



Marion County

Development Review Committee

Meeting Agenda

Monday, November 24, 2025

9:00 AM

Office of the County Engineer

MEMBERS OF THE PUBLIC ARE ADVISED THAT THIS MEETING / HEARING IS A PUBLIC PROCEEDING, AND THE CLERK TO THE BOARD IS MAKING AN AUDIO RECORDING OF THE PROCEEDINGS, AND ALL STATEMENTS MADE DURING THE PROCEEDINGS, WHICH RECORDING WILL BE A PUBLIC RECORD, SUBJECT TO DISCLOSURE UNDER THE PUBLIC RECORDS LAW OF FLORIDA. BE AWARE, HOWEVER, THAT THE AUDIO RECORDING MAY NOT SATISFY THE REQUIREMENT FOR A VERBATIM TRANSCRIPT OF THE PROCEEDINGS, DESCRIBED IN THE NOTICE OF THIS MEETING, IN THE EVENT YOU DESIRE TO APPEAL ANY DECISION ADOPTED IN THIS PROCEEDING.

1. **ROLL CALL**
2. **PLEDGE OF ALLEGIANCE**
3. **ADOPT THE FOLLOWING MINUTES:**
 - 3.1. **November 17, 2025**
4. **PUBLIC COMMENT**
5. **CONSENT AGENDA: STAFF HAS REVIEWED AND RECOMMENDS APPROVAL**
 - 5.1. **Patel Fuel Spires - Major Site Plan**
5149 NW Blitchton Rd Ocala
Project #2025050027 #32835 Parcel #21577-001-00
NV5, Inc.
 - 5.2. **Azaleas Skilled Nursing Facility - Major Site Plan**
Project #2025010041 #32388 Parcel #35695-019-03
Clymer Farner Barley, Inc
6. **SCHEDULED ITEMS:**

**6.1. Jean and Peter Salvas - Family Division Waiver Request
Project #2024090078 #33523 Parcel #44679-003-00
Miranda Andrews**

This item was tabled at the 11/3/25 DRC meeting.

LDC 2.16.1.B(10) - Family Division

CODE states a parcel of record as of January 1, 1992 that is not located in a recognized subdivision or an Ag Lot Split. and is located in the Rural Lands may be subdivided for use of immediate family members for their primary residences. Within the Farmland Preservation Area, each of the new tract and the remaining parent tract must be at least three (3) acres in size. Within the Rural Lands. outside of the Farmland Preservation Area each of the new tract and the remaining parent tract must be at least one (1) acre in size. In the Urban Area, only parcels of record as of January 1, 1992 which are Low Residential property exceeding two (2) acres in size may be divided for the use of immediate family members for their primary residences up to the maximum density of one (1) dwelling unit per gross acre. Immediate family is defined as grandparent, parent, step-parent, adopted parent, sibling, child, step-child, adopted child, or grandchild. A parcel of record shall not be divided more than three (3) times as a family division. Minimum access onto a road or street shall be a shared access that is at least forty (40) feet in width and shall be provided by recorded deed or by recorded non-exclusive easement. No subdivision and conveyance to the same family member more than once shall be permitted. No new parcel created by way of family division may be sold or offered for sale within five (5) years of the date of recording the deed transferring ownership of the new parcel to the immediate family member, except in the event of such immediate family member's death. During the five-year holding period, the immediate family member receiving the resulting family division parcel may convey ownership and interest in that resulting family division parcel to their spouse, as tenants in common with rights of survivorship, consistent with the Laws of Florida. Any subdividing of a parcel of record for the purpose of family division shall follow the waiver request process pursuant to Article 2, Division 10 of the Code.

APPLICANT requests a family division to deed an acre to their daughter.

6.2. Orange Lake Overlook Restoration - Waiver Request to Major Site Plan in Review
19865 N Us Hwy 441 Micanopy
Project #2025030052 #32721 Parcel #02709-000-00
JB Pro

LDC 6.13.2.A (1-3) - Minimum requirements

CODE states A. Plan sheets shall minimally show: (1) All pre-development and post-development basins that contribute runoff to the area proposed for development, including all off-site contributions, and areas that may be impacted by the development fully delineated and quantified. (2) The time of concentration, and travel path, for each watershed. (3) The location and design parameters for all retention/detention areas including: (a) Dimensions or coordinates for constructability. (b) Cross sections, to scale, along the width and length of each pond, showing the design high water elevation, estimated seasonal high water elevation, pond top elevation, pond bottom elevation, side slope steepness, maintenance berm width, sod stabilization of the pond side slopes, and appropriate vegetative cover on the pond bottom. A typical cross section can be used instead when sufficient information is shown on the plan view which minimally includes pond width and length call outs as measured at the pond's top and bottom elevations. (c) Soil boring location with labels.

APPLICANT requests a waiver due to the proposed site plan is under the threshold required for stormwater.

LDC 6.13.2.C - Minimum requirements

CODE states C. Geotechnical investigation report shall minimally include: (1) A summary of all subsurface exploration data and subsurface soil profiles. (2) Exploration logs, laboratory or in situ test results, groundwater information, the interpretation and analysis of the subsurface data. (3) Recommendations for design, discussion of conditions for solution of anticipated problems, and recommended geotechnical special provisions.

APPLICANT requests a waiver due to the proposed site plan is under the threshold required for stormwater.

LDC 6.13.3 - Types of stormwater management facilities

CODE states A. Existing public. (1) An adjacent public retention/detention area may be utilized for disposal of runoff generated by an applicant's improvements if it can be proven that capacity is sufficient. (2) A Stormwater Connection Application is required for any connection to or expansion of a County retention/detention area, including but not limiting to drainage retention/detention areas or conveyance systems, not previously designed or permitted to consider the applicant's improvements. (3) If the retention/detention area is still under a maintenance agreement, approval in writing must be received from the maintenance entity, when not the County, stating no objection to the use of the facility. B. Natural. (1) A natural facility may be used without further excavation upon the applicant's submittal of calculations demonstrating the existing capacity is sufficient. (2) Proof of control, ownership or easement for operation and maintenance of the natural facility shall be provided. (3) Runoff from adjacent property, to a natural facility, must be perpetuated to the extent of protecting upland owner interest. C. Proposed public. (1) Retention/detention areas shall have side slopes no steeper than 4:1 (horizontal: vertical) with a minimum berm width of 12 feet stabilized at six percent grade

maximum around the entire perimeter of the facility. Side slopes steeper than 4:1 may be allowed with additional accommodations related to public safety, maintenance, and access upon approval by the County Engineer or his designee. (2) Stormwater management systems servicing a public development shall be owned and maintained by Marion County. They may be privately owned and maintained, upon approval by the County Engineer and granting of an easement to Marion County, minimally allowing but not obligating, emergency maintenance, as well as access to, drainage of, conveyance of, and storage of stormwater. (3) If fencing is used, it shall be per the County Fence Detail found in [Section 7.3.1 <https://library.municode.com/fl/marion_county/codes/land_development_code?nodeId=LADECO_ART7COSPDEDE_DIV3DEDE_S7.3.1TRST>](https://library.municode.com/fl/marion_county/codes/land_development_code?nodeId=LADECO_ART7COSPDEDE_DIV3DEDE_S7.3.1TRST) Transportation and Stormwater details. (4) The bottom of all dry water retention areas shall have appropriate vegetative cover. (5) A retention/detention area that is adjacent to a public right-of-way shall be constructed to be aesthetically pleasing with curvilinear form and shall be landscaped with a mixed plant pallet meeting Marion-friendly landscaping standards minimally consisting of four shade trees and 200 square feet of landscaping comprised of shrubs and/or groundcover for every 100 lineal feet of frontage or fractional part thereof, or, in the case of a wet facility, a littoral zone meeting the governing water management district criteria. The proposed landscaping shall be arranged to provide ease of maintenance and screening of stormwater structures. D. Proposed private. (1) Residential subdivisions. Retention/detention areas shall have side slopes no steeper than 4:1 (horizontal: vertical) with a minimum berm width of 12 feet stabilized at six percent grade maximum around the entire perimeter of the facility. Side slopes steeper than 4:1 may be allowed with additional accommodations related to public safety, maintenance, and access upon approval by the County Engineer or his designee. (2) Commercial lots or subdivisions. Retention/detention areas shall be designed with a minimum berm width of 5 feet stabilized at six percent grade maximum around the entire perimeter of the facility and side slopes: (a) No steeper than 4:1 (horizontal: vertical); or (b) Steeper than 4:1 with an access path provided to the bottom of the facility at a slope of no steeper than 3:1; or (c) As vertical walls with a structural detail for the wall design provided, adhering to Florida Building Code, an access path provided to the bottom of the facility at a slope of no steeper than 3:1, and an appropriate barrier provided when adjacent to vehicular paths and parking areas. (3) The bottom of all dry water retention areas shall have appropriate vegetative cover. (4) A retention/detention area that is adjacent to a public right-of-way shall be constructed to be aesthetically pleasing with curvilinear form and shall be landscaped with a mixed plant pallet meeting Marion-friendly landscaping standards minimally consisting of four shade trees and 200 square feet of landscaping comprised of shrubs and/or groundcover for every 100 lineal feet of frontage or fractional part thereof, or, in the case of a wet facility, a littoral zone meeting the governing water management district criteria. The proposed landscaping shall be arranged to provide ease of maintenance and screening of stormwater structures. APPLICANT requests a waiver due to the proposed site plan is under the threshold required for stormwater.

LDC 6.13.7 - Geotechnical criteria

CODE states A. Methodology. The pattern and type of test borings shall be determined by the project engineer, geotechnical engineer, or geologist based on the project size, type, and complexity. (1) Infiltration/permeability rate tests shall follow methods acceptable to the governing State agency and shall be performed at

the depth and location which will provide representative test results for use in the design of the retention/detention area. Soil identifications shall refer to the AASHTO Soil Classification System conforming to AASHTO Designation M 145-91. (2) Where visual reconnaissance, available published data, and/or initial borings suggest high karst sensitivity or lithologic variability, additional borings may be required if deemed necessary by the County Engineer or his designee. B. Minimum requirements. (1) Depth. Soil test borings shall be performed to a minimum depth of 10 feet below the proposed finished grade of the bottom of all retention/detention areas or the permanent pool elevation and once the data has been obtained the hole shall be backfilled and compacted. (2) Number of tests. At least two tests shall be performed within the boundary of each proposed retention/detention area. For each half acre of pond bottom area and for each lineal retention/detention area of 250 feet, an additional test shall be conducted. The County Engineer or his designee, may require additional tests if the initial tests indicate the need for them. (3) Infiltration/permeability tests. For retention/detention areas utilizing percolation or infiltration in the design model, there shall be a minimum of two infiltration rate tests for each retention/detention area. Data used for soil permeability testing or infiltration analyses for the retention/detention areas shall be signed and sealed by a professional engineer or professional geologist for both data and procedural accuracy. (4) Aquifer parameters. The estimated seasonal high ground water elevation and confining layer shall be clearly identified. C. Design considerations. (1) The estimated seasonal high water elevation and the confining layer shall be set no lower than the bottom of the boring for the purposes of stormwater system modeling. (2) The pond bottom elevation of a stormwater facility shall be designed a minimum of 1 foot above the estimated seasonal high water elevation. When the pond bottom is within 1 foot of the estimated seasonal high water elevation, a 50 percent reduction factor shall be used for percolation or ground water mounding analysis shall be included.

APPLICANT requests a waiver due to the proposed site plan is under the threshold required for stormwater.

LDC 6.13.8 - Stormwater conveyance criteria

CODE states A. Methodology. Calculations for stormwater collection and transmission systems shall be designed using the Rational Method based on FDOT Zone 7 Intensity - Duration Curves. Ditch and storm drain flow capacity shall be determined from Manning's Formula with coefficients of roughness based on an assumption of conditions of ultimate development. B. Minimum requirements. (1) Design storm. Conveyance systems shall be sized to accommodate the 25-year 24-hour storm event based on the condition of ultimate development. (2) Tailwater. (a) The tailwater elevation utilized shall be based on the tailwater elevation of the receiving water body plus 6 inches at the peak discharge time of the design storm. (b) Alternatively, the tailwater elevation utilized can be the design high water elevation of the 25-year 24-hour design storm. (c) Note that future connections must be able to demonstrate that conveyance can be achieved at all connections, future and existing, meeting one of the above criteria. (3) Lane spread. Lane spread shall be calculated using FDOT criteria considering the 4-inch per hour or 10-year frequency storm as appropriate, to produce the following results: (a) Subdivision Local and Minor Local Roads. The allowable lane spread shall be no greater than the crown (or high side) of the road. For all divided roadways the allowable lane spread shall be no greater than the inside (or high side) edge of pavement. (b) Arterial, Collector, and Major Local Roads. The allowable lane spread shall leave 8 feet of travel lane dry in each direction. (4) Drainage rights-of-way. All

retention/detention areas within subdivision developments shall have direct access to a right-of-way. A drainage right-of-way may be necessary to establish this access. A minimum 12-foot wide, stabilized vehicle access at six percent maximum grade shall be provided to allow for ingress and egress of the retention/detention area. Drainage rights-of-way shall be a minimum of 30 feet in width. As an alternative to right-of-way, access may be provided by an easement of the same width. (5) Drainage easements. All drainage swales to facilities or underground stormwater conveyance systems shall be within drainage easements, except where rights-of-way are provided. Drainage easements shall be a minimum of 20 feet in width. (6) Floodways. If in a floodway or flood prone area, the cross drain shall be sized to accommodate the design intent of that basin. (7) Sizes. Stormwater conveyance pipes and cross culverts shall be a minimum of 18 inches diameter or equivalent. Driveway culverts shall be a minimum of 15 inches diameter or equivalent for residential use and a minimum of 18 inches diameter or equivalent for commercial use. Roof drains, prior to connection to the overall stormwater system, are exempt from minimum diameter requirements. C. Design considerations. (1) Culvert flow capacity shall be determined for the conditions of inlet control or outlet control as applicable. (2) Stormwater collection and transmission systems shall be by inlets, swales, culverts, etc. The use of siphons, pumps, or similar devices is not allowed. (3) Ditch blocks shall be designed and constructed with hard core centers. (4) Stormwater flow velocity shall be taken into consideration in the design of all drainage ditches and appropriate erosion protection shall be provided in accordance with the FDOT Drainage Manual. (5) Where any storm pipe terminates at an earthen slope a mitered end section and concrete collar, or approved equal, is required. Concrete mitered end sections are required for culverts, cross drains and side drains when within a County right-of-way with posted speeds of 40 mph or greater.

APPLICANT requests a waiver due to the proposed site plan is under the threshold required for stormwater.

LDC 6.13.12 - Operation and maintenance

CODE states A. The stormwater management system and associated elements shall be operated and maintained in accordance with this Code, the applicable water management district, the manufacturer's specifications, and other specifications necessitated by the design. B. An operation and maintenance document shall be provided. The owner shall include a signed and dated certification in the document as follows: I hereby certify that I, my successors, and assigns shall perpetually operate and maintain the stormwater management and associated elements in accordance with the specifications shown herein and on the approved plan (this signature is not required until the final submittal). C. Operation and maintenance documentation shall be incorporated into any contracts, covenants, and/or restrictions for the property owner association and/or property management association.

APPLICANT requests a waiver due to the proposed site plan is under the threshold required for stormwater.

- 6.3. Fawn Lake Estates - Waiver for Step Down and Land Use
SSS Unit 27
PID#: 9027-0000-02
Tillman & Associates Engineering, LLC**

LDC 2.1.2.1 Comprehensive Plan - Land Use Requirements

CODE states Outside of the UGB or PSAs, the Development Review Committee may grant a step-down density of one FLU designation where insufficient infrastructure exists to support development at the designated density. For example, parcels designated Medium Residential may be developed as Low Residential with DRC approval in these areas. The Future Land Use Map will be updated to reflect such approvals, coincident with recording the Final Plat.

APPLICANT requests to reduce 47.53 acres of 110.04 acres from HR to MR. Area requesting to be reduced to MR is primarily conservation area. As 110.04 acres, it is required to have 440 units on 62.51 acres. Development standards would require multi-family or townhouses which are not compatible with area. Project being proposed consists of 329 units. The step down would require minimum of 297 units. This is served by two lane roads and surrounded by detached SFR units. Same product is being proposed.

7. CONCEPTUAL REVIEW ITEMS:

8. DISCUSSION ITEMS:

- 8.1. Planning & Zoning Commission Items for 11/24/25
Marion County Growth Services Department**

<https://marionfl.legistar.com/Calendar.aspx>

9. OTHER ITEMS:

10. ADJOURN:



Marion County

Development Review Committee

Agenda Item

File No.: 2025-21407

Agenda Date: 11/24/2025

Agenda No.: 3.1.

SUBJECT:
November 17, 2025



Marion County

Development Review Committee

Meeting Minutes

412 SE 25th Ave
Ocala, FL 34471
Phone: 352-671-8686

Monday, November 17, 2025

9:00 AM

Office of the County Engineer

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1. ROLL CALL

MEMBERS PRESENT:

Michael Savage Chairman (Building Safety Director)
Michelle Sanders (911 Management) for Ken McCann, Vice Chairman (Fire Marshal)
Steven Cohoon (County Engineer)
Chuck Varadin (Growth Services Director)
Tony Cunningham (Utilities Director)

OTHERS PRESENT:)

Ken Odom (Planning/Zoning)
Chris Rison (Planning/Zoning)
Liz Madeloni (Planning/Zoning)
Erik Kramer (Planning/Zoning)
Kevin Vickers (Office of the County Engineer)
Alexander Turnipseed (Office of the County Engineer)
Chris Zeigler (Office of the County Engineer)
Susan Heyen (Parks)
Linda Blackburn (Legal)
Kelly Hathaway (Office of the County Engineer)
Sandi Sapp (Office of the County Engineer)

2. PLEDGE OF ALLEGIANCE

3. ADOPT THE FOLLOWING MINUTES:

3.1. November 3, 2025

Motion by Tony Cunningham to approve the minutes, seconded by Michelle Sanders
Motion carried 5-0

4. PUBLIC COMMENT

5. CONSENT AGENDA: STAFF HAS REVIEWED AND RECOMMENDS APPROVAL

5.1. McGinnis Builders Office and Warehouse - Major Site Plan
Project #2025070053 #33082 Parcel #41503-001-00
Moorhead Engineering Co.

5.2. Orange Blossom Replat #1 - Preliminary Plat
Orange Blossom Replat #1
Project #2025050013 #32811 Parcel #47695-000-01
Clymer Farner Barley, Inc.

5.3. SW Hwy 200 Mattress Warehouse - Major Site Plan
8454 SW Hwy 200 Ocala
Project #2025030012 #32568
Parcel #3501-200-017 & 3501-200-016
MJ Stokes Consulting, LLC

Motion by Tony Cunningham to approve consent items 5.1 and 5.3 with item 5.2 being pulled, seconded by Chuck Varadin Motion carried 5-0

Motion by Tony Cunningham to approve consent item 5.2, seconded by Michelle Sanders
Motion carried 5-0

6. SCHEDULED ITEMS:

6.1. Enclosure - Waiver Request to Major Site Plan
Project #2025090015 #33346 Parcel #3651-006-004
Kristen Wrestling

This item was tabled for 30 days at the October 20, 2025, DRC Meeting for the applicant to work with Stormwater staff.

Motion by Steven Cohoom to un-table, seconded by Chuck Varadin
Motion carried 5-0

LDC 2.21.1.A(1) - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1)

Collectively, all existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet.

APPLICANT requests a waiver for 24 feet by 44-foot patio extension with enclosure.

Motion by Steven Cohoon to approve the waiver request conditionally subject to 1. The applicant providing controls for the excess run-off generated by the 100-year 24hr storm 2. A permit-hold will be in effect until a sketch of the controls is provided and approved by stormwater department 3. A final hold will be in effect until staff conducts a final inspection verifying construction has occurred and disturbed areas have vegetative cover established at time of final inspection, seconded by Michael Savage

Motion carried 5-0

- 6.2. Rotary Sportsplex - Major Site Plan - Extension Request**
5230 SE Maricamp Rd Ocala
Project #2023050108 #30224 Parcel #31413-000-00
Kimley-Horn & Associates, Inc.

On 11/6/25, Applicant requested a one-year extension for this Major Site Plan. The request is to extend it one year from the current expiration date of September 25, 2025. The new expiration date would be September 25, 2026.

Motion by Chuck Varadin to approve, seconded by Michelle Sanders

Motion carried 5-0

- 6.3. Diamond A Shopping Center - Major Site Plan - Waiver to Major Site Plan in Review**
Project #2025100091 #33554
Parcel # 41200-056-04; 41200-056-12 and portion of 41200-056-00
Tillman & Associates Engineering, LLC

LDC 2.1.3 - Order of Plan Approval

CODE states Plans listed below may be reviewed concurrently, but must be approved in the order listed below, when applicable and when the proper land use and zoning are in place: A. Master Plan. B. Preliminary Plat. C. Improvement Plan. D. Final Plat. E. Major Site Plan. However, a Major Site Plan can be substituted for the Improvement Plan and can be approved before approval of the Final Plat in cases when the infrastructure improvements supporting the plat are proposed as part of the Major Site Plan application.

APPLICANT requests a waiver to allow for current approved Improvement Plan (AR #31954) to act as Major Site Plan which will allow owner to pull building permits at their own risk. A hold will be placed on all COs until major site is approved.

Motion by Steven Cohoon to approve, seconded by Tony Cunningham

Motion carried 5-0

6.4. **Orange Lake Overlook Restoration - Major Site Plan - Waiver to Major Site Plan in Review**
19865 N US Hwy 441 Micanopy
Project #2025030052 #32721 Parcel #02709-000-00
JB Pro

DIVISION 10. - KARST TOPOGRAPHY AND HIGH RECHARGE AREAS

CODE states **Sec. 6.10.1. - Purpose and intent.** Marion County is uniquely situated in a geologic area featuring limestone and rock characteristics identified as karst, promoting the quick and rapid movement of water between the surface and the aquifer. As the aquifer is the vital source of Marion County's potable water, as well as much of the State of Florida, its protection and preservation is essential. (Ord. No. 13-20, § 2, 7-11-2013) **Sec.6.10.2. - General requirements.** A. An application for any new development or expansion of existing development, located within a high recharge or karst sensitive area as designated by the appropriate water management district or Marion County maps, shall submit an analysis of site conditions in sufficient detail to define hydrologic and geologic conditions which may guide mining, land development, or construction activities on the proposed site. B. An applicant for any new development or expansion of existing development shall depict karst features on the project site and off-site within 200 feet of the project boundary. (Ord. No. 13-20, § 2, 7-11-2013) **Sec.6.10.3. - Additional submittal requirements.** A. When providing a submittal for the purposes of demonstrating karst feature and high recharge area protection, the following minimal information shall be included: (1) Potentiometric surface map; (2) Geologic bulletins and papers specific to the project area; (3) Geotechnical and hydrogeologic reports or studies, including test borings. The total number of borings shall be determined by the professional responsible for signing and sealing the study; (4) Assessment of sinkhole, cave, lineament, escarpment, solution pipe and other known and potential karst features; and (5) Engineering analysis and recommendations, including: (a) Evaluation of planned site area; and (b) Options and recommendations including but not limited to: 1. Remediation or buffering; 2. Minimization of impervious surfaces; 3. Potential for innovative stormwater collection and protection measures including pre-treatment and shallow drainage retention areas; and 4 Alternatives to stormwater retention basins when soil cover is inadequate to protect the Floridan aquifer. (Ord. No. 13-20, § 2,7-11-2013) **Sec.6.10.4. - Untreated stormwater.** No untreated stormwater shall be directed into a karst feature. (Ord. No. 13-20, § 2, 7-11-2013) **Sec.6.10.5. - Development restrictions.** Development restrictions in high recharge and karst sensitive areas are as follows: A. Businesses or industries which produce, use, or store hazardous materials listed in Section 12.7 shall prepare the proposed development plans in conformance with the requirements of Section 12.8.3, the Florida Administrative Code, and the requirements of this division. B. Non-residential uses shall be set back 200 feet from a sinkhole, unless the sinkhole is remediated or alternative design addressing water quality issues is approved. (Ord. No. 13-20, § 2, 7-11-2013) **Sec.6.10.6. - Karst feature remediation.** If remediation of a karst feature is proposed, the application for development must include a remediation plan containing all details for the remediation activity. A final certification documenting that the karst feature was successfully remediated in accordance with the plan shall be submitted with the final certifications for the development. The remediation plan and final certification must be signed and sealed

by a Professional Engineer or Professional Geologist. Karst features remediated in compliance with this paragraph shall not be required to meet the buffer requirements of this division. (Ord. No. 13-20, § 2, 7-11-2013) **Sec.6.10.7. - Karst feature conservation.** All new development and expansion of existing development shall provide and maintain a permanent vegetative buffer around any sinkhole, cave, lineament, escarpment, solution pipe, and other known karst features that are not remediated. The buffer shall be entirely within a Conservation Easement. The Conservation Easement shall be clearly delineated, labeled, and described on the applicable plan, and follow the provisions in the Habitat Protection section of this Code. A. Buffer Width. The minimum width of the required karst buffer shall be 150 feet for karst features with a direct connection to the aquifer and 75 feet for karst features with no direct connection to the aquifer, as measured from the outermost closed contour or edge of the escarpment, as applicable, but no greater in width than the contributing watershed. These minimum buffer widths may be reduced if the applicant demonstrates either of the following: (1) A narrower buffer can be calculated using the design methodology for calculating buffer width based on infiltration, as set forth in the Applicant's Handbook for Regulation of Stormwater Management Systems, SJRWMD 2005, as amended; or (2) The lot of record is too small to accommodate permitted development in compliance with the minimum width, in which case the applicant shall, as an alternative, design and construct a stormwater control feature such as, but not limited to, a vegetated swale and/or berm that effectively prevents drainage to the karst feature. B. Design Buffer Use. The karst buffer shall be maintained in permanent vegetative cover. In addition, the following shall be prohibited within the buffer: (1) Buildings, pavement and other impervious surfaces, except sidewalks five feet or less wide may be permitted; (2) Septic tank drain fields and any form of domestic wastewater disposal; (3) Drainage retention areas; and (4) Use of irrigation, fertilizers, and pesticides. C. Native Vegetation. The native vegetation shall be restored, preserved, and maintained to provide a buffer around sinkholes in excess of 50 feet in diameter. Applicant Request a waiver due to the proposed site plan is under the threshold required for stormwater.

LDC 6.13.2.(B)- Minimum requirements

CODE states 6.13.2 B. Calculations shall minimally include: (1) Runoff analysis that reflects the project basin soil type, area, and ground cover based on pre-conditions and post-conditions for ultimate development. (2) Time of concentration and travel time analysis for hydrology and hydraulic systems. (3) Soil boring parameters including the confining layer elevation, estimated seasonal high-water elevation, porosity, and permeability rates as justified in the geotechnical investigation report. (4) Hydrologic stormwater model analysis including all input parameters, supporting calculations, assumptions, documentation for design and results. (5) Hydraulic stormwater model analysis including all input parameters, supporting calculations, assumptions, documentation for design and results. (6) A minimum freeboard of six inches shall be provided for all retention/detention areas. (7) Recovery analysis based on drawdown of the total required volume. (8) Calculations must be consistent with the plan sheets and other supporting details. Calculations shall use standard methodology recognized in the State of Florida, including hand and/or computerized calculations.

Applicant states the proposed site plan is under the threshold required for

stormwater

LDC 6.13.4 - Stormwater Quantity Criteria

CODE states A. Methodologies, rainfall distribution and intensities shall be consistent with those approved by the governing water management district. Assumed parameters must be supported by conventional methods. B. Design storms shall consider open or closed basins as provided in Table 6.13-1. C. Discharge conditions (1) All stormwater facilities shall be designed to limit discharges considering open or closed basins per Table 6.13-1. (2) Discharges shall mimic the pre-development condition, match the pre-development location and not exceed the pre-development rate, except when discharging into a stormwater system designed to accept such discharges. (3) The bypass or discharge of offsite runoff, shall be allowed when it mimics the pre-development condition, matches the pre-development location and does not exceed the pre-development rate, except when discharging into a stormwater system designed to accept such discharges. (4) In closed basins with downstream flooding, existing improvements may be included in the pre-development calculations when all of the following apply: (a) The existing improvements were constructed as part of a development with a permitted stormwater system or constructed prior to stormwater permitting requirements; (b) Discharge from the existing improvements are into a private system designed to accept such discharges or a public system; and (c) There is no adverse impact downstream including, but not limited to, flooding of structures or hindering of access. (5) A discharge structure shall be required for all retention/detention areas not designed to retain the entire 100-year 24-hour post-development design storm. (6) Discharge structures shall include a skimmer at a minimum. Design elements such as baffles or other mechanisms suitable for preventing oils, greases, and floating pollutants from discharging out of the facility shall be considered. When discharging from a natural facility, a skimmer may not be required upon approval from the County Engineer or his designee. When a grassed weir is used it shall be constructed with a hard core center or geoweb. D. Recovery. (1) All retention/detention areas shall recover the total volume required to meet the discharge volume limitations within 14 days following the design rainfall event. (2) For retention/detention areas not able to recover the total required volume within 14 days, the stormwater facility volume shall be increased to retain an additional volume of the post minus pre difference in runoff for the 25-year 24-hour design storm when in an open basin or for the post minus pre difference in runoff for the 100-year 24-hour design storm when in a closed basin. The control elevation for retaining this volume shall be no greater than the top of constructed stormwater facility or the easement limits of a natural facility. Credit for the recovered volume through the 14-day duration may be considered to meet this requirement. E. Infiltration or percolation can be considered when establishing the design high and discharge elevation. F. Other design criteria may be used if approved by the County Engineer or his designee. APPLICANT requests a waiver due to the proposed site plan is under the threshold required for stormwater

LDC 6.13.6 - Stormwater Quality Criteria

CODE states A. Methodology. Stormwater management systems may be designed using a combination of design techniques ranging from traditional to low impact. The

method(s) utilized shall focus on enhancing the quality of stormwater discharge and recharge through shallow systems, the processes of adsorption, filtration, denitrification, ion exchange, nutrient uptake, microbial activity, and decomposition.

