March 26, 2025

PROJECT NAME: BASELINE ROAD INDUSTRIAL

PROJECT NUMBER: 2024050052

APPLICATION: MAJOR SITE PLAN #32452

1 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 2.12.9/10 - Proposed Drainage Right-of-Way/Easements

STATUS OF REVIEW: INFO

REMARKS: If the current parcel is platted drainage easements and/or tracts may be required at that time.

2 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 2.12.20 - Stormwater Infrastructure Supports Phasing

STATUS OF REVIEW: INFO

REMARKS: Stormwater improvements must be in place to support each phase of development at time of

phase completion.

3 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.12.6 - Roadway Flooding Level of Service

STATUS OF REVIEW: INFO

REMARKS: This criteria to be reviewed with resubmittal.

4 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.B(8) - Calculation & Plan Consistency

STATUS OF REVIEW: INFO

REMARKS: This criteria to be reviewed with resubmittal.

5 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI

STATUS OF REVIEW: INFO

REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.

6 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Copy of District Permit (County Interest)

STATUS OF REVIEW: INFO

REMARKS: Please provide a copy of the District permit prior to construction.

7 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Additional Stormwater comments

STATUS OF REVIEW: INFO

REMARKS: (1) If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org. (2) Proposed grading and drainage modifications that impact the FDOT ROW drainage systems need to be coordinated directly with FDOT.

8 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.11.5 - Driveway access

STATUS OF REVIEW: INFO

REMARKS: 3/4/25 - Driveways and all work performed in the right-of-way along SE 58th Ave requires permitting through FDOT in consultation with OCE Traffic. Provide any NOI letter received from FDOT for consultation review.

9 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.11.9.B - Traffic signs

STATUS OF REVIEW: INFO

REMARKS: 3/4/25 - Signs related to access to SE 58th Ave must be reviewed and approved by FDOT in

consultation with OCE Traffic.

10 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.12.11 - Turn lanes

STATUS OF REVIEW: INFO

REMARKS: 3/4/25 - Turn lane requirements will be reviewed following an approved traffic impact analysis.

11 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval

STATUS OF REVIEW: INFO

REMARKS: 2/18/25-add waivers if requested in future

12 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: Additional Development Review Comments

STATUS OF REVIEW: INFO

REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements

13 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.2.A(1) - Public water service area/provider

STATUS OF REVIEW: INFO

REMARKS: 2.18.25 - City of Belleview Utility Service Area

14 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.2.A(1) - Public sewer service area/provider

STATUS OF REVIEW: INFO

REMARKS: 2.18.25 - City of Belleview Utility Service Area

15 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.3.B - Springs Protection Zone

STATUS OF REVIEW: INFO

REMARKS: 2.18.25 - Yes. located within PRIMARY Spring Protection Zone.

16 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.15.3 - Fire Protection/Fire Flow Capacity

STATUS OF REVIEW: INFO

REMARKS: 2.18.25 - Defer to City of Belleview associated departments.

17 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities

STATUS OF REVIEW: INFO

REMARKS: 2.18.25 - No charge for initial utility review. Parcel is within City of Belleview Utility Service Area.

18 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REVIEW ITEM: Additional Health comments

STATUS OF REVIEW: INFO

REMARKS: Central Sewer/Central Water

If not available than septic permit will be required through the Department of Health in Marion County

19 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REVIEW ITEM: NFPA 1 Chapter 11.10.1 - In Building Minimum Radio Signal Strength

STATUS OF REVIEW: INFO

REMARKS: All new buildings and buildings which conduct renovations increasing the total floor space by greater than 50 percent of the floor area must comply with NFPA 1 Chapter 11.10.1. NFPA 1 Chapter 11.10.1 provides for the AHJ to establish minimum standards for in building public safety radio communications. Please be aware that your building will be required to conduct a test for the minimum radio signal strength to determine coverage. If the minimum radio signal strength is deemed insufficient then a radio signal enhancement system must be installed and the building retested to ensure it meets the minimum criteria. Please plan for this early in your project and contact Marion County Fire Rescue with any questions 352-291-8000

20 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REVIEW ITEM: Additional Fire comments

STATUS OF REVIEW: INFO

REMARKS: Knox Boxes are not an acceptable means of gate access.

21 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 6.11.4.B & D/7.3.1 - [Cross/Parallel Access Required/Suitable?]

STATUS OF REVIEW: INFO

REMARKS: Staff notes the cross access indicated does not extend to the northern entry corresponding with a full median opening for SE 58th Avenue (SR Hwy 35). Is there an opportunity to provide for that connection - as staff notes the existing Baseline Commerce Center development's access to the south that will be used is limited to a directional crossing configuration?

22 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.5/1.8.2.A - Concurrency/Traffic - Study/Capacity Available?

STATUS OF REVIEW: INFO

REMARKS: Some form of traffic analysis must be provided - please consult with OCE-Traffic staff to coordinate the submittal of a suitable traffic methodology for review and approval and subsequent traffic study for review and approval.

23 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: Additional Landscape comments

STATUS OF REVIEW: INFO

REMARKS: Consider replacing some of the Crape Myrtle with other understory trees that are evergreen

24 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.6 - Location of water and sewer. Does this need a special use permit?

STATUS OF REVIEW: INFO

REMARKS: Utility construction shall conform with LDC. Within City of Belleview Utility Service Area.

25 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.4.L(10) - Parking requirements, service entrances, space size paved parking isle and access to parking area/6.11.8 - Off-street parking requirements/6.11.7 - Loading Areas/ 6.11.6 - Construction access/route

STATUS OF REVIEW: INFO

REMARKS: If necessary, please ensure a plan for construction access and route are approved by the County. Please ensure that loading and unloading arrangement will not impact the flow of traffic on adjacent streets.

26 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 4.4.4 -Sign (provisions for advertising signage), if it is a multi occupancy complex like

shopping centers they must submit a master sign plan.

STATUS OF REVIEW: INFO

REMARKS: Will there be any signs?

27 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.27 - Show location of outside storage areas

STATUS OF REVIEW: INFO

REMARKS: Will there be any outdoor storage areas?

28 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 5.2 & 5.3 - Verify any overlay zones such as ESOZ, Springs Protection, or Flood Plain

STATUS OF REVIEW: INFO

REMARKS: Within Primary Springs Protection Zone (see Sec. 5.4 of LDC)

29 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: Additional Zoning comments

STATUS OF REVIEW: INFO

REMARKS: According to PUD conditions, 20% of the property (including all lots) shall remain as open space

Subdivision of the parcel shall require obtaining approval through the County's subdivision platting processes as appropriate.

30 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 2.12.8 - Topographical Contours

STATUS OF REVIEW: NO

REMARKS: Please submit a survey for review.

31 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 2.12.9/10 - Existing Drainage Right-of-Way/Easements

STATUS OF REVIEW: NO

REMARKS: Please submit a survey for review.

32 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 2.12.38 - Stormwater Maintenance Entity

STATUS OF REVIEW: NO

REMARKS: Owner's Certification to to be signed by property owner at the time of plan approval.

33 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.C - Geotechnical Investigation Report

STATUS OF REVIEW: NO

REMARKS: Geotechnical report needs to be signed and sealed.

34 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2 A(1)/(2) - Contributing Basins/Tc

STATUS OF REVIEW: NO

REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"

35 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations

STATUS OF REVIEW: NO

REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"

36 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.A(3) - Retention/Detention Area Design Parameters

STATUS OF REVIEW: NO

REMARKS: Please add the following note with the pond cross section: "A minimum of three feet of unconsolidated soil material shall be provided between the surface of any limestone bedrock and the bottom and sides of any stormwater facility."

37 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.4 - Stormwater Quantity Criteria

STATUS OF REVIEW: NO

REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"

38 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.B(4) - Hydrologic Analysis

STATUS OF REVIEW: NO

REMARKS: (1) County's watershed management plan shows offsite areas draining to this site from several sides of the property. The drainage basin map presented in the stormwater report does not appear to reflect this offsite runoff. Please revise the contributing basin map or provide documentation substantiating the basin map as shown. (2) County's watershed management plan also predicts discharge from the DRA on parcel 37482-015-02 to the subject parcel. Please indicate where this was included in the analysis. (3) Rainfall depth for the 100-year, 24-hour storm for this site is 11.5". This is the rainfall depth that was utilized in the development of the County's watershed management plan and is the only acceptable value in this area.

39 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.4.C - Discharge Conditions

STATUS OF REVIEW: NO

REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"

40 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.B(6) - Freeboard

STATUS OF REVIEW: NO

REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"

41 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.4.D - Recovery Analysis

STATUS OF REVIEW: NO

REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"

42 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.A(8) - Finish Floor Elevation Criteria

STATUS OF REVIEW: NO

REMARKS: Minimum finished floor elevation is required to be a minimum of one foot higher than the one percent (100-year) flood elevation (or corresponding stage in the DRA). Engineer to confirm that this criteria is met.

43 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.6 - Stormwater Quality Criteria

STATUS OF REVIEW: NO

REMARKS: Proposed DRA exceeds depth allowed by the LDC.

44 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.B(5) - Hydraulic Analysis

STATUS OF REVIEW: NO

REMARKS: Please update tailwater as needed once other comments related to DRA analysis are addressed.

45 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.8.B(3) - Lane Spread Calculations

STATUS OF REVIEW: NO

REMARKS: Please provide spread calculations for the proposed internal roadway.

46 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.9 - Grading Criteria

STATUS OF REVIEW: NO

REMARKS: Grading at property boundary to be verified once survey is submitted for review.

47 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.10 - Karst Topography and High Recharge Areas

STATUS OF REVIEW: NO

REMARKS: Please provide a signed & sealed Karst analysis.

48 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 7.1.3 - Drainage Construction Specifications

STATUS OF REVIEW: NO

REMARKS: (1) Plans label pipes generically as "SD" in several locations within the planset. LDC requires the use of RCP pipe for stormwater conveyance piping. To pursue using an alternative material, the engineer needs to submit a request letter identifying the alternative material type requested and providing documentation of compliance with the following conditions: 1. Pipe service life shall be equal to or greater than 100 years. 2. Pipe diameter for High Density Polyethylene (HDPE) and Polypropylene shall be 48" maximum. 3. Polyvinyl Chloride (PVC), HDPE, and Polypropylene pipe shall not be installed exposed to direct sunlight. 4. Steel pipe shall only be listed as an option after consideration of all other pipe materials and justification is provided. 5. Justification for steel pipe shall include, but not be limited to data and values of water levels, soil conditions, resistivity, pH, chlorides and sulfates. 6. Pipe shall not be installed outside of the allowable maximum and minimum cover heights as specified by the manufacturer.

49 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.12 - Operation and Maintenance

STATUS OF REVIEW: NO

REMARKS: Please provide an O&M manual detailing the steps for operating and maintaining the proposed system of inlets, drains and DRAs. An owner's certification is required on the O&M manual. Certification to state "I hereby certify that I, my successor, and assigns shall perpetually operate and maintain the stormwater management and associated elements in accordance with the specifications shown herein and on the approved plan." The individual signing the certification needs to be an agent or member of the entity that will own and maintain the stormwater system, or an authorized signatory of that entity. If signatory is not an agent or

member, a letter authorizing a different individual needs to be submitted with the signed documents. The authorization letter must be signed by and agent/officer of owner. Please have the person signing also print their name for verification. Sunbiz will be used to verify agents and/or officers. Please contact reviewer if you need examples of O&M manuals accepted in the past.

50 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.

STATUS OF REVIEW: NO

REMARKS: After all stormwater comments are resolved, please upload a digitally signed and sealed report. A hard copy signed and sealed report can be submitted if desired.

51 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.11.3 - Traffic Impact Analysis

STATUS OF REVIEW: NO

REMARKS: 3/4/25 - Traffic assessment is minimally required based upon reported trip generation. Traffic methodology must first be submitted separately for review and approval.

52 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.11.4.B - Cross access

STATUS OF REVIEW: NO

REMARKS: 3/4/25 - A 24' wide paved cross-access is required parallel to SE 58th Ave from any proposed driveway location(s) and connecting to the northern and southern property boundaries. The connection shown to SE 59th Ct may qualify as the required connection to the southern property boundary. Cross-access and / or right-of-way must be clearly specified on plans and must be recorded with the Right-of-Way office prior to final plan approval.

53 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.11.9.C - Pavement marking

STATUS OF REVIEW: NO

REMARKS:

54 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.12.2 - Right-of-way

STATUS OF REVIEW: NO

REMARKS: 3/4/25 - 64' ROW designation is shown on sheet C008 at a single location. Please clearly

specify the width and extent of all intended ROWs throughout plans.

55 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: Additional Traffic comments

STATUS OF REVIEW: NO

REMARKS: 3/4/25 - Typical sections are usually reviewed during an improvement plan review. LDC 2.18.1 requires an improvement plan for the construction of public or private roads. It is unclear whether public or private roads are being proposed.

56 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.C - Name, address, phone number, and signature of owner and applicant on front

sheet

STATUS OF REVIEW: NO

REMARKS: 2/18/25-Missing Owner and applicant phone number

57 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.2.A(1) - Letter of Availability and Capacity (w/Location Map of water and/or sewer as app) from provider

STATUS OF REVIEW: NO

REMARKS: 2.18.25 - Parcel is within City of Belleview Service Area. A letter from City of Belleview stating service availability and connection requirements shall be submitted prior to building permit issuance. Insure City of Belleview has seen and approved utility connections, as they are not part of MCU's review process.

58 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REVIEW ITEM: 6.18.3 - Gated Communities/Properties

STATUS OF REVIEW: NO

REMARKS: The project contains a gate for access to the property. Per Marion County Land Development Code Section 6.18.3 a siren activated gate shall be provided for emergency vehicular access. Please note on the plans the gate will be siren activated.

59 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 3.2.3 - NON-RESIDENTIAL - Complies with FAR?

STATUS OF REVIEW: NO

REMARKS: Revise the Cover Sheet site data table to include the site's resulting floor area ratio (FAR) - it should be listed with the buildings square footage on the table.

60 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: Additional Planning Items:

STATUS OF REVIEW: NO

REMARKS: Staff notes the plan includes large open areas north of the site's proposed building. The plan needs to state the intended use of those areas - for instance will they be lay-down areas, future development areas, etc.

The Landscape Plan sheets do not fully illustrate planned buffers along SE 58th Avenue (SR 35) - the illustrations cease at the northern entrance driveway. Additionally, the plan references a Type "C" Buffer that is ordinarily required; however, the LDC does require outdoor storage areas to be opaquely screened to an 8-foot vertical height. The Landscape Plans do not include any cross-sections or details regarding the buffer along SE 58th Avenue and the expected heights and opacity at this time.

61 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 6.2.1.A - The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet.

STATUS OF REVIEW: NO

REMARKS: Please provide survey.

62 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 6.2.1.E - Provide drawing legend

STATUS OF REVIEW: NO

REMARKS: Please provide survey.

63 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 6.2.1.F - Provide north arrow and graphic drawing and written scale

STATUS OF REVIEW: NO

REMARKS: Please provide survey.

64 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 6.4.7.A(1) - Show a minimum of two bench marks per site

STATUS OF REVIEW: NO

REMARKS: Please provide survey.

65 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 6.4.7.A(2 & 3) - Bench mark information shown

STATUS OF REVIEW: NO

REMARKS: Please provide survey.

66 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 6.4.7.B(1) - Show a minimum of two intervisible horizontal control points per site

STATUS OF REVIEW: NO

REMARKS: Please provide survey.

67 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 6.4.7.B(2) - Horizontal control points shall be monumented and referenced to the Florida

State Plane Coordinate System STATUS OF REVIEW: NO

REMARKS: Please provide survey.

68 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 6.4.7.B(4) - Provide a statement or table detailing horizontal datum, adjustment, and

coordinate values

STATUS OF REVIEW: NO

REMARKS: Please provide survey.

69 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 6.4.7.D - The location of the existing one percent (100-year) flood plain as shown on

FEMA FIRM, with zone, elevation, and vertical datum noted

STATUS OF REVIEW: NO

REMARKS: Please provide survey.

70 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 6.4.7.D - A note shall appear on the construction plans detailing source and survey field

methods used to obtain and delineate the flood plain line shown

STATUS OF REVIEW: NO

REMARKS: Please provide survey.

71 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 6.4.7.E - Line and curve table must be shown on the sheet to which they apply

STATUS OF REVIEW: NO

REMARKS: Please provide survey.

72 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 6.4.7.F - All abbreviations used shall be clearly defined in the legend

STATUS OF REVIEW: NO

REMARKS: Please provide survey.

73 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 2.12.4.F.(2) - Surveyor and Mapper certification

STATUS OF REVIEW: NO

REMARKS: Please provide survey.

74 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 2.12.8 - Provide current boundary and topographic survey less than one year old

STATUS OF REVIEW: NO

REMARKS: Please provide survey.

75 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 2.12.9 - Provide location and dimensions of all rights-of-way serving the project

STATUS OF REVIEW: NO

REMARKS: Please provide survey.

76 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 2.12.10 - Show any known existing or proposed easement or land reservation

STATUS OF REVIEW: NO

REMARKS: Please provide survey.

77 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 2.12.11 - Provide an aerial map of the site with a layout of the development

STATUS OF REVIEW: NO

REMARKS: Please overlay site plan onto an aerial.

78 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 2.12.18 - All trees 10" DBH and larger

STATUS OF REVIEW: NO

REMARKS: Provide Tree list or table showing Tree species, size and condition

79 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.4 - Shade tree requirements

STATUS OF REVIEW: NO

REMARKS: 1. Were trees to be preserved included in shade tree calculation? 2. Are there other areas to

place trees to reduce apparent crowding of trees?

80 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.6 - Tree removal submittal requirements

STATUS OF REVIEW: NO

REMARKS: Provide calculations showing total inches removed

81 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.8 - Protected tree replacement requirements

STATUS OF REVIEW: NO

REMARKS: Provide calculations showing pre and post tree inches per acre, tree inches removed, tree inches

to be preserved, tree inches provided and any deficit inches on site.

82 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.9 - Replacement trees; general requirements

STATUS OF REVIEW: NO

REMARKS: Provide calculations showing replacement tree inches required and provided

83 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes)

STATUS OF REVIEW: NO

REMARKS: Show native status for each plant in plant schedule

84 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.6 - Buffers STATUS OF REVIEW: NO

REMARKS: 1. Why is buffer along SE 58th Ave continued past project limits?

2. Clarify why buffer ends at north entrance 3. Confirm with Planning and Zoning if a buffer is required on

the East boundary to the Railroad

85 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.8 - Building landscaping

STATUS OF REVIEW: NO

REMARKS: Building landscaping should try to reduce the monotony of large blank walls. Consider taller

plants to help with the scale of the building.

86 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.9.2 - Irrigation plan requirements (details, legend, notes)

STATUS OF REVIEW: NO

REMARKS: Provide signed and sealed irrigation plans

87 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.19.3 - Outdoor lighting plan requirements

STATUS OF REVIEW: NO

REMARKS: Provide signed and sealed photometric plans

88 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.21/6.3.1.C(10) - Land use and zoning on project and on adjacent properties shown

STATUS OF REVIEW: NO

REMARKS: Land use/zoning included in sheets C001 and C004. Please indicate all developers'

agreements/relevant PUDs on cover sheet.

89 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.4.L(4) - Zoning requirements: lot width, area, setbacks, coverage (floor area ratios)

and parking

STATUS OF REVIEW: NO

REMARKS: No building setbacks indicated on site plans. Please include required building setbacks on site

plans.

90 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.23/4.2 -Setbacks, dimensions for all improvements, and easements

STATUS OF REVIEW: NO

REMARKS: No building setbacks indicated on site plans.

91 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.24 - Landscape requirements/6.8.6 - Buffering

STATUS OF REVIEW: NO

REMARKS: Type C Buffer only extends along building lot adjacent to 58th Ave. Recognize need for appropriate buffer along entire length of ROW even if no development is proposed at this time. Similar issue with requirement to install fence at rear lot lines, etc.

Please indicate garbage collection area with the required buffering (see Sec. 6.8.9 of LDC). No buffer required along proposed railway.

92 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.9 - Show adjacent streets serving development

STATUS OF REVIEW: NO

REMARKS: Please indicate SE 68th Street

93 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.32 - Modified Environmental Assessment for Listed Species (LDC 6.5.4) -OR- EALS Exemption Application (LDC 6.5.3) submitted (including habitat assessment as necessary per LDC 6.6.4)

STATUS OF REVIEW: NO

REMARKS: Only limited environmental due diligence survey has been provided. Please provide a full EALS document or clear-cut EALS exemption request, as indicated in Sec. 6.5 of LDC

94 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.19 - Provide dimensions and location of all existing site improvements; dimensions and location for all proposed site improvements with all setbacks

STATUS OF REVIEW: NO

REMARKS: No building dimensions indicated on site plans. Please include building dimensions, including height.

95 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Major Site Plan

STATUS OF REVIEW: NO

REMARKS: We will need to know who will be signing the cover sheet under the successors. Please update with a name. 2/19/25 HR

IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]." Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec. 6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

- 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."
- 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) —

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."



