site.
- Take photographs of the snake, if possible, for identification and documentation purposes.
- Immediately notify the appropriate regulatory agency and leave the snake in place. The appropriate agency will retrieve the dead snake.

USFWS Florida Field Office will be contacted if a live or dead eastern indigo snake is encountered:  
 North Florida Field Office - 904.255.2026  
 Pensacola Field Office - 904.799.0022  
 South Florida Field Office - 372.326.3900

**Killing, handling, or releasing indigo snakes is strictly prohibited and punishable under both the Federal Law.**

**DESCRIPTION:**  
 The eastern indigo snake is one of the largest non-reptile snakes in North America, with individuals often reaching 6 to 8 feet in length. They have their own home that they build over time in the area where they live and breed. However, they are highly adaptable and can survive in a variety of habitats. These snakes have been reported to eat non-point source water on the ground. These snakes can be very fast and are very difficult to handle.

**SEPARATE SNAKES:**  
 The snake used in the site plan and shall be used for the purpose of the project. The snake shall be used in the site plan and shall be used for the purpose of the project. The snake shall be used in the site plan and shall be used for the purpose of the project.

**USFWS OFFICE:**  
 The eastern indigo snake is a subspecies of the eastern indigo snake. It is found in the southeastern United States, from Florida to Texas. It is a large snake, with a body length of 6 to 8 feet. It is a large snake, with a body length of 6 to 8 feet. It is a large snake, with a body length of 6 to 8 feet.

**PROTECTION:**  
 The eastern indigo snake is a threatened species in both the USFWS and the Florida Fish and Wildlife Service. It is listed as a "sensitive" species by the USFWS and as a "threatened" species by the Florida Fish and Wildlife Service. It is listed as a "sensitive" species by the USFWS and as a "threatened" species by the Florida Fish and Wildlife Service.

Only individuals currently authorized through an issued Incident/Take Statement in accordance with a USFWS Biological Opinion, or by a permit issued by the USFWS, are allowed to take, possess, or transport eastern indigo snakes or related to do so.



**EXISTING SITE CONDITIONS & CLEARING PLAN - PHASE 2**  
 TARGET OCALA ADDRESS  
 MARION COUNTY, FLORIDA

PROJECT No: 25001  
 DATE: OCTOBER 2023  
 DESIGN BY: RWS  
 DRAWN BY: JMS  
 CHECKED BY: JMS  
 SCALE: 1" = 40'  
 MAJOR SITE PLAN No: AR #3502

SHEET NUMBER:  
**C201**  
 CIVIL SHEET 4 OF 41

DATE	DESCRIPTION
11/18/25	REV PER 119 SWFWMD RAI
02/23/26	REV PER 1203 COUNTY CSE
03/06/26	REV PER 119 SW COD RAI
04/12/26	REV PER 313 SWFWMD RAI AND 319 COUNTY RAI

Digitally signed by Roger W Strcula  
 Date: 2026.04.21 11:15:07 -0400



THIS ITEM HAS BEEN DIGITALLY SIGNED AND RECEIVED BY ROGER W. STRCULA, PE, ON THE DATE INDICATED TO THE RIGHT. SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPY.

**LUPHAMSON**  
 CIVIL ENGINEERING/ARCHITECTURE  
 265 Kirtland Avenue • Ormond Beach • Florida 32174  
 Voice: 386.672.8516 • Fax: 386.673.6554 • luphamson.com  
 LCP 2509012

THIS DRAWING IS THE PROPERTY OF LUPHAMSON, INC. ANY USE OR REPRODUCTION IN WHOLE OR PART WITHOUT THE WRITTEN CONSENT OF LUPHAMSON, INC. IS PROHIBITED. ALL RIGHTS RESERVED.

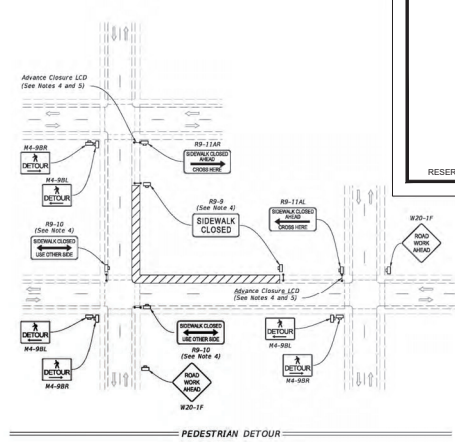
MATTHEW

EXISTING SITE CONDITIONS & CLEARING PLAN  
 TARGET OCALA  
 ADDRESS TBD  
 MARION COUNTY, FLORIDA

PROJECT No: 250501  
 DATE: OCTOBER 20, 2023  
 DESIGN BY: RWS  
 DRAWN BY: JMB  
 CHECKED BY: AS SHOWN  
 SCALE: AS SHOWN  
 MAJOR SITE PLAN No: AR 53502

SHEET NUMBER:  
**C202**  
 CIVIL SHEET 5 OF 41

RESERVED FOR COUNTY STAMP

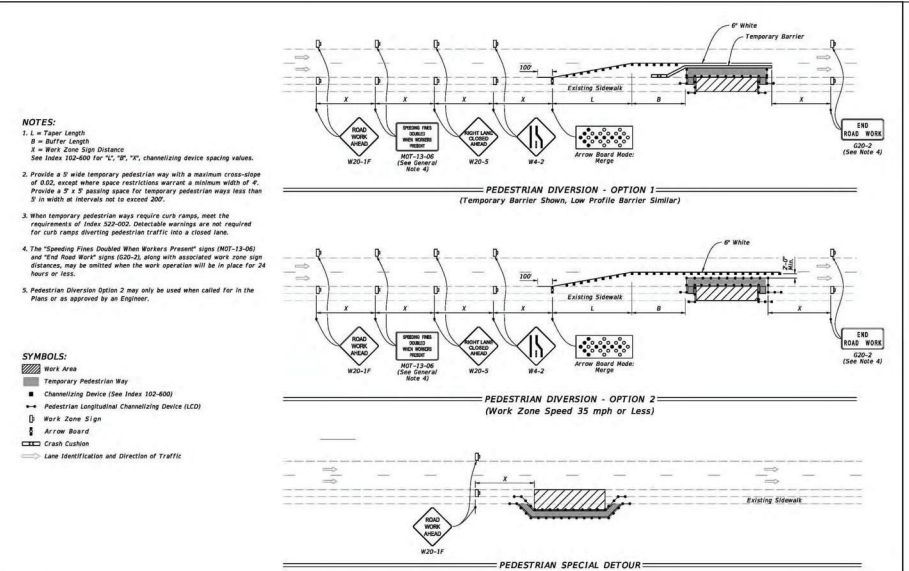


**NOTES:**

- Close or deactivate pedestrian traffic signal display(s) controlling closed crosswalks.
- Place pedestrian LCDs across the full width of the closed sidewalk.
- For post mounted signs located near or adjacent to a sidewalk, maintain a minimum 7' clearance from the bottom of the sign panel to the surface of the sidewalk.
- 'Sidewalk Closed' signs (89-11) may be mounted on pedestrian LCDs in accordance with the manufacturer's instructions.
- Only the Advance Closure LCD if it blocks access to other pedestrian facilities (e.g., transit stops, residences, or business entrances).

**SYMBOLS:**

- Work Area
- Work Zone Sign
- Pedestrian Longitudinal Channelizing Device (LCD)
- Lane Identification and Direction of Traffic



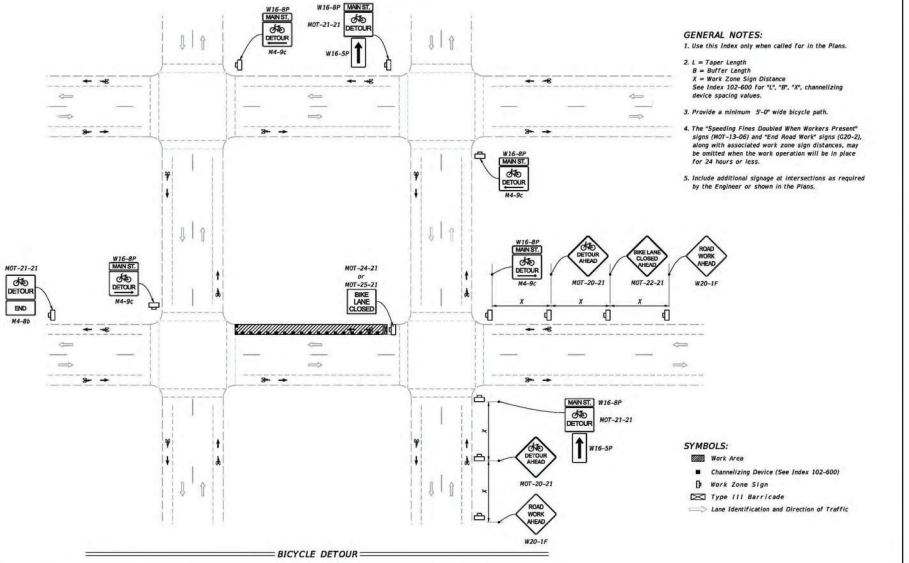
**NOTES:**

- L = Taper Length  
 B = Buffer Length  
 S = Work Zone Sign Distance  
 See Index 102-600 for "L", "B", "S", channelizing device spacing values.
- Provide a 5' wide temporary pedestrian way with a maximum cross-slope of 0.02, except where space restrictions warrant a minimum width of 4'. Provide a 5' x 2' passing space for temporary pedestrian way less than 5' in width at intervals not to exceed 200'.
- When temporary pedestrian ways require curb ramps, meet the requirements of Index 102-200. Obstacle warnings are not required for curb ramps diverting pedestrian traffic into a closed lane.
- The "Spreading Fines Doubled When Workers Present" signs (MOT-13-06) and "End Road Work" signs (G20-2) along with associated work zone sign distances, may be omitted when the work operation will be in place for 24 hours or less.
- Pedestrian Diversion Option 2 may only be used when called for in the Plans or as approved by an Engineer.

**SYMBOLS:**

- Work Area
- Temporary Pedestrian Way
- Channelizing Device (See Index 102-600)
- Pedestrian Longitudinal Channelizing Device (LCD)
- Work Zone Sign
- Arrow Board
- Crash Cushion
- Lane Identification and Direction of Traffic

LAST REVISION: 11/01/21	DESCRIPTION: STANDARD PLANS	FY 2023-24	INDEX: 102-660	SHEET: 2 of 2	LAST REVISION: 11/01/20	DESCRIPTION: STANDARD PLANS	FY 2023-24	INDEX: 102-660	SHEET: 1 of 2
-------------------------	-----------------------------	------------	----------------	---------------	-------------------------	-----------------------------	------------	----------------	---------------



**GENERAL NOTES:**

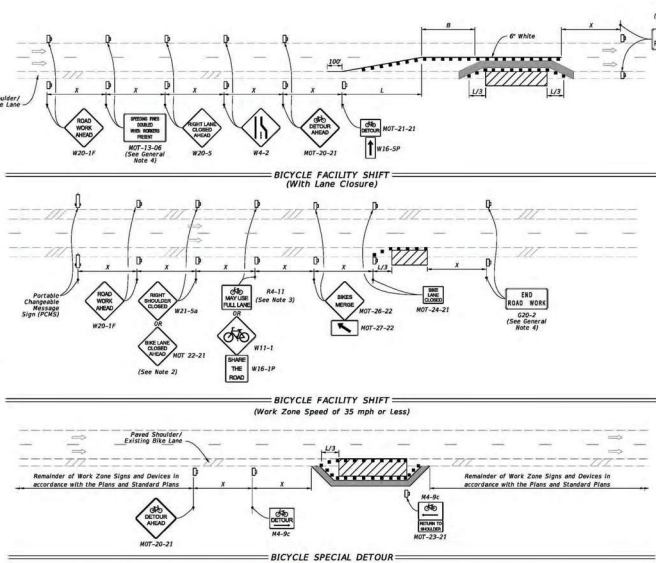
- Use this Index only when called for in the Plans.
- L = Taper Length  
 B = Buffer Length  
 S = Work Zone Sign Distance  
 See Index 102-600 for "L", "B", "S", channelizing device spacing values.
- Provide a minimum 5'-0" wide bicycle path.
- The "Spreading Fines Doubled When Workers Present" signs (MOT-13-06) and "End Road Work" signs (G20-2) along with associated work zone sign distances, may be omitted when the work operation will be in place for 24 hours or less.
- Include additional signage at intersections as required by the Engineer or shown in the Plans.

**SYMBOLS:**

- Work Area
- Channelizing Device (See Index 102-600)
- Type 111 Barricade
- Lane Identification and Direction of Traffic

LAST REVISION: 11/01/21	DESCRIPTION: STANDARD PLANS	FY 2023-24	INDEX: 102-661	SHEET: 1 of 2	LAST REVISION: 11/01/20	DESCRIPTION: STANDARD PLANS	FY 2023-24	INDEX: 102-661	SHEET: 2 of 2
-------------------------	-----------------------------	------------	----------------	---------------	-------------------------	-----------------------------	------------	----------------	---------------

LAST REVISION: 11/01/20	DESCRIPTION: STANDARD PLANS	FY 2023-24	INDEX: 102-660	SHEET: 1 of 2	LAST REVISION: 11/01/20	DESCRIPTION: STANDARD PLANS	FY 2023-24	INDEX: 102-660	SHEET: 1 of 2
-------------------------	-----------------------------	------------	----------------	---------------	-------------------------	-----------------------------	------------	----------------	---------------



**NOTES:**

- Temporary pavement markings may be omitted when the work operation is in place for 3 days or less.
- If the Closed Bicycle Facility is a marked bicycle lane, use sign MOT 22-21 instead of sign W16-5a.
- If the travel lane is less than 14 wide, use sign M4-11.