(1) Exemptions. (a) Sites less than ten acres with an industrial use, as defined by North American Industry Classification System. Larger size exemptions will be considered through the waiver process. (b) Existing commercial parcels two acres in size or less. This exemption shall only apply if the parcel is a parcel of record, with the appropriate land use and zoning, on or before the original adoption of the Springs Protection Ordinance 09-17 dated June 2, 2009. Land use changes and rezonings that occur after this date which create a parcel two acres or less are not exempted. (2) Transportation facilities. Public transportation projects that have a contributing drainage area comprised mostly of the road right-of-way and non-developed natural areas are not considered significant contributors of nutrients and shall meet the water quality standards of the governing state agency. Public transportation projects in urbanized or developed areas shall be evaluated for their nutrient loading impact and designed accordingly. Transportation facilities provided as part of a development shall meet the water quality requirements set forth in this Code unless it is clearly demonstrated that drainage is not received from parcels within the development. (3) The following systems shall be considered as meeting the County's stormwater quality criteria: (a) Systems that demonstrate numerically the post-development stormwater quality is equal to or better than the pre-development stormwater quality using methodology approved by the County Engineer or his designee. Consideration shall be for both surface water and groundwater; or (b) Dry retention systems that have a depth of four feet or less, measured from top of bank to pond bottom, and shall have a vegetative cover; or (c) Dry retention systems that have a depth of six feet or less, measured from top of bank to pond bottom, with side slopes that are no steeper than 4:1 and sodded bottoms; or (d) Wet retention/detention systems, including wetlands, that meet the governing State standards; or (e) Distributed volume. This treatment type shall provide distributed volume within each sub-basin, mimicking the pre-development sub-basin, prior to discharging to the project's stormwater quantity facility. 1. The required volume to be distributed shall be a minimum of 75 percent of the difference between the post-development and the pre-development initial abstraction, not to exceed 1 inch. If the initial abstraction is less than 0.25 inches, a minimum of 0.25 inches shall be used. The initial abstraction shall be calculated using the National Resources Conservation Service Technical Release 55 (NRCS TR-55) methodology. 2. The contributing area shall be of approximately two acres or less. 3. Distributed volume shall be controlled within systems such as, shallow swales, bioretention facilities, or recessed medians located within a right-of-way, drainage right-of-way, drainage easement or conservation easement. 4. When bioretention facilities are used they shall provide retention/detention of stormwater for the basin utilizing vegetated depressions that implement landscaping and soil specifications in the design. 5. Distributed volume upstream of the receiving on-site retention/detention area shall fully recover surface storage within 72 hours. 6. There is no freeboard requirement for systems such as shallow swales, recessed medians or bioretention facilities used to solely achieve distributed volume. 7. Distributed volume shall be allowed within required buffer area if the applicant can demonstrate that the intent of the buffer can still be accomplished. 8. The seasonal high water table shall be a minimum of 1 foot below the invert of the swale or 1 foot below the

bottom of the prepared soil matrix of the bioretention facility. B. Alternative treatment techniques. When proposed systems do not meet the above stormwater quality criteria, two of the following alternative treatment techniques shall be implemented and evaluated per contributing basin. (1) Limiting direct discharge. No greater than 15 percent of the project area can be directly discharged to the water quantity facility. Roof area shall not be included in these calculations and may be directly connected. The remaining impervious area shall be conveyed for a minimum distance of 25 feet at a rate no greater than 1.5 fps for a mean annual storm event to the water quantity facility via overland flow or a vegetated swale. Pipe can only be used when crossing under driveways and roads and when directly connecting roof runoff. (2) Pervious parking. Projects that require more than 30 parking spaces shall utilize porous concrete or asphalt material on a minimum of 20 percent of the total parking spaces required. Approved grass parking spaces may also be used as an alternative to meet this requirement. Use of this alternative may be considered throughout the site and not per contributing basin. (3) Stormwater harvesting system. This technique shall provide for the collection and reuse of stormwater or rainwater through the use of cisterns, underground tanks, wet stormwater facilities, rain barrels or other systems, as may be approved by the County Engineer or his designee. These systems must harvest and reuse the first 1 inch of runoff from a minimum of 40 percent of the impervious area. Two alternative treatment techniques will be satisfied when runoff is collected from a minimum of 80 percent of the impervious area. Use of this alternative may be considered throughout the site and not per contributing basin. These systems must provide the following: (a) An overflow or bypass. (b) A drawdown mechanism by use or direct discharge. (c) Reuse for irrigation or other approved purposes to augment a water supply. (4) Site preservation. This treatment type shall provide for the preservation of natural low areas, existing vegetation, and wetlands as well as karst features, when only non-developed, natural areas discharge to the karst feature. A recorded conservation easement shall be established over the area to be preserved and shall not be less than 10 percent of the parcel of record at time of submittal. Marion-friendly landscaping area and groundwater recharge preservation area, when applicable, may be considered toward meeting this criteria. (5) Limit impervious area. This treatment type shall limit the total impervious area to no greater than 50 percent of commercial or industrial parcels or 30 percent of residential subdivisions or 25 percent of residential parcels (when an individual residential improvement is being proposed without road improvements). (6) Other low impact development treatment types. Alternative techniques may be approved by the County Engineer or his designee in which the technique can demonstrate a water quality benefit greater than or equal to the treatment types provided in this division. C. Best Management Practices (BMPs) are characterized as runoff prevention, retention, detention, and pollution prevention. The following BMPs are required and shall be incorporated as part of the project's stormwater management system and demonstrated by a permit from another agency if applicable: (1) Oil/water separator or comparable BMP technology is required for pre-treating runoff from vehicular traffic areas associated with the following practices: (a) Car washes; (b) Auto or marine paint and body shops; (c) Auto, recreational vehicle, commercial truck, tractor-trailer, farm tractor, heavy machinery, or small engine parts, service and repair operations; (d) Automotive fleet operations; and (e) Gas stations, including convenience stores with gas pumps. (2) A minimum of three feet of

unconsolidated soil material shall be provided between the surface of any limestone bedrock and the bottom and sides of any stormwater facility. Excavation and backfill of suitable material may be made to meet this criterion. (3) Retention and/or detention facilities shall have a maximum depth of ten feet, as measured between the design high water elevation and the pond bottom for dry facilities, and between the design high water elevation and the normal control water elevation for wet ponds. (4) Other best management practices are encouraged, such as but not limited to routine street sweeping, and fertilizer free zones. When practices such as these are proposed and documented in a manner that is enforceable, the County Engineer may accept these as an additional treatment technique. APPLICANT requests a waiver due to the proposed site plan is under the threshold required for stormwater.

Motion by Steven Cohoon to approve the four items with exception of providing the ESOZ plan, seconded by Chuck Varadin

Motion carried 5-0

7. CONCEPTUAL REVIEW ITEMS:

8. DISCUSSION ITEMS:

Growth Services Director stated the P&Z consent items will be on next Monday's DRC meeting agenda

9. OTHER ITEMS:

Utilities Director spoke and asked about the implementation of the new system throughout the departments.

Motion by Tony Cunningham to adjourn, seconded by Micheal Savage

Motion carried 5-0

10. ADJOURN: 9:34 AM

Michael Savage, Chairman

Attest:

Kelly Hathaway
Development Review Coordinator



Marion County

Development Review Committee

Agenda Item

File No.: 2025-21408

Agenda Date: 11/24/2025

Agenda No.: 5.1.

SUBJECT:

Patel Fuel Spires - Major Site Plan

5149 NW Blitchton Rd Ocala

Project #2025050027 #32835 Parcel #21577-001-00

NV5, Inc.

November 5, 2025

PROJECT NAME: PATEL FUEL SPIRES
PROJECT #2025050027
APPLICATION: MAJOR SITE PLAN #32835

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: INFO
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.
- 1 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 6/9/25-add waivers if requested in future
- 1 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
- 1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2.A(1) - Public water service area/provider
STATUS OF REVIEW: INFO
REMARKS: Marion County Utilities Service Area – Project will connect to the existing 12" Marion County Utilities water main.
- 1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2.A(1) - Public sewer service area/provider
STATUS OF REVIEW: INFO
REMARKS: Marion County Utilities Service Area – Project will connect to the existing Marion County Utilities sanitary sewer main.
- 1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.C - All issued permits related to this project shall be submitted to MCU (DOT, ROW, misc)

STATUS OF REVIEW: INFO

REMARKS: Copies of all related permit applications and issued permits must be submitted to the Marion County Utilities Department prior to, or at the time of, the Pre-Construction Meeting.

1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.15.7 - Cross Connection Control and Backflow Prevention

STATUS OF REVIEW: INFO

REMARKS: A backflow hold will be placed on the building permit. Backflows must be tested and the results reported to crossconnectioncontrol@marionfl.org before the final hold can be released.

1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: Additional Utilities comments

STATUS OF REVIEW: INFO

REMARKS: For any questions regarding this review, please contact Heather Proctor, Utilities Development Review Officer, at Heather.Proctor@marionfl.org or by phone at (352) 438-2896.

1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: Additional Utilities comments

STATUS OF REVIEW: INFO

REMARKS: Marion County Utilities (MCU) will require proof of a successful, EOR signed and sealed, hydrostatic leak test for all private manholes and grease traps. MCU inspectors will not perform on-site testing for privately owned systems. A hold will be added to the site's building permit, if applicable. Alternatively, all private manholes may be sealed using the WrapidSeal.

1 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REVIEW ITEM: Additional Health comments

STATUS OF REVIEW: INFO

REMARKS: Central Sewer/Central Water

1 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.5/1.8.2.A - Concurrency/Traffic - Study/Capacity Available?

STATUS OF REVIEW: INFO

REMARKS: Traffic Impact Analysis was completed under AR# 28902

1 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: Additional Landscape comments

STATUS OF REVIEW: INFO

REMARKS: Remove note regarding tree mitigation and payment, alternate mitigation with County through bond agreement

1 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.4.L(4) - Zoning requirements: lot width, area, setbacks, coverage (floor area ratios) and parking

STATUS OF REVIEW: INFO

REMARKS: Initial Review: Add site data table that shows the site's zoning/development standard requirements consistent with the approved master plan. Staff uploaded the approved Master Plan in the Supplemental folder.

10/28/25 - Site data table included. In future submittals, please specify PUD Case No. 220208Z.

1 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 4.4.4 -Sign (provisions for advertising signage), if it is a multi occupancy complex like

shopping centers they must submit a master sign plan.

STATUS OF REVIEW: INFO

REMARKS: Initial Review - Is the entry sign noted at the bottom left (southwest) corner intended to be part of this major site plan? Please add clarifying label/note to the site plan. Also, label the sign's setbacks from the two nearby property lines.

8/14/25 - Provide setbacks for existing signage.

10/31/25 - [INFO] Setbacks provided for sign. Applicant states that a master sign plan will be submitted separately for multi-occupancy complex.

Existing sign on site may or may not be related to proposed commercial business on site. Please be aware that off-site signs are subject to LDC Sec. 4.4.5 provisions. Please contact Growth Services department for more information.

1 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 5.2 & 5.3 - Verify any overlay zones such as ESOZ, Springs Protection, or Flood Plain

STATUS OF REVIEW: INFO

REMARKS: FEMA Flood Zone X

No flood prone areas

No ESOZ

Secondary Springs Protection Zone

1 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: Additional Zoning comments

STATUS OF REVIEW: INFO

REMARKS: JARED RIVERA / GROWTH SERVICES / 352-438-2687 /

JARED.RIVERA@MARIONFL.ORG



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW PLAN APPLICATION

Date: 05/07/2025

A. PROJECT INFORMATION:

Project Name: Patel Fuel Spires
Parcel Number(s): 21577-001-00
Section 04 Township 15 Range 21 Land Use Commercial Zoning Classification PUD
Commercial Residential Industrial Institutional Mixed Use Other _____
Type of Plan: MAJOR SITE PLAN
Property Acreage 1.86 Number of Lots _____ Miles of Roads _____
Location of Property with Crossroads US Hwy 27 & Spires Access Road
Additional information regarding this submittal: the project intent is to design and construct a retail gas station with associated utility infrastructure, parking, and stormwater management facilities

B. CONTACT INFORMATION *(Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.)*

Engineer:
Firm Name: NV5, Inc. Contact Name: Walker Owen, PE
Mailing Address: 11801 Research Dr City: Alachua State: FL Zip Code: 32615
Phone # (352) 331-1976 Alternate Phone # _____
Email(s) for contact via ePlans: walker.owen@nv5.com permiteng@chw-inc.com

Surveyor:
Firm Name: NV5, Inc. Contact Name: Aaron Hickman, PSM
Mailing Address: 11801 Research Dr City: Alachua State: FL Zip Code: 32615
Phone # (352) 331-1976 Alternate Phone # _____
Email(s) for contact via ePlans: aaron.hickman@nv5.com

Property Owner:
Owner: SEMOJ 20 LLC Contact Name: Peter Patel
Mailing Address: 16449 SW Archer Rd City: Archer State: FL Zip Code: 32618
Phone # contact agent Alternate Phone # _____
Email address: contact agent

Developer:
Developer: SEMOJ 20 LLC Contact Name: Peter Patel
Mailing Address: 16449 SW Archer Rd City: Archer State: FL Zip Code: 32618
Phone # _____ Alternate Phone # _____
Email address: _____

Revised 6/2021

335 N.W. 24th Avenue
 Coral Gables, FL 33134
 (305) 441-1424
 www.nv5.com

NV5

ARCHITECT

PROJECT: **SPINELUX**

DATE: 2/4/2017

SCALE: 1/8" = 1'-0"

PROJECT LOCATION: 417 NW 24th Avenue, Coral Gables, FL 33134

CLIENT: SPINELUX

DATE: 2/4/2017

SCALE: 1/8" = 1'-0"

PROJECT LOCATION: 417 NW 24th Avenue, Coral Gables, FL 33134

CLIENT: SPINELUX

DATE: 2/4/2017

SCALE: 1/8" = 1'-0"

PROJECT LOCATION: 417 NW 24th Avenue, Coral Gables, FL 33134

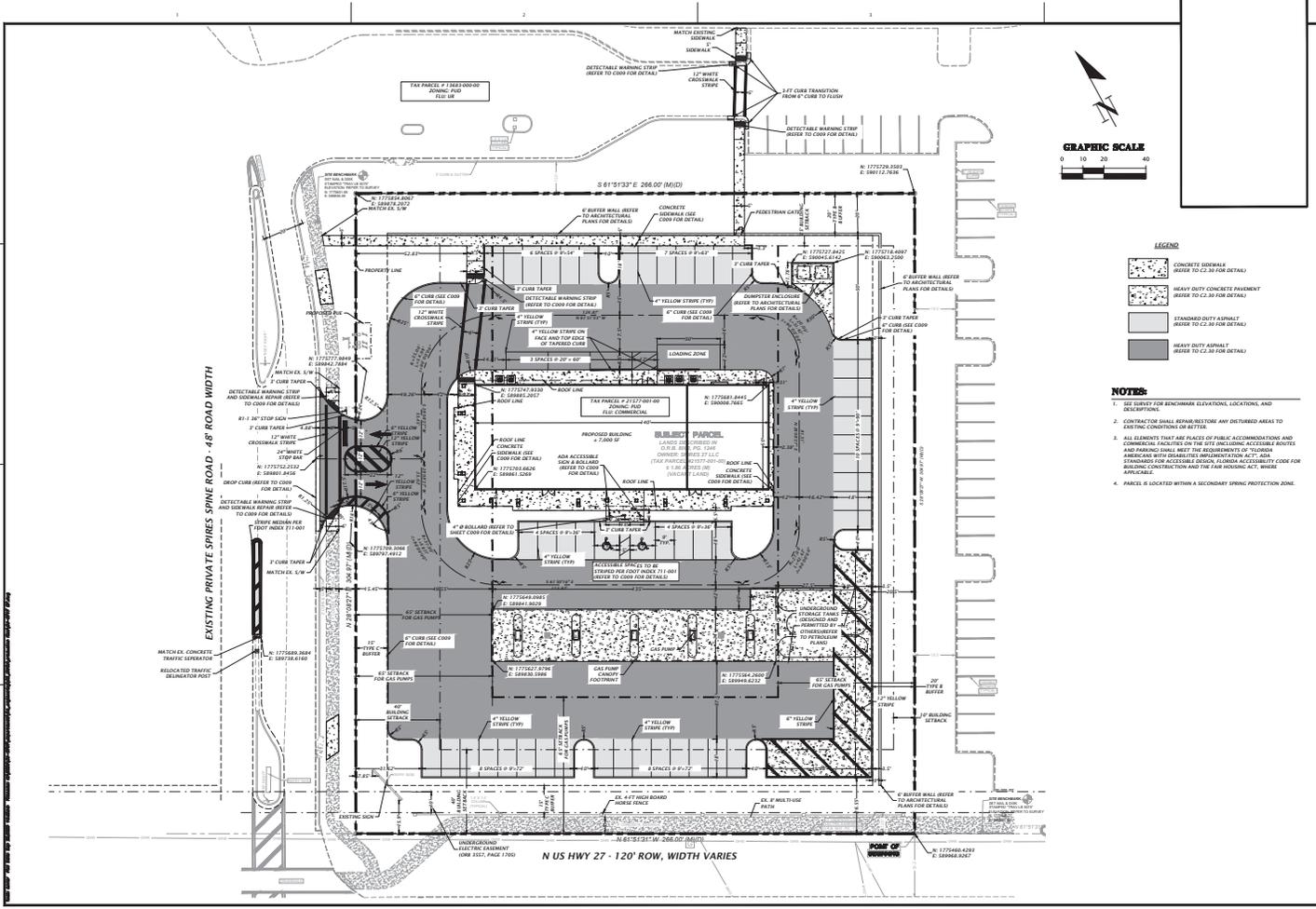
CLIENT: SPINELUX

DATE: 2/4/2017

SCALE: 1/8" = 1'-0"

PROJECT LOCATION: 417 NW 24th Avenue, Coral Gables, FL 33134

CLIENT: SPINELUX



LEGEND

- CONCRETE SIDEWALK (REFER TO C2.30 FOR DETAIL)
- HEAVY DUTY CONCRETE PAVEMENT (REFER TO C2.30 FOR DETAIL)
- STANDARD DUTY ASPHALT (REFER TO C2.30 FOR DETAIL)
- HEAVY DUTY ASPHALT (REFER TO C2.30 FOR DETAIL)

NOTES:

1. SEE SURVEY FOR BENCHMARK ELEVATIONS, LOCATIONS, AND DESCRIPTIONS.
2. CONTRACTOR SHALL REPAIR/RESTORE ANY DISTURBED AREAS TO EXISTING CONDITIONS OR BETTER.
3. ALL ELEMENTS THAT ARE PLACES OF PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES ON THE SITE INCLUDING ACCESSIBLE ROUTES AND PARKING SHALL MEET THE REQUIREMENTS OF THE ADA AMERICANS WITH DISABILITIES IMPROVEMENT ACT, THE ADA STANDARDS FOR ACCESSIBLE DESIGN, FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION AND THE ADA PROVISION ACT, WHERE APPLICABLE.
4. PARCELS 6 LOCATED WITHIN A SECONDARY SPRING PROTECTION ZONE.

C007

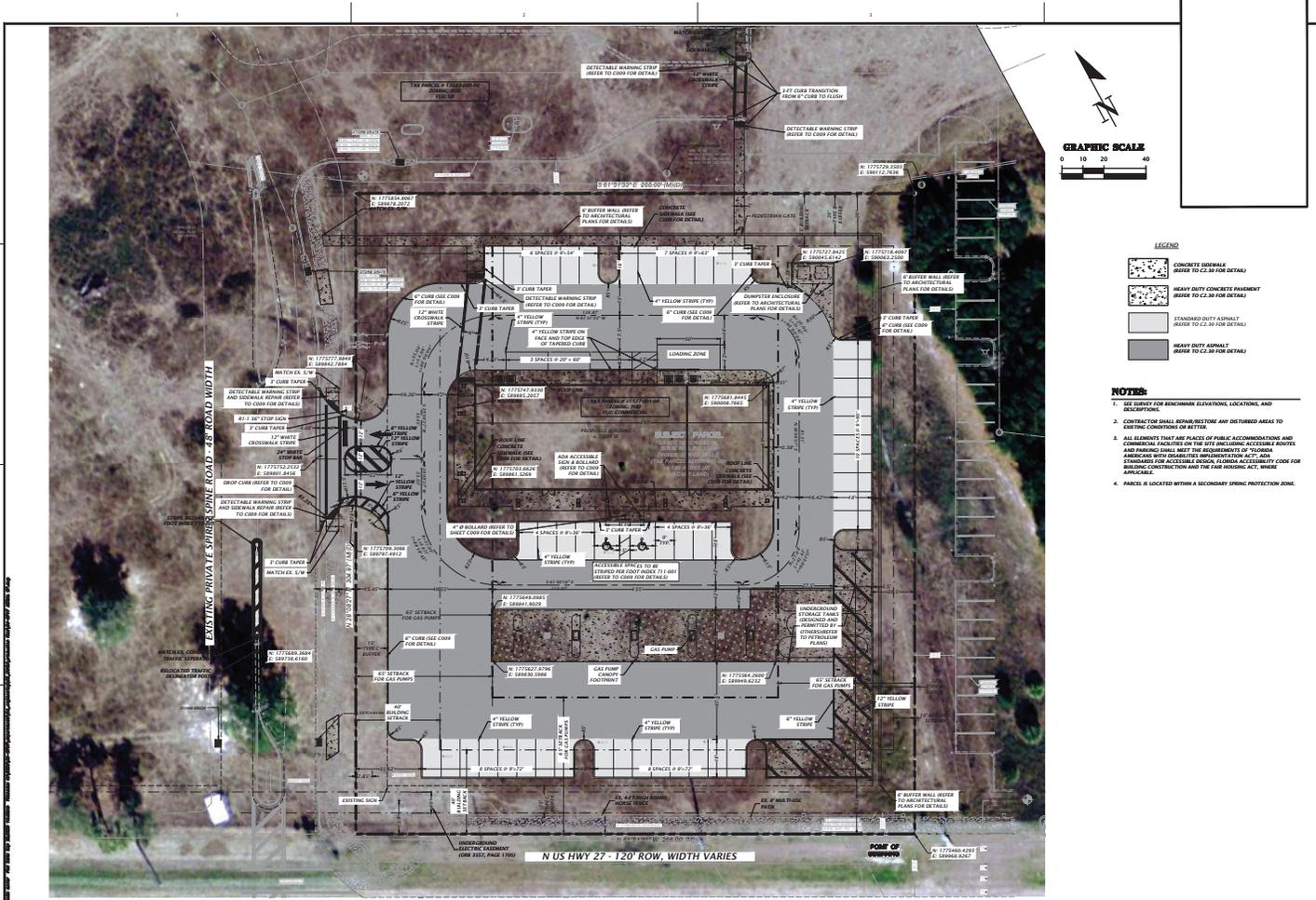
155 N. 2nd Avenue
 Orem, UT 84057
 (801) 224-1424
 www.nv5.com

NV5

PROJECT: **SPRINKLER**
 SHEET: **24-0217**

DATE: 04/20/2023
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]

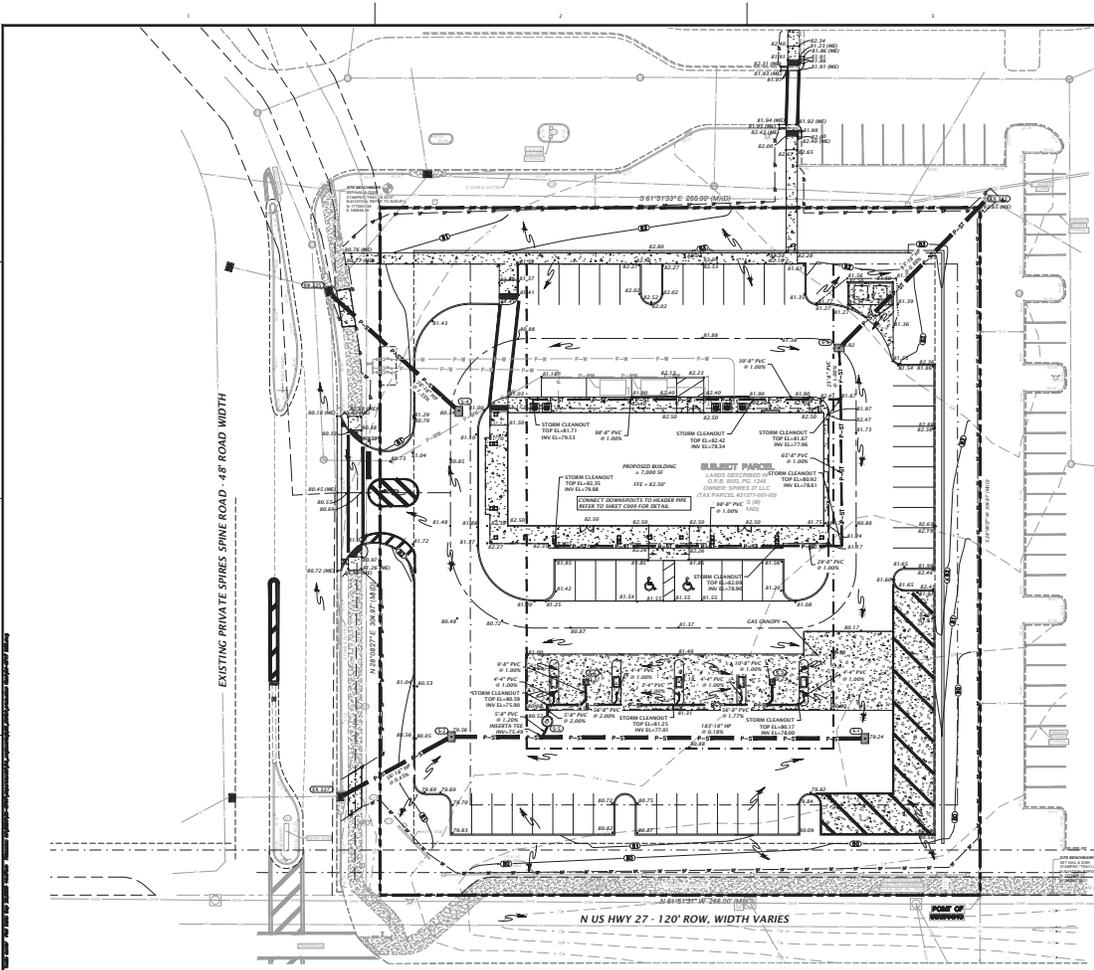
PROJECT: [Name]
 SHEET: [Name]
 DATE: [Name]



- LEGEND**
- CONCRETE BRIDGES (REFER TO C2.30 FOR DETAIL)
 - HEAVY DUTY CONCRETE PAVEMENT (REFER TO C2.30 FOR DETAIL)
 - STANDARD DUTY ASPHALT (REFER TO C2.30 FOR DETAIL)
 - HEAVY DUTY ASPHALT (REFER TO C2.30 FOR DETAIL)

- NOTES**
1. SEE SURVEY FOR BENCHMARK ELEVATION, LOCATION, AND DESCRIPTION.
 2. CONTRACTOR SHALL REPAIR/RESTORE ANY DISTURBED AREAS TO EXISTING CONDITIONS OR BETTER.
 3. ALL ELEMENTS THAT ARE PLACES OF PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES ON THE SITE INCLUDING ACCESSIBLE ROUTES AND PARKING SHALL MEET THE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES IMPROVEMENT ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN, ELEVAION ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION AND THE ADA PRENCO ACT, WHERE APPLICABLE.
 4. BRIDGE IS LOCATED WITHIN A SECONDARY SPRING PROTECTION ZONE.

C007.01



THE WATER GENERATOR BASIC CALCULATION, PER FLORIDA PERMITS CODE 3053.4.2.2, SHOWS A CAPACITY OF 4.47 CF FOR THE 100 SF OF AREA TO BE DRAINED. 1.7 CF OF THIS DRAINAGE IS TO BE DRAINED. 100 SF OF AREA IS TO BE DRAINED.

AREA TO BE DRAINED = 2,297 SF GAS CANOPY AREA. MINIMUM CAPACITY = 4.47 + (1.11 LBS PER SQ YD) x 2,297 CF = 1,276.57 GAL.

AN OIL-WATER SEPARATOR IS DESIGNED WITH A TREATMENT CAPACITY OF 10,000 GALS AND A 10-MINUTE STORAGE CAPACITY OF 40 GALLONS.

SEE SHEET C08.01 FOR DETAILS.

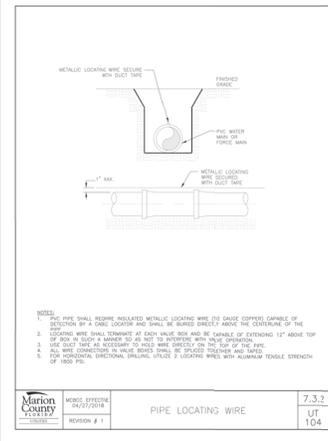
CONTRACTOR NOTE: GAS CANOPY AREA AND GAS CANOPY ROOF DRAINAGE TO BE ROUTED THROUGH # 2 PVC HEADER PIPE AS SHOWN ON THIS SHEET.

STORMWATER STRUCTURE TABLE					
STRUCTURE	STRUCTURE TYPE	TOP	INVERT ELEV.	NO. OF	NOTHING AT
EX 222	EXISTING MANHOLE	82.66	78.41 M	1" P	E 1775731.98
EX 223	EXISTING 12" INLET	80.56	75.31 M	1" P	E 1801771.08
EX 227	EXISTING 12" INLET	81.76	76.57 M	1" P	E 1775832.44
1-1	12" INLET 180' FOOT INDEX	82.00	76.72 M	1" P	E 1775832.41
1-2	12" INLET 180' FOOT INDEX	82.00	76.72 M	1" P	E 1801771.08
1-3	12" INLET 180' FOOT INDEX	82.00	76.72 M	1" P	E 1775832.41
1-4	12" INLET 180' FOOT INDEX	82.00	76.72 M	1" P	E 1801771.08
1-5	12" INLET 180' FOOT INDEX	82.00	76.72 M	1" P	E 1775832.41
1-6	12" INLET 180' FOOT INDEX	82.00	76.72 M	1" P	E 1801771.08
1-7	12" INLET 180' FOOT INDEX	82.00	76.72 M	1" P	E 1775832.41
1-8	12" INLET 180' FOOT INDEX	82.00	76.72 M	1" P	E 1801771.08
1-9	12" INLET 180' FOOT INDEX	82.00	76.72 M	1" P	E 1775832.41
1-10	12" INLET 180' FOOT INDEX	82.00	76.72 M	1" P	E 1801771.08
1-11	12" INLET 180' FOOT INDEX	82.00	76.72 M	1" P	E 1775832.41
1-12	12" INLET 180' FOOT INDEX	82.00	76.72 M	1" P	E 1801771.08
1-13	12" INLET 180' FOOT INDEX	82.00	76.72 M	1" P	E 1775832.41
1-14	12" INLET 180' FOOT INDEX	82.00	76.72 M	1" P	E 1801771.08
1-15	12" INLET 180' FOOT INDEX	82.00	76.72 M	1" P	E 1775832.41
1-16	12" INLET 180' FOOT INDEX	82.00	76.72 M	1" P	E 1801771.08
1-17	12" INLET 180' FOOT INDEX	82.00	76.72 M	1" P	E 1775832.41
1-18	12" INLET 180' FOOT INDEX	82.00	76.72 M	1" P	E 1801771.08
1-19	12" INLET 180' FOOT INDEX	82.00	76.72 M	1" P	E 1775832.41
1-20	12" INLET 180' FOOT INDEX	82.00	76.72 M	1" P	E 1801771.08

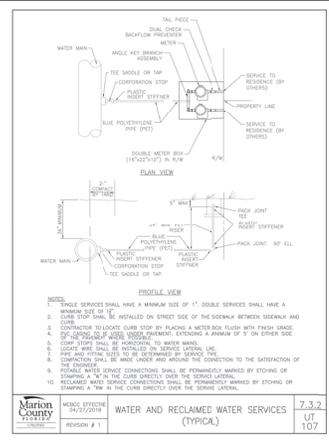
NV5

24.02.17

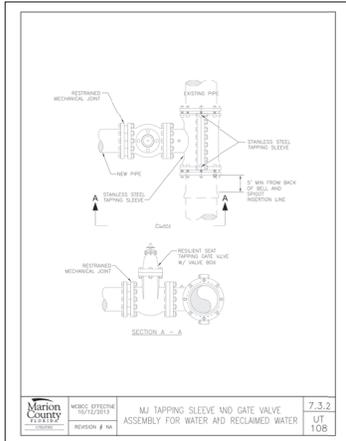
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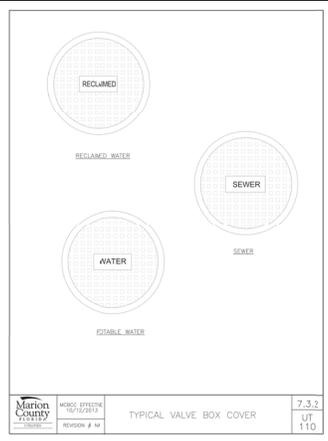
MOSES EFFERTS 10/27/2018
REVISION # 1
PIPE LOCATING WIRE
7.3.2
UT 104



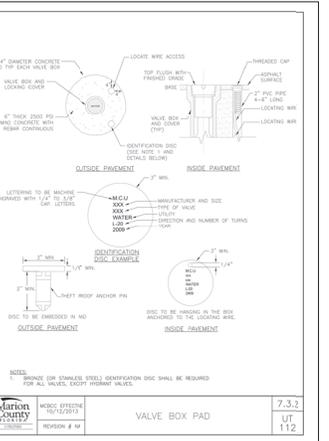
MOSES EFFERTS 10/27/2018
REVISION # 1
WATER AND RECLAIMED WATER SERVICES (TYPICAL)
7.3.2
UT 107



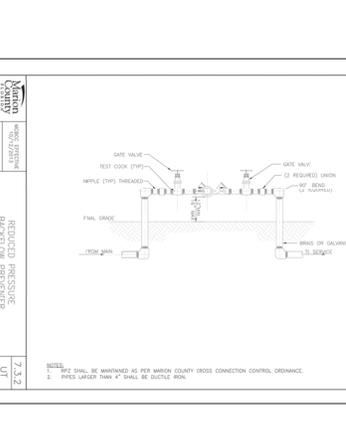
MOSES EFFERTS 10/27/2018
REVISION # 1
MJ TAPPING SLEEVE AND GATE VALVE ASSEMBLY FOR WATER AND RECLAIMED WATER
7.3.2
UT 108