Marion County Board of County Commissioners

Office of the County Engineer

AR 32452

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Section & Title of Code (be specific): 6.13.6 - Stormwater Quality Criteria Reason/Justification for Request (be specific): Request a waiver to allow a stormwater pond depth of 7.5 feet. Similar pond depths have been approved on like-use projects in the County. Geotechnical borings do not indicate karst features are present in the pond excavation.	Date: 03/21/2025 Parcel Number(s): 37490-000-	00Permit Number:32452
Subdivision Name (if applicable): Unit Block Lot Tract 3. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below. Name (print): Baseline Industrial, LLC Signature: Mailing Address: 16 SE Broadway Street Zip Code: 34471 Phone # 352.732.5255 Email address: C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receiv all correspondence. Firm Name (if applicable): Kimley-Horn & Associates Contact Name: Mohammed Murad P.E. Mailing Address: 1700 SE 17th Street, Suite 200 State: FL Zip Code: 34471 Phone # 352-622-9214 Email address: ocala.permits@kimley-horn.com D. WAIVER INFORMATION: Section & Title of Code (be specific): 6.13.6 - Stormwater Quality Criteria Reason/Justification for Request (be specific): Request a waiver to allow a stormwater pond depth of 7.5 feet. Similar pond depths have been approved on like-use projects in the County. Geotechnical borings do not indicate karst features are present in the pond excavation. DEVELOPMENT REVIEW USE: Received By: Email Date Processed: 3/26/25 BM Project # 2024050052 AR # 32452	A. PROJECT INFORMATION: Fill in below as app	plicable:
Subdivision Name (if applicable): Unit Block Lot Tract 3. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below. Name (print): Baseline Industrial, LLC Signature: Mailing Address: 16 SE Broadway Street Zip Code: 34471 Phone # 352.732.5255 Email address: C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receiv all correspondence. Firm Name (if applicable): Kimley-Horn & Associates Contact Name: Mohammed Murad P.E. Mailing Address: 1700 SE 17th Street, Suite 200 State: FL Zip Code: 34471 Phone # 352-622-9214 Email address: ocala.permits@kimley-horn.com D. WAIVER INFORMATION: Section & Title of Code (be specific): 6.13.6 - Stormwater Quality Criteria Reason/Justification for Request (be specific): Request a waiver to allow a stormwater pond depth of 7.5 feet. Similar pond depths have been approved on like-use projects in the County. Geotechnical borings do not indicate karst features are present in the pond excavation. DEVELOPMENT REVIEW USE: Received By: Email Date Processed: 3/26/25 BM Project # 2024050052 AR # 32452	Project Name: Baseline Road Industrial	Commercial X Residential
B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below. Name (print): Baseline Industrial, LLC Signature:	Subdivision Name (if applicable):	
owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below. Name (print): Baseline Industrial, LLC Signature: Mailing Address: 16 SE Broadway Street City: Ocala State: FL Zip Code: 34471 Phone # 352.732.5255 Email address: C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receiv all correspondence. Firm Name (if applicable): Kimley-Horn & Associates Contact Name: Mohammed Murad P.E. Mailing Address: 1700 SE 17th Street, Suite 200 City: Ocala State: FL Zip Code: 34471 Phone # 352-622-9214 Email address: ocala.permits@kimley-horn.com D. WAIVER INFORMATION: Section & Title of Code (be specific): 6.13.6 - Stormwater Quality Criteria Reason/Justification for Request (be specific): Request a waiver to allow a stormwater pond depth of 7.5 feet. Similar pond depths have been approved on like-use projects in the County. Geotechnical borings do not indicate karst features are present in the pond excavation. DEVELOPMENT REVIEW USE: Received By:Email Date Processed: 3/26/25 BM Project # 2024050052 AR # 32452	UnitBlockLotTract	(<u> </u>
Signature: Mailing Address: 16 SE Broadway Street State: FL Zip Code: 34471 Phone # 352.732.5255 Email address: C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence. Firm Name (if applicable): Kimley-Horn & Associates Contact Name: Mohammed Murad P.E. Mailing Address: 1700 SE 17th Street, Suite 200 City: Ocala State: FL Zip Code: 34471 Phone # 352-622-9214 Email address: ocala.permits@kimley-horn.com D. WAIVER INFORMATION: Section & Title of Code (be specific): 6.13.6 - Stormwater Quality Criteria Reason/Justification for Request (be specific): Request a waiver to allow a stormwater pond depth of 7.5 feet. Similar pond depths have been approved on like-use projects in the County. Geotechnical borings do not indicate karst features are present in the pond excavation. DEVELOPMENT REVIEW USE: Received By: Email Date Processed: 3/26/25 BM Project # 2024050052 AR # 32452	owner's behalf for this waiver request. The signatu	
Signature: Mailing Address: 16 SE Broadway Street State: FL Zip Code: 34471 Phone # 352.732.5255 Email address: C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence. Firm Name (if applicable): Kimley-Horn & Associates Contact Name: Mohammed Murad P.E. Mailing Address: 1700 SE 17th Street, Suite 200 City: Ocala State: FL Zip Code: 34471 Phone # 352-622-9214 Email address: ocala.permits@kimley-horn.com D. WAIVER INFORMATION: Section & Title of Code (be specific): 6.13.6 - Stormwater Quality Criteria Reason/Justification for Request (be specific): Request a waiver to allow a stormwater pond depth of 7.5 feet. Similar pond depths have been approved on like-use projects in the County. Geotechnical borings do not indicate karst features are present in the pond excavation. DEVELOPMENT REVIEW USE: Received By: Email Date Processed: 3/26/25 BM Project # 2024050052 AR # 32452	Name (print): Baseline Industrial, LLC	
Mailing Address: 16 SE Broadway Street State: FL Zip Code: 34471 Phone # 352.732.5255 Email address: C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence. Firm Name (if applicable): Kimley-Horn & Associates Contact Name: Mohammed Murad P.E. Mailing Address: 1700 SE 17th Street, Suite 200 City: Ocala State: FL Zip Code: 34471 Phone # 352-622-9214 Email address: ocala.permits@kimley-horn.com D. WAIVER INFORMATION: Section & Title of Code (be specific): 6.13.6 - Stormwater Quality Criteria Reason/Justification for Request (be specific): Request a waiver to allow a stormwater pond depth of 7.5 feet. Similar pond depths have been approved on like-use projects in the County. Geotechnical borings do not indicate karst features are present in the pond excavation. DEVELOPMENT REVIEW USE: Received By: Email Date Processed: 3/26/25 BM Project # 2024050052 AR # 32452	Signature:	
Email address: C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence. Firm Name (if applicable): Kimley-Horn & Associates Contact Name: Mohammed Murad P.E. Mailing Address: 1700 SE 17th Street, Suite 200 City: Ocala State: FL Zip Code: 34471 Phone #_ 352-622-9214 Email address: ocala.permits@kimley-horn.com D. WAIVER INFORMATION: Section & Title of Code (be specific): 6.13.6 - Stormwater Quality Criteria Reason/Justification for Request (be specific): Request a waiver to allow a stormwater pond depth of 7.5 feet. Similar pond depths have been approved on like-use projects in the County. Geotechnical borings do not indicate karst features are present in the pond excavation. DEVELOPMENT REVIEW USE: Received By:Email Date Processed: 3/26/25 BM Project # 2024050052 AR # 32452	Mailing Address: 16 SE Broadway Street	City: Ocala
Email address: C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence. Firm Name (if applicable): Kimley-Horn & Associates Contact Name: Mohammed Murad P.E. Mailing Address: 1700 SE 17th Street, Suite 200 City: Ocala State: FL Zip Code: 34471 Phone #_ 352-622-9214 Email address: ocala.permits@kimley-horn.com D. WAIVER INFORMATION: Section & Title of Code (be specific): 6.13.6 - Stormwater Quality Criteria Reason/Justification for Request (be specific): Request a waiver to allow a stormwater pond depth of 7.5 feet. Similar pond depths have been approved on like-use projects in the County. Geotechnical borings do not indicate karst features are present in the pond excavation. DEVELOPMENT REVIEW USE: Received By:Email Date Processed: 3/26/25 BM Project # 2024050052 AR # 32452	State: FL Zip Code: 34471 Phone	#_ 352.732.5255
C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence. Firm Name (if applicable): Kimley-Horn & Associates	Email address:	
D. WAIVER INFORMATION: Section & Title of Code (be specific): 6.13.6 - Stormwater Quality Criteria Reason/Justification for Request (be specific): Request a waiver to allow a stormwater pond depth of 7.5 feet. Similar pond depths have been approved on like-use projects in the County. Geotechnical borings do not indicate karst features are present in the pond excavation. DEVELOPMENT REVIEW USE: Received By: Email Date Processed: 3/26/25 BM Project # 2024050052 AR # 32452	all correspondence. Firm Name (if applicable): Kimley-Horn & Association Mailing Address: 1700 SE 17th Street, Suite 200	atesContact Name:Mohammed Murad P.ECity: _Ocala
Section & Title of Code (be specific): 6.13.6 - Stormwater Quality Criteria Reason/Justification for Request (be specific): Request a waiver to allow a stormwater pond depth of 7.5 feet. Similar pond depths have been approved on like-use projects in the County. Geotechnical borings do not indicate karst features are present in the pond excavation. DEVELOPMENT REVIEW USE: Received By: Email Date Processed: 3/26/25 BM Project # 2024050052 AR # 32452		
Received By: Email Date Processed: 3/26/25 BM Project # 2024050052 AR # 32452	Reason/Justification for Request (be specific): Request (be specific	uest a waiver to allow a stormwater pond depth of 7.5 feet.
Received By: Email Date Processed: 3/26/25 BM Project # 2024050052 AR # 32452		
3/21/25 ZONING USE: Parcel of record: Yes □ No □ Eligible to apply for Family Division: Yes □ No □ Zoned: □ ESOZ: □ P.O.M. □ Land Use: □ Plat Vacation Required: Yes □ No □ Date Reviewed: Verified by (print & initial):	DEVELOPMENT REVIEW USE: Received By: Email Date Processed: 3/26/2	25 BM Project # 2024050052 AR # 32452
Zoned: ESOZ: P.O.M Land Use: Plat Vacation Required: Yes \Box No \Box Date Reviewed: Verified by (print & initial):	3/21/25 ZONING USE: Parcel of record: Ves □ No □	Fligible to apply for Family Division• Ves □ No □
Date Reviewed: Verified by (print & initial):	Zoned: ESOZ: P.O.M L	and Use: Plat Vacation Required: Yes \Box No \Box
	Date Reviewed: Verified by (print & in	itial):



Marion County Board of County Commissioners

Office of the County Engineer

Updated Application AR 32452

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 05/29/2	025 Parcel Number(s)	: 37490-000-00		ermit Number: 32452	2
A. PROJECT IN	NFORMATION: Fill in	below as applicabl	e:		
Project Name	Baseline Road Industr	ial		Commercial X F	Residential
Subdivision N	lame (if applicable):			_	
Unit	Name (if applicable): BlockLot	Tract			
owner's behal	OWNER'S AUTHORI If for this waiver reques ginal signature below.				
Name (print):	Baseline Industrial, LL	С			
Signature:					
Mailing Addr	ess: <u>16 SE Broadway St</u> Zip Code: <u>34471</u>	treet		City:_Ocala	
State: FL	Zip Code: <u>34471</u>	Phone #35	52.732.5255		
Email address	: <u> </u>				
all correspond Firm Name (in Mailing Address)	ence. f applicable): Kimley-H ess: 1700 SE 17th Stree	orn & Associates t, Suite 200	Contact Name	e: Mohammed Murad City: Ocala	P.E.
State: FL	Zip Code: 34471	Phone # 35	52-622-9214		
	: ocala.permits@kimley				
Reason/Justifi The proposed use of Geotechnical boring	FORMATION: le of Code (be specific): le cation for Request (be so of the project is industrial, which is confirm that no karst feature discharge from surrounding an	pecific): This waiver r h qualifies for waiver co as are present within the	equest is to allow a stormwatensideration when the develop proposed pond excavation are	ment area exceeds 10 acres eas. Furthermore, the ponds	s. s will be receiving
<u> </u>	alconarge from carrounding ar	odo triat odriority laok o	to manage	Tarion from oknor pro- or pe	soc acveropinent containence.
	T REVIEW USE:Date Proces	ssed:	Project #	AI	R #
ZONING USE: Zoned:	Parcel of record: Yes DESOZ:P.O.M	No □ MLand U	Eligible to apply for se:Plat V	r Family Division: Yeacation Required: Ye	s □ No □ s □ No □
Date Keviewed:	Verified	oy (print & initial):			

Revised 6/2021 3

GENERAL NOTES

LAND USE DEVELOPMENT DATA PARCEL ID NUMBER: PRESENT ZONING: COMMEDICE DISTRIC 93.67 ACRES PARCEL AREA: PROJECT LIMITS AREA: PROJECT OPEN SPACE AREA: 12.04 ACRES BUILDING AREA: ±311,856 SF

ROADWAYS, DRAINAGE, AND COMMON AREAS.
THE OWNER SHALL PROVIDE PERPETUAL MAINTENANCE FOR THE STREETS, DRAINAGE SYSTEM.

PERMITS
THIS PROJECT WILL REQUIRE ADDITIONAL PERMITS FROM:

- ALL STREETS TO BE PRIVATELY OWNED AND MAINTAINED
- NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
- ALL LIGHTING WILL BE SHIELDED TO NOT CAST GLARE ONTO ADJACENT PROPERTY.

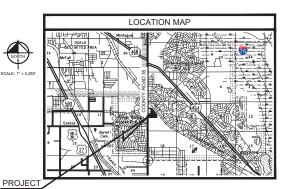
CONSTRUCTION PLANS FOR

BASELINE ROAD INDUSTRIAL SITE

MARION COUNTY, FLORIDA

SECTION 7, TOWNSHIP 16 SOUTH, RANGE 23 EAST PARCEL ID # 37490-000-00

FEBRUARY 2025



AGENCY CONTACT LISTING

ELECTRIC
DUKE ENERGY
452 E. CROWN POINT RD
WINTER GARDEN, FL 347
DAWN SOTO

DRAWING INDEX

C001 - COVER SHEET

C013 - POND PLAN C014 - MASTER UTILITY PLAN C015 TO C017 - UTILITY PLAN C018 TO C019 - CONSTRUCTION DETAILS C020 TO C021 - LITH ITY DETAILS

C002 - GENERAL NOTES

C004 - MASTER SITE PLAN C005 TO C008 - SITE PLAN

LS-1 TO LS-8 - LANDSCAPE PLAN

C003 - EXISTING CONDITIONS AND DEMOLITION PLAN

ER001 TO ER003 - EROSION CONTROL PLAN DETAILS

1 TO 5 - BOUNDARY AND TOPOGRAPHIC SURVEY

(ROGERS ENGINEERING, LLC)

C009 TO C012 - PAVING, GRADING & DRAINAGE

SHEET TITLE

YOU DIG IT'S THE LAW!

Kimley» Horn

SHEET

COVER

BASELINE ROAD INDUSTRIAL

PREPARED FOR SUNCAP PROPERTY GROUP,

C001

PROJECT OWNER AND CONSULTANTS

GENERAL CONSTRUCTION NOTES

- . THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FLAMBSHING, ALL MATERIAL, AND LABOR TO CONSTRUCT HE REGILITY AS SHOWN AND BESCHEDS IN THE COSSITRATION OF COMMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES. SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL LEAR AND GRIBE ALL AREAS UNLESS OTHERWISE RIDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PARWENT AND ALL DIFFERENCE RELIEFENDIS MITERIAL.
- BUSING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE. TO THE ENGINEER AT THE TIME OF THE FOODCRAPPLE SURVEY AND MUST NOT BEEN INGERENDERLY VERRIED BY THE OWNER OR THE ENGINEER. QUARANTEE IS NOT LICENTED AND ADDRESS OF THE SHORE THE ACCURATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES MY WORK IN THE VENUEY. FURTHERMORE, THE CHORD CONTRACTOR'S FEED AND THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE CONTRACTOR'S RESPONSIBILITY AND SHALL BE CONTRACTOR'S FAILURE TO EXCENT YEAR OF THE SHORE AND ADDRESS OF THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESENTE ANY AND ALL ENDERGOADION UTILITIES. THE OWNER OF RESIDENCE WILL ASSUME NO LIQUID HE WAS AND ADDRESS OF THE SHAPE OF THE SH
- 4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE DIRECTOR OF REAR IT LITTLES WITHIN OR PEAR THE CONSTRUCTION AREA SEPTIME COMMERCION WHICH, THE CONTRACTOR SHAPE CONSTRUCTION A LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL SEPTIME COMMERCIAND WORK IS PROVIDED ON THE COVER SHEET OF THESE CALL SEPTIME COMMERCIAND WORK IS PROVIDED ON THE COVER SHEET OF THESE LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH OF NOTIFICIAL ORDINATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL. TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- . ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK, NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST. RESULTS ARE
 TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE
 TESTING AGENCY.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEERA CERTIFIED RECORD SURVEY SIGNED AND SEALED BY PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED BM PROFUNDEMENTS THAT ARE REQUIRED BY THE STATE OF THE PROFUNDING THAT ARE REQUIRED BY THE STATE OF THE PROFUNDING THAT ARE THE CONTRACTORS RESPONSIBILITY, RECORD SURVEY (AS-BUILT) TO BE CLEVERED TO THE ENGINEER ON LESS THAN 60 DAYS BEFORE FINAL COMPLETION.
- THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT.
 CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSU
- ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
- ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVER' IS MADE.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFINED THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANE DO NOT CORPLICT WITH ANY NEW DISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL MOTIFY THE COMER PROPORT OR INSTALLATION OF ANY PORTION OF THE PROPOSED OF

DEMOLITION NOTES

- ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
- 2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES FOR, LOCATED WITHIN THE PROJECT STEEL BUNESS OTHERWISH NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PLES, SLONS, AND ALL APPURIETHANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERTY DISPOSED OF IN A LEGAL, MANNER AS PART OF THIS CONTRACTOR AND PROPERTY DISPOSED OF IN A LEGAL, MANNER AS PART OF THIS TOPOGRAPHIC SURVEY, IT IS THE CONTRACTOR SERVISIONISHING THE SITE AND DETERMINE THE FILL EXTENT OF TIEMS TO BE REMOVED. IF ANY TIEMS ARE IN QUESTION, THE CONTRACTOR SERVICE PROOF TO REMOVAL OF
- THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN FOR DEMOLITION/PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.

PAVING, GRADING AND DRAINAGE NOTES

- ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN COUNTY'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
- ALL UNPAYED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
- TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOTF/FHW), AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL, ASENCY HAVING JURSSICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURSSICTIONAL AGENCY REQUIREMENTS ARE ON TRACEMENT. THE MOST
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOIN AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES
 FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY
 THE OWNER ALL DRAINAGE STRUCTURES SHALL BE CLEARDED OF DEBRIS AS REQUIRED
 DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
- IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
- STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
- FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL
 JURISDICTIONAL AGENCY OR TO FOOT STANDARDS. IN THE EVENT THAT THE CONTRACT
 DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN
 AGREEMENT. THE MOST STRINGENT SHALL GOVERN.
- 12. ALL SUPES AND AREAS DESTURED BY CONSTRUCTION SHALL BE GRACED AS PER PLANS. THE AREAS SHALL THEN BE GOODED ON RECIDED AS SEPCRIFED IN THE FLANS. FERTLEDE, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS STALESISED BY ALL AREAS. ANY MEAS DISTURBED FOR ANY PERSON PROFFO TO FINAL ACCORDING TO THE CONSTRUCTION OF THE CONTROL OF THE CO
- SODDING AND LANDSCAPE TO BE MAINTAINED REGULARLY BY THE CONTRACTOR (MOWED AND CLEAN) UNTIL FINAL OWNER ACCEPTANCE.
- 14. ALL CUT OR FILL SLOPES SHALL BE 4 (HORIZONTAL):1 (VERTICAL) OR FLATTER UNLESS
- 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- 16. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL. TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY MEMBERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS NOT OT HE RECEIVEN WHERE ROOT EXISTS DUE TO THE PROFESSE WHOKE TURBINGTHY BARRIERS FOR THE PROFESSE OF THE PROFESSE WHOKE TURBINGTHY BARRIERS FOR THE PROFESSE OF THE CONTRACTOR MUST SERVICE BRARRIERS. AT ON TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH MOLATES THE WATER QUALITY STANDARDS IN CHAPTER IT SOL, PLACIFIED AND STREAMS THE WATER QUALITY STANDARDS IN CHAPTER IT SOLE, PLACIFIED AND STANDARDS IN CHAPTER IT SOLE AND ADDRESS AND STANDARDS IN CHAPTER IT SOLE AND ADDRESS AND STANDARDS AND STANDAR
- SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
- 18. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, ENHBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.
- 9. THE CONTRACTOR SHALL ENSINE THAT ISJAND YEAVINING AREAS AND OTHER PLAYTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

WATER AND SEWER UTILITY NOTES

- 1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES AND DOWSETTO WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, SCIEDWRST, MACHINERY, TOLDS, MARKOO FT TRANSPORTATION AND THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE CHART THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS. IN THE VENT THAT THE CONTRACT THE JURISDICTIONAL AGENCY REQUIREMENTS. IN THE WORLD STRONGER SHALL DOWNER.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE
- DELECTION OF PIPE. DOINTS AND CUPNATURE OF PIPE SMALL NOT EXCEED THE MANUFACTURENTS SPECIFICATIONS. SCOURT LYCOSE ALL OPEN LOSS OF PIPE AND OF THE PIPE SMALL BECLEAN ALLO WHISHERDORK LOSS ALLO PRECIDENS. THE INTERIOR OF ALL PIPES SMALL BECLEAN MAJ DOINT SURPACES WHED CLEAN MAD DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
- 4. ALL PHASES OF INSTALLATION, INCLUDING INLOMDING, TRENCHING, LAYING AND BACK PILLING, SHALL BE DONE IN A FIRST CLASS WORKMAN ER MANNER. ALL PIPE AND RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY DLI PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH LINING IN ANY DLI PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH BROKEST INFT FOR ITS SHALL OF THE VIPE. ANY PIPE OF THE SHATCH CONTY FOR USES SHALL BE CLEARLY MARKED AND MIMEDATELY REMOVED FROM THE JOB SITE. AND SHALL BE REPACED AT THE CONTRACTOR TO STEPS.
- WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLE BEING BROLIGHT ON SITE
- ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE COVERNING JURISDICTIONAL AGENCY SEPCIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL DOVERN.
- 7. UNDERGROUND LINES SHALL BE SURVEYED BY A PROFESSIONAL LAND SURVEYOR
- 8. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY MID ALL TESTS REQUIRED BY THE SPECIFICATIONS ANDONE MAY AGRIFY JAVING, AURISDICTION THESE TESTS WAY NCLIDE, BUT MAY NOT BE LIMITED TO, INFLITRATION AND EXPLITATION, TELEVISION, INSPECTION AND A MADRIEL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.

