



SUBMITTAL SUMMARY REPORT MajorSite-000060-2025

PLAN NAME: Multi-Family- 8 Units - 351 Marion Oaks Blvd	LOCATION: 351 MARION OAKS BLVD OCALA,
APPLICATION DATE: 11/20/2025	PARCEL: 8004-0433-18
DESCRIPTION: New 8-unit residential building	

CONTACTS	NAME	COMPANY
Applicant	ADAN ORDONEZ ORDONEZ	ORDONEZ ORDONEZ CONSTRUCTION, INC
Engineer of Record	CHAD LINN	LINN ENGINEERING

CONDITION	DESCRIPTION	CREATED BY	CREATED ON	COMMENTS	SATISFIED?
Conditional Comment(s)		Chris Zeigler	02/23/2026	The sidewalk fee of \$2,400.00 must be paid prior to plan approval.	No

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.2	02/18/2026	02/25/2026	02/27/2026	Requires Re-submit
OCE: Plan Review (DR) v.1	12/05/2025	12/19/2025	12/24/2025	Requires Re-submit
OCE: Plan Review (DR) v.3				Not Received

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.2					
ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS	
911 Management (DR) (911 Management)	Jamie Waldron	02/25/2026	02/20/2026	Approved	
<i>Corrections</i>	Additional 911 Comments (Resolved) -				
Environmental Health (Plans) (Environmental Health)	Evan Searcy	02/25/2026	02/26/2026	Approved	
Fire Marshal (Plans) (Fire)	Jonathan Kenning	02/25/2026	02/18/2026	Approved	
<i>Comments</i>	Previously Approved				
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Jared Rivera	02/25/2026	02/20/2026	Informational	
<i>Comments</i>	See resolved items for informational comments. If you have any questions regarding Planning/Zoning review, please contact jared.rivera@marionfl.org or 352-438-2687.				
<i>Corrections</i>	2.12.4.L - DRI/FQD Compliance Note (Resolved) - [2/18/26-INFO] Included in cover sheet [INITIAL] Specifically revise the plan to add the following advisory note: "DEVELOPMENT OF THE PROPERTY AS SHOWN ON THIS [SITE PLAN/SUBDIVISION PLAT] IS SUBJECT TO THE TERMS AND CONDITIONS OF THE MARION OAKS VESTED DRI AND ITS CORRESPONDING VESTED RIGHTS DETERMINATIONS, AS MAY BE AMENDED FROM TIME TO TIME, INCLUDING PROVISIONS REGARDING THE CONCURRENCY OF PUBLIC FACILITIES."				
<i>Corrections</i>	2.12 - Rezoning (Resolved) - [2/17/26-INFO] Included in cover sheet. [INITIAL] Please indicate Rezoning Case No. 250707ZP on cover sheet.				
<i>Corrections</i>	2.12.5/1.8.2.D - Traffic Concurrence Evaluation? (Resolved) - [INFO] Please coordinate with OCE regarding improvements based on required traffic impact analysis.				
<i>Corrections</i>	2.12.27 - Location & screening of outside storage (Resolved) - [INFO] No outdoor storage				
<i>Corrections</i>	2.12/4.2 - Building height (Resolved) - [2/18/26-INFO] Included. [INITIAL] Building heights are missing. Please provide in the site data table on cover/site plan sheets				
<i>Corrections</i>	2.12.24 - Landscape requirements/6.8.6 - Buffering (Resolved) - [INFO] (1) Buffers have been delineated but specific plantings do not seem to have been identified. Please note that in the case that the buffers are cleared, a zoning code violation would exist and the site may be subject to the code enforcement process, at the property owner's risk. (2) Please note that A/C shall be screened consistent with LDC Sec. 6.8.9.				
<i>Corrections</i>	2.12.4.L & Article 5 - Overlay zones (Resolved) - [INFO] FEMA Flood Zone X, Secondary Springs Protection Zone, No ESOZ				
<i>Corrections</i>	2.12.16/6.5 - EALS or Exemption provided (Resolved) - [INFO] EALS submitted and transmitted to FWC on 12/10/25.				
<i>Corrections</i>	2.12.4/6.11.8 - Parking (Resolved) - [INFO] Please note that parking lot landscaping will need to be provided consistent with LDC Sec. 6.8.7				
Landscape (Plans) (Parks and Recreation)	Susan Heyen	02/25/2026	02/20/2026	Requires Re-submit	
<i>Comments</i>	1. waiver for parking islands 2. dumpster and lighting question - see plan for markups				
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	02/25/2026	02/23/2026	Approved	

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OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	02/25/2026	02/26/2026	Requires Re-submit
<i>Comments</i>	Please add owner's certification and signer's information to the cover sheet of the civil plans for review. -EMW 02.26.2026			
	<p>IF APPLICABLE:</p> <p>Sec. 2.18.1.I - Show connections to other phases.</p> <p>Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.</p> <p>Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."</p> <p>Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."</p> <p>Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."</p> <p>Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."</p> <p>Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:</p> <p>1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."</p> <p>Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."</p>			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	02/23/2026	02/18/2026	Requires Re-submit
<i>Corrections</i>	Additional Stormwater comments (Not Resolved) - (1) INFO: Please provide a copy of the NPDES permit or NOI as well as a copy of the District permit prior to construction.			
<i>Corrections</i>	(2) INFO: If you have questions or would like to discuss the stormwater review comments, please contact Alexander Turnipseed at (352) 671-8376 or at alexander.turnipseed@marionfl.org.			
<i>Corrections</i>	6.13.2.B(8) - Calculation & Plan Consistency (Not Resolved) - 6.13.2.B(8) - Calculation & Plan Consistency: Calculations must be consistent with the plan sheets and other supporting details. Calculations shall use standard methodology recognized in the State of Florida, including hand and/or computerized calculations.			
<i>Corrections</i>	6.13.12 - Operation and Maintenance (Not Resolved) - 6.13.12 - Operation and Maintenance: Provide an O&M manual detailing the steps for operating and maintaining the proposed private system of DRAs, pipes, inlets, swales, etc. Manual shall be signed by Owner and owner's certification statement shall be on the manual. Owner's certification statement: "I hereby certify that I, my successors, and assigns shall perpetually operate and maintain the stormwater management and associated elements in accordance with the specifications shown herein and on the approved plan".			
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	02/25/2026	02/23/2026	Requires Re-submit
<i>Comments</i>	Response to Comments Not Provided Public Ingress-Egress Easement (Cross Access) uploaded to this area.			
<i>Corrections</i>	6.4.7. Construction Plans - Survey Requirements: Survey information to support construction plans, including but not limited to Mass Grading, Improvement, or Major Site plans, shall meet requirements as set forth in Ch. 5J-17 FAC in addition to the following as identified in Section 6.4.7.A. through H. of the LDC. Corrective Action 6.4.7.B(1) - Show a minimum of two intervisible horizontal control points per site. 6.4.7.B(2) - Horizontal control points shall be monumented and referenced to the Florida State Plane Coordinate System 6.4.7.B(4) - Provide a statement or table detailing horizontal datum, adjustment, and coordinate values			
<i>Corrections</i>	2.12.8. - Current boundary and topographic survey (Resolved) - 2.12.8. - Current boundary and topographic survey: Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.			
<i>Corrections</i>	6.4.7. Construction Plans - Survey Requirements (Not Resolved) - 6.4.7. Construction Plans - Survey Requirements: Survey information to support construction plans, including but not limited to Mass Grading, Improvement, or Major Site plans, shall meet requirements as set forth in Ch. 5J-17 FAC in addition to the following as identified in Section 6.4.7.A. through H. of the LDC.			