MOSES EFFERTS 10/27/2018
REVISION # 1
TYPICAL VALVE BOX COVER
7.3.2
UT 110



MOSES EFFERTS 10/27/2018
REVISION # 1
VALVE BOX PAD
7.3.2
UT 112



MOSES EFFERTS 10/27/2018
REVISION # 1
REDUCED PRESSURE BACKFLOW PREVENTER
7.3.2
UT 209

335 N.W. 2nd Avenue
Ocala, FL 34401
Phone: 352-237-1421
www.marioncounty.com

NIV 5

MARION COUNTY
ENGINEERING DEPARTMENT
24.0217

EL 95 No. 6420
C011

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
8	1	LEX X ATTENUATA 'DALESTON'	EAGLESTON HOLLY	30 GAL, 11" HT, 3" SPR, 2" CAL
NS	16	LEX X 'NELLIE S. STEVENS'	NELLIE S. STEVENS HOLLY	30 GAL, 7" HT, 3" SPR, 2" CAL
LT	1	LIRIODENDRON TULIPIFERA	TULIP POPULAR (N)	65 GAL, 12" HT, 2" SPR, 3.5" CAL
ML	9	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM SOUTHERN MAGNOLIA (N)	65 GAL, 12" HT, 6" SPR, 3.5" CAL
QSB	5	QUERCUS VIRGINIANA 'BOHEMIAN'	BOHEMIAN LIVE OAK (N)	65 GAL, 14" HT, 6.5" SPR, 3.5" CAL
UPE	9	ULMUS PARVIFLORA 'ALLEE'	ALLEE ELM (N)	65 GAL, 12" HT, 6" SPR, 3.5" CAL
SHRUBS				
EN	34	LEX CORNUTA 'DWARF BURFORD'	DWARF BURFORD HOLLY	3 GAL, 24" HT, 16" SPR
LL	41	LODOPETALUM CHINENSE 'PALM'	PALM LOROPETALUM	3 GAL, 24" HT, X 12" SPR
VS	2	VIBURNUM COORSTISSIMUM	LONGSHO VIBURNUM (N)	3 GAL, 16" HT, X 12" SPR
VD	21	VIBURNUM COORSTISSIMUM	SWEET VIBURNUM	3 GAL, 24" HT, X 12" SPR
VDS	148	VIBURNUM COORSTISSIMUM 'MRS. SCHILLER'S DELIGHT'	MRS. SCHILLER'S DELIGHT VIBURNUM (N)	3 GAL, 16" HT, 16" SPR
ZF	112	ZAMA FLORIDANA	COONITE (N)	3 GAL, 15" HT X 15" HT
GROUND COVERS				
BP	324	CHAMPETIS CHINENSE 'BLUE PACIFIC'	BLUE PACIFIC JAMPER	1 GAL, FULL
LEM	811	LIROPE MEXICANA 'EMERALD COODESS'	EMERALD COODESS LIROPE	1 GAL, FULL
ML	143	MILKWEEDS CAPELLARIS	PINK MILKWEED (N)	1 GAL, FULL
SB	212	SPARTINA BAKERI	SAND CORN GRASS (N)	1 GAL, FULL
TC	36	TRIPLODIUM DACTYLOIDES	PARAGUAY GRASS (N)	1 GAL, FULL
SOILSEED				
S00		PAPPALUM NOTIATUM 'ARGENTINE'	BAHA GRASS	WEED FREE AND SAND GROWN SOO
(N) NATIVE				

LEGEND



GENERAL NOTES

FOR MARION COUNTY CODE SECTION 6.7, 6.8, AND 6.9 LANDSCAPE AND IRRIGATION DESIGN STANDARDS AND TREE PRESERVATION.
 ALL SOILS SHALL BE TESTED FOR PHOSPHORUS AND POTASSIUM. THE RESULTS SHALL BE PROVIDED TO THE DESIGN PROFESSIONAL AND SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT PRIOR TO THE ISSUANCE OF A CONTRACT OF OCCUPANCY.
 ALL IRRIGATION SYSTEMS SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH MARION COUNTY LDC ARTICLE 6.8.1.
 ALL LANDSCAPE INSTALLATION PROFESSIONALS, IRRIGATION INSTALLATION AND MAINTENANCE PROFESSIONALS SHALL MEET ALL REQUIREMENTS IN ACCORDANCE WITH MARION COUNTY LDC ARTICLE 6.8.1 - TESTING AND SURVEYS.
 PER LDC 6.8.3 (D) "ALL PLANT SPECIES LISTED AS "PROHIBITED" IN THE I/F/AS ASSESSMENT OF NON-INDIGENOUS PLANTS (EXCEPT TREES) SHALL BE REMOVED FROM PROPOSED DEVELOPMENT SITES. ALL EXOTIC INVASIVE PLANT SPECIES SHALL BE REMOVED FROM SITES UPON COMPLETION OF THE INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXOTIC INVASIVE PLANTS AND WEEDS FROM THE SITES. THE DESIGN PROFESSIONAL AND SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT PRIOR TO THE ISSUANCE OF A CONTRACT OF OCCUPANCY.
PLANT MATERIAL
 ALL PLANT MATERIAL TO BE PLANTED SHALL BE PLANTED IN ACCORDANCE WITH THE STATE OF FLORIDA DEPARTMENT OF AGRICULTURE, DIVISION OF PLANT INDUSTRY'S SPACING AND SPACING FOR PLANTING. CURRENT EDITION OF THE PLANTING AND SPACING GUIDE SHALL BE USED FOR ALL PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXOTIC INVASIVE PLANTS AND WEEDS FROM THE SITES. THE DESIGN PROFESSIONAL AND SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT PRIOR TO THE ISSUANCE OF A CONTRACT OF OCCUPANCY.
GRASSING
 ALL SOILS AND INVASIVE WEEDS INCLUDING THE ADJACENT RIGHT OF WAY TO BE GRASSED WITH TOP SOIL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXOTIC INVASIVE WEEDS FROM THE SITES. THE DESIGN PROFESSIONAL AND SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT PRIOR TO THE ISSUANCE OF A CONTRACT OF OCCUPANCY.
BUILDING FACADE LANDSCAPE REQUIREMENTS

REQUIREMENTS	PROVIDED LANDSCAPE
SIZE OF THE BUILDING FACADE FACING A ROAD:	120 LF OF LANDSCAPE
TOTAL BUILDING FACADE: 178 LF	
REQUIRED LANDSCAPE: 107 LF	

LANDSCAPED AREA REQUIREMENT

FOR MARION COUNTY CODE 6.8.A, FOR PARCELS OVER 1 ACRE, THE MINIMUM LANDSCAPED AREA MUST BE 2%

LANDSCAPED AREA	PROVIDED LANDSCAPE	PROPOSED VEGETATIVE AREAL - 2% OF 200	TOTAL LANDSCAPED AREA
25,208 SF (0.58)	25,208 SF (0.58)	25,208 SF (0.58)	25,208 SF (0.58)

NATIVE PLANT REQUIREMENTS

NATIVE REQUIREMENTS	PROVIDED NATIVE LANDSCAPE
25% OF ALL LANDSCAPE MATERIAL TO BE NATIVE	27% SHADE TREES

SHADE TREE REQUIREMENT

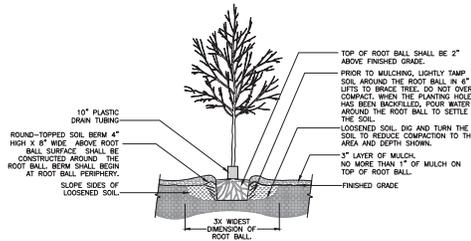
FOR MARION COUNTY CODE 6.7.A, (land-development) 10% OF SHADE TREES IN 20 YRS OF THE 200 ACRES OR MORE. THE MINIMUM OF ONE SHADE TREE PER 3,000 SQUARE FEET.

TOTAL SITE AREA 1.66 ACRES (81,222 SF)	SHADE TREES PROVIDED
81,222 SF	27 SHADE TREES PROVIDED

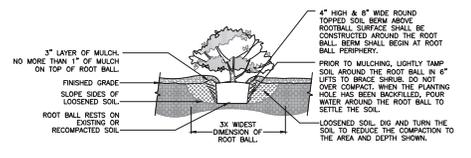
PERIMETER BUFFER REQUIREMENTS

FOR SEC. 6.8.10(3)

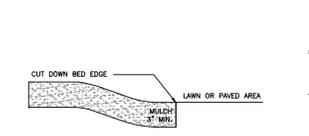
LOCATION	BUFFER TYPE & LENGTH	LANDSCAPE REQUIRED	LANDSCAPE PROVIDED
SOUTH	TYPE C ALONG THE RIGHT-OF-WAY (206 LF)	15' WIDE BUFFER 2 SHADE TREES PER 100 LF (0.2 TREES) 3 ACROTY TREES PER 100 LF (0.3 TREES) SOIL OF THE BUFFER SHALL BE SPREAD AND GROUNDCOVERS (2,000 SF)	15' WIDE BUFFER 2 SHADE TREES 3 ACROTY TREES SOIL OF THE BUFFER SHALL BE SPREAD AND GROUNDCOVERS (2,000 SF)
EAST	TYPE B MULTIFAMILY RESIDENTIAL (297 LF)	20' WIDE BUFFER 2 SHADE TREES PER 100 LF (0.2 TREES) 3 ACROTY TREES PER 100 LF (0.3 TREES) SOIL OF THE BUFFER SHALL BE SPREAD AND GROUNDCOVERS (2,000 SF) BUFFER WALL (2,000)	20' WIDE BUFFER 2 SHADE TREES 3 ACROTY TREES SOIL OF THE BUFFER SHALL BE SPREAD AND GROUNDCOVERS (2,000 SF) BUFFER WALL (2,000)
NORTH	TYPE B MULTIFAMILY RESIDENTIAL (296 LF)	20' WIDE BUFFER 2 SHADE TREES PER 100 LF (0.2 TREES) 3 ACROTY TREES PER 100 LF (0.3 TREES) SOIL OF THE BUFFER SHALL BE SPREAD AND GROUNDCOVERS (2,000 SF) BUFFER WALL (2,000)	20' WIDE BUFFER 2 SHADE TREES 3 ACROTY TREES SOIL OF THE BUFFER SHALL BE SPREAD AND GROUNDCOVERS (2,000 SF) BUFFER WALL (2,000)
WEST	NO BUFFER REQUIRED (280 LF)	NO BUFFER REQUIRED (280 LF)	NO BUFFER REQUIRED (280 LF)



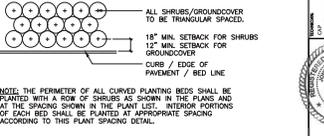
1 TREE PLANTING DETAIL
ROADS N.T.S.



2 SHRUB PLANTING DETAIL
ROADS N.T.S.



3 MULCH DETAIL
ROADS N.T.S.



4 SHRUB PLANTING DETAIL
ROADS N.T.S.



11801 Research Drive
Boynton Beach, FL 33437
www.nv15.com
LAB007049

NV15

PROFESSIONAL SEAL
STATE OF FLORIDA
LANDSCAPE ARCHITECT
NO. 12407
DATE: 2-4-2017

STATE OF FLORIDA
LANDSCAPE ARCHITECT
NO. 12407
DATE: 2-4-2017

LS-1

IRRIGATION LEGEND

SYMBOL	MANUFACTURER/MODEL	ARC	PSI	GPM	RADIUS
■	Two Hunter PCB 25	360	30	2x.25	3'

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
⊙	Hunter PROS-12 with GPH Irrigation Products GPH

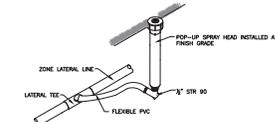
Area to Receive Drip Line
 Hunter HD-10-12
 In-Line Pressure Compensating Landscape Drip Line with Built-in Check Valve, 1.000psi emitters at 12.0" O.C., Drip line laterals spaced at 16.0" apart, with emitters offset for triangular pattern, install drip line on both sides of the plant material.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
⊕	Hunter PCZ in a Jumbo Valve Box
⊙	Hunter POV-101 in a 12" Valve Box
⊖	Zurn 975XL 1" Reduced Pressure Backflow device
⊠	Hunter PC-1000-PL 10 Station Controller
○	Hunter MINI-CLK Rain Sensor
⊕	Nibco T113 1-1/2" Isolation Valve in a 12" Valve Box
⊠	Water Meter 3/4" (see civil plans)

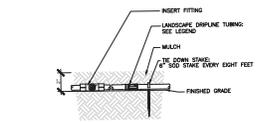
---	Irrigation Lateral Line: PVC Class 160
---	Irrigation Mainline: PVC Class 200 1-1/2"
---	Pipe Sleeve: PVC Schedule 40

Valve Control	Valve Number	Valve Size	Valve Size
⊕	1	12"	12"
⊙	2	12"	12"
⊖	3	12"	12"

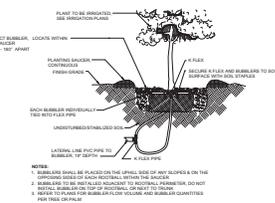
IRRIGATED AREA: 425,000 SF



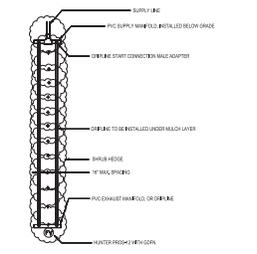
1 SPRAY HEAD INSTALLATION DETAIL
SCALE: N/A



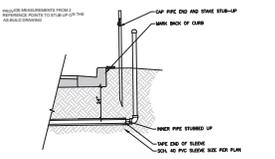
4 DRIPLINE INSTALLATION DETAIL
SCALE: N/A



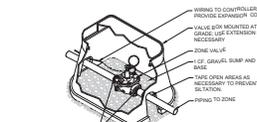
2 BUBBLE APPLICATION
SCALE: N/A



5 DRIPLINE LAYOUT
SCALE: N/A



3 SLEEVING ROUGH-IN DETAIL
SCALE: N/A



6 ZONE VALVE INSTALLATION DETAIL
SCALE: N/A

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 KNOW WHAT'S BELOW
 ALWAYS CALL 811
 BEFORE YOU DIG
 It's fast, it's free, it's the law.
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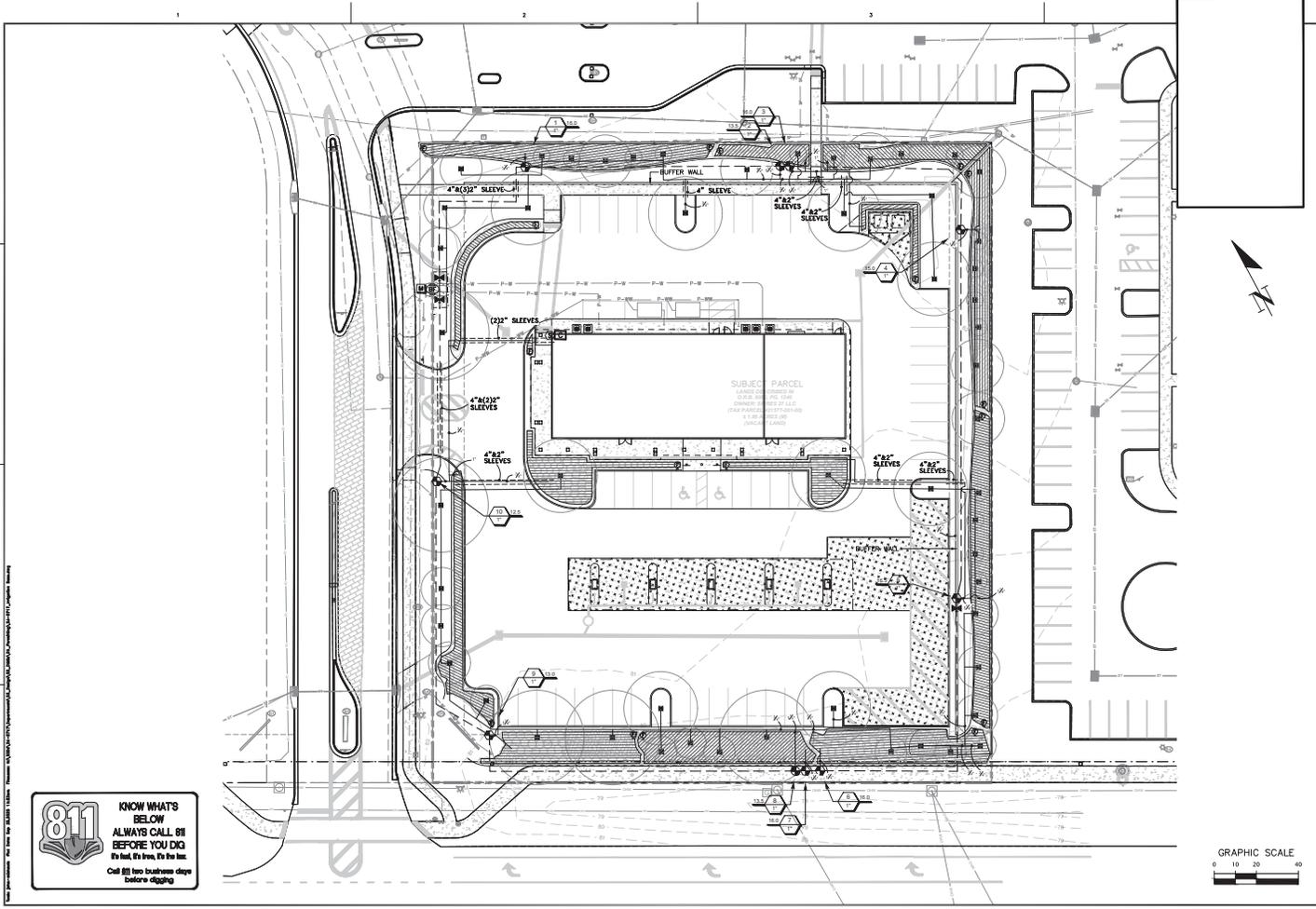
LABORATORY
 11801 RESEARCH DRIVE
 BOYNTON BEACH, FL 33435
 (561) 369-1100
 www.nv15.com

PROJECT NO. 24-0717
 SHEET NO. IR-1
 DATE: 08/17/24
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 APPROVED BY: J. B. BROWN
 PROJECT: 24-0717
 SHEET: IR-1
 DATE: 08/17/24
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 APPROVED BY: J. B. BROWN

STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 J. B. BROWN
 LICENSE NO. 12345
 EXPIRES 12/31/25

STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 J. B. BROWN
 LICENSE NO. 12345
 EXPIRES 12/31/25

IR-1



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PROJECT NO. 11801 RESEARCH DRIVE BOYNTON BEACH, FL 33436
 DATE: 2-4-17

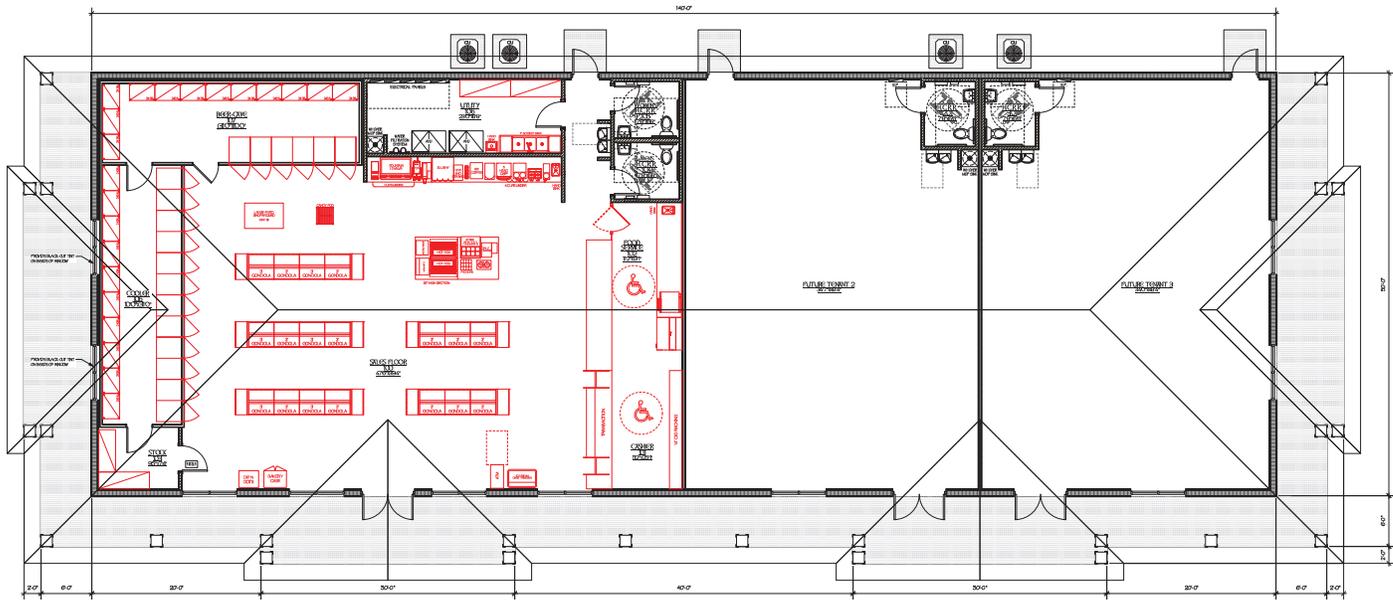
DESIGNED BY: [Name]
 CHECKED BY: [Name]
 DRAWN BY: [Name]

PROJECT NO. 11801 RESEARCH DRIVE BOYNTON BEACH, FL 33436
 DATE: 2-4-17

DESIGNED BY: [Name]
 CHECKED BY: [Name]
 DRAWN BY: [Name]

STATE OF FLORIDA
 LAND SURVEYOR
 NO. 11801 RESEARCH DRIVE BOYNTON BEACH, FL 33436
 DATE: 2-4-17

IR-2



New FLOOR PLAN
2023-08-10

AREA TABULATION	
AREA	SQUARE FOOTAGE
Office	1,200.00 FT
Reception	1,200.00 FT
Storage	1,200.00 FT
Restroom	1,200.00 FT
TOTAL SQ. FT.	7,200.00

REVISIONS		
REV	DATE	DESCRIPTION

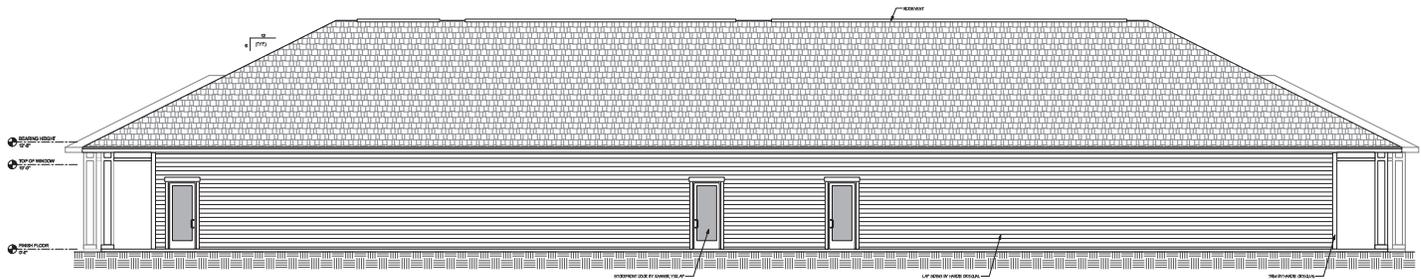
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DA
 DONAHUE ARCHITECTURE, INC.
 1000 W. US HWY 27, SUITE 100
 Ocala, FL 34471
 P: 352.867.5148
 F: 352.867.5149
 www.donahuearch.com
 FL ARCH001266

New Floor Plan

A New Building for Gray Construction
 US Hwy 27
 Ocala, FL 34482

DATE	10/04/24	
JOB	024700	
DRAWN BY	JAD	3
CHECKED BY	JAD	OF
A100		24
FORM SET		



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



West Elevation
SCALE: 1/8" = 1'-0"

REVISIONS	
REV	DESCRIPTION

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 F: 352.887.5149
 www.donahuearch.com
 FL: 1420017665

Elevations

A New Building for Gray Construction
 US Hwy 27
 Ocala, FL 34482

DATE	10/04/24
JOB	0-24-005
DRAWN BY	JAD
CHECKED BY	JAD
A201	OF
7	24



Marion County

Development Review Committee

Agenda Item

File No.: 2025-21409

Agenda Date: 11/24/2025

Agenda No.: 5.2.

SUBJECT:

Azaleas Skilled Nursing Facility - Major Site Plan

Project #2025010041 #32388 Parcel #35695-019-03

Clymer Farnor Barley, Inc

PROJECT NAME: AZALEAS SKILLED NURSING FACILITY
PROJECT NUMBER: 2025010041
APPLICATION: MAJOR SITE PLAN #32388

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.B(8) - Calculation & Plan Consistency
STATUS OF REVIEW: INFO
REMARKS: This criteria to be reviewed with resubmittal.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.
- 4 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: INFO
REMARKS: (1) If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org. (2) Proposed grading and drainage modifications that impact the FDOT ROW drainage systems need to be coordinated directly with FDOT.
- 5 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.5 - Driveway access
STATUS OF REVIEW: INFO
REMARKS: 7/9/25 - County supports driveway location and configuration as shown based upon approved BCC Resolution No. 25-R-194. Permitting of the driveway and improvements along SW HWY 200 through FDOT is required.
2/14/25 - 1) Access to SW HWY 200 requires coordination with FDOT. County does not support direct access to SW HWY 200. Provide County with a copy of any NOI letters received from FDOT. 2) A public ingress / egress cross-access easement is being required of the approved Maro 111 PUD at the roadway labeled SW 100th Street. Position driveway close to the southern property corner adjoining SW 100th Street. Applicant will need to obtain or verify public accessibility for the ingress / egress easement since the existing easement (on record at the time of this review) does not indicate public access.
- 6 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.9.B - Traffic signs
STATUS OF REVIEW: INFO
REMARKS: 7/9/25 - Work with FDOT for final approval of traffic signs related to driveway.
2/14/25 - Traffic sign review pending updated driveway access plan.
- 7 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.9.C - Pavement marking
STATUS OF REVIEW: INFO
REMARKS: 7/9/25 - Work with FDOT for final approval of pavement markings related to driveway.

2/14/25 - Pavement marking review pending updated driveway access plan.

- 8 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 1/24/25-add waivers if requested in future

- 9 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

- 10 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2.C.2(e) - Grease Trap, FOG Worksheet
STATUS OF REVIEW: INFO
REMARKS: 7/1/25 Where does the grease trap drain to the sewer? Not recommended that grease lines run under building. 2.20.25 - Master Utility PG17: Max size 1250 per FAC. (2) PG19 1500 listed, 1250 max per FAC. (2) FOG worksheet will be provided by MCU permitting during building permit review and must be completed and returned to assist with capacity charge and grease trap review.

- 11 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.B - Construction Notes - UT DETAILS - current LDC version
STATUS OF REVIEW: INFO
REMARKS: 7/1/25 Remove UT 303 and UT 214. (2) Use UT 215A for construction. (3) UT305 - Use standard manhole covers for private manholes. (4) remove UT205. 2.20.25 - Utility details are all shown, UT 4/13/2023.

- 12 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.7 - Construction Inspection - PLAN NOTE:
STATUS OF REVIEW: INFO
REMARKS: MCU personnel are to inspect any work performed on or around existing MCU infrastructure. A pre-construction meeting is required to be held a minimum of 48 hours prior to start of any construction. If the pre-construction meeting is not completed, any work may be halted. To schedule, contact MCU's Construction Officer, Brian Nabbie, Brian.Nabbie@marionfl.org

- 13 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.6.B - Irrigation Water Metering - size
STATUS OF REVIEW: INFO
REMARKS: 2.20.25 - What plan page is irrigation shown with meter box sizing, configurations and details?

- 14 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities
STATUS OF REVIEW: INFO
REMARKS: 7/1/25 No fee for this review. 2.20.25 - Fee of \$605.00 (7 Pages) for this review. Fee(s) can be

paid by calling 352-671-8686 or visiting the Development Review Office at 412 SE 25th Ave, Ocala, FL 34471. Reference AR# 32388

- 15 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: Central Sewer/Central Water
If facility is assisted living it will require a food permit through the Department of Health in Marion County. Kitchen plans must be reviewed and approved prior to building. Contact Evan.Searcy@flhealth.gov to determine if the facility will be regulated by DOH.
- 16 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.12.4.L(5)/5.7 - Wellhead Protection - P/S/T Zones Shown/Listed?
STATUS OF REVIEW: INFO
REMARKS: Defer to MCU.
- 17 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.12.9/6.12.2.B - Comp Plan Future Thoroughfares R/W Provided (TE Map)?
STATUS OF REVIEW: INFO
REMARKS: Defer to OCE.
- 18 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.12.5/1.8.2.D - Concurrency - PRELIM Evaluation Required?
STATUS OF REVIEW: INFO
REMARKS:
- 19 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.8 - Topographical Contours
STATUS OF REVIEW: NO
REMARKS: Please submit a survey for review.
- 20 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.9/10 - Existing Drainage Right-of-Way/Easements
STATUS OF REVIEW: NO
REMARKS: Please submit a survey for review.
- 21 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.13/14/15 - General Exhibits
STATUS OF REVIEW: NO
REMARKS: Please submit a National Wetland Inventory map with the site location indicated.
- 22 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.38 - Stormwater Maintenance Entity
STATUS OF REVIEW: NO
REMARKS: Please add the name of the individual who will sign the Owner's Certification to the signature line. The individual signing the certification needs to be an agent or member of the entity that will own and maintain the stormwater system, or an authorized signatory of that entity. If signatory is not an agent or member, a letter authorizing a different individual needs to be submitted with the signed documents. The authorization letter must be signed by and agent/officer of owner. Sunbiz will be used to verify agents and/or officers.
- 23 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.7 - Geotechnical Criteria

STATUS OF REVIEW: NO

REMARKS: (1) Please note that the LDC requires a minimum of two borings per DRA, with an additional boring for each half acre of pond bottom. For lineal system, borings are required at 250' intervals. (2) Please also note that the LDC requires that for each retention/detention area utilizing percolation or infiltration in the design model, there shall be a minimum of two infiltration rate tests for each retention/detention area. (3) Please show boring locations on the plans.

24 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.A(3) - Retention/Detention Area Design Parameters

STATUS OF REVIEW: NO

REMARKS: (1) Please update DRA cross sections to include estimated seasonal high-water elevation, minimum maintenance berm widths, sod stabilization of the pond side slopes, and appropriate vegetative cover on the pond bottom. (2) Please add the following note with the pond cross section: "A minimum of three feet of unconsolidated soil material shall be provided between the surface of any limestone bedrock and the bottom and sides of any stormwater facility." (3) Add coordinates or dimensions to the major pond components (changes in alignment, corners, etc) for constructability.

25 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.3 - Type of Stormwater Facility Criteria

STATUS OF REVIEW: NO

REMARKS: Retention/detention areas serving commercial lots shall be designed with a minimum berm width of 5 feet stabilized at a maximum of six percent grade maximum around the entire perimeter of the facility.

26 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.B(6) - Freeboard

STATUS OF REVIEW: NO

REMARKS: Results to be reviewed pending resolution of comments under "6.13.7 - Geotechnical Criteria"

27 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.4.D - Recovery Analysis

STATUS OF REVIEW: NO

REMARKS: Results to be reviewed pending resolution of comments under "6.13.7 - Geotechnical Criteria"

28 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.6 - Stormwater Quality Criteria

STATUS OF REVIEW: NO

REMARKS: Please indicate the proposed DRA stabilization method on the DRA cross section. DRAs greater than 4' deep require the bottom to be sodded in addition to the side slopes. A waiver to sodding may be pursued if desired. If the waiver is pursued and granted, it will come with the condition that establishment will need to be in compliance with FDOT Standard Specification section 570.

29 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.6.C - Best Management Practices

STATUS OF REVIEW: NO

REMARKS: Please add a karst repair detail to the plan set. If you need an example, please contact the reviewer.

30 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.8 - Stormwater Conveyance Criteria

STATUS OF REVIEW: NO

REMARKS: See comment under "6.13.2.B(5) - Hydraulic Analysis"

- 31 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.B(5) - Hydraulic Analysis
STATUS OF REVIEW: NO
REMARKS: (1) Please clarify the intensity utilized in the conveyance system calculations. LDC requires utilizing the rainfall intensity for 25-year curve on the FDOT zone 7 IDF curves. In the IDF curve, use the duration equal to the Tc when determining the intensity to use. It looks to be about 8.3 in/hr for the 25-year storm using a Tc of 10 minutes. (2) Please include outputs for HGL so that tailwater and freeboard can be verified. Tailwater conditions need to reflect LDC requirements for pond stage/inflow during the 25-year, 24-hour storm.
- 32 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.8.B(7) - Minimum Pipe Size
STATUS OF REVIEW: NO
REMARKS: LDC requires conveyance pipes to be a minimum of 18" diameter or equivalent. Reduction in pipe size to 15" (for conveyance systems) and 12" (for yard drains) can be supported with corroborating calculations; applicants can request a waiver.
- 33 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.A(5) - Existing/Proposed Stormwater Structures
STATUS OF REVIEW: NO
REMARKS: Please label all yard drains and stormwater inlets with FDOT reference or provide details for all structures.
- 34 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.A(6) - Existing/Proposed Stormwater Pipes
STATUS OF REVIEW: NO
REMARKS: (1) Please label all proposed pipes with sizes and materials. (2) The drainage plan appears to depict multiple stormwater pipes routed underneath the proposed buildings. This is not allowable. Please revise the pipe routing to avoid constructing underneath a proposed building.
- 35 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.A(12)/6.12.5 - Stormwater Details, Cross Sections, References
STATUS OF REVIEW: NO
REMARKS: For the proposed retaining walls, please provide enough detail/information with this plan to enable reviewer to determine whether or not private property (adjacent property) will be impacted by the construction or long term maintenance of the retaining wall.
- 36 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.10 - Karst Topography and High Recharge Areas
STATUS OF REVIEW: NO
REMARKS: Please provide a signed & sealed Karst analysis.
- 37 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 7.1.3 - Drainage Construction Specifications
STATUS OF REVIEW: NO
REMARKS: (1) LDC requires the use of RCP pipe for stormwater conveyance piping. To pursue using an alternative material, the engineer needs to submit a request letter identifying the alternative material type requested and providing documentation of compliance with the following conditions: 1. Pipe service life shall be equal to or greater than 100 years. 2. Pipe diameter for High Density Polyethylene (HDPE) and Polypropylene shall be 48" maximum. 3. Polyvinyl Chloride (PVC), HDPE, and Polypropylene pipe shall

not be installed exposed to direct sunlight. 4. Steel pipe shall only be listed as an option after consideration of all other pipe materials and justification is provided. 5. Justification for steel pipe shall include, but not be limited to data and values of water levels, soil conditions, resistivity, pH, chlorides and sulfates. 6. Pipe shall not be installed outside of the allowable maximum and minimum cover heights as specified by the manufacturer.