EROSION CONTROL NOTES

- THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN SPECIFICATIONS OF THE SWPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION
 PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION
 PLAN AND THE STATE OF FLORION ANTIONAL POLLUTANT DISCHARGE ELIMINATION
 SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR
- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING ACENCY OR OWNER.
- EROSION CON I ROL PLAN MUST CLEARLY DELINEATE ALL STATE WATERS, PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- 6. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.

EROSION CONTROL NOTES (CONT.)

- STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.
- 14. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TRIES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OF THE IST!
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED AS SOON AS POSSIBLE.
- 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEMER DRAINAGE SYSTEMS IN COMMINICTION WITH THE STABILIZATION OF THE SITE
- 17. ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEGIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW SHALL BE PERMITTED IN ACCORDANCE WITH GENERAL PERMIT BEGUIRFURFURS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTR MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.
- ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACK FILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

MAINTENANCE

ALL MEASURES STATED ON THE EROSION AND SEDMENT CONTROL PLAN, AND IN THE STORM WATER POLITION PROSENTION PLAN SHALL BE AMMATIMED IN PLAN SHALL PLAN STORM WATER POLITION PLAN SHALL PLAN SHA

- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 961 OF THE STANDARD SPECIFICATIONS.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- 5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS
- OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 55 CUBIC YARDS / ACRE.
- ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

CALL 2 BUSINESS DAYS BEFORE YOU DIG IT'S THE LAW! DIAL 811



Kimley/// Horn

Tros and the recovery and the resolution of the re

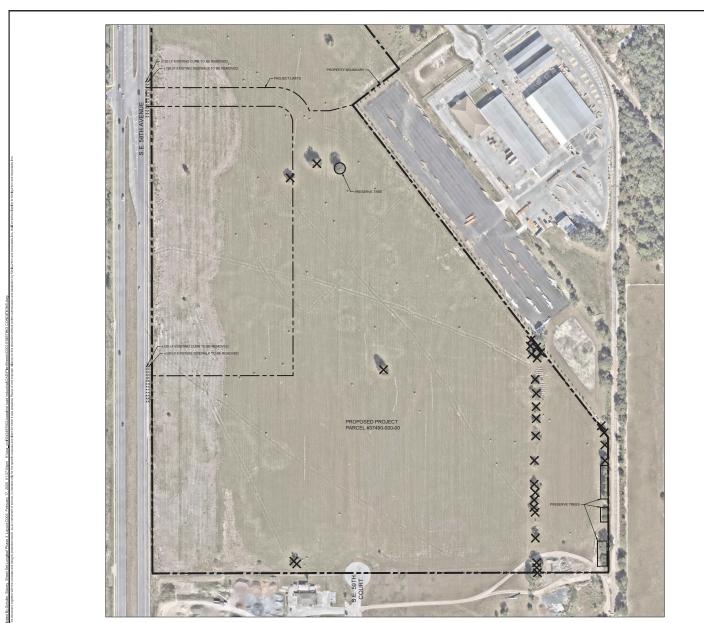
NERAL NOTES

핑

USTRIAL
NEPARED FOR
OPERTY GROUP, LLC

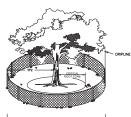
BASELINE F INDUSTR PREPARED F

SHEET NUMBER















DEMOLITION NOTES

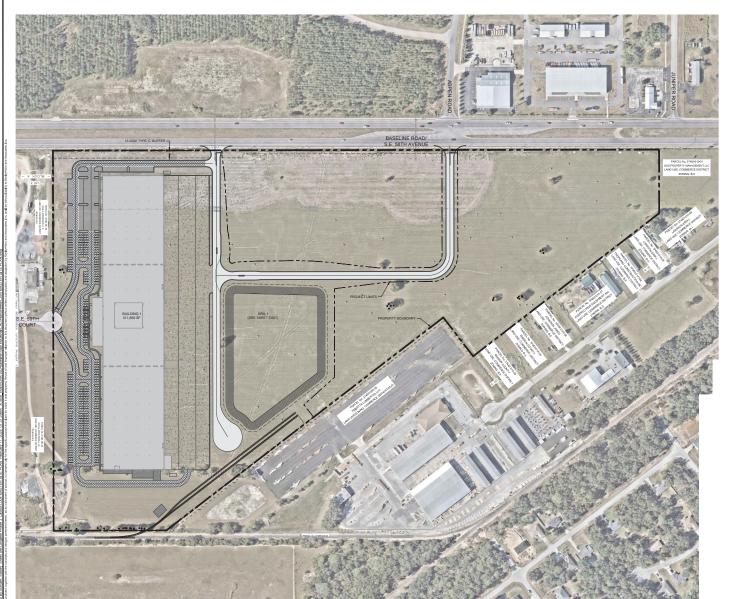




EXISTING
CONDITIONS AND
DEMOLITION PLAN

Kimley»Horn

PREPARED FOR SUNCAP PROPERTY GROUP, LLC BASELINE ROAD INDUSTRIAL





PAVEMENT LEGEND

- STANDARD DUTY PAVEMENT (SEE DETAIL SHEET C017)

(SEE DETAIL SHEET CO17)

- HEAVY DUTY PAVEMENT
(SEE DETAILS SHEET CO17)
- CONCRETE PAVEMENT
(SEE DETAILS SHEET CO17)
- CONCRETE SIDEWALK
(SEE DETAILS SHEET CO17)

37490-000-00 33.48 ACRES X 12083C0735D
33.48 ACRES
×
12092C072ED
12003001330
CD
B-5 AND PUD
ACKS
TYPE C (15 FEET)
N/A
N/A
N/A
B-5: 50' PUD: 75'

NONRESIDENTIAL LAND USE: WAREHOUSE	
1 SPACE PER 3,000 SF. GFA	
BUILDING I (311,856 SF)	
TOTAL SPACES REQUIRED	104
STANDARD SPACES (10'X20') PROVIDED	186
VAN/ACCESSIBLE SPACES REQUIRED	5
VAN/ACCESSIBLE SPACES PROVIDED	8
TOTAL PARKING PROVIDED	194

SURFACE DATA	TABLE
PROJECT LIMITS AREA	33.48 ACRES
TOTAL IMPERVIOUS AREA	17.96 ACRES
TOTAL OPEN-SPACE	12.04 ACRES
TOTAL OPEN-SPACE PERCENTAGE	35.96 %
OPEN-SPACE REQUIRED	6.70 ACRES (20

NOTES:

CALL 2 BUSINESS DAYS BEFORE YOU DIG IT'S THE LAW! DIAL 811

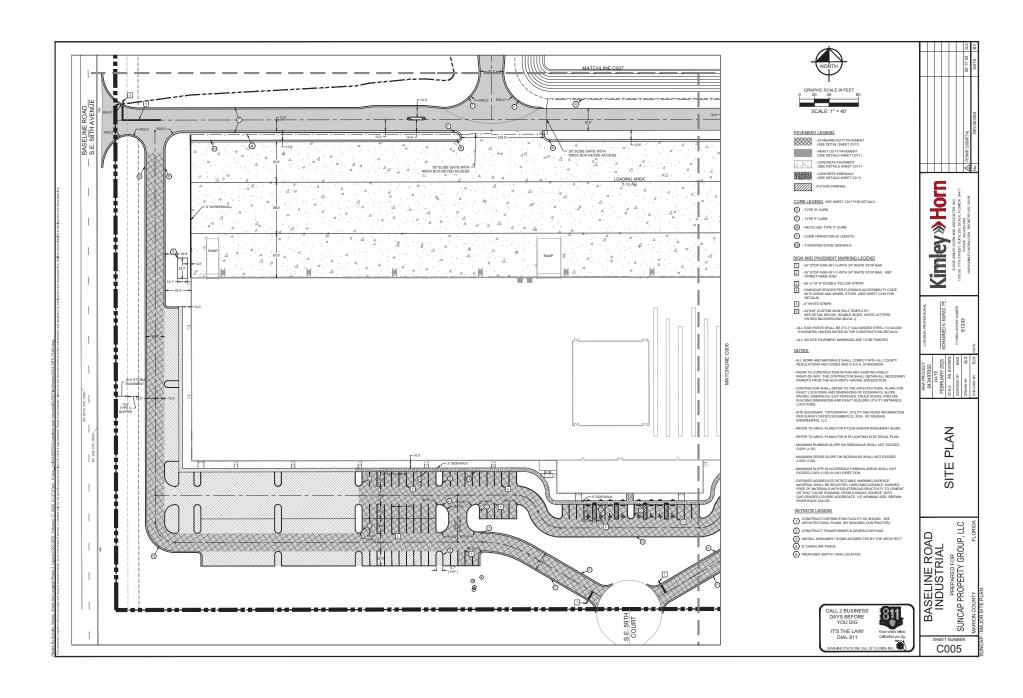
BASELINE ROAD INDUSTRIAL

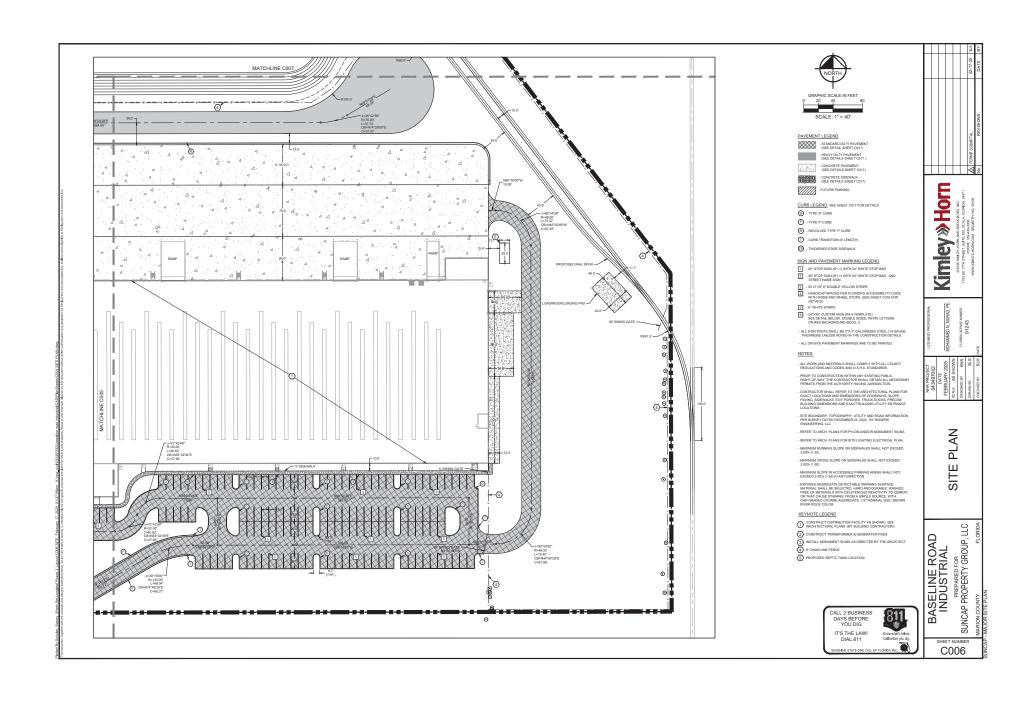
C004

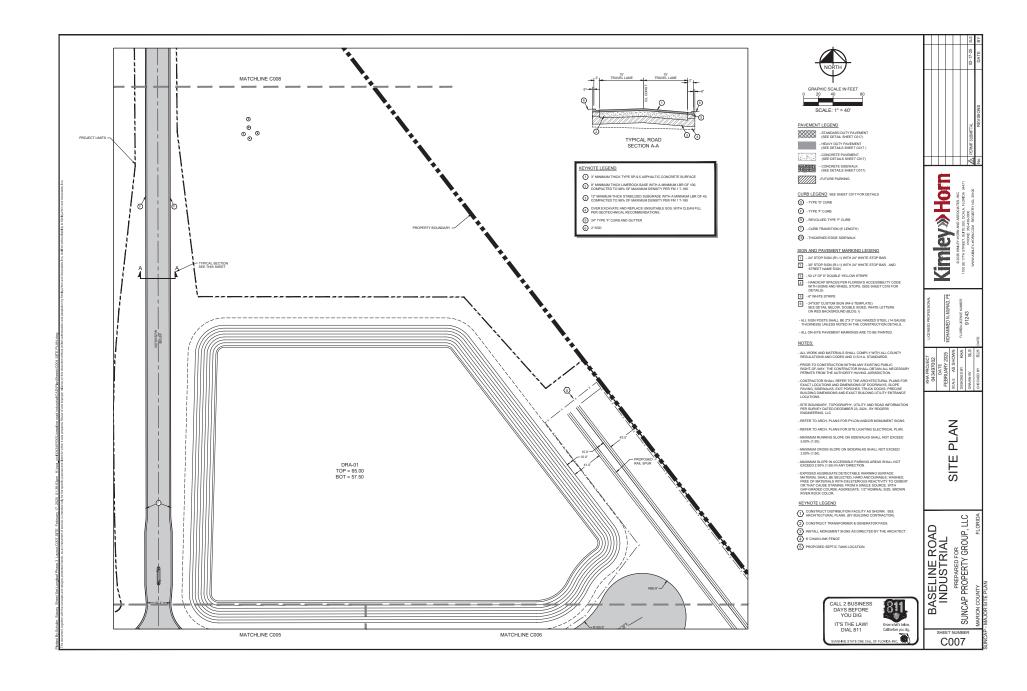
Kimley»Horn

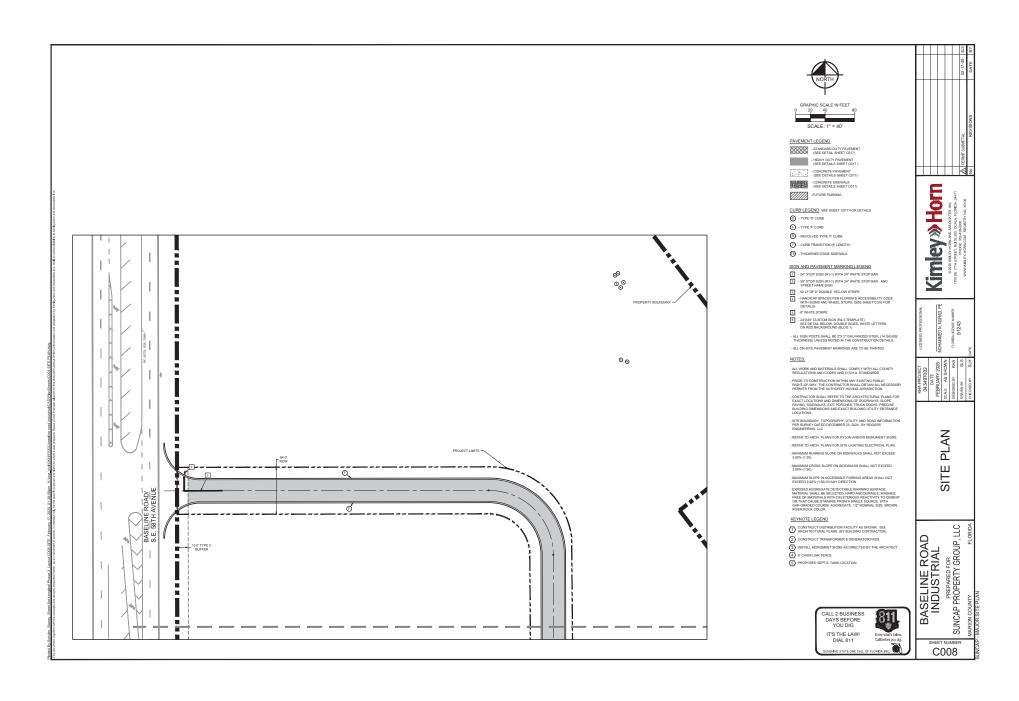
MASTER SITE PLAN

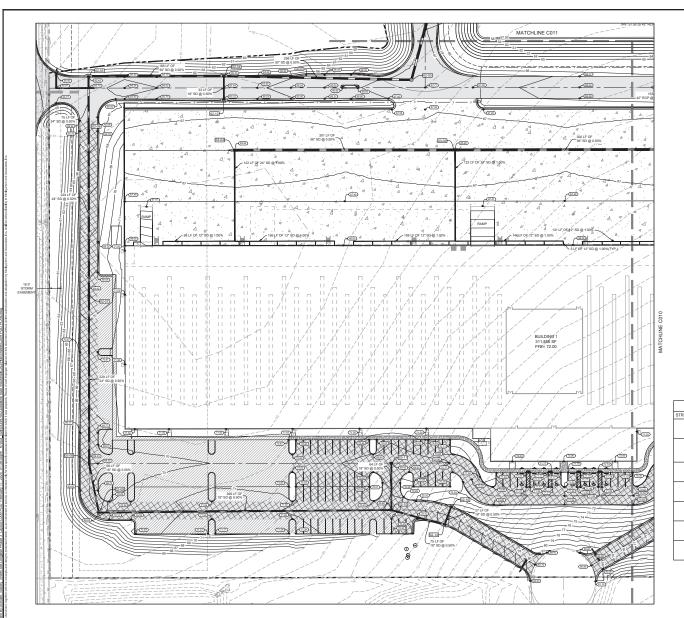
PREPARED FOR SUNCAP PROPERTY GROUP, LLC













LEGEND

0

DRAINAGE STRUCTUR	DE DEEEDENCE
STRUCTURE TYPE	SPECIFICATIONS
P-6M INLET	DETAIL SHEET C018
F INLET	DETAIL SHEET C018
C INLET	FDOT INDEX 425-001 & 425-052
MES	FDOT INDEX 430-021
P-8 MANHOLE	FDOT INDEX 425-001 & 425-010

STRUCTURE TABLE			L
TRUCTURE NAME:	DETAILS:		S
02-03	MH RIM: 67:35 INV IN: 57:75 (W 30° SD) INV OUT: 57:75 (N 30° SD)		
02-04	P-6M CURB INLET EOP: 65.23 INV IN: 59.03 (W 30" SD) INV IN: 61.00 (S 18" SD) INV OUT: 59.03 (E 30" SD)		
02-05	P-6M CURB INLET EOP: 65.44 INV IN: 59.95 (S 24" SD) INV OUT: 59.95 (E 30" SD)		L
02-06	TYPE F DBI GRATE: 65.46 INV IN: 60.33 (S 24" SD) INV OUT: 60.33 (N 24" SD)		L
02-07	TYPE F DBI GRATE: 69.40 INV IN: 61.45 (S 24" SD) INV OUT: 61.45 (N 24" SD)		L
02-08	TYPE F DBI GRATE: 69.23 INV IN: 62.59 (S 18" SD) INV OUT: 62.59 (N 24" SD)		L
02-09	MH RIM: 69.95 INV IN: 62.93 (E 18" SD) INV OUT: 62.94 (N 18" SD)		L