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OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	02/25/2026	02/23/2026	Approved
<i>Corrections</i>	6.11.4.B - Cross access (Resolved) - 6.11.4.B - Cross access: Provide a 24' wide paved cross access easement as specified in 6.11.4.B			
<i>Corrections</i>	6.12.12 - Sidewalks (Resolved) - 6.12.12 - Sidewalks: Show sidewalk on the plans as required in section 6.12.12.			
Utilities (OCE Plans) (Utilities)	Heather Proctor	02/25/2026	02/25/2026	Requires Re-submit
<i>Comments</i>	Please see the corrective comments and plan comments.			
<i>Corrections</i>	6.15.6.B - Irrigation Water Metering - size (Resolved) - 6.15.6.B - Irrigation Water Metering - size:			
<i>Corrections</i>	6.14.4 - Capacity charges - irrigation (Resolved) - 6.14.4 - Capacity charges			
<i>Corrections</i>	6.14.6 - Utilities design to be owned by MCU (Resolved) - 6.14.6 - Utilities design to be owned by MCU:			
<i>Corrections</i>	7.1.3 - UT DETAILS - current LDC version (Resolved) - 7.1.3 - UT DETAILS - current LDC version: UT details shall be current version based on latest edition of approved LDC			
<i>Corrections</i>	Parcel numbers match project area (Resolved) - Parcel numbers match project area: The parcels(s) shown on the application and/or site plan must match the project area.			
<i>Corrections</i>	6.14.7 - Construction Inspection - PLAN NOTE: (Resolved) - 6.14.7 - Construction Inspection - PLAN NOTE			
<i>Corrections</i>	6.14.5.A(1) - Existing water & sewer mains shown (Resolved) - 6.14.5.A(1) - Existing water & sewer mains shown: The entire utility system shall be shown on the plan, including existing water systems and all proposed components within the project area.			
<i>Corrections</i>	6.15.3 - Fire Protection/Fire Flow Capacity (Resolved) - 6.15.3 - Fire Protection/Fire Flow Capacity:			
<i>Corrections</i>	6.14.5.A(6) - MH locations, rim & invert elevation (Resolved) - 6.14.5.A(6) - MH locations, rim & invert elevation:			
<i>Corrections</i>	6.15.6.D - Meter Location (Not Resolved) - 6.15.6.D - Meter Location:			
<i>Corrections</i>	6.15.4 - Water Main Piping Installation (Resolved) - 6.15.4 - Water Main Piping Installation:			
<i>Corrections</i>	6.14.9.B - Transfer of Assets to MCU - PLAN NOTE: (Resolved) - 6.14.9.B - Transfer of Assets to MCU - PLAN NOTE::			
<i>Corrections</i>	6.14.5.B - FDEP PWS and/or WW permits (Resolved) - 6.14.5.B - FDEP PWS and/or WW permits			
<i>Corrections</i>	6.14.8.A - Completion & Closeout - PLAN NOTE: (Resolved) - 6.14.8.A - Completion & Closeout - PLAN NOTE:			
<i>Corrections</i>	6.14.5.A(3) - LS layout, elevations, schedules (Not Resolved) - 6.14.5.A(3) - LS layout, elevations, schedules: Lift station details shall be included on a separate page showing general location of LS with details, working elevations & schedules.			
<i>Corrections</i>	6.14.5.A(2) - Proposed mains & connections shown (Not Resolved) - 6.14.5.A(2) - Proposed mains & connections shown:			
<i>Corrections</i>	6.14.5.B - Submit permits to MCU (DOT, ROW etc) (Resolved) - 6.14.5.B - Submit permits to MCU (DOT, ROW etc): A copy of any permit issued to the contractor shall also be submitted to MCU's Construction Manager, or designee.			
<i>Corrections</i>	6.15.7 - Cross Connection Control/Backflow (Resolved) - 6.15.7 - Cross Connection Control/Backflow:			
<i>Corrections</i>	Additional Utilities Comments (Not Resolved) - Additional Utilities Comments			
<i>Corrections</i>	6.14.4 - Capacity charges - domestic water/sewer (Resolved) - 6.14.4 - Capacity charges - domestic water/sewer: Capacity charges to be invoiced and collected by MCU Permitting at time of building permit review - Cap Fee Worksheet and interior floor plan may be required.			
<i>Corrections</i>	6.14.2 - Connection Requirements (Not Resolved) - 6.14.2 - Connection Requirements:			
<i>Corrections</i>	6.14.5.C - Hydraulic Analysis (Not Resolved) - 6.14.5.C - Hydraulic Analysis: The hydraulic analysis is required to analyze the water or wastewater pressures in this area.			
<i>Corrections</i>	Review Fee as applicable (per Resolution) (Not Resolved) - Review Fee as applicable (per Resolution): MCU review fee for this submittal			
<i>Corrections</i>	MCU Contact Info on Project Cover Sheet (Resolved) - MCU Contact Info on Project Cover Sheet: Marion County Utilities, 11800 S US Hwy 441, Belleview FL 34420 - Customer Service 24/7/365 352-307-6000			
<i>Corrections</i>	6.15.4 - Water Distribution System (Not Resolved) - 6.15.4 - Water Distribution System:			

OCE: Plan Review (DR) v.1				
ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Caroline Dennison	12/19/2025	12/09/2025	Approved
<i>Corrections</i>	Additional 911 Comments (Resolved) -			
Environmental Health (Plans) (Environmental Health)	Evan Searcy	12/19/2025	12/23/2025	Approved
Fire Marshal (Plans) (Fire)	Jonathan Kenning	12/19/2025	12/05/2025	Approved
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Jared Rivera	12/19/2025	12/10/2025	Requires Re-submit
<i>Comments</i>	See corrections for Planning/Zoning comments.			
<i>Corrections</i>	2.12.4.L & Article 5 - Overlay zones (Resolved) - 2.12.4.L & Article 5 - Overlay zones: Provide a statement showing all applicable overlay zones on the subject properties such as Airport Overlay Zones (AOZ), Environmentally Sensitive Overlay Zone (ESOZ), Floodplain, Springs Protection Overlay Zone (SPOZ), Military Operating Area (MOA), Scenic Roads Area (SRA), Wellhead/Wellfield Protection Area (WHPA), Silver Springs Community Redevelopment Area (SSCRA), and CR 475A Visual Enhancement Gateway Development Overlay, etc. Refer to LDC Article 5 - OVERLAY ZONES AND SPECIAL AREAS.			
<i>Corrections</i>	2.12.4.L - DRI/FQD Compliance Note (Not Resolved) - 2.12.4.L - DRI/FQD Compliance Note?: Revise the plan to add the following advisory note: "DEVELOPMENT OF THE PROPERTY AS SHOWN ON THIS [SITE PLAN/SUBDIVISION PLAT] IS SUBJECT TO THE TERMS AND CONDITIONS OF THE [PROJECT NAME DRI/FQD] DEVELOPMENT ORDER, AS MAY BE AMENDED FROM TIME TO TIME, INCLUDING PROVISIONS REGARDING THE CONCURRENCY OF PUBLIC FACILITIES.			
<i>Corrections</i>	2.12 - Rezoning (Not Resolved) - 2.12 - Rezoning: List of approved Rezoning, case numbers, conditions, and the date of approval.			
<i>Corrections</i>	2.12.4/6.11.8 - Parking (Resolved) - 2.12.4/6.11.8 - Parking: Provide number and calculation of required and proposed parking spaces in table format, per LDC Sec. 6.11.8. - Parking requirements.			