38 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.12 - Operation and Maintenance

STATUS OF REVIEW: NO

REMARKS: Please provide a signed O&M manual. The individual signing the certification needs to be an agent or member of the entity that will own and maintain the stormwater system, or an authorized signatory of that entity. If signatory is not an agent or member, a letter authorizing a different individual needs to be submitted with the signed documents. The authorization letter must be signed by and agent/officer of owner. Please have the person signing also print their name for verification. Sunbiz will be used to verify agents and/or officers.

39 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.

STATUS OF REVIEW: NO

REMARKS: After all stormwater comments are resolved, please upload a digitally signed and sealed report. A hard copy signed and sealed report can be submitted if desired.

40 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.4.L(2)/3.2.3 - Use Consistent with FLU Designation?

STATUS OF REVIEW: NO

REMARKS: Proposed use is not allowed in current zoning B-2. Rezoning/SUP is required but not approved yet. Please see 'Additional Land Use Comments'.

41 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.4.L(3) - All applicable Developer's Agreements listed?

STATUS OF REVIEW: NO

REMARKS: Please list all approved permits such as developer's agreement, rezoning permit, and Special Use permit on the cover sheet.

42 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 3.2.3/6.6/5.2.5/flood - RESIDENTIAL - Complies with Min/Max Density?

STATUS OF REVIEW: NO

REMARKS: Rezoning/SUP is required but not approved yet. Please see 'Additional Land Use Comments'.

43 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 3.2.3 - NON-RESIDENTIAL - Complies with FAR?

STATUS OF REVIEW: NO

REMARKS: Rezoning/SUP is required but not approved yet. Please see 'Additional Land Use Comments'.

44 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.16/6.5 - [EALS or EALS-ER provided?]

STATUS OF REVIEW: NO

REMARKS: Please provide Environmental Assessment Report or submit Exemption.

45 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 6.5 & 6.6 - Habitat Preservation/Mitigation Provided?

STATUS OF REVIEW: NO

REMARKS: Please provide relocation plan/mitigation plan if any listed species are observed according to the EALS.

46 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.5/1.8.2.A - Concurrency/Traffic - Study/Capacity Available?

STATUS OF REVIEW: NO

REMARKS: Please provide Traffic Study. Defer to OCE for approval.

47 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.5/1.8.2.F - Is Concurrency Approval or Deferral Elected?

STATUS OF REVIEW: NO

REMARKS: Please provide a concurrency statement on the cover sheet according to LDC Sec. 1.8.2 (F) - Concurrency Deferral. An owner may elect to defer required concurrency review and approval for a development application identified in Section 1.8.2.A to a subsequent development application review stage by executing the following "Concurrency Deferral Statement" on the development application plan, or in a separate sworn and notarized affidavit, a copy of which shall be provided to Growth Services and the original shall be recorded in Marion County's Public Records, as applicable: "This project has not been granted concurrency approval and/or granted and/or reserved any public facility capacities. Future rights to develop the resulting property(ies) are subject to a deferred concurrency determination, and final approval to develop the property has not been obtained. The completion of concurrency review and/or approval has been deferred to later development review stages, such as, but not limited to, [list subsequent applications expected pursuant to Section 1.8.2.C as applicable]."

48 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: Additional Planning Items:

STATUS OF REVIEW: NO

REMARKS: Nursing Home Facility requires a Special Use Permit in B-2 or rezoning to R-3 or PUD. SUP or Rezoning approval must be obtained before the Major Site Plan can be reviewed and approved. Land Use rejects the Major Site Plan and this item will remain as NO until the appropriate permit is granted by the Board of County Commissioners for the proposed use.

49 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.3 - Tree protection

STATUS OF REVIEW: NO

REMARKS: Show tree protection on the plan for each tree to be preserved

50 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.9 - Replacement trees; general requirements

STATUS OF REVIEW: NO

REMARKS: Calculation appears to be incorrect - 964" req - 294" preserved= 670" replacement. Providing 626" on site, deficit of 44", not 284". Please verify and correct. Palms cannot count as shade trees

51 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.6 - Buffers

STATUS OF REVIEW: NO

REMARKS: 1. Evergreen (majority) understory trees may be used at a 1:1 basis in lieu of canopy trees where Overhead electric lines conflict. 38 trees required for NW boundary, please revise 2. Show wall on plan for East Boundary 3. Site plan shows 10' of space between property line and parking area, how will 15' buffer fit in?

52 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.7 - Parking areas and vehicular use areas

STATUS OF REVIEW: NO

REMARKS: 1. Provide screening for all parking areas where facing building or where no adjacent buffering is present (DRA, adj property)

53 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.8 - Building landscaping

STATUS OF REVIEW: NO

REMARKS: Please verify all canopy tree distances from building, no closer than 20'

54 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.9 - Service and equipment areas

STATUS OF REVIEW: NO

REMARKS: Please verify dumpster screening, plan references architectural plans not with this submittal

55 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.19.3 - Outdoor lighting plan requirements

STATUS OF REVIEW: NO

REMARKS: no photometric plan with this submittal, please submit a signed and sealed photometric plan for review

56 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.24 - Landscape requirements/6.8.6 - Buffering

STATUS OF REVIEW: NO

REMARKS: 7/9 review:

Buffer conditions were approved as part of Res 25-R-194 (see condition 9 and 15).

[1] Buffers need to be shown, dimensioned and labeled on the site plan sheets 5 through 8, consistent with the landscape plan. For the Type B buffer along the site's east boundary, specifically label the buffer as a Type B Buffer w/ 6' pillar/panel buffer wall.

[2] The 06-24-25 LS sheet states there should be a 15' Type C buffer along SW 200 Hwy. However, on 06 Detailed Site Plan v2, the space between SW 200 property line and parking shown as 10'. This 10' space seems to extend to sheet 07, but the space is not dimensioned. How will a 15' Type C buffer be provided in this 10' space?

[3] Provide a buffer wall detail showing the pillar/panel wall required by condition 15. State the name of the sheet this is provided on.

57 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 4.4.4 -Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan.

STATUS OF REVIEW: NO

REMARKS: 7/9 review:

5' setback is required per 4.4.4.F(2). This comment is [INFO] instead of [NO] to help expedite plan approval. Please show 5' setback for the monument sign shown on sheets 05 and 06 when submitting the plan set for DRC stamp of approval.

58 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: Additional Zoning comments

STATUS OF REVIEW: NO

REMARKS: The Special Use Permit for this project was approved. Per LDC Sec. 2.12.4.L.(4), add the case permit number and resolution number to the cover sheet and site data table on sheet 05.

Case #250402SU

Res: 25-R-194

Resolution and ordinance is located in the supplemental folder of this AR for your convenience.



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW PLAN APPLICATION

Date: _____

A. PROJECT INFORMATION:

Project Name: Azalea Skilled Nursing Facility
Parcel Number(s): 35695-019-03
Section ¹⁹ _____ Township ¹⁶ _____ Range ²¹ _____ Land Use _____ Zoning Classification _____
Commercial Residential Industrial Institutional Mixed Use Other _____
Type of Plan: MAJOR SITE PLAN
Property Acreage ^{9.47} _____ Number of Lots _____ Miles of Roads _____
Location of Property with Crossroads south of SW 93 Street Rd & SW Hwy 200
Additional information regarding this submittal: _____

B. CONTACT INFORMATION *(Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.)*

Engineer:
Firm Name: Clymer Farner Barley, Inc Contact Name: Tyler Counts
Mailing Address: 4450 NE 83rd Road City: Wildwood State: FL Zip Code: 34785
Phone # 352-748-3126 Alternate Phone # _____
Email(s) for contact via ePlans: trayborn@cfb-inc.com

Surveyor:
Firm Name: Clymer Farner Barley Surveying Contact Name: Jeremy Hallick
Mailing Address: 4450 NE 83rd Road City: Wildwood State: FL Zip Code: 34785
Phone # 352-748-3126 Alternate Phone # _____
Email(s) for contact via ePlans: _____

Property Owner:
Owner: C.L.D. Management LLC. Contact Name: Bradford L. Dinkins, Manager
Mailing Address: 101 NE 16th Ave City: Ocala State: FL Zip Code: 34470
Phone # _____ Alternate Phone # _____
Email address: _____

Developer:
Developer: Same as Owner Contact Name: _____
Mailing Address: _____ City: _____ State: _____ Zip Code: _____
Phone # _____ Alternate Phone # _____
Email address: _____

Revised 6/2021

AGENCY	PERMIT #	SUBMITTED	STATUS
MARION COUNTY		1/15/2024	
SEWER		1/15/2024	
WATER		1/15/2024	
FOOT DRAINAGE		1/15/2024	
FOOT ACCESS		1/15/2024	
FOOT WATER		1/15/2024	
FOOT WASTEWATER		1/15/2024	
SPECIAL USE PERMIT		1/15/2024	

MAJOR SITE PLAN FOR AZALEA SKILLED NURSING FACILITY

TRAFFIC IMPACT SUMMARY*

LAND USE	INTENSITY	DAILY TRIPS	AM PEAK HOUR		PM PEAK HOUR			
			TOTAL	IN	OUT	TOTAL	IN	OUT
SKILLED NURSING FACILITY	141 BEDS	431	20	14	0	19	0	13

NOTE: TRIP GENERATION WAS DERIVED USING THE TRIP GENERATION MANUAL (11TH ED.)
NURSING HOME (ITE 820)
 DAILY INDEPENDENT VARIABLE $X = \text{NUMBER OF BEDS}$
 $T = 3.06(X)$
 AM PEAK HOUR OF ADJACENT STREET $T = 0.107(X) + 5.42$ (2% IN, 20% OUT)
 PM PEAK HOUR OF ADJACENT STREET $T = 0.111(X) + 4.98$ (20% IN, 47% OUT)

*TRAFFIC ANALYSIS DATA OBTAINED FROM KIMLEY-HORN'S AZALEA SKILLED NURSING FACILITY
 TRAFFIC STATEMENT: MARION COUNTY, FLORIDA, KIMLEY-HORN PROJECT NO. 04854200P

NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.

AREAS FOR TOTAL SITE (BASED ON FOOTPRINT, NOT INTERIOR SQ. FOOTAGE):

PROPOSED GARAGE	= 49,850 SQ. FT. (20' AC) @ 200%	EXISTING CONCRETE	= 26,500 SQ. FT. (20' AC) @ 100%
PROPOSED GARAGE	= 17,800 SQ. FT. (8' AC) @ 100%	EXISTING ASPHALT	= 5,110 SQ. FT. (0.50 AC) @ 100%
PROPOSED DRIVEWAY	= 10,000 SQ. FT. (0.23 AC) @ 100%	TOTAL DRIVEWAY AREA	= 24,870 SQ. FT. (0.57 AC) @ 100%
PROPOSED DRIVEWAY	= 10,000 SQ. FT. (0.23 AC) @ 100%	PROPOSED DRIVEWAY	= 10,000 SQ. FT. (0.23 AC) @ 100%
PROPOSED DRIVEWAY	= 10,000 SQ. FT. (0.23 AC) @ 100%	PROPOSED DRIVEWAY	= 10,000 SQ. FT. (0.23 AC) @ 100%
PROPOSED DRIVEWAY	= 10,000 SQ. FT. (0.23 AC) @ 100%	PROPOSED DRIVEWAY	= 10,000 SQ. FT. (0.23 AC) @ 100%

LICENSED DESIGN PROFESSIONAL CERTIFICATION:

DESIGNER CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS NOTED.

OWNER CERTIFICATION:

OWNER CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS NOTED.

PROJECT TEAM

OWNER / APPLICANT
 CFC MANAGEMENT, LLC
 101 NE 16TH AVE
 Ocala, Florida 34401
 BRADFORD L. DRINKS, MANAGER
 (352) 321-4844

ARCHITECT
 ARCHITECTURAL CONCEPTS, INC.
 2401 W. BAY DRIVE
 LARGO, FLORIDA 33770
 BO RUSSELL, PRESIDENT
 (772) 504-7178

ENGINEER
 CLYMER FARMER BARLEY, INC.
 7413 ALFORD AVENUE
 MIDDLETON, FL 34702
 TYLER D. COULTER, PE
 FL LIC. NO. 90023
 (352) 748-3128

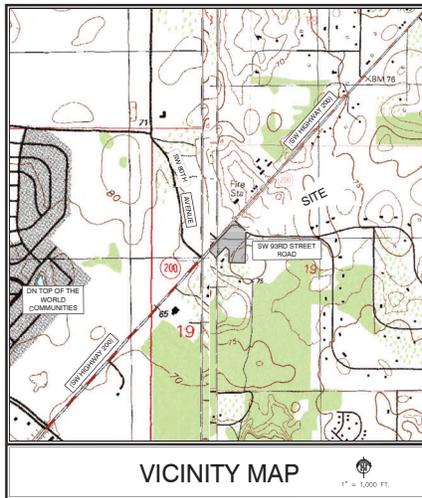
UTILITY CONTACTS

WATER AND WASTE WATER UTILITIES
 MARION COUNTY UTILITIES
 11860 SE U.S. HIGHWAY 441
 BELLEVUE, FL 34402
 (352) 307-6000

SOLID WASTE COLLECTION
 MARION COUNTY APPROVED FRANCHISE

ELECTRICAL POWER UTILITIES
 FLORIDA ELECTRIC
 COOPERATIVE, INC. (FESCO)
 P.O. BOX 3017
 SUWANEEVILLE, FL 32886
 (352) 769-3801; EXT. 1330

ALL CONSTRUCTION IN THE FOOT PRINT SHALL CONFORM TO THE LATEST EDITIONS OF THE 2024-26 FOOT STANDARDS PLANS, THE FOOT STANDARDS SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE FOOT UTILITY ACCOMMODATIONS MANUAL.



VICINITY MAP
 SECTION 19; TOWNSHIP 16 SOUTH; RANGE 21 EAST
 MARION COUNTY, FLORIDA
 PARCEL ID: 38985-019-03
 ZONING: B-2
 FLU: COMMERCIAL
 PROJECT IS LOCATED IN THE SECONDARY SPRINGS
 PROTECTION ZONE NO FEMA FLOOD ZONES OR FLOOD
 PRONE AREAS ON-SITE

SHEET INDEX

Sheet Number	Sheet Title
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07	DETAILED SITE PLAN
08	DETAILED SITE PLAN
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10	DETAILED GRADING PLAN
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14	DETAILED DRAINAGE PLAN
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24	CFB SITE CONSTRUCTION DETAILS
25	CFB SITE CONSTRUCTION DETAILS
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27	MARION COUNTY UTILITY DETAILS
28	EROSION CONTROL PLAN
29	LIFT STATION PLAN
30	OFF-SITE TURN LANE PLAN
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32	STORMWATER STRUCTURE SCHEDULE TABLE
33	DRIVEWAY CONNECTION PLAN AND PROFILE



AZALEA SKILLED NURSING FACILITY

64	14'	OAK	VARIABLE	REMOVE
70	12'	OAK	VARIABLE	REMOVE
71	10'	CHERRY	VARIABLE	REMOVE
72	12'	CHERRY	NON-VARIABLE	REMOVE
73	12'	CHERRY	NON-VARIABLE	REMOVE
74	26'	CHERRY	VARIABLE	REMOVE
75	10'	OAK	VARIABLE	REMOVE
76	12'	OAK	VARIABLE	REMOVE
77	8'	OAK	VARIABLE	REMOVE
78	22'	OAK	NON-VARIABLE	REMOVE
79	12'	CHERRY	VARIABLE	REMOVE
80	12'	PALM	VARIABLE	REMOVE
81	24'	OAK	VARIABLE	REMOVE
82	8'	OAK	VARIABLE	REMOVE
83	28'	OAK	VARIABLE	REMOVE
84	36'	OAK	VARIABLE	REMOVE
85	28'	OAK	VARIABLE	REMOVE
86	12'	OAK	VARIABLE	REMOVE
87	18'	CHERRY	NON-VARIABLE	REMOVE
88	17'	OAK	VARIABLE	REMOVE
89	20'	OAK	VARIABLE	REMOVE
90	10'	CHERRY	VARIABLE	REMOVE
91	20'	OAK	VARIABLE	REMOVE
92	10'	OAK	VARIABLE	REMOVE
93	10'	OAK	VARIABLE	REMOVE
94	30'	CHERRY	VARIABLE	REMOVE
95	18'	OAK	VARIABLE	REMOVE
96	21'	OAK	VARIABLE	REMOVE
97	28'	CHERRY	VARIABLE	REMOVE
98	14'	OAK	VARIABLE	REMOVE
99	22'	CHERRY	VARIABLE	REMOVE
100	36'	OAK	VARIABLE	REMOVE
101	24'	CHERRY	VARIABLE	REMOVE
102	24'	OAK	VARIABLE	REMOVE
103	34'	OAK	VARIABLE	REMOVE
104	28'	OAK	VARIABLE	REMOVE
105	10'	OAK	VARIABLE	REMOVE
106	24'	CHERRY	NON-VARIABLE	REMOVE
107	24'	PINE	NON-VARIABLE	REMOVE
108	14'	CHERRY	VARIABLE	REMOVE
109	17'	OAK	VARIABLE	REMOVE
110	12'	CHERRY	VARIABLE	REMOVE
111	20'	CHERRY	VARIABLE	REMOVE
112	8'	OAK	VARIABLE	REMOVE
113	17'	CHERRY	VARIABLE	PRESERVE
114	12'	CHERRY	VARIABLE	PRESERVE
115	12'	CHERRY	VARIABLE	PRESERVE
116	8'	PALM	VARIABLE	PRESERVE
117	12'	CHERRY	NON-VARIABLE	REMOVE
118	48'	OAK	VARIABLE	PRESERVE

119	14'	CHERRY	NON-VARIABLE	REMOVE
120	12'	CHERRY	VARIABLE	REMOVE
121	28'	CHERRY	VARIABLE	REMOVE
122	8'	OAK	VARIABLE	REMOVE
123	10'	OAK	VARIABLE	REMOVE
124	24'	CHERRY	NON-VARIABLE	REMOVE
125	18'	CHERRY	VARIABLE	REMOVE
126	8'	OAK	VARIABLE	REMOVE
127	8'	CHERRY	NON-VARIABLE	REMOVE
128	8'	OAK	VARIABLE	PRESERVE
129	2'	OAK	VARIABLE	PRESERVE
130	8'	CHERRY	NON-VARIABLE	REMOVE
131	12'	CHERRY	NON-VARIABLE	REMOVE
132	12'	CHERRY	NON-VARIABLE	REMOVE
133	40'	OAK	VARIABLE	PRESERVE
134	14'	OAK	VARIABLE	PRESERVE
135	10'	OAK	VARIABLE	REMOVE
136	36'	OAK	VARIABLE	REMOVE
137	12'	OAK	VARIABLE	REMOVE
138	36'	OAK	VARIABLE	REMOVE
139	50'	OAK	VARIABLE	REMOVE
140	10'	OAK	VARIABLE	REMOVE
141	22'	CHERRY	NON-VARIABLE	REMOVE
142	38'	OAK	VARIABLE	REMOVE
143	14'	OAK	VARIABLE	REMOVE
144	22'	OAK	VARIABLE	REMOVE
145	17'	CHERRY	VARIABLE	REMOVE
146	32'	OAK	VARIABLE	REMOVE
147	24'	OAK	VARIABLE	PRESERVE
148	12'	OAK	VARIABLE	REMOVE
149	14'	OAK	VARIABLE	PRESERVE
150	12'	PALM	VARIABLE	REMOVE
151	12'	PALM	VARIABLE	REMOVE
152	10'	PALM	VARIABLE	PRESERVE



MPA Michael Pape & Associates, PA
 LAND PLANNING • SITE DESIGN • LANDSCAPE ARCHITECTURE
 230 EAST 10TH STREET, SUITE 110 • FORT LAUDERDALE, FL 33304 • WWW.MPAFLA.COM

AZALIA SKILLED NURSING AND MEMORY CARE FACILITY
 HARBOR COUNTY, FLORIDA
TREE REMOVAL PLAN

DATE: 01-18-22
 DRAWN BY: JRE
 CHECKED BY: JRE
 SHEET: 2 OF 2

TR-2

GENERAL NOTES:

- 1. THESE GENERAL NOTES APPLY TO ALL WORK IN THIS SET OF DRAWINGS
2. THE APPLICANT (C.L.D. MANAGEMENT, LLC) WILL OWN AND MAINTAIN THE IMPROVEMENTS ON SAID PARCEL PER LEGAL DESCRIPTION
3. THE STANDARD DETAILS FOR THIS PROJECT SHALL BE FOUND IN:
MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION
FOOT STANDARD PLANS FOR ROAD CONSTRUCTION
MARION COUNTY STANDARD WATER AND SEWER DETAILS
MARION COUNTY LAND DEVELOPMENT REGULATIONS
MARION COUNTY STANDARD SPECIFICATIONS
4. ALL SIGNAGE, PAVEMENT MARKING, AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH FHWA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AND LOCAL REGULATIONS
5. ALL SIGNAGE SHALL BE IN PLACE PRIOR TO FINAL INSPECTION OF PAVING IMPROVEMENTS
6. CONTRACTOR SHALL REVIEW ALL PERMITS PRIOR TO CONSTRUCTION FOR ANY CHANGES TO THE DESIGN INCLUDED THEREIN. NOTIFY ENGINEER/OWNER OF ANY REQUIRED CHANGES PRIOR TO CONSTRUCTION
7. THE CONTRACTOR SHALL ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL ABIDE BY ALL CONDITIONS CONTAINED THEREIN. PERMITS INCLUDE BUT NOT NECESSARILY LIMITED TO:
COUNTY
CITY
WATER MANAGEMENT DISTRICT ENVIRONMENTAL RESOURCE PERMIT (ERP)
FOOD WASTE AND SEWER
LOCAL UNDERGROUND UTILITIES
FOOD WASTE STORMWATER
8. ALL MATERIALS, MACHINERY, AND VEHICLES SHALL BE STORED ON-SITE IN AN ORDERLY ORGANIZED FASHION
9. CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS, INCLUDING BUT NOT LIMITED TO WATER, SEWER, POWER, TELEPHONE, GAS, AND CABLE TV COMPANIES
10. PRIOR TO COMMENCEMENT, CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER WITH CONSTRUCTION SCHEDULE FOR VARIOUS SITE WORK ELEMENTS
11. CONTRACTOR SHALL FURNISH THE ENGINEER/OWNER WITH ACCURATE SURVEY RECORD DRAWINGS SHOWING AS-CONSTRUCTED HORIZONTAL AND VERTICAL ALIGNMENT OF THE WORK. ALL INFORMATION WHICH IS UNCHANGED AND CURRENT SHALL BE NOTED BY CHECKING OFF OR CIRCLING. ALL REVISED INFORMATION SHALL BE CHECKED THROUGH AND NEW DATA ADDED
12. AT THE BEGINNING OF CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES CRITICAL TO COMPLETING THE PROJECT INCLUDING WATER, SEWER, POWER, TELEPHONE, GAS, AND CABLE TV AND SHALL EVALUATE POTENTIAL CONFLICTS. ALL SUCH CONFLICTS SHALL BE REPORTED TO ENGINEER/OWNER IMMEDIATELY UPON DISCOVERY
13. THE LOCATIONS OF EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS FOR FIELD LOCATIONS AND FOR ANY RELOCATIONS OF THE VARIOUS EXISTING UTILITIES WITH THE UTILITY OWNERS, WHICH SHALL BE DONE IN A TIMELY FASHION TO MINIMIZE THE IMPACT ON THE CONSTRUCTION SCHEDULE. ANY DELAY OR INCONVENIENCE CAUSED BY THE RELOCATION OF THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED
14. ANY OFFERING SITE CONDITION FROM THAT WHICH IS REPRESENTED HEREIN, WHETHER ABOVE, ON, OR BELOW THE SURFACE OF THE GROUND, SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER AND OWNER IN WRITING PRIOR TO CONSTRUCTION IN THE AREA IMPACTED BY THE CONFLICT. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO OFFERING SITE CONDITIONS WILL BE ALLOWED IF THE CONTRACTOR FAILS TO PROVIDE THE REQUIRED WRITTEN NOTIFICATION OF SUCH CONDITIONS FOR REVIEW BY THE ENGINEER AND OWNER
15. ALL RECOMMENDATIONS AND REQUIREMENTS OF INSPECTION PERSONNEL OTHER THAN OWNERS SHALL BE REPORTED TO ENGINEER/OWNER PRIOR TO IMPLEMENTATION. COMPENSATION WILL NOT BE ALLOWED FOR WORK WHICH IS NOT AUTHORIZED BY ENGINEER/OWNER
16. ALL WORK SHALL BE OPEN TO AND SUBJECT TO INSPECTION BY AUTHORIZED PERSONNEL OF THE LOCAL JURISDICTION, OWNER, INVOLVED UTILITY COMPANIES, PROJECT ENGINEER AND REGULATORY AGENCIES
17. CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE INFORMATION PROVIDED IN THESE PLANS. IF IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLETELY STAKE AND CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL AND VERTICAL, PRIOR TO THE INSTALLATION OF ANY IMPROVEMENT
18. CONTRACTOR SHALL CONFIRM COMPATIBILITY OF PIPE SLOPES AND INVERTS DURING SHOP DRAWING AND MATERIALS ORDERING PHASE OF PROJECT AND ADVISE ENGINEER OF ANY DISCREPANCIES
19. NO EXISTING MATERIAL SHALL BE USED IN NEW CONSTRUCTION UNLESS APPROVED DURING THE SHOP DRAWING APPROVAL PROCESS
20. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ENGINEER'S REVIEW PRIOR TO PROCUREMENT OF MATERIALS
21. CONTRACTOR TO SUBMIT COPIES OF ALL TESTING REPORTS TO THE OWNER AND ENGINEER FOR ACCEPTANCE AND CERTIFICATIONS
22. CONTRACTOR TO PRESERVE ALL MONITORING WELLS IDENTIFIED ON-SITE
23. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING PROPER TRAFFIC MAINTENANCE AND CONTROLS IN ACCORDANCE WITH REGULATORY STANDARDS, WHERE A TRAFFIC MAINTENANCE PLAN REQUIRED) SHALL BE PREPARED BY AN FOOT CERTIFIED DESIGNER AND SUBMITTED BY CONTRACTOR FOR APPROVAL BY OWNER, ENGINEER, AND CITY OR COUNTY
24. IF IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE PROJECT SITE DURING CONSTRUCTION, TO PREVENT TRESPASSING OF UNAUTHORIZED PEDESTRIANS AND/OR VEHICLES IN ALL WORK AREAS, THE CONTRACTOR SHALL POST SIGNS, CONSTRUCT BARRIERS, OR IMPLEMENT OTHER METHODS NECESSARY TO CONTROL ACCESS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR TRESPASSING ON THE CONSTRUCTION SITE OR DAMAGE TO ANY WORK RELATED THEREOF
25. CONTRACTOR SHALL PROTECT ALL ADJACENT WETLANDS, WATERSHEDS, AND PROPERTIES FROM DAMAGE BY REMEDIATION OR OTHER POTENTIAL CONSTRUCTION RELATED CAUSES
26. CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES WHICH ARE TO BE SAVED, WHETHER SHOWN IN THE PLANS OR DESIGNATED IN THE FIELD. CONTRACTOR SHALL BECOME FAMILIAR WITH AND CONFORM WITH ALL TREE PROTECTION/RESPIRATION PROVISIONS OF THE CONTRACT DOCUMENTS AND LOCAL GOVERNMENT
27. ALL FOOT DESIGN DETAILS ARE HEREBY INCORPORATED AS PLAN REFERENCES HEREIN. CONTRACTOR IS RESPONSIBLE FOR OBTAINING COMPLETE COPIES OF ALL DESIGN INDEX DRAWINGS AND CONSTRUCTING ALL WORKS IN CONFORMANCE WITH THE FOOT DESIGN STANDARDS, LATEST EDITION.