**SYMBOLS:**

- Work Area
- Temporary Bicycle Way
- Channelizing Device (See Index 102-600)
- Work Zone Sign
- Arrow Board
- Lane Identification and Direction of Traffic
- (1) PCMS-Portable Changeable Message Sign

**TYPICAL PCMS DISPLAY:**

Message 1: BIKE FACILITY CLOSED  
 Message 2: BICYCLES ON ROAD

LAST REVISION: 11/01/20	DESCRIPTION: STANDARD PLANS	FY 2023-24	INDEX: 102-661	SHEET: 2 of 2	LAST REVISION: 11/01/20	DESCRIPTION: STANDARD PLANS	FY 2023-24	INDEX: 102-661	SHEET: 2 of 2
-------------------------	-----------------------------	------------	----------------	---------------	-------------------------	-----------------------------	------------	----------------	---------------

**NOTICE:** THE CONTRACTOR SHALL DETERMINE FINAL LOCATIONS OF CONSTRUCTION STAGING ITEMS, INCLUDING TRAILER, STOCKPILE AREAS, LAYDOWN, AND CONSTRUCTION PARKING WITH THE EROSION CONTROL INSPECTOR. LOCATIONS SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY.

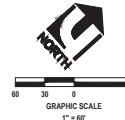
**WARNING!!** CONTRACTOR SHALL TAKE ALL PRECAUTIONS DURING CONSTRUCTION TO AVOID CONTACT WITH BURIED GAS MAINS, OVERHEAD POWER LINES AND UNDERGROUND UTILITIES.

**NOTE:** ALL PIPES AND INLETS SHALL BE FLUSHED AND CLEANED OF DEBRIS AND SEDIMENTS UPON COMPLETION OF FINAL STAGE OF WORK. WHEN LANDSCAPE WORK IS COMPLETE, CAPTURE DEBRIS AND FINES IN DOWNSTREAM INLETS. DO NOT DISCHARGE INTO POND. REMOVE FINES OFF-SITE.

**NOTE:** REMOVE ALL CONSTRUCTION DEBRIS. ALL DISTURBED AREAS SHALL BE PROPERLY REGRADED AND SEEDED UNLESS SPECIFIED OTHERWISE. THE CONTRACTOR SHALL INSPECT THE SITE TO ENSURE ALL SPECIFICATIONS PER THE SWPPP HAVE BEEN COMPLETED.

COUNTY STORMWATER POND

ELEVATION SHOWN HEREON BASED ON NAVD 1988 DATUM



RESERVED FOR COUNTY STAMP

**REVISIONS**

DATE	DESCRIPTION
11/18/25	REV PER 119 SWFWMD RAI
02/23/26	REV PER 1202 COUNTY CSE
03/26/26	REV PER 1199 BC CDD RAI
04/12/26	REV PER 313 SWFWMD RAI
	AND 319 COUNTY RAI

**Roger W Strcula**  
 Digitally signed by Roger W Strcula  
 Date: 2026.04.21 11:18:35 -0400



THIS PLAN HAS BEEN DIGITALLY SIGNED AND REPRODUCED ON ROGER W. STRCULA, PE. ANY REPRODUCTION OR ALTERATION OF THIS PLAN WITHOUT THE WRITTEN CONSENT OF UPHAM INC. IS STRICTLY PROHIBITED.

**UPHAM INC.**  
 CIVIL ENGINEER/CURVED/LANDSCAPE ARCHITECTURE  
 265 Kenilworth Avenue • Ormond Beach • Florida 32174  
 Voice: 386.672.8515 • Fax: 386.673.6554 • uphaminc.com  
 ERF 2509012

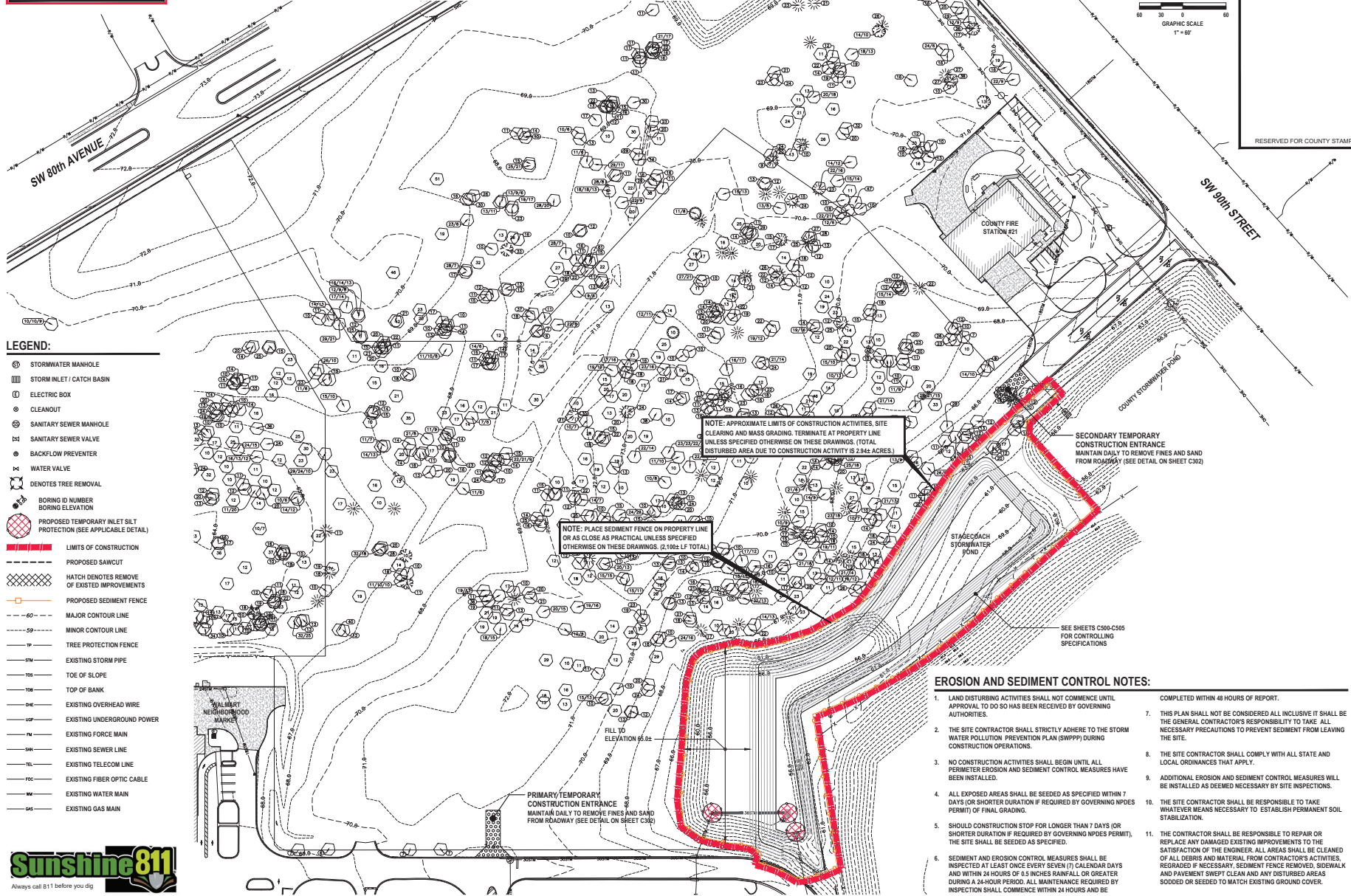
THIS DRAWING IS THE PROPERTY OF UPHAM, INC. ANY USE OR REPRODUCTION IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF UPHAM, INC. IS STRICTLY PROHIBITED. ALL RIGHTS RESERVED.

MATTHEW

**EROSION CONTROL PLAN - PHASE 1**  
**TARGET OCALA ADDRESS**  
 MARION COUNTY, FLORIDA

PROJECT No: 250501  
 DATE: OCTOBER 30, 2025  
 DESIGN BY: RWB  
 DRAWN BY: JMB  
 CHECKED BY: RWB  
 SCALE: 1" = 40'  
 MAJOR SITE PLAN No: AR 83502

SHEET NUMBER:  
**C300**  
 CIVIL SHEET 6 OF 41



**LEGEND:**

- ⊕ STORMWATER MANHOLE
- ⊕ STORM INLET / CATCH BASIN
- ⊕ ELECTRIC BOX
- ⊕ CLEANOUT
- ⊕ SANITARY SEWER MANHOLE
- ⊕ SANITARY SEWER VALVE
- ⊕ BACKFLOW PREVENTER
- ⊕ WATER VALVE
- ⊕ DENOTES TREE REMOVAL
- ⊕ BORING ID NUMBER
- ⊕ BORING ELEVATION
- ⊕ PROPOSED TEMPORARY INLET SILT PROTECTION (SEE APPLICABLE DETAIL)
- LIMITS OF CONSTRUCTION
- PROPOSED SAWCUT
- ⊗ HATCH DENOTES REMOVE OF EXISTED IMPROVEMENTS
- PROPOSED SEDIMENT FENCE
- 60--- MAJOR CONTOUR LINE
- 59--- MINOR CONTOUR LINE
- TREE PROTECTION FENCE
- EXISTING STORM PIPE
- TOE OF SLOPE
- TOP OF BANK
- EXISTING OVERHEAD WIRE
- EXISTING UNDERGROUND POWER
- EXISTING FORCE MAIN
- EXISTING SEWER LINE
- EXISTING TELECOM LINE
- EXISTING FIBER OPTIC CABLE
- EXISTING WATER MAIN
- EXISTING GAS MAIN

**NOTE:** PLACE SEDIMENT FENCE ON PROPERTY LINE OR AS CLOSE AS PRACTICAL UNLESS SPECIFIED OTHERWISE ON THESE DRAWINGS. (2.100 ± LF TOTAL)

**NOTE:** APPROXIMATE LIMITS OF CONSTRUCTION ACTIVITIES, SITE CLEARING AND MASS GRADING, TERMINATE AT PROPERTY LINE UNLESS SPECIFIED OTHERWISE ON THESE DRAWINGS. (TOTAL DISTURBED AREA DUE TO CONSTRUCTION ACTIVITY IS 2.842 ACRES.)

SECONDARY TEMPORARY CONSTRUCTION ENTRANCE MAINTAIN DAILY TO REMOVE FINES AND SAND FROM ROADWAY (SEE DETAIL ON SHEET C302)

**EROSION AND SEDIMENT CONTROL NOTES:**

- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES.
- THE SITE CONTRACTOR SHALL STRICTLY ADHERE TO THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) DURING CONSTRUCTION OPERATIONS.
- NO CONSTRUCTION ACTIVITIES SHALL BEGIN UNTIL ALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SEED AS SPECIFIED WITHIN 7 DAYS (OR SHORTER DURATION IF REQUIRED BY GOVERNING NPDES PERMIT) OF FINAL GRADING.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 7 DAYS (OR SHORTER DURATION IF REQUIRED BY GOVERNING NPDES PERMIT), THE SITE SHALL BE SEED AS SPECIFIED.
- SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF 0.5 INCHES RAINFALL OR GREATER DURING A 24-HOUR PERIOD. ALL MAINTENANCE REQUIRED BY INSPECTION SHALL COMMENCE WITHIN 24 HOURS AND BE COMPLETED WITHIN 48 HOURS OF REPORT.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- THE SITE CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED AS DEEMED NECESSARY BY SITE INSPECTIONS.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE ANY DAMAGED EXISTING IMPROVEMENTS TO THE SATISFACTION OF THE ENGINEER. ALL AREAS SHALL BE CLEANED OF ALL DEBRIS AND MATERIAL FROM CONTRACTOR'S ACTIVITIES, REGRADED IF NECESSARY, SEDIMENT FENCE REMOVED, SIDEWALK AND PAVEMENT SWEEP CLEAN AND ANY DISTURBED AREAS SOODED OR SEED TO MATCH EXISTING GROUND COVER.



**NOTICE:** THE CONTRACTOR SHALL DETERMINE FINAL LOCATIONS OF CONSTRUCTION STAGING ITEMS, INCLUDING TRAILER, STOCKPILE AREAS, LAYDOWN, AND CONSTRUCTION PARKING WITH THE EROSION CONTROL INSPECTOR. LOCATIONS SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY.

**WARNING!!** CONTRACTOR SHALL TAKE ALL PRECAUTIONS DURING CONSTRUCTION TO AVOID CONTACT WITH BURIED GAS MAINS, OVERHEAD POWER LINES AND UNDERGROUND UTILITIES.

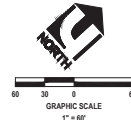
**NOTE:** ALL PIPES AND INLETS SHALL BE FLUSHED AND CLEANED OF DEBRIS AND SEDIMENTS UPON COMPLETION OF FINAL STAGE OF WORK. WHEN LANDSCAPE WORK IS COMPLETE, CAPTURE DEBRIS AND FINES IN DOWNSTREAM INLETS. DO NOT DISCHARGE INTO POND. REMOVE FINES OFF-SITE.

**NOTE:** REMOVE ALL CONSTRUCTION DEBRIS. ALL DISTURBED AREAS SHALL BE PROPERLY REGRADED AND SEEDED UNLESS SPECIFIED OTHERWISE. THE CONTRACTOR SHALL INSPECT THE SITE TO ENSURE ALL SPECIFICATIONS PER THE SWPPP HAVE BEEN COMPLETED.