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Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Jared Rivera	12/19/2025	12/10/2025	Requires Re-submit
<i>Corrections</i>	2.12.27 - Location & screening of outside storage (Resolved) - 2.12.27 - Location & screening of outside storage: Provide a statement indicating any outside storage area is proposed. If applicable, show location of outside storage areas on plan. Check special requirements under zoning code sections.			
<i>Corrections</i>	2.12 - Land Use Designation-adjacent properties (Resolved) - 2.12 - Land Use Designation-adjacent properties: Show existing land use designation on the adjacent properties.			
<i>Corrections</i>	2.12.6 - Location of water and sewer (Resolved) - 2.12.6 - Location of water and sewer: Show location of septic systems and wells. Locations shall be outside setback and clearance.			
<i>Corrections</i>	2.12.24 - Landscape requirements/6.8.6 - Buffering (Not Resolved) - 2.12.24 - Landscape requirements/6.8.6 - Buffering: Show buffer types, locations, and dimensions of required buffering on plan. Show buffer descriptions and illustrations of each proposed buffer (including longitudinal and transverse cross-sections)			
<i>Corrections</i>	2.12/4.2 - Building height (Not Resolved) - 2.12/4.2 - Building height: Show building height (primary and accessory structures) in the site data table.			
<i>Corrections</i>	2.12.16/6.5 - EALS or Exemption provided (Resolved) - 2.12.16/6.5 - EALS or Exemption provided?: Provide Environmental Assessment of Listed Species (EALS) or submit an Exemption (EALS-ER). Copy of the EALS/EALS-ER will be forwarded to review agency for comments. Refer to LDC Sec. 6.5 for submittal requirements and review procedures.			
<i>Corrections</i>	2.12 - Waivers (Requested & Approved) (Resolved) - 2.12 - Waivers (Requested & Approved): List of all requested and approved waivers, conditions, and the date of approval.			
<i>Corrections</i>	2.12.5/1.8.2.D - Traffic Concurrence Evaluation? (Not Resolved) - 2.12.5/1.8.2.D - Traffic Concurrence Evaluation?: In order to propose alternative solutions to addressing the lack of roadway capacity, a traffic study will be required and a traffic methodology must be submitted for review and approval prior to the traffic study being completed. Please contact OCE-Traffic Review for further information on completing the necessary methodology and study.			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	12/19/2025	12/12/2025	Requires Re-submit
<i>Comments</i>	Please submit Tree Preservation, signed and sealed Landscape, Irrigation and if necessary, photometric plans for review			
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	12/19/2025	12/22/2025	Approved
<i>Corrections</i>	6.2.1.B.-F. - Requirements (Resolved) - 6.2.1.B.-F. - Requirements: Technical standards and requirements as listed in Section 6.2.1.B. through F. of the LDC			
<i>Corrections</i>	6.2.1.A. - Licensed Professional (Resolved) - 6.2.1.A. - Licensed Professional: Plans shall be prepared by a professional licensed by the State of Florida. The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet. The same shall be provided on the cover page of any supporting documents and calculations.			
<i>Corrections</i>	Additional Design Comments (Resolved) - Additional Comments:			
OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	12/19/2025	12/22/2025	Requires Re-submit
<i>Comments</i>	Please upload application and Site Plan for review -EMW 12.22.25			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	12/19/2025	12/10/2025	Requires Re-submit
<i>Corrections</i>	6.13.2.B(4) - Hydrologic Analysis (Not Resolved) - 6.13.2.B(4) - Hydrologic Analysis: Hydrologic stormwater model analysis including all input parameters, supporting calculations, assumptions, documentation for design and results.			
<i>Corrections</i>	6.13.2 A(1)/(2) - Contributing Basins/Tc (Not Resolved) - 6.13.2 A(1)/(2) - Contributing Basins/Tc: Plan sheets shall minimally show: All pre-development and post-development basins that contribute runoff to the area proposed for development, including all off-site contributions, and areas that may be impacted by the development fully delineated and quantified. The time of concentration, and travel path, for each watershed shall be shown.			
<i>Corrections</i>	2.12.4.L(9)(b) - Data Block (Impervious Area) (Not Resolved) - 2.12.4.L(9)(b) - Data Block (Impervious Area): Provide existing and proposed gross impervious area in SF, ac, and percentage in the data block on the cover sheet. Include any offsite drainage to your site in the data block.			
<i>Corrections</i>	6.13.2.B(6) - Freeboard (Not Resolved) - 6.13.2.B(6) - Freeboard: A minimum freeboard of six inches shall be provided for all retention/detention areas.			
<i>Corrections</i>	6.13.6 - Stormwater Quality Criteria (Not Resolved) - 6.13.6 - Stormwater Quality Criteria: The following systems shall be considered as meeting the County's stormwater quality criteria: a) Systems that demonstrate numerically the post-development stormwater quality is equal to or better than the pre-development stormwater quality using methodology approved by the County Engineer or his designee. b) Dry retention systems that have a depth of four feet or less, measured from top of bank to pond bottom, shall have an appropriate vegetative cover. c) Dry retention systems that have a depth of six feet or less, measured from top of bank to pond bottom, with side slopes that are no steeper than 4:1, shall have sodded bottoms. d) Wet retention/detention systems, including wetlands, shall meet the governing State standards. e) Systems demonstrating distributed volume.			
<i>Corrections</i>	Additional Stormwater comments (Not Resolved) - (1) INFO: Please provide a copy of the NPDES permit or NOI as well as a copy of the District permit prior to construction. (2) INFO: If you have questions or would like to discuss the stormwater review comments, please contact Alexander Turnipseed at (352) 671-8376 or at alexander.turnipseed@marionfl.org.			
<i>Corrections</i>	6.13.12 - Operation and Maintenance (Not Resolved) - 6.13.12 - Operation and Maintenance: Provide an O&M manual detailing the steps for operating and maintaining the proposed private system of DRAs, pipes, inlets, swales, etc. Manual shall be signed by Owner and owner's certification statement shall be on the manual. Owner's certification statement: "I hereby certify that I, my successors, and assigns shall perpetually operate and maintain the stormwater management and associated elements in accordance with the specifications shown herein and on the approved plan".			
<i>Corrections</i>	2.12.8 - Topographical Contours (Not Resolved) - 2.12.8 - Topographical Contours: Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.			
<i>Corrections</i>	6.13.2.B(8) - Calculation & Plan Consistency (Not Resolved) - 6.13.2.B(8) - Calculation & Plan Consistency: Calculations must be consistent with the plan sheets and other supporting details. Calculations shall use standard methodology recognized in the State of Florida, including hand and/or computerized calculations.			