- 28. CONTRACTOR SHALL APPLY FOR A RIGHT-OF-WAY UTILIZATION PERMIT, AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE SCHEDULED START DATE, FOR ANY WORK TO BE DONE WITHIN THE CITY'S RIGHT-OF-WAY
29. NO VERT-PACK COMPACTORS PROPOSED
30. NO ROLL-OFF COMPACTORS PROPOSED
31. NO FREESTANDING COMMERCIAL SIGN PROPOSED
PAVING, GRADING & DRAINAGE NOTES:
32. SITE PAVING AND DRAINAGE MATERIALS AND CONSTRUCTION SHALL CONFORM TO FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, INsofar AS THEY APPLY TO THESE DESIGNS HEREIN, AND THE LOCAL JURISDICTION REGULATIONS AND SPECIFICATIONS, WHERE SUCH SPECIFICATIONS DIFFER. THE MORE STRINGENT SHALL APPLY, SUBJECT TO DETERMINATION OF THE ENGINEER
33. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SURVEY MONUMENTATION. DISTURBED MONUMENTATION SHALL BE RESTORED BY A FLORIDA LICENSED LAND SURVEYOR SELECTED BY THE OWNER AT CONTRACTOR'S EXPENSE
34. DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO ENSURE AGAINST POLLUTING, SPILLING, OR DISTURBING TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO THE EXISTING CANALS AND OFFSITE DRAINAGE SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL PERMIT REQUIREMENTS RELATED TO SUCH MEASURES. ANY MEASURES SHOWN OR DETAILED IN THESE DRAWINGS SHALL BE CONSIDERED MINIMUM AND SHALL NOT ALLEVIATE CONTRACTOR FROM THE RESPONSIBILITY TO IMPLEMENT ANY MEASURES NECESSARY TO PROVIDE PROTECTION
35. THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY HAS AUTHORIZED THE STATE OF FLORIDA TO ADMINISTER THE NATIONAL POLLUTANTS DISCHARGE ELIMINATION SYSTEM (NPDES). CONTRACTOR IS ADVISED THAT OPERATORS ARE REQUIRED TO FILE WITH FDEP A NOTICE OF INTENT TO USE THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES THAT DISTURB ONE OR MORE ACRES OF LAND. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SUBMIT THE NOTICE OF INTENT (NOI) TO FDEP WITH A COPY TO THE OWNER AND THE ENGINEER AT LEAST 48 HOURS BEFORE INITIATING CONSTRUCTION
36. CONTRACTOR SHALL PROVIDE ACCURATE AS-BUILT DIMENSIONS AND ELEVATIONS OF THE STORMWATER MANAGEMENT AREAS AFTER FINAL GRADING AND PRIOR TO GRASSING THE SLOPES. CONTRACTOR MUST OBTAIN ENGINEER'S APPROVAL PRIOR TO GRASSING. IF ANY MODIFICATIONS ARE NEEDED, ADDITIONAL AS-BUILT MUST BE FURNISHED
37. GEOTECHNICAL SERVICES HAVE BEEN PROVIDED DIRECTLY TO THE OWNER. GEOTECHNICAL RECOMMENDATIONS ARE NOT THE RESPONSIBILITY OF CLM/FARMER BARILEY, INC. (CFB). CFB ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS, COMPLETENESS, OR ACCURACY OF GEOTECHNICAL INFORMATION
38. ELEVATION OF GRASSING AREAS ARE GIVEN AT FINISHED GRADE (TOP OF SOO OR SEEDING SURFACE)
39. ALL DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS INDICATED OTHERWISE
40. PIPE LENGTHS SHOWN REPRESENT DISTANCES BETWEEN CENTERLINES OF DRAINAGE STRUCTURE AND FROM INVERTS OF DOWNSILLS AND/OR PIPE ENDS. BIDDERS SHALL ADJUST FOR PIPE LENGTHS WHEN BIDDING PIPE
41. ALL OFF-SITE DISTURBED AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION, OR BETTER
42. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND DISPOSING OF ALL WASTE MATERIALS CONSISTENT WITH ALL RULES AND REGULATIONS APPLICABLE TO THE SPECIFIC MATERIAL FOUND
43. CONTRACTOR SHALL INSTRUCT THE GEOTECHNICAL TESTING LABORATORY PERFORMING CONSTRUCTION TESTING TO PROVIDE CFB WITH COPIES OF ALL SITE WORK TEST REPORTS AS THEY ARE GENERATED. RECEIPT OF COPIES OF GEOTECHNICAL REPORTS BY CFB IN NO WAY QUALIFIES CFB TO ANY REVIEW, COMMENTS OR ACTIONS REGARDING THE WORK
44. DURING CONSTRUCTION, THE GEOTECHNICAL ENGINEER PERFORMING TESTING SHALL MONITOR GROUNDWATER CONDITIONS AND PROVIDE RECOMMENDATIONS FOR ADDITIONAL ROADWAY UNDERPAVING AS NEEDED. ENGINEER SHALL BE NOTIFIED OF ANY SUCH RECOMMENDATIONS
45. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD STAKE AND PROTECT CONSERVATION AREA LIMITS. OWNER RESERVES THE RIGHT TO CHECK THE STAKING AND PROTECTIONS AND REQUIRE IT TO BE RELOCATED IF NECESSARY. PROTECTIONS SHALL REMAIN IN PLACE UNTIL ADJACENT CONSTRUCTION IS COMPLETE
46. NO WATER VALVE BOXES, METERS, PORTIONS OF MANHOLES, OR OTHER APPURTENANCES RELATING TO ANY UNDERGROUND UTILITIES SHALL BE LOCATED IN ANY PORTION OF ANY CURB, BARRIERS, OR OTHER ENGINEER IMMEDIATELY UPON DISCOVERY OF A POTENTIAL CONFLICT
47. CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENTS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSDUCED TO PROVIDE A SMOOTH DRAINING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. SHOULD AREAS OF POOR DRAINAGE BE OBSERVED, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PLACEMENT OF CURBS OR PAVEMENT, SO THAT RECOMMENDATIONS FOR CORRECTION MAY BE MADE
48. CONTRACTOR SHALL COORDINATE WITH ENGINEER FOR PRE-POUR INSPECTION PRIOR TO ANY SIDEWALK AND/OR RAMP CONCRETE POURS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL RAMP TEXTURED SURFACES AND SIDEWALK LONGITUDINAL AND CROSS SLOPES ARE IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL ADA STANDARDS
49. ALL DISTURBED PUBLIC AND PRIVATE RIGHTS OF WAY SHALL BE RESTORED WITH SOO ACCORDING TO SPECIFICATION 675 AND 681
50. CONTRACTOR SHALL NOT COMPACT, STABILIZE, OR CONTRACT BASE COURSE WITH LANDSCAPE ISLANDS, TRACTS, OR MOUNDS, WHERE SUCH TREATMENT OCCURS, IT SHALL BE REMOVED AND REPLACED WITH SUITABLE PLANTING SOIL ACCEPTABLE TO OWNERS LANDSCAPE ARCHITECT
51. CONTRACTOR SHALL REMOVE ALL UNSUITABLE SOILS IN CONSTRUCTION AREAS AND AREAS TO BE FILLED. REFER TO GEOTECHNICAL REPORT FOR REQUIREMENTS
52. ENGINEER RESERVES THE RIGHT TO WITHHOLD APPROVALS FOR PAVEMENT FOR ANY ROADWORK WHICH HAS NOT BEEN TESTED BY A FLORIDA REGISTERED GEOTECHNICAL ENGINEER AND REPORTED TO CONFORM TO PROJECT SPECIFICATIONS
53. SITE CONTRACTOR SHALL GRADE ANY UTILITY EASEMENTS AS SHOWN OR NOTED ON THE PLAN OR CONSTRUCTION DRAWINGS, ADJACENT TO THE RIGHT-OF-WAY LINE TO FINAL DESIGN GRADE
54. CONTRACTOR SHALL STABILIZE AND PROTECT ALL END WALL, MITERED END SECTION, FLARED END SECTION, ETC. STRUCTURES THROUGHOUT THE PROJECT UNTIL THE POND SLOPES ARE STABILIZED AND ACCEPTED BY OWNER
55. CONTRACTOR/OWNER SHALL OBSERVE OFFICIAL ROADWAYS FOR FRACTURE COURSE REMOVAL AND RESTORATION REQUIREMENTS AND FOR LEVELING COURSE REQUIREMENTS WHICH SHALL BE INCLUDED IN THE BID AND IN THE WORK
56. OVER-EVALUATION OF RETENTION BASINS SHALL NOT BE ALLOWED UNLESS SPECIFICALLY AUTHORIZED BY ENGINEER/OWNER. SHOULD UNAUTHORIZED OVER-EVALUATION OCCUR, IT SHALL BE BACKFILLED, REGRADED, RESEDED, AND/OR RESEDED AS REQUIRED BY OWNER AT CONTRACTOR'S EXPENSE TO OWNERS SPECIFICATIONS

- 57. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING A GEOTECHNICAL CONSULTANT TO PROVIDE FIELD PENETRATION TESTS TO ENSURE THE STORMWATER POND WILL FUNCTION AS DESIGNED AND MEET THE DESIRED INFILTRATION RATES. THE REPORT SHALL BE FORWARDED TO THE OWNER AND THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL PRIOR TO THE COMPLETION OF THE POND CONSTRUCTION
58. SEE GEOTECHNICAL REPORT PROVIDED TO OWNER FOR FOUNDATION UNDERCUTTING AND BACKFILL SPECIFICATIONS IN AND AROUND BUILDING
1. STORM DRAINS SHALL BE CONSTRUCTED WITH FOOT-APPROVED MATERIALS. PIPE JOINTS SHALL BE WRAPPED PER FOOT INDEX 430.01
2. ALL STORM STRUCTURES SHALL BE IN CONFORMANCE WITH FOOT STANDARD INDEX DRAWINGS. GRATES SHALL BE CAST IRON UNLESS OTHERWISE SPECIFIED OR APPROVED
3. ALL TYPE 'U' STRUCTURE BOTTOMS SHALL BE ROUNDED UNLESS OTHERWISE SPECIFIED AND SHALL HAVE A 4 FT. DIAMETER
4. ALL TYPE 'U' STRUCTURE BOTTOMS SHALL BE ROUNDED UNLESS OTHERWISE SPECIFIED AND SHALL HAVE AN 8 FT. DIAMETER
5. ALL CONCRETE WORK SHALL BE 3,000 PSI MINIMUM UNLESS OTHERWISE SPECIFIED
6. HOPE PIPE (WHERE SPECIFIED) SHALL BE INSTALLED BY A CERTIFIED HOPE CONTRACTOR
7. CONTRACTOR SHALL COORDINATE WITH ENGINEER FOR INSPECTION OF STORM SEWERS PRIOR TO PAVING. CONTRACTOR SHALL PROVIDE EQUIPMENT FOR LAMPING INSPECTION BY ENGINEER. FURTHER TESTING WITH MANHOLES OR VIDEO TAPING OF PIPES MAY BE REQUIRED BY ENGINEER
8. PAVING MATERIALS SHALL CONFORM WITH FOOT STANDARD SPECIFICATIONS, LATEST EDITION
9. UNDERDRAIN SHALL BE HIGH-DENSITY POLYETHYLENE PIPE WITH FACTORY INSTALLED FABRIC AS MANUFACTURED BY ADVANCE DRAINAGE SYSTEMS (ADS), OR APPROVED EQUAL
10. UNDERDRAIN DISCHARGE PIPE SHALL BE PVC PER ASTM D3034 B3 OR WITH ELASTOMERIC JOINTS, NON-PERFORATED
11. FILL PLACEMENT AND SPECIFICATIONS SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECTS GEOTECHNICAL CONSULTANT
12. CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE FROM SUBGRADE THROUGH FINAL LIFT OF ASPHALT. STRUCTURE BASES SHALL BE FABRICATED IN ACCORDANCE WITH FOOT STANDARD INDEX 430.01. TEMPORARY DRAINS FOR SUBGRADE AND BASE, AS NOTED IN THE INDEX, WILL BE CONSIDERED INCIDENTAL TO THE PRICE OF THE STRUCTURE
13. SOIL TESTING RESULTS SHALL BE PROVIDED FOR THE PAVEMENT CONSTRUCTION. AFTER PLACEMENT AND FIELD COMPACTOR, THE BEARING SURFACE SHALL BE CURED TO EVALUATION MATERIAL THICKNESS AND TO PERFORM LABORATORY DENSITIES. THE LOCATION AND NUMBER OF SAMPLE CORES SHALL BE DETERMINED BY THE GEOTECHNICAL CONSULTANT. THE TESTING REPORT SHALL DENOTE THE TEST LOCATIONS

- 1. ELEVATIONS SHOWN HEREON ARE PARALLEL TO THE NORTH AMERICAN VERTICAL DATUM OF 1988. THE ORIGINATING BENCHMARK FOR THE ELEVATIONS DEPICTED HEREON IS NATIONAL GEODETIC SURVEY (NGS) BENCHMARK 175 73 A66, SAID POINT HAVING AN ELEVATION OF 81.57 FEET
2. BEARINGS SHOWN HEREON (NOT DETONED WITH 'S') ARE BASED ON GRID NORTH AS ESTABLISHED BY THE NATIONAL OCEAN SERVICE (NOS) THROUGH ITS PROGRAM OFFICE NATIONAL GEODETIC SURVEY (NGS), AS A REFERENCE FOR THIS SURVEY, THE EASTERLY RIGHT OF WAY LINE OF MARION GMS BOLLARD HAS A BEARING OF NORTH 13° 15' 00" EAST
3. SURVEY INFORMATION
A.A. BARRIEAU AND ASSOCIATES
CIVIL/REST PROFESSIONAL PARK
109 S.E. 28TH LOOP, SUITE 103
OCALA, FL 34477
TRAVIS P. BARRIEAU, P.E.M.
P.L. NO. 8487
HORIZONTAL/VERTICAL GEOMETRY NOTES:
7.03.2024
GENERAL NOTES:
AZALEA SKILLED NURSING FACILITY
MAJOR OF SITE PLAN
MARION COUNTY, FLORIDA
GENERAL NOTES
SAVE DATE: 5/23/2024
DRAWN BY: JT
CHECKED BY: JT
PROJECT # 899284.0000
FILE NAME:
(ALL WE SHALL HAVE TO BE IN FLORIDA)
L-8007-AL-PL-4770
DATE: 05/23/2024
CLM/FARMER BARILEY, INC.
7410 ALFORD AVENUE
MELBORNE, FL 32909
TYLER R. COULTER, PE
P.L. NO. 9480
(352) 748-3128
SHEET NUMBER 02

CFB CIVIL/REST PROFESSIONAL PARK 109 S.E. 28TH LOOP, SUITE 103 OCALA, FL 34477 TRAVIS P. BARRIEAU, P.E.M. P.L. NO. 8487



PARCEL NO. 20170-000-74
 ALVAREZ FAMILY INV GROUP LLC
 PO BOX 17118
 OCALA, FLORIDA
 ZONING-B2
 LAND USE-AGRICULTURE

PARCEL NO. 20685-019-00
 FLORIDA LLC
 PO BOX 1657
 OCALA, FLORIDA
 ZONING-B4
 LAND USE-COMMERCIAL

PARCEL NO. 20770-026-05
 MARK MANAGEMENT LLC
 132 OLIVERA WAY
 PALM BEACH GARDENS, FLORIDA
 ZONING-PUD
 LAND USE-MUNICIPALITY

PARCEL NO. 2068-000-003
 COUNTRYSIDE FARMS OF OCALA
 OWNERS ASSOCIATION INC
 03 BOSHAERT PROPERTY MGMT LLC
 ZONING-A2
 LAND USE-RIGHT OF WAY

TRACT E
 PARCEL NO. 2068-000-003
 COUNTRYSIDE FARMS OF OCALA
 PLAT BOOK T, PAGES 101 & 102
 ZONING-A2
 LAND USE-RESIDENTIAL

LOT #4
 PARCEL NO. 2068-044-000
 COUNTRYSIDE FARMS OF OCALA
 PLAT BOOK T, PAGES 101 & 102
 ZONING-A2
 LAND USE-RESIDENTIAL

REV	DATE	DESCRIPTION

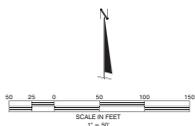


**AZALEA SKILLED NURSING FACILITY
 MAJOR SITE PLAN
 MARION COUNTY, FLORIDA
 AERIAL**

DATE	05/02/2025
DRAWN BY	JT
CHECKED BY	SC
PROJECT #	SP2024-0006
FILE NAME	

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 CLYMER FAHRETH BARILEY, INC.
 7413 ALFORD AVENUE
 MIAMI, FL 33156
 TYLER D. COAKS, PE
 FL LIC. NO. 9865
 (954) 748-3128

SHEET NUMBER **03**

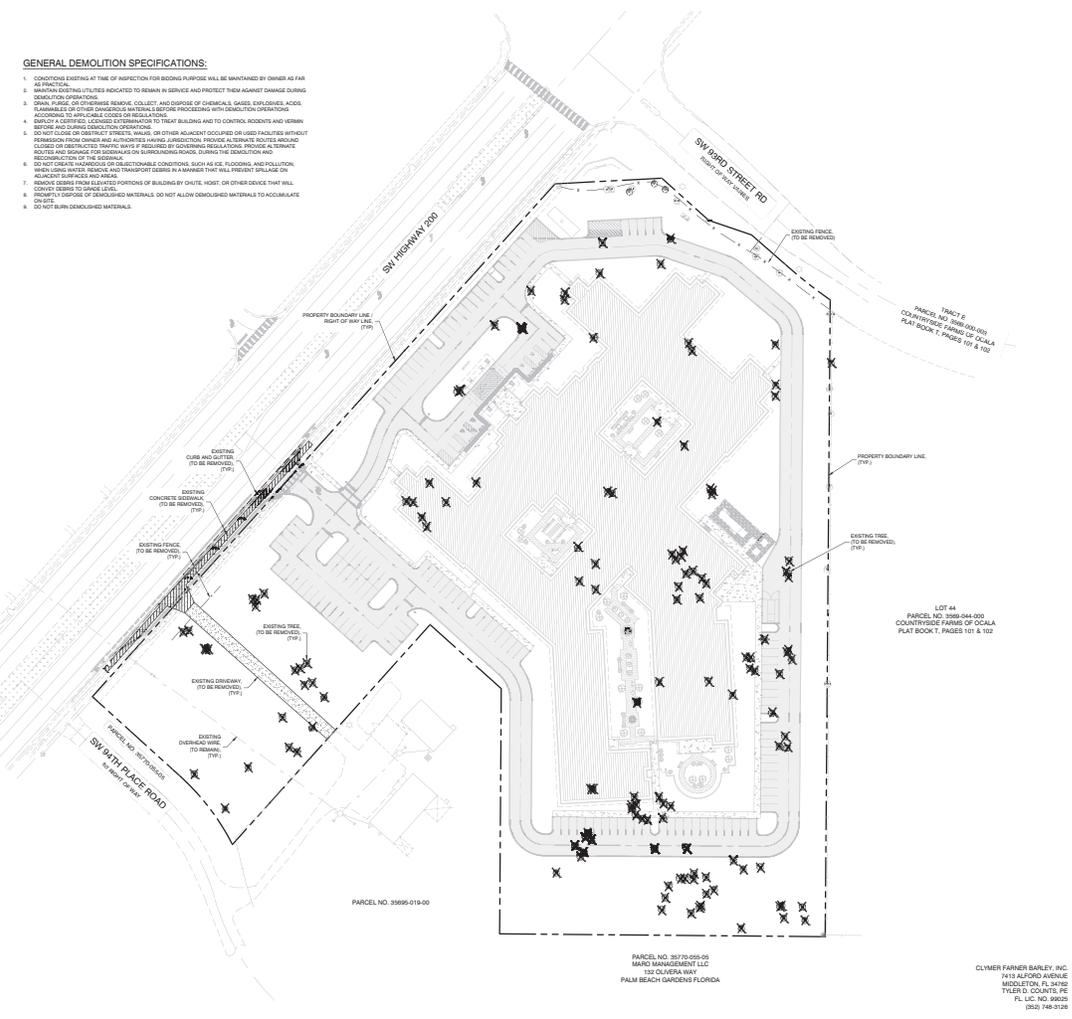


GENERAL DEMOLITION SPECIFICATIONS:

1. CONDITIONS EXISTING AT TIME OF INSPECTION FOR RECORD PURPOSES WILL BE MAINTAINED BY OWNER AS FAR AS PRACTICAL.
2. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
3. DRAIN, PURGE, OR OTHERWISE REMOVE, COLLECT AND DISPOSE OF CHEMICALS, GASES, EXPLOSIVES, ACIDS, FLAMMABLE LIQUIDS, AND HAZARDOUS MATERIALS BEFORE PROCEEDING WITH DEMOLITION OPERATIONS.
4. EMPLOY A LICENSED LEADABSORBING CONTRACTOR TO TREAT BUILDING AND TO CONTROL RODDENTS AND VERMIN BEFORE AND DURING DEMOLITION OPERATIONS.
5. ACCORDING TO APPLICABLE CODES OR REGULATIONS.
6. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND ADEQUATE WARNING. UNRESTRICTED ACCESS TO ADJACENT ROUTES SHOULD BE MAINTAINED AT ALL TIMES.
7. REMOVE CURBS FROM ELIMINATED PORTIONS OF BUILDING BY CHUTE, HOIST, OR OTHER DEVICE THAT WILL CONVEY CURBS TO GRADE LEVEL.
8. PROHIBIT DISPOSE OF DEMOLISHED MATERIALS TO ACCUMULATE ON SITE.
9. DO NOT BURN DEMOLISHED MATERIALS.

GENERAL DEMOLITION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO THE EXISTING STRUCTURES PRIOR TO DEMOLITION OF THE BUILDING. THE CONTRACTOR SHALL COORDINATE WITH NEARBY UTILITY COMPANIES PRIOR TO THE BEGINNING OF DEMOLITION OF UTILITIES.
2. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING SORTS OF WORK WHICH MAY BE REQUIRED BY THE UTILITY COMPANY'S PRACTICES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THESE SERVICES.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL STRUCTURES, FENCES, WALLS, FENCES, EXHAUSTERS, FANWAYS, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS SHOWN ON THE BEARING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE IDENTIFIED TO REMAIN MATERIALS AND REDUCED TO GRADE WITH SUFFICIENT COMPACTED FILL MATERIAL FOR THE PROPOSED DRIVEWAY. THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS IDENTIFIED AS RESPONSIBLE FOR REMOVAL AND IMPROVE THE DRIVEWAY IN AN APPROVED MANNER.
4. ALL EXISTING UTILITIES ARE TO BE REMOVED, TERMINATED AND CAPPED AT THE POINT OF ANY ALL EXISTING METERS, VALVES, ETC. ARE TO BE REMOVED UNLESS OTHERWISE NOTED ON THE PLANS.
5. ALL EXISTING SERVICES AND/OR UTILITIES, INCLUDING, BUT NOT LIMITED TO, GAS, WATER, AND SEWER SERVICES ARE TO BE REMOVED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE PUBLIC UTILITIES COMMISSION.
6. ALL WARE HOUSE FLOORING SHALL BE REMOVED TO EXPOSE FOUNDATIONS, UTILITIES, CONCRETS AND/OR UTILITY SERVICES. ALL WARE HOUSE FLOORING SHALL BE REMOVED TO EXPOSE FOUNDATIONS, UTILITIES, CONCRETS AND/OR UTILITY SERVICES.
7. ALL EXISTING FENCES, LIGHT FIXTURES, POLES, AND LIGHT Poles ON SITE SHALL BE DEMOLISHED AND REMOVED UNLESS OTHERWISE NOTED.
8. EXISTING CONCRETE IN PLACE SHALL BE REMOVED TO EXPOSE FOUNDATIONS, UTILITIES, CONCRETS AND/OR UTILITY SERVICES UNLESS OTHERWISE NOTED. ALL WORK SHALL BE IN ACCORDANCE WITH HEALTH DEPARTMENT REQUIREMENTS.
9. THE CONTRACTOR IS RESPONSIBLE FOR WALKWAY SITE AND DEMOLITION EXTENS OF DEMOLITION WORK PRIOR TO THE SITE.
10. PRIOR TO ANY WORK ON SITE, THE CONTRACTOR SHALL CONTACT THE ONE CALL SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR ALL UTILITIES REMAINING UNDETECTED BY THE ONE CALL SYSTEM OR NOT.
11. CONTRACTOR SHALL COORDINATE REMOVAL OF EXISTING ELECTRICAL SERVICES ON SITE WITH THE POWER COMPANY. POWER COMPANY IS RESPONSIBLE FOR THE DISCONNECTION AND REMOVAL OF EXISTING SERVICES UNLESS OTHERWISE NOTED.
12. LAYERS OF FLOORING EXPOSED TO BE REMOVED ARE APPROXIMATE AND FOR REFERENCE ONLY. CONTRACTOR SHALL REFER TO THE LAYERS OF FLOORING TO DETERMINE THE EXTENT OF THE EXISTING FLOORING TO BE REMOVED.
13. IF NOT SHOWN ON THE DEMOLITION DRAWINGS, THE CONTRACTOR SHALL REMOVE ALL EXISTING MATERIALS AS NECESSARY TO COMPLETE ALL NEW WORK AS REQUIRED BY OTHER PORTIONS OF THE CONTRACT DOCUMENTS. SALVAGE RIGHTS FOR ALL DEMOLISHED MATERIALS SHALL BE FIRST GIVEN TO THE OWNER. ANY MATERIALS NOT BEING SALVAGED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
14. THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS ON THE REMOVAL AND DISPOSAL OF HAZARDOUS MATERIALS.
15. THE CONTRACTOR IS RESPONSIBLE TO VERIFY EXISTING UTILITIES PRIOR TO DEMOLITION OR EXCAVATION.
16. CONTRACTOR IS RESPONSIBLE FOR ALL REGULATIONS, PERMITS AND FEES REQUIRED TO REMOVE A PROPERLY SORTED OF ALL DEMOLITION WASTE.
17. DEMOLITION CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVALS AND NOTIFICATIONS TO ALL LOCAL, STATE AND FEDERAL AGENCIES.
18. REFER TO SURVEY FOR LIMITS AND BOUNDARY OF PROPERTY.



BY	DATE	REVISIONS

CFB
 CLYMER FARMER BARLEY, INC.
 7413 ALFORD AVENUE
 MIDDLETON, FL 34202
 TYLER D. COATES, P.E.
 R. L. C. NO. 99205
 (852) 748-3128

**AZALEA SKILLED NURSING FACILITY
 MAJOR SITE PLAN
 MARION COUNTY, FLORIDA
 DEMOLITION PLAN**

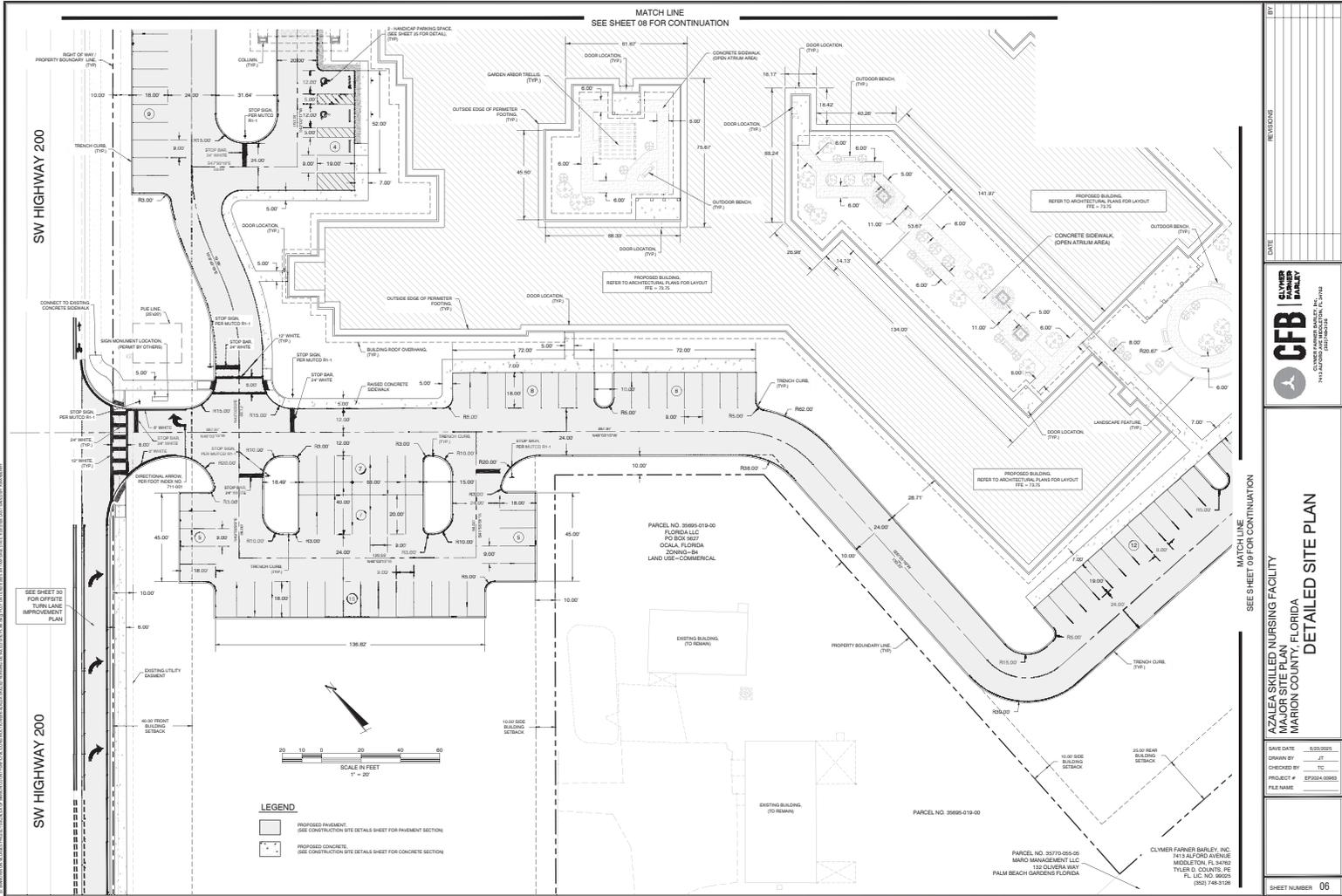
DATE	05/20/2025
DRAWN BY	JT
CHECKED BY	TC
PROJECT #	SP2024-00005
FILE NAME	

LOT 44
 PARCEL NO. 1988-044-000
 COUNTRYSIDE FARMS OF DELALA
 PLAT BOOK 7, PAGES 101 & 102

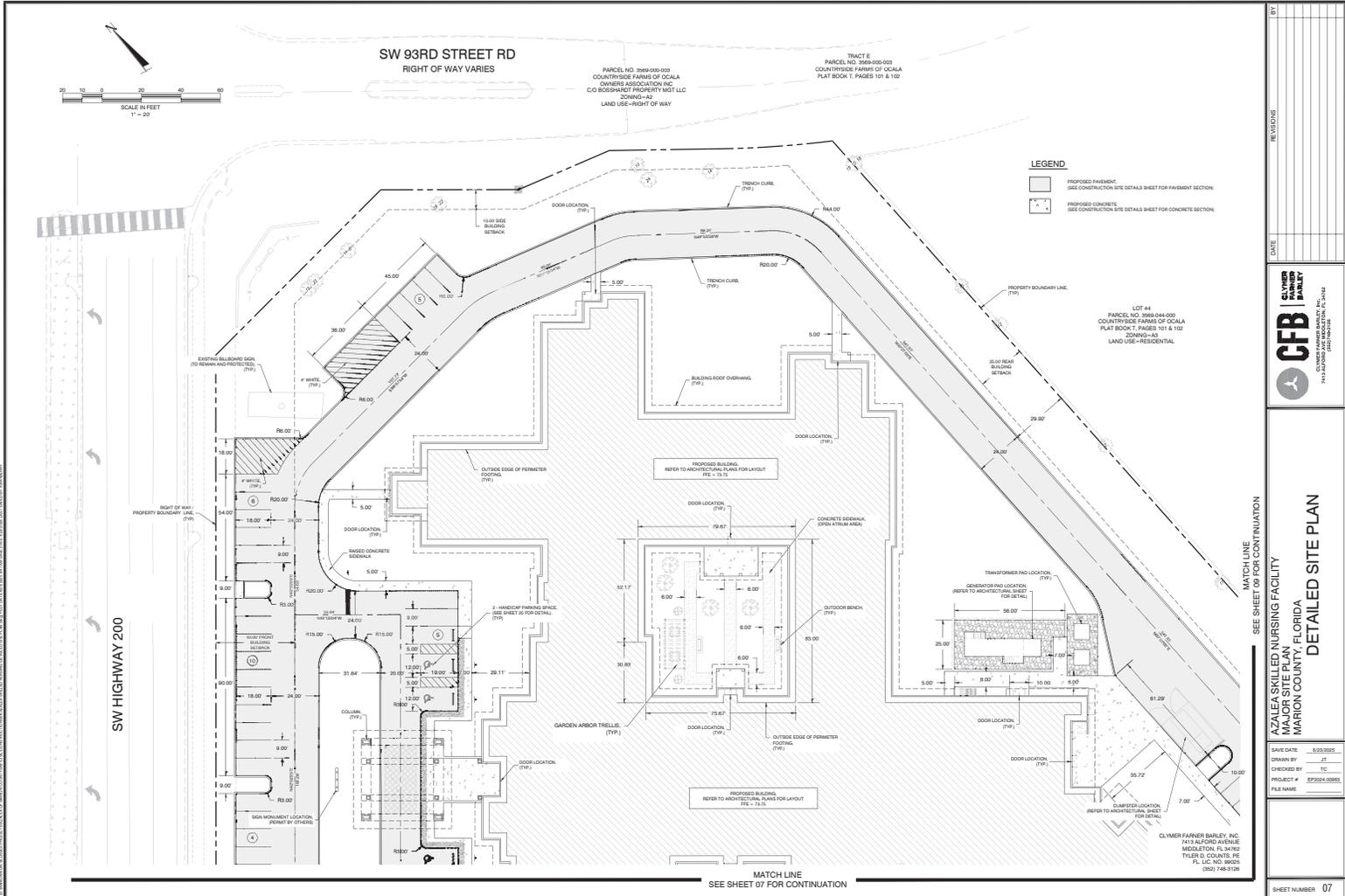
PARCEL NO. 30770-090-00
 MAFO MANAGEMENT LLC
 732 OLIVERA BLVD
 PALM BEACH GARDENS FLORIDA

CLYMER FARMER BARLEY, INC.
 7413 ALFORD AVENUE
 MIDDLETON, FL 34202
 TYLER D. COATES, P.E.
 R. L. C. NO. 99205
 (852) 748-3128

SHEET NUMBER **04**



DATE	REVISED	BY
 CFB CLYMER FARMER BARLEY, INC. 1113 ALFORD AVENUE MOULTON, FL 32063 (904) 748-3126		
AZALEA SKILLED NURSING FACILITY MAJOR SITE PLAN MARION COUNTY, FLORIDA DETAILED SITE PLAN		
DATE	5/23/2025	
DRAWN BY	JT	
CHECKED BY	TC	
PROJECT #	89204-00005	
FILE NAME		
SHEET NUMBER 06		



SW 93RD STREET RD
RIGHT OF WAY VARIES

PARCEL NO. 3969-000-020
COUNTRYSIDE FARMS OF OCALA
OWNERS ASSOCIATION INC.
C/O SODASANT PROPERTY MGT LLC
ZONING-A2
LAND USE-RIGHT OF WAY

TRACT E
PARCEL NO. 3969-000-033
COUNTRYSIDE FARMS OF OCALA
PLAT BOOK T, PAGES 101 & 102

LEGEND
 [Symbol] PROPOSED PAVEMENT
 (SEE CONSTRUCTION SITE DETAILS SHEET FOR PAVEMENT SECTION)
 [Symbol] PROPOSED CONCRETE
 (SEE CONSTRUCTION SITE DETAILS SHEET FOR CONCRETE SECTION)

LOT 44
 PARCEL NO. 3969-044-000
 COUNTRYSIDE FARMS OF OCALA
 PLAT BOOK T, PAGES 101 & 102
 ZONING-A2
 LAND USE-RESIDENTIAL