STRUCTURE TABLE

STRUCTURE TABLE		
STRUCTURE NAME:	DETAILS:	
02-10	TYPE F DBI GRATE: 69.88 INV IN: 64.93 (N 18" SD) INV IN: 64.93 (E 18" SD) INV OUT: 64.93 (W 18" SD)	
02-11	TYPE F DBI GRATE: 69.45 INV OUT: 65.25 (S 18" SD)	
02-12	P-6M CURB INLET EOP: 65.23 INV OUT: 61.16 (N 18* SD)	
02-14	P-6M CURB INLET EOP: 72.66 INV IN: 65.31 (N 18" SD) INV OUT: 65.31 (W 18" SD)	
02-15	P-6M CURB INLET EOP: 72.75 INV OUT: 65.44 (S 18" SD)	
03-03	TYPE F DBI GRATE: 65.95 INV IN: 60.89 (W 36" SD) INV IN: 62.26 (S 12" SD) INV OUT: 60.89 (E 36" SD)	
03-04	TYPE F DBI GRATE: 65.95 INV IN: 62.39 (S 12" SD) INV OUT: 62.39 (E 36" SD)	

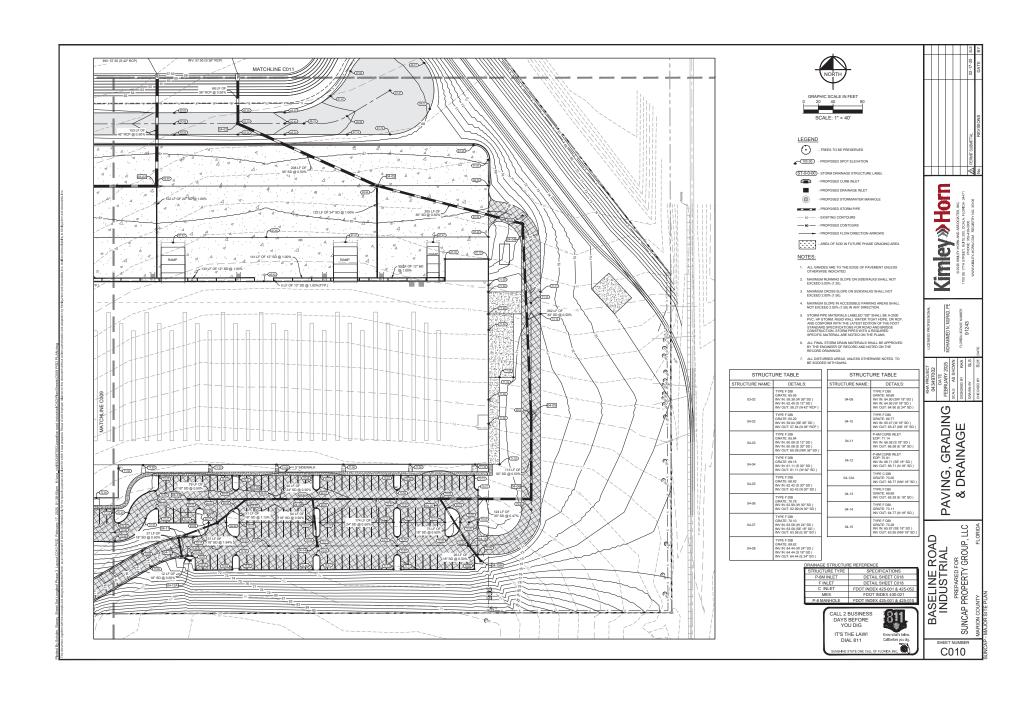
CALL 2 BUSINESS DAYS BEFORE YOU DIG	811
IT'S THE LAW! DIAL 811	Know what's below. Call before you dig.
SUNSHINE STATE ONE CALL OF	F FLORIDA, INC.

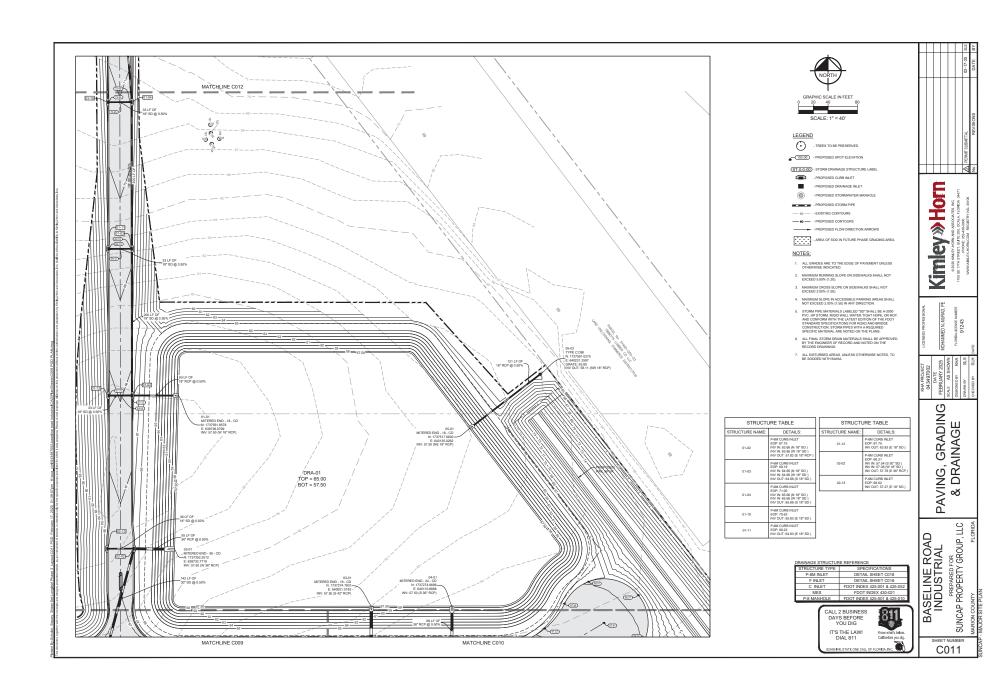
PAVING, GRADING & DRAINAGE

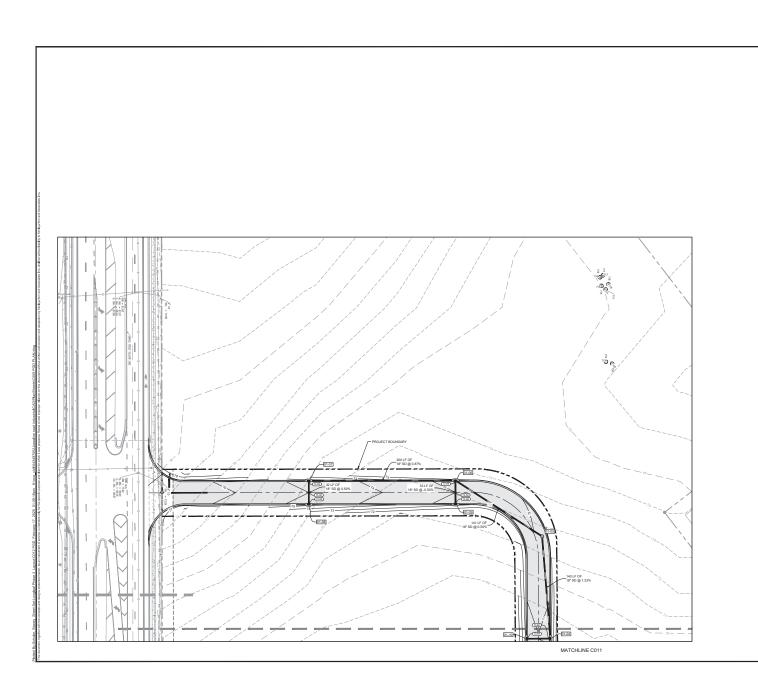
Kimley **Horn

MOHAMMED N. MURAD, PE

PREPARED FOR SUNCAP PROPERTY GROUP, LLC BASELINE ROAD INDUSTRIAL











LEGEND

- TREES TO BE PRESERVED

- PROPOSED SPOT ELEVATION ST-0-0-00 - STORM DRAINAGE STRUCTURE LABEL

- PROPOSED CURB INLET

NOTES:

- MAXIMUM CROSS SLOPE ON SIDEWALKS SHALL NOT EXCEED 2.00% (1.50).
- MAXIMUM SLOPE IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.00% (1:50) IN ANY DIRECTION.
- ALL FINAL STORM DRAIN MATERIALS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND NOTED ON THE RECORD DRAWINGS.

DRAINAGE STRUCTUR	E REFERENCE
STRUCTURE TYPE	SPECIFICATIONS
P-6M INLET	DETAIL SHEET C018
F INLET	DETAIL SHEET C018
C INLET	FDOT INDEX 425-001 & 425-052
MES	FDOT INDEX 430-021

STRUCTURE TABLE		
STRUCTURE NAME:	DETAILS:	
01-05	MH RIM: 71.75 INV IN: 67.39 (NW 18" SD) INV OUT: 67.39 (S 18" SD)	
01-06	P-6M CURB INLET EOP: 73.11 INV IN: 68.09 (W 18" SD) INV IN: 69.30 (S 18" SD) INV OUT: 68.09 (SE 18" SD)	
01-07	P-8M CURB INLET EOP: 74.69 INV IN: 69.84 (S 18* SD) INV OUT: 69.84 (E 18* SD)	
01-08	P-6M CURB INLET EOP: 74.69 INV OUT: 70.00 (N 18* SD)	
01-09	P-6M CURB INLET EOP: 72.69	



BASELINE ROAD INDUSTRIAL

PREPARED FOR SUNCAP PROPERTY GROUP, LLC

KIMEVI) HOIT 0.000 MALEY SING MOC AND CANDAR MAT 1700 OR ITHE STREET SINE TO AND CANDAR MAT PROME MANAGEMENT SINE TO AND CANDAR MAT PROME MANAGEMENT SINE TO AND CANDAR MAT

MOHAMMED N. MURAD, PE

HAA PROJECT

(M.3497002

DATE

FEBRUARY 2005

SCALE AS SHOWN

DESCRIBED BY SHOWN

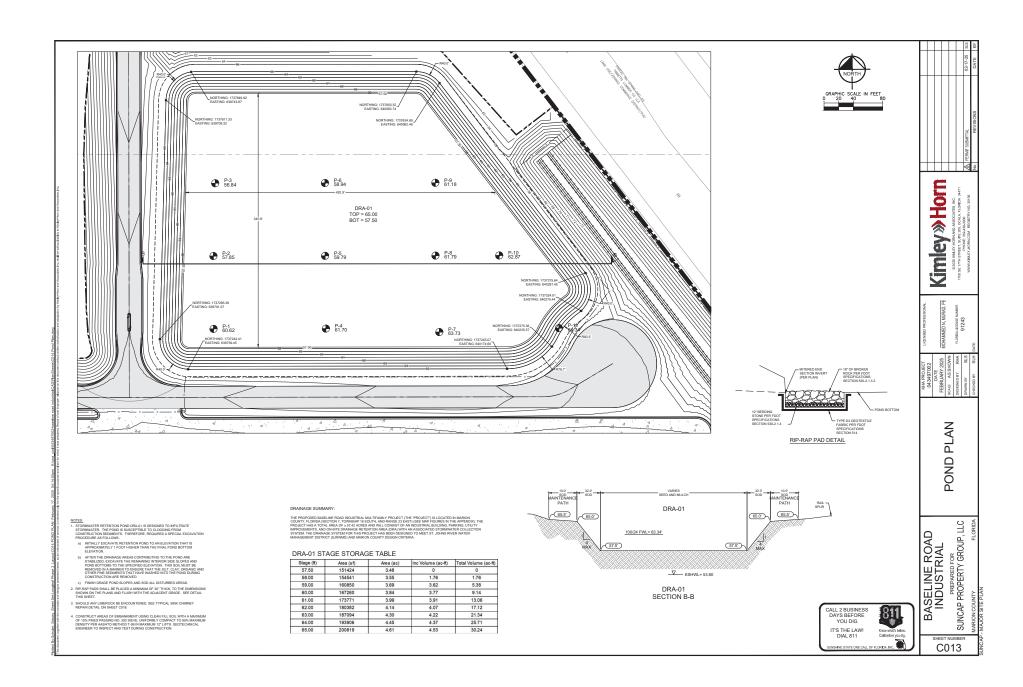
DESCRIBED BY SHOWN

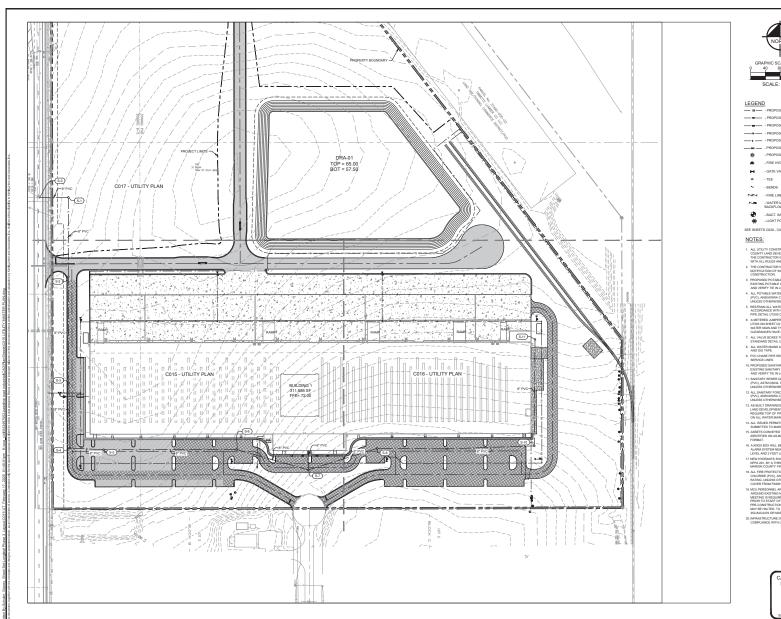
DESCRIBED BY SLICE

CHECKED BY SLICE

PAVING, GRADING & DRAINAGE

ALICENSE NUMBER 91243





■ S — - PROPOSED SANITARY SEWER PIPE

- PROPOSED FIRE PROTECTION WATERMAIN - PROPOSED ELECTRIC CONDUIT

 PROPOSED SANITARY MANHOLE - FIRE HYDRANT ASSEMBLY

- GATE VALVE

► FIRE LINE DOUBLE CHECK DETECTOR

- WATER METER AND REDUCED PRESSURE BACKFLOW PREVENTOR

BACT. SAMPLE POINT
LIGHT POLE (DESIGN BY OTHERS)

SEE SHEETS C020 - C021 FOR DETAILS

- ALL LITELTY CONSTRUCTION SHALL CONFORM WITH THE MARE COMPY LAND DEVELOPMENT CODE, ESTAGE AND SHOPPING WITH LAND CONTROL AND SHOPPING CONTROL AND SHOPPING CONTROL AND SHOPPING CONTROL THE CONTROL AND SHOPPING CONTROL THE CONTROL T

- IN PROCESSION FOR REQUIRED AT ALL INDO CORRESSION OF WITH SPIN COMES IN PROPER REQUIRED AT ALL INDO CORRESSION OF WITH SPIN CONCESSION OF WITH SPIN CONTROL TO THE SPIN CONCESSION OF WITH SPIN CONTROL TO THE AND VIEW THE RECORD FROM TO CONSTRUCT OF THE AND VIEW THE RECORD FROM THO AND THE POTAVETY. CE CROSS (PCL, AND MOSE, STRANDED DESIGNED RATO (CIDE), AND CONTROL THE SPIN CONTROL AND SPIN CONTROL THE SPIN CONTROL (PCL, ARRIVANCE, CASO, CRI. 11 to PRE PRESSURE RATING, MARSES OF THE PROPER PRESSURE RATING.

- COYER FROM FINISHED DRADE.

 JUNIO PRESONDAL ARE TO INSPECT ANY WORK PERFORMED ON O AROUND EXISTING MOU INFRASTRUCTURE. A PRE-CONSTRUCTURE MEETING IS REQUIRED TO BE HELD A MINIMUM OF HE HOURS PROR TO START OF ANY CONSTRUCTION. IF THE PRE-CONSTRUCTION MEETING IS NOT COMPLETED, ANY WORK MAY BE HALTED. TO SCHEDULE, CONTACT MARK RUDOWISSE AT 352-945-9476 O'MAN'S RUDOWISSE AT

IT'S THE LAW!

20. INFRASTRUCTURE DEDICATED TO MCU SHALL BE IDENTIFIED IN COMPLIANCE WITH LDC 6,14.8.A.

CALL 2 BUSINESS DAYS BEFORE YOU DIG

811 Know what's below. Call before you dig.

PREPARED FOR SUNCAP PROPERTY GROUP, LLC BASELINE ROAD INDUSTRIAL

Kimley » Horn

MOHAMMED N. MURAD, PE 91243

KHA PROJECT

04.3497002

DATE

PEBRUARY 2025

SCALE AS SHOWN

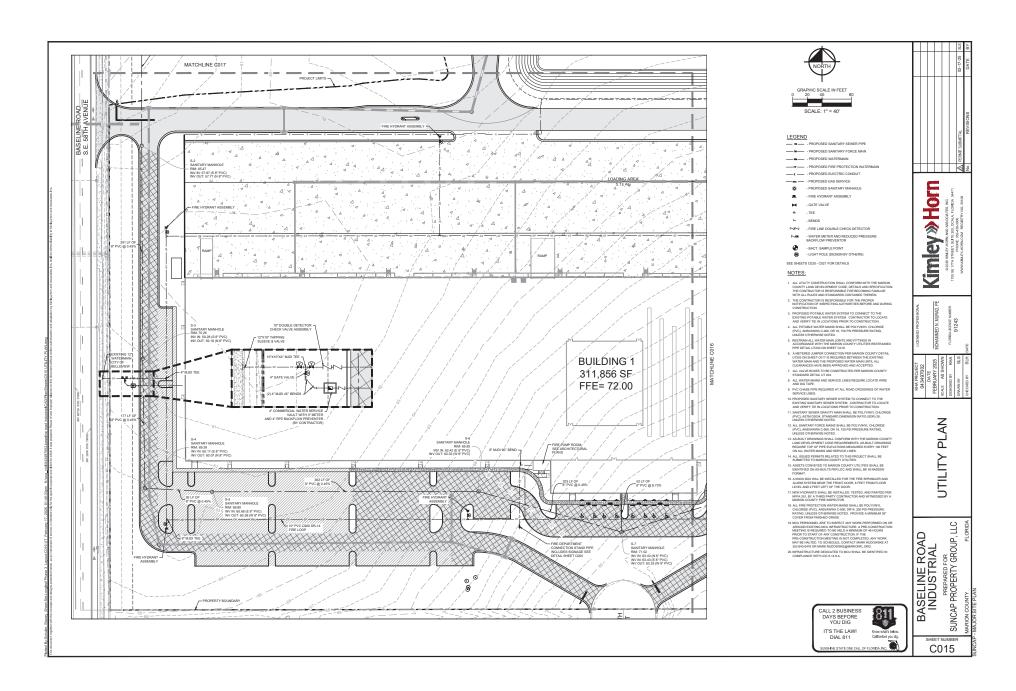
DESCREDED FY SHA

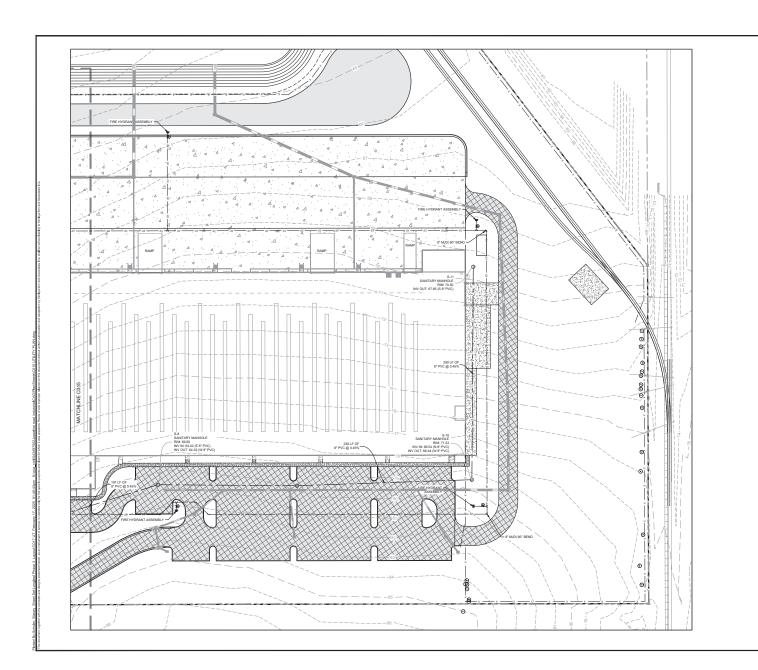
DRAWN BY SLS

CHECKED BY SLS

CHECKED BY SLS

MASTER UTILITY PLAN







LEGEND

→ M → - PROPOSED SANITARY SEWER PIPE

- PROPOSED WATERMAIN

- PROPOSED FIRE PROTECTION WATERMAIN

- or - PROPOSED GAS SERVICE

PROPOSED SANITARY MANHOLE

- FIRE HYDRANT ASSEMBLY - GATE VALVE

A TEE

- BENDS

NN - FIRE LINE DOUBLE CHECK DETECTOR

- WATER METER AND REDUCED PRESSURE BACKFLOW PREVENTOR

BACT. SAMPLE POINT
LIGHT POLE (DESIGN BY OTHERS)

SEE SHEETS C020 - C021 FOR DETAILS

NOTES:

- CLEARANCES HAVE BEEN APPRICIAD AND ACCEPTED.