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ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	12/19/2025	12/10/2025	Requires Re-submit
<i>Corrections</i>	Final signed and sealed hard copy signature page (Not Resolved) - After all stormwater comments are resolved, please upload a scanned copy of the digitally signed and sealed certification page of the stormwater report. Alternatively, a hard copy can be submitted. If you choose to submit a hard copy, you only need to submit the certification page of the report. A full report is not necessary. However, full reports are accepted if desired.			
<i>Corrections</i>	6.13.8 - Stormwater Conveyance Criteria (Not Resolved) - 6.13.8 - Stormwater Conveyance Criteria: Conveyance systems shall be sized to accommodate the 25-year 24-hour storm event. The tailwater elevation utilized shall be based on the tailwater elevation of the receiving water body plus 6 inches at the peak discharge time of the design storm. Alternatively, the tailwater elevation utilized can be the design high water elevation of the 25-year 24-hour design storm. All retention/detention areas within subdivision developments shall have direct access to a right-of-way. A drainage right-of-way may be necessary to establish this access. Drainage rights-of-way shall be a minimum of 30 feet in width. All drainage swales to facilities or underground stormwater conveyance systems shall be within drainage easements, except where rights-of-way are provided. Drainage easements shall be a minimum of 20 feet in width.			
<i>Corrections</i>	6.13.2.A(9) - Access Accommodates Stormwater (Not Resolved) - 6.13.2.A(9) - Access Accommodates Stormwater: Site access accounting for stormwater conveyance with a swale, culvert, or curb and gutter driveway.			
<i>Corrections</i>	6.13.4 - Stormwater Quantity Criteria (Not Resolved) - 6.13.4 - Stormwater Quantity Criteria: Methodologies, rainfall distribution and intensities shall be consistent with those approved by the governing water management district. Assumed parameters must be supported by conventional methods. Design storms shall consider open or closed basins as provided in Table 6.13-1.			
<i>Corrections</i>	6.13.4.D - Recovery Analysis (Not Resolved) - 6.13.4.D - Recovery Analysis: All retention/detention areas shall recover the total volume required to meet the discharge volume limitations within 14 days following the design rainfall event. For retention/detention areas not able to recover the total required volume within 14 days, the stormwater facility volume shall be increased to retain an additional volume from a second design storm.			
<i>Corrections</i>	6.13.4.C - Discharge Conditions (Not Resolved) - 6.13.4.C - Discharge Conditions: All stormwater facilities shall be designed to limit discharges considering open or closed basins per Table 6.13-1. A discharge structure shall be required for all retention/detention areas not designed to retain the entire 100-year 24-hour post-development design storm. Discharge structures shall include a skimmer at a minimum.			
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	12/19/2025	12/17/2025	Requires Re-submit
<i>Corrections</i>	6.4.7. Construction Plans - Survey Requirements (Not Resolved) - 6.4.7. Construction Plans - Survey Requirements: Survey information to support construction plans, including but not limited to Mass Grading, Improvement, or Major Site plans, shall meet requirements as set forth in Ch. 5J-17 FAC in addition to the following as identified in Section 6.4.7.A. through H. of the LDC.			
<i>Corrections</i>	2.12.8. - Current boundary and topographic survey (Not Resolved) - 2.12.8. - Current boundary and topographic survey: Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.			
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	12/19/2025	12/08/2025	Requires Re-submit
<i>Corrections</i>	6.11.4.B - Cross access (Not Resolved) - 6.11.4.B - Cross access: Provide a 24' wide paved cross access easement as specified in 6.11.4.B			
<i>Corrections</i>	6.12.12 - Sidewalks (Not Resolved) - 6.12.12 - Sidewalks: Show sidewalk on the plans as required in section 6.12.12.			
Utilities (OCE Plans) (Utilities)	Heather Proctor	12/19/2025	12/22/2025	Requires Re-submit
<i>Comments</i>	The parcel will be connecting to Marion County Utilities water and will connect to and extend the sewer force main. Please see the correction comments.			
<i>Corrections</i>	6.14.6 - Utilities design to be owned by MCU (Not Resolved) - 6.14.6 - Utilities design to be owned by MCU:			
<i>Corrections</i>	6.14.4 - Capacity charges - irrigation (Not Resolved) - 6.14.4 - Capacity charges			
<i>Corrections</i>	MCU Contact Info on Project Cover Sheet (Resolved) - MCU Contact Info on Project Cover Sheet: Marion County Utilities, 11800 S US Hwy 441, Belleview FL 34420 - Customer Service 24/7/365 352-307-6000			
<i>Corrections</i>	6.14.8.A - Completion & Closeout - PLAN NOTE: (Not Resolved) - 6.14.8.A - Completion & Closeout - PLAN NOTE:			
<i>Corrections</i>	6.14.5.A(2) - Proposed mains & connections shown (Not Resolved) - 6.14.5.A(2) - Proposed mains & connections shown:			
<i>Corrections</i>	6.14.5.A(8) - Connection to existing sanitary (Not Resolved) - 6.14.5.A(8) - Connection to existing sanitary:			
<i>Corrections</i>	6.14.9.B - Transfer of Assets to MCU - PLAN NOTE: (Not Resolved) - 6.14.9.B - Transfer of Assets to MCU - PLAN NOTE::			
<i>Corrections</i>	6.14.5.B - FDEP PWS and/or WW permits (Not Resolved) - 6.14.5.B - FDEP PWS and/or WW permits			
<i>Corrections</i>	6.15.7 - Cross Connection Control/Backflow (Not Resolved) - 6.15.7 - Cross Connection Control/Backflow:			
<i>Corrections</i>	6.14.5.C - Hydraulic Analysis (Not Resolved) - 6.14.5.C - Hydraulic Analysis: The hydraulic analysis is required to analyze the water or wastewater pressures in this area.			
<i>Corrections</i>	6.15.3 - Fire Protection/Fire Flow Capacity (Not Resolved) - 6.15.3 - Fire Protection/Fire Flow Capacity:			
<i>Corrections</i>	6.14.5.A(1) - Existing water & sewer mains shown (Not Resolved) - 6.14.5.A(1) - Existing water & sewer mains shown: The entire utility system shall be shown on the plan, including existing water systems and all proposed components within the project area.			
<i>Corrections</i>	Review Fee as applicable (per Resolution) (Not Resolved) - Review Fee as applicable (per Resolution): MCU review fee for this submittal			
<i>Corrections</i>	6.14.5.A(3) - LS layout, elevations, schedules (Not Resolved) - 6.14.5.A(3) - LS layout, elevations, schedules: Lift station details shall be included on a separate page showing general location of LS with details, working elevations & schedules.			
<i>Corrections</i>	Additional Utilities Comments (Not Resolved) - Additional Utilities Comments			
<i>Corrections</i>	6.15.6.D - Meter Location (Not Resolved) - 6.15.6.D - Meter Location:			
<i>Corrections</i>	6.14.4 - Capacity charges - domestic water/sewer (Not Resolved) - 6.14.4 - Capacity charges - domestic water/sewer: Capacity charges to be invoiced and collected by MCU Permitting at time of building permit review - Cap Fee Worksheet and interior floor plan may be required.			

SUBMITTAL SUMMARY REPORT (MajorSite-000060-2025)

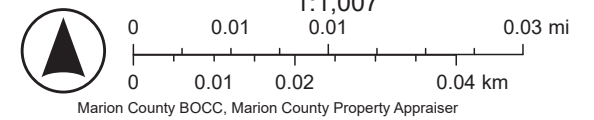
ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Utilities (OCE Plans) (Utilities)	Heather Proctor	12/19/2025	12/22/2025	Requires Re-submit
<i>Corrections</i>	Parcel numbers match project area (Resolved) - Parcel numbers match project area: The parcels(s) shown on the application and/or site plan must match the project area.			
<i>Corrections</i>	6.15.4 - Water Main Piping Installation (Not Resolved) - 6.15.4 - Water Main Piping Installation:			
<i>Corrections</i>	6.14.5.B - Submit permits to MCU (DOT, ROW etc) (Not Resolved) - 6.14.5.B - Submit permits to MCU (DOT, ROW etc): A copy of any permit issued to the contractor shall also be submitted to MCU's Construction Manager, or designee.			
<i>Corrections</i>	6.15.6.B - Irrigation Water Metering - size (Resolved) - 6.15.6.B - Irrigation Water Metering - size:			
<i>Corrections</i>	6.14.7 - Construction Inspection - PLAN NOTE: (Not Resolved) - 6.14.7 - Construction Inspection - PLAN NOTE			
<i>Corrections</i>	7.1.3 - UT DETAILS - current LDC version (Not Resolved) - 7.1.3 - UT DETAILS - current LDC version: UT details shall be current version based on latest edition of approved LDC			
<i>Corrections</i>	6.15.4 - Water Distribution System (Not Resolved) - 6.15.4 - Water Distribution System:			
<i>Corrections</i>	6.14.2 - Connection Requirements (Not Resolved) - 6.14.2 - Connection Requirements:			
<i>Corrections</i>	6.14.5.A(6) - MH locations, rim & invert elevation (Resolved) - 6.14.5.A(6) - MH locations, rim & invert elevation:			

