

August 22, 2024

PROJECT NAME: NEIGHBORHOOD BUSINESS PARK AT PALM CAY

PROJECT NUMBER: 2022070089

APPLICATION: MAJOR SITE PLAN #31579

1 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: IF APPLICABLE:

Sec. 2.18.2.I Show connections to other phases.

Sec. 2.19.2.H. Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Required Right of Way Dedication (select as appropriate)

Sec. 6.3.1.D.(1)(b)1. For Public Streets. "[All streets and right of way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.D.(1)(b)2. For Non-Public Streets. "[All streets and right of way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.(1)(b)3. For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.D.(1)(c)1&2 Utility Easements, select as appropriate:

1."[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

2."[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec. 6.3.1.D.(1)(d)1.2.3. Stormwater easements and facilities, select as appropriate:

1."[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2."[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedicated language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.(1)(f). If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

2 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.27 - Show location of outside storage areas

STATUS OF REVIEW: INFO

REMARKS: outdoor storage not proposed

- 3 DEPARTMENT: 911 - 911 MANAGEMENT  
REVIEW ITEM: Additional 911 comments  
STATUS OF REVIEW: INFO  
REMARKS: Sheet C16 has the Phase 3 buildings labeled as BLDG H, BLDG I, and BLDG J where the rest of the sheets that are labeled show them as BLDG E, BLDG F, and BLDG G.
- 4 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH  
REVIEW ITEM: Additional Health comments  
STATUS OF REVIEW: INFO  
REMARKS: N/A
- 5 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.4 - Sewer Capital Charges and Flow Rates - proposed use identified to calculate  
STATUS OF REVIEW: INFO  
REMARKS: Potable & sewer cap fees will be charged by MCU Permitting & be due prior to the issuance of your building permit(s).
- 6 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.5.C - All issued permits related to this project shall be submitted to MCU (DOT, ROW, misc)  
STATUS OF REVIEW: INFO  
REMARKS:
- 7 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.8.A - Completion and Closeout - PLAN NOTE: As-builts  
STATUS OF REVIEW: INFO  
REMARKS: For any utility assets between (1) the water main & the meter and (2) the sewer main and the owner's new manhole, MCU will require a Bill of Sale & as-built before the water meter will be installed. If this building is permitted prior to the approved Major Site Plan approval, the permit will be flagged with a FINAL HOLD until the BoS is received.
- 8 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.9.B - Bill of Sale  
STATUS OF REVIEW: INFO  
REMARKS: will be required - contact Carrie.Hyde@MarionFL.org to start this process as soon as possible. Correct forms will be returned upon request. Reference MINSP AR 31560
- 9 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.15.3 - Fire Protection/Fire Flow Capacity  
STATUS OF REVIEW: INFO  
REMARKS: defer to DOH - public water by MCU
- 10 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities  
STATUS OF REVIEW: INFO  
REMARKS: \$225 fee added to this Major Site Plan with other fees - coordinate payment with Development Review at 352-671-8686 RE: AR #31579 Utility Review Fee
- 11 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.21.2.B - Major Site Plan fee of \$1,000.00 + (\$10.00 x total site acreage)  
STATUS OF REVIEW: INFO  
REMARKS: 6/5/24-fee due with resubmittal

- 12 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval  
STATUS OF REVIEW: INFO  
REMARKS: 6/5/24-add waivers if requested in future
- 13 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.21.2.A - Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application  
STATUS OF REVIEW: INFO  
REMARKS:
- 14 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: Additional Development Review Comments  
STATUS OF REVIEW: INFO  
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24”x 36” sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
- 15 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI  
STATUS OF REVIEW: INFO  
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 16 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Copy of District Permit (County Interest)  
STATUS OF REVIEW: INFO  
REMARKS: Please provide a copy of the District permit prior to construction.
- 17 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Additional Stormwater comments  
STATUS OF REVIEW: INFO  
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Alexander Turnipseed at (352) 671-8376 or at [alexander.turnipseed@marionfl.org](mailto:alexander.turnipseed@marionfl.org).
- 18 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 2.12.8 - Topographical Contours  
STATUS OF REVIEW: NO  
REMARKS: Survey needs to be no older than 12 months old. Staff would support a waiver
- 19 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 2.12.13/14/15 - General Exhibits  
STATUS OF REVIEW: NO  
REMARKS: Please provide a National Wetland Inventory map for the site

- 20 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 2.12.38 - Stormwater Maintenance Entity  
STATUS OF REVIEW: NO  
REMARKS: Please identify the owner/representative who will be signing the Owner's Certification
- 21 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.A(6) - Existing/Proposed Stormwater Pipes  
STATUS OF REVIEW: NO  
REMARKS: (1) Please identify the location of the outflow item labeled Trench in the plans (2) Please identify the material of the pipes used
- 22 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 7.1.3 - Drainage Construction Specifications  
STATUS OF REVIEW: NO  
REMARKS: LDC requires the use of RCP pipe for stormwater conveyance piping. To pursue using an alternative material, the engineer needs to submit a request identifying the alternative material type requested, verification that the material is included on the FDOT Approved Products List, and the site specific installation meets install criteria such as depth of cover and UV protection for pipe ends. County will review the request and provide feedback.
- 23 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.  
STATUS OF REVIEW: NO  
REMARKS: After all stormwater comments are resolved, please upload a scanned copy of the digitally signed and sealed certification page of the stormwater report to ePlans. Alternatively, a hard copy can be submitted. If you choose to submit a hard copy, you only need to submit the certification page of the report. A full report is not necessary. However, full reports are accepted if desired.
- 24 DEPARTMENT: ENGTRF - TRAFFIC REVIEW  
REVIEW ITEM: 6.11.3 - Traffic Impact Analysis  
STATUS OF REVIEW: NO  
REMARKS: 6/17/24 - This development will generate over 49 peak hour trips. A traffic assessment is required. A traffic methodology must be reviewed and approved prior to conducting the methodology.
- 25 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: Marion County Utilities Contact Information  
STATUS OF REVIEW: NO  
REMARKS: Cover Sheet - change address to 11800 S US Hwy 441, Belleview FL 34420
- 26 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.2.C - Industrial Pretreatment  
STATUS OF REVIEW: NO  
REMARKS: NOTE: Cover Sheet C01 note RE IP - this note does not relieve developer of IP requirements if pretreatment is needed for any unit working with IP-required conditions. All IP conditions must be complied with onsite prior to any IP being released to the public sewer system. Amend note to include "It is the developer's responsibility to notify Marion County Utilities if any unit in this development is using items which may produce grease, fats, oils, petroleum or other uses requiring a review of MCU's IP protocols."

- 27 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.4 - Water (irrigation) Capital Charges and Flow Rates - total irrigated area identified  
STATUS OF REVIEW: NO  
REMARKS: how is irrigation to be managed? If by MCU, show irrigation meter location, size, and total irrigated SF. If by private well, indicate where the well is shown.
- 28 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.5.A(2) - Submittal Requirements - Proposed on-site & off-site mains and service connections  
STATUS OF REVIEW: NO  
REMARKS: Each building and/or unit must be separately metered. Modify meters to be shown banked as needed for buildings set to have multiple tenants.
- 29 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.5.A(8) - Submittal Requirements - Connection to existing sanitary system  
STATUS OF REVIEW: NO  
REMARKS: Extend S1 to property line to indicate line of demarcation between public/private ownership & run lateral to main from S1
- 30 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.5.B - Construction Notes - UT DETAILS - current LDC version  
STATUS OF REVIEW: NO  
REMARKS: Details are outdated & were revised 4/13/23 - you can find .pdf & CAD versions of those UT details here --> <https://utilities.marionfl.org/i-want-to/find-construction-related-forms>
- 31 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.7 - Construction Inspection - PLAN NOTE:  
STATUS OF REVIEW: NO  
REMARKS: Include in response where this is added to plan set - "MCU personnel are to inspect any work performed on or around existing MCU infrastructure. A pre-construction meeting is required to be held a minimum of 48 hours prior to start of any construction. If the pre-construction meeting is not completed, any work may be halted. To schedule, contact MCU's Construction Officer at 352-307-6163."
- 32 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.9.B - Transfer of Facilities to Marion County Utilities - PLAN NOTE:  
STATUS OF REVIEW: NO  
REMARKS: Any assets to be conveyed to MCU after construction shall be called out clearly on the Utility/Site plan. They can be called out by arrow, color or other method that clearly identifies the separation between public/private ownership.
- 33 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.15.6.A - Potable Water Metering - individual/banked, size  
STATUS OF REVIEW: NO  
REMARKS: if banking, identify per MCU UT detail revised 4/13/23; include meter sizing
- 34 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.15.7 - Cross Connection Control and Backflow Prevention  
STATUS OF REVIEW: NO  
REMARKS: show

- 35 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.16.4 - Wastewater Collection Systems (Gravity/Pressurized) Design  
STATUS OF REVIEW: NO  
REMARKS: Onsite SS is a collection system; show manholes (not just cleanouts) & ensure they are no farther than 400' apart
- 36 DEPARTMENT: 911 - 911 MANAGEMENT  
REVIEW ITEM: 2.12.28 - Correct road names supplied  
STATUS OF REVIEW: NO  
REMARKS: Sheet 2024-05-30 – NBP at Palm Cay Aerial Map has SW HWY 200 incorrectly labeled as SR 200. Sheet C03 has a label “To SR 200” It should be “TO SW HWY 200.” Sheet C09 is missing the label for SW 106th Place.
- 37 DEPARTMENT: ENGSUR - SURVEY REVIEW  
REVIEW ITEM: 2.12.11 - Provide an aerial map of the site with a layout of the development  
STATUS OF REVIEW: NO  
REMARKS: Please overlay sheet C03 onto an aerial.
- 38 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.7.4 - Shade tree requirements  
STATUS OF REVIEW: NO  
REMARKS: New shade trees provided calculation does not match plant schedule
- 39 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.7.6 - Tree removal submittal requirements  
STATUS OF REVIEW: NO  
REMARKS: Mitigation calculations do not match approved tree mitigation for AR#29259
- 40 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.7.8 - Protected tree replacement requirements  
STATUS OF REVIEW: NO  
REMARKS: Mitigation calculations do not match approved tree mitigation for AR#29259
- 41 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.7.9 - Replacement trees; general requirements  
STATUS OF REVIEW: NO  
REMARKS: Mitigation calculations do not match approved tree mitigation for AR#29259
- 42 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.8.6 - Buffers  
STATUS OF REVIEW: NO  
REMARKS: Discussion with staff needed
- 43 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.8.7 - Parking areas and vehicular use areas  
STATUS OF REVIEW: NO  
REMARKS: Provide planted screening around parking perimeter (south)
- 44 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.8.8 - Building landscaping  
STATUS OF REVIEW: NO  
REMARKS: Min. 60% of building to be screened with landscape

- 45 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.8.12 - Landscape completion inspection requirements  
STATUS OF REVIEW: NO  
REMARKS: Provide note from this section of code
- 46 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.9.6 - Completion inspection requirements  
STATUS OF REVIEW: NO  
REMARKS: Provide note from this section of code
- 47 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.19.3 - Outdoor lighting plan requirements  
STATUS OF REVIEW: NO  
REMARKS: will there be outdoor lighting? if so, a photometric plan is required
- 48 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 2.12.24 - Landscape requirements/6.8.6 - Buffering  
STATUS OF REVIEW: NO  
REMARKS: B-Type Buffer required adjacent to residential uses. Requires a 6' wall not opaque fence. Installing buffer today will mean it is in place and on the way to maturing before future development happens.  
B-Type buffer shall consist of a 20-foot wide landscape strip with a buffer wall. The buffer shall contain at least two shade trees and three accent/ornamental trees for every 100 lineal feet or fractional part thereof. Shrubs and groundcovers, excluding turfgrass, shall comprise at least 50 percent of the required buffer.
- 49 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 2.12.32 - Modified Environmental Assessment for Listed Species (LDC 6.5.4) -OR- EALS Exemption Application (LDC 6.5.3) submitted (including habitat assessment as necessary per LDC 6.6.4)  
STATUS OF REVIEW: NO  
REMARKS: Environmental Assessment for Listed Species is required, do this and contact FWC for any listed species found on site before moving any dirt or removing trees.
- 50 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 4.4.4 -Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan.  
STATUS OF REVIEW: NO  
REMARKS: please show dimensions and setbacks of the signs



**Marion County  
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

**AR 31579**

**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Date: 8/20/2024 Parcel Number(s): 35770-055-21 Permit Number: AR #31579

**A. PROJECT INFORMATION:** Fill in below as applicable:

Project Name: Neighborhood Business Park at Palm Cay Commercial  Residential   
Subdivision Name (if applicable): \_\_\_\_\_  
Unit \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_ Tract \_\_\_\_\_

**B. PROPERTY OWNER'S AUTHORIZATION:** The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Todd Rudnianyn, PC 200-2 LLC  
Signature: \_\_\_\_\_  
Mailing Address: 2441 SE 3rd Street, Suite 201 City: Ocala  
State: FL Zip Code: 34470 Phone #: (352) 629-6101  
Email address: toddr@neighborhoodstorage.com

**C. APPLICANT INFORMATION:** The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Kimley-Horn and Associates, Inc. Contact Name: Joseph C. London, P.E.  
Mailing Address: 1700 SE 17th Street, Suite 200 City: Ocala  
State: FL Zip Code: 34471 Phone #: (352) 438-3000  
Email address: ocala.permits@kimley-horn.com

**D. WAIVER INFORMATION:**

Section & Title of Code (be specific): 6.8.8 - Building Landscaping  
Reason/Justification for Request (be specific): Waiver request to allow less than 60% minimum screening of building due to proposed use and bay doors on each unit.  
\_\_\_\_\_  
\_\_\_\_\_

**DEVELOPMENT REVIEW USE:**

Received By: Email 8/20/24 Date Processed: 8/21/24 BM Project # 2022070089 AR # 31579

**ZONING USE:** Parcel of record: Yes  No  Eligible to apply for Family Division: Yes  No   
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ P.O.M. \_\_\_\_\_ Land Use: \_\_\_\_\_ Plat Vacation Required: Yes  No   
Date Reviewed: \_\_\_\_\_ Verified by (print & initial): \_\_\_\_\_





**Marion County  
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Section & Title of Code (be specific) 6.8.6 - Buffers  
Reason/Justification for Request (be specific): Waiver request from buffer wall requirement and to allow existing trees and natural vegetation to be used towards the buffer plant material requirements. Buffer trees were noted to be saved during mass grading of the site.

Section & Title of Code (be specific) 6.8.7 - Parking Areas and Vehicular Use Areas  
Reason/Justification for Request (be specific): Waiver request from hedge planting requirements along the southern edge of the parking as it is interior to the site and will be adequately screened by the southern buffer.

Section & Title of Code (be specific) \_\_\_\_\_  
Reason/Justification for Request (be specific): \_\_\_\_\_

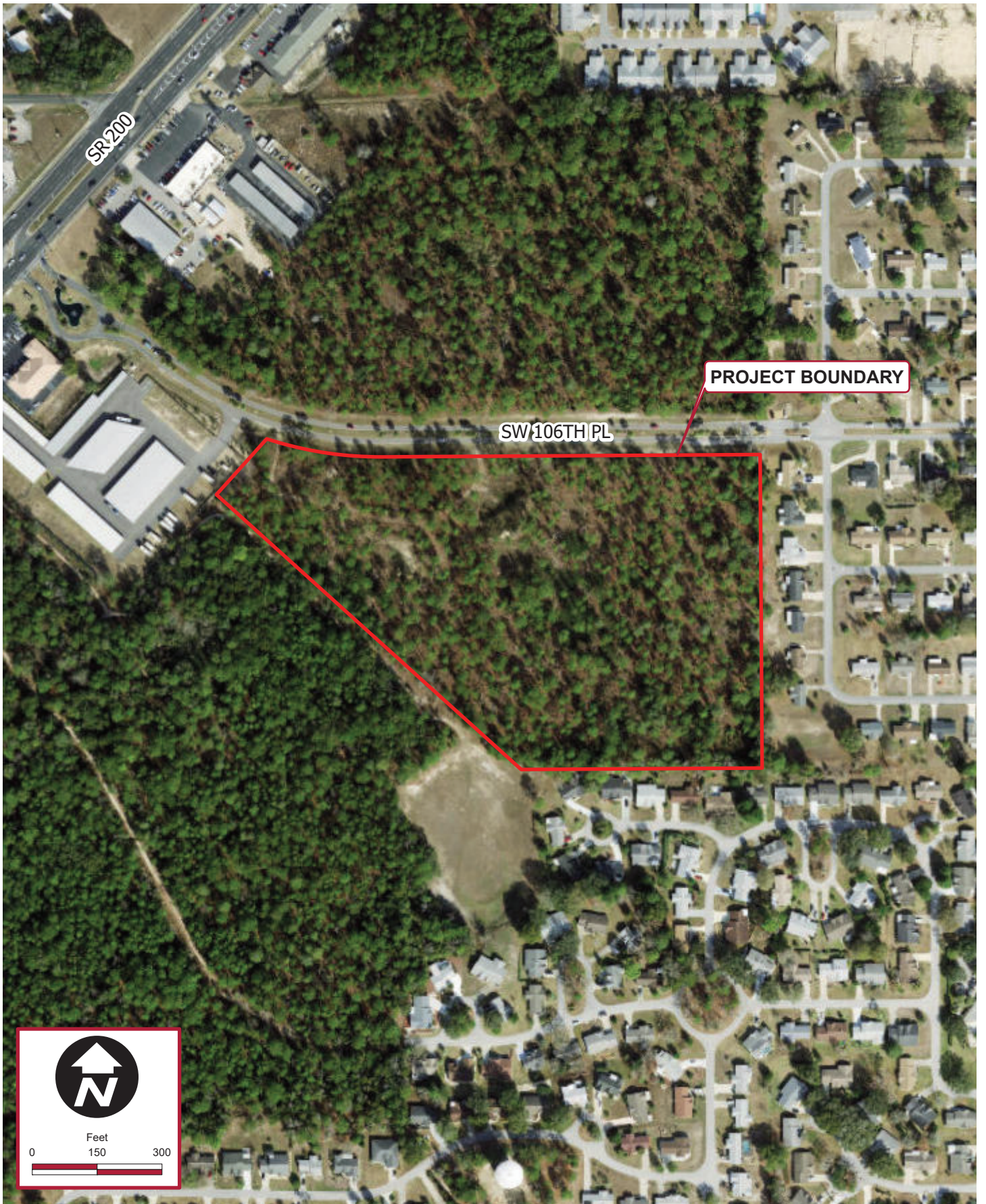
Section & Title of Code (be specific) \_\_\_\_\_  
Reason/Justification for Request (be specific): \_\_\_\_\_

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Reason/Justification for Request (be specific): \_\_\_\_\_

Section & Title of Code (be specific) \_\_\_\_\_  
Reason/Justification for Request (be specific): \_\_\_\_\_

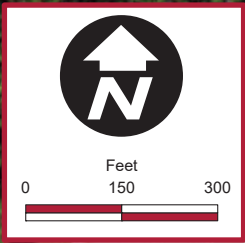
K:\OCA\_Civil\142842012-NBP at Palm Cay Major Site Plan\GIS\Working Maps\Working Maps.aprx - 4/2/2024 11:25 AM - Collin Cole



PROJECT BOUNDARY

SW 106TH PL

SR 200



**Kimley»Horn**  
© 2024 Kimley-Horn and Associates, Inc.  
1700 SE 17th Street, Suite 200, Ocala, FL 34471  
Phone: (352) 438-3000  
www.kimley-horn.com Registry No. 35106

AERIAL MAP			
NEIGHBORHOOD BUSINESS PARK AT PALM CAY MARION COUNTY, FLORIDA			
Scale: As Noted	Project No.: 142842012	April 2024	Figure 1



THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGN PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE, AS DEFINED IN SECTION 384.003, F.S. AND IS TO BE USED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT, WHICH IS SET FORTH IN THE PROPOSAL, STATE OF RECORD, AND/OR CONTRACT. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN AUTHORIZATION AND SIGNATURE OF THE ENGINEER IS STRICTLY PROHIBITED. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN AUTHORIZATION AND SIGNATURE OF THE ENGINEER IS STRICTLY PROHIBITED. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN AUTHORIZATION AND SIGNATURE OF THE ENGINEER IS STRICTLY PROHIBITED.

### GENERAL NOTES

- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY "LAND DEVELOPMENT CODE" AND "UTILITY MANUAL" AS APPLICABLE.
- NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER AND PROJECT ENGINEER.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
- EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE EXTREMELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY OR RELOCATED TO PROTECT AN UNDERGROUND UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. A LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION DOCUMENTS. THIS LIST IS FOR INFORMATION ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- ALL COPIES OF CONSTRUCTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.
- ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PROPERLY ABANDONED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
- ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- ALL SIGN POSTS TO BE U-CHANNEL GALVANIZED STEEL 28x6x1/2. BREAKAWAY POSTS.
- ALL UTILITIES UNDER EXISTING OR PROPOSED PAVEMENT SHALL BE SLEEVED IN ACCORDANCE WITH SECTION 8.2.6.6 OF THE MARION COUNTY LDC.
- ALL LIGHTING SHALL BE SHIELDED TO NOT CAST GLARE ONTO ADJACENT PROPERTY.
- BUILDING SHALL COMPLY WITH THE IN BUILDING PUBLIC SAFETY MINIMUM RADIO SIGNAL STRENGTH REQUIREMENTS. THE LOCATION WILL NEED TO HIRE AN INDEPENDENT FIRM TO TEST THE STRENGTH OF THE SIGNAL AND IF DEEMED NECESSARY, ADD EQUIPMENT WHICH ALLOWS THE BUILDING TO MEET THE MINIMUM POLICIES. THE BUILDING MUST HAVE A PASSING RADIO TEST PRIOR TO CALLING FOR THE FINAL FIRE INSPECTION OF THE BUILDING. ANY INSTALLATION OF EQUIPMENT MUST BE DONE UNDER A PERMIT AND BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
- UPON COMPLETION OF THE LANDSCAPE INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL. A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THE CONTRACTOR SHALL OBTAIN AND PROVIDE A COPY OF THE N.P.D.E.S. PERMIT OR N.O.I. TO MARION COUNTY PRIOR TO CONSTRUCTION.
- MCU PERSONNEL ARE TO INSPECT ANY WORK PERFORMED ON OR AROUND EXISTING MCU INFRASTRUCTURE. A PRE-CONSTRUCTION MEETING IS REQUIRED TO BE HELD A MINIMUM OF 48 HOURS PRIOR TO START OF ANY CONSTRUCTION. IF A PRE-CONSTRUCTION MEETING IS NOT CONVENED, ANY WORK MAY BE HALTED. TO SCHEDULE, CONTACT MCU'S CONSTRUCTION OFFICER AT (352) 307-6163.

### PAVING, GRADING AND DRAINAGE NOTES

- ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN COUNTY'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
- ALL FINAL PAVEMENT MARKINGS WITHIN THE STATE AND PUBLIC RIGHT-OF-WAYS SHALL BE THERMOPLASTIC STOP BARS, TRAFFIC ARROWS, LANE STRIPING, AND CROSS WALK STRIPING SHALL BE THERMOPLASTIC. ALL OTHER PAVEMENT MARKINGS ON-SITE SHALL BE PAINT.
- STOP BARS SHALL BE TWENTY-FOUR INCHES (24") WIDE AND LANE WIDTH.
- BOTTOM EDGE OF ANY INSTALLED SIGNS SHALL HAVE 7' CLEARANCE TO FINISH GRADE UNLESS OTHERWISE NOTED.
- ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SOODED.
- TRAFFIC CONTROL ON ALL FOOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHWV) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- ALL DRAINAGE FACILITIES AND STORM STRUCTURES MUST BE BUILT PRIOR TO CONSTRUCTION OF ANY IMPEROVUS SURFACES.
- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
- WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
- IF DETASSERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
- STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
- FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FDOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SOODED OR SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CONNECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SOODED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
- ALL CUT OR FILL SLOPES SHALL BE A (HORIZONTAL) : 1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS IN CHAPTER 17-302, FLORIDA ADMINISTRATIVE CODE.
- SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
- THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT WILL BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.
- THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND PROPERLY DISPOSED OF ALL MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.
- ASPHALT PAVEMENT SHALL BE 1.5" THICK (F.D.O.T. TYPE SP-9.5) ON 6" LIME ROCK BASE (98% MAX. DENSITY, 100 LBS) ON 12" STABILIZED SUBGRADE (98% MAX. DENSITY, 40 LBS).

### WATER AND SEWER UTILITY NOTES

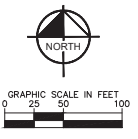
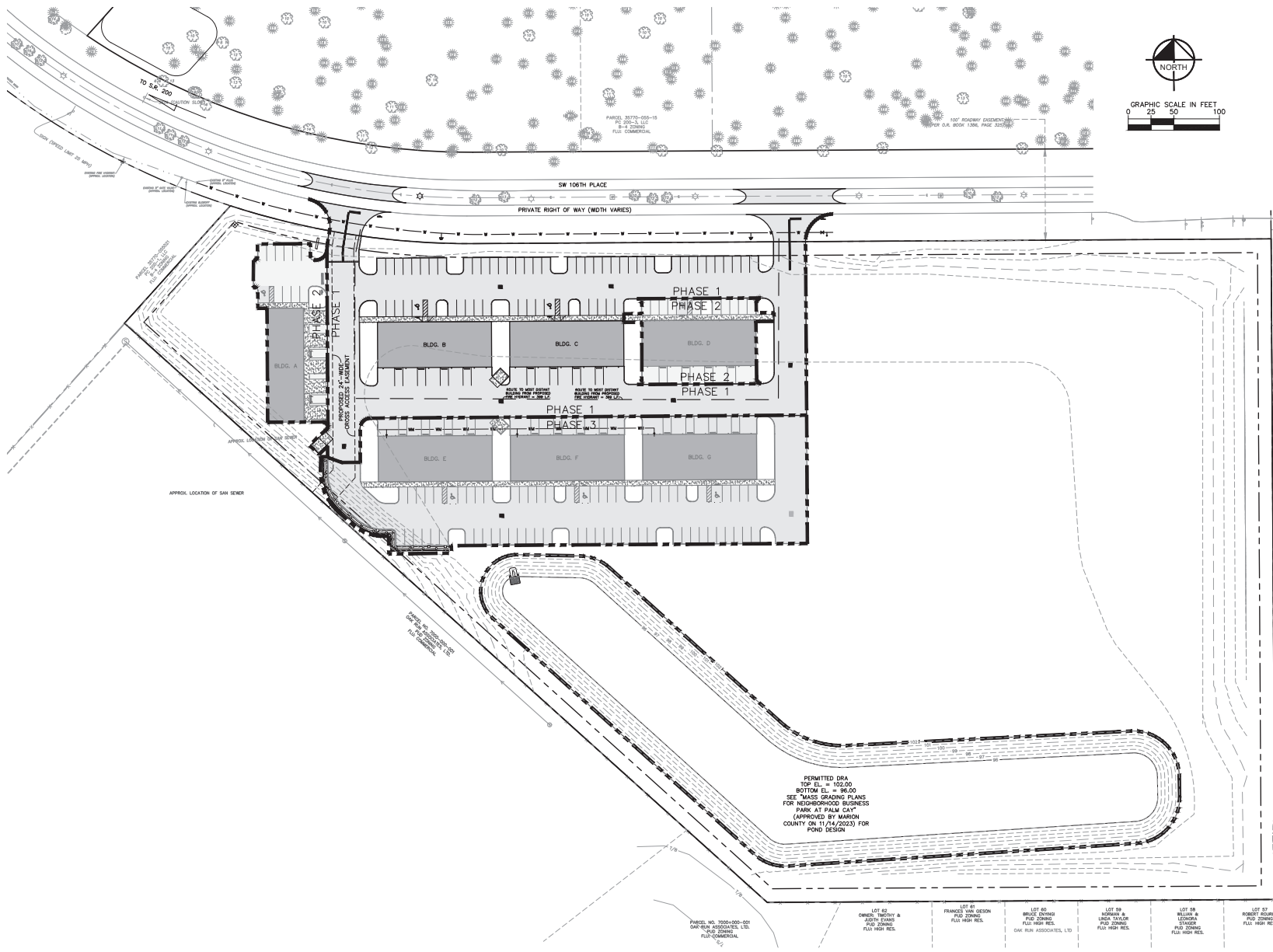
- THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MAINHOLES, GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
- ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
- ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- UNDERGROUND LINES SHALL BE SURVEYED BY A PROFESSIONAL LAND SURVEYOR BEFORE BACK FILLING.
- CONTRACTOR SHALL PERFORM AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.
- MARION COUNTY UTILITIES WILL OWN AND MAINTAIN THE WATER AND SEWER MAINS. DAMAGES TO THE HARDSCAPE, LANDSCAPE, OR RESTORATION WILL BE THE SOLE RESPONSIBILITY OF THE OWNER IN THE EVENT OF ANY MAIN REPAIR.