**NOTE:** APPROXIMATE LIMITS OF CONSTRUCTION ACTIVITIES, SITE CLEARING AND MASS GRADING, TERMINATE AT PROPERTY LINE UNLESS SPECIFIED OTHERWISE ON THESE DRAWINGS. (TOTAL DISTURBED AREA DUE TO CONSTRUCTION ACTIVITY IS 16.31± ACRES)

**NOTE:** PLACE SEDIMENT FENCE ON PROPERTY LINE OR AS CLOSE AS PRACTICAL UNLESS SPECIFIED OTHERWISE ON THESE DRAWINGS. (4,800± LF TOTAL)

ELEVATION SHOWN HEREON BASED ON NAVD 1988 DATUM



RESERVED FOR COUNTY STAMP

REVISIONS	
DATE	DESCRIPTION
11/18/25	REV PER 119 SWPFW RD
02/23/26	REV PER 1202 COUNTY CSE
03/26/26	REV PER 11918 CC001 R1
04/12/26	REV PER 313 SWPFW RD AND 313 COUNTY RAI

**Roger W Strcula**  
 Digitally signed by Roger W Strcula  
 Date: 2026.04.21 11:19:00 -0400



THIS PLAN HAS BEEN DIGITALLY SIGNED AND RECEIVED BY ROGER W. STRCULA, PE ON BEHALF OF THE REAL SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPY

**LUPHAM INC.**  
 CIVIL ENGINEER/CURB/LANDSCAPE ARCHITECTURE  
 265 Kenilworth Avenue • Ormond Beach • Florida 32174  
 Voice: 386.672.8514 • Fax: 386.673.6554 • luphaminc.com  
 Lic# 2809012

THIS DRAWING IS THE PROPERTY OF LUPHAM, INC. ANY USE OR REPRODUCTION IN WHOLE OR PART IS EXPRESSLY FORBIDDEN WITHOUT THE WRITTEN CONSENT OF LUPHAM, INC. COPYRIGHT 2006. ALL RIGHTS RESERVED.

MATTHEW

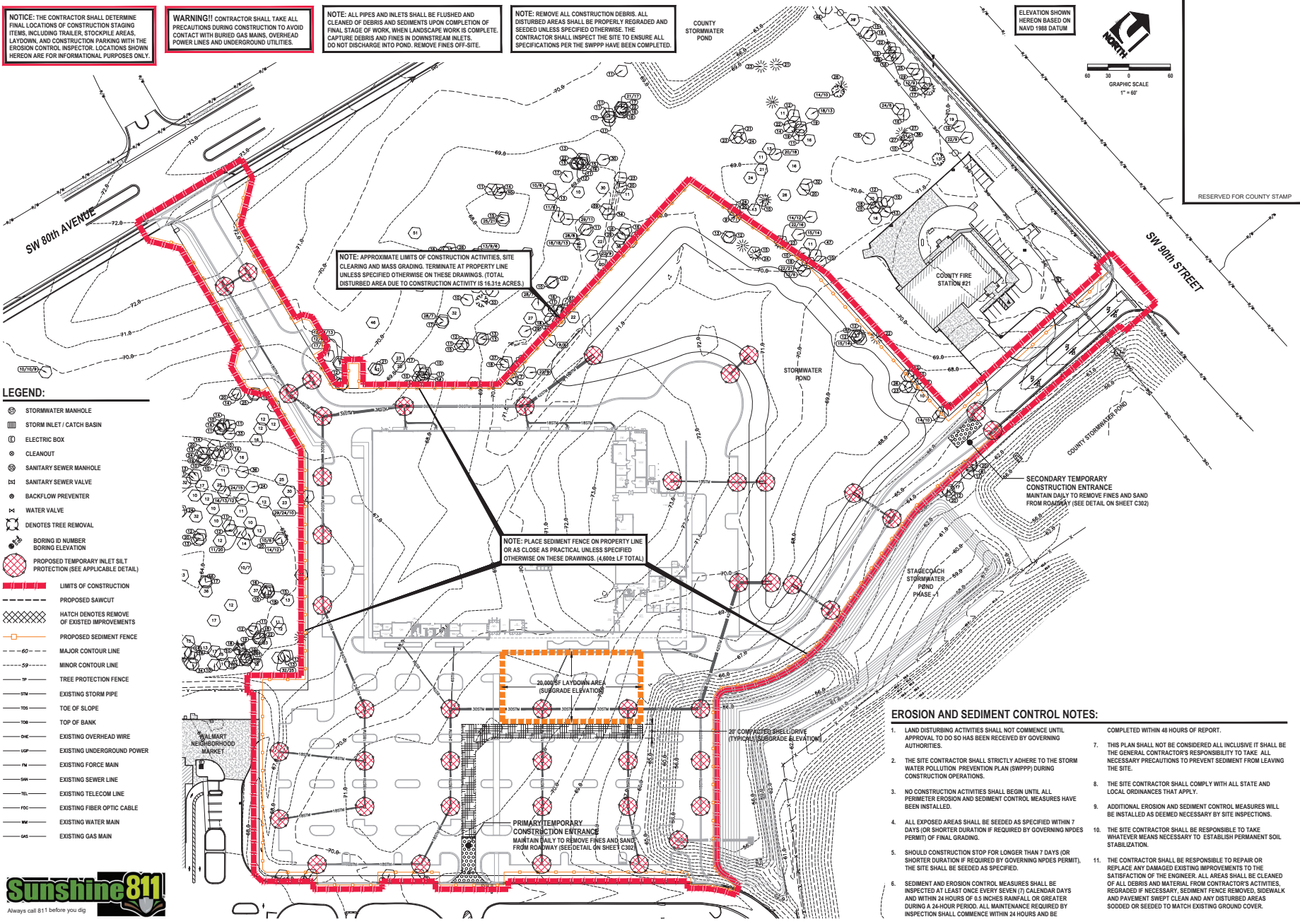
**EROSION CONTROL PLAN - PHASE 2**  
**TARGET OCALA**  
 ADDRESS: 141  
 MARION COUNTY, FLORIDA

PROJECT No:	26201
DATE:	OCTOBER 30, 2025
DESIGN BY:	RWB
DRAWN BY:	JMB
CHECKED BY:	RWB
SCALE:	1" = 4' ±
MAJOR SITE PLAN No.:	AR #3302

SHEET NUMBER:  
**C301**  
 CIVIL SHEET 7 OF 41

**LEGEND:**

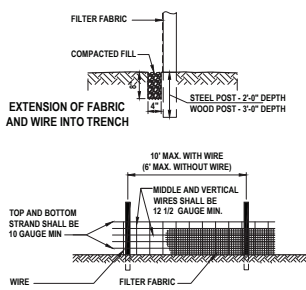
- ⊕ STORMWATER MANHOLE
- ⊕ STORM INLET / CATCH BASIN
- ⊕ ELECTRIC BOX
- ⊕ CLEANOUT
- ⊕ SANITARY SEWER MANHOLE
- ⊕ SANITARY SEWER VALVE
- ⊕ BACKFLOW PREVENTER
- ⊕ WATER VALVE
- ⊕ DENOTES TREE REMOVAL
- ⊕ BORING ID NUMBER
- ⊕ BORING ELEVATION
- ⊕ PROPOSED TEMPORARY INLET SILT PROTECTION (SEE APPLICABLE DETAIL)
- LIMITS OF CONSTRUCTION
- PROPOSED SAWCUT
- ⊗ HATCH DENOTES REMOVE OF EXISTED IMPROVEMENTS
- PROPOSED SEDIMENT FENCE
- 60--- MAJOR CONTOUR LINE
- 59--- MINOR CONTOUR LINE
- TREE PROTECTION FENCE
- EXISTING STORM PIPE
- TOE OF SLOPE
- TOP OF BANK
- EXISTING OVERHEAD WIRE
- EXISTING UNDERGROUND POWER
- EXISTING FORCE MAIN
- EXISTING SEWER LINE
- EXISTING TELECOM LINE
- EXISTING FIBER OPTIC CABLE
- EXISTING WATER MAIN
- EXISTING GAS MAIN



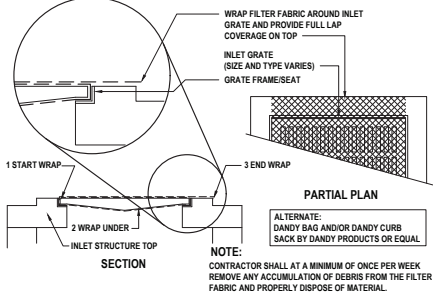
**EROSION AND SEDIMENT CONTROL NOTES:**

- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES.
- THE SITE CONTRACTOR SHALL STRICTLY ADHERE TO THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) DURING CONSTRUCTION OPERATIONS.
- NO CONSTRUCTION ACTIVITIES SHALL BEGIN UNTIL ALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SEED AS SPECIFIED WITHIN 7 DAYS (OR SHORTER DURATION IF REQUIRED BY GOVERNING NPDES PERMIT) OF FINAL GRADING.
- CONSTRUCTION STOP FOR LONGER THAN 7 DAYS (OR SHORTER DURATION IF REQUIRED BY GOVERNING NPDES PERMIT), THE SITE SHALL BE SEED AS SPECIFIED.
- SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF 0.5 INCHES RAINFALL OR GREATER DURING A 24-HOUR PERIOD. ALL MAINTENANCE AREAS INSPECTION SHALL COMMENCE WITHIN 24 HOURS AND BE COMPLETED WITHIN 48 HOURS OF REPORT.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- THE SITE CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED AS DEEMED NECESSARY BY SITE INSPECTIONS.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE ANY DAMAGED EXISTING IMPROVEMENTS TO THE SATISFACTION OF THE ENGINEER. ALL AREAS SHALL BE CLEANED OF ALL DEBRIS AND MATERIAL FROM CONTRACTOR'S ACTIVITIES, REGRADED IF NECESSARY, SEDIMENT FENCE REMOVED, SIDEWALK AND PAVEMENT SWEEP CLEAN AND ANY DISTURBED AREAS SOODED OR SEED TO MATCH EXISTING GROUND COVER.

- NOTES:**
1. WWM MINIMUM OF 32" WIDTH WITH A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING.
  2. FILTER FABRIC SHALL BE 36" WIDE AND SHALL BE FASTENED ADEQUATELY TO THE WIRE.
  3. STEEL POST SHALL BE 5/4" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
  4. WOOD POST SHALL BE 5/4" IN HEIGHT AND 2" IN DIAMETER.
  5. SUPPORT POST SHALL BE INSTALLED ON THE DOWNHILL SIDE OF THE SEDIMENT FENCE (DOWNSTREAM FROM EXPECTED FLOWS)
  6. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN 25% THE HEIGHT OF FENCE.
  7. MAXIMUM DRAINAGE AREA 10,000 SF PER 100' OF FENCE.

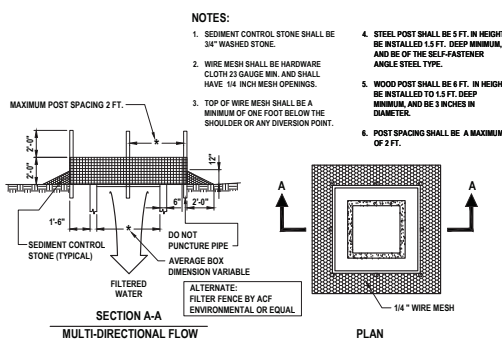


**SEDIMENT FENCE DETAIL**  
NOT TO SCALE



**INLET SILT PROTECTION DETAIL**  
NOT TO SCALE

UTILIZE WHEN TOP AND GRATE ARE INSTALLED WITH STRUCTURE



**CURB INLET SEDIMENT PREVENTION DETAIL**  
NOT TO SCALE

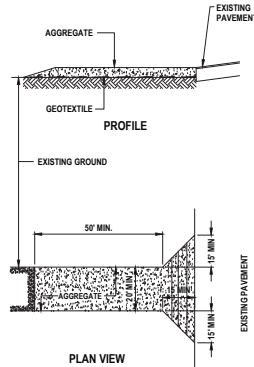
- NOTES:**
1. INSTALL FILTER PRIOR TO BEGINNING CONSTRUCTION.
  2. INSPECT ONCE EACH WEEK AND AFTER ANY RAIN EVENT. REMOVE ANY FINES AND DEBRIS THAT MAY HAVE ACCUMULATED AND DISPOSE OF PROPERLY.