 7. ALL VALVE BOXES TO BE CONSTRUCTED PER MARION COUNTY STANDARD DETTAIL UT 204.

 8. ALL WATER MAINS AND SERVICE LINES REQUIRE LOCATE WIRE AND DIG TAPE.

- COVER FROM FRIENDED GRADE.

 IN MULL PRESCRICE, AND TO DIRECT ONLY WORK PERFORMED ON OR AND LODGE DOST TOTAL LICE OF THE LODGE CONTROLLED ON THE LODGE CONTROLLED ON THE LODGE CONTROLLED ON THE LODGE CONTROLLED ON ANY CONTROLLED ON THE LODGE CONTRO

CALL 2 BUSINESS DAYS BEFORE YOU DIG IT'S THE LAW!

Know what's below. Call before you dig.

BASELINE ROAD INDUSTRIAL

Kimley ** Horn

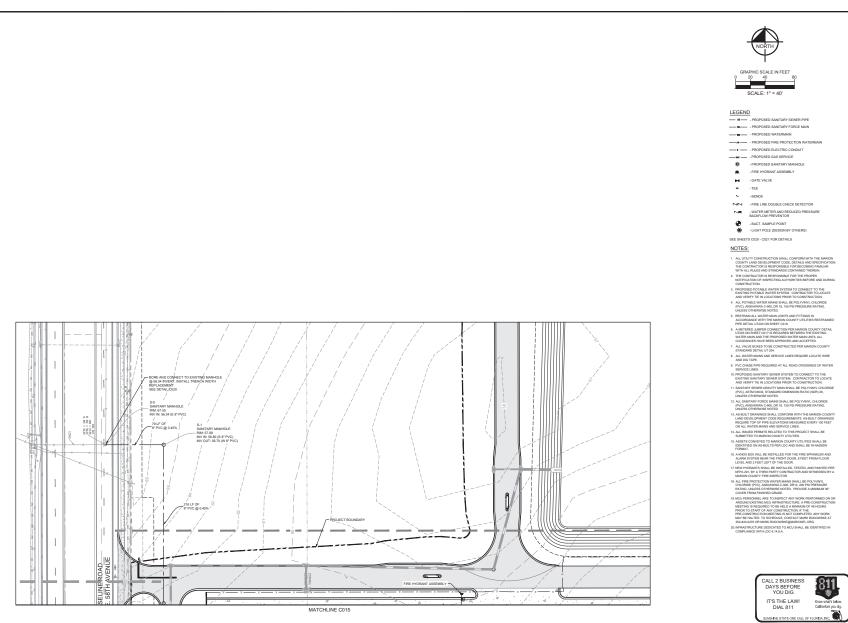
MOHAMMED N. MURAD, PE 91243

KHA PROJECT
043497002
DATE
FEBRUARY 2025
82.4E AS SHOWN
DESCRED BY KHA
DRAWN BY SLS
CHECKED BY SLA

PLAN

UTILITY

PREPARED FOR SUNCAP PROPERTY GROUP, LLC C016



4

Kimley >>> Horn

1020 Mark Prince and Prince Code According Accord

MOHAMMED N. MURAD, PE ALICENSE NUMBER 91243

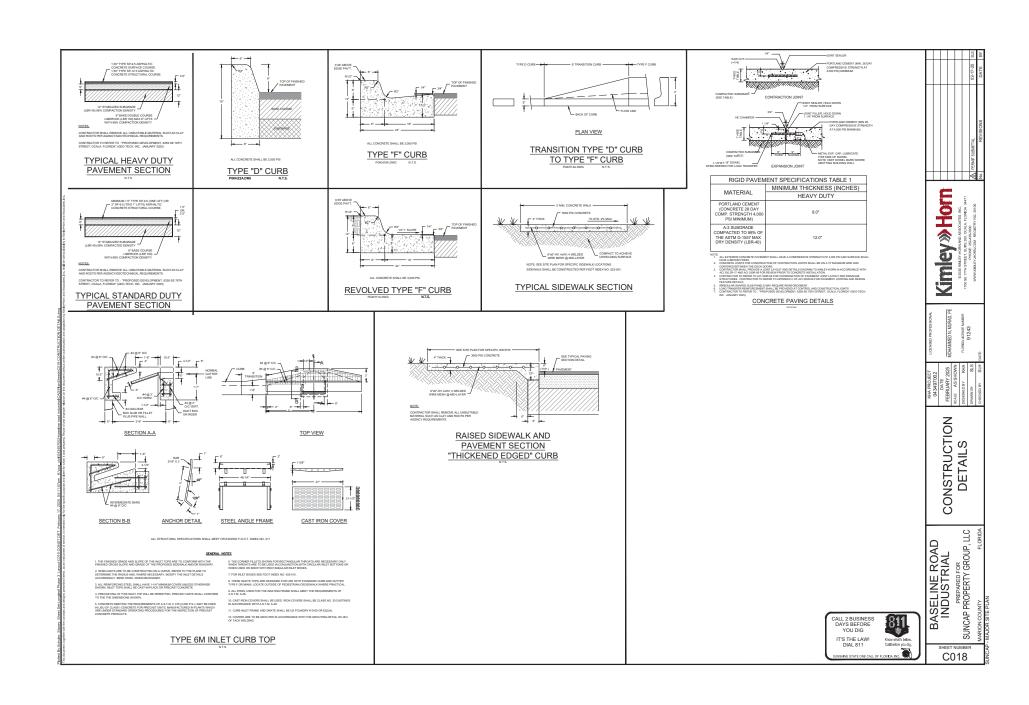
643497002
043497002
DATE
FEBRUARY 2025
SCALE AS SHOWN
DESCRID BY SHOW
DRINNER BY SLS
CHICHED BY SLS

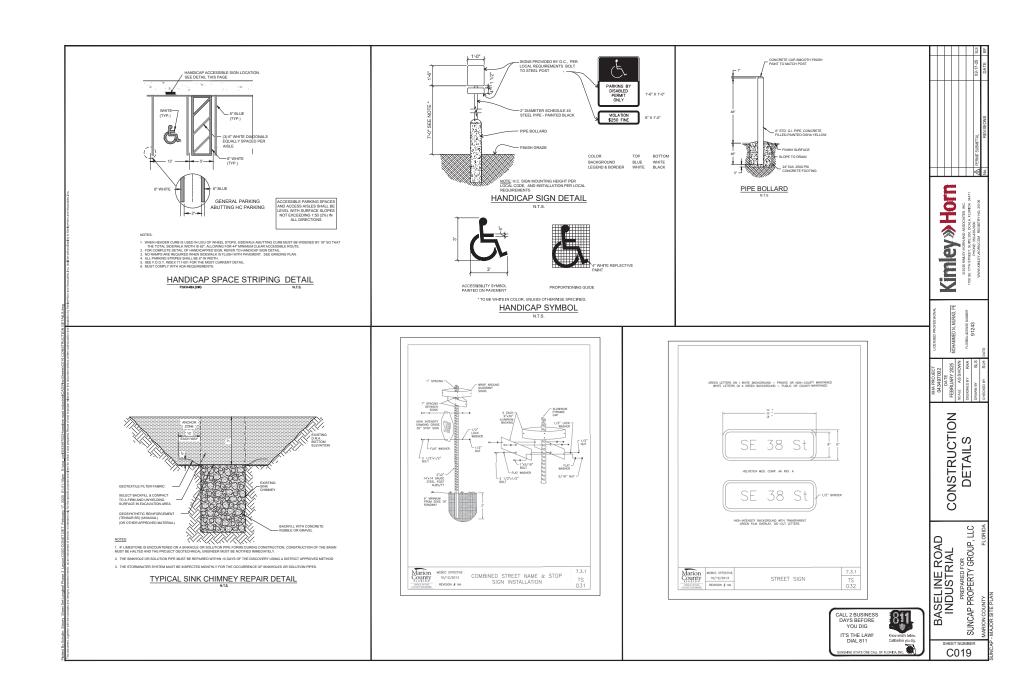
PLAN UTILITY

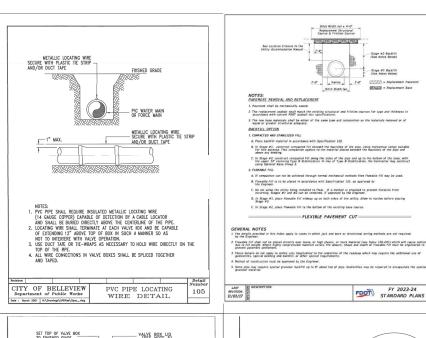
PREPARED FOR SUNCAP PROPERTY GROUP, LLC

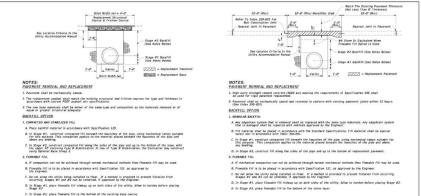
BASELINE ROAD INDUSTRIAL

SHEET NI IMBED C017









ASBUILTS DATED 09-04-2007, NEW ROAD DITCH CONSTRUCTION IS TO MATCH EXISTING BASELINE ROAD SECTION, CONTRACTOR TO MEDICAL VARIANCE AND 6. Where asphalt concrete overlays exist over full stan concrete pavement, the replacement pavement shall have an overlay constructed over the replacement slab. The overlay shall match the existing asphalt pavement incliness. The replacement friction course shall match the existing friction course, except structural course may be used in leve of dense gardes friction course. 7. All shoulder parement, curb, curb and outler, and their substructure disturbed by utility trench cut construction shall be restored in kind D LIMEROCK BASE LBR 100

9. Excavatable florable fill is to be used when the florable fill action is selected TRENCH CUTS AND RESTORATIONS ACROSS ROADWAYS FDOT FY 2023-24 STANDARD PLANS UTILITY ADJUSTMENTS THRU EXISTING PAVEMENT 125-001 1 of 2

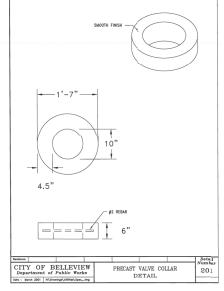
The use of Flowable full to reduce the time reffic is taken off a facility is accordance for must have price appro-ficientable full uses in allowed only when praperly reducered for approved creatings, whether straight or diagnosis, includes for dispersact depths or lengths. The maximum inequity shall be fifty that force and maximum depth of a supported by an engineering dearmost prepared by a regulater of preference professional engineering that specificates, a section

VALVE BOX LID _NUMBER_THREE (3) ADJUSTABLE CAST IRON VALVE BOX RESILIENT SEAT M. J. GATE VALVE WATER -6" BEDDING BOCK-NOTES:

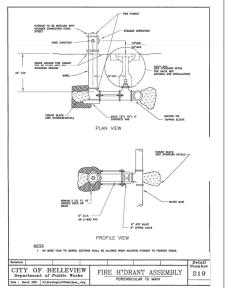
1. PVE CTEDISIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.

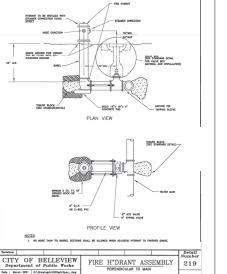
2. THE ACTUMEN BUT FOR VALVES DEPTER THAN ETET SHALL BE CETENDED TO COME UP 0.4 FOOD DEPTH BLOW PRISSED GROBE.

WHEN THE SHALL BUT SHA CITY OF BELLEVIEW GATE VALVE AND 200 BOX DETAIL



FLEXIBLE PAVEMENT CUT







PREPARED FOR SUNCAP PROPERTY GROUP,

Kimley » Horn

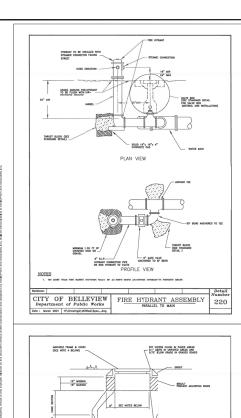
UCENSE N 9 12 43

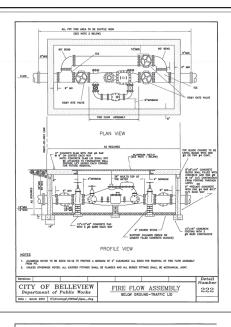
BASELINE ROAD INDUSTRIAL

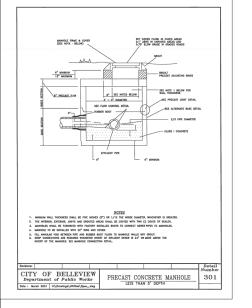
DETAIL

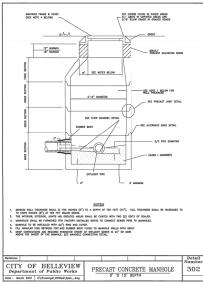
UTILITY

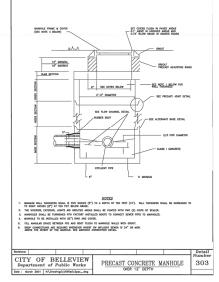
CC













BASELINE ROAD INDUSTRIAL

Kimley » Horn

MOHAMMED N. MURAD, PE

DETAILS

UDBNSE N 9 12 43

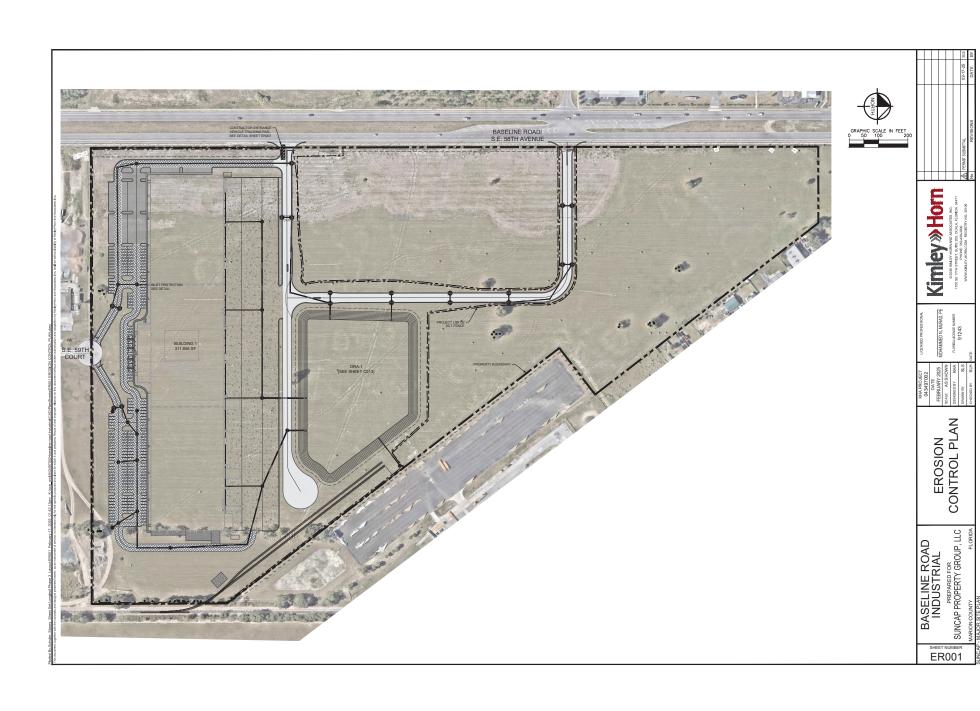
C021

811 Know what's below Call before you dio

CALL 2 BUSINESS DAYS BEFORE

YOU DIG IT'S THE LAW!

PREPARED FOR SUNCAP PROPERTY GROUP, LLC



TIMING OF SEDIMENT - CONTROL PRACTICES:

SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL THROUGHOUT EARTH- DISTURBING

SETTLING FACILITIES. PERIMETER CONTROLS. AND OTHER PRACTICES INTENDED TO TRAP SEDIMENT SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UPSLOPE DEVELOPMENT AREA IS RE-STABILIZED.

STABILIZATION OF NON STRUCTURAL PRACTICES:

CONTROL PRACTICES SHALL PRESERVE EXISTING VEGETATION WHERE ATTAINABLE AND DISTURBED AREAS SHALL BE RE-VEGETATED AS SOON AS PRACTICAL AFTER GRADING OR

DENUED AREAS SHALL HAVE SOLD STABLEZATION APPLIED WITHIN FOURTEEN DAYS IF THEY ARE TO REMAIN DOMAINT FOR MICE THAN FOR THY DAYS. THE DAYS TENDEN SET ON THE MAN THE THAN FOR THE DAYS THE DAYS TENDEN SET OF THE DAYS THE THAN FOR THAN FOR THAN FOR THAN FOR THE SET IN AND SHALL ALSO BE APPLIED WITHIN SEVEN DAYS TO DENUED A PREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN FOR THY-FIVE DAYS.

SEDIMENT BARRIERS:

SHEET FLOW RUNOFF FROM DENUDED AREAS SHALL BE INTERCEPTED BY SEDIMENT BARRIERS.

SEDIMENT BARRIERS SUCH AS SEDIMENT FENCE OR DIVERSIONS TO SETTLING FACILITIES SHALL PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SEDIMENT TRANSPORTED BY SHEET FLOW.

INLET PROTECTION:

ALL STORM SEWER INLETS WHICH ACCEPT WATER RUNOFF FROM THE DEVELOPMENT AREA SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER WILL NOT ENTER THE STORM SYSTEM WITHOUT FIRST BEING PONDED AND FILTERED.

MAINTENANCE:

TEMPORARY EROSION CONTROL FEATURES SHALL BE ACCEPTABLY MAINTAINED AND SHALL BE REMOVED OR REPLACED WHEN DIRECTED BY THE ENGINEER AT NO COST TO THE OWNER. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS.

STOCKPILES:

ALL SOIL STOCKPILES SHALL BE PROTECTED FROM EROSION BY PERIMETER CONTROL DEVICES SUCH AS STRAW BALE DIKES OR FILTER FABRIC FENCES. AND THESE PERIMETER CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.

PERMANENT VEGETATION:

PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL GROUND COVER IS ACHIEVED WHICH, IN THE OPINION OF THE ENGINEER, PROVIDES ADEQUATE COVER AND IS MATURE ENOUGH TO CONTROL SOIL EROSION SATISFACTORILY AND TO SURVIVE ADVERSE WEATHER CONDITIONS

CONSTRUCTION ACCESS ROUTES:

MEASURES SHALL BE TAKEN TO PREVENT SOIL TRANSPORT ONTO SURFACES OR PUBLIC ROADS WHERE RUNOFF IS NOT CHECKED.

INSPECTION SCHEDULE:

- DIVERSION SWALE AND STRUCTURAL PROTECTION INSPECT EVERY 7 DAYS OR AFTER EACH RAINSTORM PRODUCING RUNOFF. REPAIR AS REQUIRED
- INLET PROTECTION INSPECT FOR SEDIMENT ACCUMULATION AFTER EACH RAINFALL AND DAILY DURING CONTINUED RAINFALL. REPAIR OR REPLACE WHEN WATER FLOW IS RESTRICTED BY SEDIMENT
- VEGETATIVE PLANTING INSPECT AFTER SPROUTING OCCURS AND REPLANT BARE AREAS. INSPECT ESTABLISHED COVER EVERY 15 DAYS FOR DAMAGE; REPLANT AS REQUIRED. MAINTAIN ESTABLISHED COVER AT MAXIMUM 6" HEIGHT. IRRIGATE AS REQUIRED DURING DRY PERIODS TO MAINTAIN LIVE VEGETATION.

CONSTRUCTION SEQUENCE:

- 1. INSTALL SEDIMENT CONTROL MEASURES
- 2 PERFORM DEMOLITION ACTIVITIES
- 3. STABILIZE SITE WITH TEMPORARY VEGETATION AS NEEDED.
- 4. PERFORM UNDERGROUND UTILITY CONSTRUCTION ACTIVITIES
- 5. CONSTRUCT SITE IMPROVEMENTS.
- 6. PERFORM FINAL GRADING
- 7. INSTALL PERMANENT VEGETATION.
- 8. PERFORM CONTINUING MAINTENANCE THROUGHOUT ALL CONSTRUCTION OPERATIONS.

DITCH BARRIERS:

BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE, ORIENTED PERPENDICULAR TO THE

THE REMAINING STEPS FOR INSTALLING A STRAW BALE BARRIER FOR SHEET FLOW APPLICATIONS APPLY HERE. WITH THE FOLLOWING ADDITION THE STRAW BALES SHALL BE INSTALLED SLOT HAT UNDERCUTING BENEATH THE BALES IS MINIMIZED BY THE USE OF ROCK CHECK DAMS PLACED ADJACENT TO THE STRAW BALES.

THE BARRIER SHALL BE EXTENDED TO SUCH A LENGTH THAT THE BOTTOMS OF THE END BALES ARE HIGHER IN ELEVATION THAN THE TOP OF THE LOWEST MIDDLE BALE TO ASSURE THAT SEDIMENT LADEN RUNOFF WILL FLOW ETHER THROUGH OR OVER THE BARRIER BUT NOT

MAINTENANCE:

STRAW BALES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY

CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES.

NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE PARPIEP

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE STRAW BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

CONTRACTOR SHALL PERIODICALLY SWEEP EXISTING ON-SITE PAVED SURFACES AS WELL AS CONTRACTOR SHALL PERIODICALLY SWEEP EXISTING ON-SITE PAVED SURFACES AS WELL AS A SHUTTING CITY STREETS, COLUNTY ROADS AND STATE HIGHWAYS (AS APPROPRIATE FOR THE PARTICULAR PROJECT) TO KEEP THOSE SURFACES IN AS USBSTANTIALLY SEDIMENT-FREE CONDITION. SWEEPING SHALL BE ODNE ON A PERIODIC, AS-NEEDED BASIS THROUGHOUT THE WORK WEEK INCLUDING, MOST IMPORTANTLY, AFTER EVERY PAIN EVENT AND EVERY FRIDAY AFTERNOON PRIOT TO CEASING WORK FOR THE WERK

SEDIMENT FENCE:

THIS SEDIMENT BARRIER UTILIZES STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS. IT IS DESIGNED FOR SITUATIONS IN WHICH ONLY SHEET OR OVERLAND FLOWS

- THE HEIGHT OF A SEDIMENT FENCE SHALL NOT EXCEED 36-INCHES (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE).
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP AND SECURELY SEALED
- POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED
- 4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER
- WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTED SECURELY TO THE UPS. DOS SIDE OF WHIRE MESH SUPPORT FENCE SHALL BE FASTED SECURELY TO THE UPS. DOS SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1-INCH LONG, ITE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8-INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES
- WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSURE POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF ITEM NO. 6
- 8. THE TRENCH SHALL BE BACKFILLED AND SOIL COMPACTED OVER THE FILTER FABRIC
- SEDIMENT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED

MAINTENANCE

SEDIMENT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SHOULD THE FABRIC ON A SEDIMENT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SEDIMENT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED, AND SEEDED.

ADDITIONAL MEASURES:

THIS PLAN AND NARRATIVE REPRESENTS THE MINIMUM AMOUNT OF EROSION AND SEDIMENT CONTROL MEASURES, IN THE OPINION OF THE ENGINEER, THAT MAY BE NECESSARY UNDER FAVORABLE WEATHER CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL MEASURES OR PRACTICES THAT MAY BE NECESSARY TO CONTROL EROSION, TURBID DISCHARGE, FUGITIVE PARTICULATES, ETC. TO FULLY COMPLY WITH ALL GOVERNMENTAL RULES AND/OR PERMIT REQUIREMENTS.

EROSION AND SEDIMENT CONTROL NARRATIVE

PLAN DESIGNER: KIMLEY-HORN AND ASSOCIATES INC. 1700 SE 17TH STREET, SUITE 200 OCALA, FLORIDA 34471 PHONE: 352-438-3000

RACHEL EDWARDS GIBBS SOUTH CREEK 18, LLC 1720 SE 16TH AVENUE, BLDG. 200 DEVELOPER:

NORTH: M-1 ZONING SOUTH: NW 35 STREET RIGHT-OF-WAY ADJACENT

EAST: M-1 ZONING WEST: M-1 ZONING

EROSION EROSION AND SITE RUNOFF WILL BE CONTROLLED BY THE USE OF CONTROL SEDIMENT FENCE AND STABILIZED VEGETATION WHERE NEEDED

RACHEL EDWARDS GIBBS SITE CONTACT: SOUTH CREEK 18, LLC 1720 SE 16TH AVENUE, BLDG. 200 OCALA, FL 34471

PHONE: 352-266-0271

POLLUTION PREVENTION:

THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PROGRAM IS REGULATED THROUGH THE FLORIDA DEPARTMENT OF ENVIRONMENTAL F CONSTRUCTION ACTIVITY MEETS THE FOLLOWING CRITERIA:

- CONTRIBUTES STORM WATER DISCHARGE TO SURFACE WATERS OF THE STATE OR INTO A MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4); AND/OR
- DISTURBS ONE OR MORE ACRES OF LAND INCLUDING LESS THAN ONE ACRE IF ACTIVITY IS PART OF A LARGE COMMON PLAN OF DEVELOPMENT OR SALE THAT WILL MEET OR EXCEED A ONE ACRE THRESHOLD. DISTURBANCE INCLUDES CLEARING, GRADING AND EXCAVATING. THEN YOU AGRE I FIRESHOLD. DISTORBANCE INCLUDES CLEARING, SYRAINING AND EXCAVATION, WILL BE REQUIRED TO SUBMIT A NOTICE OF INTENT (NOI) AND PREPARE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP). FOR MORE INFORMATION PLEASE VISIT FDEP'S WEBSITE AT WWW.DEP. STATE.FL. USWMATERISTORMWATERINDES.