REV	DATE	DESCRIPTION

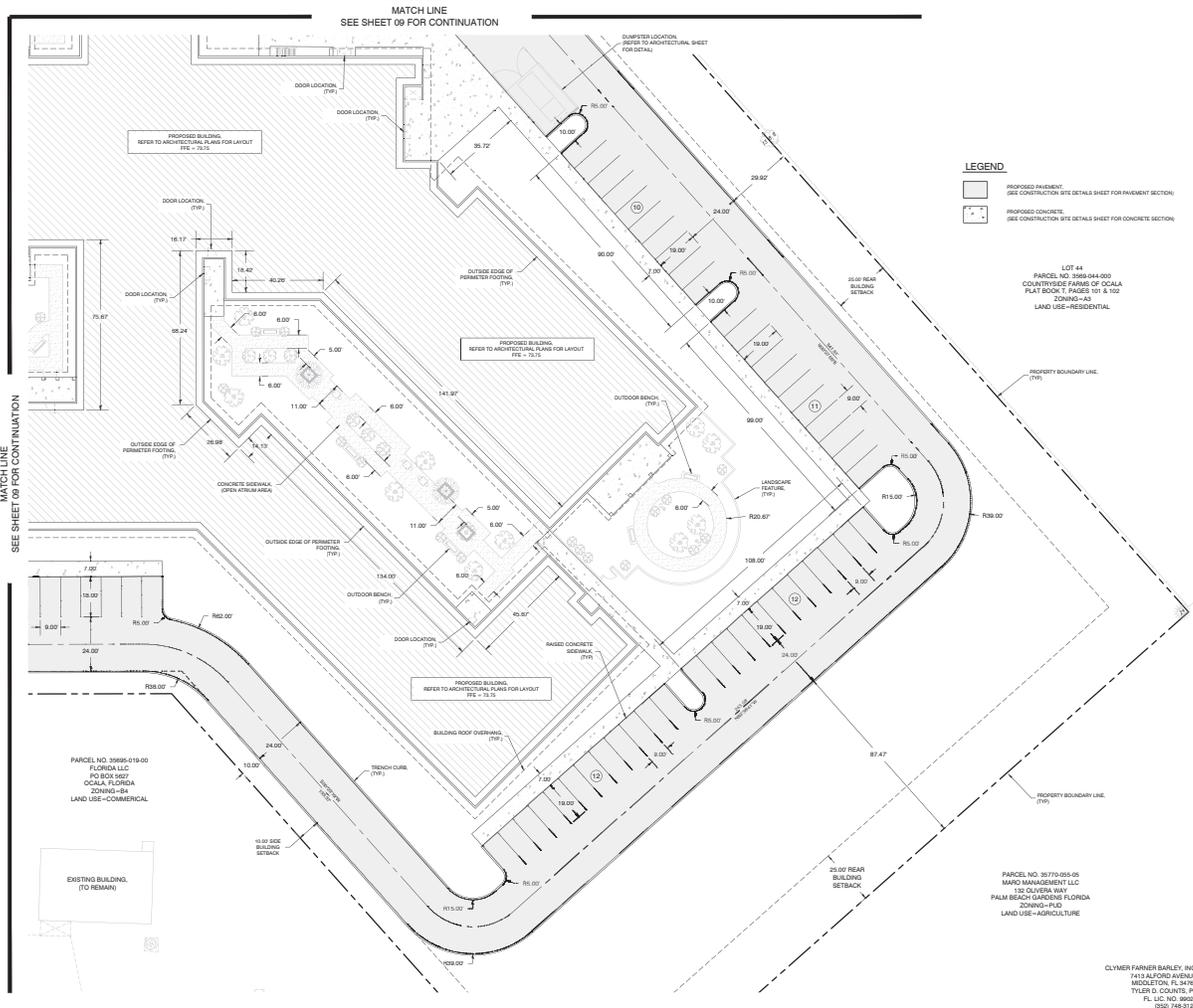
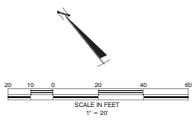
SEE SHEET 09 FOR CONTINUATION

CLYMER FARMER BARILEY INC.
 717 ALFORD AVENUE
 MIDDLETON, FL 34702
 FL LIC. NO. 98005
 (888) 748-9128

CLYMER FARMER BARILEY INC.
 MAJOR SITE PLAN
 MARION COUNTY, FLORIDA
 DETAILED SITE PLAN

SAVE DATE: 5/25/2025
 DRAWN BY: JT
 CHECKED BY: TC
 PROJECT #: 89924-00005
 FILE NAME: [Blank]

SHEET NUMBER 07



- LEGEND**
- PROPOSED PAVEMENT (SEE CONSTRUCTION SITE DETAILS SHEET FOR PAVEMENT SECTION)
 - PROPOSED CONCRETE (SEE CONSTRUCTION SITE DETAILS SHEET FOR CONCRETE SECTION)

LOT 44
 PARCEL NO. 39698-044-000
 COUNTYWIDE FARMS OF OCALA
 PLAT BOOK T, PAGES 101 & 102
 ZONING-A-2
 LAND USE-RESIDENTIAL

PARCEL NO. 39695-019-00
 FLORIDA LLC
 PO BOX 8627
 OCALA, FLORIDA
 ZONING-A-4
 LAND USE-COMMERCIAL

PARCEL NO. 30770-055-00
 MARD MANAGEMENT LLC
 132 OLIVER WAY
 PALM BEACH GARDENS, FLORIDA
 ZONING-PUD
 LAND USE-AGRICULTURE

DATE	
REVISIONS	



**AZALEA SKILLED NURSING FACILITY
 MAJOR SITE PLAN
 MARION COUNTY, FLORIDA
 DETAILED SITE PLAN**

DATE	5/23/2025
DRAWN BY	JT
CHECKED BY	TC
PROJECT #	89924-0000
FILE NAME	

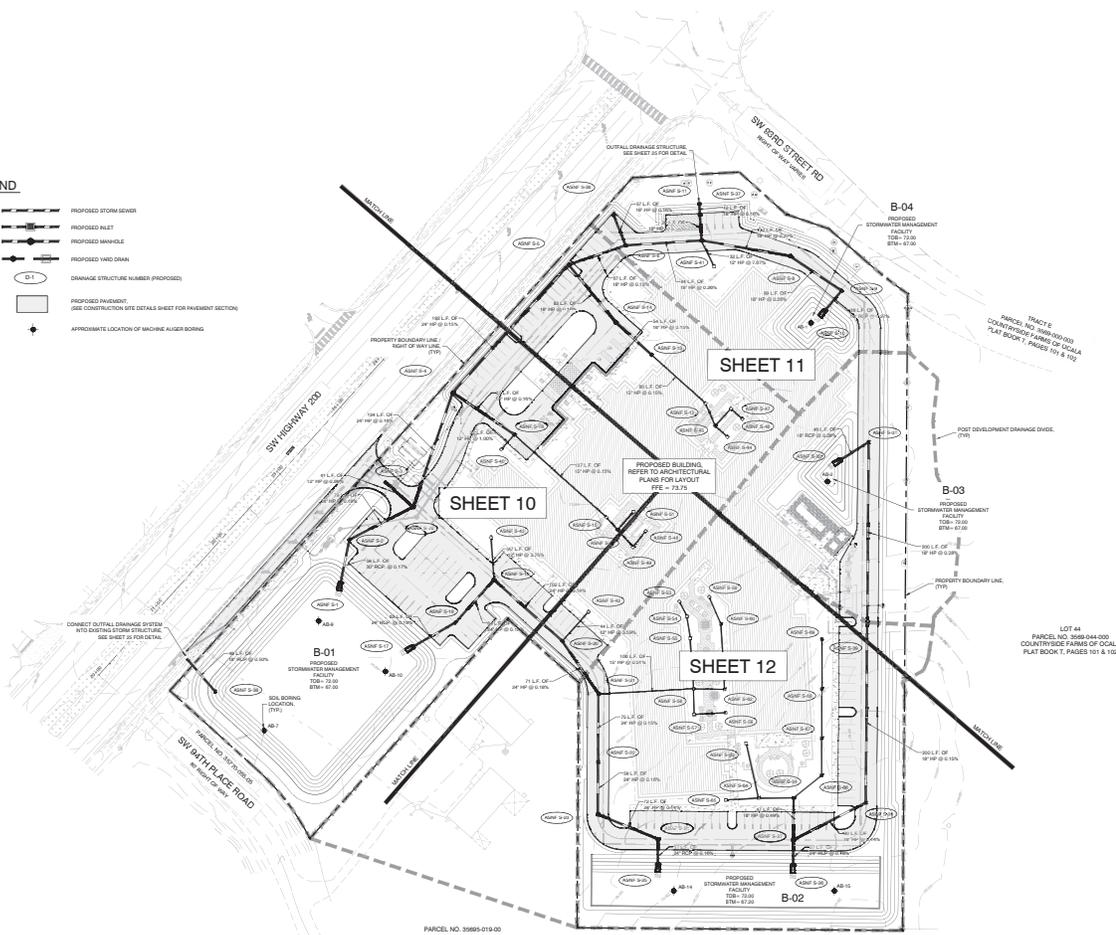
OLYMER FARMER BARLEY, INC.
 7413 ALFORD AVENUE
 MIDDLETON, FL 34702
 TYLER D. COUNTS, PE
 P.L. NO. 9692
 (352) 748-5126

SHEET NUMBER **08**

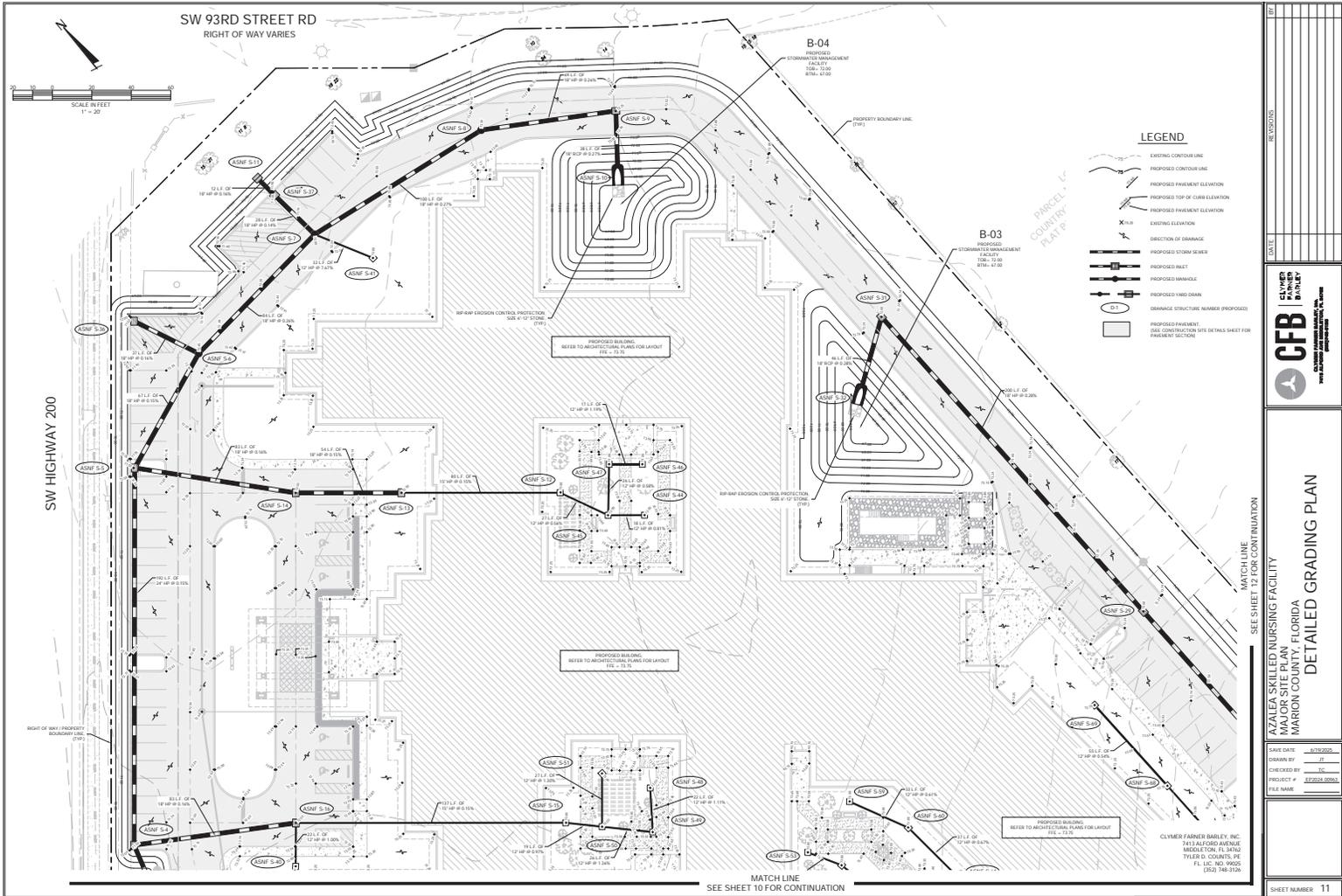


LEGEND

- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED PAVEMENT ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED PAVEMENT ELEVATION
- EXISTING ELEVATION
- DIRECTION OF DRAINAGE
- PROPOSED STORM SEWER
- PROPOSED RILET
- PROPOSED MANHOLE
- PROPOSED YARD DRAIN
- DRAINAGE STRUCTURE NUMBER (PROPOSED)
- PROPOSED PAVEMENT (SEE CONSTRUCTION SITE DETAILS SHEET FOR PAVEMENT SECTION)
- APPROXIMATE LOCATION OF MACHINE AUGER BORING



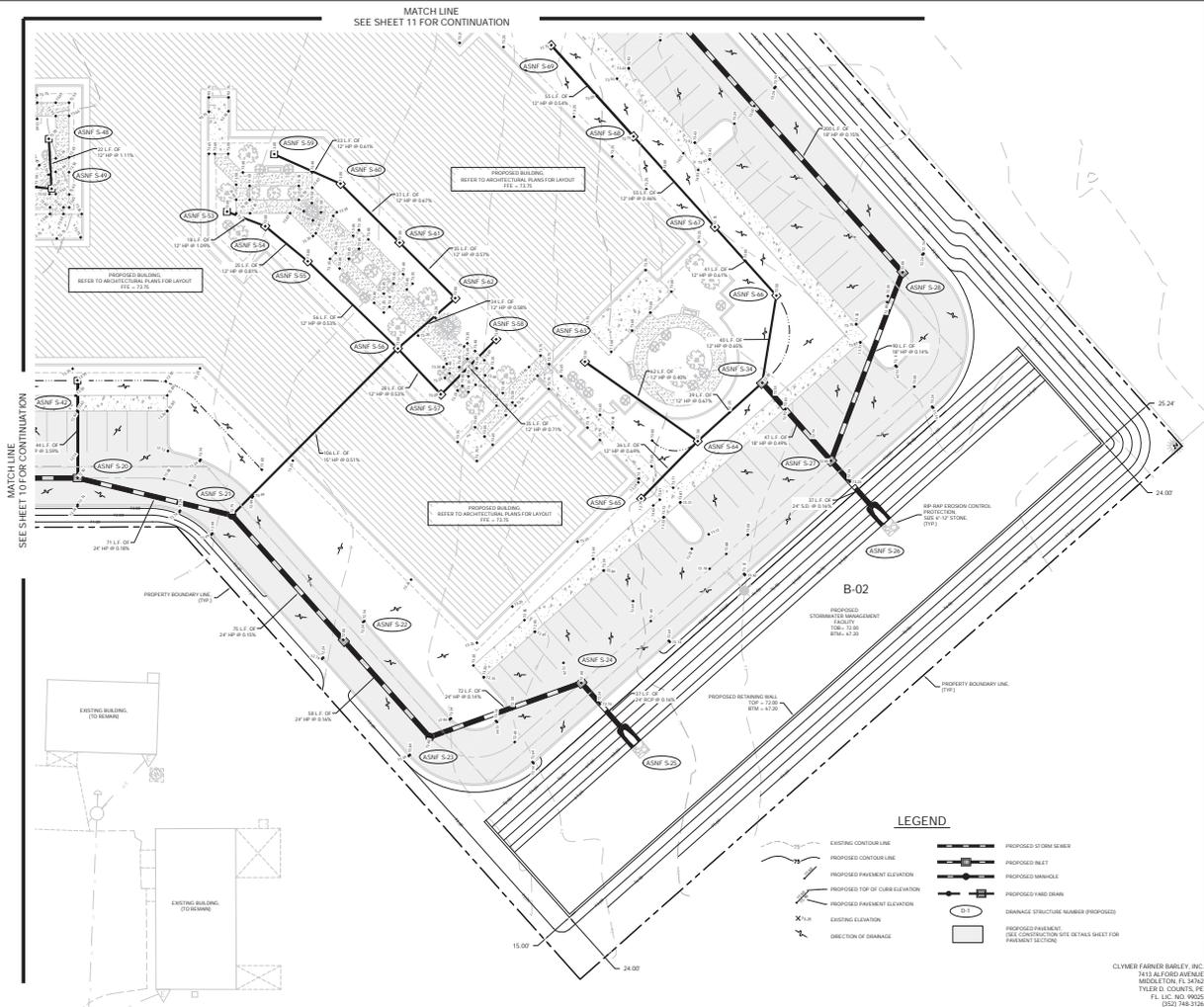
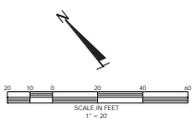
<p>DATE: _____</p> <p>REVISIONS:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 10%;">NO.</td><td style="width: 80%;">DESCRIPTION</td><td style="width: 10%;">DATE</td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>	NO.	DESCRIPTION	DATE										<p>CFB OLYMER FARMER BARLEY CORPORATION 1413 ALFORD AVENUE MOULTON, FL 32185</p>
NO.	DESCRIPTION	DATE											
<p>AZALEA SKILLED NURSING FACILITY MAJOR SITE PLAN MARION COUNTY, FLORIDA MASTER GRADING PLAN</p>													
<p>SAVE DATE: 5/23/2025 DRAWN BY: JT CHECKED BY: TC PROJECT #: 899284.000005 FILE NAME: _____</p>													
<p>OLYMER FARMER BARLEY, INC. 1413 ALFORD AVENUE MOULTON, FL 32185 TYLER D. COUNTS, PE FL LIC NO: 85633 (352) 748-3138</p>													
<p>SHEET NUMBER 09</p>													



LEGEND

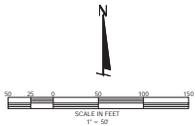
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED PAVEMENT ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- EXISTING ELEVATION
- DIRECTION OF DRAINAGE
- PROPOSED STORM SEWERS
- PROPOSED MANHOLE
- PROPOSED YARD DRAIN
- DRAINAGE STRUCTURE NUMBER (PROPOSED)
- PROPOSED PAVEMENT (SEE CONSTRUCTION SITE DETAILS SHEET FOR PAVEMENT SECTION)

<p>DATE: _____</p> <p>REVISIONS:</p>	<p style="text-align: center;">CFB CLYMER FARMER BARLEY, INC. A FLORIDA CORPORATION 10000 W. UNIVERSITY BLVD., SUITE 100 FORT LAUDERDALE, FL 33424 (954) 473-1100</p>
<p>SEE SHEET 12 FOR CONTINUATION</p> <p>SEE SHEET 10 FOR CONTINUATION</p>	
<p>AZALEA SKILLED NURSING FACILITY MAJOR SITE PLAN MARION COUNTY, FLORIDA DETAILED GRADING PLAN</p>	
<p>DATE: _____</p> <p>DRAWN BY: JT</p> <p>CHECKED BY: _____</p> <p>PROJECT # 2022-0001</p> <p>FILE NAME: _____</p>	<p>CLYMER FARMER BARLEY, INC. 7411 ALFORD AVENUE MIDDLETON, FL 39152 TYLER D. COUNTS, P.E. P.L.C. NO. 9005 (850) 748-3126</p>
<p>SHEET NUMBER 11</p>	

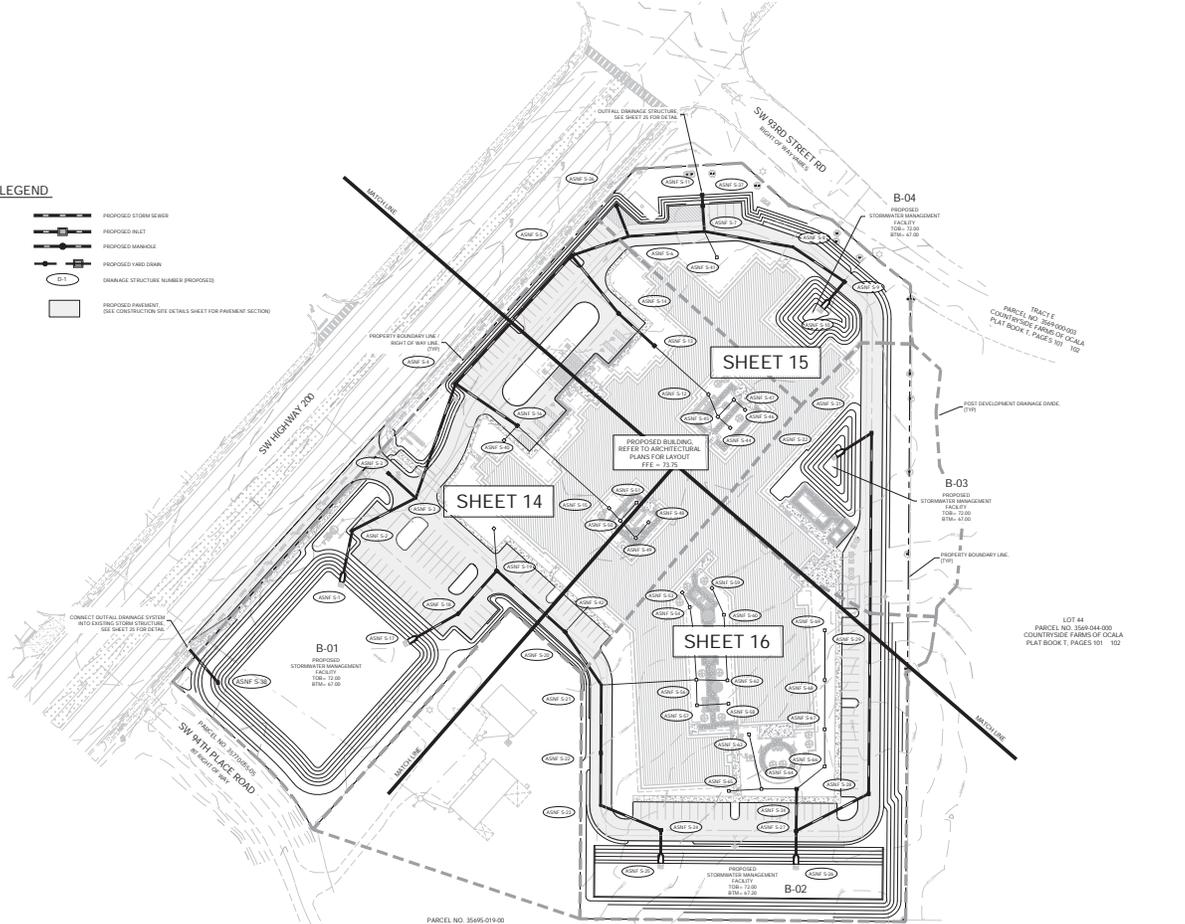


- LEGEND**
- EXISTING CONTOUR LINE
 - PROPOSED CONTOUR LINE
 - PROPOSED PAVEMENT ELEVATION
 - PROPOSED TOP OF CURB ELEVATION
 - EXISTING PAVEMENT ELEVATION
 - EXISTING ELEVATION
 - DIRECTION OF DRAINAGE
 - PROPOSED STORM SEWER
 - PROPOSED INLET
 - PROPOSED MANHOLE
 - PROPOSED YARD DRAIN
 - DRAINAGE STRUCTURE NUMBER (PROPOSED)
 - PROPOSED PAVEMENT (SEE CONSTRUCTION SITE DETAILS SHEET FOR PAVEMENT SECTION)

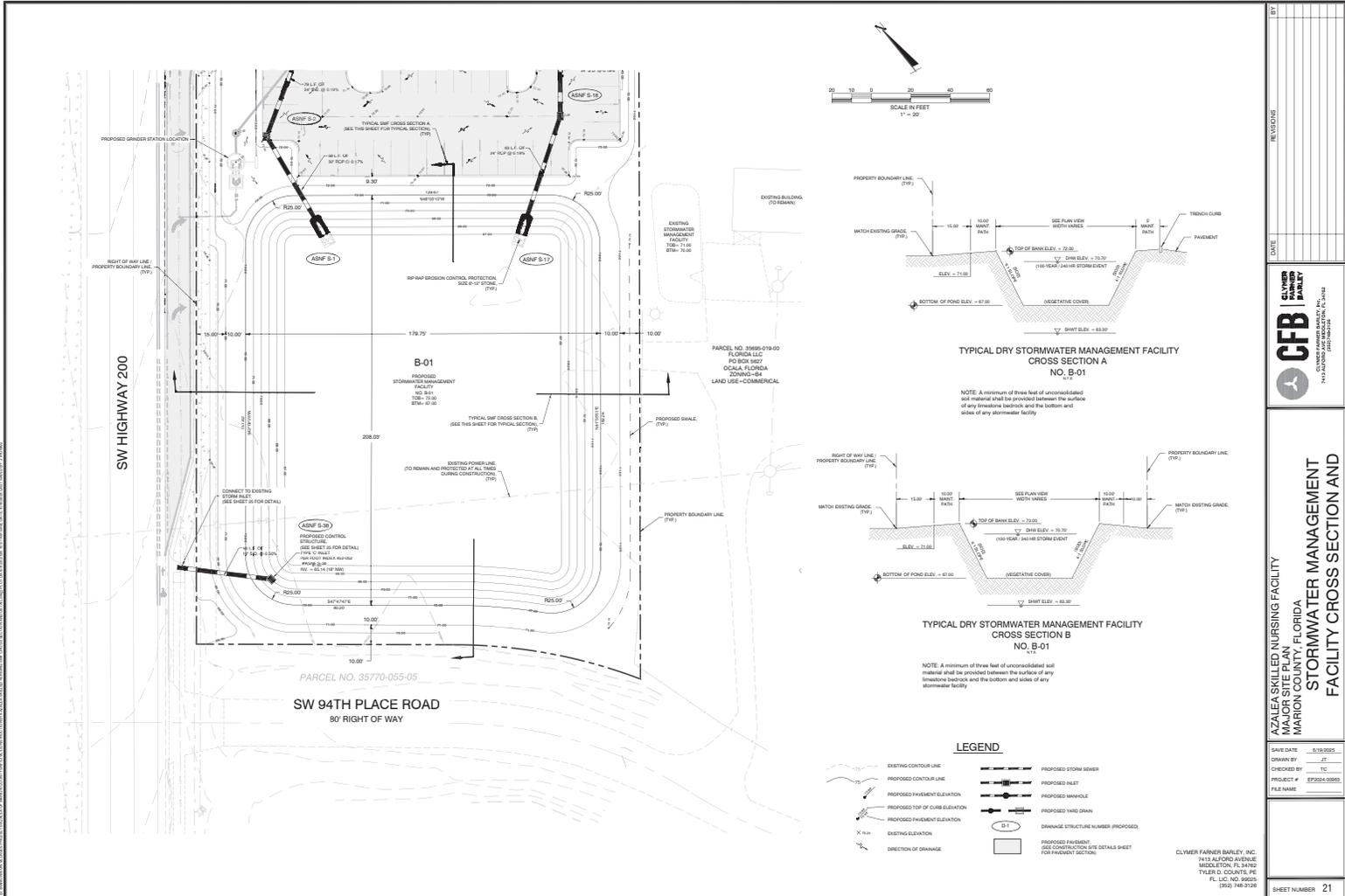
<p>DATE: _____</p> <p>REVISIONS:</p>	<p style="text-align: center;">CFB CLYMER FARMER BARBLEY INCORPORATED REGISTERED PROFESSIONAL ENGINEER FL. LIC. NO. 95028</p>
<p>AZALEA SKILLED NURSING FACILITY MAJOR SITE PLAN MARION COUNTY, FLORIDA DETAILED GRADING PLAN</p>	
<p>DATE: 11/20/2024 DRAWN BY: JT CHECKED BY: JAC PROJECT #: 2024012001 FILE NAME: _____</p>	
<p>CLYMER FARMER BARBLEY, INC. 7415 W. FORD AVENUE MIDDLETON, FL 34702 TRUCKEE, CALIFORNIA, FL FL LIC. NO. 95028 (882) 748-2228</p>	
<p>SHEET NUMBER 1</p>	



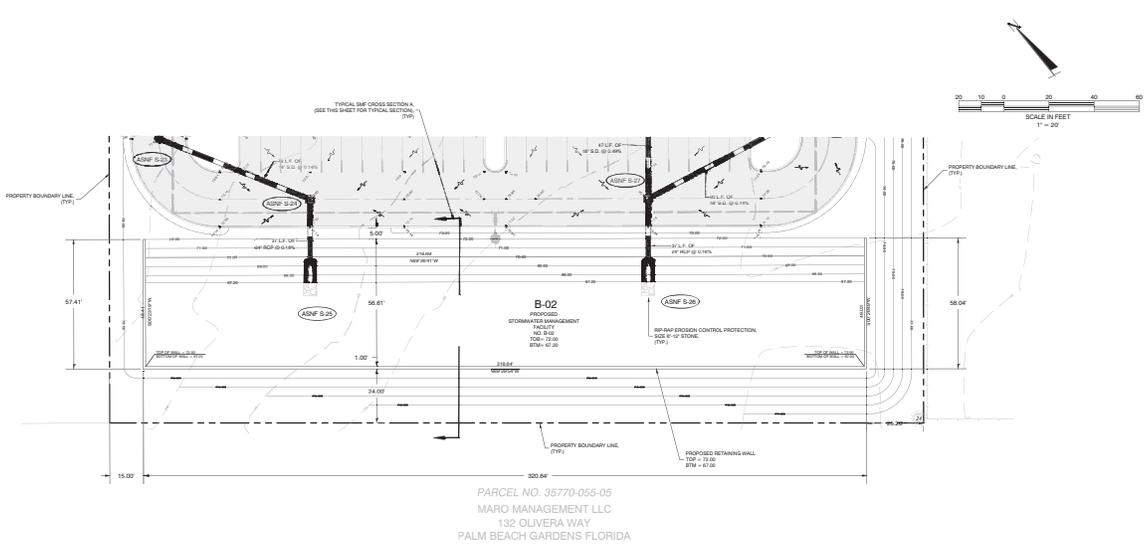
- LEGEND**
- EXISTING CONTOUR LINE
 - PROPOSED CONTOUR LINE
 - PROPOSED PAVEMENT ELEVATION
 - PROPOSED TOP OF CURB ELEVATION
 - PROPOSED PAVEMENT ELEVATION
 - EXISTING ELEVATION
 - DIRECTION OF DRAINAGE
 - PROPOSED STORM SEWER
 - PROPOSED PILET
 - PROPOSED MANHOLE
 - PROPOSED YARD DRAIN
 - DRAINAGE STRUCTURE NUMBER (PROPOSED)
 - PROPOSED PAVEMENT (SEE CONSTRUCTOR SITE DETAILS SHEET FOR PAVEMENT SECTION)



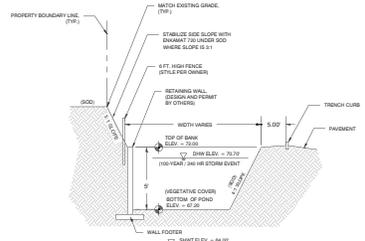
<p>CFB CLYMER FARMER BARLEY INC. 12000 W. STATE ROAD 100 P.O. BOX 100 TYLER, FLORIDA 32085</p>	<p>MAJOR SITE PLAN MASTER DRAINAGE PLAN</p>
<p>AZALEA SKILLED NURSING FACILITY MARION COUNTY, FLORIDA</p>	
<p>DATE: _____</p> <p>SCALE: _____</p>	<p>PROJECT # _____</p> <p>FILE NAME _____</p>
<p>PARCEL NO. 3570-05105 MARIS MANAGEMENT LLC 132 OLIVERA WAY PALM BEACH GARDENS FLORIDA</p>	
<p>LOT 44 PARCEL NO. 3549-04100 COUNTRYSIDE FARMS OF OCALA PLAT BOOK 1, PAGES 101-102</p>	
<p>PARCEL NO. 35495-019-00</p>	
<p>CLYMER FARMER BARLEY INC. 7413 ALFORD AVENUE MIDDLETON, FL 31642 TYLER, FLORIDA, FL FL LIC. NO. PW05 052748-3126</p>	
<p>SHEET NUMBER 1</p>	



BY	
REVISIONS	
DATE	
 CFB CLYMER FARMER BARILEY CIVIL ENGINEERS & ARCHITECTS, P.A. 7413 ALFORD AVENUE MIDDLETON, FL 32685	
AZALEA SKILLED NURSING FACILITY MAJOR SITE PLAN MARION COUNTY, FLORIDA STORMWATER MANAGEMENT FACILITY CROSS SECTION AND DETAIL	
SHEET NUMBER 21	



PARCEL NO. 35770-055-05
 MARO MANAGEMENT LLC
 132 OLIVERA WAY
 PALM BEACH GARDENS FLORIDA



TYPICAL DRY STORMWATER MANAGEMENT FACILITY
 CROSS SECTION A
 NO. B-02

NOTE: A minimum of three feet of consolidated soil material shall be provided between the surface of any berm, backfill, and the bottom and sides of any stormwater facility.