**GENERAL CONSTRUCTION NOTES**

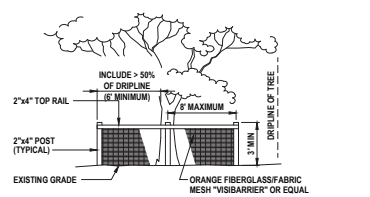
1. MEASURES SHALL BE IMPLEMENTED AT THE CONTRACTOR'S DISCRETION TO VISIBLY BARRICADE THE WORK AREA AND PROVIDE SAFE MEANS OF INGRESS AND EGRESS AROUND THE CONSTRUCTION SITE.
2. THE ENGINEER DOES NOT WARRANT THE CONTRACTOR'S MEANS OR METHODS FOR ITS INTERPRETATION OF THE REPAIR WORK. THE CONTRACTOR SHALL UTILIZE ITS DISCRETION TO DETERMINE ITS BEST METHOD TO PERFORM THE WORK TO CORRECT THE DRAINAGE PONDING.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES AND SHALL RESTORE ALL AREAS DAMAGED DUE TO CONSTRUCTION ACTIVITIES.
4. PAVEMENT EDGES SHALL BE NEAT AND FREE OF DAMAGE OR BROKEN EDGES AT TIME OF PLACEMENT OF NEW ASPHALTIC PAVEMENT.
5. UPON COMPLETION OF ALL WORK, THE AREA SHALL BE SWEEPED CLEAN OF ALL SAND AND DEBRIS.
6. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR ITS FINAL INSPECTION AND ACCEPTANCE.
7. REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMESTONE, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOO AREAS SHALL BE REMOVED PRIOR TO ANY INSTALLATION OF PLANTS OR TREES.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER OF ANY DEFICIENCIES OR DISCREPANCIES AMONG THE DIVISIONS OF THE DRAWING AND SPECIFICATIONS PRIOR TO THE BID DATE. NEITHER THE OWNER OR ENGINEER WILL BE RESPONSIBLE FOR ANY DEFICIENCIES OR DISCREPANCIES RAISED AFTER THE BID OPENING. ACCORDINGLY, IN LIGHT OF THESE OBLIGATIONS, THE ENGINEER IS DELEGATED TO INTERPRET THE DRAWINGS AND SPECIFICATIONS IN A MANNER THAT WILL PROVIDE THE OWNER WITH A COMPLETE, FUNCTIONING FACILITY FOR THE BID PRICE.
9. THESE DRAWINGS AND THE PROJECT MANUAL ARE COMPLEMENTARY, AND ANY REQUIREMENT OF ONE SHALL BE A REQUIREMENT OF THE OTHER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CAREFULLY EXAMINE THE DRAWINGS AND SPECIFICATIONS AND TO COMPARE THE REQUIREMENTS OF EACH DIVISION AND ENSURE THAT EACH TRADE OR SUBCONTRACTOR IS MAKING THE ALLOWANCES NECESSARY TO PROVIDE THE OWNER A COMPLETE FACILITY, OPERATIONAL IN ALL RESPECTS UNLESS OTHERWISE SPECIFICALLY STATED IN THE DRAWINGS.
10. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR INSTRUCTING THE CONTRACTOR IN THE METHODS OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE METHOD TO CONSTRUCT THE IMPROVEMENTS AS SHOWN ON THE PLANS.
11. LITTER CONTROL MEASURES TO PREVENT WIND-BLOWN DEBRIS SHALL BE IMPLEMENTED THROUGHOUT THE DURATION OF CONSTRUCTION. ALL DEBRIS SHALL BE REMOVED AND THE PROJECT SITE CLEANED WITHIN 5 DAYS OF COMPLETION OF CONSTRUCTION.
12. AT NO TIME SHALL EXCAVATIONS BE LEFT UNCOVERED AFTER WORKING HOURS. CONTRACTOR SHALL SECURE THE WORK AREA AT THE END OF EACH DAY'S WORK.
13. AT ALL TIMES, THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT UNDERGROUND UTILITIES, STRUCTURES AND OTHER ASSOCIATED FACILITIES FROM DAMAGE DURING CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE MEASURES OF PROTECTION. ANY DAMAGED FACILITIES SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE AUTHORITY HAVING JURISDICTION OR ENGINEER AT THE CONTRACTOR'S EXPENSE.
14. THERE SHALL BE NO DEVIATIONS FROM THESE DRAWINGS UNLESS APPROVED IN WRITING BY THE ENGINEER AND THE OWNER.
15. THE CONTRACTOR SHALL CONTACT ALL CONCERNED UTILITIES AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS.
16. CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COST.
17. WHERE NEW ASPHALT MEETS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAW CUT TO PROVIDE A STRAIGHT EVEN LINE.
18. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL BE SAW CUT TO PROVIDE A STRAIGHT EVEN LINE.

**NOTICE:**  
THE CONTRACTOR HAS THE DISCRETION TO UTILIZE THIRD PARTY PROPRIETARY EROSION AND SEDIMENTATION CONTROL PRODUCTS AND DEVICES AND IS NOT LIMITED TO THE DETAILS ON THIS SHEET.

- NOTES:**
1. STONE SIZE - #2 COARSE AGGREGATE, OR RECLAIMED/RECYCLED CONCRETE.
  2. LENGTH - AS EFFECTIVE BUT NOT LESS THAN 50'
  3. DEPTH - 6" MINIMUM (COMPACTED)
  4. WIDTH - 20' MINIMUM
  5. GEOTEXTILE - 100% POLYPROPYLENE, 4 OZ/SY OVER THE ENTIRE AREA PRIOR TO PLACEMENT OF AGGREGATE.
  6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A WASHOUT BERM WITH 6:1 SLOPES IS ACCEPTABLE.
  7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. MAINTAIN PERIODIC TOP DRESSING OR ADDITIONAL AGGREGATE AS CONDITIONS REQUIRE AND REPAIR AND/OR CLEANOUT ANY AREAS USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, WASHING SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE WHICH DRAINS INTO AN APPROVED SEDIMENT POND OR SWALE.
  9. INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN OR WEEKLY AT A MINIMUM.



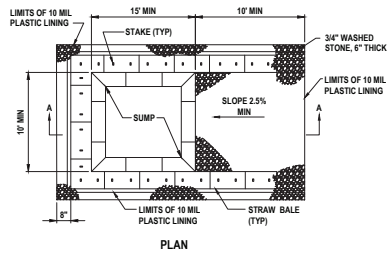
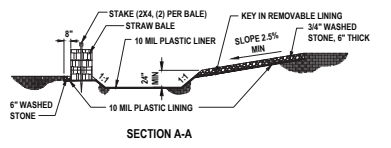
**CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE



**TREE PROTECTION BARRICADE DETAIL**  
NOT TO SCALE

1. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
2. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, WASHING SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE WHICH DRAINS INTO AN APPROVED SEDIMENT POND OR SWALE.
3. INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN OR WEEKLY AT A MINIMUM.

**CONSTRUCTION ENTRANCE ALTERNATIVE: (RUMBLE TRACK OR EQUAL)**



**CONCRETE WASHOUT AREA**  
NOT TO SCALE



**ALTERNATE SECTION**  
USE WHERE MORE THAN ONE ACCESSIBLE SIDE IS NEEDED

- NOTES:**
1. PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
  2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
  3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12\".
  4. FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
  5. SAW CUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT & GRINDING TO BE DISPOSED OF IN THE PIT.
  6. CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, & SURFACE WATERWAYS.
  7. MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.
  8. WASHOUT AREAS(S) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
  9. ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
  10. AT LEAST WEEKLY REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.

**WASHOUT SIGN**  
ALL CONCRETE TRUCKS SHALL WASHOUT HERE

REVISIONS	
DATE	DESCRIPTION
11/18/25	REV PER 119 SHW/M/D RAI
02/23/26	REV PER 1202 COUNTY CSE
03/26/26	REV PER 1199 BC/COD/RAI
04/12/26	REV PER 313 SHW/M/D RAI
	AND 319 COUNTY RAI

Roger W Strcula  
Digitally signed by Roger W Strcula  
Date: 2026.04.21 11:19:25 -0400



RESERVED FOR COUNTY STAMP

THIS FIRM HAS BEEN DIGITALLY SIGNED AND VALIDATED BY ROGER W. STRCULA, P.E. ON THE DATE INDICATED TO THE RIGHT. SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

**LUPHAMSON**  
CIVIL ENGINEER/ARCHITECT/LANDSCAPE ARCHITECTURE  
265 Knitworth Avenue • Ormond Beach • Florida 32174  
Voice: 386.672.8516 • Fax: 386.673.6554 • luphamson.com  
LCP #260012

THIS DRAWING IS THE PROPERTY OF LUPHAM, INC. ANY USE OR REPRODUCTION IN WHOLE OR PART BY ANY OTHER PARTY WITHOUT THE EXPRESS WRITTEN CONSENT OF LUPHAM, INC. IS PROHIBITED. ALL RIGHTS RESERVED.

MATTHEW

**EROSION CONTROL DETAILS AND NOTES**  
TARGET OCALA ADDRESS@aol.com  
MARION COUNTY, FLORIDA

PROJECT No.	26501
DATE	OCTOBER 20, 2025
DESIGN BY	RWS
DRAWN BY	JMB
CHECKED BY	RWS
SCALE	AS SHOWN
MAJOR SITE PLAN No.	AR #3552
SHEET NUMBER:	

**C302**  
CIVIL SHEET 9 OF 41



**PROJECT SITE INFORMATION:**

**PROJECT NAME:** TARGET Ocala - PHASE 2  
**DEVELOPER:** CORNERSTONE Ocala PROPERTIES, LLC  
 1400 HWY A1A, SUITE 301  
 SATELLITE BEACH, FL 32977

**PROJECT LOCATION:** ADDRESS: 1400 HWY A1A, MARION COUNTY, FLORIDA  
 MARION COUNTY  
 MARION COUNTY  
 W 82°15'47"  
 N 29°05'21"  
 SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT  
 SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT  
 16.02± ACRES  
 16.31± ACRES  
 1400 - COMMERCIAL AND SERVICES  
 4340 - UPLAND HARDWOOD - CONIFEROUS MIX  
 1900 - OPEN LAND  
 CLOSED BASIN

**ULTIMATE RECEIVING WATER BODY:** CLOSED BASIN

**SOILS / GEOTECH DATA:**  
 (PER USDA NRCS WEB SOIL SURVEY)

SOIL NUMBER	SOIL NAME	HSG
11	PETRO-ARBEQUO COMPLEX	D
22	CAUDLER SAND	A
-	-	-
-	-	-
-	-	-
-	-	-

**CONSTRUCTION INFORMATION:**

- A) DESCRIPTION OF ACTIVITIES:**  
 CONSTRUCTION ACTIVITIES INCLUDE: MASS EROSION CONTROL, GRADING AND DRAINAGE UTILITIES INSTALLATION, PAVEMENT FINISHING AND DRIVEWAY CONSTRUCTION, PLANTING AND GRASS AND SOIL STABILIZATION AND RESTORATION. SOIL STABILIZATION ACTIVITIES INCLUDE: INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCES, INSTALLATION OF EROSION CONTROL DEVICES, CLEARING AND GRUBBING EXISTING UTILITIES (AS NEEDED), ROUTING UTILITIES AND LANDSCAPE PLANNING.
- B) DESCRIPTION OF MAJOR ACTIVITIES AND CONTROL MEASURES:**
- CONTRACTOR SHALL OBTAIN A CONSTRUCTION PERMIT FROM THE CITY OF SEBASTIAN, FLORIDA AND MARION COUNTY. THE CONTRACTOR SHALL OBTAIN A DEMATERING PERMIT FROM THE CITY OF SEBASTIAN, FLORIDA AND MARION COUNTY. THE CONTRACTOR SHALL OBTAIN A DEMATERING PERMIT FROM THE CITY OF SEBASTIAN, FLORIDA AND MARION COUNTY. THE CONTRACTOR SHALL OBTAIN A DEMATERING PERMIT FROM THE CITY OF SEBASTIAN, FLORIDA AND MARION COUNTY.
  - CONTRACTOR SHALL OBTAIN A DEMATERING PERMIT FROM THE CITY OF SEBASTIAN, FLORIDA AND MARION COUNTY. THE CONTRACTOR SHALL OBTAIN A DEMATERING PERMIT FROM THE CITY OF SEBASTIAN, FLORIDA AND MARION COUNTY. THE CONTRACTOR SHALL OBTAIN A DEMATERING PERMIT FROM THE CITY OF SEBASTIAN, FLORIDA AND MARION COUNTY.
  - CONTRACTOR SHALL PROVIDE THE ENGINEER, COUNTY AND CITY NOT IN AT PERSONS DURING CONSTRUCTION. TRAFFIC SHALL BE ALLOWED TO CONTINUE DURING WORK. PROVIDE MEASURES TO DETOUR TRAFFIC AROUND CONSTRUCTION ACTIVITIES WITH ADEQUATE BARRICADES, SIGNAGE AND FLAGPERSON TO DIRECT TRAFFIC. EMERGENCY SERVICES SHALL BE NOTIFIED 48 HOURS IN ADVANCE (AS APPLICABLE).
  - CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE APPROPRIATE UTILITY DEPARTMENT, FLORIDA SUNSHINE AND EMERGENCY SERVICES FOR RESPECTIVE UTILITY LOCATIONS AND "NOTICE" OF CONSTRUCTION ACTIVITY.
  - ALL EROSION CONTROL DEVICES AND VISIBLE BARRICADES SHALL BE INSTALLED AND APPROVED BY THE ENGINEER PRIOR TO THE START OF CLEARING AND GRUBBING.
  - ALL EROSION CONTROL DEVICES SHALL BE PLACED PRIOR TO THE START OF WORK AND REMAIN IN PLACE UNTIL ALL WORK IS COMPLETE. IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR OTHER FACTORS, PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
  - A COMPACTED STONE DRIVE LANE FOR THE CONSTRUCTION ENTRANCE THAT BE PLACED PRIOR TO THE CLEARING AND GRUBBING. THE APPROXIMATE LOCATION AND DETAILS INDICATED ON THE DRAWINGS. THE ELEVATION SHALL BE DETERMINED FROM THE GROUND PLAN. PROVIDE ACCESS AS NECESSARY FOR EMERGENCY VEHICLES. COORDINATE WITH FIRECHIEF.
  - THE SITE SHALL BE CLEARED AND BARRICADED WITHIN THE APPROXIMATE LIMITS OF CLEARANCE AS INDICATED ON THE DRAWINGS.
  - SOILS ARE TO BE STABILIZED BY WATER OR OTHER MEANS DURING CONSTRUCTION. THIS IS INTENDED TO REDUCE SOIL EROSION, GULCHING SAND AND THE IMPACT TO NEIGHBORING PROPERTIES.
  - AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN TEN DAYS WILL BE STABILIZED WITH TEMPORARY GRASSES AND MULCH.
  - ALL REMOVED MATERIAL SHALL BE HALLED OFF-SITE TO AN APPROVED LANDFILL. TREES MAY BE LOGGED OR MULCHED FOR OFF-SITE DISPOSAL AT THE CONTRACTOR'S DISCRETION.
  - ALL OFF-SITE AREAS DISTURBED DURING CONSTRUCTION SHALL BE IMMEDIATELY RESTORED TO PRIOR CONDITION UPON COMPLETION OF WORK.
  - THE SITE CONTRACTOR SHALL ONLY BE PERMITTED TO REMOVE ALL EROSION PROTECTION DEVICES WITHIN EACH CONSTRUCTION AREA FOLLOWING REMOVAL OF SEDIMENT AND DEBRIS AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS.