ArcGIS Web Map9



3/31/2026, 3:56:26 PM

- Marion County
- Streets
- Aerial 2024
- Parcels
- Green: Band_2
- Blue: Band_3
- Red: Band_1





**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 3/20/2026 Parcel Number(s): 8004-0433-18 Permit Number: 000060-2025

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Multi-Family- 8 Units - 351 Marion Oaks Blvd Commercial Residential
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Beatriz Estela Rosa ; A&B Properties Services LLC
Signature: *Beatriz Estela*
Mailing Address: 275 Sycamore Ct City: Wind Gap
State: PA Zip Code: 18091-9526 Phone # 908-343-9077
Email address: beatrizestela2000@yahoo.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Linn Engineering and Design Contact Name: _____
Mailing Address: P.O. Box 140024 City: Orlando
State: FL Zip Code: 32814 Phone # 407-775-5194
Email address: clinn@linnengineering.com

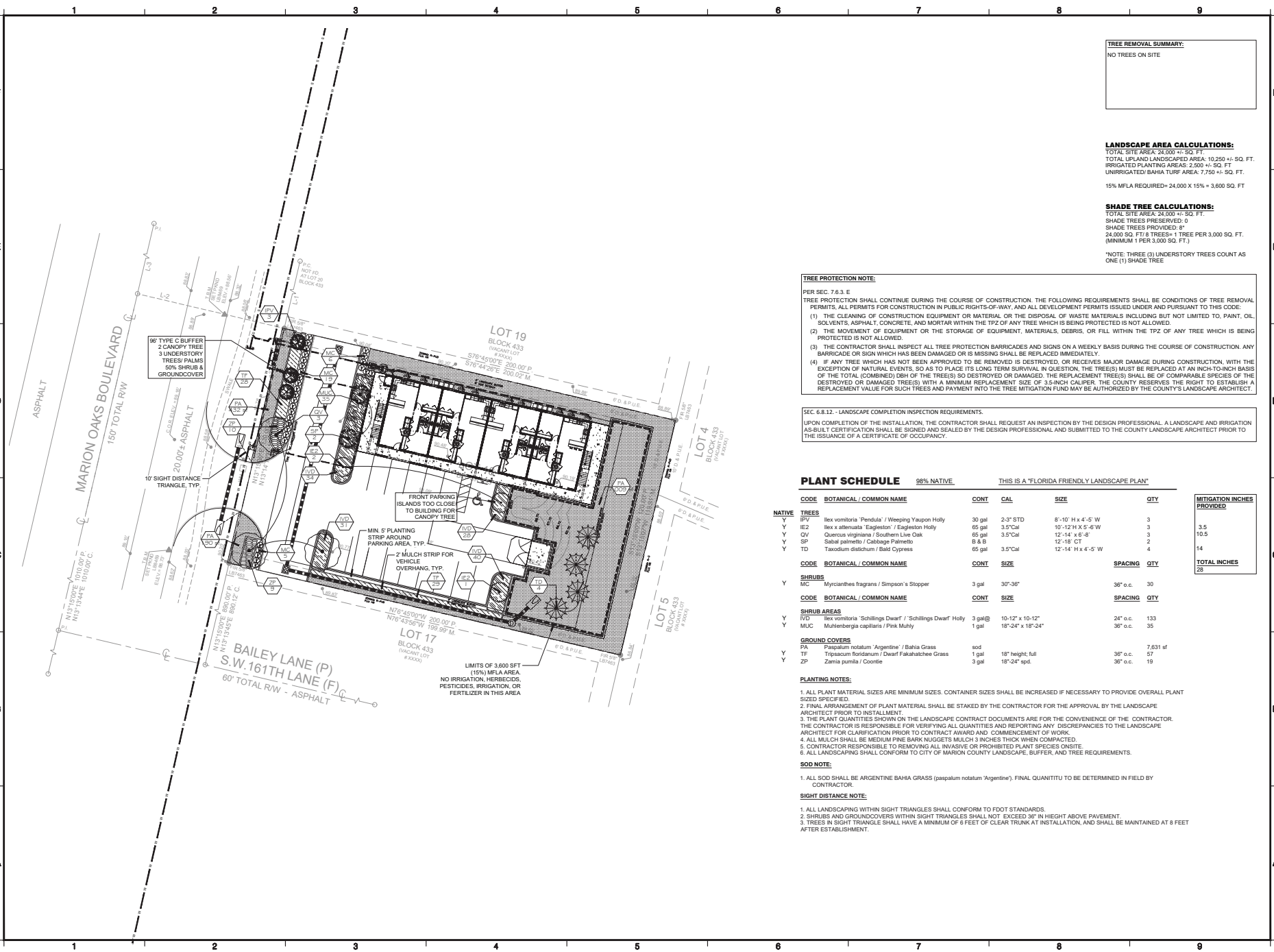
D. WAIVER INFORMATION:

Section & Title of Code (be specific): Section 6.8.7 (D)- Parking Areas and Vehicular Use Areas
Reason/Justification for Request (be specific): Use evergreen understory trees in the parking islands, instead of shade trees

DEVELOPMENT REVIEW USE:

Received By: _____ Date Processed: _____ Project # _____ AR # _____

ZONING USE: Parcel of record: Yes No Eligible to apply for Family Division: Yes No
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes No
Date Reviewed: _____ Verified by (print & initial): _____



TREE REMOVAL SUMMARY:
NO TREES ON SITE

LANDSCAPE AREA CALCULATIONS:
TOTAL SITE AREA: 24,000 +/- SQ. FT.
TOTAL UPLAND LANDSCAPED AREA: 10,250 +/- SQ. FT.
IRRIGATED PLANTING AREAS: 2,500 +/- SQ. FT.
UNIRRIGATED BAHIA TURF AREA: 7,750 +/- SQ. FT.
15% MFLA REQUIRED= 24,000 X 15% = 3,600 SQ. FT.

SHADE TREE CALCULATIONS:
TOTAL SITE AREA: 24,000 +/- SQ. FT.
SHADE TREES PRESERVED: 0
SHADE TREES PROVIDED: 8*
24,000 SQ. FT. ÷ TREES= 1 TREE PER 3,000 SQ. FT. (MINIMUM 1 PER 3,000 SQ. FT.)
*NOTE: THREE (3) UNDERSTORY TREES COUNT AS ONE (1) SHADE TREE

TREE PROTECTION NOTE:
PER SEC. 7A.3 E
TREE PROTECTION SHALL CONTINUE DURING THE COURSE OF CONSTRUCTION. THE FOLLOWING REQUIREMENTS SHALL BE CONDITIONS OF TREE REMOVAL PERMITS. ALL PERMITS FOR CONSTRUCTION IN PUBLIC RIGHTS-OF-WAY, AND ALL DEVELOPMENT PERMITS ISSUED UNDER AND PURSUANT TO THIS CODE:
(1) THE CLEANING OF CONSTRUCTION EQUIPMENT OR MATERIAL OR THE DISPOSAL OF WASTE MATERIALS INCLUDING BUT NOT LIMITED TO, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, AND MORTAR WITHIN THE TPZ OF ANY TREE WHICH IS BEING PROTECTED IS NOT ALLOWED.
(2) THE MOVEMENT OF EQUIPMENT OR THE STORAGE OF EQUIPMENT, MATERIALS, DEBRIS, OR FILL WITHIN THE TPZ OF ANY TREE WHICH IS BEING PROTECTED IS NOT ALLOWED.
(3) THE CONTRACTOR SHALL INSPECT ALL TREE PROTECTION BARRICADES AND SIGNS ON A WEEKLY BASIS DURING THE COURSE OF CONSTRUCTION. ANY BARRICADE OR SIGN WHICH HAS BEEN DAMAGED OR IS MISSING SHALL BE REPLACED IMMEDIATELY.
(4) IF ANY TREE WHICH HAS NOT BEEN APPROVED TO BE REMOVED OR RECEIVES MAJOR DAMAGE DURING CONSTRUCTION, WITH THE EXCEPTION OF NATURAL EVENTS, SO AS TO PLACE ITS LONG TERM SURVIVAL IN QUESTION, THE TREE(S) MUST BE REPLACED AT AN INCH-TO-INCH BASIS OF THE TOTAL (COMBINED) DBH OF THE TREE(S) SO DESTROYED OR DAMAGED. THE REPLACEMENT TREE(S) SHALL BE OF COMPARABLE SPECIES OF THE DESTROYED OR DAMAGED TREE(S) WITH A MINIMUM REPLACEMENT SIZE OF 3.5-INCH CALIPER. THE COUNTY RESERVES THE RIGHT TO ESTABLISH A REPLACEMENT VALUE FOR SUCH TREES AND PAYMENT INTO THE TREE MITIGATION FUND MAY BE AUTHORIZED BY THE COUNTY'S LANDSCAPE ARCHITECT.