Hom

Kimley

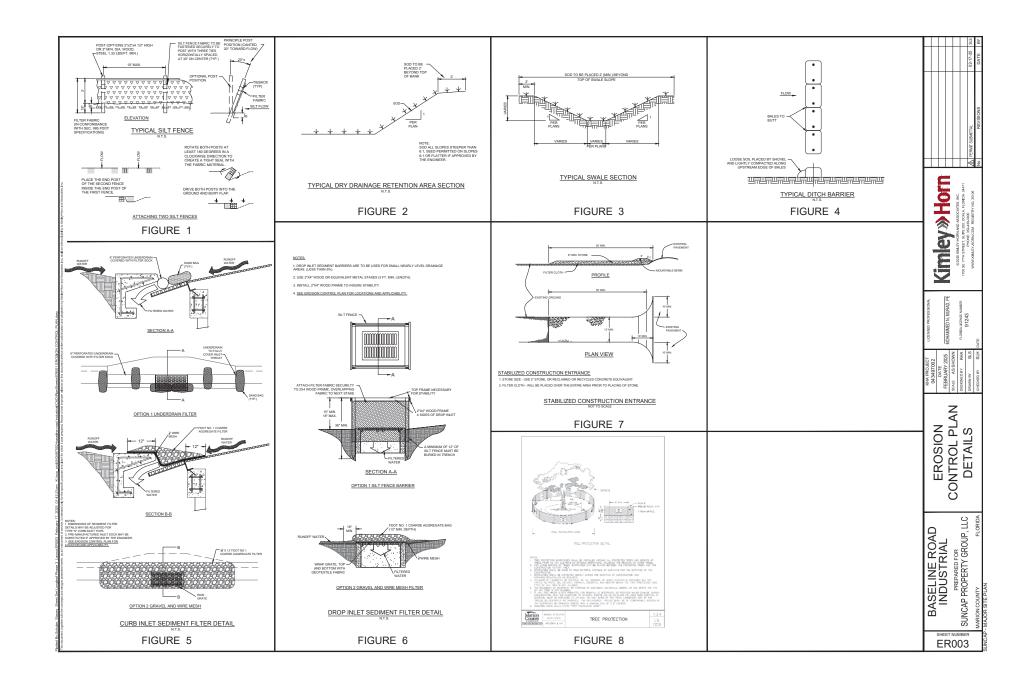
FEBRUARY SCALE AS SI DESIGNED BY

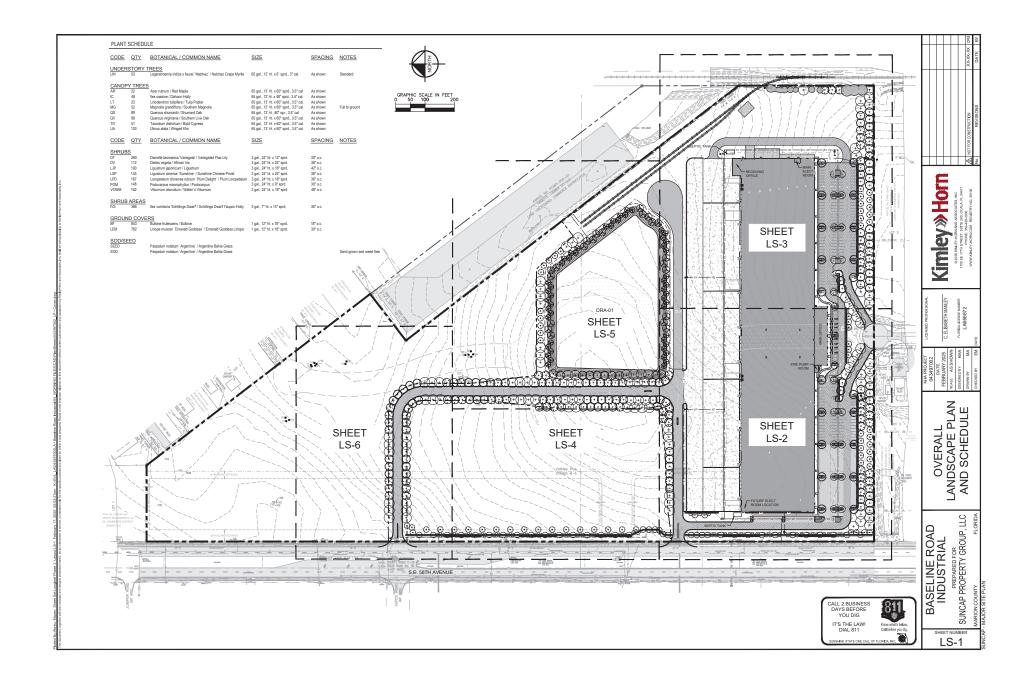
PLAN S EROSION CONTROL F NOTES

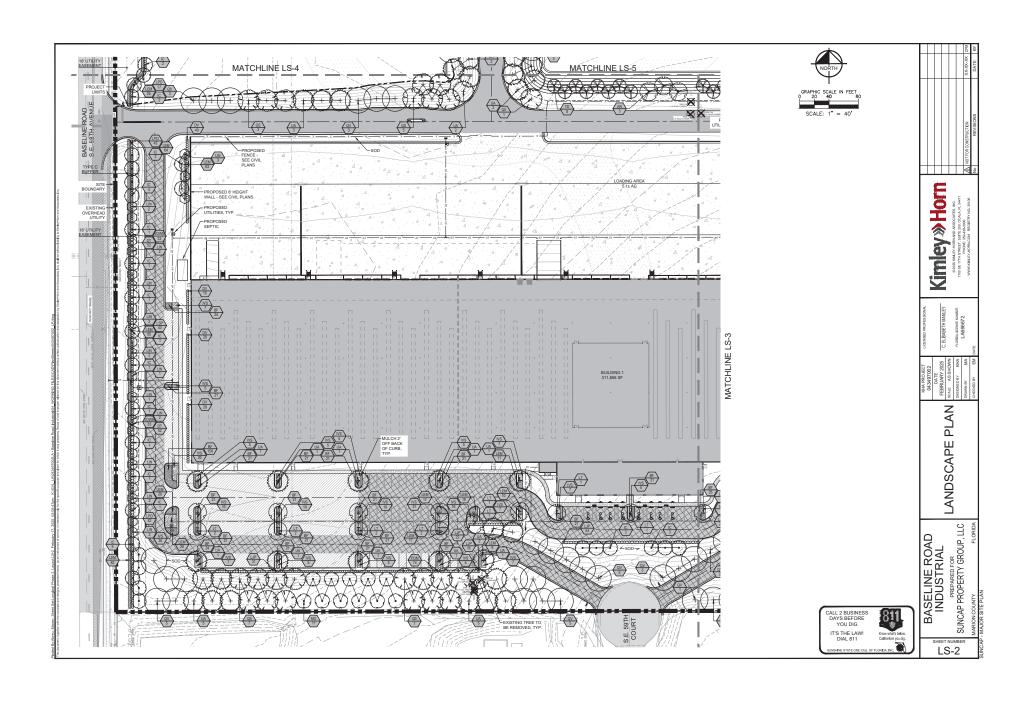
CC BASELINE ROAD INDUSTRIAL

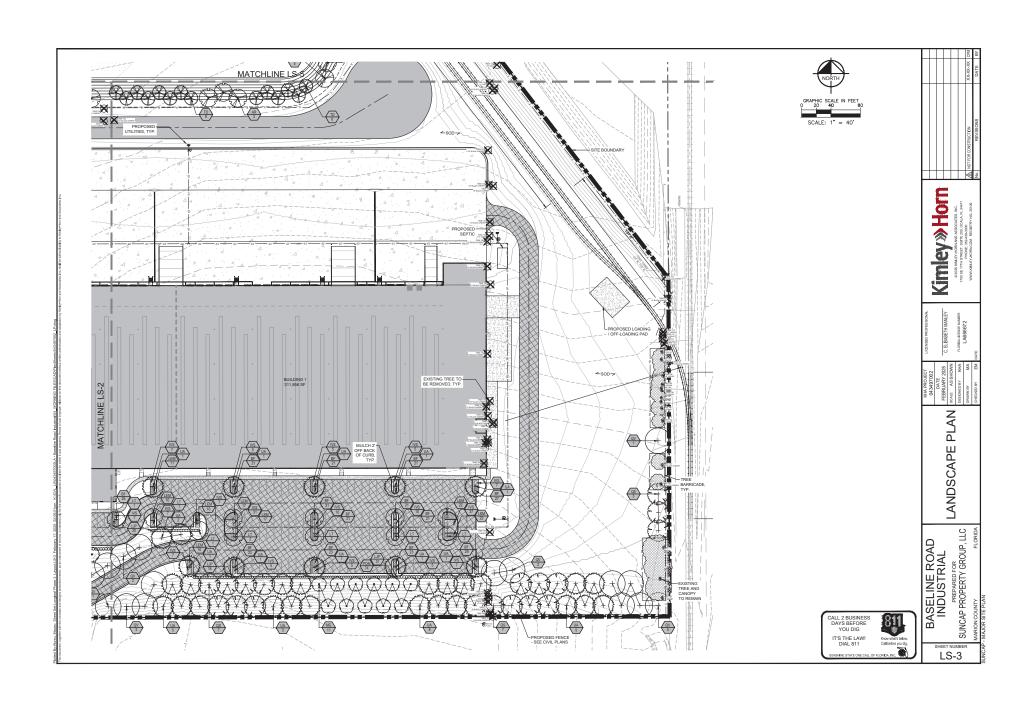
ER002

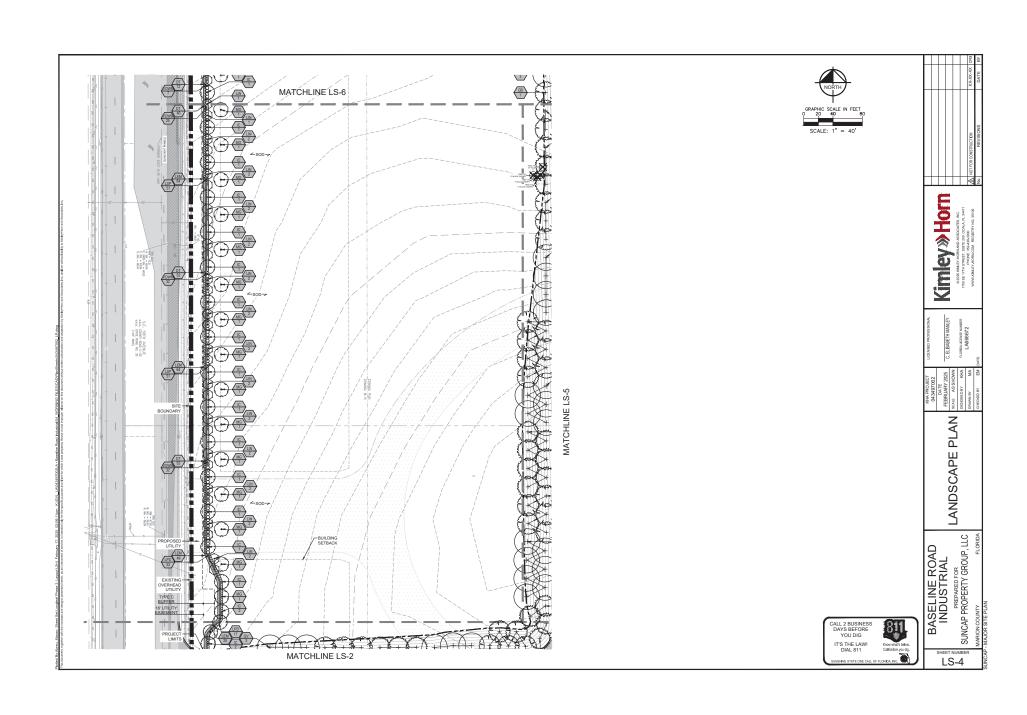
PROPERTY GROUP, SUNCAP F

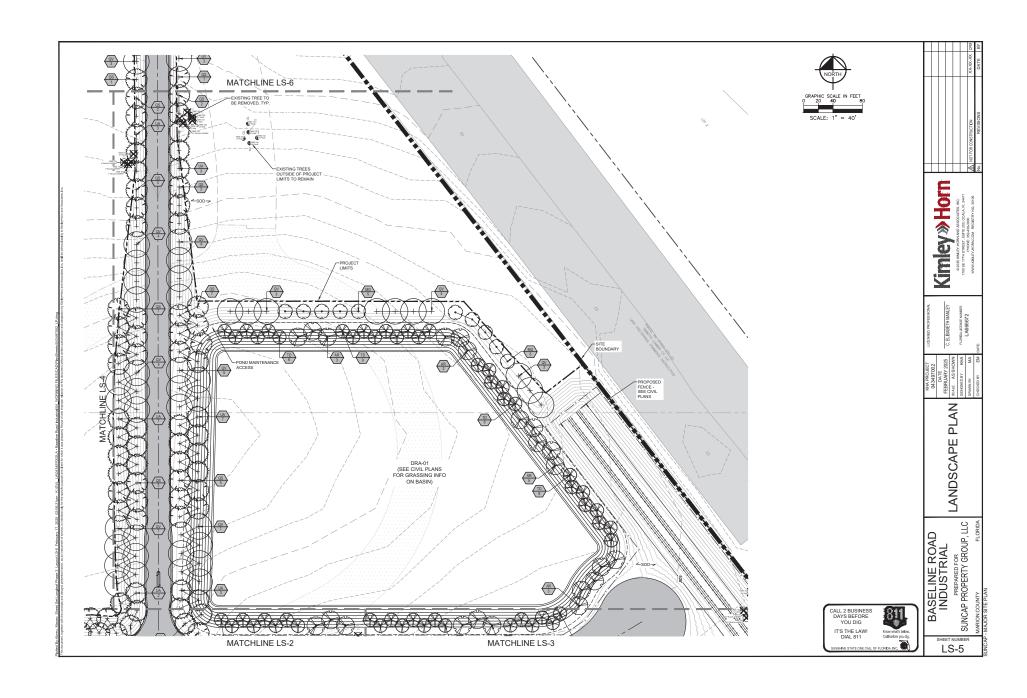


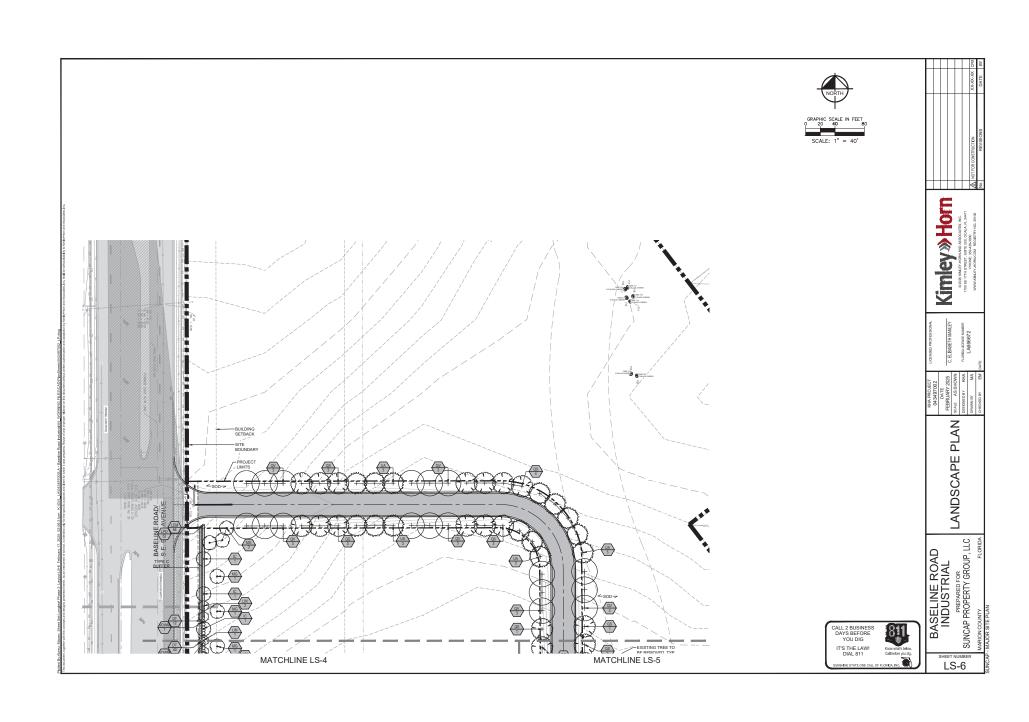












I ANDSCAPE NOTES

- EXISTING UTILITIES: LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK. CALL SUNSHINE STATE ONE CALL-SEF LOCA DELOW
- PLANTING PREPARATION. REMOVE ALL CONSTRUCTION DEBRIS, LIMEROOK, GRAVEL, ROAD BEDOING, LITTER, AND OTHER TIBES FOTENTIALLY DAMAGING TO PLANT GROWNH WITHIN PROPOSED LANGUAGE. AND TURK PAREAS PRIOR TO PLANTING. MAINTAIN EXTENTING GAUGES UNISSES OTHERWISE APPROVED BY THE DOWNESS PREPERSENTAINE. IF IFILL IS REQUIRED. USE A CLEAN, SANDY LOAM WITH JR 55-85 AND EXCAVATED FROM LOCAL SOURCES AND DEEP PITS SUCH THAT ITS PRICE OF MEEDS, SEED, LITTER, TOWNS, MOD OTHER TIMES IMMARKED, TO PLANTING.
- PRUNING: IF TREE OR ROOT PRUNING IS REQUIRED, THESE ACTIVITIES SHALL BE PERFORMED BY AN ARBORIST CERTIFIED BY THE INTERNAL SOCIETY OF ARBORDOLTURE (SIG). PRUNING SHALL BE DOES IN A CONCIDENACE WITH THE MOST CARRIER WITH SHOULD AND ARBORDOLTURE (SIG). PRUNING SHALL BE DOES IN ACCORDANCE WITH THE MOST CARRIER WITH SHOULD ARBORDOLTH OR SHOULD ARBORDOLTH SHOULD
- PLANT MATERIAL, GENERAL: ALL PLANT MATERIALS SHALL MEET "FLORIDA NUMBER 1" REQUIREMENTS AS PER THE MOST CURRENT EDITION OF "FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS", FLORIDA DEPARTMENT OF AGRICULTURE AND CONSI
- NEW TREE STAKING: IF NECESSARY TO MAINTAIN TREES PLUMB, TREES SHALL BE STAKED WITH BIODEGRADABLE STAKING MATERIALS. PROPOSED STAKING METHOD TO BE APPROVED BY URBAN FORESTRY INSPECTOR PRIOR TO INSTALLATION.
- SOD: ALL UNPAYED AND DISTURBED AREAS OUTSIDE OF PROPOSED TIREE, SHRUB, AND GROUNDCOVER PLANTINGS SHALL BE SODDED. SEE CHILL PLANS FOR SODDING INFORMATION FOR STORMANTER FACILITIES. SOD SHALL BE SUND-GROWN, STRONGLY MODITED, WINDLUS SYNTHEIC STRALLIZEM MITERALS, PRECE P FESTS, MOLECTRIED FRO OF NOXIOUS WEEDS BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT
- MULCHING: FOUR INCHES OF MULCH SHALL COVER TREE RING PLANTING AREAS AND ALL SHRUB AND GROUNDCOVER PLANTING AREAS. MULCH SHOULD BE NO DEEPER THAN ONE NOH OVER THE TOP OF TREE ROOTBALLS. USE PINE BARK MIN NUGGETS MULCH HALL REASE BLOEPE STORMWATER FACLITIES, IN WHICH PINE STRAW SHALL BE USED. MULCH TO BE FREE OF DEBRIS, STICKS, AND COMES.
- IRRIGATION: SEE IRRIGATION PLANS.

MARION COUNTY NOTES:

- A. ANY PERSON PROVIDING LANDSCAPE INSTALLATION SERVICES FOR HIRE SHALL MEET THE LICENSING AND CERTIFICATION REQUIREMENTS UNDER SECTION 6.8.15.
 B. ALL PLANTINGS SHALL BE PROPERLY PLANTING AND GUYED OR STAKED
- C. ALL PLANTINGS SHALL BE PROPERLY WATERED DURING INSTALLATION AND THROUGH THE ESTABLISHMENT PERIOD FOR HEALTHY GROWTH AS RECOMMENDED BY UFIFAS.
- POR INSELLIN SOMEWHAS ACCOUNTED A CONTINUENCE OF OPINAS.

 D. INSTALLATION SHALL MEAN SURVIVAL IN PERPETUITY, AND REPLACEMENT IF NECESSARY, OF ALL MATERIALS, DEAD AND/OR DYING PLANT MATERIAL SHALL BE REPLACED BY THE OWNER WITHIN 30 DAYS OF NOTIFICATION BY THE
- E. UPON COMPLETION OF THE INSTALLATION. THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL. A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIRIPACE OF OCCUPANCY.

NOTE:

1. ENSURE PLANTING PIT DRAINS WELL PRIOR TO INSTALLATION.

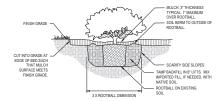
2. REMOVE TREE FROM CONTAINER OR REMOVE UPPER 13 OF BURLAP AND WIRE MESH FOR B&B TREES.

3. SUCE ROOTBALL VERTICALLY ON OUTSIDE EDGES OF MAN DEVALUED ROOTBALL. AND AROUND ROOTBALL.
TREE TO BE PLUMB. STAKE TREE IF NEEDED. SUBMIT
TREE STAKING DETAILS AND LAYOUT FOR APPROVAL.

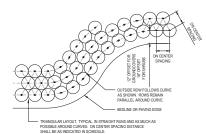
 ENSURE MULCH RING EXTENDS TO INCLUDE STAKES
 ENSURE MULCH RING EXTENDS TO INCLUDE STAKES TO AVOID MOWING CONFLICTS.
 GUYING TO BE 1" MIN. NYLON OR POLYPROPYLENE STRAPS. FASTEN STRAPS SECURELY TO TREE AND TO STAKES PASTEN STRAPS SECURELY TO THEE AND TO STARES
 2 X 4 WOOD STAKES OR 2° DIA. LODGE POLES, (2) TOTAL
 AT 180 DEGREES APART ON EITHER SIDE OF TREE,
 LOCATED OUTSIDE OF PLANTING PIT AND WITHIN
 UNDISTURBED OR LOCALLY COMPACTED SOILS TOP OF ROOTBALL 1-2" ABOVE FINISH GRADE TOP OF STAKES AND STRAPS POSITIONE BETWEEN 1/2 TO 2/3 OF TREE HEIGHT MULCH, 3" THICKNESS TYPICAL AND ONLY 1" OVER ROOTBALL - 3" - 6" SOIL BERM TO OUTSIDE OF ROOTBALL TAMP BACKFILL IN 6" LIFTS. MIX IMPORTED FILL, IF NEEDED, WITH NATIVE SOIL. EQUAL EQUA ROOTBALL SITS ON BOTTOM OF PLANTING PIT

TREE PLANTING DETAIL

2 X ROOTBALL WIDTH



2 SHRUB AND GROUNDCOVER PLANTING DETAIL SCALE: N.T.S



3 SHRUB AND GROUNDCOVER LAYOUT DETAIL

LANDSCAPE AREA REQUIREMENTS Per Marion County - Land Development Code, Article 6., Sec. 6.8.4. - For non-residential developments, at least 20% of the land to be developed shall be landscaped. quired LS Area: 20%

PARKING AREAS AND VEHICULAR USE AREAS

PARKING AREAS AND VEHICULAR USE AREAS
P Miston Courty - Law Designant Clark (Asies, 5.e., 85.7 Ju).
A minimum 3 wish bindaps area constitly of inches and grantzhours, cauching surfaces, that
Parking Clark (Asies area) and the constitution of the

Interior Landscaping Requirement	Required	Proposi
5' Wide Landscape Area around perimeter of Parking Area	~	~
1 Shade Tree per Parking Lot Island	~	~

BUILDING LANDSCAPING

CONCLEMENT LATER OF THE MEMORY AND A MINE 6, Sec. 6.8.7 (A).

Landscape plattings shall be provised along the public view solds of all proposed structures to reduce the monotory of large later sales, reduce he test pand offer, and or hardware the austhetic appearance of the building. Landscape areas shall be provided adjournt for or within 25 from the building with and shall extend along 90% of heat ballenging with a water along the sales along 90% of heat ballenging with a water personal for access to the building.

Building Landscaping Requirement	Length in LF	Required	Proposed		
5' Wide Landscape Area along 60% of Building Frontage*	235	141	~		

SHADE TREES Per Marion County - Land Development Code, Article 6., Sec. 6.7.4.(A) Shade trees are required for all developments excluding residential developments. The post-development ratio of shade trees to the area of the site shall be a minimum of one shade tree per 3000 SF.			
Total Site Area (SF)	1,458,7		
Required Shade Trees: 1 Shade Tree / 3000 SF	4		
Proposed Number of Shade Trees	4		
Proposed Number of Ornamental Trees			

TREE SPECIES DIVERSITY Per Marion County - Land Development Code, Article 6, Sec. 6.8.10,(C),1,(d). To promote biological diversity, no more than 50 percent of the required shade trees for a development shall be of one species.				
Total Proposed Shade Trees of any one particular species	103			
Total Proposed Number of Shade Trees	486			
Maximum Number of Shade Trees of any one particular species	243			
Total Proposed Percent of Shade Trees of any one particular species	21.19%			

LANDSCAPE BUFFERS
Per Marion County - Land Development Code, Article 6., Sec. 6.8.6.(A) A landscape buffer is
required to eliminate or reduce the negative impacts of the adjacent uses upon each other such that
the long term continuance if either use is not threatened by such impacts and the uses may be
social control assessed the

	Location / Type Requirement	Length (LF)	Shade Trees	Understory Trees	Provided
	East / Type C' 15 ft. width 50% Shrubs coverage 2 Shade Trees / 100 LF 3 Understory Trees / 100 LF	1542	31.00	46.00	58 Shade trees 50 Understory trees 50% Shrub coverage

NATIVE PLANT REQUIREMENTS
Per Marion County - Land Development Code, Article 6., Sec. 6.8.10.(C).1.(a.)
Within the UGB, a minimum of 25% of all proposed plant quantities, excluding
turfgrass, shall be Florida native species suitable for use in Marion County.

Type / Type Requirement	Total Proposed	Proposed Natives	Percent of Natives
Trees	539	486	90.2%
Shrubs	1590	548	34.5%

Kimley ** Horn

LANDSCAPE DETAILS AND CALCULATIONS

CC BASELINE ROAD INDUSTRIAL PREPARED FOR SUNCAP PROPERTY GROUP,

CALL 2 BUSINESS DAYS BEFORE

YOU DIG IT'S THE LAW!

LS-7

TECHNICAL SPECIFICATIONS - PLANTING. SECTION 329000

SUMMARY
A PROVICE AL LABOR EQUIPMENT AND INCIDENTIALS REQUIRED TO RENDER ALL SERVICES REQUIRED TO SUCCESSFULLY INSTALL ALL TURF AND LANDSCAPE
PROPOSED WITHIN THE PROJECT AREA SO ESPIRED ON PLANS.
B. WORK WILL ADULING BUT IN SOIT LAWISED TO REPROPATION INSTALLATION, AND MINITENANCE FOR PROPOSED TURF AND LANDSCAPE MATERIAL.

1.2 SUBMITTALS

A. PROVIDE TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO ANY PLANTING ACTIVITIES. SUBMITTALS SHALL INCLUDE: A COPY OF CURRENT CERTIFICATE AS A CERTIFIED LANDSCAPE CONTRACTOR BY THE FLORIDA NURSERY, GROWERS, AND LI (FNGLA).

- 2. A COPY OF CURRENT PEST CONTROL LICENSE (ROW, ORNAMENTAL AND/OR AQUATIC, IF APPROPRIATE) 3. CERTIFICATION BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES AS A COMMERCIAL FERTILIZER APPLICATOR PER 5E-14.117(18)
- MANUFACTURER'S LABELS OR INFORMATION FOR ANY COMPONENTS INCORPORATED INTO THIS PROJECT, INCLUDING BUT NOT LIMITED TO FERTILIZERS, PESTICIDES, AND STAKING SYSTEMS.
- If IMPORTED FILL IS REQUIRED TO AUGMENT EXISTING CONDITIONS FOR PLANTING, PROVIDE IMPORTED FILL AS DESCRIBED WITHIN PRODUCTS SECTION.
 PROVIDE A SOL ANALYSIS THROUGH THE UNIVERSITY OF FLORIDA EXTENSION SOL. TESTING LABORATORY FOR EACH FILL SOURCE AND INCLUDING
 INCLUDE. A WITHTEN REPORT CONTINUING SOL AUGMENDMENT AND FERTILIZER RECOMMENDATIONS FOR EACH SOURCE.
- SCHEDULE OF VALUES: PRIOR TO THE COMMENCEMENT OF THE WORK, SUBMIT INSTALLED UNIT PRICES FOR ALL PLANT MATERIALS (MULCH SHALL BE INCLIDED IN THE INSTALLED UNIT PRICING) AND SODDING. THE SCHEDULE OF VALUES SHOULD EQUAL THE TOTAL CONTRACT PRICE FOR LANDSCAPE

- 8. WRITTEN WARRANTIES AS SPECIFIED BELOW.
- 9. RECORD DRAWINGS: FURNISH ONE SET OF RECORD DRAWINGS THAT CLEARLY SHOW ALL CHANGES MADE TO THE ORIGINAL CONTRACT DRAWINGS DURING THE COLIESE OF THE WORK DRAWINGS SHALL BE PROVIDED IN PIDE FUE FORMAT AND TO REFULLY LEGISLE AND TO SCALE.

USA III VINE CHAIL BE PERFORMED PLA PICLA CRITTER OLARGEME CONTRACTOR PICLA PICHA CONSTITUTIO MEDICARY WORK BRAILAR INCOCE MITERAL DE LEGIOLA, MEDICARIE TO THAI AS RECORDE FOR THE PERMICATION WITH A RECORDE OF SUCCESSFUL TIESE AND SHRIB ESTRADE GAMBENT. THE LAMOCOMMENCE CONTRACTOR SHALL MANTAIN FLAC CESTIFICATION MESER FINGLA.

A PRANICHA AND TRAMMARIA, FEROURISE, DIAMALE PERFORMED FOR A CESTIFICED WROSET, AC CESTIFICED BY THE INTERNATIONAL SOCIETY OF AGROCOLUTINE (SAL.)

- C. ALL PART MUTERAL TO COME V WITH Y CORDAL PROMOCI DULLY TERMONIOUS DESIGNED AND SECRETO WHITE THE LATEST EXTENSION OF THE TO GOOL GROWNER.
 AND STRADMENTS OF MUNICIPAL PROMOCI DULLY TERMONIOUS DESIGNED AND SECRETORY WITH THE LATEST EXTENSION OF THE TO GOOL GROWNER.
 AND STRADMENTS OF MUNICIPAL PROMOCI SECRETORY OF THE CORD SECRETORY OF THE LATEST AND SECRETORY OF THE CORD SECRETORY OF THE CORD

- C. DACY ACC STANDARD DROPD INTO WITH MANUFACTURED SCRIPTIFIED ANALYSIS BY DECOGNIZED LABORATORY

- A. PROVIDE ALL EQUIPMENT, MATERIALS AND LABOR NECESSARY FOR COMPLETION OF WORK AND MAINTENANCE.
- B. OBTAIN ALL NECESSARY PERMITS, LICENSES, AND NOTIFICATIONS AND PAY FEES NECESSARY FOR COMPLETION OF THE WORK.
- COMPLY WITH ALL APPLICABLE CODES.
 COMPLY WITH ALL APPLICABLE CODES.
 CORDINATE WITH OTHER TRADES WORKING ON THE PROJECT DURING PLANTING ACTIVITIES.
- E. COORDINATION SHALL OCCUR WITH OTHER CONTRACTORS OR PROJECTS OCCURRING OFF SITE IF NECESSARY
- F. IDENTIFY AND VERIFY THE LOCATION OF ALL UTILITIES WITHIN PROPOSED PLANTING AREAS, CONTRACTOR TO CONTACT SUNSHINE STATE ONE CALL OF FLORIDA, INC. AS REQUIRED BY CHAPTER 556 OF FLORIDA STATUTES PRIOR TO ANY EXCAVATION OR PLANTING ACTIVITIES.
- G. PROVIDE SAFE STORAGE FOR ALL ECHIPMENT AND MATERIALS. STORAGE OF SLICH ITEMS IS AT THE CONTRACTOR'S RISK
- . REPAIR, AT NO COST TO THE OWNER, ANY DAMAGE OCCURRING DUE TO CONTRACTOR NEGLIGENCE TO EXISTING UTILITIES, STRUCTURES, FURNISHINGS, HARDSCAPE, LANDSCAPE, OR OTHER ELEMENTS TO REMAIN. ANY DAMAGED WORK SHALL BE REPAIRED AS PER PLANS, OTHER SPECIFICATIONS SECTIONS, OR AS INSTRUCTED BY THE OWNER'S REPRESENTATIVE.
- I. MAINTENANCE DURING INSTALLATION AND UNTIL FINAL ACCEPTANCE.

- 1. ALL EVICTING LANDSCADE AND TUDE TO DEMAIN SHALL BE DOCTOTED DUDING CONSTRUCTION ACTIVITIES
- WARRANTY SHRUBS AND GROUNDCOVER FOR A PERIOD OF TWELVE (12) MONTHS AFTER DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNBATISFACTORY GROWTH, EXCEPT FOR THAT WHICH IS A RESULT OF NEGLECT BY OWNER, ABUSE, DAMAGE BY OTHERS, OR LUNISUAL PHONDMAN OR NOLIDENTS WHICH A RES BY TON THE CONTRACTORS CONTROL.
- 2. REMOVE AND REPLACE ANY LANDSCAPE MATERIAL FOUND TO BE DEAD OR IN UNHEALTHY CONDITION DURING WARRANTY PERIOD
- - 1. WARRANTY ALL GRASS FOR A PEROD OF SIX (6) MONTHS AFTER SUBSTINITIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, AS DETERMINED BY THE OWNERS REPRESENTATIVE, DICEPT FOR DEFECTS RESULTING FROM REGLECT BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR THE INJUSIAL PHENDMENA OR INCIDENTS, WHICH ARE SEVOND THE CONTRACTOR'S CONTROL.
- 2. REMOVE AND REPLACE ALL TURF FOUND TO BE DEAD OR IN AN UNHEALTHY CONDITION DURING WARRANTY PERIOD AS DETERMINED BY THE OWNER'S
- C. REPAIR GRADES, LAWN AREAS, PAVING, AND ANY OTHER DAMAGE RESULTING FROM REPLACEMENT PLANTING OPERATIONS, AT NO ADDITIONAL COST TO OWNER.

1.6. DELIVEDY STODAGE AND MANDLING

- BELIEFS, TSHOME, NOHMICLING
 A PROJUZED STRENGE, DELIVER PROJUGED MITTERLES IN CONTANERS BYOWNIN WEGHT, CERTIFED AMAYSIS, MAINAME OF MANAFACTURER PROTECT
 MISTERIAS FROM ESTEROMATION LUMINO DELIVERY AND MISE STORED AT SILE.

 SO THE ELIVERY OF MISTORY AND THE STORED AT SILE.

 SO THE ELIVERY OF MISTORY OF MISTORY OF MISTORY AND THE STORED AT SILE.

 SO THE STORED ON THE STORED AND THE STORED AT SILE.

 MISTORY OF MISTORY OF MISTORY OF MISTORY AND THE MISTORY OF MISTORY OF THE MISTORY OF MISTORY OF MISTORY OF THE MIST

- A. COORDINATE AND COOPERATE WITH OTHER TRADES TO ENABLE WORK TO PROCEED AS RAPIDLY AND EFFICIENTLY AS POSSIBLE.
- B. IF WEATHER CONDITIONS DETRIMENTAL TO PLANTING ARE ENCOUNTERED OR ANTICIPATED, NOTIFY THE OWNERS REPRESENTATIVE OR OWNERS
 REPRESENTATIVE PRIOR TO PLANTING. PLANTING SHALL NOT OCCUR DURING PERIODS OF OR WITHIN 48 HOURS OF PREDICTED TEMPERATURES LESS THAN 32 F.
- C. WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED OR ANTICIPATED, INCLUDING BUT NOT LIMITED TO LIMESTONE, ROAD BASE, RUBBLE FILL, ADVERSE DRAMAGE CONDITIONS, OBSTRUCTIONS, OR TOXIC MATERIALS, NOTIFY THE OWNERS REPRESENTATIVE OR OWNERS REPRESENTATIVE PRIOR TO
- D. MAINTAIN GRADE STAKES SET BY OTHERS UNTIL REMOVAL IS MUTUALLY AGREED UPON BY PARTIES CONCERNED
- E. DETERMINE LOCATION OF UNDERGROUND LITLITIES PRIOR TO COMMENCEMENT OF WORK. CALL SUNSHINE STATE ONE CALL, 811. PERFORM WORK IN A MANNER THAT AVOIDS POSSIBLE DAMAGE. HAND EXCAVATE AS REQUIRED.