**SEDIMENT, EROSION AND POLLUTANT CONTROL MEASURES:**

- BEST MANAGEMENT PRACTICES (BMP) SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION. BEST MANAGEMENT PRACTICES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION. BEST MANAGEMENT PRACTICES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION. BEST MANAGEMENT PRACTICES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- STORMWATER MANAGEMENT: STORMWATER COLLECTION SHALL BE PROVIDED BY CATCH BASINS. THE SITE WILL UTILIZE THE PROPOSED POND AND A TEMPORARY SEDIMENT BASIN.
- STABILIZATION PRACTICES: THE CONTRACTOR SHALL DEMONSTRATE TO THE ENGINEER THAT THE PROPOSED STABILIZATION PRACTICES WILL BE EFFECTIVE. THE CONTRACTOR SHALL DEMONSTRATE TO THE ENGINEER THAT THE PROPOSED STABILIZATION PRACTICES WILL BE EFFECTIVE. THE CONTRACTOR SHALL DEMONSTRATE TO THE ENGINEER THAT THE PROPOSED STABILIZATION PRACTICES WILL BE EFFECTIVE.
- STORMWATER COLLECTION: THE CONTRACTOR SHALL DEMONSTRATE TO THE ENGINEER THAT THE PROPOSED STORMWATER COLLECTION SYSTEM WILL BE EFFECTIVE. THE CONTRACTOR SHALL DEMONSTRATE TO THE ENGINEER THAT THE PROPOSED STORMWATER COLLECTION SYSTEM WILL BE EFFECTIVE. THE CONTRACTOR SHALL DEMONSTRATE TO THE ENGINEER THAT THE PROPOSED STORMWATER COLLECTION SYSTEM WILL BE EFFECTIVE.
- WASTE DISPOSAL: ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN METAL DRUMS WITH SECURED LIDS. ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN METAL DRUMS WITH SECURED LIDS. ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN METAL DRUMS WITH SECURED LIDS.
- NON-POINT SOURCE CONTROL: THE CONTRACTOR SHALL DEMONSTRATE TO THE ENGINEER THAT THE PROPOSED NON-POINT SOURCE CONTROL MEASURES WILL BE EFFECTIVE. THE CONTRACTOR SHALL DEMONSTRATE TO THE ENGINEER THAT THE PROPOSED NON-POINT SOURCE CONTROL MEASURES WILL BE EFFECTIVE. THE CONTRACTOR SHALL DEMONSTRATE TO THE ENGINEER THAT THE PROPOSED NON-POINT SOURCE CONTROL MEASURES WILL BE EFFECTIVE.

**MAINTENANCE AND INSPECTION PROCEDURES:**

- INSPECTOR QUALIFICATIONS: THE INSPECTOR SHALL BE A QUALIFIED INSPECTOR WITH A MINIMUM OF 5 YEARS OF EXPERIENCE IN THE FIELD OF STORMWATER POLLUTION PREVENTION AND EROSION AND SEDIMENTATION CONTROL.
- DISTURBED AREAS: ALL DISTURBED AREAS AND AREAS USED FOR MATERIAL STORAGE SHALL BE INSPECTED FOR EROSION AND SEDIMENTATION CONTROL. ALL DISTURBED AREAS AND AREAS USED FOR MATERIAL STORAGE SHALL BE INSPECTED FOR EROSION AND SEDIMENTATION CONTROL.
- MONITORING FREQUENCY: INSPECTIONS SHALL BE PERFORMED AT LEAST EVERY SEVEN (7) CALENDAR DAYS OR MORE FREQUENTLY AS DETERMINED BY THE INSPECTOR. INSPECTIONS SHALL BE PERFORMED AT LEAST EVERY SEVEN (7) CALENDAR DAYS OR MORE FREQUENTLY AS DETERMINED BY THE INSPECTOR.
- REPORTING: EACH INSPECTION MUST BE FOLLOWED UP BY A REPORT DOCUMENTING THE INSPECTOR'S FINDINGS AND RECOMMENDATIONS. THESE REPORTS ARE USED TO PROVE THAT THE REQUIRED INSPECTION AND MAINTENANCE WERE PERFORMED AND SHALL BE PLACED IN THE SWPPP FOLDER.
- RECORD KEEPING: RECORDS OF INSPECTIONS AND MAINTENANCE REPORTS SHALL BE KEPT AT THE PROJECT SITE FOR A MINIMUM OF FIVE (5) YEARS AFTER THE PROJECT IS COMPLETE IN PAPER AND CD FORMAT.

**SPILL PREVENTION PRACTICES AND CONTROL MEASURES:**

- GOOD HOUSEKEEPING: ALL CONSTRUCTION MATERIALS SHALL BE STORED IN A PROPER CONTAINER AND IF POSSIBLE, STORED UNDER A ROOF OR COVERED. ALL CONSTRUCTION MATERIALS STORED SHALL BE ORGANIZED AND IN THE PROPER CONTAINER AND IF POSSIBLE, STORED UNDER A ROOF OR COVERED.
- HAZARDOUS WASTE: HAZARDOUS WASTE MATERIALS SHALL BE STORED IN A PROPER CONTAINER AND IF POSSIBLE, STORED UNDER A ROOF OR COVERED. HAZARDOUS WASTE MATERIALS SHALL BE STORED IN A PROPER CONTAINER AND IF POSSIBLE, STORED UNDER A ROOF OR COVERED.
- SPILL CONTROL AND CLEANUP RESPONSIBILITIES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SPILLS THAT OCCUR ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SPILLS THAT OCCUR ON THE SITE.
- HAZARDOUS WASTE: HAZARDOUS WASTE MATERIALS SHALL BE STORED IN A PROPER CONTAINER AND IF POSSIBLE, STORED UNDER A ROOF OR COVERED. HAZARDOUS WASTE MATERIALS SHALL BE STORED IN A PROPER CONTAINER AND IF POSSIBLE, STORED UNDER A ROOF OR COVERED.

**NOTICE OF INTENT (NOI) / NOTICE OF TERMINATION (NOT)**

- NOTICE OF INTENT (NOI) (DEP FORM 6247-30000A) IS TO BE COMPLETED AND SUBMITTED TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) PRIOR TO THE START OF CONSTRUCTION.
- NOTICE OF TERMINATION (NOT) (DEP FORM 6247-30000B) IS TO BE COMPLETED AND SUBMITTED TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (NOT) TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) PRIOR TO THE START OF CONSTRUCTION.

**CONTRACTOR'S CERTIFICATION**

I, THE UNDERSIGNED, CERTIFY THAT I AM THE OWNER OR A PERSON AUTHORIZED BY THE OWNER TO SIGN THIS CERTIFICATION ON BEHALF OF THE OWNER. I HAVE READ AND UNDERSTAND THE REQUIREMENTS OF SECTION 6247.001, F.S., THAT AUTHORIZES THE SWPPP CONTRACTOR TO SIGN THIS CERTIFICATION ON BEHALF OF THE OWNER.

SIGNATURE		COMPANY INFO		RESPONSIBLE FOR:	
NAME:		COMPANY:		DESIGN:	
TITLE:		ADDRESS:		CONSTRUCTION:	
DATE:		CITY/STATE/ZIP:		OPERATION & MAINTENANCE:	

**REVISIONS**

DATE	DESCRIPTION
11/08/23	REVISED PER USDA NRCS WEB SOIL SURVEY
11/08/23	REVISED PER USDA NRCS WEB SOIL SURVEY
11/08/23	REVISED PER USDA NRCS WEB SOIL SURVEY
11/08/23	REVISED PER USDA NRCS WEB SOIL SURVEY
11/08/23	REVISED PER USDA NRCS WEB SOIL SURVEY
11/08/23	REVISED PER USDA NRCS WEB SOIL SURVEY
11/08/23	REVISED PER USDA NRCS WEB SOIL SURVEY
11/08/23	REVISED PER USDA NRCS WEB SOIL SURVEY
11/08/23	REVISED PER USDA NRCS WEB SOIL SURVEY
11/08/23	REVISED PER USDA NRCS WEB SOIL SURVEY



**STORMWATER POLLUTION PREVENTION PLAN - PHASE 2**

TARGET Ocala  
 ADDRESS: 1400 HWY A1A, MARION COUNTY, FLORIDA

PROJECT NO.: 230001  
 DATE: OCTOBER 2023  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 SCALE: AS SHOWN  
 SHEET NO.: 1 OF 10  
 SHEET NUMBER: C304  
 CIVIL SHEET 1004 - 41

NO.	DATE	DESCRIPTION
1	11/02/20	ISSUED FOR PERMITS
2	11/02/20	ISSUED FOR PERMITS
3	11/02/20	ISSUED FOR PERMITS
4	11/02/20	ISSUED FOR PERMITS
5	11/02/20	ISSUED FOR PERMITS
6	11/02/20	ISSUED FOR PERMITS
7	11/02/20	ISSUED FOR PERMITS
8	11/02/20	ISSUED FOR PERMITS
9	11/02/20	ISSUED FOR PERMITS
10	11/02/20	ISSUED FOR PERMITS
11	11/02/20	ISSUED FOR PERMITS
12	11/02/20	ISSUED FOR PERMITS
13	11/02/20	ISSUED FOR PERMITS
14	11/02/20	ISSUED FOR PERMITS
15	11/02/20	ISSUED FOR PERMITS
16	11/02/20	ISSUED FOR PERMITS
17	11/02/20	ISSUED FOR PERMITS
18	11/02/20	ISSUED FOR PERMITS
19	11/02/20	ISSUED FOR PERMITS
20	11/02/20	ISSUED FOR PERMITS
21	11/02/20	ISSUED FOR PERMITS
22	11/02/20	ISSUED FOR PERMITS
23	11/02/20	ISSUED FOR PERMITS
24	11/02/20	ISSUED FOR PERMITS
25	11/02/20	ISSUED FOR PERMITS
26	11/02/20	ISSUED FOR PERMITS
27	11/02/20	ISSUED FOR PERMITS
28	11/02/20	ISSUED FOR PERMITS
29	11/02/20	ISSUED FOR PERMITS
30	11/02/20	ISSUED FOR PERMITS
31	11/02/20	ISSUED FOR PERMITS
32	11/02/20	ISSUED FOR PERMITS
33	11/02/20	ISSUED FOR PERMITS
34	11/02/20	ISSUED FOR PERMITS
35	11/02/20	ISSUED FOR PERMITS
36	11/02/20	ISSUED FOR PERMITS
37	11/02/20	ISSUED FOR PERMITS
38	11/02/20	ISSUED FOR PERMITS
39	11/02/20	ISSUED FOR PERMITS
40	11/02/20	ISSUED FOR PERMITS
41	11/02/20	ISSUED FOR PERMITS
42	11/02/20	ISSUED FOR PERMITS
43	11/02/20	ISSUED FOR PERMITS
44	11/02/20	ISSUED FOR PERMITS
45	11/02/20	ISSUED FOR PERMITS
46	11/02/20	ISSUED FOR PERMITS
47	11/02/20	ISSUED FOR PERMITS
48	11/02/20	ISSUED FOR PERMITS
49	11/02/20	ISSUED FOR PERMITS
50	11/02/20	ISSUED FOR PERMITS
51	11/02/20	ISSUED FOR PERMITS
52	11/02/20	ISSUED FOR PERMITS
53	11/02/20	ISSUED FOR PERMITS
54	11/02/20	ISSUED FOR PERMITS
55	11/02/20	ISSUED FOR PERMITS
56	11/02/20	ISSUED FOR PERMITS
57	11/02/20	ISSUED FOR PERMITS
58	11/02/20	ISSUED FOR PERMITS
59	11/02/20	ISSUED FOR PERMITS
60	11/02/20	ISSUED FOR PERMITS
61	11/02/20	ISSUED FOR PERMITS
62	11/02/20	ISSUED FOR PERMITS
63	11/02/20	ISSUED FOR PERMITS
64	11/02/20	ISSUED FOR PERMITS
65	11/02/20	ISSUED FOR PERMITS
66	11/02/20	ISSUED FOR PERMITS
67	11/02/20	ISSUED FOR PERMITS
68	11/02/20	ISSUED FOR PERMITS
69	11/02/20	ISSUED FOR PERMITS
70	11/02/20	ISSUED FOR PERMITS
71	11/02/20	ISSUED FOR PERMITS
72	11/02/20	ISSUED FOR PERMITS
73	11/02/20	ISSUED FOR PERMITS
74	11/02/20	ISSUED FOR PERMITS
75	11/02/20	ISSUED FOR PERMITS
76	11/02/20	ISSUED FOR PERMITS
77	11/02/20	ISSUED FOR PERMITS
78	11/02/20	ISSUED FOR PERMITS
79	11/02/20	ISSUED FOR PERMITS
80	11/02/20	ISSUED FOR PERMITS
81	11/02/20	ISSUED FOR PERMITS
82	11/02/20	ISSUED FOR PERMITS
83	11/02/20	ISSUED FOR PERMITS
84	11/02/20	ISSUED FOR PERMITS
85	11/02/20	ISSUED FOR PERMITS
86	11/02/20	ISSUED FOR PERMITS
87	11/02/20	ISSUED FOR PERMITS
88	11/02/20	ISSUED FOR PERMITS
89	11/02/20	ISSUED FOR PERMITS
90	11/02/20	ISSUED FOR PERMITS
91	11/02/20	ISSUED FOR PERMITS
92	11/02/20	ISSUED FOR PERMITS
93	11/02/20	ISSUED FOR PERMITS
94	11/02/20	ISSUED FOR PERMITS
95	11/02/20	ISSUED FOR PERMITS
96	11/02/20	ISSUED FOR PERMITS
97	11/02/20	ISSUED FOR PERMITS
98	11/02/20	ISSUED FOR PERMITS
99	11/02/20	ISSUED FOR PERMITS
100	11/02/20	ISSUED FOR PERMITS

Digitally signed  
by Roger W Strucula  
DN: cn=Roger W Strucula, o=Strucula & Associates, ou=Strucula & Associates, email=roger@strucula.com