### MAINTENANCE

- ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETEIORATION.
  - ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 981 OF THE STANDARD SPECIFICATIONS.
  - SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
  - THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
  - THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
  - OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 55 CUBIC YARDS / ACRE.
  - ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

NEIGHBORHOOD BUSINESS		KIMLEY-HORN & ASSOCIATES, INC. © 2024 KIMLEY-HORN AND ASSOCIATES, INC. 1700 SE 17TH STREET, SUITE 200, OCALA, FLORIDA 34761 WWW.KIMLEY-HORN.COM REGISTRY NO. 29108	NO. _____	DATE _____
PARK AT PALM CAY				
PREPARED FOR PC-200-2, LLC		KIMLEY-HORN & ASSOCIATES, INC. 33694	NO. _____	DATE _____
MARION COUNTY MAJOR SITE PLAN				
SHEET NUMBER C02		NOT FOR CONSTRUCTION REVISIONS		

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<b>NEIGHBORHOOD BUSINESS          PARK AT PALM CAY</b> PREPARED FOR: <b>PC 200-2, LLC</b>		FLORIDA MARION COUNTY	
<b>OVERALL AND          DRAINAGE</b>		SHEET NUMBER <b>C03</b>	
KHA PROJECT 1/22/2024	KHA DATE MAY 2024	LICENSED PROFESSIONAL <b>JOSEPH C. LONDON, P.E.</b>	DATE 3/28/24
SCALE AS SHOWN	FLORIDA LICENSE NUMBER 33694	KIMLEY-HORN AND ASSOCIATES, INC. 1700 SE 17TH STREET, SUITE 200, OCOA, FLORIDA 32971 WWW.KIMLEY-HORN.COM REGISTRY NO. 20108	KHA DESIGNED BY DRAWN BY CHECKED BY
LOT 54 OWNED, TRINITY & OAK-RUN ASSOCIATES, LLC FULL HIGH REL.	LOT 55 FRANKIE SIMPSON FULL ZONING FULL HIGH REL.	LOT 56 BRUCE DENNIS FULL ZONING FULL HIGH REL.	LOT 58 NORMAN & LINDA TAYLOR FULL ZONING FULL HIGH REL.
LOT 57 ULIAN WOODLIAM FULL ZONING FULL HIGH REL.	LOT 58 ADRIAN FRANK FULL ZONING FULL HIGH REL.	LOT 59 HENRY ROBINSON FULL ZONING FULL HIGH REL.	LOT 60 ROBERT ROUSSE FULL ZONING FULL HIGH REL.
LOT 61 JOHN WOODLIAM FULL ZONING FULL HIGH REL.	LOT 62 JOHN WOODLIAM FULL ZONING FULL HIGH REL.	LOT 63 JOHN WOODLIAM FULL ZONING FULL HIGH REL.	LOT 64 JOHN WOODLIAM FULL ZONING FULL HIGH REL.
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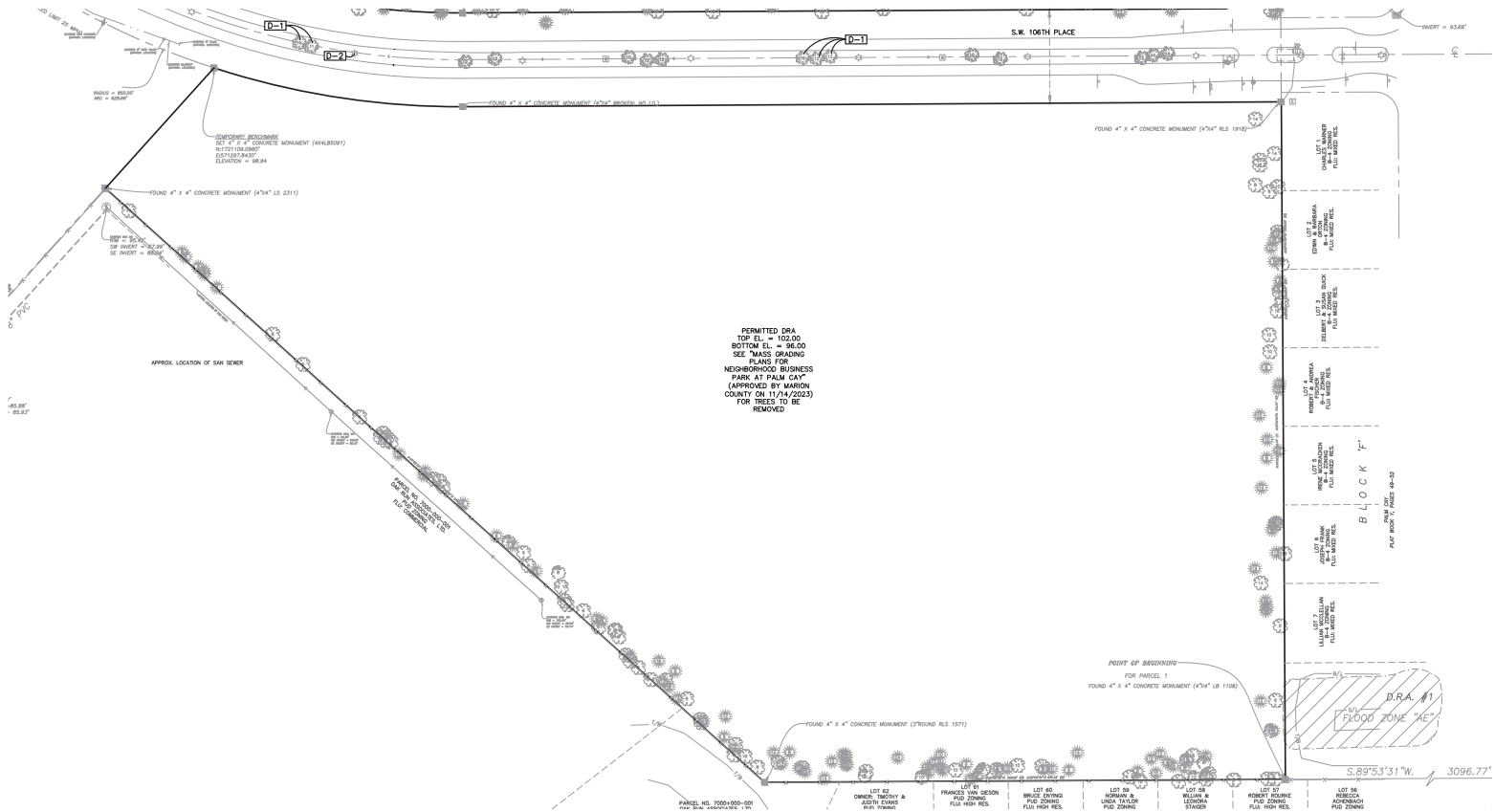
LICENSED PROFESSIONAL  
**JOSEPH C. LONDON, P.E.**  
 FLORIDA LICENSE NUMBER  
 33694

**OVERALL AND  
 DRAINAGE**

SHEET NUMBER  
**C03**

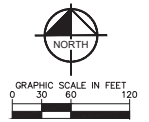
MAJOR SITE PLAN

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PERMITTED DRA  
 TOP EL. = 102.00  
 BOTTOM EL. = 96.00  
 SEE "MASS GRADING  
 PLANS FOR  
 NEIGHBORHOOD BUSINESS  
 PARK AT PALM CAY"  
 (APPROVED BY MARION  
 COUNTY ON 11/14/2023)  
 FOR TREES TO BE  
 REMOVED

**DEMOLITION NOTES:**  
 ALL NOTES LISTED BELOW SHALL BE CONSTRUCTED BY THE SITE CONTRACTOR,  
 UNLESS STATED OTHERWISE.  
**[D-1]** RELOCATE FIVE EXISTING PALM TREES TO NEW LOCATIONS SHOWN ON SHEET C05.  
**[B-2]** RELOCATE EXISTING POWER POLE TO NEW LOCATION SHOWN ON SHEET C05.



No.	DATE	REVISIONS

**Kimley Horn**  
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 1700 SE 17TH STREET, SUITE 200, Ocala, Florida 32671  
 WWW.KIMLEY-HORN.COM REGISTRY NO. 20108

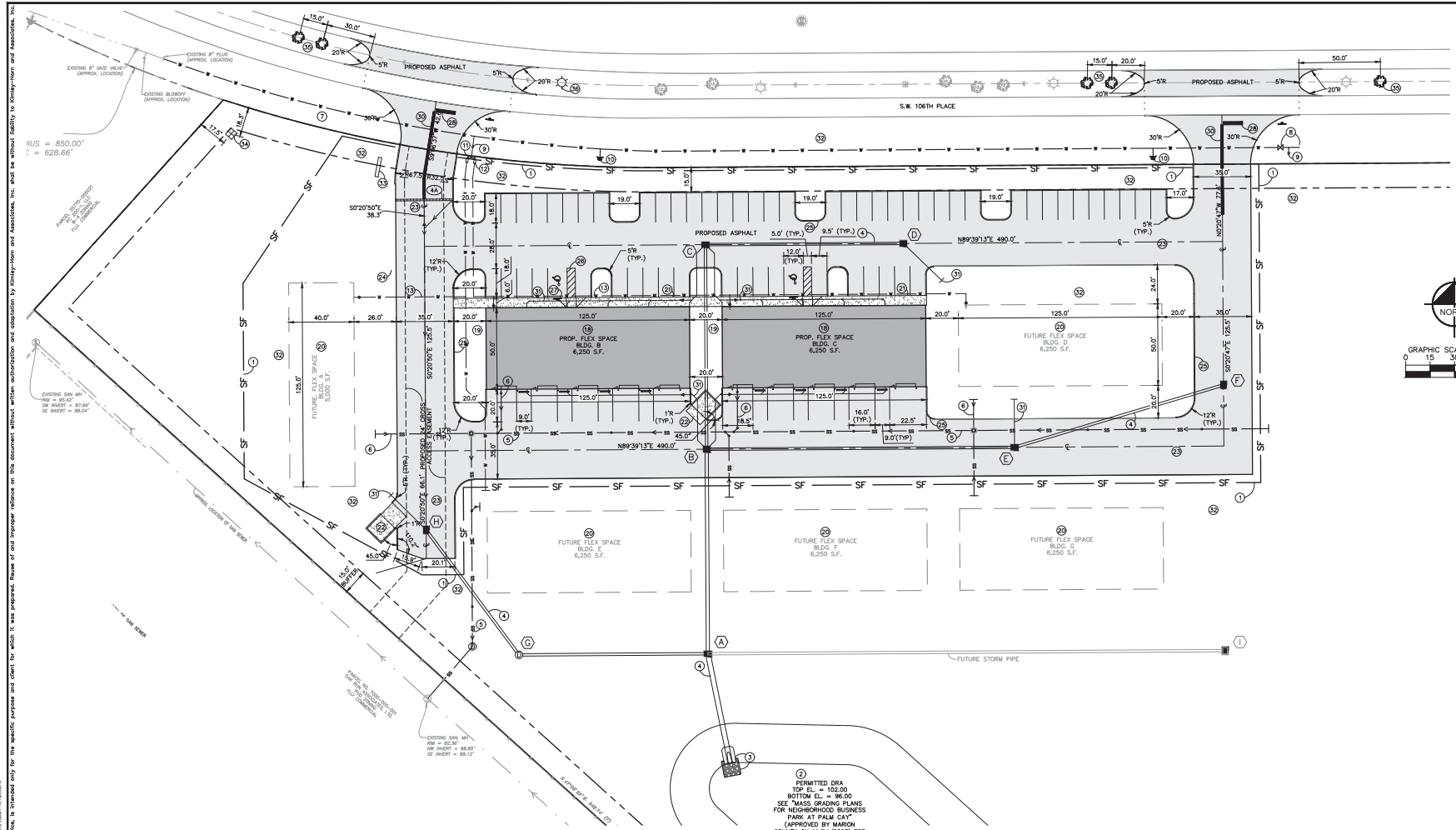
RHA PROJECT 17522001 DATE MAY 2024 SCALE AS SHOWN DESIGNED BY KHA DRAWN BY CHECKED BY	LICENSED PROFESSIONAL JOSEPH C. LONDON, P.E. FLORIDA LICENSE NUMBER 33694
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**DEMOLITION  
 PHASE 1**

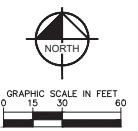
NEIGHBORHOOD BUSINESS  
 PARK AT PALM CAY  
 PREPARED FOR  
 PC 200-2, LLC  
 MARION COUNTY  
 FLORIDA

SHEET NUMBER  
**C04**

MAJOR SITE PLAN



No.	DATE	BY	REVISIONS



**Kimley-Horn**  
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 1700 SE 17TH STREET, SUITE 200, OCALA, FLORIDA 34671  
 WWW.KIMLEY-HORN.COM REGISTRY NO. 30108

LICENSED PROFESSIONAL  
 JOSEPH C. LONDON, P.E.  
 FLORIDA LICENSE NUMBER  
 33694

RHA PROJECT  
 1/24/2024  
 DATE  
 MAY 2024  
 SCALE AS SHOWN  
 DESIGNED BY RHA  
 DRAWN BY  
 CHECKED BY

**HORIZONTAL  
 GEOMETRY  
 PHASE 1**

**NEIGHBORHOOD BUSINESS  
 PARK AT PALM CAY**  
 PREPARED FOR  
 PC 200-2, LLC  
 FLORIDA  
 MARION COUNTY

SHEET NUMBER  
**C05**

MAJOR SITE PLAN

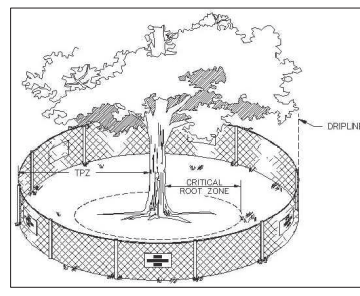
**CONSTRUCTION NOTES:**

1. ALL NOTES LISTED BELOW SHALL BE CONSTRUCTED BY THE SITE CONTRACTOR, UNLESS STATED OTHERWISE.
2. TEMPORARILY INSTALL #14/600 L.F. TYPE II SILT FENCE AT LOCATIONS SHOWN. SEE DETAIL ON SHEET C08.
3. SEE "MASS GRADING PLANS FOR NEIGHBORHOOD BUSINESS PARK AT PALM CAY" (APPROVED BY MARION COUNTY ON 1/14/2023) FOR POND DESIGN.
4. CONSTRUCT ONE 24" 4:1 MITERED END SECTION AND RHP-RAP. SEE DETAIL ON SHEET C17.
5. CONSTRUCT STORM SEWER SYSTEM. SEE DATA ON SHEET C07.
6. INSTALL 30 L.F. OF 200# 280# TRENCH DRAIN WITH TWO (2) BOTTOM OUTLETS CONNECTING TO EXISTING STORM INLET AT INVERT EL. = 89.5 USING 8" SDR 35 P.V.C. OUTFALL PIPES. SEE TRENCH DRAIN QUANTITY LIST ON SHEET C07.
7. CONSTRUCT GRAVITY SANITARY SEWER SYSTEM CONNECTING TO EXISTING MANHOLE. SEE C07 UTILITY PLAN FOR MORE DATA.
8. INSTALL 8" 200# 30 P.V.C. SANITARY SEWER LATERALS AT 1:08 MINIMUM SLOPE WITH CLEANOUTS TO ALL FOUR PROPOSED BUILDINGS AND THREE FUTURE BUILDINGS. CONSTRUCT STUBOUT FOR FUTURE DEVELOPMENT TO EAST. CLEANOUTS IN PAVEMENT SHALL HAVE BRASS CAPS.
9. REMOVE 8" PLUG AND EXTEND 4800 L.F. OF 8" DR14 C900 P.V.C. WATER MAIN.
10. INSTALL 8" GATE VALVE AND 8" PLUG. SEE DETAIL UT 108 ON SHEET C18.
11. INSTALL BLOWOFF. SEE DETAIL UT207 ON SHEET C18.
12. INSTALL TWO FIRE HYDRANT ASSEMBLIES (FACTORY PAINTED) PER LDC. BONNET COLOR SHALL BE PER FLOW TEST RESULTS AND NEWPS 201. SEE DETAIL UT203 ON SHEET C18.
13. INSTALL FOUR 1" WATER SERVICE ASSEMBLIES. SEE DETAIL UT107 ON SHEET C18.
14. INSTALL FOUR 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTERS. SEE DETAIL UT209 ON SHEET C18.
15. INSTALL FOUR 1-1/2" PVC CLASS 200 SDR 21 WATER SERVICES AS SHOWN WITH SHUT-OFF VALVE AT BUILDING.
16. INSTALL WATER LINES TO HOSE BIBS AT REAR OF BUILDINGS (NOT SHOWN) PER COORDINATION WITH OWNER.
17. SEND TO INSTALL REMAINING DISTRIBUTION CABLES WITHIN ELECTRICAL CONDUITS INSTALLED BY SITE CONTRACTOR FOLLOWING COORDINATION ON CONDUIT SIZE, AMOUNT, AND LOCATION.
18. SEND TO INSTALL ELECTRIC TRANSFORMER ON PAD CONSTRUCTED BY BUILDING CONTRACTOR. PAD THICKNESS AND DIMENSIONS TO BE DETERMINED BY SECO.

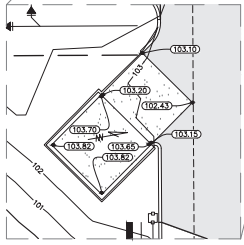
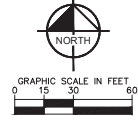
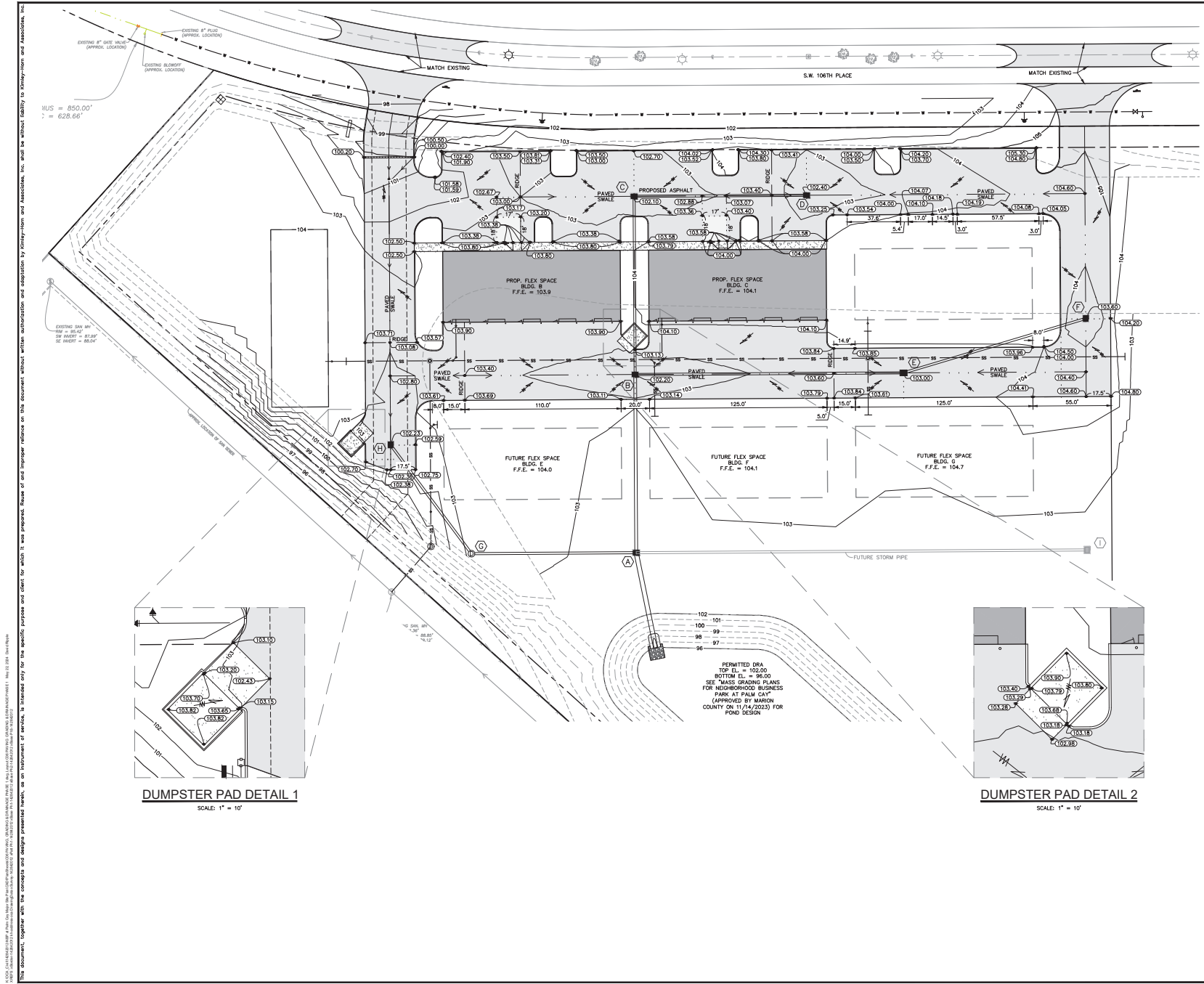
**CONSTRUCTION NOTES (CONT.):**

19. BUILDING CONTRACTOR TO INSTALL ELECTRICAL CONDUITS AND SECONDARY SERVICE CABLES TO THE METER AS DETERMINED BY THE METER.
20. INSTALL UNDERGROUND TELEPHONE & CATV SERVICE TO EACH BUILDING FOLLOWING ELECTRIC ROUTE.
21. CONSTRUCT PRE-ENGINEERED STEEL OFFICE/WAREHOUSE BUILDINGS (BY BUILDING CONTRACTOR).
22. INSTALL A/C CONDENSERS ON CONCRETE PADS (BY BUILDING CONTRACTOR).
23. CONSTRUCT FUTURE BUILDING PAD IN 18" LIFT WITH SUITABLE MATERIAL COMPACTED TO 90# MAX DENSITY, THEN SEED & MULCH WITH ARGENTINE BANNA.
24. CONSTRUCT 4"-THICK CONCRETE WALK WITH 6"x6" 10/10 W/M. SEE DETAIL ON SHEET C17.
25. CONSTRUCT DUMPSTER PADS. SEE DETAIL ON SHEET C17.
26. CONSTRUCT ASPHALT PAVEMENT. SEE PAVING, GRADING AND DRAINAGE NOTE 24 ON SHEET C02 AND TYPICAL STANDARD DUTY PAVEMENT SECTION ON SHEET C17.
27. INSTALL SITE LIGHTING. SEE SEPARATE PHOTO-METRIC PLAN BY SECO LIGHTING FOR ADDITIONAL DETAIL.
28. INSTALL CONCRETE TRENCH CURBS. SEE DETAIL ON SHEET C17.
29. PAINT TWO (2) 5'-WIDE STORMWATER ACCESS AGES.
30. INSTALL TWO (2) HANDICAP SIGNS. SEE DETAIL ON SHEET C17.
31. PAINT 2"x12" WHITE STOP BAR AND INSTALL 36" STOP SIGN (R1-1). POST SHALL BE 2"x2" 14 GAUGE AND 4 LRS/FT (12' LONG).
32. INSTALL EIGHT (8) CONCRETE WHEEL STOPS AT 18" FROM ENTRY INTO PARKING SPACE WHERE SHOWN.
33. PAINT 55 L.F. SOLID DOUBLE YELLOW LINES (TWO LOCATIONS).
34. INSTALL P.V.C. ROOF DRAIN SYSTEMS. SEE SHEET C07 FOR SIZES, INVERTS, AND SLOPES.
35. REGRADE AND SOO ALL DISTURBED AREAS ON & OFF SITE.
36. INSTALL BUSINESS SIGN AS DIRECTED BY OWNER AND IN COMPLIANCE WITH SECTION 4.4.4.
37. INSTALL 4" NON-POURABLE IRRIGATION WELL WITH MARION COUNTY APPROVED REDUCED PRESSURE BACKFLOW PREVENTER (BY LANDSCAPE/IRRIGATION CONTRACTOR). SEE IRRIGATION PLAN FOR MORE DETAIL.
38. RELOCATE EXISTING PALM TREES TO LOCATIONS SHOWN.
39. RELOCATE EXISTING LIGHT POLE TO LOCATION SHOWN.

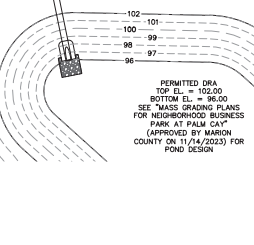
2. PERMITTED DRA.  
 TOP E.L. = 102.00  
 BOTTOM CL. = 96.00  
 SEE "MASS GRADING PLANS  
 FOR NEIGHBORHOOD BUSINESS  
 PARK AT PALM CAY"  
 (APPROVED BY MARION  
 COUNTY ON 1/14/2023) FOR  
 POND DESIGN



**TREE PROTECTION DETAIL**



**DUMPSTER PAD DETAIL 1**  
SCALE: 1" = 10'



**DUMPSTER PAD DETAIL 2**  
SCALE: 1" = 10'

PERMITTED DRA  
TOP EL. = 102.00  
BOTTOM EL. = 96.00  
SEE MASS GRADING PLANS  
FOR NEIGHBORHOOD BUSINESS  
PARK AT PALM CAY  
(APPROVED BY MARION  
COUNTY ON 11/14/2023) FOR  
POND DESIGN

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NUS = 650.00'  
 $\gamma = 628.66'$

EXISTING 8" GATE VALVE (SPRINKLER LOCATIONS)  
 EXISTING 8" FILLUP (SPRINKLER LOCATIONS)  
 EXISTING BLOWOFF (SPRINKLER LOCATIONS)

EXISTING SLOPE 1/4"  
 SW SLOPE = 87.21"  
 SE SLOPE = 88.04"

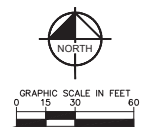
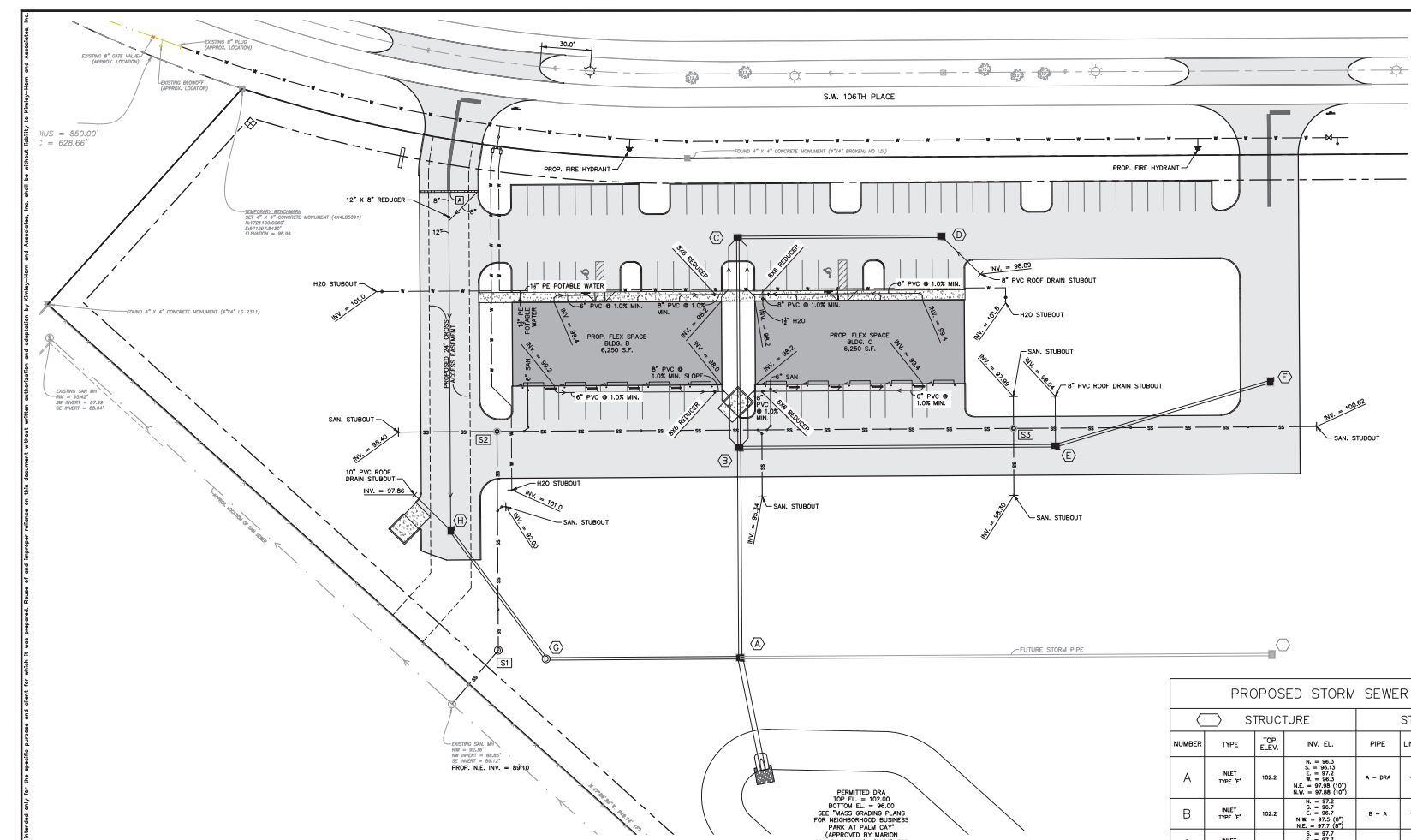
EXISTING SLOPE 1/4"  
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<b>NEIGHBORHOOD BUSINESS PARK AT PALM CAY</b> PREPARED FOR <b>PC 200-2, LLC</b>		FLORIDA MARION COUNTY		<b>MAJOR SITE PLAN</b>	
<b>PAVING, GRADING &amp; DRAINAGE</b> <b>PHASE 1</b>		SHEET NUMBER <b>C06</b>		DATE _____	
RHA PROJECT 1/22/2024 DATE MAY 2024 SCALE AS SHOWN DESIGNED BY RHA DRAWN BY CHECKED BY		LICENSED PROFESSIONAL JOSEPH C. LONDON, P.E. FLORIDA LICENSE NUMBER 33694		REVISIONS No. _____ DATE _____	
© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 1700 SE 17TH STREET, SUITE 200, OCALA, FLORIDA 34761 WWW.KIMLEY-HORN.COM REGISTRY NO. 20108					
<b>Kimley-Horn</b>					





**TRENCH DRAIN QUANTITY LIST**

ITEMS LISTED ARE NOT ALL INCLUSIVE AND MUST BE CONFIRMED WITH THE MANUFACTURER PRIOR TO FABRICATION, WHO MAY DETERMINE THAT ALTERNATE PARTS COULD BE USED AND/OR ADDITIONAL PARTS ARE NEEDED. ANY CHANGES MUST BE APPROVED BY THE PROJECT ENGINEER.

GRADES SHALL BE NEEL-PROOF (DPO) DUCTILE IRON WITH HEAVY-DUTY FRAME ASSEMBLY.

PRODUCTS 2013 FLO-THRU FIBERGLASS BY ZURN PLUMBING INDUSTRIES, LLC (814-455-0937).

LOCATION	THREE - 10' SEGMENTS & ONE - 5' SEGMENT	TOTAL LENGTH	CLOSED END CAP	BOTTOM OUTLET
A	2001, 2002, 2003, & 2004	35'	E1 (TWO)	NH 8" (TWO)

**SANITARY SEWER DATA**

STRUCTURE	TOP EL.	INV. ELEVATION(S)	PIPE	LENGTH (FT)	SLOPE
S1	103.34	S.W. = 89.50 N. = 89.60	S1 - EXISTING	42.3	0.95%
S2	103.28	S. = 92.50 W. = 94.40 N. = 92.70	S2 - S1	130.7	2.07%
S3	103.66	W. = 96.70 S. = 97.70 N. = 97.70 E. = 97.90	S3 - S2	308.5	1.30%

- SANITARY SEWER NOTES:**
- PIPES TO BE SDR 35 3034 8" P.V.C.
  - STRUCTURES TO BE STANDARD MANHOLE CONSTRUCTION (SEE DETAILS) OR LIFT STATION (L.S.).