SEC. 6.8.12 - LANDSCAPE COMPLETION INSPECTION REQUIREMENTS.
UPON COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL, LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

PLANT SCHEDULE 98% NATIVE. THIS IS A "FLORIDA FRIENDLY LANDSCAPE PLAN"

CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	MITIGATION INCHES PROVIDED
NATIVE TREES						
IVY	Ilex vomitoria 'Pendula' / Weeping Yaupon Holly	30 gal	2-3" STD	8'-10" H x 4'-5" W	3	
Y	IE2 Ilex x alternata 'Eagleson' / Eagleson Holly	65 gal	3.5" Cal	10'-12" H x 5'-6" W	3	3.5
Y	QV Quercus virginiana / Southern Live Oak	65 gal	3.5" Cal	12'-14" x 6'-8"	3	10.5
Y	SP Sabal palmetto / Cabbage Palmetto	8 & 8		12'-18" CT	2	
Y	TD Taxodium distichum / Bald Cypress	65 gal	3.5" Cal	12'-14" H x 4'-5" W	4	14
SHRUBS						
Y	MC Myrsine fragrans / Simpson's Stopper	3 gal	30"-36"		36" o.c.	30
SHRUB AREAS						
Y	IVD Ilex vomitoria 'Schillings Dwarf' / 'Schillings Dwarf' Holly	3 gal @		10'-12" x 10'-12"	24" o.c.	133
Y	MUC Muhlenbergia capillaris / Pink Muhly	1 gal		18"-24" x 18"-24"	36" o.c.	35
GROUND COVERS						
Y	PA Paspalum notatum 'Argentine' / Bahia Grass	sod			7,631 sf	
Y	TF Tripsacum floridanum / Dwarf Fakahatchee Grass	1 gal	18" height, full		36" o.c.	57
Y	ZP Zamia pumila / Coontie	3 gal	18"-24" spd.		36" o.c.	19

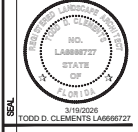
PLANTING NOTES:
1. ALL PLANT MATERIAL SIZES ARE MINIMUM SIZES. CONTAINER SIZES SHALL BE INCREASED IF NECESSARY TO PROVIDE OVERALL PLANT SIZED SPECIFIED.
2. FINAL ARRANGEMENT OF PLANT MATERIAL SHALL BE STAGED BY THE CONTRACTOR FOR THE APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLMENT.
3. THE PLANT QUANTITIES SHOWN ON THE LANDSCAPE CONTRACT DOCUMENTS ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND REPORTING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO CONTRACT AWARD AND COMMENCEMENT OF WORK.
4. ALL MULCH SHALL BE MEDIUM PINE BARK NUGGETS 3 INCHES THICK WHEN COMPACTED.
5. CONTRACTOR RESPONSIBLE TO REMOVING ALL INVASIVE OR PROHIBITED PLANT SPECIES ONSITE.
6. ALL LANDSCAPING SHALL CONFORM TO CITY OF MARION COUNTY LANDSCAPE, BUFFER, AND TREE REQUIREMENTS.

SOD NOTE:
1. ALL SOD SHALL BE ARGENTINE BAHIA GRASS (paspalum notatum 'Argentine'). FINAL QUANTITTY TO BE DETERMINED IN FIELD BY CONTRACTOR.

SIGHT DISTANCE NOTE:
1. ALL LANDSCAPING WITHIN SIGHT TRIANGLES SHALL CONFORM TO FDOT STANDARDS.
2. SHRUBS AND GROUNDCOVERS WITHIN SIGHT TRIANGLES SHALL NOT EXCEED 36" IN HEIGHT ABOVE PAVEMENT.
3. TREES IN SIGHT TRIANGLE SHALL HAVE A MINIMUM OF 6 FEET OF CLEAR TRUNK AT INSTALLATION, AND SHALL BE MAINTAINED AT 8 FEET AFTER ESTABLISHMENT.



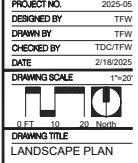
351 MARION OAKS BLVD
MARION COUNTY, FL
Prepared For:
A&B PROPERTIES SERVICES



CONSULTANTS
TODD D. CLEMENTS LA6698727

ISSUED FOR: UNLAWFUL PERMIT (LAWR. 2)

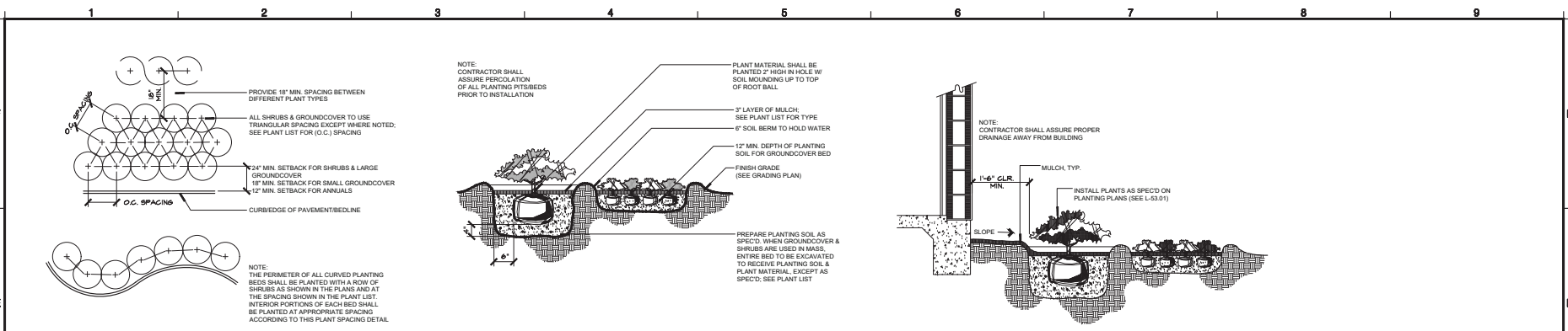
PROJECT NO.	2025-05
DESIGNED BY	TFW
DRAWN BY	TFW
CHECKED BY	TDCTFW
DATE	2/19/2025
DRAWING SCALE	1"=20'