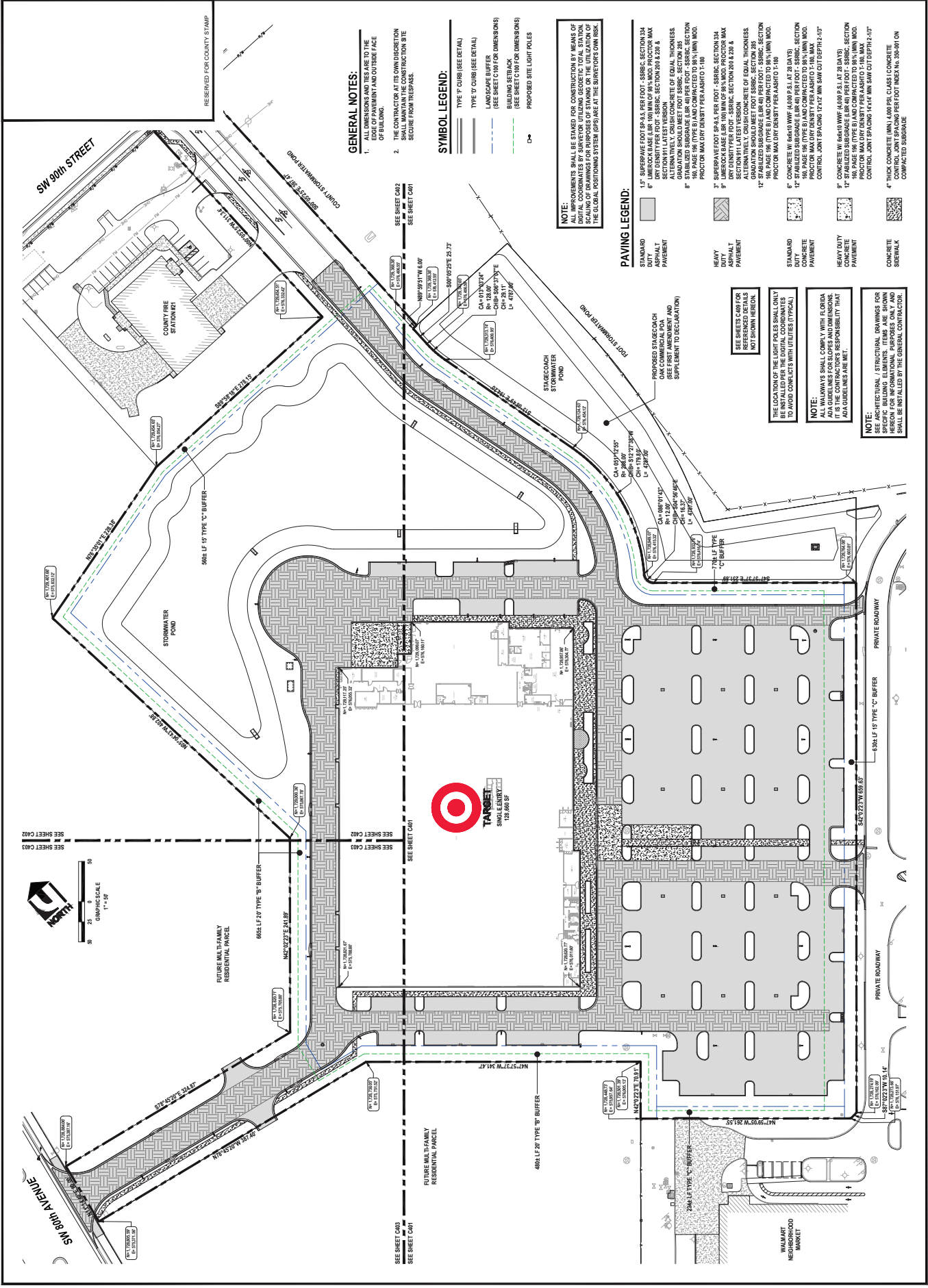
2020.09.21 11:52:28 -0400

**U.P.H.A.M.E.C.**  
U.P.H.A.M.E.C. ENGINEERING & ARCHITECTURE  
262 Knottwood Avenue • Orlando Beach • Florida 32714  
Voice: 386.672.9515 • Fax: 386.672.6554 • u.pham@upham.com  
LP # 250912

**OVERALL SITE GEOMETRY & LAYOUT PLAN**  
TARGET OCALA  
MARION COUNTY, FLORIDA

PROJECT NO: 20200921  
DATE: OCTOBER 15, 2020  
DRAWN BY: JAC  
CHECKED BY: JAC  
SCALE: AS SHOWN

**C400**  
SHEET NUMBER  
CIVIL SHEET 11 OF 21









REVISIONS	DATE	DESCRIPTION
1	11/20/2018	REVISED PER CIVIL ENGINEERING
2	12/10/2018	REVISED PER CIVIL ENGINEERING
3	01/15/2019	REVISED PER CIVIL ENGINEERING
4	02/20/2019	REVISED PER CIVIL ENGINEERING
5	03/25/2019	REVISED PER CIVIL ENGINEERING
6	04/20/2019	REVISED PER CIVIL ENGINEERING
7	05/15/2019	REVISED PER CIVIL ENGINEERING
8	06/10/2019	REVISED PER CIVIL ENGINEERING
9	07/05/2019	REVISED PER CIVIL ENGINEERING
10	08/01/2019	REVISED PER CIVIL ENGINEERING
11	08/20/2019	REVISED PER CIVIL ENGINEERING
12	09/10/2019	REVISED PER CIVIL ENGINEERING
13	09/25/2019	REVISED PER CIVIL ENGINEERING
14	10/15/2019	REVISED PER CIVIL ENGINEERING
15	10/30/2019	REVISED PER CIVIL ENGINEERING
16	11/10/2019	REVISED PER CIVIL ENGINEERING
17	11/20/2019	REVISED PER CIVIL ENGINEERING
18	12/05/2019	REVISED PER CIVIL ENGINEERING
19	12/15/2019	REVISED PER CIVIL ENGINEERING
20	12/25/2019	REVISED PER CIVIL ENGINEERING
21	01/05/2020	REVISED PER CIVIL ENGINEERING
22	01/15/2020	REVISED PER CIVIL ENGINEERING
23	01/25/2020	REVISED PER CIVIL ENGINEERING
24	02/05/2020	REVISED PER CIVIL ENGINEERING
25	02/15/2020	REVISED PER CIVIL ENGINEERING
26	02/25/2020	REVISED PER CIVIL ENGINEERING
27	03/05/2020	REVISED PER CIVIL ENGINEERING
28	03/15/2020	REVISED PER CIVIL ENGINEERING
29	03/25/2020	REVISED PER CIVIL ENGINEERING
30	04/05/2020	REVISED PER CIVIL ENGINEERING
31	04/15/2020	REVISED PER CIVIL ENGINEERING
32	04/25/2020	REVISED PER CIVIL ENGINEERING
33	05/05/2020	REVISED PER CIVIL ENGINEERING
34	05/15/2020	REVISED PER CIVIL ENGINEERING
35	05/25/2020	REVISED PER CIVIL ENGINEERING
36	06/05/2020	REVISED PER CIVIL ENGINEERING
37	06/15/2020	REVISED PER CIVIL ENGINEERING
38	06/25/2020	REVISED PER CIVIL ENGINEERING
39	07/05/2020	REVISED PER CIVIL ENGINEERING
40	07/15/2020	REVISED PER CIVIL ENGINEERING
41	07/25/2020	REVISED PER CIVIL ENGINEERING
42	08/05/2020	REVISED PER CIVIL ENGINEERING
43	08/15/2020	REVISED PER CIVIL ENGINEERING
44	08/25/2020	REVISED PER CIVIL ENGINEERING
45	09/05/2020	REVISED PER CIVIL ENGINEERING
46	09/15/2020	REVISED PER CIVIL ENGINEERING
47	09/25/2020	REVISED PER CIVIL ENGINEERING
48	10/05/2020	REVISED PER CIVIL ENGINEERING
49	10/15/2020	REVISED PER CIVIL ENGINEERING
50	10/25/2020	REVISED PER CIVIL ENGINEERING
51	11/05/2020	REVISED PER CIVIL ENGINEERING
52	11/15/2020	REVISED PER CIVIL ENGINEERING
53	11/25/2020	REVISED PER CIVIL ENGINEERING
54	12/05/2020	REVISED PER CIVIL ENGINEERING
55	12/15/2020	REVISED PER CIVIL ENGINEERING
56	12/25/2020	REVISED PER CIVIL ENGINEERING
57	01/05/2021	REVISED PER CIVIL ENGINEERING
58	01/15/2021	REVISED PER CIVIL ENGINEERING
59	01/25/2021	REVISED PER CIVIL ENGINEERING
60	02/05/2021	REVISED PER CIVIL ENGINEERING
61	02/15/2021	REVISED PER CIVIL ENGINEERING
62	02/25/2021	REVISED PER CIVIL ENGINEERING
63	03/05/2021	REVISED PER CIVIL ENGINEERING
64	03/15/2021	REVISED PER CIVIL ENGINEERING
65	03/25/2021	REVISED PER CIVIL ENGINEERING
66	04/05/2021	REVISED PER CIVIL ENGINEERING
67	04/15/2021	REVISED PER CIVIL ENGINEERING
68	04/25/2021	REVISED PER CIVIL ENGINEERING
69	05/05/2021	REVISED PER CIVIL ENGINEERING
70	05/15/2021	REVISED PER CIVIL ENGINEERING
71	05/25/2021	REVISED PER CIVIL ENGINEERING
72	06/05/2021	REVISED PER CIVIL ENGINEERING
73	06/15/2021	REVISED PER CIVIL ENGINEERING
74	06/25/2021	REVISED PER CIVIL ENGINEERING
75	07/05/2021	REVISED PER CIVIL ENGINEERING
76	07/15/2021	REVISED PER CIVIL ENGINEERING
77	07/25/2021	REVISED PER CIVIL ENGINEERING
78	08/05/2021	REVISED PER CIVIL ENGINEERING
79	08/15/2021	REVISED PER CIVIL ENGINEERING
80	08/25/2021	REVISED PER CIVIL ENGINEERING
81	09/05/2021	REVISED PER CIVIL ENGINEERING
82	09/15/2021	REVISED PER CIVIL ENGINEERING
83	09/25/2021	REVISED PER CIVIL ENGINEERING
84	10/05/2021	REVISED PER CIVIL ENGINEERING
85	10/15/2021	REVISED PER CIVIL ENGINEERING
86	10/25/2021	REVISED PER CIVIL ENGINEERING
87	11/05/2021	REVISED PER CIVIL ENGINEERING
88	11/15/2021	REVISED PER CIVIL ENGINEERING
89	11/25/2021	REVISED PER CIVIL ENGINEERING
90	12/05/2021	REVISED PER CIVIL ENGINEERING
91	12/15/2021	REVISED PER CIVIL ENGINEERING
92	12/25/2021	REVISED PER CIVIL ENGINEERING
93	01/05/2022	REVISED PER CIVIL ENGINEERING
94	01/15/2022	REVISED PER CIVIL ENGINEERING
95	01/25/2022	REVISED PER CIVIL ENGINEERING
96	02/05/2022	REVISED PER CIVIL ENGINEERING
97	02/15/2022	REVISED PER CIVIL ENGINEERING
98	02/25/2022	REVISED PER CIVIL ENGINEERING
99	03/05/2022	REVISED PER CIVIL ENGINEERING
100	03/15/2022	REVISED PER CIVIL ENGINEERING

Roger W Strucula  
 P.E.  
 2205094-21  
 1125311-5400  
 2205094-21  
 1125311-5400

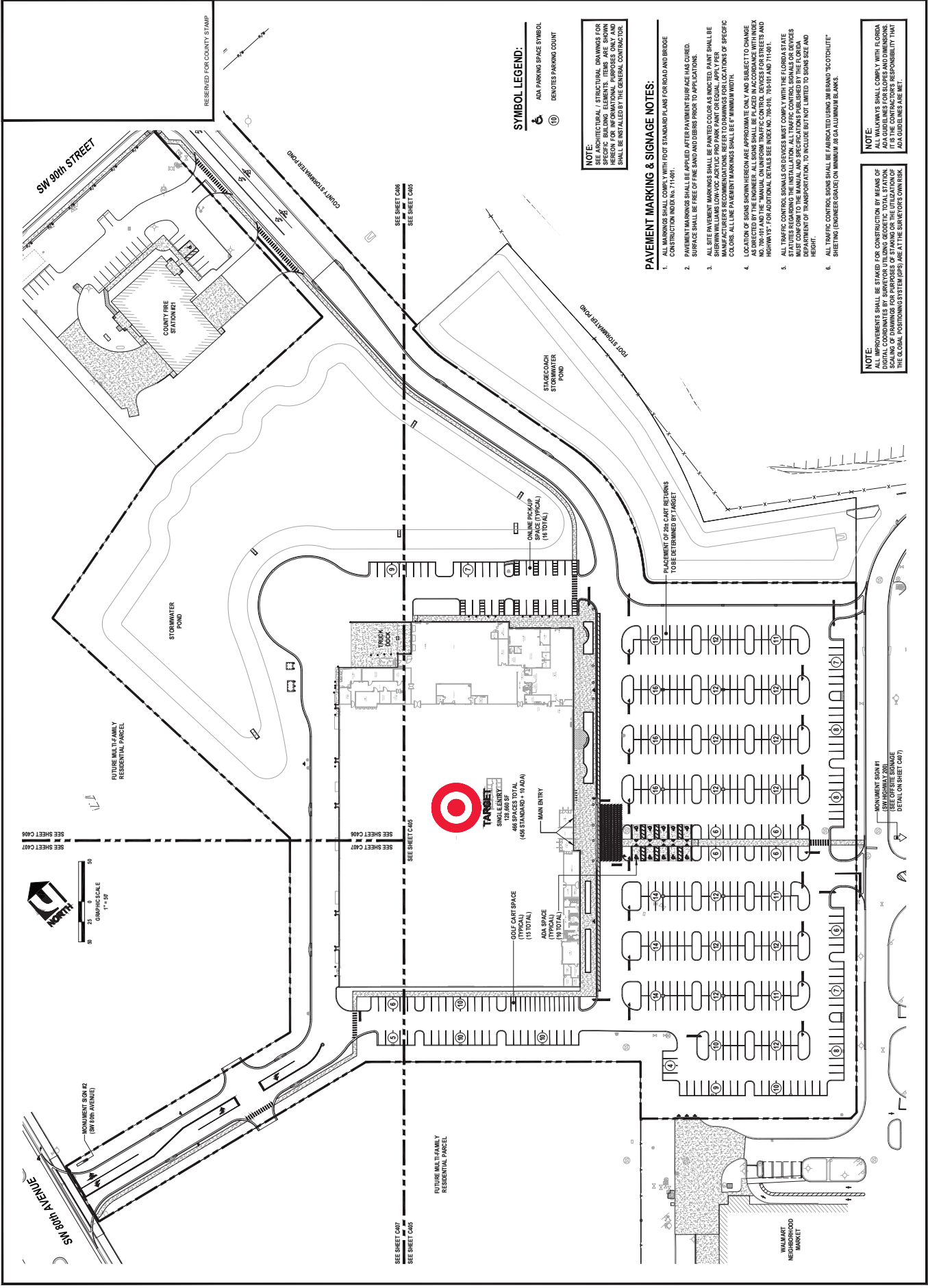


**UPHAM INC**  
 CIVIL ENGINEERING & ARCHITECTURE  
 262 Kenilworth Avenue • Orlando, Florida 32814  
 Phone: 386.672.9515 • Fax: 386.672.6554 • www. UphamInc.com  
 License No. 2205094-21  
 License No. 1125311-5400