**PROPOSED STORM SEWER DATA**

NUMBER	STRUCTURE	TOP ELEV.	INV. EL.	STORM PIPE		
				PIPE	LN. FT.	% SLOPE
A	INLET TYPE "Y"	102.2	N. = 96.3 S. = 96.3 E. = 97.2 W. = 96.5 N.E. = 97.98 (10°) N.W. = 97.98 (10°)	A - DRA	42.3	0.19
B	INLET TYPE "Y"	102.2	N. = 97.2 S. = 96.7 N.E. = 97.2 (8°) N.W. = 97.2 (8°)	B - A	125.5	0.32
C	INLET TYPE "Y"	102.1	S. = 92.2 S.E. = 97.7 (8°) S.W. = 97.7 (8°)	C - B	125.5	0.40
D	INLET TYPE "Y"	102.4	E. = 96.4 S.E. = 96.4 (8°)	D - C	121.5	0.58
E	INLET TYPE "Y"	103.0	E. = 96.0 N. = 97.3 N. = 97.6 (8°)	E - B	189.0	0.32
F	INLET TYPE "Y"	103.6	W. = 98.7	F - E	133.9	0.52
G	MANHOLE	103.4	E. = 96.7 N.W. = 96.8	G - A	116.0	0.34
H	INLET TYPE "Y"	102.2	S.E. = 97.2 N. = 92.3 (10°) N.W. = 97.4 (10°)	H - G	95.5	0.31
FUTURE I	INLET TYPE "Y"	102.6	W. = 98.6 N.W. = 98.5 (10°)	I - A	37.5	0.44

- STORM SEWER NOTES:**
- STORM SEWER IS DESIGNED FOR A 25HR STORM EVENT.
  - ALL INLETS SHALL BE PROTECTED WITH Silt FENCE & GRATE FILTER FABRIC UNTIL PAVING AND SOILING OPERATIONS ARE COMPLETED. Silt-SACKS PRODUCTS ARE ACCEPTABLE AS AN ALTERNATE.
  - CONSTRUCT INLET TYPE "Y" PER F.D.O.T. NODE #433-303.
  - STORM MANHOLE COVERS SHALL BE STAMPED "STORM" INCLUDING YEAR OF ISSUE (SEE U.S. STANDARD).

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGN PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE, AS DEFINED IN THE PROFESSIONAL ENGINEERING AND ARCHITECTURE ACT, CHAPTER 481, F.S., AND IS TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SITE IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KIMLEY-HORN AND ASSOCIATES, INC.

**Kimley-Horn & Associates, Inc.**  
 1700 SE 17TH STREET, SUITE 200, OCALA, FLORIDA 34761  
 WWW.KIMLEY-HORN.COM REGISTRY NO. 30108

**UTILITIES PHASE 1**

**NEIGHBORHOOD BUSINESS PARK AT PALM CAY**  
 PREPARED FOR: PC 200-2, LLC

**MAJOR SITE PLAN**

PROJECT NO. \_\_\_\_\_ DATE \_\_\_\_\_  
 SHEET NUMBER: C07

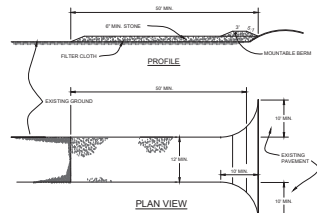
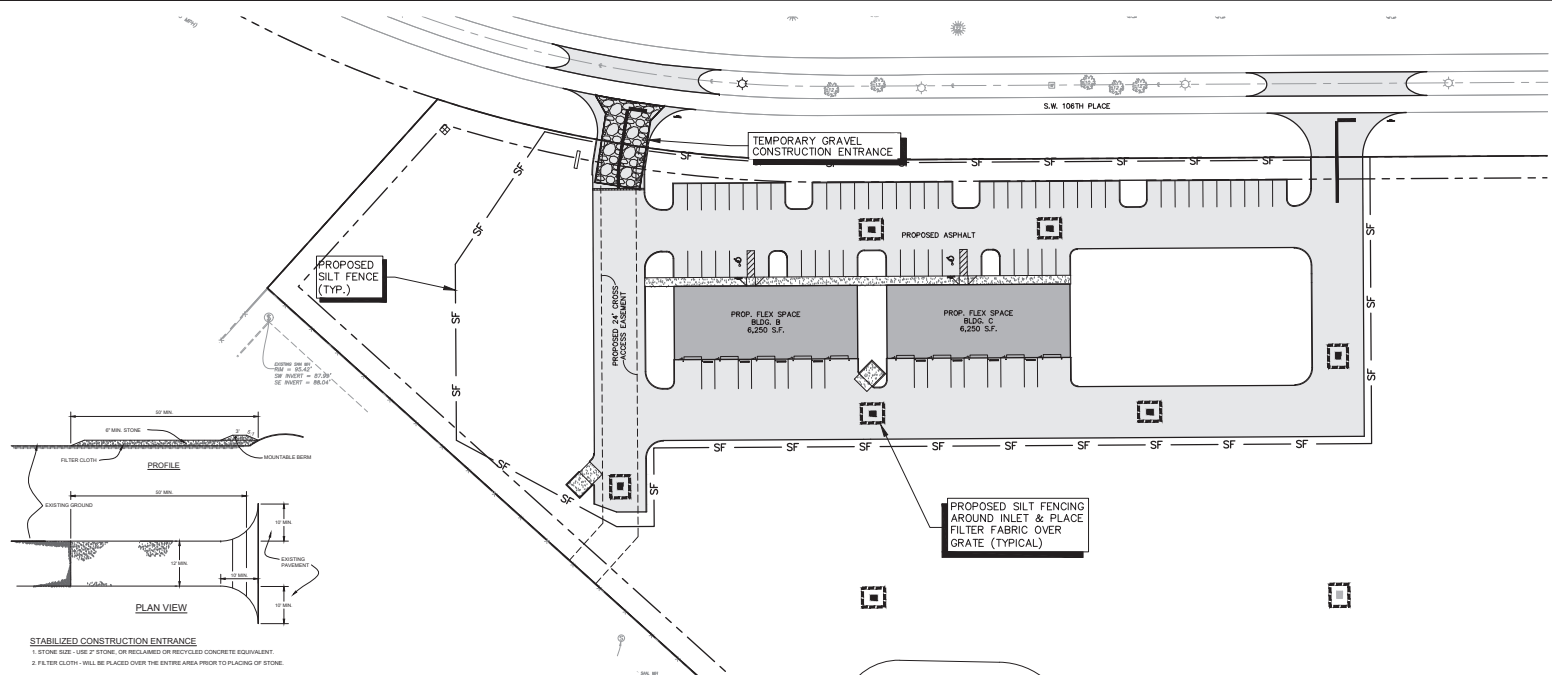
DESIGNED BY: JOSEPH C. LONDON, P.E.  
 FLORIDA LICENSE NUMBER: 33694

DATE: \_\_\_\_\_

REVISIONS:

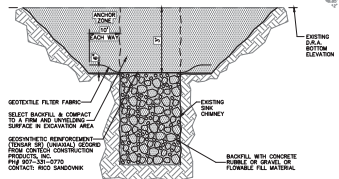
NO.	DATE	BY

THIS DOCUMENT, TOGETHER WITH THE CONTRACT AND ANY PREVIOUS REVISED DRAWINGS, IS THE SOLE AGREEMENT BETWEEN THE OWNER AND THE CONTRACTOR. IT SUPERSEDES ALL PREVIOUS AGREEMENTS, SPECIFICATIONS, AND DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

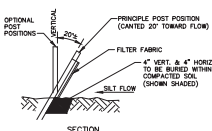


**STABILIZED CONSTRUCTION ENTRANCE**  
 1. STONE SIZE - 1/2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT  
 2. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE

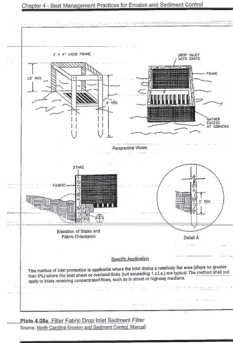
**STABILIZED CONSTRUCTION ENTRANCE**  
 NOT TO SCALE



**TYPICAL SINK CHIMNEY REPAIR DETAIL**  
 PER DEVD REEFERENTIAL, PHD., P.E.  
 NOTE: IF EXISTING IS DAMAGED DURING CONSTRUCTION, THE RETENTION BARRIERS WILL BE DISCONTINUED AND REPAIRED TO THE ORIGINAL CONDITION. ALL REPAIRS SHALL BE MADE WITHIN 30 DAYS OF DISCOVERY. ANY CHANGES TO THE TYPICAL SINK CHIMNEY REPAIR DETAIL AS SHOWN ON THE ENGINEERING PLANS SHALL BE DETERMINED AT THE DISCRETION OF THE CONTRACTOR.



**TYPE III SILT FENCE DETAIL**  
 SECTION  
 4" VERT. & 4" HORIZ. TO BE REINFORCED WITH COMPACTED SOIL (SHOWN SHADED)  
 FILTER FABRIC  
 PRINCIPLE POST POSITION (CANTED 20° TOWARD FLOW)  
 OPTIONAL POST POSITIONS  
 ELEVATION  
 POST OFFSETS:  
 WOOD - 2-1/2" MIN. DIA.  
 STEEL - 1.53 OVS/FT. MIN.  
 FILTER FABRIC AS PER SEC. 160 FOOT SPEC.



Plan 4.04a, Erosion Control Best Management Practice (BMP) for Erosion and Sediment Control  
 Source: South Carolina Erosion and Sediment Control Manual

**STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) NOTES:**

- DISCHARGE CONTROL AND EROSION PROTECTION MEASURES SHALL BE EMPLOYED AND OPERATED AT ALL TIMES DURING CONSTRUCTION TO AVOID ADVERSE IMPACTS TO RECEIVING WATERS OR ADJACENT PROPERTY. DETENTION/RETENTION STORAGE STRUCTURES, SEDIMENT BARRIERS, FLOW CONVEYANCES, SEWAGE TREATMENT DISCHARGE CONTROL STRUCTURES, AND OTHER STORMWATER MANAGEMENT STRUCTURES SHALL BE BUILT AND CONTINUOUSLY MAINTAINED DURING PROJECT CONSTRUCTION IN A MANNER SUCH THAT, TO THE EXTENT POSSIBLE, THE STRUCTURES ARE INCORPORATED INTO AND BECOME PART OF THE PERMANENT SURFACE WATER MANAGEMENT SYSTEM.
- THE OWNER/PERMITEE SHALL ENSURE THAT THE SURFACE WATER AND STORMWATER MANAGEMENT MEASURES PROPOSED IN THE PLAN ARE EFFECTIVELY IMPLEMENTED UNTIL COMPLETION OF THE PROJECT OR UNTIL THE PERMANENT SURFACE WATER MANAGEMENT SYSTEM IS OPERATIONAL.
- THE SITE SHALL REMAIN FREE OF EXCESS DUST AND DEBRIS AT ALL TIMES. ANY INCIDENCE OF EROSION, SEDIMENTATION, DUST OR DEBRIS OCCURRING OFF-SITE AS A RESULT OF CONSTRUCTION ACTIVITIES ON THIS DEVELOPMENT SHALL BE CORRECTED BY THE CONTRACTOR IMMEDIATELY (FOR EACH OCCURRENCE).
- ALL STORM WATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS.
- SILT FENCE, STRAW BALE INLET FILTERS, AND ANY OTHER EROSION/SEDIMENTATION PROTECTION SHOWN ON THESE PLANS SHALL BE INSTALLED IMMEDIATELY FOLLOWING SITE CLEARING AND PRIOR TO ANY SITE DEVELOPMENT. ALL EROSION/SEDIMENTATION PROTECTION SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION PROJECT AND REMOVED AFTER COMPLETION.
- CONSTRUCTION WASTE - WASTE SHALL BE COLLECTED AT A DESIGNATED AREA ON-SITE. ADEQUATE NUMBER OF CONTAINERS SHALL BE PROVIDED (WHEN POSSIBLE COVER CONTAINERS OR PROVIDE LIDS ON CONTAINERS). ARRANGE FOR WASTE COLLECTION BEFORE CONTAINERS OVERFLOW. PROVIDE CLEAN UP IMMEDIATELY IF SPILLAGE OCCURS.
- CONTROL AND DISPOSAL OF WASTES - CONTRACTOR SHALL DEVELOP AND IMPLEMENT A PLAN TO ASSURE THAT ALL WASTE, SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASH-OUT CHEMICALS, LITTER AND SANITARY WASTE ARE PROPERLY CONTROLLED WHILE ON-SITE AND TRANSPORTED AND DISPOSED OF (OFF-SITE) IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. NO WASTE MATERIALS OF ANY KIND ARE PERMITTED TO BE BURIED ON-SITE OR DISCHARGED TO SURFACE WATERS OF THE STATE OR TO THE CITY'S STORM WATER SYSTEM.
- CONCRETE TRUCKS - EMPTYING OR WASH OUT OF EXCESS CONCRETE MAY BE ALLOWED ON-SITE. EXCESS CONCRETE AND WASH WATER SHOULD BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORMWATER WHICH WILL BE DISCHARGED FROM THE SITE. FOR EXAMPLE, DIKES COULD BE CONSTRUCTED AROUND THE AREA TO CONTAIN THESE MATERIALS UNTIL THEY HARDEN, AT WHICH TIME THEY MAY BE PROPERLY DISPOSED OF.
- CONTRACTOR SHALL PERIODICALLY SWEEP ALL EXISTING ON-SITE PAVED SURFACES AND OFF-SITE ADJUTING CITY STREETS AND STATE HIGHWAYS AS NEEDED TO KEEP THOSE SURFACES IN A SEDIMENT-FREE CONDITION. SWEEPING SHALL BE DONE BY MECHANICAL MEANS WITH WATER SUPPLEMENTED ON A REGULAR BASIS SEVERAL TIMES A WEEK INCLUDING, MOST PARTICULARLY, AFTER EVERY RAIN EVENT AND EVERY FRIDAY AFTERNOON PRIOR TO CEASING WORK FOR THE WEEK.
- SANITARY/SEPTIC DISPOSAL - DOMESTIC WASTE HAULERS SHOULD BE CONTRACTED TO REGULARLY REMOVE THE SANITARY AND SEPTIC WASTES AND TO MAINTAIN THE FACILITIES IN GOOD WORKING ORDER.
- PETROLEUM PRODUCTS - OIL, GASOLINE, LUBRICANTS, AND ASPHALTIC SUBSTANCES SUCH AS PAVING MATERIALS SHOULD BE HANDLED CAREFULLY TO MINIMIZE THEIR EXPOSURE TO STORM WATER. EQUIPMENT SHOULD BE ON SITE TO CONTAIN AND CLEAN UP PETROLEUM SPILLS IN FUEL STORAGE AREAS OR ON BOARD MAINTENANCE AND FUELING VEHICLES. CONTAIN AND CLEAN UP PETROLEUM SPILLS IMMEDIATELY.
- HAZARDOUS PRODUCTS - THESE PRODUCTS SHALL BE USED IN A SAFE MANNER TO AVOID POLLUTION OF STORM WATER. EQUIPMENT SHOULD BE ON-SITE TO CONTAIN AND CLEAN UP SPILLS OF HAZARDOUS MATERIALS IN THE AREAS WHERE THESE MATERIALS ARE STORED OR USED. CONTAIN AND CLEAN UP SPILLS IMMEDIATELY AFTER THEY OCCUR.
- NON-STORM WATER DISCHARGES - THESE DISCHARGES INCLUDE BUT NOT LIMITED TO: FIRE HYDRANT FLUSHINGS, POTABLE WATER SOURCES (FLUSHING), IRRIGATION, BUILDING WASHDOWN, AND AIR CONDITIONING CONDENSATION. PRIOR TO ANY DISCHARGE, ALL DOWNSLOPE SITE SEDIMENTATION AND EROSION CONTROLS SHOULD BE IN PLACE. DISCHARGE SHOULD ONLY BE DIRECTED TO AREAS THAT ARE STABILIZED TO MINIMIZE EROSION (E.G., BUFFER ZONE, VEGETATED FILTER STRIPES, INLET AND OUTLET PROTECTION, LEVEL SPREADERS, ETC.) DO NOT DISCHARGE NON-STORM WATER FLOWS INTO DISTURBED AREAS.
- A STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT IS REQUIRED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM EVENT THAT IS 0.5 INCHES OR GREATER. THE REPORTS ARE TO BE FILED AT THE PROJECT SITE WITH THE STORM WATER POLLUTION PREVENTION PLAN.

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERAL PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

NAME/CONSTRUCTION COMPANY NAME: PC 200-2, LLC DATE: \_\_\_\_\_ DATE: \_\_\_\_\_

**OPERATION AND MAINTENANCE INSTRUCTIONS:**

AS REQUIRED BY SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT, AS OWNER, YOU AND YOUR SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE PROPOSED DRAINAGE FACILITIES FOR THIS SITE. ANY TRASH OR DEBRIS SHALL BE REMOVED FOLLOWING EACH STORM. ALL DRAINAGE STRUCTURES SHALL BE INSPECTED EVERY 60 MONTHS TO DETERMINE THE NEED FOR ANY REPAIR OR CLEARANCE OF SEDIMENT. SEDIMENT SHOULD BE REMOVED FROM THE STRUCTURES WHEN IT ACCUMULATES TO A POINT AT WHICH CONVEYING VOLUMES ARE REDUCED BELOW DESIGN LEVELS.

IN ADDITION, YOU OR YOUR REPRESENTATIVE SHALL RESPECT THE RETENTION PRACTICES ON A NEARLY BASIS FOR THE FORMATION OF SINKHOLES. SHOULD A SINKHOLE FORM, YOU MUST FOLLOW ALL APPLICABLE PROCEDURES OUTLINED BY THE SPECIAL SINK CHIMNEY REPAIR DETAIL SHOWN ON THESE PLANS. AT SUCH TIME, YOU MUST ALSO NOTIFY THE SWMPD WITHIN 48 HOURS OF DISCOVERY OF SAID SINKHOLE, AND SUBMIT A DETAILED REPAIR PLAN FOR WRITTEN APPROVAL WITHIN 30 DAYS OF SAID DISCOVERY. ANY CHANGES TO THE TYPICAL SINK CHIMNEY REPAIR DETAIL AS SHOWN ON THE ENGINEERING PLANS SHALL BE DETERMINED AT THE DISCRETION OF THE CONTRACTOR.

BUSINESS OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_

NO.	DATE	BY

**Kimley-Horn**  
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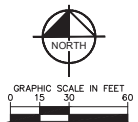
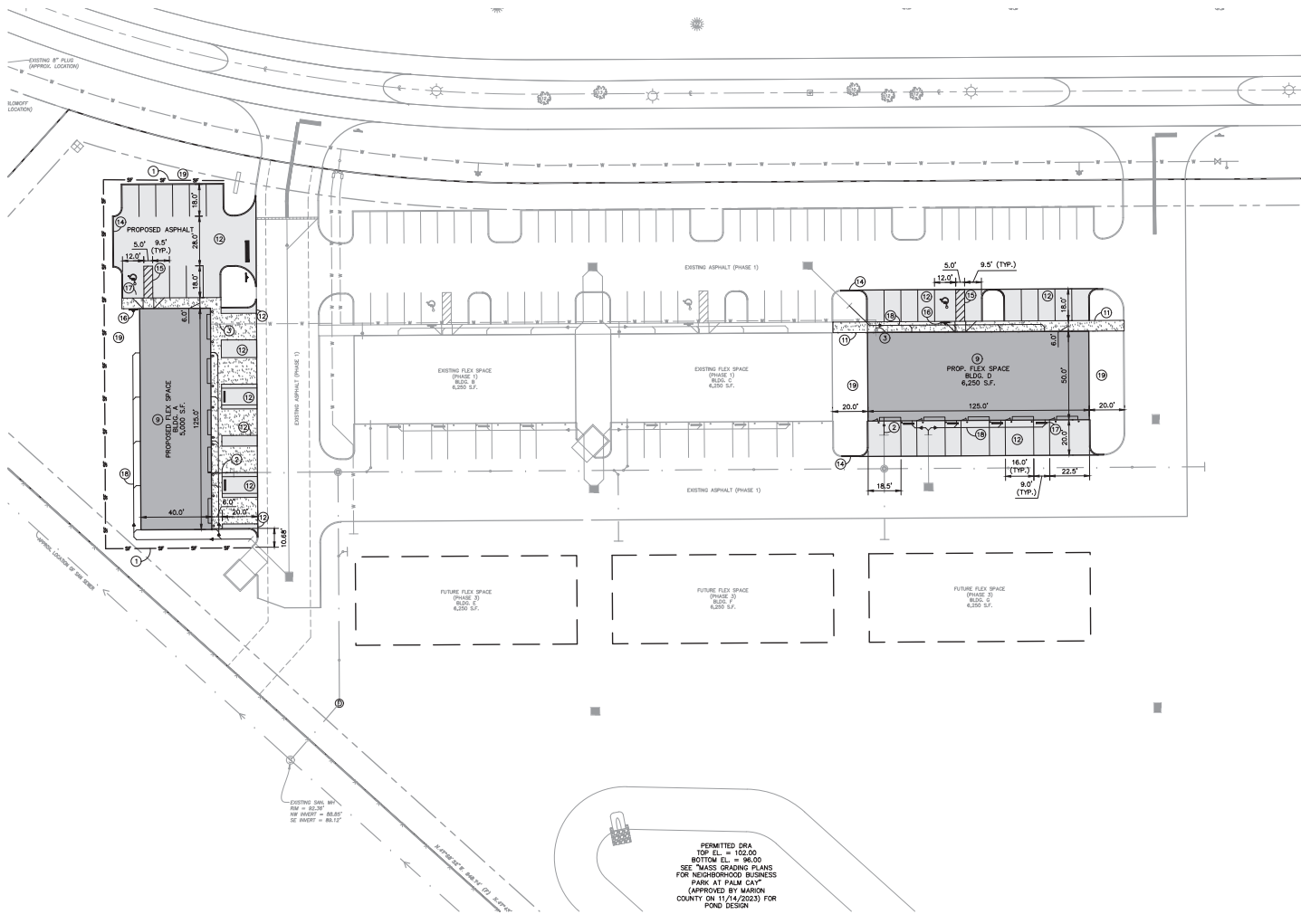
LICENSED PROFESSIONAL	DATE
JOSEPH C. LONDON, P.E.	
FLORIDA LICENSE NUMBER	
33694	

**EROSION CONTROL PHASE 1**

**NEIGHBORHOOD BUSINESS PARK AT PALM CAY**  
 PREPARED FOR: PC 200-2, LLC  
 MARION COUNTY, FLORIDA  
 MAJOR SITE PLAN

SHEET NUMBER: C08

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**CONSTRUCTION NOTES:**

- ALL NOTES LISTED BELOW SHALL BE CONSTRUCTED BY THE SITE CONTRACTOR, UNLESS STATED OTHERWISE.
- ① TEMPORARILY INSTALL 8.00' L.F. TYPE II SILT FENCE AT LOCATIONS SHOWN. SEE DETAIL ON SHEET C17.
- ② EXTEND 4" PVC SANITARY SEWER LATERAL TO BUILDING AT 1% MINIMUM SLOPE.
- ③ INSTALL TWO 1-1/2" PVC CLASS 200 SDR 21 WATER SERVICES AS SHOWN WITH SHUT-OFF VALVE AT BUILDING.
- ④ INSTALL WATER LINES TO HOSE BIBS AT REAR OF BUILDINGS (NOT SHOWN) PER COORDINATION WITH OWNER.
- ⑤ SECO TO INSTALL PRIMARY DISTRIBUTION CABLES WITHIN ELECTRICAL CONDUITS INSTALLED BY SITE CONTRACTOR FOLLOWING COORDINATION ON CONDUIT SIZE, INVERT, AND LOCATION.
- ⑥ SECO TO INSTALL ELECTRIC TRANSFORMER ON PAD CONSTRUCTED BY BUILDING CONTRACTOR. PAD THICKNESS AND DIMENSIONS TO BE DETERMINED BY SECS.
- ⑦ BUILDING CONTRACTOR TO INSTALL ELECTRICAL CONDUITS AND SECONDARY SERVICE CABLES TO THE METER, AS DETERMINED BY THE MEP.
- ⑧ INSTALL UNDERGROUND TELEPHONE & CATV SERVICE TO EACH BUILDING FOLLOWING ELECTRIC ROUTE.
- ⑨ CONSTRUCT PRE-ENGINEERED STEEL OFFICE/WAREHOUSE BUILDINGS (BY BUILDING CONTRACTOR). SEE GENERAL NOTE 12.

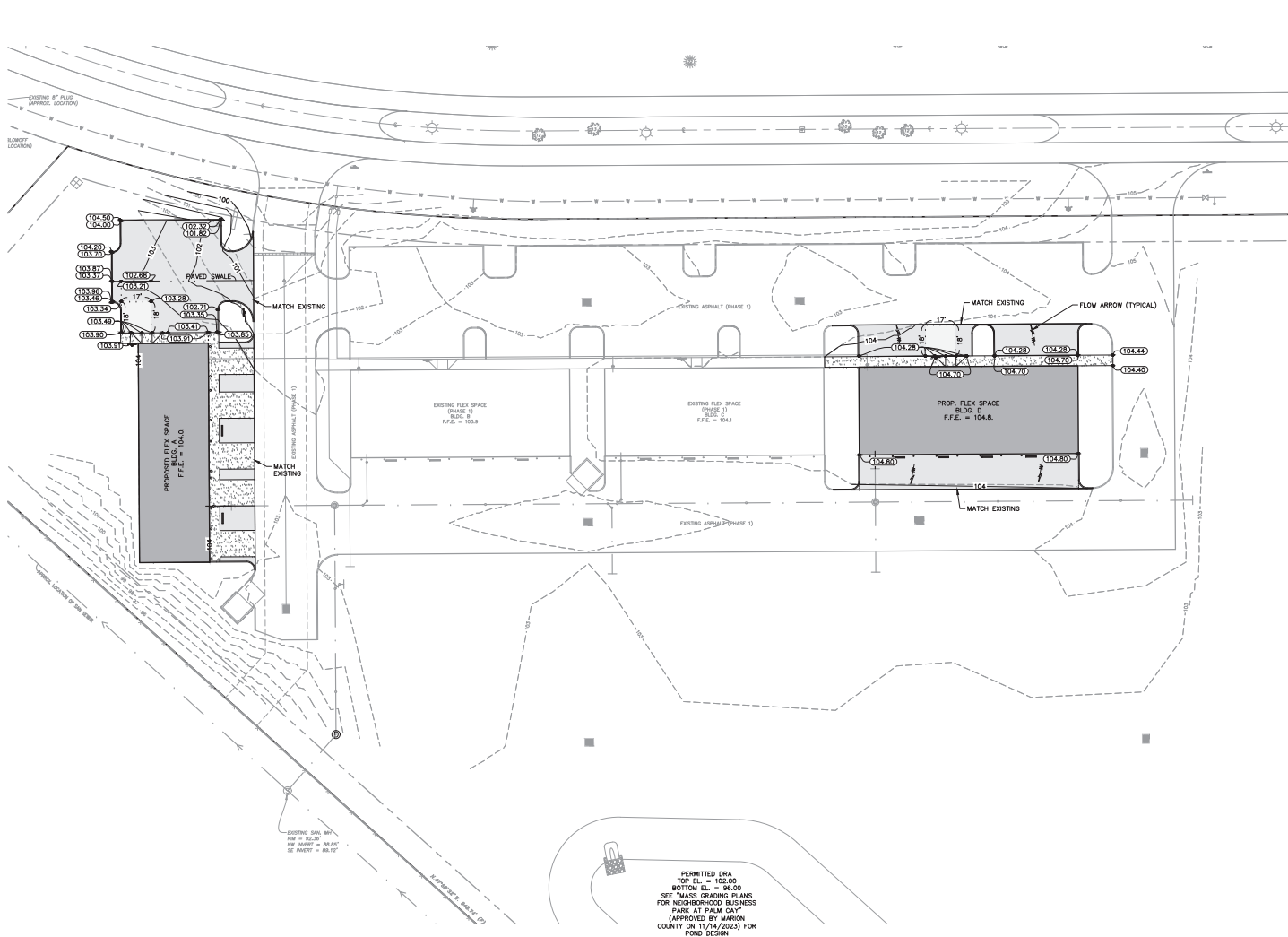
**CONSTRUCTION NOTES (CONT.):**

- ⑩ INSTALL A/O CONDENSERS ON CONCRETE PADS (BY BUILDING CONTRACTOR).
- ⑪ CONSTRUCT 4"-THICK CONCRETE WALK WITH 6"x6" 10/10 W/M. SEE DETAIL ON SHEET C17.
- ⑫ CONSTRUCT ASPHALT PAVEMENT. SEE PAVING, GRADING AND DRAINAGE NOTE 24 ON SHEET C02 AND TYPICAL STANDARD DUTY PAVEMENT SECTION ON SHEET C17.
- ⑬ INSTALL SITE LIGHTING. SEE SEPARATE PHOTO-METRIC PLAN BY SECSO LIGHTING FOR ADDITIONAL DETAIL.
- ⑭ INSTALL CONCRETE TRENCH CURB. SEE DETAIL ON SHEET C17.
- ⑮ PAINT TWO (2) 5'-WIDE STRIPED ACCESS AISLES.
- ⑯ INSTALL TWO (2) HANDICAP SIGNS. SEE DETAIL ON SHEET C17.
- ⑰ INSTALL SIX (6) CONCRETE WHEEL STOPS AT 18" FROM ENTRY INTO PARKING SPACE WHERE SHOWN.
- ⑱ INSTALL PVC ROOF DRAIN SYSTEMS. SEE SHEET C11 FOR SIZES, INVERTS, AND SLOPES.
- ⑲ REGRADE AND SOO ALL DISTURBED AREAS ON & OFF SITE.