LEGEND

- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED PAVEMENT ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED PAVEMENT ELEVATION
- EXISTING ELEVATION
- DIRECTION OF DRAINAGE
- PROPOSED STORM SEWER
- PROPOSED NILET
- PROPOSED MANHOLE
- PROPOSED VARD DRAIN
- DRAINAGE STRUCTURE NUMBER (PROPOSED)
- PROPOSED PAVEMENT (SEE CONSTRUCTION SITE DETAILS SHEET FOR PAVEMENT SECTION)

BY	
DATE	
REVISIONS	



AZALEA SKILLED NURSING FACILITY
 MAJOR SITE PLAN
 MARION COUNTY, FLORIDA
STORMWATER MANAGEMENT FACILITY CROSS SECTION AND DETAIL

DATE	5/19/2025
DRAWN BY	JT
CHECKED BY	TC
PROJECT #	89284-0000
FILE NAME	

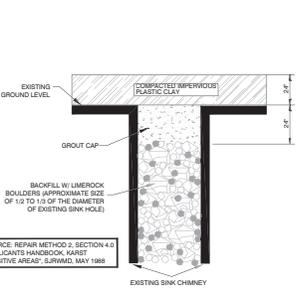
CLYMER FARMER BARLEY, INC.
 7413 ALFORD AVENUE
 MIDDLETON, FL 34152
 TYLER D. COUNTS, PE
 FL LIC. NO. 86005
 (850) 748-3128

SHEET NUMBER 22

BY	
REVISED	
DATE	



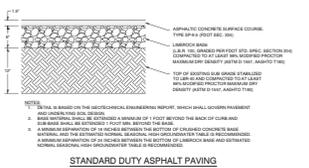
AZALEA SKILLED NURSING FACILITY	
MAJOR SITE PLAN	
MADISON COUNTY, FLORIDA	
CFB CONSTRUCTION SITE DETAILS	
SAVE DATE	5/18/2025
DRAWN BY	JT
CHECKED BY	TC
PROJECT #	89224.0000
FILE NAME	
SHEET NUMBER	24



TYPICAL SINK CHIMNEY REPAIR DETAIL
NOT TO SCALE

NOTES:
 1. IF SINK HOLE ACTIVITY OCCURS, CONTRACTOR SHALL CONTACT THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT FROM TO REPAIR.
 2. LIMESTONE OUTCROPS MUST BE EXCAVATED A MINIMUM OF 3' BELOW THE MAIN BOTTOM, AND 3' WIDER THAN THE CHIMNEY.
 3. CHIMNEY SHALL BE SLOTTED ACCORDING TO DETAIL AFTER OUTCROP EXCAVATION IS COMPLETE.
 4. IF LIMESTONE IS ENCOUNTERED, THE CONTRACTOR SHALL OVEREXCAVATE THE POND BOTTOM AND SIDES TO ENSURE A MINIMUM OF 3' FEET SEPARATION BETWEEN THE POND BOTTOM, SIDES, AND LIMESTONE TO PREVENT TEARING OF THE LINER.

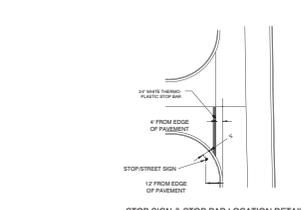
SOURCE: REPAIR METHOD 2, SECTION 4.0 APPLICANTS HANDBOOK, KARST SENSITIVE AREAS, SURFACED, MAY 1988



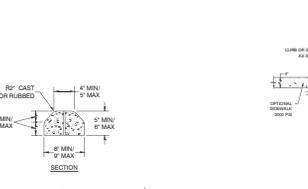
STANDARD DUTY ASPHALT PAVING
NOT TO SCALE



TRENCH CURB
NOT TO SCALE



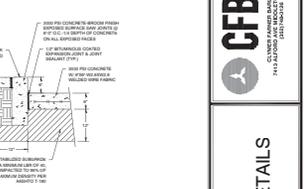
STOP SIGN & STOP BAR LOCATION DETAIL
NOT TO SCALE



BUILDING PAD SECTION
NOT TO SCALE



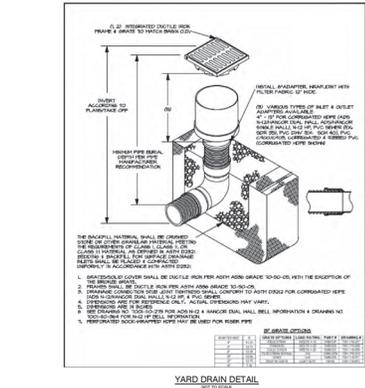
CONCRETE WHEEL STOP
NOT TO SCALE



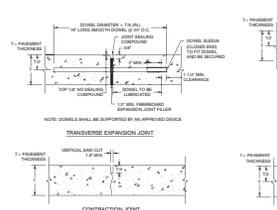
CONCRETE PAVEMENT
NOT TO SCALE



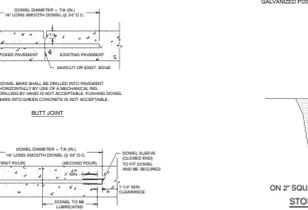
PAVEMENT MARKINGS
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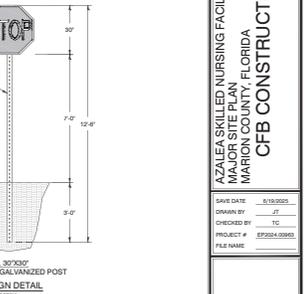
YARD DRAIN DETAIL
NOT TO SCALE



CONCRETE PAVEMENT JOINTS
TRANSVERSE EXPANSION JOINT
NOT TO SCALE

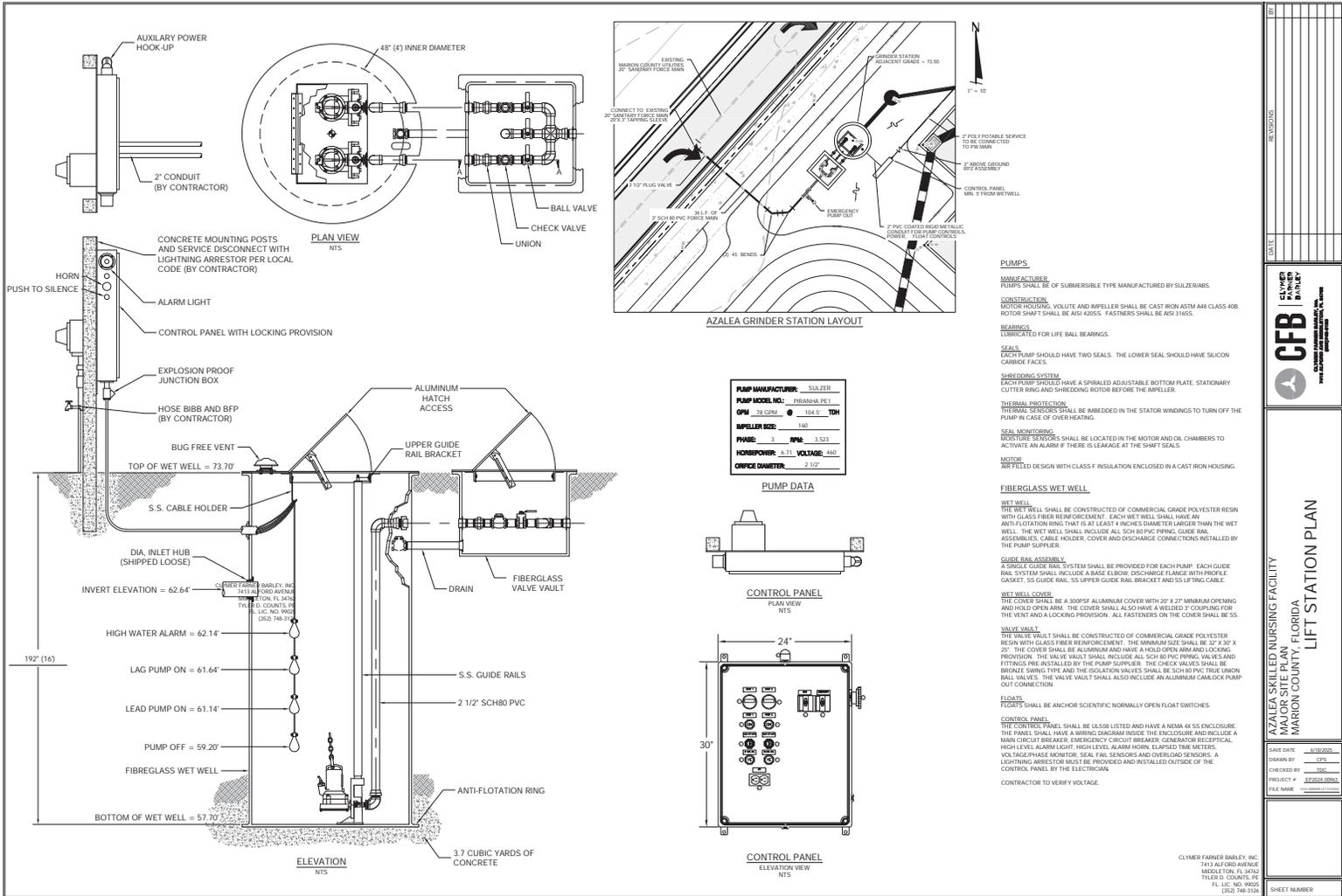


CONCRETE PAVEMENT JOINTS
BUTT JOINT
NOT TO SCALE



STOP SIGN DETAIL
NOT TO SCALE

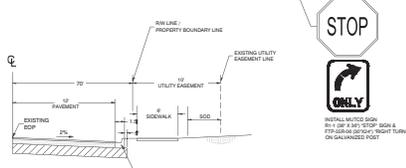
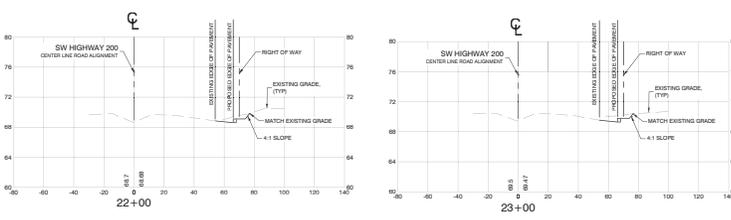
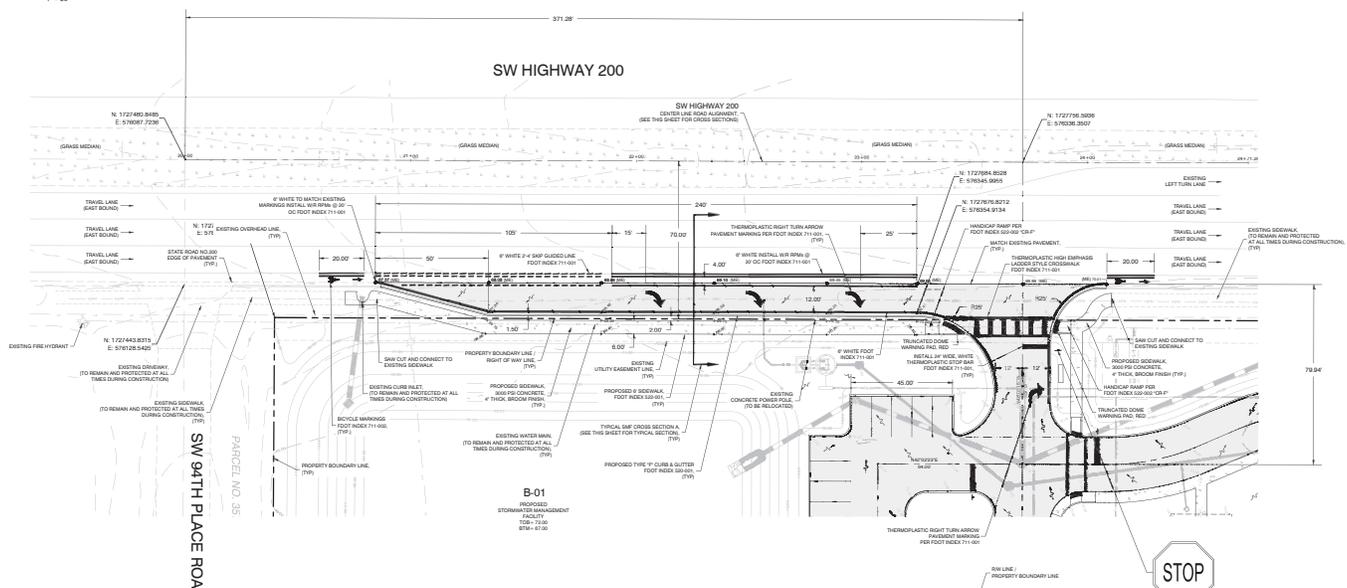
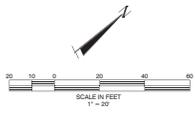
CLYMER FARMER BARLEY, INC.
 7413 ALFORD AVENUE
 MOULTON, FL 34220
 TYLER D. COUNTS, PE
 FL LIC. NO. 90205
 (352) 748-3126



AZALEA SKILLED NURSING FACILITY
 MAJOR SITE PLAN
 MARION COUNTY, FLORIDA
LIFT STATION PLAN

CFB
 CLYMER FARMER BARILEY, INC.
 CIVIL ENGINEERING & SURVEYING
 FLORIDA LICENSE NO. 9005

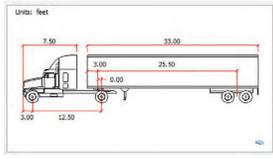
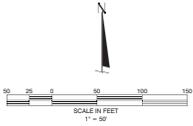
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 DRAWN BY: CPS
 CHECKED BY: JMC
 PROJECT #: 202304-0001
 FILE NAME: _____
 SHEET NUMBER: _____



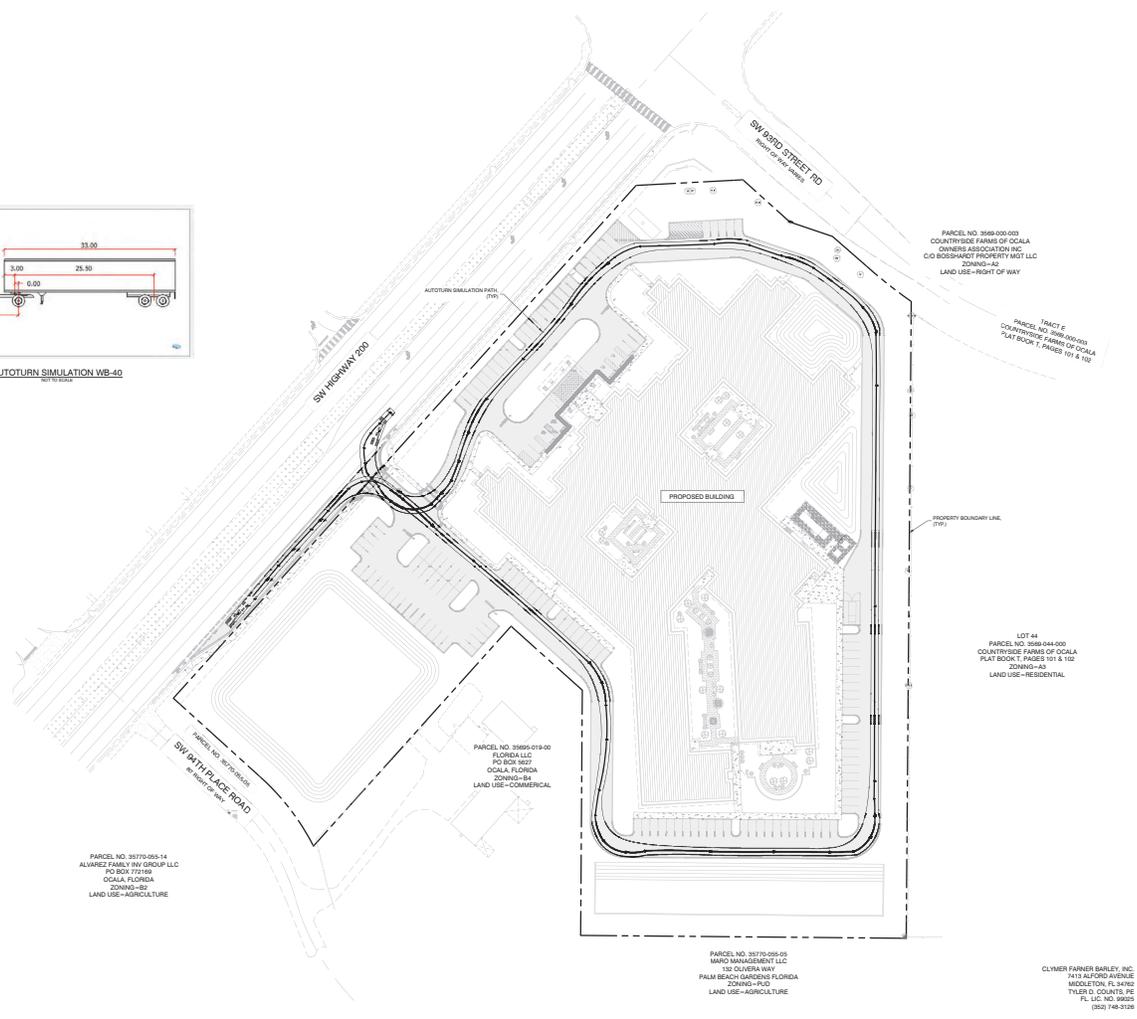
- NOTE:
1. MILLING & RESURFACING TO INCLUDE 2" AVELL DEPTH TYPE "CP" STRUCTURAL COURSE & FRICTION COURSE FC 12.5.PC 16.2
 2. DRIVEWAY CONNECTION & TURN LANE SHALL MATCH EXISTING PAVEMENT SECTIONS. EXISTING SECTION SHALL BE OBTAINED FROM ON-SITE PAVEMENT COURSE OR RECENT CONSTRUCTION PLANS. NOT TO INCLUDE RESURFACING PLANS.
 3. OR, MEET MINIMUM PAVEMENT DESIGN OF 2" SP AND OPTIONAL BASE GROUP WITH 12" TYPE B STABILIZATION OR AS BASE GROUP # HAS 12" LAMBSOOL. FC SHOULD INCLUDE PG 76.23 AS WELL AS THE LAST LAYER OF SP.

TYPICAL ROADWAY CROSS SECTION 'A'
NOT TO SCALE

BY	
REVISIONS	
DATE	
AZALEA SKILLED NURSING FACILITY MAJOR SITE PLAN MARION COUNTY, FLORIDA OFF-SITE TURN LANE PLAN	
DATE	5/23/2025
DRAWN BY	JT
CHECKED BY	TC
PROJECT #	899284.0000
FILE NAME	
SHEET NUMBER	30



AUTOTURN SIMULATION WB-40
REVISED



PARCEL NO. 35770-05-14
ALVAREZ FAMILY INV GROUP LLC
PO BOX 77166
OCALA, FLORIDA
ZONING-R1
LAND USE-AGRICULTURE

PARCEL NO. 31665-019-02
FLORIDA LLC
PO BOX 9627
OCALA, FLORIDA
ZONING-R4
LAND USE-COMMERCIAL

PARCEL NO. 15770-06-01
MARO MANAGEMENT LLC
151 OLIVERA WAY
PALM BEACH GARDENS FLORIDA
ZONING-RUD
LAND USE-AGRICULTURE

PARCEL NO. 3568-000-003
COURTSEIZE FARMS OF OCALA
OWNERS ASSOCIATION INC.
C/O BOSCHART PROPERTY MGT LLC
ZONING-A2
LAND USE-RIGHT OF WAY

TRACT E
PARCEL NO. 3568-000-001
COURTSEIZE FARMS OF OCALA
PLAT BOOK T, PAGES 101 & 102
ZONING-HS
LAND USE-RESIDENTIAL

LOT 44
PARCEL NO. 3568-044-000
COURTSEIZE FARMS OF OCALA
PLAT BOOK T, PAGES 101 & 102
ZONING-HS
LAND USE-RESIDENTIAL

OLYMER FARMER BARLEY, INC.
7413 ALFORD AVENUE
MOULTON, FL 34452
TYLER O. COULTS, PE
FL LIC. NO. 99205
(850) 748-3126

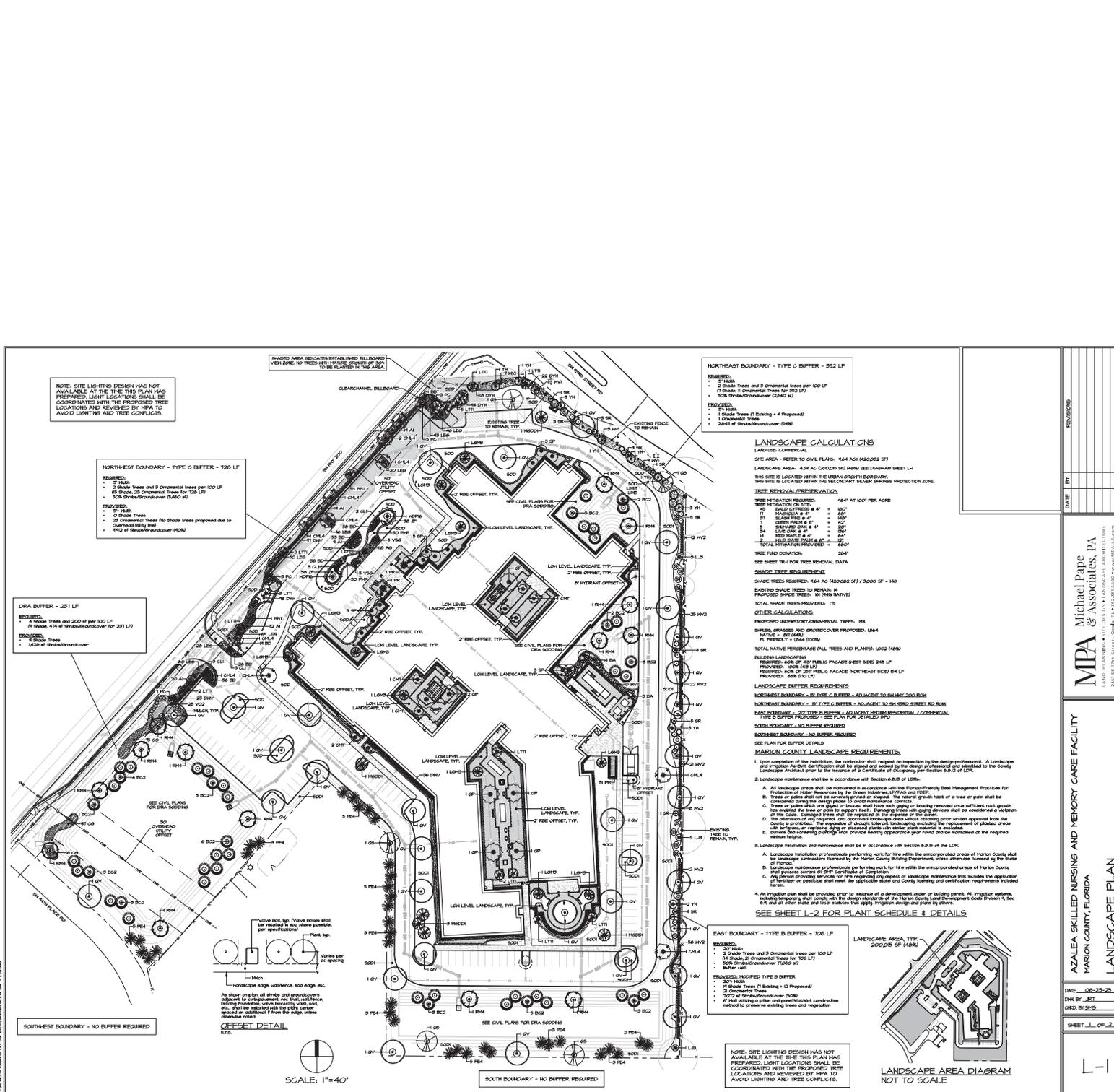
BY	
REVISIONS	
DATE	



AZALEA SKILLED NURSING FACILITY
MAJOR SITE PLAN
MARION COUNTY, FLORIDA
AUTOTURN SIMULATION PLAN

DATE	5/20/2025
DRAWN BY	JT
CHECKED BY	TC
PROJECT #	SP2024-00005
FILE NAME	

SHEET NUMBER	31
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NOTE: SITE LIGHTING DESIGN HAS NOT AVAILABLE AT THE TIME THIS PLAN WAS PREPARED. LIGHT LOCATIONS SHALL BE COORDINATED WITH THE PROPOSED TREE LOCATIONS AND REVIEWED BY MPA TO AVOID LIGHTING AND TREE CONFLICTS.

NORTHWEST BOUNDARY - TYPE C BUFFER - 120 LF
REQUIRED:
 17 Shade Trees and 9 Ornamental trees per 100 LF
 (17 Shade, 20 Ornamental trees for 120 LF)
 108 Shrubs/Screenover (2400 SF)
PROPOSED:
 17 Shade Trees
 20 Ornamental trees (no shade trees proposed due to overhead utility line)
 4920 # of Shrubs/Screenover (2400 SF)

DRA BUFFER - 25 LF
REQUIRED:
 4 Shade Trees and 200 # of per 100 LF
 (4 Shade, 414 # of Shrubs/Screenover for 25 LF)
PROPOSED:
 4 Shade Trees
 420 # of Shrubs/Screenover

NORTHEAST BOUNDARY - TYPE C BUFFER - 352 LF
REQUIRED:
 17 Shade Trees and 9 Ornamental trees per 100 LF
 (17 Shade, 20 Ornamental trees for 352 LF)
 108 Shrubs/Screenover (2400 SF)
PROPOSED:
 17 Shade Trees (7 Existing + 4 Proposed)
 1 Ornamental Tree
 2,240 # of Shrubs/Screenover (2400 SF)

LANDSCAPE CALCULATIONS

LAND USE: COMMERCIAL
 SITE AREA - REFER TO CIVIL PLANS: 644 AC (420,000 SF)
 LANDSCAPE AREA - 494 AC (340,000 SF) (AREA REE DRAINAGE SWEEP 1-4)
 THIS SITE IS LOCATED WITHIN THE URBAN GROWTH BOUNDARY. THIS SITE IS LOCATED WITHIN THE SECONDARY SILVER SPRINGS PROTECTION ZONE.

TREE REPLACEMENT/PROVISION
 TREE REPLACEMENT REQUIRED: 944' AT 100' PER ACRE
 TREE REPLACEMENT:
 17 SHADE TREES # 4" = 300'
 9 ORNAMENTAL TREES # 4" = 160'
 1 SLASH TREE # 4" = 20'
 1 SCREEN PALM # 4" = 40'
 24 LIVE OAK # 4" = 20'
 14 RED CYPRESS # 4" = 20'
 2 RED BAY PALM # 4" = 20'
 TOTAL TREE REPLACEMENT: 494'
 TREE PLANT DENSITY: 254'
 SEE SHEET 1R-1 FOR TREE REMOVAL DATA

SHADE TREE REQUIREMENTS
 SHADE TREES REQUIRED: 444 AC (420,000 SF) / 3,000 SF = 140
 EXISTING SHADE TREES TO REMAIN: 14
 PROPOSED SHADE TREES: 46 (14 NATIVE)
 TOTAL SHADE TREES PROVIDED: 158

OTHER CALCULATIONS
 PROPOSED UNDERSTORY/ORNAMENTAL TREES: 194
 158 NATIVE + 237 (144)
 15 NATIVE + 124 (109)
 TOTAL NATIVE PERCENTAGE (ALL TREES AND PLANTS): 100% (144)
 INCLUDING LANDSCAPING
 REQUIRED: 400 # OF PUBLIC PACKAGE BEST SEED 240 LF
 PROVIDED: 1000 # (400 LF)
 REQUIRED: 400 # OF 20" PUBLIC PACKAGE INHIBITANT SEED 54 LF
 PROVIDED: 400 # (54 LF)

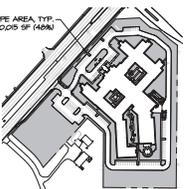
LANDSCAPE BUFFER REQUIREMENTS
 NORTHWEST BOUNDARY - TYPE C BUFFER - ADJACENT TO 100' BUFFER
 NORTHEAST BOUNDARY - TYPE C BUFFER - ADJACENT TO 100' BUFFER
 EAST BOUNDARY - TYPE B BUFFER - ADJACENT TO 100' BUFFER
 SOUTH BOUNDARY - NO BUFFER REQUIRED
 SOUTH BOUNDARY - NO BUFFER REQUIRED

MARION COUNTY LANDSCAPE REQUIREMENTS:
 Upon completion of the installation, the contractor shall request an inspection by the design professional. A Landscape and Irrigation Certificate shall be issued and retained by the design professional and submitted to the County Landscape Authority prior to the issuance of a Certificate of Occupancy per Section 6.0.12 of LMR.

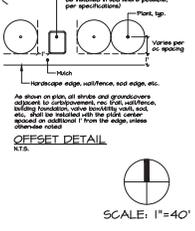
- Landscape maintenance shall be in accordance with Section 6.0.15 of LMR.
- All landscape maintenance shall be performed in accordance with the Florida Friendly Best Management Practices for Protection of Water Resources by the Urban Industries, Wildlife and PDES.
- Trees or plants shall not be removed, pruned or altered. The natural growth habit of a tree or plant shall be maintained to the design height of a mature specimen.
- Trees or plants which are girdled or braced shall have new girdling or bracing removed once sufficient root growth has occurred for the design height of a mature specimen.
- The location of any required and approved landscape area shall contain prior written approval from the County or authority. The location of any required and approved landscape area shall contain prior written approval from the County or authority. The location of any required and approved landscape area shall contain prior written approval from the County or authority. The location of any required and approved landscape area shall contain prior written approval from the County or authority.
- Buffers and screening planting shall provide healthy open space and be maintained at the required height.

SEE SHEET 1-2 FOR PLANT SCHEDULE & DETAILS

EAST BOUNDARY - TYPE B BUFFER - 106 LF
REQUIRED:
 17 Shade Trees and 9 Ornamental trees per 100 LF
 (17 Shade, 20 Ornamental trees for 106 LF)
 108 Shrubs/Screenover (2400 SF)
PROPOSED: MODIFIED TYPE B BUFFER
 17 Shade Trees
 20 Ornamental trees (10 Proposed)
 108 # of Shrubs/Screenover (2400 SF)
 # Fall striping a prior and post-construction construction method to preserve existing trees and vegetation



NOTE: SITE LIGHTING DESIGN HAS NOT AVAILABLE AT THE TIME THIS PLAN WAS PREPARED. LIGHT LOCATIONS SHALL BE COORDINATED WITH THE PROPOSED TREE LOCATIONS AND REVIEWED BY MPA TO AVOID LIGHTING AND TREE CONFLICTS.



SCALE: 1"=40'

DATE: 06-23-20
 DRAWN BY: JET
 CHECKED BY: JDS
 SHEET: 1 OF 2

MPA Michael Pape & Associates, PA
 LAND PLANNING • SITE DESIGN • LANDSCAPE ARCHITECTURE
 2335 US 170, SUITE 100, GAITHERSBURG, MD • TEL: 410-283-3000 • WWW.MPA-PA.COM

AZALEA, SKILLED NURSING AND MEMORY CARE FACILITY
 MARION COUNTY, FLORIDA
 LANDSCAPE PLAN

L-1

LOW LEVEL PLANT MATERIAL TO BE USED AROUND THE BUILDING FOUNDATION.