DRAWING TITLE
LANDSCAPE PLAN

DRAWING NUMBER
LS-01

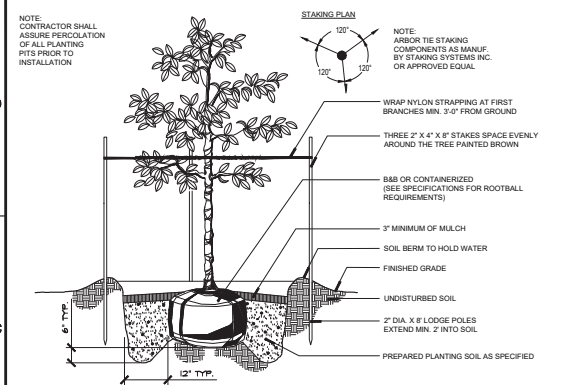
SHEET 1 of 2



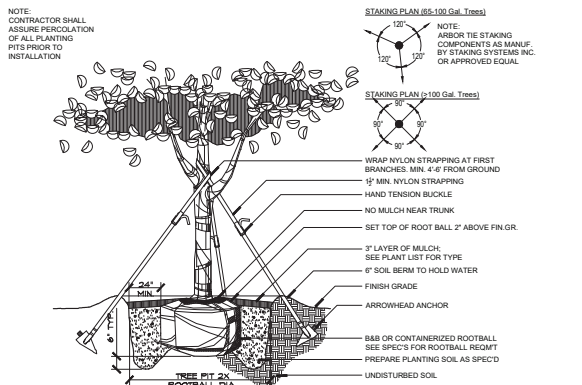
1 SHRUB & GROUNDCOVER SPACING
1/2" = 1'-0"
P.LA-01

2 SHRUB & GROUNDCOVER PLANTING
1/2" = 1'-0"
P.LA-02

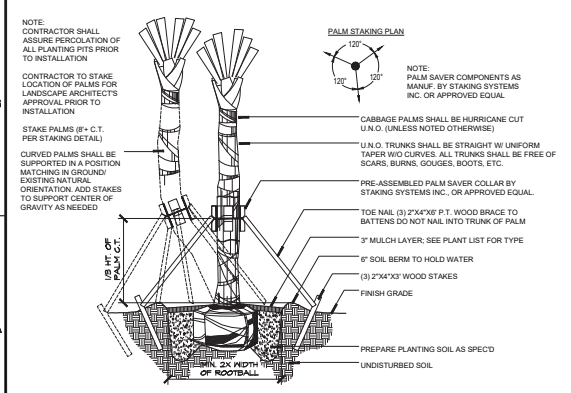
3 FOUNDATION PLANTING
1/2" = 1'-0"
P.LA-03



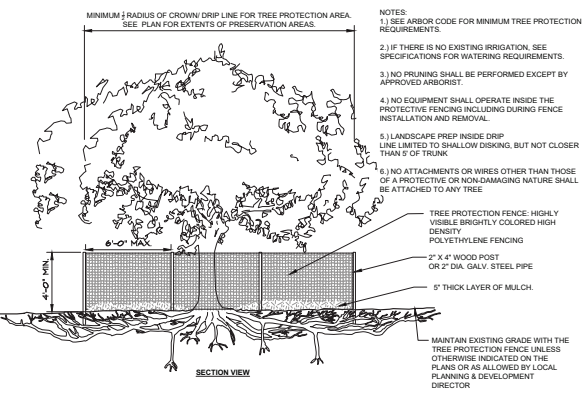
4 TREE PLANTING (15-45 GAL.)
1/2" = 1'-0"
P.LA-05



5 TREE PLANTING (65-100 GAL.)
1/2" = 1'-0"
P.LA-06



6 PALM PLANTING DETAIL
1/2" = 1'-0"
P.LA-07



7 TREE PROTECTION
N.T.S.
P.CO1-WAT-W2C-30

LANDSCAPE SPECIFICATIONS

PART 1 - GENERAL

1.01 WORK INCLUDED

- INSTALLATION OF TREES, PALMS, SHRUBS, GROUNDCOVERS, AND GRASS SOO.
- APPLICATION AND FINISH FOR REQUIRED ITEMS.

1.02 REFERENCES

- GRASSES AND STANDARDS FOR NURSERY PLANTS: FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- AMERICAN STANDARD FOR NURSERY STOCK: ANSI Z60.1-2004, AMERICAN NURSERY & LANDSCAPE ASSOCIATION.

1.03 SUBMITTALS

- RECORD DRAWINGS: FURNISH ONE SET OF REPRODUCIBLE RECORD DRAWINGS, CLEARLY SHOWING ALL CHANGES MADE TO THE ORIGINAL CONTRACT DRAWINGS DURING THE COURSE OF WORK.
- SOIL ANALYSIS: SUBMIT SOIL TEST RESULTS FROM AN INDEPENDENT SOIL TESTING LABORATORY PRIOR TO PLANTING.

1.04 DELIVERY, STORAGE, AND HANDLING

- INSPECTION: UPON DELIVERY TO THE SITE, INSPECT ALL PLANT MATERIALS FOR CONFORMITY TO THE SPECIFICATIONS AND FOR HANDLING DAMAGE. REMOVE FROM THE SITE ALL NON-COMFORMING AND DAMAGED PLANT MATERIALS.
- ON-SITE STORAGE: PROTECT ALL STORED PLANT MATERIALS FROM SUN AND WIND. WATER ALL STORED PLANT MATERIAL DAILY. OWNER TO INDICATE APPROPRIATE LOCATION FOR MATERIAL(S) AND EQUIPMENT STORAGE.

1.05 GUARANTEE

- GUARANTEE ALL PLANTING WORK FOR A PERIOD OF ONE YEAR AFTER THE DATE OF FINAL APPROVAL AND ACCEPTANCE.
- REPLACE AT NO COST TO THE OWNER ALL PLANT MATERIALS WHICH DIE OR ARE DETERMINED BY THE LANDSCAPE ARCHITECT, OR OTHERWISE REPRESENTATIVE TO BE UNACCEPTABLE, UNLESS THE DEATH OR UNACCEPTABLE CONDITION IS CLEARLY BEYOND THE CONTROL OF THE CONTRACTOR, AS DETERMINED BY THE OWNER. SUCH CONDITIONS MAY INCLUDE FACTS SUCH AS OTHER NATURE, THEFT AFTER FINAL INSPECTION, OR VANDALISM. UNACCEPTABLE PLANTS SHALL INCLUDE THOSE THAT SHOW SIGNIFICANT DIE-BACK OR FAILURE TO EXHIBIT THE HEALTHY CHARACTERISTICS INDICATIVE OF THE SPECIES.

1.06 MAINTENANCE

- MAINTAIN ALL LANDSCAPING UNTIL ONE YEAR AFTER FINAL APPROVAL AND ACCEPTANCE.
- MAINTENANCE TO INCLUDE:
 - CULTIVATING AND WEEDING PLANT BEDS AND TREE PITS.
 - APPLICATION OF HERBICIDES AND PESTICIDES.
 - IRRIGATION SUFFICIENT TO SATURATE ROOT SYSTEMS APPLIED DAILY.
 - TRAINING AND PRUNING, INCLUDING REMOVAL OF CLIPPINGS AND DEAD OR BROKEN BRANCHES, AND TREATMENT OF PRUNED AREAS OR OTHER WOUNDS.
 - DISEASE CONTROL.
 - MAINTAINING GUYS AND STAKES IN A TIGHT CONDITION.
 - MAINTAINING TREES IN A PLUMB CONDITION.
 - WEEKLY MONITORING AFTER SOO IS SUFFICIENTLY ROOTED.

PART 2 - PRODUCTS

2.01 PLANT MATERIALS

- TREES AND SHRUBS: ALL PLANT MATERIALS SHALL BE FLORIDA #1 AS OUTLINED IN "GRASSES AND STANDARDS FOR NURSERY PLANTS."
- SOO: PROVIDE ONE (1) BARSBY GROWN, MACHINE CUT SOO OF THE TYPE INDICATED ON THE DRAWINGS. SOO SHALL BE WELL-WATTHED WITH ROOTS, FREE OF EXCESSIVE WEEDS, AND SHALL BE GREEN, FRESH AND UNHURLED AT THE TIME OF PLANTING.