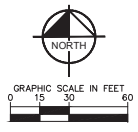
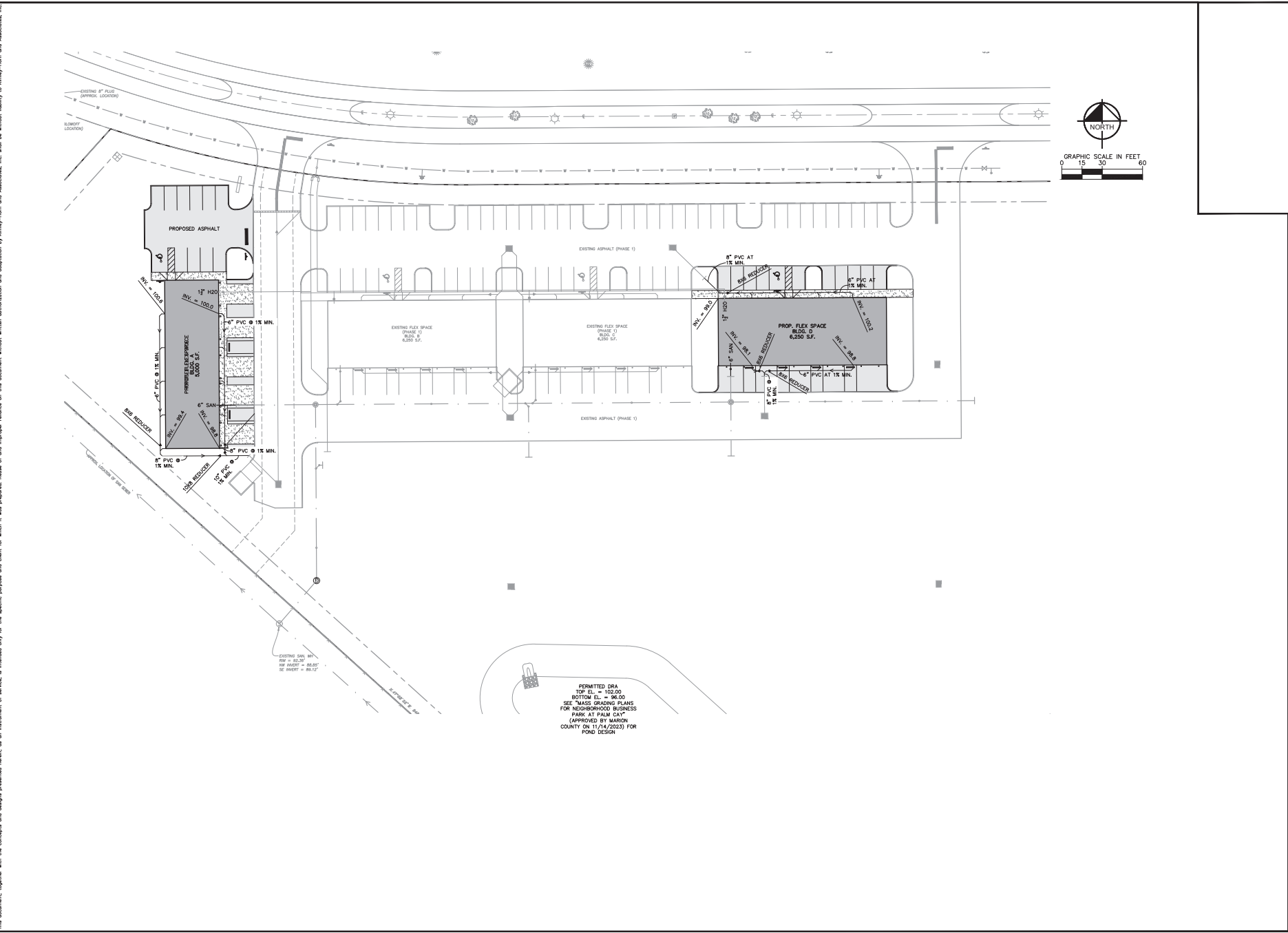
PERMITTED DRA  
 TOP ELEV. = 102.00  
 BOTTOM ELEV. = 96.00  
 SEE "MASS GRADING PLANS  
 FOR NEIGHBORHOOD BUSINESS  
 PARK AT PALM CAY"  
 (APPROVED BY MARION  
 COUNTY ON 11/14/2023) FOR  
 POND DESIGN

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<b>PROJECT</b>	NEIGHBORHOOD BUSINESS PARK AT PALM CAY	<b>DESIGNED BY</b>	KHA
<b>DATE</b>	MAY 2024	<b>CHECKED BY</b>	DATE
<b>SCALE</b>	AS SHOWN	<b>FLORIDA LICENSE NUMBER</b>	33694
<b>DESIGNED BY</b>	KHA	<b>DATE</b>	
<b>DRAWN BY</b>		<b>REVISIONS</b>	
<b>CHECKED BY</b>		No.	DATE
<b>HORIZONTAL GEOMETRY PHASE 2</b>		<b>FLORIDA</b>	
<b>NEIGHBORHOOD BUSINESS PARK AT PALM CAY</b>		<b>MARION COUNTY</b>	
PREPARED FOR <b>PC 200-2, LLC</b>		<b>FLORIDA</b>	
<b>SHEET NUMBER</b>		<b>MAJOR SITE PLAN</b>	
<b>C09</b>			

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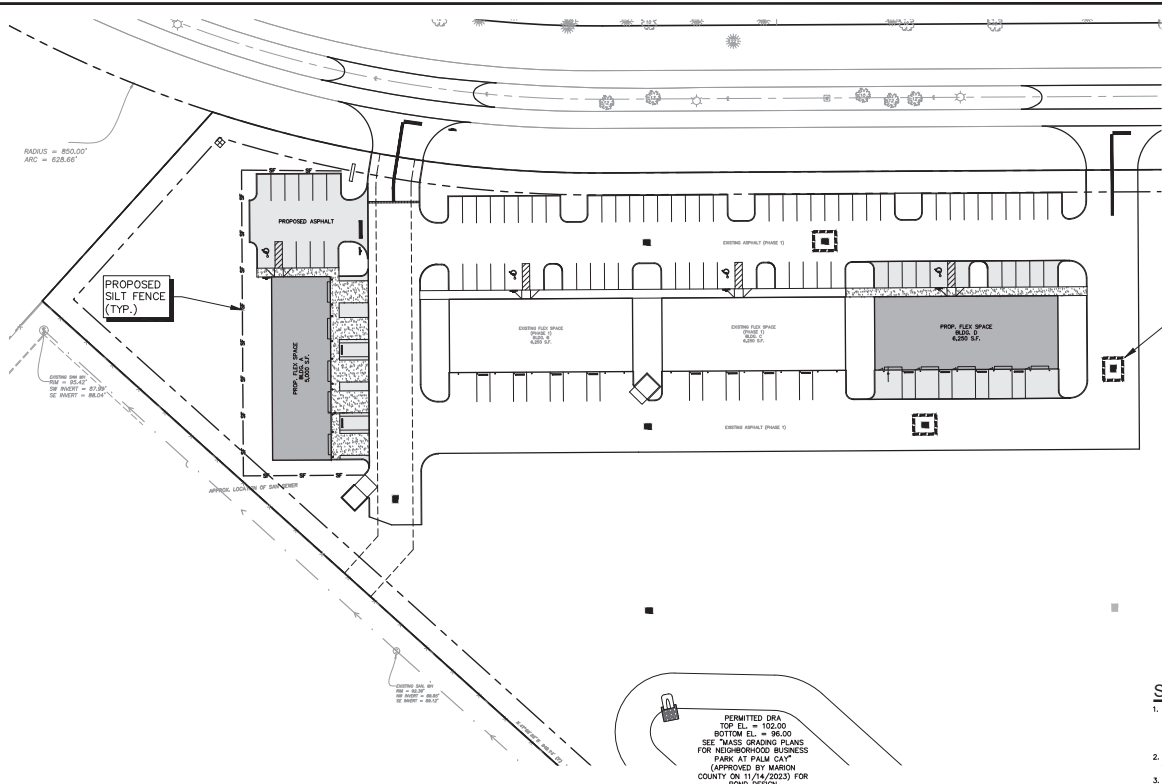


PERMITTED DRA  
 TOP EL. = 102.00  
 BOTTOM EL. = 96.00  
 SEE "MASS GRADING PLANS  
 FOR NEIGHBORHOOD BUSINESS  
 PARK AT PALM CAY"  
 (APPROVED BY MARION  
 COUNTY ON 11/14/2023) FOR  
 POND DESIGN

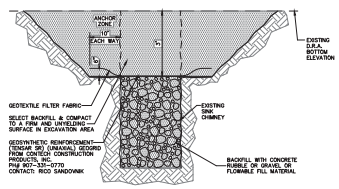
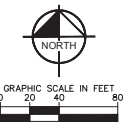
<b>NEIGHBORHOOD BUSINESS PARK AT PALM CAY</b> PREPARED FOR <b>PC-200-2, LLC</b> MARION COUNTY FLORIDA	<b>UTILITIES PHASE 2</b>	<b>Kimley-Horn</b> <small>© 2024 KIMLEY-HORN AND ASSOCIATES, INC.          1700 SE 17TH STREET, SUITE 200, OCALA, FLORIDA 34771          WWW.KIMLEY-HORN.COM REGISTRY NO. 35108</small>
SHEET NUMBER <b>C11</b>	RHA PROJECT 1/25/2024 DATE MAY 2024 SCALE AS SHOWN DESIGNED BY KHA DRAWN BY CHECKED BY	LICENSED PROFESSIONAL <b>JOSEPH C. LONDON, P.E.</b> FLORIDA LICENSE NUMBER <b>33694</b> DATE
NOT FOR CONSTRUCTION		REVISIONS NO. DATE BY

MAJOR SITE PLAN

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PROPOSED SILT FENCING AROUND INLET & PLACE FILTER FABRIC OVER GRATE (TYPICAL)



TYPICAL SINK CHIMNEY REPAIR DETAIL

NOTE:  
 IF LIMESTONE IS ENCOUNTERED DURING EXCAVATION, THE RETENTION BASKIN WILL BE MODIFIED AND BACKFILLED SO THAT THERE IS A MINIMUM OF THREE FEET OF UNDESIRABLE SOIL MATERIAL BETWEEN THE SURFACE OF THE LIMESTONE BEDROCK AND THE BOTTOM AND SIDES OF THE EXCAVATION BASKIN.

PERMITTED DRAINAGE  
 TOP ELL. = 102.00  
 BOTTOM ELL. = 96.00  
 SEE "MASS GRADING PLANS FOR NEIGHBORHOOD BUSINESS PARK AT PALM CAY" (APPROVED BY MARION COUNTY ON 11/14/2023) FOR FLOOD SECTION

**STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) NOTES:**

1. EROSION CONTROL AND EROSION PROTECTION MEASURES SHALL BE EMPLOYED AND OPERATED AT ALL TIMES DURING CONSTRUCTION TO AVOID ADVERSE IMPACTS TO RECEIVING WATERS OR ADJACENT PROPERTY. DETENTION/RETENTION STORAGE STRUCTURES, SEDIMENT BARRIERS, FLOW CONVEYANCES, RETENTION DISCHARGE CONTROL STRUCTURES, AND OTHER STORMWATER MANAGEMENT STRUCTURES SHOULD BE BUILT AND CONTINUOUSLY MAINTAINED DURING PROJECT CONSTRUCTION IN A MANNER SUCH THAT, TO THE EXTENT POSSIBLE, THE STRUCTURES ARE INCORPORATED INTO AND BECOME PART OF THE PERMANENT SURFACE WATER MANAGEMENT SYSTEM.
2. THE OWNER/PERMITTEE SHALL ENSURE THAT THE SURFACE WATER AND STORMWATER MANAGEMENT MEASURES PROPOSED IN THE PLAN ARE EFFECTIVELY IMPLEMENTED UNTIL COMPLETION OF THE PROJECT OR UNTIL THE PERMANENT SURFACE WATER MANAGEMENT SYSTEM IS OPERATIONAL.
3. THE SITE SHALL REMAIN FREE OF EXCESS DUST AND DEBRIS AT ALL TIMES. ANY INCIDENCE OF EROSION, SEDIMENTATION, DUST OR DEBRIS OCCURRING OFF-SITE AS A RESULT OF CONSTRUCTION ACTIVITIES ON THIS DEVELOPMENT SHALL BE CORRECTED BY THE CONTRACTOR IMMEDIATELY (FOR EACH OCCURRENCE).
4. ALL STORM WATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS.
5. SILT FENCE, STRAW BALE INLET FILTERS, AND ANY OTHER EROSION/SEDIMENTATION PROTECTION SHOWN ON THESE PLANS SHALL BE INSTALLED IMMEDIATELY FOLLOWING SITE CLEARING AND PRIOR TO ANY SITE DEVELOPMENT. ALL EROSION/SEDIMENTATION PROTECTION SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION PROJECT AND REMOVED AFTER COMPLETION.
6. CONSTRUCTION WASTE - WASTE SHALL BE COLLECTED AT A DESIGNATED AREA ON-SITE. ADEQUATE NUMBER OF CONTAINERS SHALL BE PROVIDED (WHEN POSSIBLE COVER CONTAINERS OR PROVIDE LIDS ON CONTAINERS). ARRANGE FOR WASTE COLLECTION BEFORE CONTAINERS OVERFLOW. PROVIDE CLEAN UP IMMEDIATELY IF SPILLAGE OCCURS.
7. CONTROL AND DISPOSAL OF WASTES - CONTRACTOR SHALL DEVELOP AND IMPLEMENT A PLAN TO ASSURE THAT ALL WASTE, SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASH-OUT CHEMICALS, LITTER AND SANITARY WASTE ARE PROPERLY CONTROLLED WHILE ON-SITE AND TRANSPORTED AND DISPOSED OF (OFF-SITE) IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. NO WASTE MATERIALS OF ANY KIND ARE PERMITTED TO BE BURIED ON-SITE OR DISCHARGED TO SURFACE WATERS OF THE STATE OR TO THE CITY'S STORM WATER SYSTEM.
8. CONCRETE TRUCKS - EMPTYING OR WASH OUT OF EXCESS CONCRETE MAY BE ALLOWED ON-SITE. EXCESS CONCRETE AND WASH WATER SHOULD BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORMWATER WHICH WILL BE DISCHARGED FROM THE SITE. FOR EXAMPLE, DIKES COULD BE CONSTRUCTED AROUND THE AREA TO CONTAIN THESE MATERIALS UNTIL THEY HARDEN, AT WHICH TIME THEY MAY BE PROPERLY DISPOSED OF.
9. CONTRACTOR SHALL PERIODICALLY SWEEP ALL EXISTING ON-SITE PAVED SURFACES AND OFF-SITE ADJUTING CITY STREETS AND STATE HIGHWAYS AS NEEDED TO KEEP THOSE SURFACES IN A SEDIMENT-FREE CONDITION. SWEEPING SHALL BE DONE BY MECHANICAL MEANS WITH WATER SUPPLEMENT, ON A REGULAR BASIS SEVERAL TIMES A WEEK INCLUDING, MOST PARTICULARLY, AFTER EVERY RAIN EVENT AND EVERY FRIDAY AFTERNOON PRIOR TO CEASING WORK FOR THE WEEK.
10. SANITARY/SEPTIC DISPOSAL - DOMESTIC WASTE HAULERS SHOULD BE CONTRACTED TO REGULARLY REMOVE THE SANITARY AND SEPTIC WASTES AND TO MAINTAIN THE FACILITIES IN GOOD WORKING ORDER.
11. PETROLEUM PRODUCTS - OIL, GASOLINE, LUBRICANTS, AND ASPHALTIC SUBSTANCES SUCH AS PAVING MATERIALS SHOULD BE HANDLED CAREFULLY TO MINIMIZE THEIR EXPOSURE TO STORM WATER. EQUIPMENT SHOULD BE ON SITE TO CONTAIN AND CLEAN UP PETROLEUM SPILLS IN FUEL STORAGE AREAS OR ON EQUIPMENT MAINTENANCE AND FUELING VEHICLES. CONTAIN AND CLEAN UP PETROLEUM SPILLS IMMEDIATELY.
12. HAZARDOUS PRODUCTS - THESE PRODUCTS SHALL BE USED IN A SAFE MANNER TO AVOID POLLUTION OF STORM WATER. EQUIPMENT SHOULD BE ON-SITE TO CONTAIN AND CLEAN UP SPILLS OF HAZARDOUS MATERIALS IN THE AREAS WHERE THESE MATERIALS ARE STORED OR USED. CONTAIN AND CLEAN UP SPILLS IMMEDIATELY AFTER THEY OCCUR.
13. NON-STORM WATER DISCHARGES - THESE DISCHARGES INCLUDE BUT NOT LIMITED TO: FIRE HYDRANT FLUSHINGS, POTABLE WATER SOURCES (FLUSHING), IRRIGATION, BUILDING WASHDOWN, AND AIR CONDITIONING CONDENSATION. PRIOR TO ANY DISCHARGE, ALL DOWNSLOPE SITE SEDIMENTATION AND EROSION CONTROL MEASURES SHOULD BE IN PLACE. DISCHARGE SHOULD ONLY BE DIRECTED TO AREAS THAT ARE STABILIZED TO MINIMIZE EROSION (E.G., BUFFER ZONE, VEGETATED FILTER STRIPES, INLET AND OUTLET PROTECTION, LEVEL SPREADERS, ETC.) DO NOT DISCHARGE NON-STORM WATER FLOWS INTO DISTURBED AREAS.
14. A STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT IS REQUIRED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM EVENT THAT IS 0.5 INCHES OR GREATER. THE REPORTS ARE TO BE FILED AT THE PROJECT SITE WITH THE STORM WATER POLLUTION PREVENTION PLAN.

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERAL PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

THE STORMWATER MANAGEMENT MEASURES PROPOSED ON THIS PLAN SHALL BE EFFECTIVELY IMPLEMENTED AND MAINTAINED UNTIL COMPLETION OF THE PROJECT OR UNTIL SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

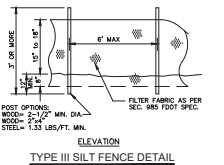
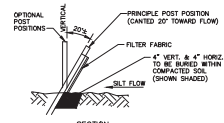
NAME/CONSTRUCTION COMPANY NAME: PC 200-2, LLC DATE: \_\_\_\_\_

**OPERATION AND MAINTENANCE INSTRUCTIONS:**

AS REQUIRED BY SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT, AS OWNER, YOU AND YOUR SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE PROPOSED DRAINAGE FACILITIES FOR THIS SITE. ANY TRASH OR DEBRIS SHALL BE REMOVED FOLLOWING EACH STORM. ALL DRAINAGE STRUCTURES SHALL BE INSPECTED EVERY (6) MONTHS TO DETERMINE THE NEED FOR ANY REPAIR OR CLEARANCE OF SEDIMENT. SEDIMENT SHOULD BE REMOVED FROM THE STRUCTURES WHEN IT ACCUMULATES TO A POINT AT WHICH CONVEYANCE VOLUMES ARE REDUCED BELOW DESIGN LEVELS.

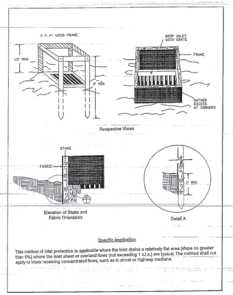
IN ADDITION, YOU OR YOUR SEDIMENT REPRESENTATIVE SHALL INSPECT THE RETENTION PANS/NO ON A REGULAR BASIS FOR THE FORMATION OF SINKHOLES. SHOULD A SINKHOLE FORM, YOU MUST FOLLOW ALL APPLICABLE PROCEDURES OUTLINED BY THE TYPICAL SINK CHIMNEY REPAIR DETAIL SHOWN ON THESE PLANS. AT SUCH TIME, YOU MUST ALSO NOTIFY THE SWPMD WITHIN 48 HOURS OF DISCOVERY OF SAID SINKHOLE, AND SUBMIT A DETAILED REPAIR PLAN FOR WRITTEN APPROVAL WITHIN 30 DAYS OF SAID DISCOVERY. ANY CHANGES TO THE TYPICAL SINK CHIMNEY REPAIR DETAIL AS SHOWN ON THE ENGINEERING PLANS SHALL BE DETERMINED AT THE TIME BASED ON ACTUAL CONDITIONS.

BUSINESS OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_



TYPICAL SILT FENCE DETAIL

Figure 4. Silt Management Practices for Erosion and Sediment Control



Plan A/B. Filter Fabric Drain Inlet Sediment Filter  
 Source: South Florida Water Management District, 2010

NO.	REVISIONS	DATE	BY

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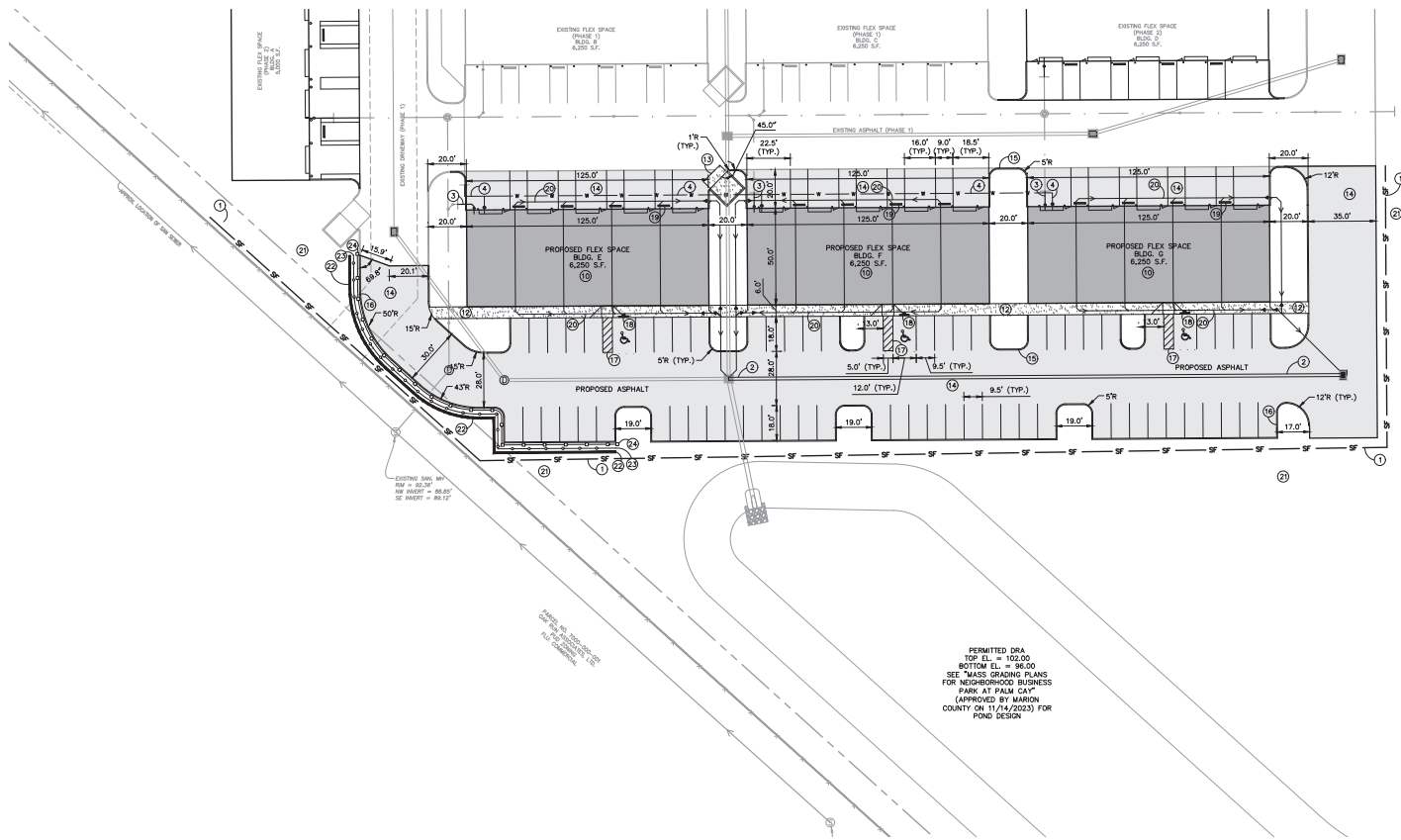
LICENSED PROFESSIONAL JOSEPH C. LONDON, P.E. FLORIDA LICENSE NUMBER 33694	RHA PROJECT 1/24/2024 DATE MAY 2024 SCALE AS SHOWN DESIGNED BY KHA DRAWN BY CHECKED BY
--	---

**EROSION CONTROL PHASE 2**

NEIGHBORHOOD BUSINESS PARK AT PALM CAY  
 PREPARED FOR PC 200-2, LLC  
 FLORIDA

MARION COUNTY MAJOR SITE PLAN  
 SHEET NUMBER C12

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PERMITTED DRA  
 TOP E.L. = 102.00  
 BOTTOM E.L. = 96.00  
 SEE "MASS GRADING PLANS  
 FOR NEIGHBORHOOD BUSINESS  
 PARK AT PALM CAY"  
 (APPROVED BY MARION  
 COUNTY ON 11/14/2023) FOR  
 POND DESIGN

**CONSTRUCTION NOTES:**

- ALL NOTES LISTED BELOW SHALL BE CONSTRUCTED BY THE CONTRACTOR, UNLESS STATED OTHERWISE.
- 1 TEMPORARILY INSTALL 4800 L.F. TYPE II SILENT FENCE AT LOCATIONS SHOWN. SEE DETAIL ON SHEET C16.
  - 2 CONSTRUCT STORM SEWER SYSTEM. SEE DATA ON SHEET C07.
  - 3 EXTEND 6" PVC SANITARY SEWER LATERAL TO BUILDING @ 1% MINIMUM SLOPE.
  - 4 INSTALL THREE 1-1/2" PVC CLASS 200 SDR 21 WATER SERVICES AS SHOWN WITH SHUT-OFF VALVE AT BUILDING.
  - 5 INSTALL WATER LINES TO HOSE BIBS AT REAR OF BUILDINGS (NOT SHOWN) PER COORDINATION WITH OWNER.
  - 6 SEND TO INSTALL PRIMARY DISTRIBUTION CABLES WITHIN ELECTRICAL CONDUITS INSTALLED BY SITE CONTRACTOR FOLLOWING COORDINATION ON CONDUIT SIZE, AMOUNT, AND LOCATION.
  - 7 SEND TO INSTALL ELECTRIC TRANSFORMER ON PAD CONSTRUCTED BY BUILDING CONTRACTOR. PAD THICKNESS AND DIMENSIONS TO BE DETERMINED BY SECO.
  - 8 BUILDING CONTRACTOR TO INSTALL ELECTRICAL CONDUITS AND SECONDARY SERVICE CABLES TO THE METER, AS DETERMINED BY THE METER.
  - 9 INSTALL UNDERGROUND TELEPHONE & CATV SERVICE TO EACH BUILDING FOLLOWING ELECTRIC ROUTE.
  - 10 CONSTRUCT PRE-ENGINEERED STEEL OFFICE/WAREHOUSE BUILDINGS (BY BUILDING CONTRACTOR). SEE GENERAL NOTE 12.

**CONSTRUCTION NOTES (CONT.):**

- 11 INSTALL A/C CONDENSERS ON CONCRETE PADS (BY BUILDING CONTRACTOR).
- 12 CONSTRUCT 4"-THICK CONCRETE WALK WITH 4"x4" 10/10 W/M. SEE DETAIL ON SHEET C17.
- 13 CONSTRUCT DUMPSTER PAD. SEE DETAIL ON SHEET C17.
- 14 CONSTRUCT ASPHALT PAVEMENT. SEE PAVING, GRADING AND DRAINAGE NOTE 24 ON SHEET C02 AND TYPICAL STANDARD DUTY PAVEMENT SECTION ON SHEET C17.
- 15 INSTALL SITE LIGHTING. SEE SEPARATE PHOTOMETRIC PLAN BY SECO LIGHTING FOR ADDITIONAL DETAIL.
- 16 INSTALL CONCRETE TRENCH CURB. SEE DETAIL ON SHEET C17.
- 17 PAINT THREE (3) 5'-WIDE STRIPED ACCESS AISLES.
- 18 INSTALL THREE (3) HANDICAP SIGNS. SEE DETAIL ON SHEET C17.
- 19 INSTALL TWELVE (12) CONCRETE WHEEL STOPS AT 18" FROM ENTRY INTO PARKING SPACE WHERE SHOWN.
- 20 INSTALL PVC ROOF DRAIN SYSTEMS. SEE SHEET C10 FOR SIZES, INVERTS, AND SLOPES.
- 21 REGRADE AND SOO ALL DISTURBED AREAS ON & OFF SITE.
- 22 CONSTRUCT KEYSTONE RETAINING WALL. SEE DETAIL ON SHEET C17.
- 23 INSTALL 8200 L.F. OF 48"-HIGH BLACK VINYL COATED CHAIN LINK FENCE @ 3' OFF THE BACK OF CURB. SEE DETAIL ON SHEET C17.
- 24 INSTALL 8200 L.F. OF FOOT INDEX #3M-001 GUARDRAIL @ 1' OFF THE BACK OF CURB TO THE FACE OF GUARDRAIL.