M A T H E W  
 CIVIL ENGINEERING & ARCHITECTURE  
 10000 UNIVERSITY BLVD  
 SUITE 1000  
 PALM BEACH, FLORIDA 33411

**OVERALL PAVEMENT MARKING & SIGNAGE PLAN**  
**TARGET Ocala**  
 ADDRESS: 1400 SW 80th Avenue  
 MARION COUNTY, FLORIDA

PROJECT NO.: 2205094-21  
 DATE: OCTOBER 2022  
 DRAWN BY: MATH  
 CHECKED BY: MATH  
 SCALE: AS SHOWN  
 SHEET NUMBER: C404  
 TOTAL SHEETS: 41













NO.	DATE	DESCRIPTION
1	11/25/15	ISSUED FOR PERMITS
2	05/12/16	REVISED TO ADD SIGNAGE
3	05/12/16	REVISED TO ADD SIGNAGE
4	05/12/16	REVISED TO ADD SIGNAGE
5	05/12/16	REVISED TO ADD SIGNAGE
6	05/12/16	REVISED TO ADD SIGNAGE
7	05/12/16	REVISED TO ADD SIGNAGE
8	05/12/16	REVISED TO ADD SIGNAGE
9	05/12/16	REVISED TO ADD SIGNAGE
10	05/12/16	REVISED TO ADD SIGNAGE
11	05/12/16	REVISED TO ADD SIGNAGE
12	05/12/16	REVISED TO ADD SIGNAGE
13	05/12/16	REVISED TO ADD SIGNAGE
14	05/12/16	REVISED TO ADD SIGNAGE
15	05/12/16	REVISED TO ADD SIGNAGE
16	05/12/16	REVISED TO ADD SIGNAGE
17	05/12/16	REVISED TO ADD SIGNAGE
18	05/12/16	REVISED TO ADD SIGNAGE
19	05/12/16	REVISED TO ADD SIGNAGE
20	05/12/16	REVISED TO ADD SIGNAGE
21	05/12/16	REVISED TO ADD SIGNAGE
22	05/12/16	REVISED TO ADD SIGNAGE
23	05/12/16	REVISED TO ADD SIGNAGE
24	05/12/16	REVISED TO ADD SIGNAGE
25	05/12/16	REVISED TO ADD SIGNAGE
26	05/12/16	REVISED TO ADD SIGNAGE
27	05/12/16	REVISED TO ADD SIGNAGE
28	05/12/16	REVISED TO ADD SIGNAGE
29	05/12/16	REVISED TO ADD SIGNAGE
30	05/12/16	REVISED TO ADD SIGNAGE
31	05/12/16	REVISED TO ADD SIGNAGE
32	05/12/16	REVISED TO ADD SIGNAGE
33	05/12/16	REVISED TO ADD SIGNAGE
34	05/12/16	REVISED TO ADD SIGNAGE
35	05/12/16	REVISED TO ADD SIGNAGE
36	05/12/16	REVISED TO ADD SIGNAGE
37	05/12/16	REVISED TO ADD SIGNAGE
38	05/12/16	REVISED TO ADD SIGNAGE
39	05/12/16	REVISED TO ADD SIGNAGE
40	05/12/16	REVISED TO ADD SIGNAGE
41	05/12/16	REVISED TO ADD SIGNAGE
42	05/12/16	REVISED TO ADD SIGNAGE
43	05/12/16	REVISED TO ADD SIGNAGE
44	05/12/16	REVISED TO ADD SIGNAGE
45	05/12/16	REVISED TO ADD SIGNAGE
46	05/12/16	REVISED TO ADD SIGNAGE
47	05/12/16	REVISED TO ADD SIGNAGE
48	05/12/16	REVISED TO ADD SIGNAGE
49	05/12/16	REVISED TO ADD SIGNAGE
50	05/12/16	REVISED TO ADD SIGNAGE

Digitally signed by Roger W Strcula  
 DN: cn=Strcula, o=Strcula, ou=Strcula, email=roger@strcula.com  
 Date: 2025.09.21 11:29:11 -0400

**U-P-H-A-M-N-C**  
 UPHAM ENGINEERING & ARCHITECTURE  
 285 Kentworth Avenue, Ormond Beach, Florida 32174  
 Phone: 386.672.9515 Fax: 386.673.6554 • info@upham.com

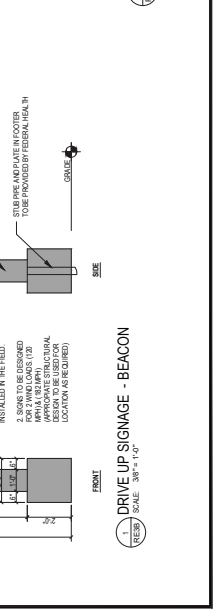
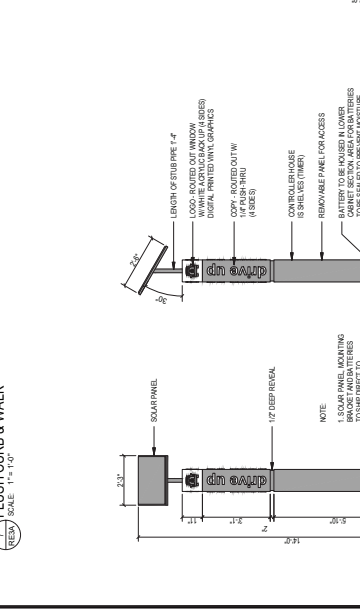
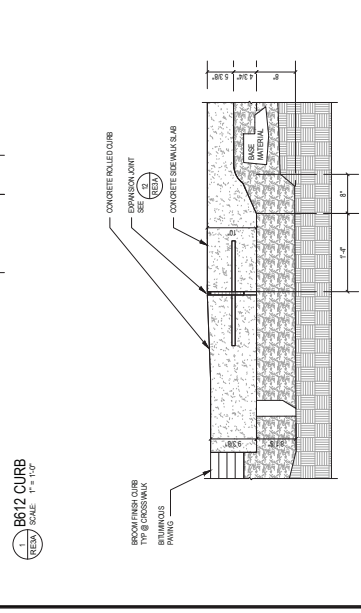
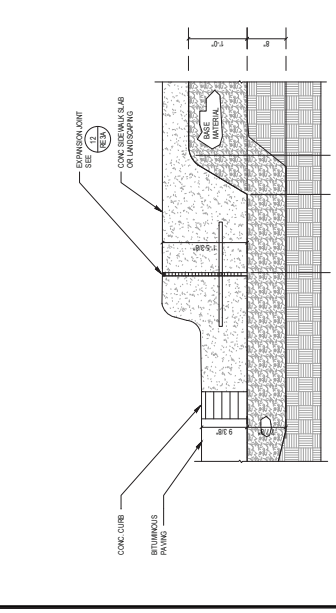
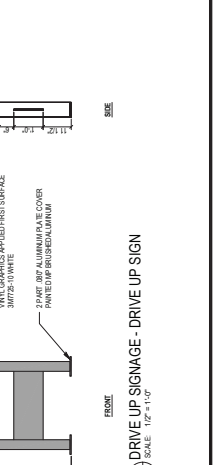
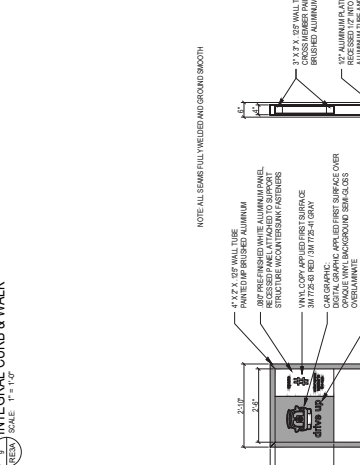
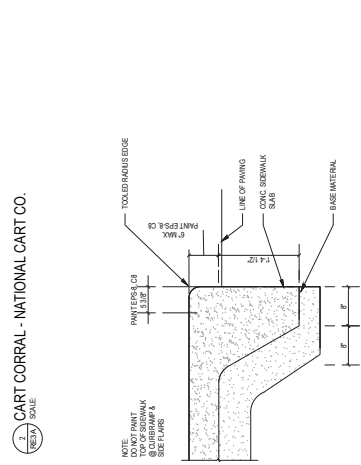
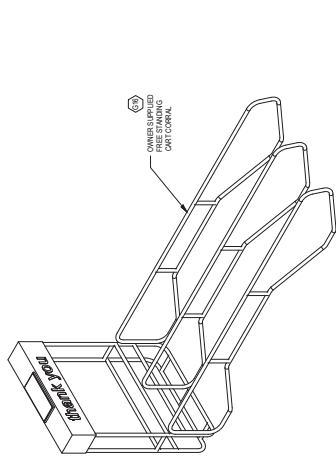
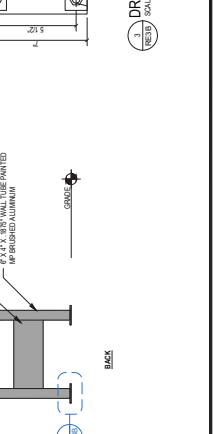
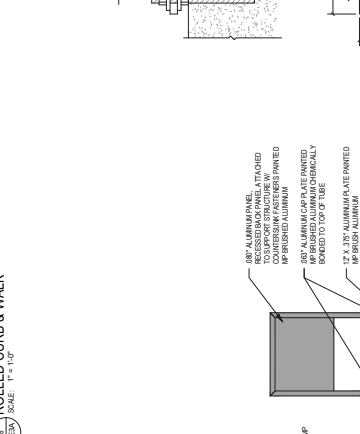
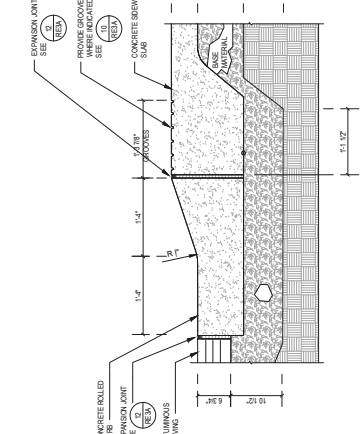
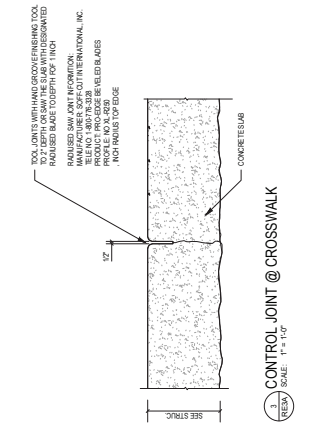
THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF UPHAM ENGINEERING & ARCHITECTURE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS INFORMATION WITHOUT THE WRITTEN CONSENT OF UPHAM ENGINEERING & ARCHITECTURE IS STRICTLY PROHIBITED.

**M A T T H E W**  
 PROJECT NO. 202510  
 DATE: OCTOBER 15, 2025  
 DRAWN BY: JAC  
 CHECKED BY: AS  
 SCALE: AS SHOWN  
 SHEET NUMBER: 40  
 MARION COUNTY, FLORIDA

**TARGET STANDARD**  
**DETAILS & NOTES**  
**TARGET OCALA**  
 ADDRESS: 1800  
 MARION COUNTY, FLORIDA

**C410**  
 CIVIL SHEET 21 OF 41

RESERVED FOR COUNTY STAMP



NO.	DATE	DESCRIPTION
1	11/08/25	REVISIONS
2	11/08/25	REVISIONS
3	11/08/25	REVISIONS
4	11/08/25	REVISIONS
5	11/08/25	REVISIONS
6	11/08/25	REVISIONS
7	11/08/25	REVISIONS
8	11/08/25	REVISIONS
9	11/08/25	REVISIONS
10	11/08/25	REVISIONS
11	11/08/25	REVISIONS
12	11/08/25	REVISIONS
13	11/08/25	REVISIONS
14	11/08/25	REVISIONS
15	11/08/25	REVISIONS
16	11/08/25	REVISIONS
17	11/08/25	REVISIONS
18	11/08/25	REVISIONS
19	11/08/25	REVISIONS
20	11/08/25	REVISIONS
21	11/08/25	REVISIONS
22	11/08/25	REVISIONS
23	11/08/25	REVISIONS
24	11/08/25	REVISIONS
25	11/08/25	REVISIONS
26	11/08/25	REVISIONS
27	11/08/25	REVISIONS
28	11/08/25	REVISIONS
29	11/08/25	REVISIONS
30	11/08/25	REVISIONS
31	11/08/25	REVISIONS
32	11/08/25	REVISIONS
33	11/08/25	REVISIONS
34	11/08/25	REVISIONS
35	11/08/25	REVISIONS
36	11/08/25	REVISIONS
37	11/08/25	REVISIONS
38	11/08/25	REVISIONS
39	11/08/25	REVISIONS
40	11/08/25	REVISIONS
41	11/08/25	REVISIONS
42	11/08/25	REVISIONS
43	11/08/25	REVISIONS
44	11/08/25	REVISIONS
45	11/08/25	REVISIONS
46	11/08/25	REVISIONS
47	11/08/25	REVISIONS
48	11/08/25	REVISIONS
49	11/08/25	REVISIONS
50	11/08/25	REVISIONS