2.02 SOIL MATERIALS

- TOPSOIL: FERTILE, AGRICULTURAL TOPSOIL, TYPICAL FOR PROJECT LOCALITY, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, TAKEN FROM DRAINED SITE, FREE OF SUBSOIL, CLAY, PLANTS, WEEDS AND ROOTS, OR WASTE OF 3:1 TO 3:1 MINIMUM PERCENT MAXIMUM 20 PERCENT ORGANIC MATTER.
- PEAT MOSS: SHREDED, LOOSE, SPHAGNUM MOSS, FREE OF LUMPS, ROOTS, INORGANIC MATERIAL, MINIMUM 80 PERCENT ORGANIC MATERIAL MEASURED BY OVEN DRY WEIGHT, 4 TO 5 PH RANGE, MOISTURE CONTENT OF 50 PERCENT.
- SAND: COARSE, WASHED, BUILDERS SAND.
- PLANTING SOIL MIXTURE: PROVIDE MIXTURE OF IMPORTED TOPSOIL OR APPROVED TOPSOIL FROM SITE, PEAT, SAND, AND OTHER AMENDMENTS AS RECOMMENDED BY THE INDEPENDENT SOIL TESTING LABORATORY FOR THE SPECIFIED PLANTS.

2.03 OTHER MATERIALS

- MULCH: FINE BARK MIN NUGGETS OR PINE STRAW 7" THICK COMPACTED UNDER ALL TREES, PALMS, SHRUBS, & GROUNDCOVER.
- CONTAINERS:
 - FLOWERING ANNUALS AND BEDDING PLANTS: SERRAVALLEN 18-150 (HORN), RATE OF APPLICATION 2.65 PER 100 SQ FT. (12 GALLON PLANTS) 3 TABLETS (35 GALLON PLANTS) TABLETS.
 - CONTAINERS GROWN TREES, SHRUBS, AND GROUNDCOVER: AGRICOLA 21 GRAM TABLETS RATE OF APPLICATION AS FOLLOWS: (12 GALLON PLANTS) 3 TABLETS (35 GALLON PLANTS) 5 TABLETS (100 GALLON PLANTS) 8 TABLETS (150 GALLON PLANTS) 10 TABLETS (200 GALLON PLANTS) 15 TABLETS (250 GALLON PLANTS) 20 TABLETS (300 GALLON PLANTS) 25 TABLETS.
- FIELD GROWN AND COLLECTED TREES: AGRICOLA 21 GRAM TABLETS ONE TABLET PER 2" OF CALIPER FOR STANDARD TREES; ONE TABLET PER FOOT SPREAD FOR MULTI-TRUNK TREES.
- NEWLY PLANTED SOO: 6-6 APPLIED PER MANUFACTURER'S INSTRUCTIONS.

2.04 TESTS

- PROVIDE ANALYSIS OF IMPORTED TOPSOIL, INDICATING pH VALUE AND PERCENTAGE OF NITROGEN, PHOSPHORUS, POTASH, SOLUBLE SILICA, AND ORGANIC MATTER.
- PROVIDE ANALYSIS OF EXISTING SOIL IN REPRESENTATIVE PLANTING AREAS, INDICATING REPRESENTATIVE PLANTING AREAS, INCLUDING LABORATORY RECOMMENDATIONS FOR SOIL AMENDMENTS NECESSARY FOR OPTIMAL PLANT GROWTH.

PART 3 - EXECUTION

3.01 PREPARATION

- FINISH GRADING: FINISH GRADING AS INDICATED ON THE DRAWINGS, ELIMINATING LOW OR ROUGH AREAS, AND BUILDING DEBRIS, STONES AND RUBBLE. FINISH GRASS SHALL BE SLOPED IN THE DIRECTION OF EXISTING DRAINAGE; NEW GRASSES SHALL NOT PREVAIL PONDING OR STANDING WATER.
- ALERT THE OWNER OF POTENTIAL DRAINAGE PROBLEMS, INCLUDING DEPRESSED PLANTING AREAS WITH NO OUTFALL, SATURATED PLANTING AREAS, PLANTING PITS THAT HOLD WATER FOR PROLONGED PERIODS, AND ANY OTHER CONDITIONS UNDESIRABLE TO OPTIMAL PLANT GROWTH.

3.02 PLANTING

- TAKE LOCATIONS OF ALL TREES AND SHRUBS, ALONG WITH ARCHITECTURAL OR ENGINEERING PRECEDENCE FEATHERS AS INDICATED ON THE DRAWINGS. INFORM LANDSCAPE ARCHITECT OF UNFORESEEN OBSTACLES WHICH MAY AFFECT THE LOCATIONS AS SHOWN ON THE DRAWINGS. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR APPROVAL OF ALL CHANGED PLANTINGS PRIOR TO INSTALLATION.
- PLANT TREES AND SHRUBS, ROTATING AS NECESSARY FOR BEST APPEARANCE PER THE PRECEDENCE FEATHERING.
- LAY OUT GRASS BEDS, SCALING THE LOCATIONS AND DIMENSIONS OF EACH BED, FOLLOWING THE CONFIGURATIONS INDICATED ON THE DRAWINGS. ADJUST THE BED DIMENSIONS TO THE QUANTITY AND SPACING OF PLANTS SHOWN ON THE PLANT LIST OR SCALED FROM THE DRAWINGS. BEFORE THE LANDSCAPE ARCHITECT OF SIGNIFICANT DISCREPANCIES BETWEEN PLANNED DIMENSIONS AND PLANT QUANTITIES.
- PLANT SHRUBS AND ANNUALS, MAINTAINING UNIFORM SPACING AS INDICATED ON THE PLANT LIST OR SCALED FROM THE DRAWINGS.
- DISTRIBUTE OR DISPOSE OF EXCAVATED SOIL FROM PLANTING HOLES, MAINTAINING THE DESIRED FINISH GRADE.
- LAY SOO IN FINISH GRADED, MOISTENED SOIL, WITHOUT GAPS OR OVERLAPS. TAMM OR DRILL TO PROVIDE FIRM CONTACT WITH SOIL. SOO LINE AT PLANT BEDS SHALL BE CUT TO THE CONFIGURATION AND DIMENSIONS SHOWN ON THE DRAWINGS. A MINIMUM DIMENSION SHALL BE MAINTAINED BETWEEN PLANTS AND SOO EQUAL TO ONE-HALF THE PLANT SPACING, MEASURED FROM THE CENTER OF THE PLANT TO THE EDGE OF THE SOO. A GROWER ROWING OF 12" MINIMUM SHALL BE MAINTAINED FREE OF GRASS AND TREES WITH SOOED AREAS.
- APPLY FERTILIZER TABLETS, EQUALLY DISTRIBUTED AROUND ROOTBALL AT A DEPTH EQUAL TO ONE-HALF THE ROOTBALL DEPTH. APPLY GRANULAR FERTILIZERS TO SOO AND BEDDING PLANTS. SWEEP FERTILIZERS FROM MULCH.
- SATURATE SOO THOROUGHLY DURING AND AFTER BACKFILLING OF PLANTS, AND AFTER LAMING OF SOO.
- APPLY A LAYER OF MULCH, MINIMUM 1" THICK AFTER SETTLING, TO ALL PLANT BEDS AND TREE RINGS.
- STAKE AND GUY ALL TREES SECURELY. ATTACH WHITE SUPPLEMENTS RIBBON TO ALL GUY WIRES ADJACENT TO PRESTAMPED AREAS.

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351 MARION OAKS BLVD
MARION COUNTY, FL
Prepared For:
A&B PROPERTIES SERVICES

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