NO.	REVISIONS	DATE	BY

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LICENSED PROFESSIONAL  
 JOSEPH C. LONDON, P.E.  
 FLORIDA LICENSE NUMBER  
 33694

IHA PROJECT  
 1/24/2024  
 DATE  
 MAY 2024  
 SCALE AS SHOWN  
 DESIGNED BY IHA  
 33694  
 DRAWN BY  
 CHECKED BY

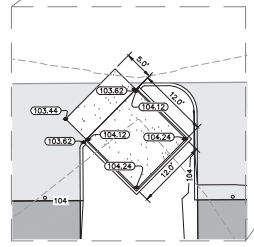
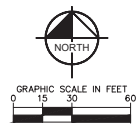
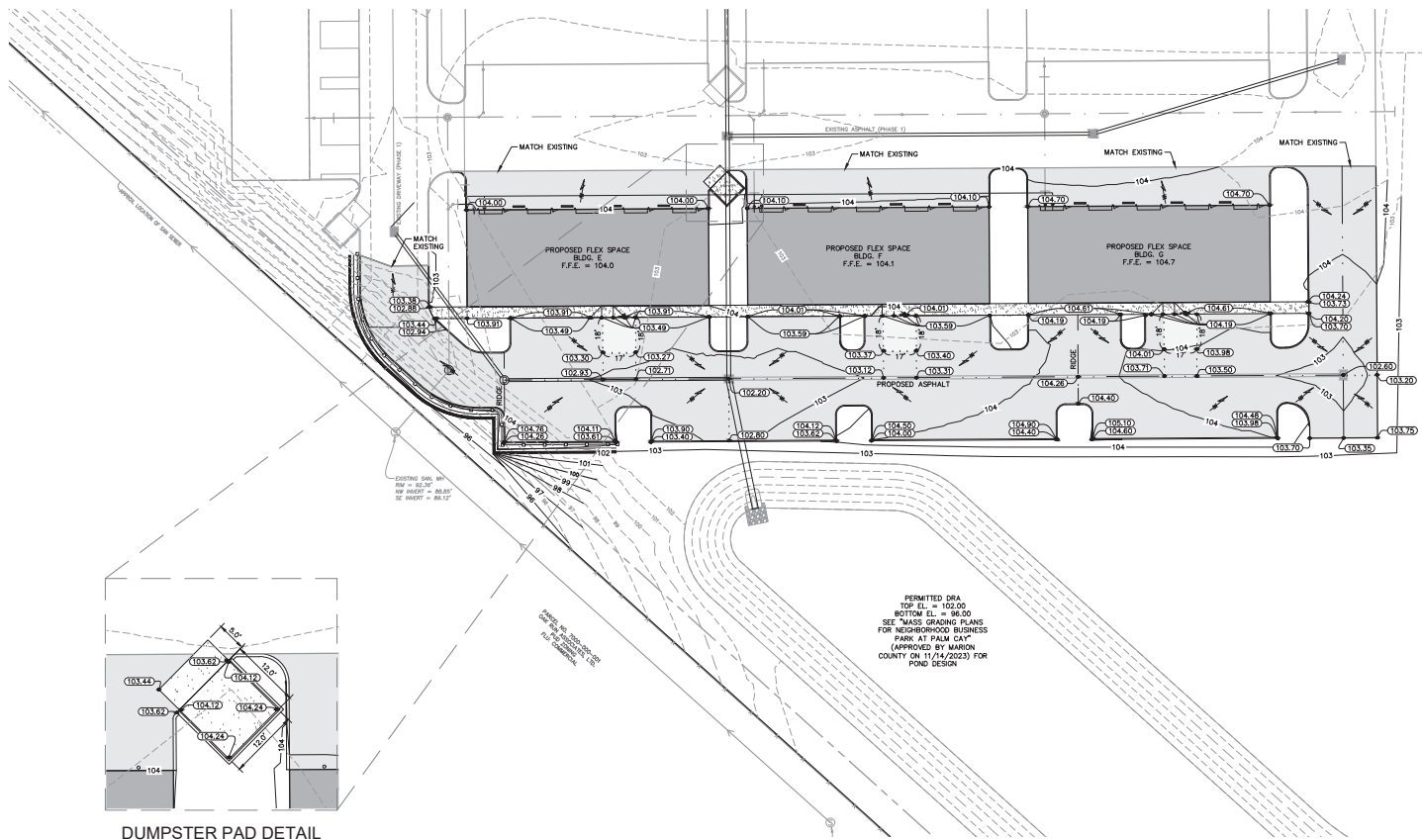
**HORIZONTAL  
 GEOMETRY  
 PHASE 3**

NEIGHBORHOOD BUSINESS  
 PARK AT PALM CAY  
 PREPARED FOR  
 PC 200-2, LLC  
 MARION COUNTY  
 FLORIDA

SHEET NUMBER  
**C13**

MAJOR SITE PLAN

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**DUMPSTER PAD DETAIL**  
SCALE: 1" = 10'

PERMITTED DRA  
 TOP E.L. = 102.00  
 BOTTOM E.L. = 96.00  
 SEE "MASS GRADING PLANS  
 FOR NEIGHBORHOOD BUSINESS  
 PARK AT PALM CAY"  
 (APPROVED BY MARION  
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NO.	REVISIONS	DATE	BY

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LICENSED PROFESSIONAL  
 JOSEPH C. LONDON, P.E.  
 FLORIDA LICENSE NUMBER  
 33694

RHA PROJECT  
 1/25/24  
 DATE  
 MAY 2024  
 SCALE AS SHOWN  
 DESIGNED BY KHA  
 DRAWN BY  
 CHECKED BY

**NEIGHBORHOOD BUSINESS  
 PARK AT PALM CAY  
 PREPARED FOR  
 PC-200-2, LLC**

FLORIDA  
 MARION COUNTY

SHEET NUMBER  
**C14**

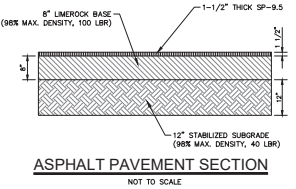
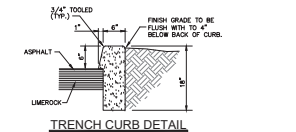
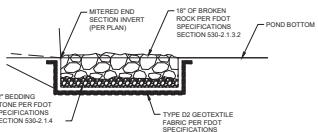
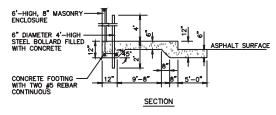
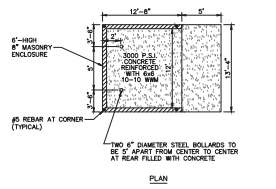
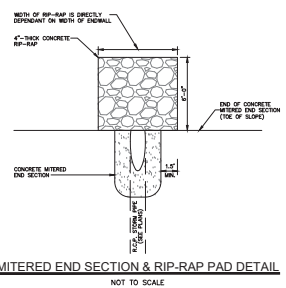
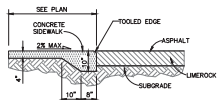
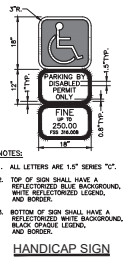
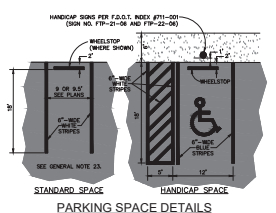
MAJOR SITE PLAN





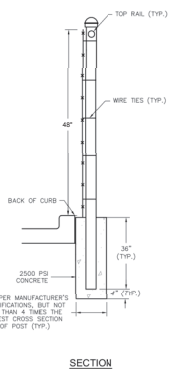
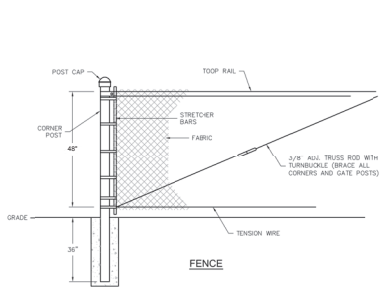
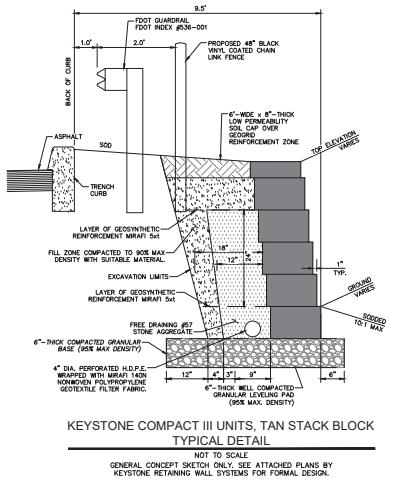
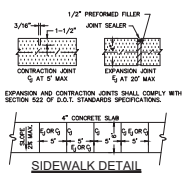


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**CONCRETE JOINT SPECIFICATIONS & NOTES**

- CONTRACTION JOINTS**  
 SAWCUT 1/4" THICKNESS OF SLAB OR AS NOTED ON DETAILS. SPACES SHALL NOT EXCEED 15' EACH WAY. ALL JOINTS SHALL BE PROPERLY FINISHED WITH APPROVED SEALANT.
- ISOLATION JOINTS**  
 1/2" SPACING FROM CONCRETE SLAB TO OTHER ADJACENT OBJECTS WITH JOINT MATERIAL, AS SPECIFIED BELOW.
- JOINT MATERIAL**  
 APPROVED FIBER MATERIAL AT THICKNESS STATED ABOVE FOR ENTIRE DEPTH OF SLAB EXCEPT UPPERMOST 3/8" AS A RECESS TO ALLOW ROOM FOR APPROVED SEALANT.
- CONCRETE JOINT NOTES:**
- ALL ISOLATION JOINTS MUST HAVE TOOLED EDGES.
  - CONTRACTOR MUST CONTACT ARCHITECT FOR SPECIFIC JOINT SPACING REQUIREMENTS.
  - MINIMUM UNDERCUT IS 2"-0" BENDING UNDERCUT MAY BE MORE - SEE REPORT. CONTRACTOR MUST ACHIEVE POSITIVE FLOW TO SIDEWALK.
  - GEOTECHNICAL TESTING IS REQUIRED FOR ALL MATERIAL USED FOR BACKFILL, WHETHER FROM THE SITE OR IMPORT.



NO.	DATE	BY

**Kimley-Horn**

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 1700 SE 17TH STREET, SUITE 200, OCALA, FLORIDA 34761  
 WWW.KIMLEY-HORN.COM REGISTRY NO. 30108

LICENSED PROFESSIONAL  
 JOSEPH C. LONDON, P.E.  
 FLORIDA LICENSE NUMBER 33694

RHA PROJECT 11/22/2024  
 DATE MAY 2024  
 SCALE AS SHOWN  
 DESIGNED BY KHA  
 CHECKED BY

**SITE DETAILS**

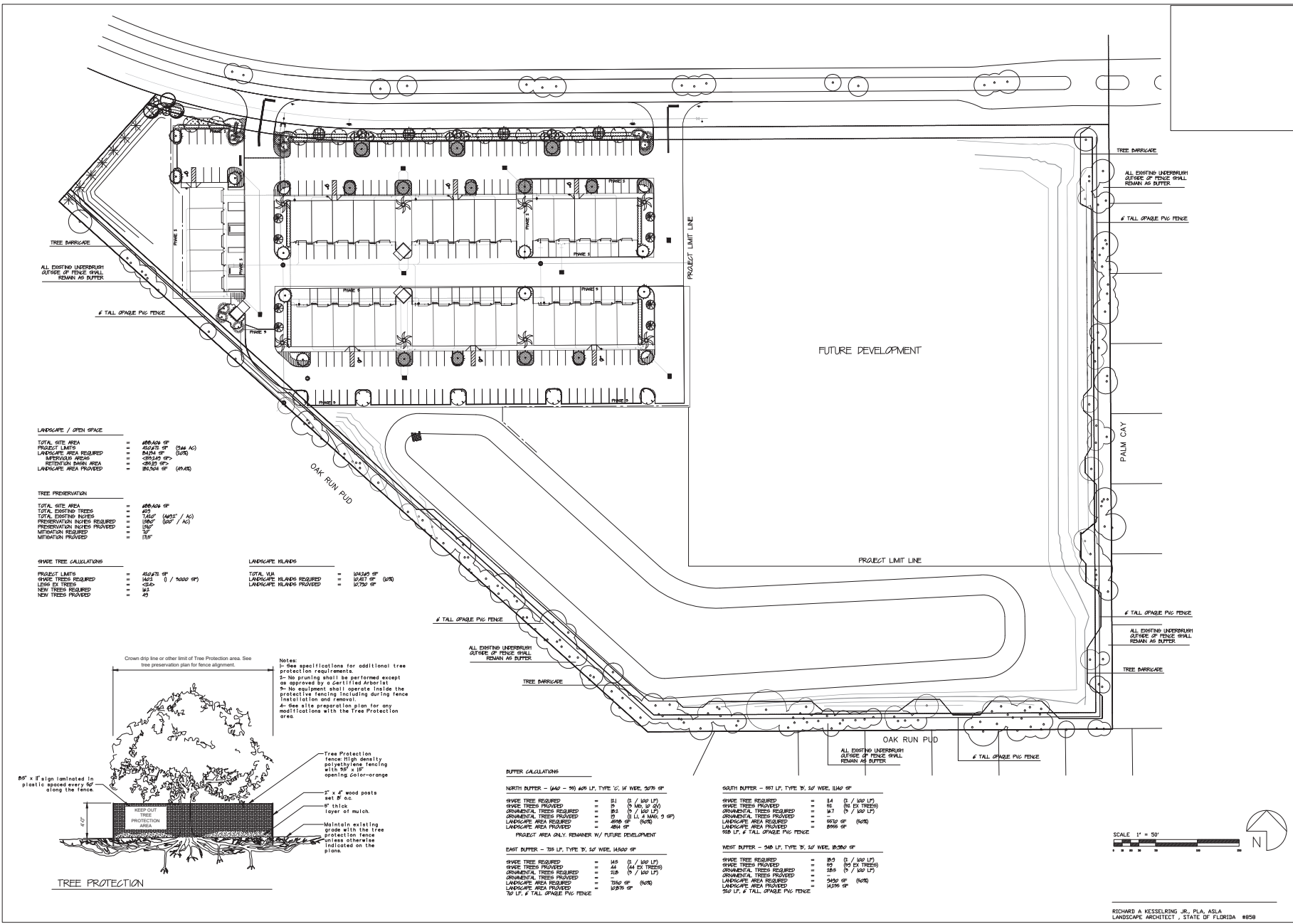
NEIGHBORHOOD BUSINESS  
 PARK AT PALM CAY  
 PREPARED FOR  
 PC 200-2, LLC  
 MARION COUNTY  
 MAJOR SITE PLAN

SHEET NUMBER  
**C17**

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<p><b>NOTES:</b></p> <ol style="list-style-type: none"> <li>1. VALVE SERVICES SHALL HAVE A MINIMUM SIZE OF 1" DOUBLE SERVICES SHALL HAVE A MINIMUM SIZE OF 1 1/2"</li> <li>2. CONNECTION TO LIGHTLY GRADED STOP BY PLACING A WATER BOX FILLED WITH FRANK GRADE AND COVERED TO AN EQUAL GRADE PROVISIONS EXCEPTS A MINIMUM OF 2' ON EITHER SIDE OF THE SERVICE MAIN.</li> <li>3. COVER BOX SHALL BE PROPORTIONAL TO WATER MAIN.</li> <li>4. LOCATE WATER BOX TO BE AT THE SERVICE MAIN LINE.</li> <li>5. CONNECTION SHALL BE MADE UNDER AND AROUND THE CONNECTION TO THE SATISFACTION OF THE ENGINEER. SERVICE CONNECTION SHALL BE PROMINENTLY MARKED BY COLORING OR STAMPING A "W" IN THIS CASE DIRECTLY OVER THE SERVICE LATERAL.</li> <li>6. REGULARLY MAINTAIN SERVICE CONNECTION FROM THE CONNECTION POINT BY COLORING OR STAMPING A "W" IN THIS CASE DIRECTLY OVER THE SERVICE LATERAL.</li> </ol>	<p><b>NOTES:</b></p> <ol style="list-style-type: none"> <li>1. TAPPING SHALL BE MADE IN ACCORDANCE WITH AASHTO M 288.</li> <li>2. TAPPING SHALL BE MADE IN ACCORDANCE WITH AASHTO M 288.</li> <li>3. TAPPING SHALL BE MADE IN ACCORDANCE WITH AASHTO M 288.</li> </ol>	<p><b>NOTE:</b> AUTOMATIC BLOW OFF VALVES TO BE PROVIDED ON AN AS-NEEDED BASIS AS DETERMINED BY WPA.</p>	<p><b>NOTES:</b></p> <ol style="list-style-type: none"> <li>1. TAPPING SHALL BE MADE IN ACCORDANCE WITH AASHTO M 288.</li> <li>2. TAPPING SHALL BE MADE IN ACCORDANCE WITH AASHTO M 288.</li> <li>3. TAPPING SHALL BE MADE IN ACCORDANCE WITH AASHTO M 288.</li> </ol>	<p><b>NOTES:</b></p> <ol style="list-style-type: none"> <li>1. HYDRANT COLOR SHALL BE IN ACCORDANCE WITH SEC. 6-10.3-C.</li> <li>2. HYDRANT SHALL BE 12" PIPES OF SIGHT-UP AND WHEN POSSIBLE.</li> <li>3. BUILT UP VALVE SHALL BE PLACED IN THE MIDDLE OF THE HYDRANT TRAVEL LINE.</li> <li>4. BUILT UP VALVE SHALL BE IN THE MIDDLE OF THE HYDRANT TRAVEL LINE.</li> <li>5. BUILT UP VALVE SHALL BE IN THE MIDDLE OF THE HYDRANT TRAVEL LINE.</li> <li>6. BUILT UP VALVE SHALL BE IN THE MIDDLE OF THE HYDRANT TRAVEL LINE.</li> </ol>	<p><b>NOTES:</b></p> <ol style="list-style-type: none"> <li>1. NEW PIPE AND FITTINGS SHALL BE IN ACCORDANCE WITH THE FOLLOWING SIZES:</li> <li>2. IN OUTSIDE DRIP CONNECTION SHALL BE REQUIRED FOR ALL RETIRED LINES WHICH HAVE AN INVERT 2' OR MORE ABOVE THE SERVICE MAIN.</li> <li>3. IN OUTSIDE DRIP CONNECTION SHALL BE REQUIRED FOR ALL RETIRED LINES WHICH HAVE AN INVERT 2' OR MORE ABOVE THE SERVICE MAIN.</li> <li>4. EXISTING MANHOLES TO REMAIN SHALL BE PROMINENTLY MARKED BY COLORING OR STAMPING A "W" IN THIS CASE DIRECTLY OVER THE SERVICE LATERAL.</li> </ol>
<p><b>Marion County</b>        PROJECT NO. 2024-001        REVISION # 1</p> <p><b>WATER AND RECLAIMED WATER SERVICES (TYPICAL)</b>        7.3.2        LIT 107</p>	<p><b>Marion County</b>        PROJECT NO. 2024-001        REVISION # 1</p> <p><b>M/T TAPPING SLEEVE AND GATE VALVE ASSEMBLY FOR WATER AND RECLAIMED WATER</b>        7.3.2        LIT 108</p>	<p><b>Marion County</b>        PROJECT NO. 2024-001        REVISION # 1</p> <p><b>AUTOMATIC BLOW OFF VALVE WATER MAIN</b>        7.3.2        LIT 207</p>	<p><b>Marion County</b>        PROJECT NO. 2024-001        REVISION # 1</p> <p><b>REDUCED PRESSURE BACKFLOW PREVENTER</b>        7.3.2        LIT 209</p>	<p><b>Marion County</b>        PROJECT NO. 2024-001        REVISION # 1</p> <p><b>FIRE HYDRANT ASSEMBLY</b>        7.3.2        LIT 210</p>	<p><b>Marion County</b>        PROJECT NO. 2024-001        REVISION # 1</p> <p><b>GRAVITY MANHOLE CONNECTION</b>        7.3.2        LIT 303</p>

<b>Kimley-Horn</b>	
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LICENSED PROFESSIONAL JOSEPH C. LINDON, P.E. FLORIDA LICENSE NUMBER 33694	DATE: _____ CHECKED BY: _____ DRAWN BY: _____ DESIGNED BY: _____ SCALE: AS SHOWN DATE: MAY 2024 PROJECT NO. 2024-001
<b>UTILITY DETAILS</b>	
NEIGHBORHOOD BUSINESS PARK AT PALM CAY PREPARED FOR PC 200-2, LLC	FLORIDA MARION COUNTY MAJOR SITE PLAN
SHEET NUMBER <b>C18</b>	REVISIONS NO. _____ DATE _____ BY _____ NO. _____ DATE _____ BY _____ NO. _____ DATE _____ BY _____



**LANDSCAPE / OPEN SPACE**

TOTAL SITE AREA	=	488,400 SF
PROJECT LIMITS	=	482,475 SF (98.8 AC)
LANDSCAPE AREA REQUIRED	=	34,900 SF (0.79 AC)
IMPERVIOUS AREA	=	2,500 SF (0.06 AC)
RETENTION BASIN AREA	=	2,500 SF (0.06 AC)
LANDSCAPE AREA PROVIDED	=	35,500 SF (0.81 AC)

**TREE PRESERVATION**

TOTAL SITE AREA	=	488,400 SF
TOTAL EXISTING TREES	=	410
TOTAL EXISTING INCHES	=	1,425' (105' / AC)
PRESERVATION NOTES PROVIDED	=	1,425' (105' / AC)
PRESERVATION NOTES PROVIDED	=	1,425'
MITIGATION REQUIRED	=	128'
MITIGATION PROVIDED	=	128'

**SHRUB TREE CALCULATIONS**

PROJECT LIMITS	=	482,475 SF
SHRUB TREES REQUIRED	=	1,425' (1' / 1,000 SF)
LESS EX. TREES	=	0
NEW TREES REQUIRED	=	1,425'
NEW TREES PROVIDED	=	1,425'

**LANDSCAPE ISLANDS**

TOTAL IMA	=	10,240 SF (0.23 AC)
LANDSCAPE ISLANDS REQUIRED	=	10,240 SF (0.23 AC)
LANDSCAPE ISLANDS PROVIDED	=	10,240 SF

**BUFFER CALCULATIONS**

**NORTH BUFFER - 640' - 50' 40" LP, TYPE 12, 1/4" WIDE, 3070' 0"**

SHRUB TREE REQUIRED	=	21 (2' / 100 LP)
SHRUB TREES PROVIDED	=	21 (2' / 100 LP)
ORNAMENTAL TREES REQUIRED	=	25 (1' / 100 LP)
ORNAMENTAL TREES PROVIDED	=	27 (1' / 100 LP)
LANDSCAPE AREA REQUIRED	=	2,000 SF (0.05 AC)
LANDSCAPE AREA PROVIDED	=	2,000 SF
PROJECT AREA ONLY REMAINDER // FUTURE DEVELOPMENT	=	0

**EAST BUFFER - 730' LP, TYPE 12, 1/4" WIDE, 1,840' 0"**

SHRUB TREE REQUIRED	=	145 (2' / 100 LP)
SHRUB TREES PROVIDED	=	145 (2' / 100 LP)
ORNAMENTAL TREES REQUIRED	=	175 (1' / 100 LP)
ORNAMENTAL TREES PROVIDED	=	175 (1' / 100 LP)
LANDSCAPE AREA REQUIRED	=	1,750 SF (0.04 AC)
LANDSCAPE AREA PROVIDED	=	1,750 SF

**SOUTH BUFFER - 897' LP, TYPE 12, 1/4" WIDE, 11,840' 0"**

SHRUB TREE REQUIRED	=	14 (2' / 100 LP)
SHRUB TREES PROVIDED	=	14 (2' / 100 LP)
ORNAMENTAL TREES REQUIRED	=	17 (1' / 100 LP)
ORNAMENTAL TREES PROVIDED	=	17 (1' / 100 LP)
LANDSCAPE AREA REQUIRED	=	1,180 SF (0.03 AC)
LANDSCAPE AREA PROVIDED	=	1,180 SF
PROJECT AREA ONLY REMAINDER // FUTURE DEVELOPMENT	=	0

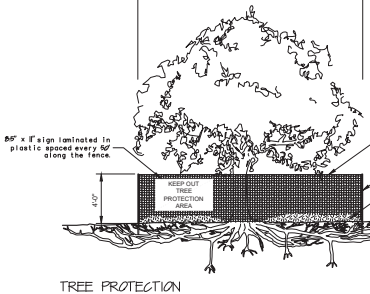
**WEST BUFFER - 540' LP, TYPE 12, 1/4" WIDE, 1,840' 0"**

SHRUB TREE REQUIRED	=	10 (2' / 100 LP)
SHRUB TREES PROVIDED	=	10 (2' / 100 LP)
ORNAMENTAL TREES REQUIRED	=	12 (1' / 100 LP)
ORNAMENTAL TREES PROVIDED	=	12 (1' / 100 LP)
LANDSCAPE AREA REQUIRED	=	1,000 SF (0.02 AC)
LANDSCAPE AREA PROVIDED	=	1,000 SF

Drawn slip line or other limit of Tree Protection area. See tree preservation plan for fence alignment.

**Notes:**  
 - Tree specifications for additional tree protection requirements:  
 - No pruning shall be performed except as approved by a Certified Arborist  
 - No equipment shall operate inside the protective fencing including during the installation and removal.  
 - Tree site preparation plan for any modifications within the Tree Protection area.

- Tree Protection fence high density polyethylene fencing with 30" x 30" opening color-orange
- 5" x 4" wood posts set @ 6' o.c.
- 1" layer of mulch
- Maintain existing grade with the tree protection fence unless otherwise indicated on the plans.



TREE PROTECTION



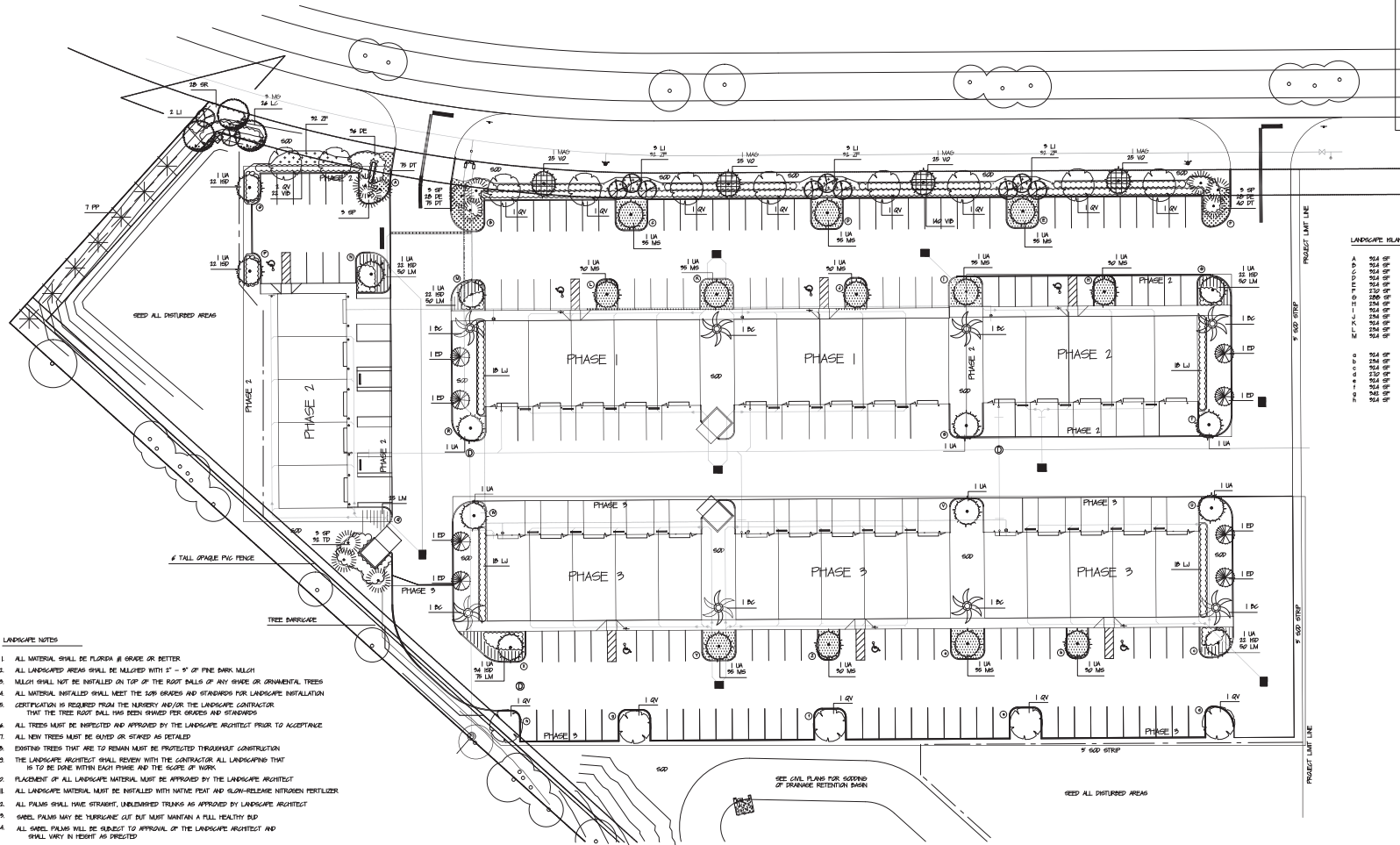
NO.	DATE	DESCRIPTION

DATE:	10 / 23
DRAWING NO.:	
PREP NAME:	
SCALE:	1" = 50'
JOB NO.:	
PK:	
RAK:	

ENVIRONMENTAL DESIGN ARCHITECT  
 ANDY KESSELING, LANDSCAPE ARCHITECT  
 1711 OAK A, F. CANY, JALTA  
 (305) 622-8899  
 LANDSCAPE ARCHITECTURE, SITE PLANNING, DESIGN  
 601 COURSE DESIGN, COMMERCIAL, RESIDENTIAL, DESIGN



MASTER LANDSCAPE PLAN  
 NEIGHBORHOOD BUSINESS PARK  
 @ PALM CAY  
 FLORIDA  
 MARION COUNTY



- LANDSCAPE NOTES**
1. ALL MATERIAL SHALL BE FLORIDA # GRADE OR BETTER
  2. ALL LANDSCAPED AREAS SHALL BE MULCHED WITH 2" - 5" OF FINE DARK MULCH
  3. MULCH SHALL NOT BE INSTALLED ON TOP OF THE ROOT BALLS OF ANY GRADE OR ORNAMENTAL TREES
  4. ALL MATERIAL INSTALLED SHALL MEET THE SAP GRASSES AND STANDARDS FOR LANDSCAPE INSTALLATION CERTIFICATION IS REQUIRED FROM THE NURSERY AND/OR THE LANDSCAPE CONTRACTOR THAT THE TREE ROOT BALL HAS BEEN SHAVED FOR GRASSES AND STANDARDS
  5. ALL TREES MUST BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE
  6. ALL NEW TREES MUST BE GUVED OR STAKED AS DETAILLED
  7. EXISTING TREES THAT ARE TO REMAIN MUST BE PROTECTED THROUGHOUT CONSTRUCTION
  8. THE LANDSCAPE ARCHITECT SHALL REVIEW WITH THE CONTRACTOR ALL LANDSCAPING THAT IS TO BE DONE WITHIN EACH PHASE AND THE SCOPE OF WORK
  9. PLACEMENT OF ALL LANDSCAPE MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT
  10. ALL LANDSCAPE MATERIAL MUST BE INSTALLED WITH WATER FOOT AND FLOW-REDUCING NITROGEN FERTILIZER
  11. ALL PALMS SHALL HAVE STRUTTED UNMULCHED TRUNKS AS APPROVED BY LANDSCAPE ARCHITECT
  12. SHADE PALMS MAY BE THURSCANE CUT BUT MUST MAINTAIN A FULL HEALTHY TOP
  13. ALL SHADE PALMS SHALL BE SUBJECT TO APPROVAL OF THE LANDSCAPE ARCHITECT AND SHALL VARY IN HEIGHT AS DETAILLED
  14. ALL MATERIAL SHALL BE GUANTIFIED FOR 30 DAYS FROM THE DATE OF ACCEPTANCE
  15. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING IN ALL TREES AND PROVIDING AIR-SPRINKERS
  16. DURING THE ESTABLISHMENT PERIOD FIRST 30 DAYS THE LANDSCAPE CONTRACTOR SHALL APPLY A MINIMUM OF 60" - 80 GPD TO ALL NEW TREES AND PALMS
  17. DURING INSTALLATION OF ALL PALMS TRENCH FILM TRANSPARENT SHALL BE APPLIED PER MANUFACTURERS SPECIFICATIONS AND CONTRACTOR MUST VERIFY THIS TO THE LANDSCAPE ARCHITECT
  18. LANDSCAPE CONTRACTOR MUST LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION
  19. NO PLANTINGS OR OTHER OBSTRUCTIONS MAY BE WITHIN THE 2' REGULAR OVERHANG AREA
  20. ALL 600 SHALL BE ARGENTEA-BARRA INSTALLED WITH NO SAWS OR CHAINS
  21. ALL WIRE / MESH BARRING SHALL BE COMPLETELY REMOVED PRIOR TO ANY ACCEPTANCE
  22. ALL 600 EXIDES SHALL BE GRAVEL-CUT AND RANDED FOR MAINTENANCE
  23. ALL DISTURBED AREAS OUTSIDE 600 SHALL BE REEDED WITH ARGENTEA-BARRA @ 8 LBS / 1000 SF
  24. ALL REEDED AREAS SHALL BE OVER-MULCHED WITH STRAW OR OTHER ACCEPTABLE MATERIAL
  25. 600 / 800 AREAS TO BE HAND-RAKED AND ALL ROCKS, STUMPS, AND OTHER DEBRIS REMOVED
  26. PLANTING SOIL USED FOR THE BUILDING FOUNDATIONS AND BACKFILLING OF THE LANDSCAPE ISLANDS ETC. MUST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION. ALL SOIL SHALL BE NEED-FREE, CONTAIN NO STUMPS, ROCKS OR OTHER FOREIGN OBJECTS, AND SHALL BE A Mixture OF 40% SAND, 50% LOAM, AND 10% TOP-SOIL.
  27. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL PLANT MATERIAL, ROOTS, SOIL, AND OTHER LANDSCAPE ITEMS REMOVED FROM THIS SITE.