PART 2 - PRODUCTS

- FLL
 A: REQUIRED TO AUSIANT EXETING SOLS FOR LANDSCAPE AND TURP INSTALLATION, PROVIDE NEW, DEEP FLL MATERIAL AS PRIVIDED, STANDARD
 TECTURES AND THAT IS TAKEN FROM INELL CRAWNIC LOCAL QUICKES WITH SOLAR AS IN THESE AS FOUND AT THE PROJECT SITE
 BILL TO ES SUTTIME AFOR PAUM GROWINF, PRESELAL OFFREE OF ALL MITHERS REPORT, ENGINES, STORIS, STORIS, STORIS, ORGANIC MICK, HAPO
 PAIN CAY, LITTLER AND CONSTRUCTION DEBNIS INCLUDING LIMEROCK OR PHYNOGRAGE MATERIAL, ASPHALT, AND CONCRETE, AND OTHER EXTRANGOUS
 OR TOOK MATTER MARKET TOR PAUM ROSHING.

A. MULCH SHALL BE AS INDICATED IN NOTES OR THE PLANT SCHEDULE AND TO BE FREE OF BRANCHES, CONES, AND DEBRIS

2.3 COMMERCIAL FERTILIZER

C. FILL TO BE OF PH 5-6.5.

A. FERTILIZER TYPE AND APPLICATION TIMING AND METHODS SHALL MEET MARION COUNTY LAND DEVELOPMENT CODE, SECTION 6.8.14. - FERTILIZERS AND OTHER LANDSCAPE CHEMICALS: SEE MARION COUNTY LAND DEVELOPMENT CODE ARTICLE 6 - TECHNICAL STANDARDS AND REQUIREMENTS.

- A. PROVIDE SIRUBS AND GROUNDCOVERS OF SIZE, GENUS, SPECIES, AND VARIETY AS SHOWN IN THE PLANT SCHEDULE FOR LANDSCAPE WORK THAT CONFORM TO FLORIDA NO. 1 QUALITY STANDARDS.
- B. PROVIDE HEALTHY, VIGOROUS STOCK GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES AND FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALED, INJURIES, ABRASIONS, OR DISFIGUREMENT.
- C. LANDSCAPE MATERIAL SHALL BE CONTAINER GROWN MATERIAL UNLESS OTHERWISE SPECIFIED OR UNLESS APPROVED BY THE OWNERS

- AND APPOINES AND GROWN CHEY, STROWAY ROOTED SCO, NOT LESS THAN THO YEARS OLD, FREE OF WEEDS AND UNDESSMALE, NATIVE GRASSES, AND MICHINE CUTT OF AND THICKNESS OF A NICH PLUS OR MINES HE NOCITIES OF PROTECTION FROVER OF A YEAR OF AND THICKNESS.

 B. PROVIDES SOO OF MINISTRATION STRONG HAVE SOO SHALL BE VIOLED AND THE AREA WITH OTOGENES MENUR PLUS OF A NEW MINISTRATION OF THE MEMBER DEPOSIT OF THE MEMBER DESIGN HAVE AND THE ADMINISTRATION OF THE MEMBER DEPOSIT OF THE MEMBER DESIGN HAVE AND THE ADMINISTRATION OF THE MEMBER DEPOSIT OF THE MEMBER DEPO
- INT OF PAD WILL BE REJECTED.
- C. STABILIZING NETTING OR OTHER SYNTHETIC MATERIALS WITHIN SOO SHALL BE PROHIBITED.
- . STREAM WELLING ON CHER STREAM THE REAL STREAM OF THE STREAM OF T

A 15 APPROVED BY OWNER APPLY BON STAR O' PRE-EMERGENT HERRICIDE OR APPROVED FOLIAL IN PLANTING AREAS.

- A CONDUCT A PRE-CONSTRUCTION CONFERENCE ON SITE WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK. DISCUSS PROPOSED ACTIVITIES, REVIEW PROPOSED PLANTING AREAS, AND CONFIRM PROPOSED SCHEDULE OF WORK. PROVIDE ONE WEEK'S NOTICE OF BRONDED FOR THE PROPOSED SCHEDULE OF WORK. PROVIDE ONE WEEK'S NOTICE OF BRONDED FOR THE PROPOSED SCHEDULE OF WORK. PROVIDE ONE WEEK'S NOTICE OF BRONDED FOR THE PROPOSED SCHEDULE OF WORK. PROVIDE ONE WEEK'S NOTICE OF BRONDED FOR THE PROPOSED SCHEDULE OF WORK. PROVIDE ONE WEEK'S NOTICE OF BRONDED FOR THE PROPOSED SCHEDULE OF WORK. PROVIDE ONE WEEK'S NOTICE OF BRONDED FOR THE PROPOSED SCHEDULE OF WORK. PROVIDE ONE WEEK'S NOTICE OF BRONDED FOR THE PROPOSED SCHEDULE OF WORK. PROVIDE ONE WEEK'S NOTICE OF BRONDED FOR THE PROPOSED SCHEDULE OF WORK. PROVIDE ONE WEEK'S NOTICE OF BRONDED FOR THE PROPOSED SCHEDULE OF WORK. PROVIDE ONE WEEK'S NOTICE OF BRONDED FOR THE PROPOSED SCHEDULE OF WORK. PROVIDE ONE WEEK'S NOTICE OF BRONDED FOR THE PROPOSED SCHEDULE OF WORK. PROVIDE ONE WEEK'S NOTICE OF BRONDED FOR THE PROPOSED SCHEDULE OF WORK. PROVIDE ONE WEEK'S NOTICE OF BRONDED FOR THE PROPOSED SCHEDULE OF WORK.
- PROVISED CONFERENCE.

 B. SOURCE ALL SHAPL LIGEROUS, AND OTHER CONSTRUCTION DEBRIS ARE SEMDING PROVIDED FROM AREAS OF PROPOSED PLANTING OR SOCIONG TO A MANNAM LIGERTH OF INDEX PER PRIOR TO INSERTALATION.

 C. CLAND EXISTING DUE OF FOOLIST, ALTINIS, SOURS, STORES, CLAY, LIAMPS AND OTHER EXTRAGEOUS MATERIALS HARBELL OR TOOK TO PLANT GROWTH.

 D. PLANTING DEPTHO'S DOL SHALL ES, A MANNAM OF THREE (I) FEET. I FIFTH MIST SE ADDRESS. IT SHALL COMPORE TO THE RECURRENMIST LISTED AROUSE.

 F. PLANTING PRIOR SHALL WITE EXCENDED.

- E PAURIN ARAS SMUL NOT EX CORPACTED.

 F. PAURING ARAS SMUL NOT EX CORPACTED.

 F. PAURING ARAS SMUL NOT EX CORPACTED.

 F. PAURING ARAS SMUL NOT EX CORPACT.

 F. PAURING ARAS SMUL SMUL ENGLADAMEN, F. SAUDHET DR WET CONDITIONS SMST IN PROPOSED PLANTING ARAS C R WITHIN PLANTING HOLES, DO NOT PLANTING AND CONTROL AND CONTR OVER INTO SOIL. REPEAT IF NECESSARY TO REMOVE EXISTING VEGETATION.
- H. FOR TURF AREAS INDICATED FOR RENOVATION, MECHANICALLY CUT OUT AREAS OF FAILING TURF AND CREATE A CLEAN EDGE FOR NEW SOD
- FINE GRADE PROPOSED PLANTING AND SOD AREAS TO SMOOTH, EVEN SURFACES WITH LOOSE, UNIFORMLY FINE TEXTURE AND FREE OF LUMPS, CLODS, STONES, ROOTS, AND OTHER EXTRANEOUS MATTER. ROLL, RAKE, AND DRAG AREAS, REMOVE RIDGES, AND FILL DEPRESSIONS AS REQUIRED TO MEET
- J. ALLOW FOR SOD THICKNESS IN AREAS TO BE SODDED SUCH THAT INSTALLED SOD MEETS FINISHED GRADES.

3.2 TREE BARRIERS AND EXISTING TREE PROTECTION

- A REFER TO NOTES ON DEMOLITION PLANS OR LANDSCAPE PLANS REGARDING TIRES PROTECTION AND TIRES PROTECTION BARRIERS.
- A MEMBER INVOICES ON DESTING TREE ROOTS AS BUILD HAS POSSIBLE. AND ID TREE ROOT FALL REAGA AS DEFINED BY PERMITTING AGENCIES.

 C. ALL ROOTS OF TREES TO REMAIN THAT ARE MIMEDIATELY ADJACENT TO EXTREMITE EXCHANTION AND ARE 11 DIAMETER OR OVER SHALL BE HAD REPORTED BY HAND DICKING HAND ARE 11 DIAMETER OR OVER SHALL BE HAD REPORTED BY HAND DICKING HAND ARE 11 DIAMETER OR DICKE SHALL BE HAD REPORTED BY HAND DICKING HAND CUT OR SHALL BE HAD REPORTED BY HAND DICKING HAND CUT OR SHALL BE HAD REPORTED BY HAND DICKING HAND CUT OR SHALL BE HAD REPORTED BY HAND DICKING HAND CUT OR SHALL BE HAD REPORTED BY HAND DICKING HAND CUT OR SHALL BE HAD REPORTED BY HAND DICKING HAND CUT OR SHALL BE HAD REPORTED BY HAND DICKING HAND CUT OR SHALL BE HAD REPORTED BY HAND DICKING HAND CUT OR SHALL BE HAD REPORTED BY HAND DICKING HAND CUT OR SHALL BE HAD REPORTED BY HAND DICKING HAND CUT OR SHALL BE HAD REPORTED BY HAD DICKING HAND CUT OR SHALL BE HAD REPORTED BY HAD DICKING HAND CUT OR SHALL BE HAD REPORTED BY HAD DICKING HAND CUT OR SHALL BE HAD REPORTED BY HAD DICKING HAND CUT OR SHALL BE HAD REPORTED BY HAD DICKING HAND CUT OR SHALL BE HAD REPORTED BY HAD DICKING HAND CUT OR SHALL BE HAD REPORTED BY HAD DICKING HAND CUT OR SHALL BE HAD REPORTED BY HAD DICKING HAND CUT OR SHALL BE HAD REPORTED BY HAD DICKING HAND CUT OR SHALL BE HAD REPORTED BY HAD DICKING HAND CUT OR SHALL BE HAD REPORTED BY HAD DICKING HAD REPORTED BY HAD REPORTED BY HAD DICKING HAD REPORTED BY HAD REP
- D. SUPPLEMENTAL IRRIGATION IS REQUIRED FOR TIRES THAT HAVE UNDERGONE ROOT PRUNING. PROVIDE SUPPLEMENTAL IRRIGATION IMMEDIATELY FOLLOWING PRUNING AND CONTINUE THROUGH CONSTRUCTION.

3.3 PLANTING

- A PLANT TREES, SHRIBS, AND GROUNDCOVER AFTER FINAL GRADES ARE ESTABLISHED AND PRIOR TO PLANTING OF LAWINS UNLESS OTHERWISE AUTHORIZED BY OWNERS REPRESENTATIVE. IF PLANTING OF TREES AND SHRIBS OCCURS AFTER INSTALLATION OF LAWINS, PROTECT LAWIN AREAS AND PROMPTLY REPAIR DAMAGE CAUSED BY LANDSCAPE INSTALLATION. B. LAY OUT INDIVIDUAL PLANT LOCATIONS AND AREAS FOR MULTIPLE PLANTINGS. TRIANGLE SPACING SHALL BE USED FOR SHRUBS AND GROUNDCOVERS
- IL MESS OFFICIAL SECRETARY IN THE MESSAGE SECR
- D. FILL EXCAVATIONS FOR SHRUBS WITH WATER AND ALLOW WATER TO PERCOLATE OUT PRIOR TO PLANTING, NOTIFY OWNER'S REPRESENTATIVE OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- E. REMOVE PLANT MATERIAL FROM CONTAINER. LIFT TREES AND SHRUBS BY THE ROOTBALL AND NOT BY THE TRUNK OR MAIN STEM. SET PLANT MATERIAL STOCK IN CENTER OF PIT OR TRENCH WITH TOP OF BALL AT 1.2° ABOVE ADJACENT FINISH LANDSCAPE GRADES.
- F. REMOVE ANY SYNTHETIC OR STRAPPING MATERIAL PRIOR TO SETTING PLANT MATERIAL INTO PLANTING PIT OR TRENCH.
- S ENSURE PLANT MATERIAL IS PLUMB
- LEBSURE THAT WHIN THE MANUE OF THIS BEST OF THE STATE OF THE SECRET HE MANUELY AND ELIMINATE VOIDS AND AR POCKETS. ENSURE PROCEENING READ HE MANUELY AND ELIMINATE VOIDS AND AR POCKETS. ENSURE ROOTBALL REMANS 1-7 ADDVE ADJUGENT FINISH GRADIE. WHERE THE PLACING PROCEEDING REMANDED OF A DAVIGLE REPORT AND HERE WHITE A DAVIG SERVER LESSEN WHITE ADJUGENT FOR PLACING PROCEEDING. I. DISH TOP OF BACKFILL FOR TREES AND PALMS TO ALLOW FOR MULCHING.
- LIDENT DOY BLOCKEL FOR TREES AND PLANE TO ALLOW FOR MILLOWING. IF THAT IS RETIRED IN THE PERFORMANCE PROPERTY AND ALLOWING EXPENSIVE PROPERTY AND ALLOWED PROPERTY AND ALLOWING EXPENSIVE PROP
- L. MULCH PITS, TRENCHES, AND PLANTED AREAS, PROVIDE A THREE (3) INCH THICKNESS OF MULCH AND WORK ONTO TOP OF BACKFILL. THE FINISH LEVEL OF MULCH SHOULD MEET ADJACENT FINISH GRADES. MULCH AREAS BETWEEN GROUNDCOVER PLANTS.
- M. WATER THOROUGHLY AFTER PLANTING. TAKING CARE NOT TO COVER CROWNS OF PLANTS WITH WET SOILS.
- N. GUY AND STAKE TREES AND PALMS IMMEDIATELY AFTER PLANTING AS NEEDED.

PART 3 - EXECUTION CONT

- A. ENSURE GRADE IS SMOOTH AND EVEN WITH A LOOSE, UNIFORM TEXTURE. ROLL, RAKE AND DRAG PROPOSED LAWN AREAS, REMOVE RIDGES, AND FILL DEPRESSIONS AS REQUIRED TO MEET FINISH GRADES AND PROVIDE AN EVEN SURFACE FOR SOD INSTALLATION.
- LET YOU AND A CONTROL OF THE PROPERTY OF THE P
- LUMBS DO NOT CREATE A MILLOR SOLD COMPITION.

 APPLY SEPCIFED COMPOSED, HERTILLERS IT WITHING THE ALLOWING, EFERTILLING THE WINDOW FAR COUNTY CODE. APLY AT RAYES SPECIFED AND THROUGHEN MIX MITO IMPERT TWO INCHES OF SOLD, HAREAS OF FRODESS DOD. BLAY APPLICATION OF FERTILLERS F LUMBS PLAYING HIND. FLORE TO THE APPLICATION OF THE APPLICATION OF FERTILLERS F LUMBS PLAYING HIND. APPLICATION OF THE APPLICATION OF TH
- E. LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP, STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. TAP SOD FRINLY IN PLACE ONCE LID.
- F. ANCHOR SOD ON SLOPES GREATER THAN 3:1 WITH WOOD PEGS TO PREVENT SLIPPAGE. IE NEEDED.
- S. AVOID DAMAGE TO SUBGRADE OR SOD DUE TO INSTALLATION ACTIVITIES.

 I. WATER SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.

3.5 CLEANUP

AL MANTAIN WORK AREAS IN AN ORDERLY CONDITION. KEEP PAVEMENTS AND ADJACENT SITE AREAS CLEAN, REMOVE ALL POTS, LITTER, TOOLS, EDUPHENT, AND EXTRANEOUS SOL, SOD, OR MATERIALS AT THE END OF EACH WORK DAY. STORE MATERIALS AND EQUIPMENT WHERE DIRECTED. DISPOSE OF MATERIALS AND EQUIPMENT WHERE DIRECTED. DISPOSE OF MATERIALS AND EQUIPMENT WHERE DIRECTED.

- A PROTECT LANGUAGE WORK AND MATERIALS FROM DAMAGE DURING CONSTRUCTION, MAINTAIN PROTECTION DURING INSTALLATION AND THROUGHOUT THE MAINTENANCE PERIOD. THEST, REPAIR OR REFALE DIMAGEST LANGUAGE WORK AS DIRECTED.

 RESES WHICH AND TO REMAIN IN THE CONSTRUCTION AREA SALL IS EMPORTEDED FROM DAMAGEST REQUIRED HOT THE CONSTRUCTION PROCESS BY THE
- C. DO NOT PERMIT HEAVY EQUIPMENT OR STOCKPILES WITHIN THE DRIP LINE OF EXISTING OR NEWLY PLANTED TREES. REMOVE INTERFERING BRANCHES WITHOUT IN LINEY TO TRIMAYE

A. MAINTENANCE ACTIVITIES SHALL INCLUDE THE FOLLOWING ACTIVITIES DURING CONSTRUCTION AND UNTIL FINAL ACCEPTANCE:

- WEEDING: MAINTAIN PLANTINGS AND TURE AS WEED FREE.
 MULCHING: MAINTAIN MULCH AT TREES, PALMS, AND WITHIN PLANTING BEDS AT A 3" DEPTH.
- 3. PEST CONTROL: SPRAY AS REQUIRED TO KEEP PLANTINGS AND TURE FREE OF INSECTS AND DISEASE
- 4. MOWING: MOW TURF AREAS AS NEEDED OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- 6. DEDI ACEMENT: DEDI ACE DI ANTO OD CON ADEAC THAT ADE IN DOOD CONDITION
- 6. LITTER REMOVAL: REMOVE LITTER AND DEBRIS FROM LANDSCAPE AND TURE AREAS.
- 7. RESTORE PLANTING SAUCERS OF TREES AND SHRUBS. TIGHTEN AND REPAIR STAKE AND GUY WIRE SUPPORTS, IF PRESENT, AND RESET TREES AND SHRUBS TO PROPER GRADES OF VERTICAL
 POSITION AS REQUIRED.
- 9. REMOVE ALL TREE STAKING, IF PRESENT, WITHIN ONE YEAR AFTER PLANTING.

- ANY DISTRICT OF COSTING UNDERGODE UNIVERSE AND SHEEKS, DAMAGED OR DESTROYED SHALL BE REPLACED OR MITIGATED BY THE CONTRACTOR WITH LIKE SPECIES OR MOTHER SPECIES APPROVED BY THE OWNER'S REPRESENTATIVE. ANY AREA OF VEGETATION THAT IS DAMAGED DURING CONSTRUCTION WILL BE RESTORED TO TIS ORIGINAL STATE WITHIN 72 HOUSE OF THE COMPACTION OF THE ASSOCIATED CONSTRUCTION WORK.
- IF REMOVAL OF AN EXISTING TREE REQUIRES MITIGATION, THE CONTRACTOR SHALL BE HELD LIABLE FOR THE COMPLETE COST, INCLUDING BUT NOT LIMITED TO TREE REPLACEMENT COSTS AND PAYMENTS REQUIRED TO PERMITTING AGENCIES.
- C. TREE REPLACEMENT SPECIES AND PROCEDURES SHALL BE DISCUSSED WITH AND APPROVED BY THE OWNER'S REPRESENTATIVE AND OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF ACTIVITIES.

3.9 INSPECTION AND ACCEPTANCE

- A WHEN ALL LANDSCAPE WORK IS SUBSTANTIALLY COMPLETE, THE OWNER'S REPRESENTATIVE WILL UPON REQUEST, MAKE A SUBSTANTIAL COMPLETION INSPECTION TO DETERMINE ACCEPTABILITY AND COMPLIANCE WITH THE CONTRACT DOCUMENTS. THE OWNER'S REPRESENTATIVE WILL PRODUCE A WRITTEN FAUNCH IS FOR THE CONTRACTOR AND OWNERS PREPRESENTATIVE TO DIGITIFY THEIR STAT SHALL BE ADDRESSED FRICH TO FINAL WRITTEN FAUNCH.
- WINER'S REPRESENTATIVE WILL PROD SSED PRIOR TO FINAL ACCEPTANCE. C. FINAL ACCEPTANCE WILL NOT BE ISSUED UNTIL ALL PUNCH LIST ITEMS HAVE BEEN COMPLETED AND ACCEPTED BY THE OWNER AND ALL SUBMITTALS
- D. WORK MAY BE INSPECTED FOR ACCEPTANCE IN PORTIONS AS PHASES OF INSTALLATION ARE COMPLETED AND AS AGREEABLE TO THE OWNER'S REPRESENTATIVE, PROVIDED EACH PORTION OF WORK OFFERED FOR INSPECTION IS SUBSTANTIALLY COMPLETE.

品 Kimley

KHA PROJE
04349700
DATE
FEBRUARY:
SCALE ASSI CHNICAL IFICATIONS

CC : ROAD 'RIAL GROUP, PREPARED FOR PROPERTY (

INE JSTF BASELII INDU

811

YOU DIG

IT'S THE LAW!

SUNCAP F LS-8

CAPI _ANDS 요등 Ш \overline{a} \overline{S}