Digitally signed by Roger W. Sircula  
 DN: cn=Roger W. Sircula, o=Sircula, email=rsircula@u-pham.com, c=US  
 Date: 2025.04.21 11:50:51 -0400

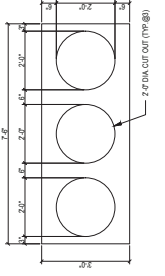


**UPHAM**  
 UPHAM ENGINEERING & LANDSCAPE ARCHITECTURE  
 262 Kennelworth Avenue • Ormond Beach • Florida 32174  
 Phone: 386.672.9515 • Fax: 386.673.6554 • www.uphaminc.com  
 LICENSE NO. 15430 - PROFESSIONAL ENGINEER  
 LICENSE NO. 15430 - PROFESSIONAL LANDSCAPE ARCHITECT  
 LICENSE NO. 15430 - PROFESSIONAL SURVEYOR  
 LICENSE NO. 15430 - PROFESSIONAL ARCHITECT

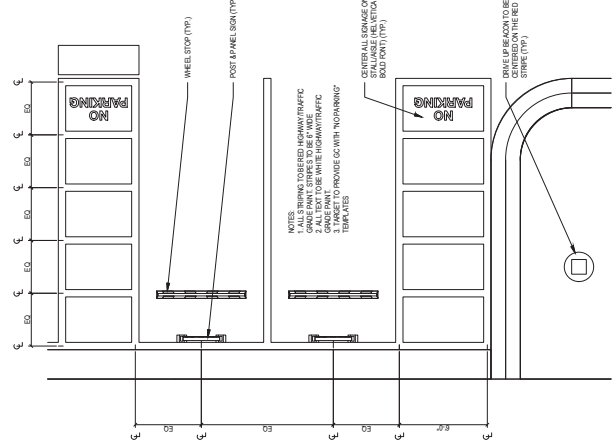
**M A T T H E W**  
 TARGET STANDARD  
 DETAILS & NOTES  
 TARGET OCALA  
 ADDRESS 1b  
 MARION COUNTY, FLORIDA

PROJECT No. 250221  
 DATE: OCTOBER 12, 2023  
 DRAWN BY: JAC  
 CHECKED BY: JAC  
 SCALE: AS SHOWN  
 SHEET NO. 02  
 SHEET TOTAL: 41

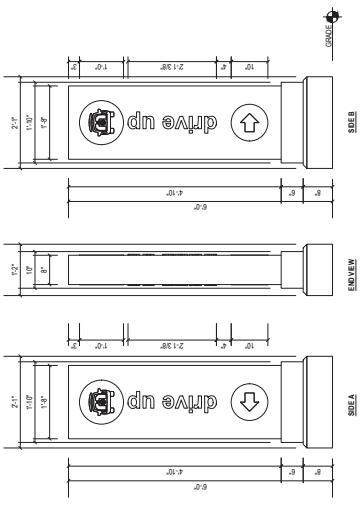
**C411**  
 CIVIL SHEET 22 OF 41



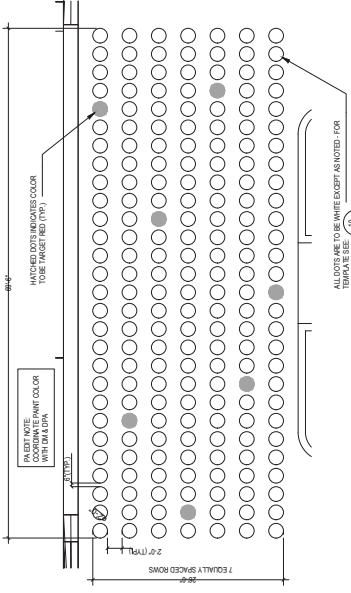
18. DOT TEMPLATE  
 SCALE: 1/2" = 1'-0"



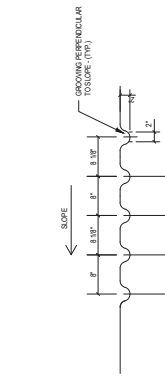
1. PARKING STALLS - ENLARGED PLAN - 01  
 SCALE: 1/4" = 1'-0"



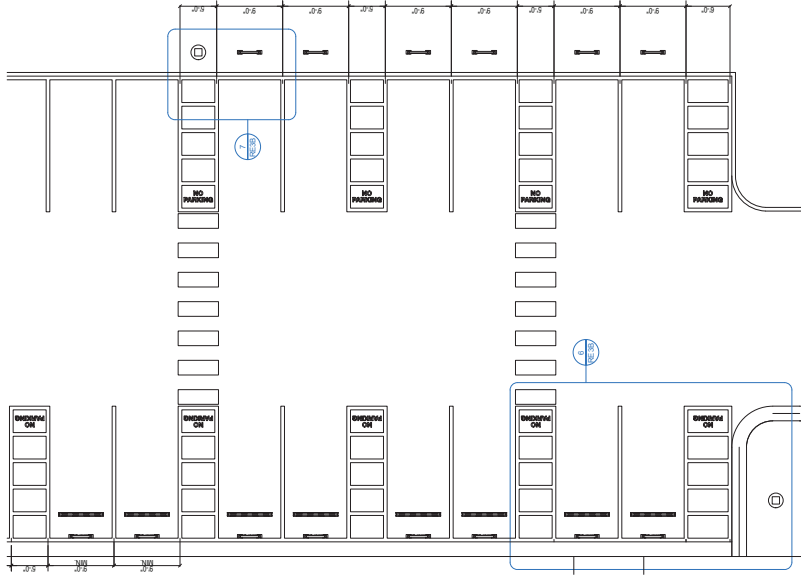
2. CRITERIA - DIRECTIONAL SIGN BLADE - 01  
 SCALE: 3/4" = 1'-0"



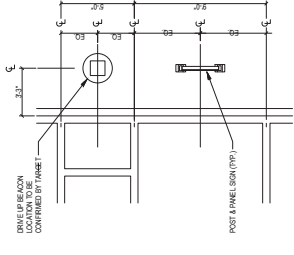
3. CROSS WALK PATTERN DETAIL  
 SCALE: 1/4" = 1'-0"



2. GROOVING DETAIL @ SIDEWALK  
 SCALE: 1" = 1'-0"



4. DRIVE UP CRITERIA - PARKING STALLS  
 SCALE: 1/4" = 1'-0"



7. PARKING STALLS - ENLARGED PLAN - 02  
 SCALE: 1/4" = 1'-0"

RESERVED FOR COUNTY STAMP





































REVISIONS	DATE	DESCRIPTION
1	08/15/2024	ISSUED PER CIVIL ENGINEERING
2	08/15/2024	REVISED PER CIVIL ENGINEERING
3	08/15/2024	REVISED PER CIVIL ENGINEERING
4	08/15/2024	REVISED PER CIVIL ENGINEERING
5	08/15/2024	REVISED PER CIVIL ENGINEERING
6	08/15/2024	REVISED PER CIVIL ENGINEERING
7	08/15/2024	REVISED PER CIVIL ENGINEERING
8	08/15/2024	REVISED PER CIVIL ENGINEERING
9	08/15/2024	REVISED PER CIVIL ENGINEERING
10	08/15/2024	REVISED PER CIVIL ENGINEERING
11	08/15/2024	REVISED PER CIVIL ENGINEERING
12	08/15/2024	REVISED PER CIVIL ENGINEERING
13	08/15/2024	REVISED PER CIVIL ENGINEERING
14	08/15/2024	REVISED PER CIVIL ENGINEERING
15	08/15/2024	REVISED PER CIVIL ENGINEERING
16	08/15/2024	REVISED PER CIVIL ENGINEERING
17	08/15/2024	REVISED PER CIVIL ENGINEERING
18	08/15/2024	REVISED PER CIVIL ENGINEERING
19	08/15/2024	REVISED PER CIVIL ENGINEERING
20	08/15/2024	REVISED PER CIVIL ENGINEERING

Digitally signed by Roger W. [Signature] DN: cn=Roger W. [Signature]

RESERVED FOR COUNTY STAMP

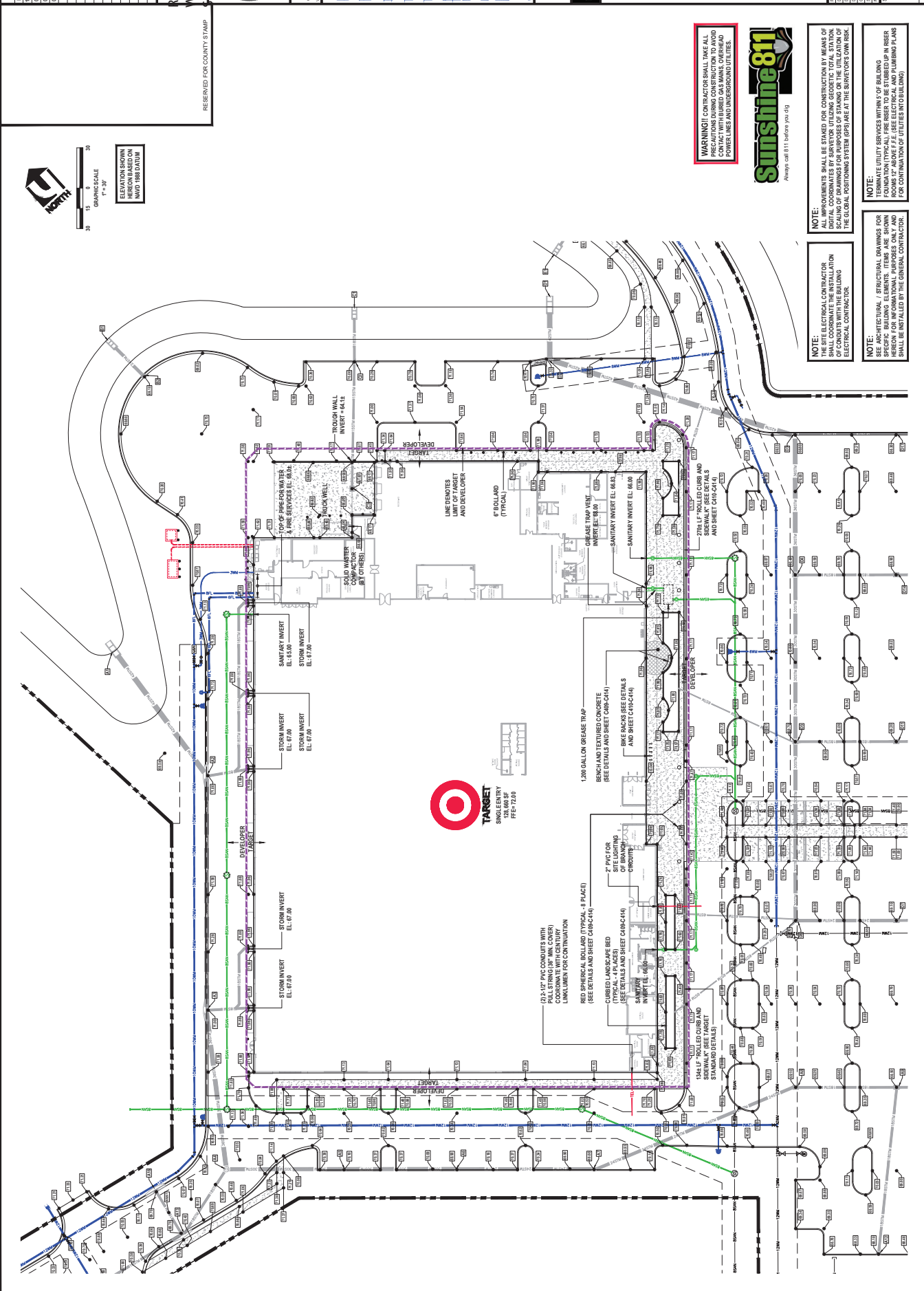
THE DRAWING IS THE PROPERTY OF UPHAM INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF UPHAM INC.

**TARGET**  
 124 S. 68th ST.  
 JACKSONVILLE, FL 32209  
 TEL: 904.450.7220  
 WWW.TARGET.COM

**BUILDING WALK AROUND PLAN**  
**TARGET OCALA**  
 ADDRESS IS: [Redacted]  
 MARION COUNTY, FLORIDA

PROJECT NO: [Redacted]  
 SHEET NO: [Redacted]  
 DATE: [Redacted]  
 DRAWN BY: [Redacted]  
 CHECKED BY: [Redacted]  
 SCALE: AS SHOWN

**C800**  
 SHEET NUMBER  
 CIVIL SHEET 41 OF 41



GRAPHIC SCALE  
 1" = 30'

ELEVATION SHOWN HEREON BASED ON NAVD 1988 DATUM

RESERVED FOR COUNTY STAMP

UPHAM INC.

RESERVED FOR COUNTY STAMP

RESERVED FOR COUNTY STAMP

RESERVED FOR COUNTY STAMP

RESERVED FOR COUNTY STAMP

RESERVED FOR COUNTY STAMP

RESERVED FOR COUNTY STAMP

RESERVED FOR COUNTY STAMP

RESERVED FOR COUNTY STAMP

RESERVED FOR COUNTY STAMP

RESERVED FOR COUNTY STAMP

RESERVED FOR COUNTY STAMP

RESERVED FOR COUNTY STAMP

RESERVED FOR COUNTY STAMP

RESERVED FOR COUNTY STAMP

RESERVED FOR COUNTY STAMP

RESERVED FOR COUNTY STAMP

RESERVED FOR COUNTY STAMP

RESERVED FOR COUNTY STAMP

RESERVED FOR COUNTY STAMP

RESERVED FOR COUNTY STAMP

RESERVED FOR COUNTY STAMP