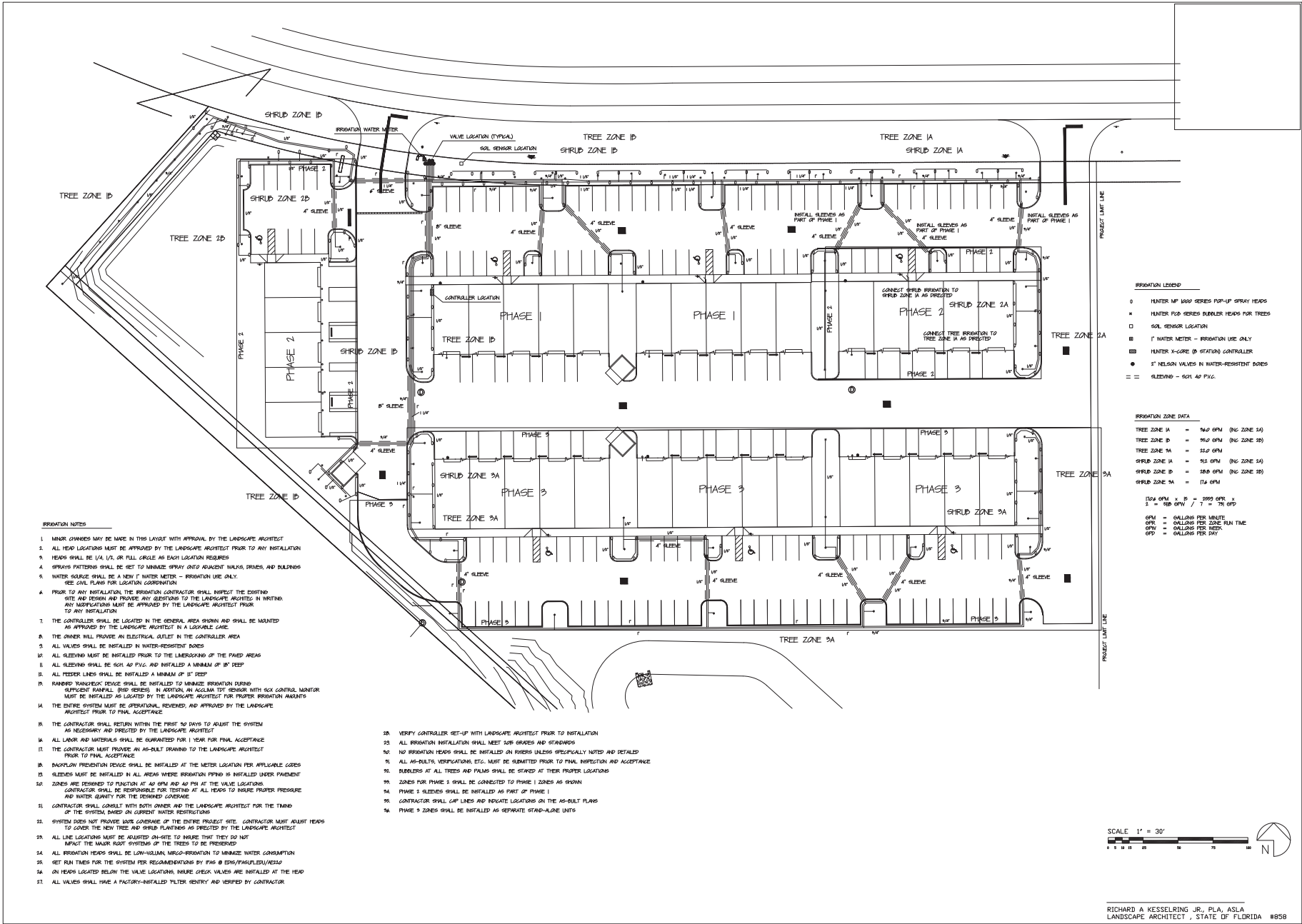
28. THE LANDSCAPE CONTRACTOR MUST PROVIDE AN AS-BUILT OF THE IRRIGATION SYSTEM TO THE LANDSCAPE ARCHITECT PRIOR TO REQUESTING ANY INSPECTIONS AND/OR APPROVALS
29. THE CONTRACTOR SHALL KEEP THE SITE CLEAR OF ALL DEBRIS, WASTE, DIRT, ETC., AND ENSURE THAT THAT IRRIGATION SYSTEM REMAINS CLEAR AND THAT PROTECTION MATS ARE NOT BLOCKED
30. DO NOT PLANT NEW TREES TOO DEEP UNDER THE TRUNK FLARE AND SET THIS AT OR ABOVE THE SURROUNDING SOIL LEVEL
31. REMOVE ANY TREE WOUND FROM AROUND THE TRUNK OF NEW TREES TO BE INSTALLED
32. ALL NEW TREES AND SHRUBS MUST MEET THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI 360)
33. LANDSCAPE ARCHITECT MAY REQUIRE PRUNING OF NEW TREES AFTER INSTALLATION IF IT IS DETERMINED THAT THE TREES NEED A SINGLE DOMINANT LEADER ESTABLISHED OR CLUSTER BRANCHED REMOVED
34. ALL PLANT MATERIAL MUST MEET ALL OF THE SIZE SPECIFICATIONS, NOT JUST THE CONTAINER SIZE
35. HAVING THE LANDSCAPE ARCHITECT APPROVAL OF PLANT PLACEMENT IS ESSENTIAL FOR ACCEPTANCE
36. ALL SIZE SPECIFICATIONS SHOWN ON THE MATERIAL LIST ARE FOR THE HEIGHT OF THE MATERIAL, UNLESS OTHERWISE NOTED. MEASUREMENT SHALL BE AS FOR THE CURRENT INDUSTRY GRASSES AND STANDARDS

**LANDSCAPE MATERIAL LIST - PHASE 1**

L	Q	S	DESCRIPTION	COMMON NAME	ORIGIN	SIZE
1	2	1	SHADE TREES			
1	2	1	MA	MANGROVE GRANADILLA DYPHLOCHLOPS	SOUTHERN MANGROVE	48 GAL 35" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
2	5	1	PA	FLORIDA PALMETTO	NATIVE	48 GAL 35" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
3	5	1	VA	VALENTIA VERNINA	NATIVE	48 GAL 35" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
4	5	1	VA	VALENTIA VERNINA	NATIVE	48 GAL 35" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
5	5	1	VA	VALENTIA VERNINA	NATIVE	48 GAL 35" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
1	2	4	SHRUBS			
1	2	4	BU	BUTIA CAPitata	FRUIT PALM	24 GAL 4" CLEAR TRUNK, FULL CANOPY, SPECIMEN
2	2	4	ED	ELAEAGNUS PARVIFLORUS	JAWWANE BLEDBERRY	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
3	2	4	LI	LEUCOPHYLLON ALBA	WHITE OLE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
4	2	4	MA	MANGROVE GRANADILLA DYPHLOCHLOPS	SOUTHERN MANGROVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
5	2	4	PA	FLORIDA PALMETTO	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
6	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
7	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
8	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
9	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
10	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
11	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
12	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
13	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
14	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
15	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
16	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
17	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
18	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
19	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
20	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
21	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
22	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
23	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
24	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
25	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
26	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
27	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
28	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
29	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
30	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
31	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
32	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
33	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
34	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
35	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
36	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
37	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
38	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
39	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
40	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
41	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
42	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
43	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
44	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
45	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
46	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
47	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
48	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
49	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
50	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
51	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY
52	2	4	VA	VALENTIA VERNINA	NATIVE	24 GAL 2" CAL 1/2 TALL SINGLE LEADER, FULL CANOPY

**LANDSCAPE ISLANDS**

ISLAND #	AREA (SQ FT)	PERIMETER (FT)
1	100	100
2	150	150
3	200	200
4	250	250
5	300	300
6	350	350
7	400	400
8	450	450
9	500	500
10	550	550
11	600	600
12	650	650
13	700	700
14	750	750
15	800	800
16	850	850
17	900	900
18	950	950
19	1000	1000
20	1050	1050
21	1100	1100
22	1150	1150
23	1200	1200
24	1250	1250
25	1300	1300
26	1350	1350
27	1400	1400
28	1450	1450
29	1500	1500
30	1550	1550
31	1600	1600
32	1650	1650
33	1700	1700
34	1750	1750
35	1800	1800
36	1850	1850
37	1900	1900
38	1950	1950
39	2000	2000
40	2050	2050
41	2100	2100
42	2150	2150
43	2200	2200
44	2250	2250
45	2300	2300
46	2350	2350
47	2400	2400
48	2450	2450
49	2500	2500
50	2550	2550
51	2600	2600
52	2650	2650
53	2700	2700
54	2750	2750
55	2800	2800
56	2850	2850
57	2900	2900
58	2950	2950
59	3000	3000
60	3050	3050
61	3100	3100
62	3150	3150
63	3200	3200
64	3250	3250
65	3300	3300
66	3350	3350
67	3400	3400
68	3450	3450
69	3500	3500
70	3550	3550
71	3600	3600
72	3650	3650
73	3700	3700
74	3750	3750
75	3800	3800
76	3850	3850
77	3900	3900
78	3950	3950
79	4000	4000
80	4050	4050
81	4100	4100
82	4150	4150
83	4200	4200
84	4250	4250
85	4300	4300
86	4350	4350
87	4400	4400
88	4450	4450
89	4500	4500
90	4550	4550
91	4600	4600
92	4650	4650
93	4700	4700
94	4750	4750
95	4800	4800
96	4850	4850
97	4900	4900
98	4950	4950
99	5000	5000
100	5050	5050
101	5100	5100
102	5150	5150
103	5200	5200
104	5250	5250
105	5300	5300
106	5350	5350
107	5400	5400
108	5450	5450
109	5500	5500
110	5550	5550
111	5600	5600
112	5650	5650
113	5700	5700
114	5750	5750
115	5800	5800
116	5850	5850
117	5900	5900
118	5950	5950
119	6000	6000
120	6050	6050
121	6100	6100
122	6150	6150
123	6200	6200
124	6250	6250
125	6300	6300
126	6350	6350
127	6400	6400
128	6450	6450
129	6500	6500
130	6550	6550
131	6600	6600
132	6650	6650
133	6700	6700
134	6750	6750
135	6800	6800
136	6850	6850
137	6900	6900
138	6950	6950
139	7000	7000
140	7050	7050
141	7100	7100
142	7150	7150
143	7200	7200
144	7250	7250
145	7300	7300
146	7350	7350
147	7400	7400
148	7450	7450
149	7500	7500
150	7550	7550
151	7600	7600
152	7650	7650
153	7700	7700
154	7750	7750
155	7800	7800
156	7850	7850
157	7900	7900
158	7950	7950
159	8000	8000
160	8050	8050
161	8100	8100
162	8150	8150
163	8200	8200
164	8250	8250
165	8300	8300
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179	9000	9000
180	9050	9050
181	9100	9100
182	9150	9150
183	9200	9200
184	9250	9250
185	9300	9300
186	9350	9350
187	9400	9400
188	9450	9450
189	9500	9500
190	9550	



**IRRIGATION NOTES**

1. MINOR CHANGES MAY BE MADE IN THIS LAYOUT WITH APPROVAL BY THE LANDSCAPE ARCHITECT
2. ALL HEAD LOCATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION
3. HEADS SHALL BE 1/4, 1/2, OR FULL CIRCLE AS EACH LOCATION REQUIRES
4. SPOWNS PATTERNS SHALL BE SET TO MINIMIZE SPOWNS AROUND WALKS, DRIVES, AND BUILDINGS
5. WATER SOURCE SHALL BE A NEW 1" WATER METER - IRRIGATION USE ONLY. SEE CIVIL PLANS FOR LOCATION COORDINATION
6. PRIOR TO ANY INSTALLATION, THE IRRIGATION CONTRACTOR SHALL INSPECT THE EXISTING SITE AND DESIGN AND PROVIDE ANY SLEEVINGS TO THE LANDSCAPE ARCHITECT IN WRITING. ANY MODIFICATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION
7. THE CONTROLLER SHALL BE LOCATED IN THE GENERAL AREA SHOWN AND SHALL BE MOUNTED AS APPROVED BY THE LANDSCAPE ARCHITECT IN A LOCKABLE CABINET
8. THE OWNER WILL PROVIDE AN ELECTRICAL OUTLET IN THE CONTROLLER AREA
9. ALL VALVES SHALL BE INSTALLED IN WATER-RESISTANT BOXES
10. ALL SLEEVINGS MUST BE INSTALLED PRIOR TO THE UNDERGRADING OF THE PAVED AREAS
11. ALL SLEEVING SHALL BE 60# 4" PVC AND INSTALLED A MINIMUM OF 18" DEEP
12. ALL FEEDER LINES SHALL BE INSTALLED A MINIMUM OF 18" DEEP
13. RAINFALL TRANSDUCER DEVICE SHALL BE INSTALLED TO MONITOR IRRIGATION DURING PRESENT MONITORING (BUSY PERIODS). IN ADDITION, AN ANEMIA TEST SENSOR WITH SOIL CONTACT MONITOR MUST BE INSTALLED AS LOCATED BY THE LANDSCAPE ARCHITECT FOR PROPER IRRIGATION AMOUNTS
14. THE ENTIRE SYSTEM MUST BE OPERATIONAL, REVIEWED, AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
15. THE CONTRACTOR SHALL RETURN WITHIN THE FIRST 30 DAYS TO ADJUST THE SYSTEM AS NECESSARY AND DIRECTED BY THE LANDSCAPE ARCHITECT
16. ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR 1 YEAR FOR FINAL ACCEPTANCE
17. THE CONTRACTOR MUST PROVIDE AN AS-BUILT DRAWING TO THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
18. BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED AT THE METER LOCATION PER APPLICABLE CODES
19. SLEEVINGS MUST BE INSTALLED IN ALL AREAS WHERE IRRIGATION PIPING IS INSTALLED UNDER PAVEMENT
20. ZONES ARE DESIGNED TO FUNCTION AT 40 GPM AND 40 PSI AT THE VALVE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING AT ALL HEADS TO INSURE PROPER PRESSURE AND WATER QUANTITY FOR THE DESIGNED COVERAGE
21. CONTRACTOR SHALL CONSULT WITH BOTH OWNER AND THE LANDSCAPE ARCHITECT FOR THE TRAINING OF THE SYSTEM BASED ON CURRENT WATER RESTRICTIONS
22. SYSTEM DOES NOT PROVIDE VAPOR COVERAGE OF THE ENTIRE PROJECT SITE. CONTRACTOR MUST ADJUST HEADS TO COVER THE TREES AND SPREAD PLANTINGS AS DIRECTED BY THE LANDSCAPE ARCHITECT
23. ALL LINE LOCATIONS MUST BE ADJUSTED ON-SITE TO INSURE THAT THEY DO NOT IMPACT THE MAJOR ROOT SYSTEMS OF THE TREES TO BE PRESERVED
24. ALL IRRIGATION HEADS SHALL BE LOW-VOLU-ME, WIND-RESISTANT TO MINIMIZE WATER CONSUMPTION
25. SET RUN TIMES FOR THE SYSTEM PER RECOMMENDATIONS BY PHG @ EDNA/PAUL/LEWIS/ES&S
26. ON HEADS LOCATED BELOW THE VALVE LOCATIONS, INSURE CHECK VALVES ARE INSTALLED AT THE HEAD
27. ALL VALVES SHALL HAVE A FACTORY-INSTALLED FILTER ENTRY AND VERIFIED BY CONTRACTOR
28. VERIFY CONTROLLER SET-UP WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
29. ALL IRRIGATION INSTALLATION SHALL MEET SOB GRASSES AND STANDARDS
30. NO IRRIGATION HEADS SHALL BE INSTALLED ON PAVEDS UNLESS SPECIFICALLY NOTED AND DETAILED
31. ALL AS-BUILTS, VERIFICATIONS, ETC. MUST BE SUBMITTED PRIOR TO FINAL INSPECTION AND ACCEPTANCE
32. PAVEDS AT ALL TREES AND PLANTS SHALL BE STAKED AT THEIR PROPER LOCATIONS
33. ZONES FOR PHASE 1 SHALL BE CONNECTED TO PHASE 1 ZONES AS SHOWN
34. PHASE 1 SLEEVINGS SHALL BE INSTALLED AS PART OF PHASE 1
35. CONTRACTOR SHALL CAP LINES AND INDICATE LOCATIONS ON THE AS-BUILT PLANS
36. PHASE 2 ZONES SHALL BE INSTALLED AS SEPARATE STAND-ALONE UNITS

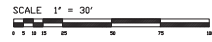
- IRRIGATION LEGEND**
- HUNTER MP 1000 SERIES POP-UP SPRAY HEADS
  - ✱ HUNTER POP SERIES BUBBLER HEADS FOR TREES
  - SOL SENSOR LOCATION
  - ⊖ 1" WATER METER - IRRIGATION USE ONLY
  - ⊞ HUNTER X-CORE (8 STATION) CONTROLLER
  - 2" NELSON VALVES IN WATER-RESISTANT BOXES
  - SLEEVING - 60# 4" PVC

**IRRIGATION ZONE DATA**

TREE ZONE 1A	=	36.0 GPM (NO ZONE SA)
TREE ZONE 1B	=	36.0 GPM (NO ZONE SB)
TREE ZONE 2A	=	36.0 GPM
TREE ZONE 2B	=	36.0 GPM (NO ZONE SA)
TREE ZONE 3A	=	36.0 GPM (NO ZONE SB)
TREE ZONE 3B	=	36.0 GPM

100 GPM x 8 = 800 GPM x 2 = 1600 GPM / 7 = 228 GPD  
 100 GPM x 8 = 800 GPM / 7 = 114 GPD

GPM = GALLONS PER MINUTE  
 GPD = GALLONS PER DAY  
 GPD = GALLONS PER ZONE RUN TIME



NO.	DATE	DESCRIPTION

DATE:	10 / 23
DRAWN BY:	RAK
CHECKED BY:	
SCALE:	1" = 30'
JOB NO.:	

ENVIRONMENTAL DESIGN  
 ANY KESSELRING ARCHITECT  
 1000 N. PALM BEACH BLVD  
 SUITE 100  
 PALM BEACH, FL 33480  
 LANDSCAPE ARCHITECTURE, SITE PLANNING, DESIGN  
 CONCEPT DESIGN, COMMERCIAL-RESIDENTIAL DESIGN



IRRIGATION PLAN  
 NEIGHBORHOOD BUSINESS PARK  
 @ PALM CAY  
 MARION COUNTY  
 FLORIDA

**MARION COUNTY NOTES (LANDSCAPE)**

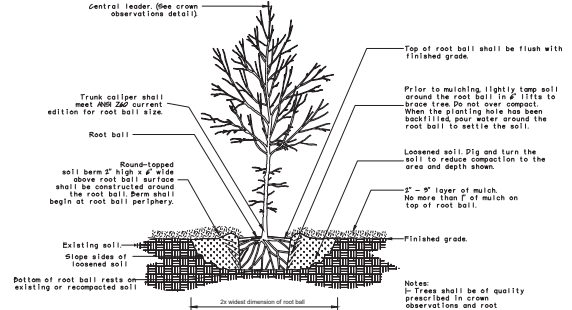
1. TREE PROTECTION SHALL CONTINUE DURING THE COURSE OF CONSTRUCTION. ALL REQUIREMENTS OUTLINED IN SECTION 473 E SHALL BE COMPLIED WITH BY ALL CONTRACTORS OPERATING ON SITE.
2. ALL REQUIREMENTS OUTLINED IN SECTION 473 D SHALL BE COMPLIED WITH FOR ANY REPLACEMENT TREES REQUIRED ON THIS SITE BY THIS CONSTRUCTION.
3. THE PREPARATION AND FINAL INSPECTION AS OUTLINED IN SECTION 473 SHALL BE COMPLIED WITH. NO CERTIFICATION OF OCCUPANCY OR APPROVAL OF COMPLETION SHALL BE ISSUED UNTIL THESE INSPECTIONS HAVE BEEN COMPLETED AND APPROVAL OBTAINED.
4. NOTES HAVE BEEN GIVEN REGARDING LIGHTING (478), 479A, 479B, TREE PROTECTION (473 D), MAINTENANCE (489), 489A, FERTILIZER USE (484A) AND WATERING (493).
5. ALL REQUIREMENTS OUTLINED IN SECTION 484A REGARDING FERTILIZERS AND OTHER LANDSCAPE CHEMICALS SHALL BE COMPLIED WITH BY THE OWNER AND/OR OTHER LANDSCAPE PROFESSIONALS.
6. UPON COMPLETION OF THE INSTALLATION THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL. A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE PREPARED AND SIGNED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
7. ALL REQUIREMENTS OUTLINED IN SECTION 489 REGARDING LANDSCAPE MAINTENANCE SHALL BE COMPLIED WITH BY THE OWNER AND/OR OTHER MAINTENANCE PROFESSIONALS.
8. ALL REQUIREMENTS OUTLINED IN SECTION 489B REGARDING LANDSCAPE INSTALLATION AND MAINTENANCE LIGHTING AND CERTIFICATION SHALL BE COMPLIED WITH.
9. ANY PERSON PROVIDING LANDSCAPE INSTALLATION SERVICES FOR TREE SHALL MEET THE LIGHTING AND CERTIFICATION REQUIREMENTS UNDER SECTION 489B.
10. ALL PLANTINGS SHALL BE INSTALLED ACCORDING TO BEST MANAGEMENT PRACTICES.
11. TREES AND PALMS SHALL BE PROPERLY PLANTED AND GATED OR STAKED.
12. ALL PLANTINGS SHALL BE PROPERLY WATERED DURING INSTALLATION AND THROUGH THE ESTABLISHMENT PERIOD FOR HEALTHY GROWTH AS RECOMMENDED BY LP/PA6.
13. INSTALLATION SHALL MEAN SURVIVAL. IN PROPORTY AND REPLACEMENT IF NECESSARY OF ALL MATERIALS USED AND/OR OTHER MATERIALS SHALL BE REPLACED BY THE OWNER WITHIN 90 DAYS OF NOTIFICATION BY THE COUNTY.

**MARION COUNTY NOTES (IRRIGATION)**

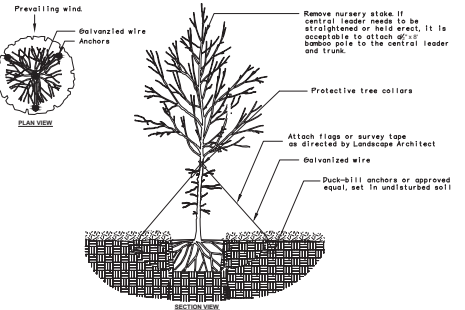
1. UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION AND THE ACCEPTANCE OF THE AS-BUILT DRAWING AND OPERATIONAL INFORMATION, A FINAL INSPECTION AND LANDSCAPE / IRRIGATION RELEASE SHALL BE OBTAINED AND SIGNED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT. ALL REQUIREMENTS OUTLINED IN SECTION 454 SHALL BE COMPLIED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS.
  2. ALL REQUIREMENTS IN SECTION 454 REGARDING SYSTEM INSTALLATION, SCHEDULING, OPERATION AND MAINTENANCE SHALL BE COMPLIED WITH. SYSTEM SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH FLORIDA'S BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INITIATIVES OF THE FLORIDA WYDS AND NEIGHBORHOOD PROGRAM.
  3. ALL REQUIREMENTS OUTLINED IN SECTION 455 REGARDING THE IRRIGATION SCHEDULING SHALL BE COMPLIED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS.
  4. ALL REQUIREMENTS OUTLINED IN SECTION 456 REGARDING LIGHTING AND CERTIFICATION OF THE IRRIGATION INSTALLATION AND MAINTENANCE PROFESSIONALS SHALL BE COMPLIED WITH.
- NOTES HAVE BEEN GIVEN REGARDING AS-BUILT REQUIREMENTS (454), WATERING INSTALLATION (453) AND INSTALLATION LIGHTING REQUIREMENTS (453).

**TREE PROTECTION NOTES**

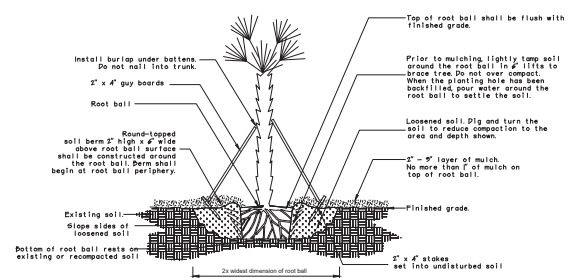
1. TREE PROTECTION SHALL CONTINUE DURING THE COURSE OF CONSTRUCTION. THE FOLLOWING REQUIREMENTS SHALL BE OBSERVED BY TREE REMOVAL PERMITS ALL PERMITS FOR CONSTRUCTION IN PUBLIC RIGHT-OF-WAY, AND ALL DEVELOPMENT PERMITS ISSUED UNDER AND PURSUANT TO THIS CODE:
  - a. THE CLEARING OF CONSTRUCTION EQUIPMENT OR MATERIAL OR THE DISPOSAL OF WASTE MATERIALS INCLUDING BUT NOT LIMITED TO BRICKS, CONCRETE, ASPHALT, CONCRETE AND WASTE WITHIN THE TREE CANOPY SHALL BE PROHIBITED IS NOT ALLOWED.
  - b. THE MOVEMENT OF EQUIPMENT OR THE STORAGE OF EQUIPMENT, MATERIALS, DEBRIS, OR FILL WITHIN THE TREE CANOPY SHALL BE PROHIBITED IS NOT ALLOWED.
  - c. THE CONTRACTOR SHALL INSPECT ALL TREE PROTECTION BARRIERS AND SIGNS ON A WEEKLY BASIS DURING THE COURSE OF CONSTRUCTION. ANY DAMAGE OR SIGN WHICH HAS BEEN DAMAGED OR IS MISSING SHALL BE REPAIRED OR REPLACED AS REQUIRED. ANY DAMAGE TO THE PROTECTION BARRIERS DURING CONSTRUCTION, WITH THE EXCEPTION OF NATURAL CAUSES, AS TO PLACE THE LONG TERM PROTECTION BARRIERS SHALL BE REPAIRED OR REPLACED AS REQUIRED. THE REPLACEMENT TREES SHALL BE OF COMPARABLE SPECIES TO THE DAMAGED OR REMOVED TREES, WITH A MINIMUM REPLACEMENT SIZE OF 1/2-INCH CALIPER. THE COUNTY RESERVES THE RIGHT TO ESTABLISH A REPLACEMENT VALUE FOR SUCH TREES AND PLANTING NEW TREE INFORMATION THAT MAY BE AUTHORIZED BY THE COUNTY'S LANDSCAPE ARCHITECT.



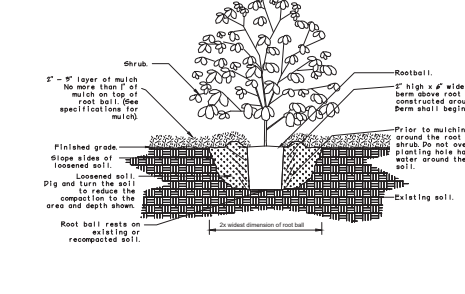
**TREE INSTALLATION**



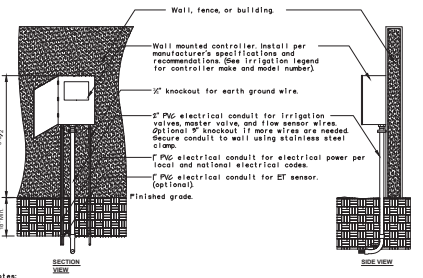
**TREE STAKING - TREES < 2" CALIPER**



**PALM INSTALLATION**

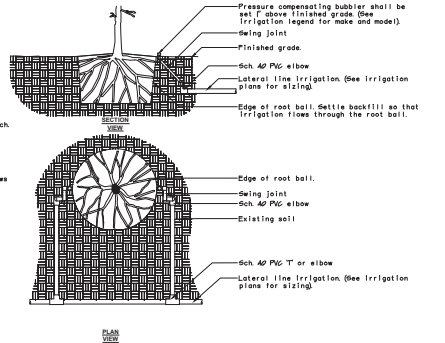


**SHRUB INSTALLATION**

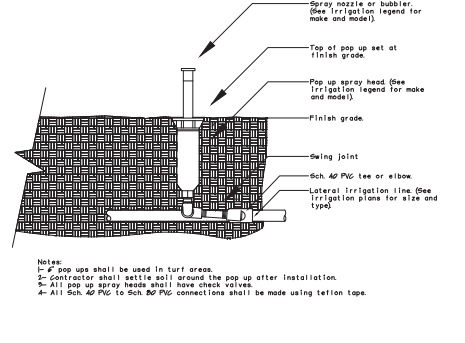


- Notes:
- 1- Common and controller wire to be bundled using electrical tape at 1/2" on center.
  - 2- Grounding rods shall be located between 6" to 12" away from the controller.
  - 3- Grounding rods shall be 6" in length, connect the grounding rod to the controller using a above-bore copper wire per manufacturer's specifications.
  - 4- Rain sensor device shall be installed within 50' of the controller, a minimum of 6" high and out from any overhead obstructions such as building overhangs, trees, or utilities.

**WALL MOUNTED CONTROLLER**



**TREE BUBBLER LAYOUT**



**POP UP-SPRAY HEAD**

RICHARD A. KESSELRING JR., P.L.A., A.S.L.A.  
LANDSCAPE ARCHITECT, STATE OF FLORIDA #958

DATE: 10 / 23	DRAWING NO.: RAK	SCALE: 1" = 30'	JOB NO.:
BY: _____	DESCRIPTION: _____	NO. DATE: _____	PC: _____
ENVIRONMENTAL DESIGN ARCHITECT ANDY KESSELRING, LANDSCAPE ARCHITECT 1000 N. FLORIDA AVENUE, SUITE 100 GOLF COURSE, DEERFIELD BEACH, FLORIDA 33442 LANDSCAPE ARCHITECTURE, SITE PLANNING, GOLF COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN			
LANDSCAPE & IRRIGATION DETAILS NEIGHBORHOOD BUSINESS PARK @ PALM CAY MARION COUNTY FLORIDA			
SHEET 22 of 22			

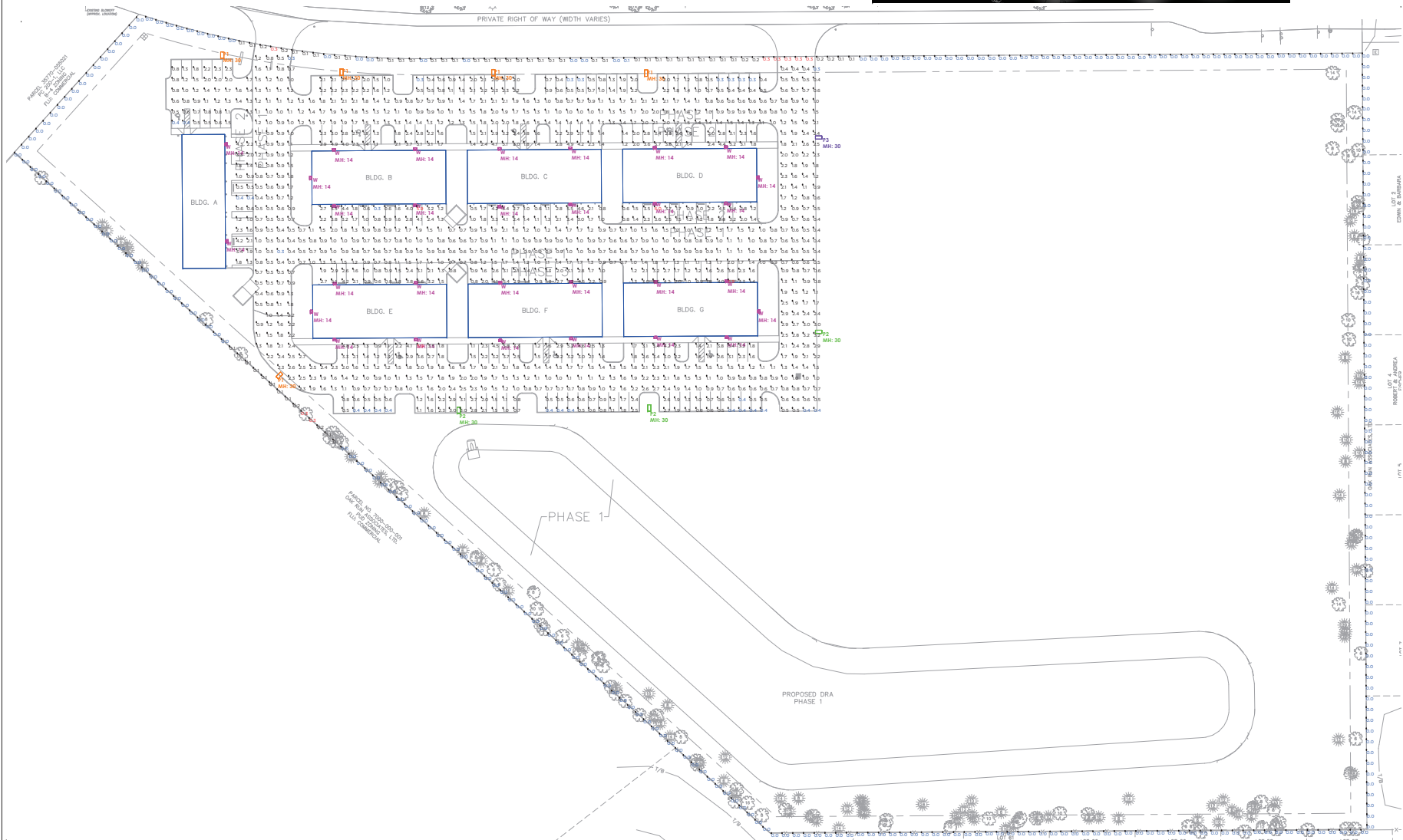
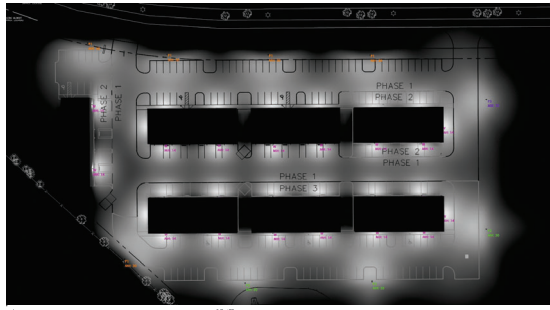


Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Luminaire Watts	Total Watts	Description	[MANUFAC]
	5	P1	Single	12370	0.900	136.2	681	OPF-S-A07-830-BLC	SIGNIFY CANADA LTD
	3	P2	Single	17600	0.900	136.2	408.6	OPF-S-A07-830-T3M	SIGNIFY CANADA LTD
	1	P3	Single	16683	0.900	136.2	136.2	OPF-S-A07-830-14W	SIGNIFY CANADA LTD
	30	W	Single	5710	0.900	45.4	1382	LPW-32-50-NW-G3-4	STONCO

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z
PHASE 1 PARKING & DRIVE	At Grade	Illuminance	Fc	1.33	5.9	0.3	4.43	19.67
PHASE 2 PARKING & DRIVE	At Grade	Illuminance	Fc	1.87	6.0	0.4	4.68	15.00
PHASE 3 PARKING & DRIVE	At Grade	Illuminance	Fc	1.90	5.9	0.4	4.50	14.75
PROPERTY LINE	At Grade	Illuminance	Fc	0.02	0.3	0.0	N.A.	N.A.

TARGETING:  
 - PROPERTY LINE 1.0 FC MAXIMUM

- NOTES:  
 - WHEN THE LLF IS NOT .9 OR 1.0 THE WATTAGE INFORMATION WILL NOT BE CORRECT  
 - EXACT MOUNTING DETAILS TO BE DETERMINED BY OTHERS  
 - MOUNTING HEIGHT IS ALWAYS A F.F. OR A F.G. UNLESS NOTED  
 - LUMINAIRES PLACED IN PROPOSED LOCATIONS AT SPECIFIED MOUNTING HEIGHTS



Disclaimer: SESCO Lighting provides this photometric report for purposes of comparison within the SESCO Lighting product line only. The information provided is based on standardized industry procedures. This information is not intended to be used as a final design or construction document. The field data to a great number of variables, both known and unknown, can affect the final results. SESCO Lighting reserves the right to make changes to this report without notice. In general, SESCO Lighting considers technical studies to be predictive in that they cannot guarantee the visual performance of any luminaire, single or multiple, in a specific application. SESCO Lighting, its employees, agents, representatives, and contractors, disclaims any liability for any damage, loss, or expense, including reasonable attorneys' fees, arising from the use of this report. Consultation with the manufacturer and above all, common sense.

Sales Rep: MICHAEL LE  
 Office: ORLANDO, FLORIDA  
 Contact: (407) 629-6100  
 Processed By: E BUSCH  
 Filename: 02-16-2024 PALM CAY - SITEA1

PALM CAY

Date: 2/16/2024

Page 1 of 1

PHOTOMETRY - SITE  
 Scale: 1 inch= 36 Ft.

**SECTION 25, TOWNSHIP 16 SOUTH, RANGE 20 EAST  
MARION COUNTY, FLORIDA**

**DESCRIPTION:**  
PER TITLE COMMITMENT FILE NO. 2076-5722409 ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY FOR GILLIGAN, GOODING, FRANJOLA & BAISEL, P.A., ISSUING OFFICE FILE NO. RUDNANWY/PC200-1 ST RH ASSET, BEARING COMMITMENT DATE OF NOVEMBER 17, 2021.

(TRACT C)

A PORTION OF THE S.W. 1/4 OF SECTION 25, TOWNSHIP 16 SOUTH, RANGE 20 EAST, OF MARION COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE S.W. CORNER OF SECTION OF 30, TOWNSHIP 16 SOUTH, RANGE 21 EAST; THENCE ALONG THE WEST BOUNDARY OF SAID SECTION 30, N.00°04'51"E., A DISTANCE OF 1096.97 FEET; THENCE DEPARTING SAID WEST BOUNDARY, ALONG A LINE PARALLEL TO THE NORTH BOUNDARY OF THE SOUTH 1/2 OF THE AFORESAID SECTION 25, S.89°53'31"W., A DISTANCE OF 3096.77 FEET TO THE S.W. CORNER OF DRAINAGE RETENTION AREA NUMBER ONE OF PALM CAY, PER PLAT THEREOF RECORDED IN PLAT BOOK Y, PAGES 49-52, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, THENCE ALONG THE WEST BOUNDARY OF BLOCK "F" OF SAID PLAT OF PALM CAY, N.00°22'23"W., A DISTANCE OF 724.45 FEET TO A POINT ON THE SOUTH BOUNDARY OF A 100 FOOT ROADWAY EASEMENT DESCRIBED IN OFFICIAL RECORDS BOOK 1386, PAGE 325 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA SAID POINT BEING THE POINT OF BEGINNING; THENCE DEPARTING SAID WEST BOUNDARY OF BLOCK "F", ALONG THE SOUTH BOUNDARY OF SAID EASEMENT, S.89°39'18"W., A DISTANCE OF 874.98 FEET TO A POINT OF CURVATURE OF A CURVE, CONCAVE NORTHERLY, HAVING A RADIUS OF 850.00 FEET, A CENTRAL ANGLE OF 42°21'09" AND A CHORD BEARING AND DISTANCE OF N.69°02'28"W., 614.00 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE AND ALONG SAID SOUTH BOUNDARY, AN ARC DISTANCE OF 628.30 FEET TO A POINT OF TANGENCY; THENCE CONTINUE ALONG SAID SOUTH BOUNDARY, N.49°00'39"W., A DISTANCE OF 12.69 FEET TO THE S.W. CORNER OF SAID EASEMENT; THENCE DEPARTING SAID SOUTH BOUNDARY ALONG THE WEST BOUNDARY OF SAID EASEMENT, N.42°49'51"E., A DISTANCE OF 10.24 FEET TO A POINT OF CURVATURE OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 30°02'00" AND CHORD BEARING AND DISTANCE OF N.62°56'59"W., 15.55 FEET; THENCE DEPARTING SAID WEST BOUNDARY, NORTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 15.73 FEET TO A POINT OF TANGENCY; THENCE N.77°56'45"W., A DISTANCE OF 61.40 FEET TO A POINT OF CURVATURE OF A CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 37°35'10" AND CHORD BEARING AND DISTANCE OF S.61°15'40"W., 19.33 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 19.68 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 82.00 FEET, A CENTRAL ANGLE OF 123°58'02" AND A CHORD BEARING AND DISTANCE OF N.53°32'40"E., 144.78 FEET; THENCE SOUTHWESTERLY AND NORTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 177.42 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 56°23'36" AND CHORD BEARING AND DISTANCE OF N.19°40'07"W., 29.39 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 29.63 FEET TO A POINT OF TANGENCY; THENCE N.47°56'45"W., A DISTANCE OF 90.00 FEET TO A POINT ON THE SOUTHWESTERLY RIGHT OF WAY OF STATE ROAD 200 (RIGHT OF WAY WIDTH VARIATION); THENCE ALONG SAID SOUTHWESTERLY RIGHT OF WAY, N.42°07'42"E., A DISTANCE OF 96.70 FEET; THENCE DEPARTING SAID SOUTHWESTERLY RIGHT OF WAY, S.48°36'40"E., A DISTANCE OF 28.37 FEET TO A POINT OF CURVATURE OF A CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 130.00 FEET, A CENTRAL ANGLE OF 21°25'41" AND CHORD BEARING AND DISTANCE OF N.42°07'42"E., 104.75 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 49.75 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 20.00 FEET, A CENTRAL ANGLE OF 190°11'31" AND CHORD BEARING AND DISTANCE OF S.82°06'17"W., 19.68 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 67.06 FEET TO A POINT OF COMPOUND CURVATURE OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 82.00 FEET, A CENTRAL ANGLE OF 32°46'51" AND CHORD BEARING AND DISTANCE OF S.31°33'56"E., 46.27 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 1.04 FEET TO A POINT OF TANGENCY; THENCE N.77°56'45"W., A DISTANCE OF 30.00 FEET, A CENTRAL ANGLE OF 62°46'35" AND A CHORD BEARING AND DISTANCE OF S.43°33'46"E., 31.29 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 32.87 FEET TO A POINT OF TANGENCY; THENCE S.77°06'45"E., A DISTANCE OF 30.14 FEET TO A POINT OF CURVATURE OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 110.00 FEET, A CENTRAL ANGLE OF 30°00'00" AND CHORD BEARING AND DISTANCE OF S.62°56'45"E., 56.94 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 57.60 FEET TO A POINT ON THE AFORESAID WEST BOUNDARY OF 100 FOOT ROADWAY EASEMENT; THENCE ALONG SAID WEST BOUNDARY, N.42°03'15"E., A DISTANCE OF 10.00 FEET TO THE N.W. CORNER OF SAID ROADWAY EASEMENT; THENCE DEPARTING SAID WEST BOUNDARY ALONG THE NORTH BOUNDARY OF SAID EASEMENT, S.47°56'45"E., A DISTANCE OF 12.69 FEET TO A POINT OF CURVATURE OF A CURVE, CONCAVE NORTHERLY, HAVING A RADIUS OF 750.00 FEET, A CENTRAL ANGLE OF 42°22'32" AND CHORD BEARING AND DISTANCE OF S.69°08'02"E., 342.14 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE AND SAID NORTH BOUNDARY, A DISTANCE OF 554.70 FEET TO A POINT OF TANGENCY; THENCE CONTINUE ALONG SAID NORTH BOUNDARY, N.89°40'42"E., A DISTANCE OF 874.41 TO THE N.E. CORNER OF SAID 100 FOOT ROADWAY EASEMENT, SAID POINT BEING ON THE WEST BOUNDARY OF BLOCK "A" OF THE AFORESAID PLAT OF PALM CAY; THENCE DEPARTING SAID NORTH BOUNDARY AND SAID WEST BOUNDARY OF BLOCK "A", ALONG THE EAST BOUNDARY OF SAID ROADWAY EASEMENT, S.00°22'28"E., A DISTANCE OF 99.94 FEET TO THE POINT OF BEGINNING.

(TRACT D)

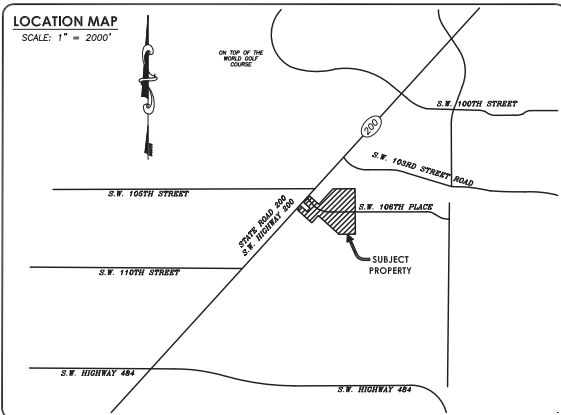
A PORTION OF THE S.W. 1/4 OF SECTION 25, TOWNSHIP 16 SOUTH, RANGE 20 EAST, OF MARION COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE S.W. CORNER OF SECTION OF 30, TOWNSHIP 16 SOUTH, RANGE 21 EAST; THENCE ALONG THE WEST BOUNDARY OF SAID SECTION 30, N.00°04'51"E., A DISTANCE OF 1096.97 FEET; THENCE DEPARTING SAID WEST BOUNDARY, ALONG A LINE PARALLEL TO THE NORTH BOUNDARY OF THE SOUTH 1/2 OF THE AFORESAID SECTION 25, S.89°53'31"W., A DISTANCE OF 3096.77 FEET TO THE S.W. CORNER OF DRAINAGE RETENTION AREA NUMBER ONE OF PALM CAY, PER PLAT THEREOF RECORDED IN PLAT BOOK Y, PAGES 49-52, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, THENCE ALONG THE WEST BOUNDARY OF BLOCK "F" OF SAID PLAT OF PALM CAY, N.00°22'23"W., A DISTANCE OF 724.45 FEET TO A POINT ON THE SOUTH BOUNDARY OF A 100 FOOT ROADWAY EASEMENT DESCRIBED IN OFFICIAL RECORDS BOOK 1386, PAGE 325 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA THENCE DEPARTING SAID WEST BOUNDARY OF BLOCK "F" AND SAID SOUTH BOUNDARY OF THE ROADWAY EASEMENT, N.00°22'28"W., A DISTANCE OF 99.94 FEET TO THE INTERSECTION OF THE NORTH BOUNDARY OF SAID ROADWAY EASEMENT AND THE WEST BOUNDARY OF BLOCK "A" OF THE AFORESAID PLAT OF PALM CAY, SAID POINT BEING THE POINT OF BEGINNING; THENCE DEPARTING SAID WEST BOUNDARY OF BLOCK "A", ALONG THE NORTH BOUNDARY OF SAID ROADWAY EASEMENT, S.89°40'42"W., A DISTANCE OF 874.41 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE NORTHERLY, HAVING A RADIUS OF 750.00 FEET, A CENTRAL ANGLE OF 34°15'37" AND A CHORD BEARING AND DISTANCE OF N.77°11'30"W., 441.81 FEET; THENCE ALONG THE ARC OF SAID CURVE AND THE NORTH BOUNDARY OF SAID ROADWAY EASEMENT, A DISTANCE OF 448.47 FEET TO THE END OF SAID CURVE; THENCE DEPARTING THE NORTH BOUNDARY OF SAID ROADWAY EASEMENT, N.42°01'21"E., A DISTANCE 803.07 FEET TO A POINT ON THE NORTH BOUNDARY OF THE SOUTH 1/2 OF SAID SECTION 25; THENCE ALONG SAID NORTH BOUNDARY, N.89°04'42"E., A DISTANCE OF 755.77 FEET TO THE NORTHWEST CORNER OF THE AFORESAID BLOCK "A"; THENCE DEPARTING SAID NORTH BOUNDARY, ALONG SAID WEST BOUNDARY OF BLOCK "A", S.00°18'56"E., A DISTANCE OF 723.72 FEET TO THE POINT OF BEGINNING.

(TRACT E)

A PORTION OF THE S.W. 1/4 OF SECTION 25, TOWNSHIP 16 SOUTH, RANGE 20 EAST, OF MARION COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE S.W. CORNER OF SECTION OF 30, TOWNSHIP 16 SOUTH, RANGE 21 EAST; THENCE ALONG THE WEST BOUNDARY OF SAID SECTION 30, N.00°04'51"E., A DISTANCE OF 1096.97 FEET; THENCE DEPARTING SAID WEST BOUNDARY, ALONG A LINE PARALLEL TO THE NORTH BOUNDARY OF THE SOUTH 1/2 OF THE AFORESAID SECTION 25, S.89°53'31"W., A DISTANCE OF 3096.77 FEET TO THE S.W. CORNER OF DRAINAGE RETENTION AREA NUMBER ONE OF PALM CAY, PER PLAT THEREOF RECORDED IN PLAT BOOK Y, PAGES 49-52, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, THENCE ALONG THE WEST BOUNDARY OF BLOCK "F" OF SAID PLAT OF PALM CAY, N.00°22'23"W., A DISTANCE OF 724.45 FEET TO A POINT ON THE SOUTH BOUNDARY OF A 100 FOOT ROADWAY EASEMENT DESCRIBED IN OFFICIAL RECORDS BOOK 1386, PAGE 325 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, SAID POINT BEING ON A CURVE, CONCAVE NORTHERLY, HAVING A RADIUS OF 850.00 FEET, A CENTRAL ANGLE OF 18°12'48" AND CHORD BEARING AND DISTANCE OF N.81°07'15"E., 269.06 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE AND SAID SOUTH BOUNDARY, A DISTANCE OF 270.20 FEET TO A POINT OF TANGENCY; THENCE CONTINUE ALONG SAID SOUTH BOUNDARY, N.89°39'18"E., A DISTANCE OF 874.98 FEET TO A POINT ON THE WEST BOUNDARY OF BLOCK "F" ON THE AFORESAID PLAT OF PALM CAY; THENCE DEPARTING SAID SAID SAID SOUTHWESTERLY BOUNDARY ALONG SAID WEST BOUNDARY OF BLOCK "F", S.00°22'23"E., 724.45 FEET TO THE POINT OF BEGINNING.



**FLOOD CERTIFICATION:**  
PROPERTY LIES IN FLOOD ZONE "X" - AN AREA OF MINIMAL FLOODING, PER THE FLOOD INSURANCE RATE MAP NO. 12053C0686C, COMMUNITY PANEL NO. 120160 0686 E, EFFECTIVE APRIL 19, 2017.

**NOTES:**

- DATE OF FIELD SURVEY: MARCH 21, 2017 (TOPOGRAPHIC DATA) - APRIL 4, 2022 (FOR BOUNDARY)
- MAY 8, 2023 (FOR TREES)
- SUBJECT TO RIGHTS OF WAY, RESTRICTIONS, EASEMENTS AND RESERVATIONS OF RECORD.
- UNLESS OTHERWISE SHOWN, UNDERGROUND IMPROVEMENTS NOT LOCATED.
- PUBLIC RECORDS NOT SEARCHED BY R.M. BARRINEAU & ASSOCIATES, INC.
- BEARINGS DEPICTED HEREON ARE GRID BEARINGS, WEST FLORIDA ZONE, NAD-83 (GORS96) EPOCH=2002.0000), BASED ON TRIMBLE VIRTUAL REFERENCE STATION NETWORK.
- ORIENTATION FOR THE IMPROVEMENTS SHOWN HEREON SHOULD NOT BE USED TO RECONSTRUCT BOUNDARY LINES.
- ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THIS SURVEY DEPICTS THE PROPERTY AS IT EXISTED ON THE SURVEY DATE, NOT NECESSARILY THE SIGNING DATE.
- THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT OF THE PARTY(IES) NAMED HEREON, AND SHALL NOT BE DUPLICATED OR RELIED UPON BY ANY OTHER INDIVIDUAL OR ENTITY WITHOUT AUTHORIZATION FROM R.M. BARRINEAU & ASSOCIATES, INC.
- THERE WAS NO APPARENT WETLAND DELINEATION DONE ON THE SUBJECT PARCEL AT THE TIME OF THE SURVEY.
- ALL ABOVE GROUND IMPROVEMENTS ARE SHOWN HEREON.
- THERE IS NO OBSERVED EVIDENCE OF EARTHMOVING ON THE SUBJECT PARCEL AT THE TIME OF THE SURVEY.
- THERE IS NO OBSERVED EVIDENCE OF SOLID WASTE DUMPING OR LANDFILL ON THE SUBJECT PARCEL AT THE TIME OF THE SURVEY.
- THERE IS NO OBSERVED EVIDENCE OF CONTEMPLATED ROADWAY CHANGES OR CONSTRUCTION ON THE SUBJECT PARCEL AT THE TIME OF THE SURVEY.
- THERE IS NO OBSERVED EVIDENCE OF SIDEWALK CONSTRUCTION OR REPAIRS ON THE SUBJECT PARCEL AT THE TIME OF THE SURVEY.
- FIELD MEASUREMENTS DO NOT EXCEED THE MAXIMUM RELATIVE POSITIONAL PRECISION SET FORTH BY THE CURRENT ALTA/NCS MINIMUM STANDARD DETAIL REQUIREMENTS.

SHEET 1 OF 5  
ONE IS NOT COMPLETE WITHOUT THE OTHER  
SEE SHEET 2 OF 5 FOR BOUNDARY SURVEY  
SEE SHEET 3 OF 5 FOR TOPOGRAPHIC DATA  
SEE SHEET 4 & 5 OF 5 FOR TREES

**SCHEDULE B-2 ITEMS:**

ABSTRACT INFORMATION WAS PROVIDED BY TITLE COMMITMENT FILE NO. 2076-5722409, ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY FOR GILLIGAN, GOODING, FRANJOLA, & BAISEL P.A., BEARING AN COMMITMENT DATE OF NOVEMBER 17, 2021. THE FOLLOWING NOTES CORRESPOND TO SCHEDULE B SECTION 2 ITEMS:

- MATTERS ON THE PLAT OF PALM CAY AS RECORDED IN PLAT BOOK Y, PAGES 49 THROUGH 52 AND CONSENT TO DEDICATION IN OFFICIAL RECORDS BOOK 1386, PAGE 392 AND OFFICIAL RECORDS BOOK 1386, PAGE 394 AS TO THE EXTENT THAT THEY AFFECT SUBJECT PROPERTY, ARE DEPICTED HEREIN.
- CONCURRENT RIGHTS OF OTHERS TO USE S.W. 106TH PLACE AND DRA #9 ALL AS SHOWN ON THE PLAT OF PALM CAY, AS RECORDED IN PLAT BOOK Y, PAGES 49 THROUGH 52 AFFECTS SUBJECT PROPERTY, BOTH OF WHICH ARE DEPICTED HEREIN.
- GRANT OF EASEMENTS AS RECORDED IN OFFICIAL RECORDS BOOK 1386, PAGE 325, OFFICIAL RECORDS BOOK 1386, PAGE 332, OFFICIAL RECORDS BOOK 1339, PAGE 158, OFFICIAL RECORDS BOOK 1386, PAGE 347, MODIFICATION IN OFFICIAL RECORDS BOOK 1386, PAGE 352, AND AS AFFECTED BY OFFICIAL RECORDS BOOK 4520, PAGE 70 AFFECT SUBJECT PROPERTY AND ARE DEPICTED HEREIN.
- EASEMENT AS RECORDED IN OFFICIAL RECORDS BOOK 2351, PAGE 845 AFFECTS SUBJECT PROPERTY AND IS DEPICTED HEREIN.
- EASEMENT AS RECORDED IN OFFICIAL RECORDS BOOK 264, PAGE 327 AFFECTS SUBJECT PROPERTY IS BLANKET IN NATURE AND IS NOT DEPICTED HEREIN.
- DECLARATION OF PRIVATE RIGHTS AS RECORDED IN OFFICIAL RECORDS BOOK 1389, PAGE 847 AFFECTS SUBJECT PROPERTY AND IS NOT DEPICTED HEREIN.
- COVENANT AS RECORDED IN OFFICIAL RECORDS BOOK 1386, PAGE 422 AFFECTS SUBJECT PROPERTY AND IS NOT DEPICTED HEREIN.
- RESERVATIONS AND RIGHTS AS RECORDED IN DEEDS IN OFFICIAL RECORDS BOOK 2374, PAGE 1824, ACKNOWLEDGMENT IN OFFICIAL RECORDS BOOK 2375, PAGE 372, DEED IN OFFICIAL RECORDS BOOK 2677, PAGE 551 AND ASSIGNMENT IN OFFICIAL RECORDS BOOK 2677, PAGE 577 AFFECT SUBJECT PROPERTY AND ARE NOT DEPICTED HEREIN.
- AGREEMENT AS RECORDED IN OFFICIAL RECORDS BOOK 3499, PAGE 250 AND RATIFICATION IN OFFICIAL RECORDS BOOK 6275, PAGE 998 AFFECTS SUBJECT PROPERTY, CONTAINS NO FLOTTABLE ITEMS AND IS NOT DEPICTED HEREIN.
- GRANT OF ACCESS AND UTILITY EASEMENTS AS RECORDED IN OFFICIAL RECORDS BOOK 3156, PAGE 1616 DOES NOT AFFECT SUBJECT PROPERTY AND IS NOT DEPICTED HEREIN.
- DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS AS RECORDED IN OFFICIAL RECORDS BOOK 1386, PAGE 357, AMENDMENT IN BOOK 1430, PAGE 1541, EXTENSION IN BOOK 1538, PAGE 1848, AMENDMENT IN BOOK 1714, PAGE 1517, AMENDMENT IN BOOK 2343, PAGE 1841, AMENDMENT IN BOOK 2348, PAGE 901, AMENDMENT IN BOOK 2676, PAGE 503, AMENDMENT IN BOOK 2703, PAGE 527 AND AMENDMENT IN BOOK 4978, PAGE 719 AFFECT SUBJECT PROPERTY, CONTAIN NO FLOTTABLE ITEMS AND ARE NOT DEPICTED HEREIN.
- ASSIGNMENT AND ASSUMPTION AGREEMENT AS RECORDED IN OFFICIAL RECORDS BOOK 2677, PAGE 577 AFFECTS SUBJECT PROPERTY, REFERS TO RIGHTS OF USE ON TRACT C DEPICTED HEREIN.
- WATER SERVICE AGREEMENT AS RECORDED IN OFFICIAL RECORDS BOOK 6936, PAGE 1907 AFFECTS SUBJECT PROPERTY, CONTAINS NO SURVEY RELATED FLOTTABLE ITEMS/EASEMENTS AND IS NOT DEPICTED HEREIN.
- NOTICE OF ENVIRONMENTAL RESOURCE PERMIT GIVEN BY ST. JOHN'S RIVER MANAGEMENT DISTRICT AS RECORDED IN OFFICIAL RECORDS BOOK 6956, PAGE 971 AFFECTS SUBJECT PROPERTY, IS NOT SURVEY RELATED AND IS NOT DEPICTED HEREIN.
- COVENANT AS RECORDED IN OFFICIAL RECORDS BOOK 7278, PAGE 737 DOES NOT AFFECT SUBJECT PROPERTY AND IS NOT DEPICTED HEREIN REFERS TO PARCEL NO. 35770-055021.
- EASEMENT AS RECORDED IN OFFICIAL RECORDS BOOK 7495, PAGE 312 AFFECTS SUBJECT PROPERTY (TRACT C) IS BLANKET IN NATURE AND IS NOT DEPICTED HEREIN.
- OIL, GAS AND MINERAL RESERVATIONS FROM MARION COUNTY AS RECORDED IN DEED BOOK 7483, PAGE 1559, DEED BOOK 7483, PAGE 1559 AND DEED BOOK 7483, PAGE 1563 THE RIGHT OF ENTRY IS RELEASED PURSUANT TO F.S. 270.11, AFFECTS SUBJECT PROPERTY, RELEASES THE 1 TO FOOT RESERVATION SHOWN THE PLAT OF PALM CAY ADJACENT TO TRACT C BACK TO ADJACENT PROPERTY OWNERS ALONG TRACT C.

**SURVEYORS CERTIFICATION:**

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5-1-12.050-052, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND THAT THE SURVEY IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE.

DATE: 05/08/2024

TRAVIS P. BARRINEAU, P.S.M. - LS 6897  
OF R.M. BARRINEAU & ASSOCIATES, INC.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL, RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

COPYRIGHT © 2024

NO.	REVISIONS	BY	DATE

SEARCHED	INDEXED	APPROVED
CHECKED	T.F.B.	T.F.B.
SCALE:		

**R.M. BARRINEAU & ASSOCIATES**  
PROFESSIONAL SURVEYORS & MAPPERS  
10000 W. UNIVERSITY BLVD., SUITE 1000, GAITHERSBURG, MD 20878  
PH: 301-251-1100 FAX: 301-251-1101  
www.rmbarrineau.com

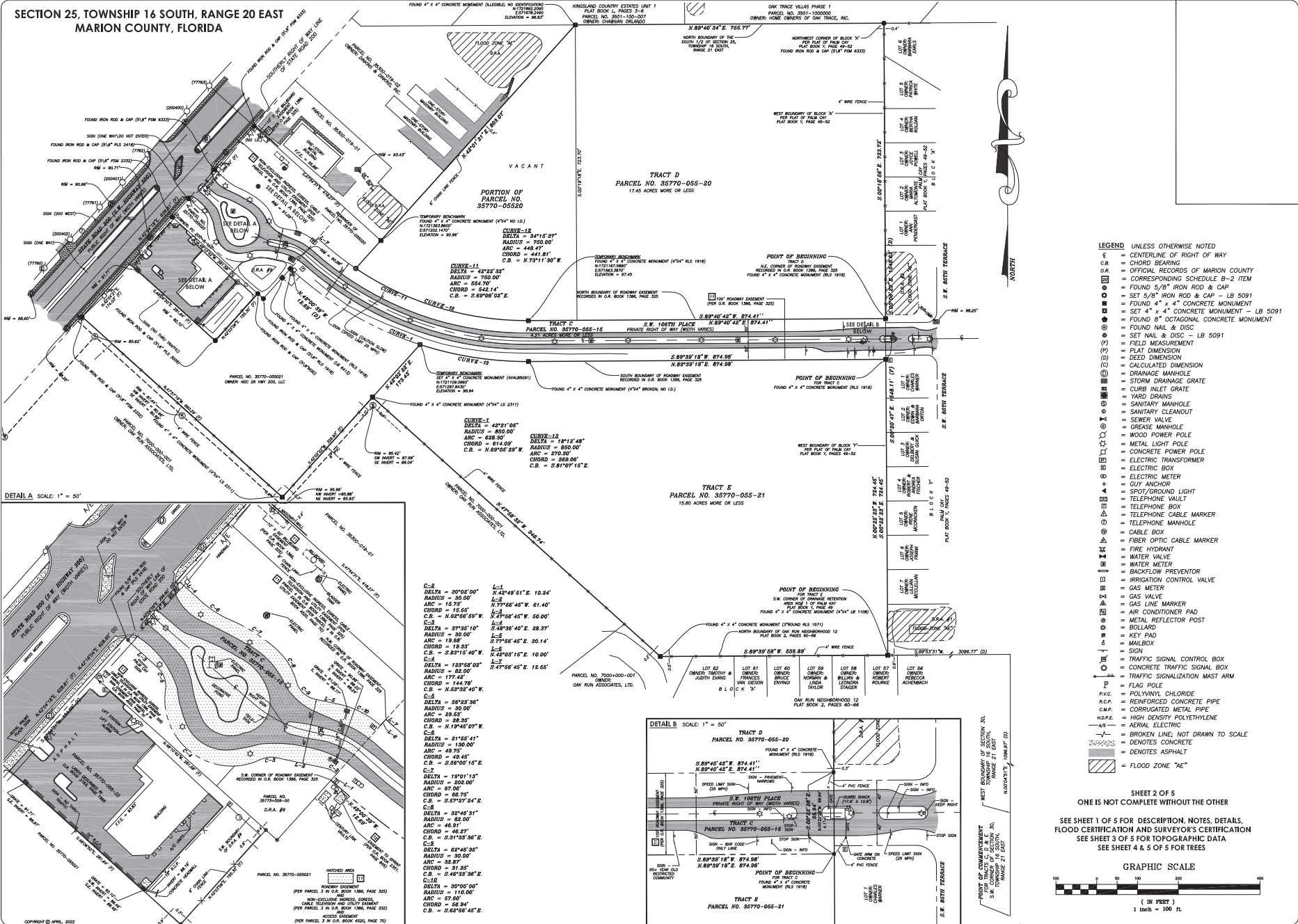
**BOUNDARY & TOPOGRAPHIC  
SURVEY FOR:  
PC 200-2 LLC**

REFERENCES:	35 (GN0)
F.B. 605	A, POS. 38-41 (TOP0)
F.B. 605	A, POS. 38-40 (TOP0)
F.B. 605	A, POS. 38-40 (TOP0)
F.B. 605	A, POS. 38-40 (TOP0)

J.O.# 17053  
DWG.# 17053PO.06RLL

SHT 1 OF 5

SECTION 25, TOWNSHIP 16 SOUTH, RANGE 20 EAST  
MARION COUNTY, FLORIDA



NO.	REVISIONS	BY	DATE

**R.M. BARRINEAU AND ASSOCIATES**  
REGISTERED PROFESSIONAL SURVEYORS  
1000 S.W. 10TH AVENUE, SUITE 200  
MIAMI, FLORIDA 33135  
TEL: 305.375.1111 FAX: 305.375.1112  
WWW.RMBARRINEAU.COM

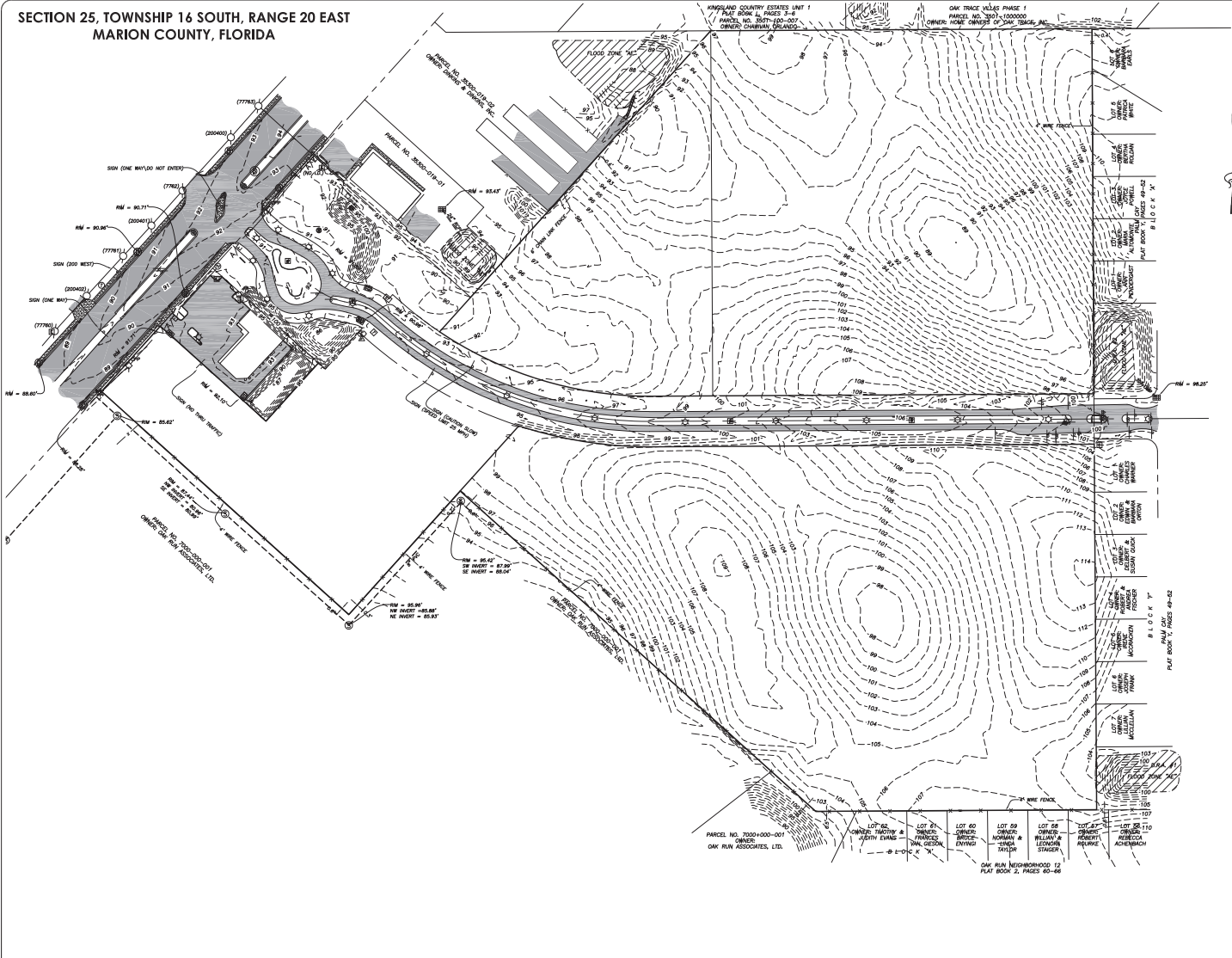
**BOUNDARY & TOPOGRAPHIC SURVEY FOR:**  
**PC 200-2 LLC**

REFERENCES:  
F.L.B. 604, P.C. 35 (B&O)  
F.B. 605, P.C. 35-38-41 (TOPO)  
F.L.B. 606, P.C. 35-38-41 (TOPO)  
F.L.B. 608, P.C. 35-38-41 (TOPO)

FILE: 25-16-20

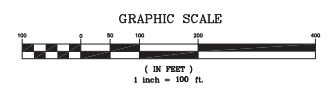
J.O.# 17053  
DW.# 17052PO OVERALL  
SHT 2 OF 5

SECTION 25, TOWNSHIP 16 SOUTH, RANGE 20 EAST  
MARION COUNTY, FLORIDA



- LEGEND** UNLESS OTHERWISE NOTED
- ⊕ = CENTERLINE OF RIGHT OF WAY
  - ⊕ = CHORD BEARING
  - OR = OFFICIAL RECORDS OF MARION COUNTY
  - ⊕ = CORRESPONDING SCHEDULE B-2 ITEM
  - ⊕ = FOUND 5/8" IRON ROD & CAP
  - ⊕ = SET 5/8" IRON ROD & CAP - LB 5091
  - ⊕ = FOUND 4" x 4" CONCRETE MONUMENT
  - ⊕ = SET 4" x 4" CONCRETE MONUMENT - LB 5091
  - ⊕ = FOUND 8" OCTAGONAL CONCRETE MONUMENT
  - ⊕ = FOUND NAIL & DISC
  - ⊕ = SET NAIL & DISC - LB 5091
  - (7) = FIELD MEASUREMENT
  - (P) = PLAT DIMENSION
  - (D) = DEED DIMENSION
  - (C) = CALCULATED DIMENSION
  - ⊕ = DRAINAGE MANHOLE
  - ⊕ = STORM DRAINAGE GRATE
  - ⊕ = CURB INLET GRATE
  - ⊕ = YARD DRAIN
  - ⊕ = SANITARY MANHOLE
  - ⊕ = SANITARY CLEANOUT
  - ⊕ = SEWER VALVE
  - ⊕ = GREASE MANHOLE
  - ⊕ = WOOD POWER POLE
  - ⊕ = METAL LIGHT POLE
  - ⊕ = CONCRETE POWER POLE
  - ⊕ = ELECTRIC TRANSFORMER
  - ⊕ = ELECTRIC BOX
  - ⊕ = ELECTRIC METER
  - ⊕ = GUY ANCHOR
  - ⊕ = SPOT/GROUND LIGHT
  - ⊕ = TELEPHONE VAULT
  - ⊕ = TELEPHONE BOX
  - ⊕ = TELEPHONE CABLE MARKER
  - ⊕ = TELEPHONE MANHOLE
  - ⊕ = CABLE BOX
  - ⊕ = FIBER OPTIC CABLE MARKER
  - ⊕ = FIRE HYDRANT
  - ⊕ = WATER VALVE
  - ⊕ = WATER METER
  - ⊕ = BACKFLOW PREVENTOR
  - ⊕ = IRRIGATION CONTROL VALVE
  - ⊕ = GAS METER
  - ⊕ = GAS VALVE
  - ⊕ = GAS LINE MARKER
  - ⊕ = AIR CONDITIONER PAD
  - ⊕ = METAL REFLECTOR POST
  - ⊕ = BOLLARD
  - ⊕ = KEY PAD
  - ⊕ = MAILBOX
  - ⊕ = SIGN
  - ⊕ = TRAFFIC SIGNAL CONTROL BOX
  - ⊕ = CONCRETE TRAFFIC SIGNAL BOX
  - ⊕ = FLAG POLE
  - P.V.C. = POLYVINYL CHLORIDE
  - R.C.P. = REINFORCED CONCRETE PIPE
  - C.M.P. = CORRUGATED METAL PIPE
  - H.D.P.E. = HIGH DENSITY POLYETHYLENE
  - A.E. = AERIAL ELECTRIC
  - - - = BROKEN LINE; NOT DRAWN TO SCALE
  - ⊕ = DENOTES CONCRETE
  - ⊕ = DENOTES ASPHALT
  - ⊕ = FLOOD ZONE "AE"

SHEET 3 OF 5  
ONE IS NOT COMPLETE WITHOUT THE OTHER  
SEE SHEET 1 OF 5 FOR DESCRIPTION, NOTES, DETAILS, FLOOD CERTIFICATION  
AND SURVEYOR'S CERTIFICATION  
SEE SHEET 2 OF 5 FOR BOUNDARY SURVEY  
SEE SHEETS 4 & 5 OF 5 FOR TREES



NO.	REVISIONS	BY	DATE

DATE	BY	SCALE

**R.M. BARRINEAU**  
AND ASSOCIATES  
P.L.L.C.  
10155 S.W. 11TH STREET, SUITE 100, BOCA RATON, FL 33434  
PHONE: (561) 363-1111 FAX: (561) 363-1112  
WWW.RMBARRINEAU.COM

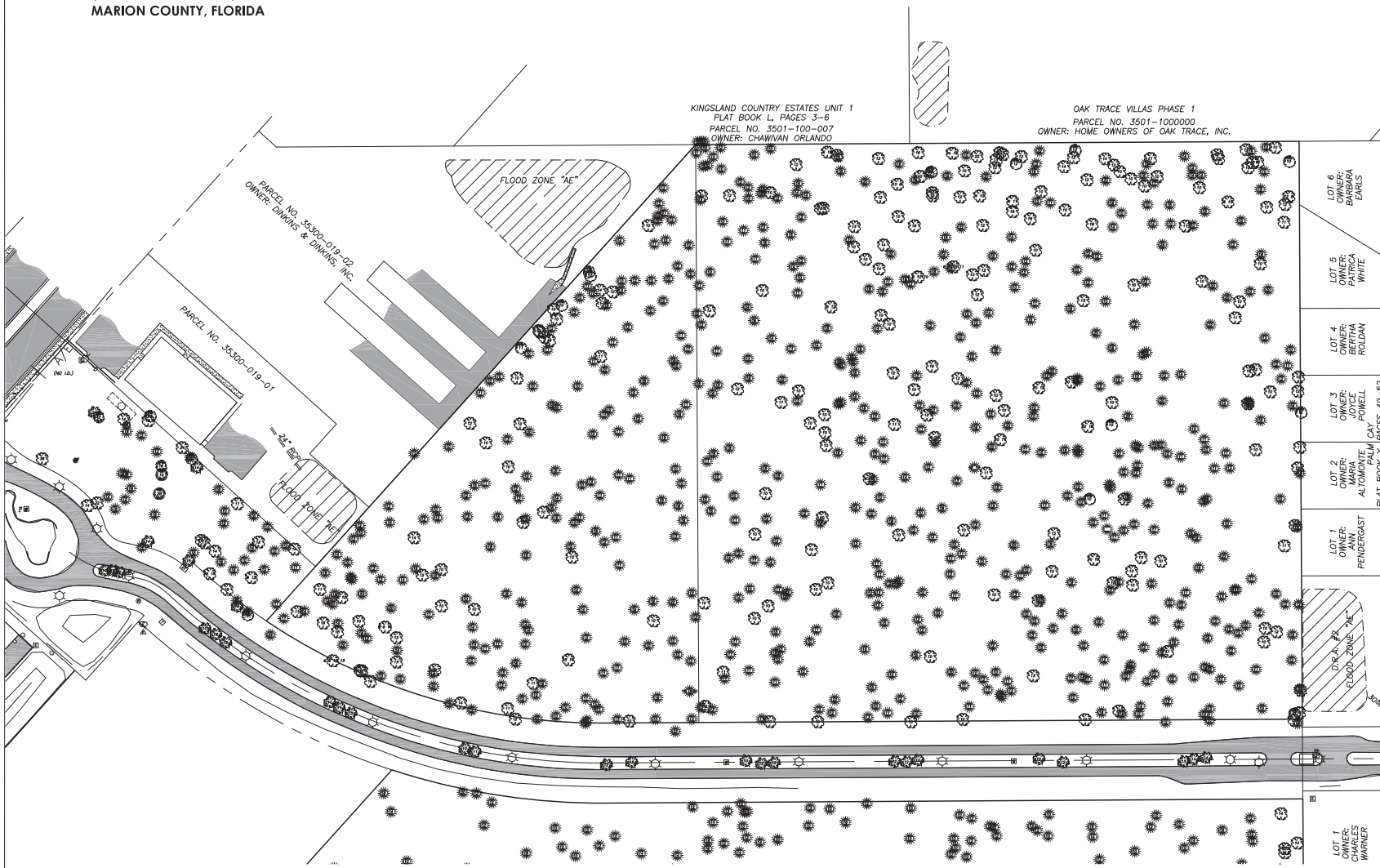
**BOUNDARY & TOPOGRAPHIC  
SURVEY FOR:  
PC 200-2 LLC**

REFERENCES:  
F.B. 604, P.C. 35 (B&O)  
F.B. 605, P.C. 38-41 (TOPO)  
F.B. 606, P.C. 39-40 (TOPO)  
F.B. 608, P.C. 39

FILE: 25-16-20

J.O.# 17053  
DWG.# 17053TOPO OVERALL  
SHT 3 OF 5

SECTION 25, TOWNSHIP 16 SOUTH, RANGE 20 EAST  
MARION COUNTY, FLORIDA



KINGSLAND COUNTRY ESTATES UNIT 1  
PLAT BOOK L, PAGES 3-6  
PARCEL NO. 3501-100-007  
OWNER: CHAWWAN ORLANDO

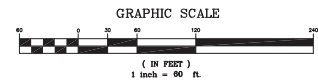
OAK TRACE VILLAS PHASE 1  
PARCEL NO. 3501-1000000  
OWNER: HOME OWNERS OF OAK TRACE, INC.

PARCEL NO. 35300-019-02  
OWNER: DININGS & JANKIS, INC.

PARCEL NO. 35300-019-01

- LOT 6 OWNER: BARBARA EARLS
- LOT 5 OWNER: PATRICK WHITE
- LOT 4 OWNER: BERTHA ROLDAN
- LOT 3 OWNER: JOYCE POWELL  
ALONDRA PAULI CAY  
PLAT ROCK Y PAGES 49-49
- LOT 2 OWNER: MARIA ALONDRA PAULI CAY
- LOT 1 OWNER: ANN PENDERGAST

- TREE LEGEND**  
(SIZE DENOTES TREE SYMBOL)
- CHERRY
  - HOLLY
  - MAGNOLIA
  - OAK
  - PALM
  - PINE TREE
- LEGEND**
- ε = CENTERLINE OF RIGHT OF WAY
  - C.B. = CHORD BEARING
  - O.R. = OFFICIAL RECORDS OF MARION COUNTY
  - D.R.A. = DRAINAGE RETENTION AREA
  - F.F.E. = FINISH FLOOR ELEVATION
  - (F) = FIELD MEASUREMENT
  - (D) = DEED DIMENSION
  - (P) = PLAT DIMENSION
  - ⊙ = SANITARY CLEANOUT
  - ⊕ = SANITARY MANHOLE
  - ⊖ = DRAINAGE MANHOLE
  - ⊗ = STORM DRAINAGE GRATE
  - C.M.P. = CORRUGATED METAL PIPE
  - R.C.P. = REINFORCED CONCRETE PIPE
  - ⊙ = CABLE VAULT
  - ⊙ = ELECTRIC BOX
  - ⊙ = ELECTRIC TRANSFORMER
  - ⊙ = ELECTRIC METER
  - ⊙ = METAL LIGHT POLE
  - ⊙ = WOOD POWER POLE
  - ⊙ = CONCRETE POWER POLE
  - ⊙ = GUY ANCHOR
  - ⊙ = WATER METER
  - ⊙ = WATER VALVE
  - ⊙ = FIRE HYDRANT
  - ⊙ = 4" WELL
  - ⊙ = MAILBOX
  - ⊙ = SIGN
  - ⊙ = FLAG POLE
  - ⊙ = TELEPHONE VAULT
  - ⊙ = FIBER OPTIC CABLE MARKER
  - ⊙ = TELEPHONE BOX
  - ⊙ = TELEPHONE MANHOLE
  - ⊙ = SATELLITE DISH
  - ⊙ = METAL REFLECTOR POST
  - ⊙ = AERIAL ELECTRIC
  - ⊙ = BROKEN LINE; NOT DRAWN TO SCALE
  - ⊙ = DENOTES CONCRETE
  - ⊙ = DENOTES ASPHALT
  - ⊙ = FLOOD ZONE "AE"



NO.	REVISIONS	BY	DATE

DATE:	K.L.L.
DESIGNED:	
CHECKED:	T.F.B.
APPROVED:	T.F.B.
SCALE:	1" = 60'

**R.M. BARRINEAU AND ASSOCIATES**  
P.L.L.C.  
11015 S.W. 11TH STREET, SUITE 100, WEST PALM BEACH, FLORIDA 33411  
PHONE (561) 832-1111 FAX (561) 832-1112  
www.rmbarreau.com

**BOUNDARY & TOPOGRAPHIC SURVEY FOR:**  
**PC 200-2 LLC**

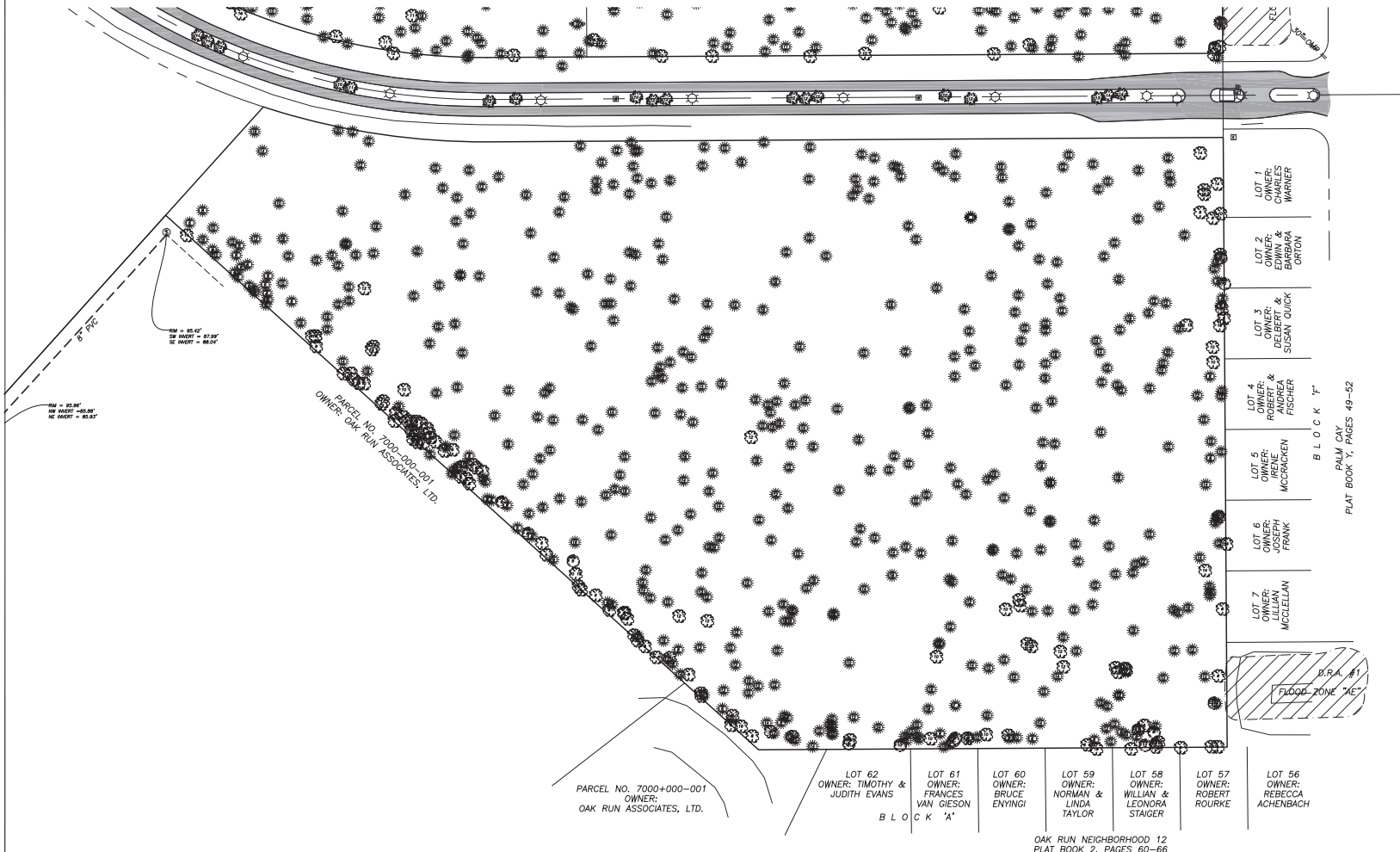
REFERENCES:  
F.B. 35, PGS. 38-41 (TOPO)  
F.B. 605, PGS. 38-40 (TOPO)  
F.B. 595, PGS. 38-40 (TOPO)  
F.B. 602, PGS. 79

J.L.O.# 17053  
DWG.# 17053TOPO OVERALL  
SHT 4 OF 5

SHEET 4 OF 5  
ONE IS NOT COMPLETE WITHOUT THE OTHER

SEE SHEET 1 OF 5 FOR DESCRIPTION, NOTES, DETAILS, FLOOD CERTIFICATION AND SURVEYOR'S CERTIFICATION  
SEE SHEET 2 OF 5 FOR BOUNDARY SURVEY  
SEE SHEET 3 OF 5 FOR TOPOGRAPHIC DATA  
SEE SHEET 5 OF 5 FOR REMAINDER OF TREES

SECTION 25, TOWNSHIP 16 SOUTH, RANGE 20 EAST  
MARION COUNTY, FLORIDA

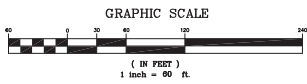


LEGEND

TREE LEGEND  
(SIZE DENOTES TREE SYMBOL)

	CHERRY
	HOLLY
	MAGNOLIA
	OAK
	PALM
	PINE TREE

	= CENTERLINE OF RIGHT OF WAY
	= CHORD BEARING
	= OFFICIAL RECORDS OF MARION COUNTY
	= DRAINAGE RETENTION AREA
	= FINISH FLOOR ELEVATION
	= FIELD MEASUREMENT
	= DEED DIMENSION
	= PLAT DIMENSION
	= SANITARY CLEANOUT
	= SANITARY MANHOLE
	= DRAINAGE MANHOLE
	= STORM DRAINAGE GRATE
	= CORRUGATED METAL PIPE
	= REINFORCED CONCRETE PIPE
	= CABLE VAULT
	= ELECTRIC BOX
	= ELECTRIC TRANSFORMER
	= ELECTRIC METER
	= METAL LIGHT POLE
	= WOOD POWER POLE
	= CONCRETE POWER POLE
	= GUY ANCHOR
	= WATER METER
	= WATER VALVE
	= FIRE HYDRANT
	= 4" WELL
	= MAILBOX
	= SIGN
	= FLAG POLE
	= TELEPHONE VAULT
	= FIBER OPTIC CABLE MARKER
	= TELEPHONE BOX
	= TELEPHONE MANHOLE
	= SATELLITE DISH
	= METAL REFLECTOR POST
	= AERIAL ELECTRIC
	= BROKEN LINE; NOT DRAWN TO SCALE
	= DENOTES CONCRETE
	= DENOTES ASPHALT
	= FLOOD ZONE "A"



SHEET 5 OF 5  
ONE IS NOT COMPLETE WITHOUT THE OTHER

SEE SHEET 1 OF 5 FOR DESCRIPTION, NOTES, DETAILS, FLOOD CERTIFICATION AND SURVEYOR'S CERTIFICATION  
SEE SHEET 2 OF 5 FOR BOUNDARY SURVEY  
SEE SHEET 3 OF 5 FOR TOPOGRAPHIC DATA  
SEE SHEET 4 OF 5 FOR REMAINDER OF TREES

NO.	REVISIONS	BY	DATE


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www.rmbarreau.com

**BOUNDARY & TOPOGRAPHIC SURVEY FOR:**  
**PC 200-2 LLC**

REFERENCES:

35	(890)
605	POS 38-41 (TOPO)
595	POS 38-40 (TOPO)
605	POS 39
605	POS 79

FILE: 25-16-20