Key	Plant Name	Size and Spacing	Maintenance
AD	Lily-of-the-valley Adonis vernalis - (AD)	6" full 3-4 spp min 4' x 4'	24" H x full mass remove about flower stalks
AI	African Iris Iris sibirica - (AI)	6" full 3-4 spp min 4' x 4'	Allow natural growth (shaded regions)
BD	Blue Date Erythronium Blue 1/2" - (BD)	6" full 12" spp 4' x 4'	Allow natural growth and mowing keep it mowed
DH1	Daunt Yellow Verbena Verbena stricta Mrs. Sother's Delight - (DH1)	6" full 18" H x 18" W 4' x 4'	30" H x full mass
DH2	Daunt Yellow Holly Ilex verticillata - (DH2)	6" full 12" H x 18" W 4' x 4'	30" H x full mass
FB	Flaxweed Hemlock japonica - (FB)	6" full 18" H x 18" W 4' x 4'	Prune back by 1/3 in February
LD3	Baron's double Liriodie Liriodie Theodore Roosevelt - (LD3)	6" full 3-4 spp min 4' x 4'	18" H x full mass
PC	Phlox Phlox capensis - (PC)	6" full 18" H 4' x 4'	4" H x full mass maintain informally do not shear
PP	Pringle's Daunt Japanese Yew Podocarpus nagi Pringle's - (PP)	6" full 12" H x 12-18" W 4' x 4'	30" H x full mass maintain informally do not shear
VO2	Sweet Verbena Verbena stricta - (VO2)	6" full 30" H x 2" W 4' x 4'	4" H x 4" full hedge
VO6	Variegated tree daisy Aster variegatus Variegatus - (VO6)	6" full 18" H shade-grown 4' x 4'	Allow natural growth, maintain informally remove dead foliage
ZF	Coastal Zamia furcata - (ZF)	6" full 18" W 4' x 4'	Allow natural growth, prune only dead fronds
MELG	Pine Straw - (MELG)	3" depth	Maintain annually or as needed

PLANT SCHEDULE

Key	Qty	Plant Name	Size and Spacing	Maintenance
AD	10	Lily-of-the-valley Adonis vernalis - (AD)	6" full 3-4 spp min 4' x 4'	24" H x full mass remove about flower stalks
AI	10	African Iris Iris sibirica - (AI)	6" full 3-4 spp min 4' x 4'	Allow natural growth (shaded regions)
BA	1	Bambo Bambusa multiplex Alphonse Karr - (BA)	6" full 6-8' H (in cones) full 4' x 4'	5-20' H x full mass control monoculture
BD	5	Blue Date Erythronium Blue 1/2" - (BD)	6" full 12" spp 4' x 4'	Allow natural growth for form/ control monoculture
BD1	45	Baron's double Liriodie Liriodie Theodore Roosevelt - (BD1)	6" full 3-4 spp min 4' x 4'	18" H x full mass
BD2	45	Baron's double Liriodie Liriodie Theodore Roosevelt - (BD2)	6" full 3-4 spp min 4' x 4'	18" H x full mass
BD3	250	Blue Date Erythronium Blue 1/2" - (BD3)	6" full 12" spp 4' x 4'	Allow natural growth and mowing keep it mowed
CG	180	Centropogon Centropogon - (CG)	6" full 4' x 4'	Allow natural growth "topical" if required remove dead and loose damaged foliage biannually
CLJ	11	Green Lily Green Lily nature specimen - (CLJ)	6" full 3" W nature specimen	Allow natural growth
CH4	1	Crane Holly Ligustrum lucidum "Hedge" - (CH4)	6" full 12" H x 1/2" W 4' x 4'	20' H x 20' spp min no more than 1/2" dead
CH7	6	Crane Holly Ligustrum lucidum "Hedge" - (CH7)	6" full 12" H x 1/2" W 4' x 4'	10' H x 8' spp min no more than 1/2" dead
DH1	86	Daunt Yellow Verbena Verbena stricta Mrs. Sother's Delight - (DH1)	6" full 18" H x 18" W 4' x 4'	30" H x full mass
DH2	221	Daunt Yellow Holly Ilex verticillata Mrs. Sother's Delight - (DH2)	6" full 12" H x 18" W 4' x 4'	30" H x full mass
EPH	1	European Fan Palm Livistona rotundifolia - (EPH)	2" full 2' H nature specimen	Allow natural growth control monoculture
LD3	452	Baron's double Liriodie Liriodie Theodore Roosevelt - (LD3)	6" full 3-4 spp min 4' x 4'	18" H x full mass
LD4	11	Little Green Hopsage Hopsage Little Green - (LD4)	6" full 12" H x 18" W 4' x 4'	Allow natural growth pruned only for form or dead wood
LJ	11	Liriodie Liriodie japonica - (LJ)	6" full 3-4 spp min 4' x 4'	18" H x full hedge may be sheared
LJ1	20	Liriodie Liriodie japonica - (LJ1)	6" full 3-4 spp min 4' x 4'	18" H x full hedge may be sheared
LJ2	6	D.D. Barland Hopsage Hopsage D.D. Barland - (LJ2)	6" full 12" H x 18" W 4' x 4'	Allow natural growth pruned only for form or dead wood
PC	18	Phlox Phlox capensis - (PC)	6" full 18" H 4' x 4'	4" H x full mass maintain informally do not shear
PE4	31	Pringle's Daunt Podocarpus nagi Pringle's - (PE4)	6" full 12" H x 12-18" W 4' x 4'	30" H x full hedge may be sheared
PH	31	Pringle's Daunt Podocarpus nagi Pringle's - (PH)	6" full 12" H x 12-18" W 4' x 4'	30" H x full mass maintain informally do not shear
PR	2	Pringle's Daunt Podocarpus nagi Pringle's - (PR)	6" full 12" H x 12-18" W 4' x 4'	30" H x full mass maintain informally do not shear
QF	7	Queen Palm Syagrus coronata - (QF)	6" full 20" GA nature specimen	Allow natural growth prune only dead fronds leaf collecting not required
GS	5	Shrimp Oak Quercus agrifolia - (GS)	6" full 18" H x 18" W 4' x 4'	Allow natural growth pruned only for form or dead wood
LD	14	Live Oak Quercus agrifolia - (LD)	6" full 18" H x 18" W 4' x 4'	Allow natural growth pruned only for form or dead wood
RD4	14	Red Hopsage Aster ruber - (RD4)	6" full 18" H x 18" W 4' x 4'	Allow natural growth pruned only for form or dead wood
SP	16	Spade Palm Sabal palmetto - (SP)	6" full 18" H x 18" W 4' x 4'	Allow natural growth pruned only dead fronds to keep fan round leaf collecting not required
SK	28	Sonnet Palm Serenoa repens - (SK)	6" full 24" H x 24" W 4' x 4'	Allow natural growth maintain informally
VO2	26	Sweet Verbena Verbena stricta - (VO2)	6" full 30" H x 2" W 4' x 4'	4" H x full hedge
VO6	10	Variegated tree daisy Aster variegatus Variegatus - (VO6)	6" full 18" H shade-grown 4' x 4'	Allow natural growth maintain informally remove dead foliage
HPR6	3	Hill Date Palm Phoenix palm - (HPR6)	6" full 18" H 4' x 4'	Allow natural growth prune only dead fronds leaf collecting not required
H1	84	Hollers Verbena Verbena stricta - (H1)	6" full 18" H x 24" W 4' x 4'	4" H x 2" full hedge
H2	20	Hollers Verbena Verbena stricta - (H2)	6" full 18" H x 24" W 4' x 4'	4" H x 2" full hedge
YH	17	Yakon Holly tree type Ilex verticillata - (YH)	6" full 12" H x 18" W 4' x 4'	Allow natural growth do not shear prune only for form or dead wood
ZF	76	Coastal Zamia furcata - (ZF)	6" full 18" W 4' x 4'	Allow natural growth, prune only dead fronds
MELG	1	Pine Straw - (MELG)	3" depth	Maintain annually or as needed
SCD	1	St. Augustine Palm Stenandrium secundatum "Hedge" - (SCD)	6" full 12" H x 18" W 4' x 4'	Allow natural growth prune only dead fronds
SC1	1	Argentine Palm Palm Argentine - (SC1)	6" full 12" H x 18" W 4' x 4'	Allow natural growth prune only dead fronds

Note: Plant quantities are provided as a guide only. The contractor shall confirm total quantities as reflected by the plan. All sizes given are minimum unless otherwise noted. Every component of items shall be new.

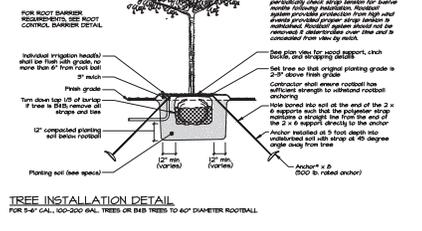
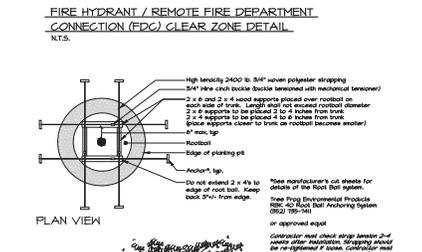
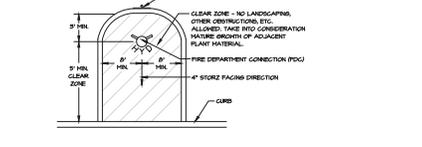
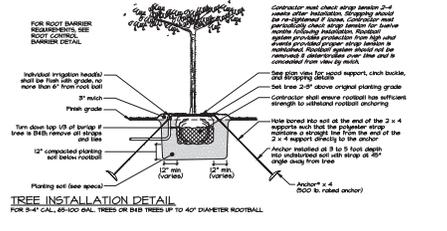
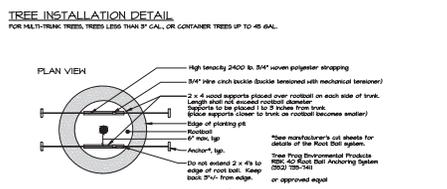
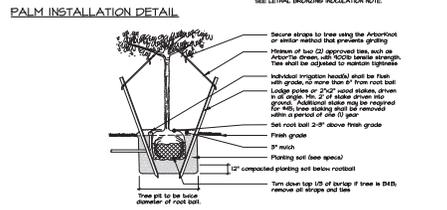
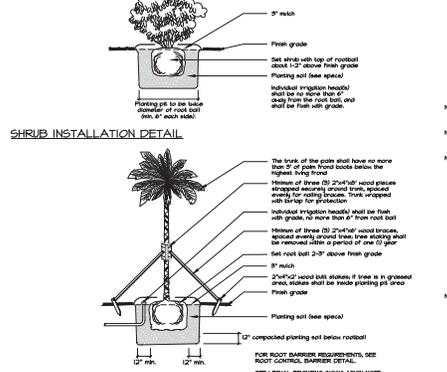
Note: Quantities are provided as a guide only. The contractor shall confirm total quantities as reflected by the plan. Spacing noted is a general guide only. Spacing shall be adjusted as required to maintain quantities noted as an alternative to the provided quantities. All sizes given are minimum unless otherwise noted. Every component of items shall be new.

Note: It shall be the responsibility of the landscape contractor to provide watering irrigation to irrigated plants included as part of this contract. Irrigation not established or broken, otherwise occurs at owner.

DATE: 06-28-25
 DRAWN BY: JET
 CHECKED BY: JDS
 SHEET: 2 OF 2

MICHAEL PAPER & ASSOCIATES, PA
 LAND PLANNING & SITE DESIGN • LANDSCAPE ARCHITECTURE
 2330 E. 15TH STREET, GAITHERSBURG, MD 20878 • TEL: 301.251.0000 • WWW.MPA-PA.COM

AZALEA SKILLED NURSING AND MEMORY CARE FACILITY
 HARRISON COUNTY, FLORIDA
 LANDSCAPE PLAN



Tree Number	DBH	TYPE	WAV	PRESERVE/REMOVE
64	14"	OAK	VARIABLE	REMOVE
70	12"	OAK	VARIABLE	REMOVE
7	15"	CHERRY	VARIABLE	REMOVE
12	12"	CHERRY	NON-VARIABLE	REMOVE
19	12"	CHERRY	NON-VARIABLE	REMOVE
74	26"	CHERRY	VARIABLE	REMOVE
75	18"	OAK	VARIABLE	REMOVE
76	12"	OAK	VARIABLE	REMOVE
77	18"	OAK	VARIABLE	REMOVE
78	22"	OAK	NON-VARIABLE	REMOVE
79	17"	CHERRY	VARIABLE	REMOVE
80	12"	PALM	VARIABLE	REMOVE
81	24"	OAK	VARIABLE	REMOVE
82	16"	OAK	VARIABLE	REMOVE
83	26"	OAK	VARIABLE	REMOVE
84	30"	OAK	VARIABLE	REMOVE
85	26"	OAK	VARIABLE	REMOVE
86	12"	OAK	VARIABLE	REMOVE
87	18"	CHERRY	NON-VARIABLE	REMOVE
88	17"	OAK	VARIABLE	REMOVE
89	20"	OAK	VARIABLE	REMOVE
90	10"	CHERRY	VARIABLE	REMOVE
9	20"	OAK	VARIABLE	REMOVE
92	10"	OAK	VARIABLE	REMOVE
93	10"	OAK	VARIABLE	REMOVE
94	30"	CHERRY	VARIABLE	REMOVE
95	18"	OAK	VARIABLE	REMOVE
96	27"	OAK	VARIABLE	REMOVE
97	26"	CHERRY	VARIABLE	REMOVE
98	14"	OAK	VARIABLE	REMOVE
99	22"	CHERRY	VARIABLE	REMOVE
100	36"	OAK	VARIABLE	REMOVE
101	24"	CHERRY	VARIABLE	REMOVE
102	24"	OAK	VARIABLE	REMOVE
103	38"	OAK	VARIABLE	REMOVE
104	28"	OAK	VARIABLE	REMOVE
105	10"	OAK	VARIABLE	REMOVE
106	24"	CHERRY	NON-VARIABLE	REMOVE
107	24"	PINE	NON-VARIABLE	REMOVE
108	14"	CHERRY	VARIABLE	REMOVE
109	17"	OAK	VARIABLE	REMOVE
110	12"	CHERRY	VARIABLE	REMOVE
11	20"	CHERRY	VARIABLE	REMOVE
112	18"	OAK	VARIABLE	REMOVE
113	17"	CHERRY	VARIABLE	PRESERVE
114	12"	CHERRY	VARIABLE	PRESERVE
115	12"	CHERRY	VARIABLE	PRESERVE
116	18"	PALM	VARIABLE	PRESERVE
117	12"	CHERRY	NON-VARIABLE	REMOVE
118	40"	OAK	VARIABLE	PRESERVE

Tree Number	DBH	TYPE	WAV	PRESERVE/REMOVE
119	14"	CHERRY	NON-VARIABLE	REMOVE
120	12"	CHERRY	VARIABLE	REMOVE
121	20"	CHERRY	VARIABLE	REMOVE
122	10"	OAK	VARIABLE	REMOVE
123	10"	OAK	VARIABLE	REMOVE
124	24"	CHERRY	NON-VARIABLE	REMOVE
125	18"	CHERRY	VARIABLE	REMOVE
126	10"	OAK	VARIABLE	REMOVE
127	18"	CHERRY	NON-VARIABLE	REMOVE
128	18"	OAK	VARIABLE	PRESERVE
129	20"	OAK	VARIABLE	PRESERVE
130	18"	CHERRY	NON-VARIABLE	REMOVE
131	12"	CHERRY	NON-VARIABLE	REMOVE
132	12"	CHERRY	NON-VARIABLE	REMOVE
133	40"	OAK	VARIABLE	PRESERVE
134	14"	OAK	VARIABLE	PRESERVE
135	10"	OAK	VARIABLE	REMOVE
136	36"	OAK	VARIABLE	REMOVE
137	12"	OAK	VARIABLE	REMOVE
138	56"	OAK	VARIABLE	REMOVE
139	35"	OAK	VARIABLE	REMOVE
140	10"	OAK	VARIABLE	REMOVE
141	22"	CHERRY	NON-VARIABLE	REMOVE
142	58"	OAK	VARIABLE	REMOVE
143	14"	OAK	VARIABLE	REMOVE
144	22"	OAK	VARIABLE	REMOVE
145	17"	CHERRY	VARIABLE	REMOVE
146	32"	OAK	VARIABLE	REMOVE
147	24"	OAK	VARIABLE	PRESERVE
148	10"	OAK	VARIABLE	REMOVE
149	14"	OAK	VARIABLE	PRESERVE
150	12"	PALM	VARIABLE	REMOVE
151	12"	PALM	VARIABLE	REMOVE
152	10"	PALM	VARIABLE	PRESERVE



Marion County

Development Review Committee

Agenda Item

File No.: 2025-21410

Agenda Date: 11/24/2025

Agenda No.: 6.1.

SUBJECT:

**Jean and Peter Salvas - Family Division Waiver Request
Project #2024090078 #33523 Parcel #44679-003-00
Miranda Andrews**

This item was tabled at the 11/3/25 DRC meeting.

LDC 2.16.1.B(10) - Family Division

CODE states a parcel of record as of January 1, 1992 that is not located in a recognized subdivision or an Ag Lot Split. and is located in the Rural Lands may be subdivided for use of immediate family members for their primary residences. Within the Farmland Preservation Area, each of the new tract and the remaining parent tract must be at least three (3) acres in size. Within the Rural Lands. outside of the Farmland Preservation Area each of the new tract and the remaining parent tract must be at least one (1) acre in size. In the Urban Area, only parcels of record as of January 1, 1992 which are Low Residential property exceeding two (2) acres in size may be divided for the use of immediate family members for their primary residences up to the maximum density of one (1) dwelling unit per gross acre. Immediate family is defined as grandparent, parent, step-parent, adopted parent, sibling, child, step-child, adopted child, or grandchild. A parcel of record shall not be divided more than three (3) times as a family division. Minimum access onto a road or street shall be a shared access that is at least forty (40) feet in width and shall be provided by recorded deed or by recorded non-exclusive easement. No subdivision and conveyance to the same family member more than once shall be permitted. No new parcel created by way of family division may be sold or offered for sale within five (5) years of the date of recording the deed transferring ownership of the new parcel to the immediate family member, except in the event of such immediate family member's death. During the five-year holding period, the immediate family member receiving the resulting family division parcel may convey ownership and interest in that resulting family division parcel to their spouse, as tenants in common with rights of survivorship, consistent with the Laws of Florida. Any subdividing of a parcel of record for the purpose of family division shall follow the waiver request process pursuant to Article 2, Division 10 of the Code.

APPLICANT requests a family division to deed an acre to their daughter.

October 31, 2025

PROJECT NAME: JEAN AND PETER SALVAS
PROJECT NUMBER: 2024090078
APPLICATION: FAMILY DIVISION WAIVER REQUEST #33523

- 1 DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: APPROVED
- 2 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: N/A
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: Approved. The applicant is requesting to divide the 5.38-acre subject parcel (PID 44679-003-00) into two to create a 4.38-acre parcel and a 1-acre parcel. Adjacent parcels range in size from 1 acre to 25 acres.
There appears to be approximately 3,976 sf existing impervious coverage on subject parcel. There are no FEMA Flood Zones or Flood Prone Areas on the property. The applicant should note that a Major Site Plan or a stormwater compliance waiver is required when either parcel is proposed to exceed 9,000 sf impervious site coverage.
- 4 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: Approved
- 5 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: APPROVED
- 6 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: Fam Div
Conditional Approval is granted pending the applicant's completion of the Family Division process. The Zoning Department has reviewed and confirmed eligibility to apply for a Family Division. Following DRC approval, the applicant must submit the following documents to the Zoning Department for final processing:
 - A recorded survey with updated legal descriptions
 - The newly recorded warranty deed
 - A signed and notarized affidavitAll required items must be returned to the Zoning Department to complete the process.

7 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.16.1.B(10) - Family Division

STATUS OF REVIEW: INFO

REMARKS: Fam Div

Conditional Approval is granted pending the applicant's completion of the Family Division process. The Zoning Department has reviewed and confirmed eligibility to apply for a Family Division.

Following DRC approval, the applicant must submit the following documents to the Zoning Department for final processing:

- A recorded survey with updated legal descriptions
- The newly recorded warranty deed
- A signed and notarized affidavit

All required items must be returned to the Zoning Department to complete the process.

8 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 2.16.1.B(10) - Family Division

STATUS OF REVIEW: INFO

REMARKS: Conditionally Approved:

Parcel 44679-003-00 is within the Marion County Utilities (MCU) service area but is located outside of connection distance to existing water and wastewater infrastructure. The nearest MCU mains are more than three (3) miles away.

The 20-foot flag lot entrance from SE 150th Street must include a 20-foot utility access easement for future installation of water and sewer facilities.

This parcel is located outside both the Urban Growth Boundary (UGB) and the Primary Springs Protection Zone.

9 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.16.1.B(10) - Family Division

STATUS OF REVIEW: NO

REMARKS: 10/17/25-Defer to Growth: Please provide title work(opinion) on survey

REVISED



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 9-29-25 Parcel Number(s): 44679-003-00 Permit Number:

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Commercial [] or Residential [X] Subdivision Name (if applicable): Unit Block Lot Tract

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Jean L. Salvas PETER F. SALVAS Signature: [Signatures] Mailing Address: 1990 SE 150th City: Summerfield State: FL Zip Code: 34491 Phone #: 401-829-7060 Email address: JSalvas60@gmail.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Contact Name: Miranda Andrews Mailing Address: 1990 SE 150th St. City: Summerfield State: FL Zip Code: 34491 Phone #: 401-578-7618 Email address: msalvas03@gmail.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 2.16.1.B(10) - Family Division Reason/Justification for Request (be specific): I am gifting a acre to my daughter to build a permanent residence in proximity to me for future caregiving.

DEVELOPMENT REVIEW USE:

Received By: [Signature] Date Processed: 10/16/25 Project #: 2024090078 AR #: 33523

ZONING USE: Parcel of record: Yes [X] No [] Eligible to apply for Family Division: Yes [X] No [] Zoned: A-1 ESOZ: MA P.O.M. 202 Land Use: Rural Plat Vacation Required: Yes [] No [X] Date Reviewed: 10-15-25 Verified by (print & initial): C. Carr





Jimmy H. Cowan, Jr., CFA
Marion County Property Appraiser - Beta Map It+

Updated every 24 hrs

SE 150th ST.

Layers

- 2022 Vacant Sales
- 2021 Improved Sales
- 2021 Vacant Sales
- 2020 Improved Sales
- 2020 Vacant Sales
- 2019 Improved Sales
- 2019 Vacant Sales
- School Zones/Locations**
 - Elementary School Districts
 - Middle School Districts
 - High School District
 - School Locations
- Zoning**
 - Zoning - County
 - Zoning - Belleview
 - Zoning - Dunnellon
 - Zoning - McIntosh
 - Zoning - Ocala
 - Zoning - Reddick
- AERIALS**
- ESRI Streets**

Sublayers Opacity

0 50 100

200ft

2023-12-19A

20 ft. Existing easement

3.38

40' Easement

2 ACRES

SEE SOUTH 300' X 331' SITE PLAN TO SCALE

ST HOME WELL OUT BUILDING

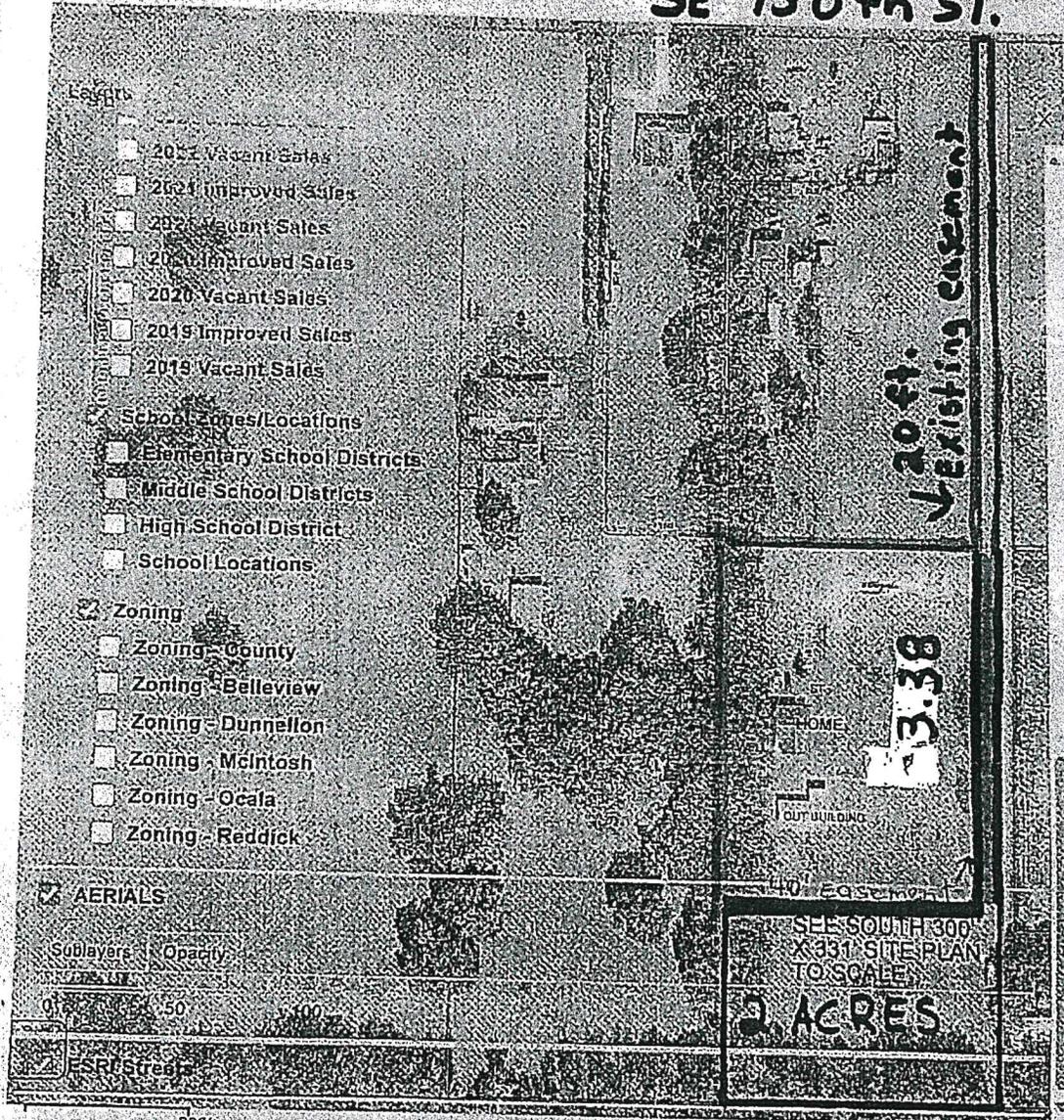
[Click here for Legal Disclaimer](#)



Jimmy H. Cowan, Jr., CFA
Marion County Property Appraiser - Beta Map (t+)

Updated every 24 hrs

SE 150th ST.



2023-12-19A

[Click here for Legal Disclaimer](#)



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 9-29-25 Parcel Number(s): 44679-003-00 Permit Number: _____

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: _____ Commercial or Residential
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Jean L. Salvas PETER F. SALVAS
Signature: Jean L. Salvas Peter F. Salvas
Mailing Address: 1990 SE 150th City: Summerfield
State: FL Zip Code: 34491 Phone # 401-829-7060
Email address: JSalvas60@gmail.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): _____ Contact Name: Miranda Andrews
Mailing Address: 1990 SE 150th St. City: Summerfield
State: FL Zip Code: 34491 Phone # 401-578-7018
Email address: MSalvas03@gmail.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 2.16.1.B(10) - Family Division
Reason/Justification for Request (be specific): I am gifting 1 acre to my daughter to build a permanent residence in proximity to me for future caregiving.

DEVELOPMENT REVIEW USE:

Received By: EM Date Processed: 10/16/25 Project # 2024090078 AR# 33523

ZONING USE: Parcel of record: Yes No Eligible to apply for Family Division: Yes No
Zoned: A-1 ESOZ: MA P.O.M. 202 Land Use: Rural Plat Vacation Required: Yes No
Date Reviewed: 10-15-25 Verified by (print & initial): CBarr

Interactive USE ONLY



Map

1963

44677-000-00

2126

2100

44681-004-01

1984

44679-003-01

44679-002-00

1960

EXISTING

44681-004-00

PARENT PROPERTY
4.38

44679-001

1990

44679-003-00

44679-002-03

40' EASEMENT

44679-002-01

DAUGHTER
PROPERTY
1 ACRE

1996

2012

2112

1937



0 100 200ft

Prepared by and return to:
Bankers Title/Kathie Barnard
509 South Martin Luther King Jr. Ave., Suite A
Clearwater, Florida 33756
File Number: 08230143
Parcel ID Number: 44679-003-00
Consideration: \$470,000.00

WARRANTY DEED

THIS INDENTURE made this 14th day of September, 2023 BETWEEN GENA CHRISTINA DECAMELLA a/k/a GENA DECAMELLA, an unmarried woman, of the County of Marion, State of Florida, Grantor, and PETER F. SALVAS and JEAN L. SALVAS, husband and wife, of the County of Marion, State of Florida, Grantee, whose address is: 1990 SE 150th Street, Summerfield, FL 34491.

WITNESSETH, That said Grantor, for and in consideration of the sum of Ten and No/100 Dollars and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Marion County, Florida, to wit:

The land hereinafter referred to is situated in the City of Summerfield, County of Marion, State of Florida, described as follows: The West 1/4 of the Northwest 1/4 of the Northeast 1/4 of Section 21, Township 17 South, Range 22 East, except the North 210 feet of the West 210 feet and also LESS AND EXCEPT the North 1/2 of the West 1/4 of the Northwest 1/4 of the Northeast 1/4 of Section 21, Township 17 South, Range 22 East, except the North 210 feet of the West 210 feet, as conveyed in Book 6944, Page 1791.

AND

The East 20 feet of the North 1/2 of the West 1/4 of the Northwest 1/4 of the Northeast 1/4 of Section 21, Township 17 South, Range 22 East, Marion County, Florida LESS AND EXCEPT any portion thereof, conveyed to Marion County in Official Records Book 594, Page 742, Public Records Marion County, Florida.

SUBJECT TO taxes for the year 2023 and subsequent years.

SUBJECT TO easements, restrictions and reservations of record.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever.

Warranty Deed
Page 2 of 2

IN WITNESS WHEREOF, Grantor has hereunto set Grantors hand and seal the day and year first above written.

Signed, sealed & delivered
in the presence of:

x Ramiro Guerrero
Witness

Gená Decamella
GENA CHRISTINA DECAMELLA
a/k/a GENA DECAMELLA
Address: 9 Nashua Way
Ocala, FL 34482

Print Name: Ramiro Guerrero
[Signature]

Witness
Print Name: Michael Pineiro

STATE OF FLORIDA
COUNTY OF MARION

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 11th day of September, 2023 before me, an officer duly qualified to take acknowledgements, appeared GENA CHRISTINA DECAMELLA, who is/are personally known by me or who has/have produced identification attesting to Affiant's identity, to wit: _____; who executed the foregoing instrument and acknowledged before me the execution of the same.

WITNESS my hand and official seal in the County and State last aforesaid this 11th Day of September, 2023.

[Signature]

Notary Public - Signature
Name: Michael Pineiro

My commission expires: 05/08/2024



Jimmy H. Cowan, Jr., CFA
Marion County Property Appraiser



501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

2025 Property Record Card

44679-003-00

[GOOGLE Street View](#)

Prime Key: 1910871

[MAP IT+](#)

Current as of 9/29/2025

Property Information

SALVAS PETER F
 SALVAS JEAN L
 1990 SE 150TH ST
 SUMMERFIELD FL 34491-3823

Taxes / Assessments:

Map ID: 202

Millage: 9001 - UNINCORPORATED

M.S.T.U.

PC: 01

Acres: 5.38

More Situs

Situs: 1990 SE 150TH ST
 SUMMERFIELD

Current Value

Land Just Value	\$121,084		
Buildings	\$150,581		
Miscellaneous	\$5,292		
Total Just Value	\$276,957		
Total Assessed Value	\$270,187	Impact	
Exemptions	(\$50,722)	Ex Codes: 01 38	(\$6,770)
Total Taxable	\$219,465		
School Taxable	\$245,187		

History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2024	\$108,537	\$148,709	\$5,326	\$262,572	\$262,572	\$50,000	\$212,572
2023	\$108,537	\$146,034	\$5,377	\$259,948	\$259,948	\$0	\$259,948
2022	\$78,579	\$128,780	\$5,411	\$212,770	\$210,697	\$0	\$210,697

Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
8147/0051	09/2023	07 WARRANTY	9 UNVERIFIED	Q	I	\$470,000
7810/0942	06/2022	07 WARRANTY	9 UNVERIFIED	U	I	\$25,000
7512/1254	07/2021	06 SPECIAL WARRANTY	9 UNVERIFIED	U	I	\$192,000
7135/1222	01/2020	08 CORRECTIVE	0	U	I	\$100
7111/1297	01/2020	05 QUIT CLAIM	0	U	I	\$100
6911/1606	02/2019	31 CERT TL	0	U	I	\$100
3031/0003	10/2001	61 FJGMNT	0	U	V	\$100
2665/1660	06/1999	05 QUIT CLAIM	0	U	V	\$100
2665/1657	06/1999	77 AFFIDAVIT	0	U	V	\$100
2600/1116	09/1997	71 DTH CER	0	U	V	\$100
LESE/01YR	02/1989	LS LEASE	0	U	V	\$100

Property Description

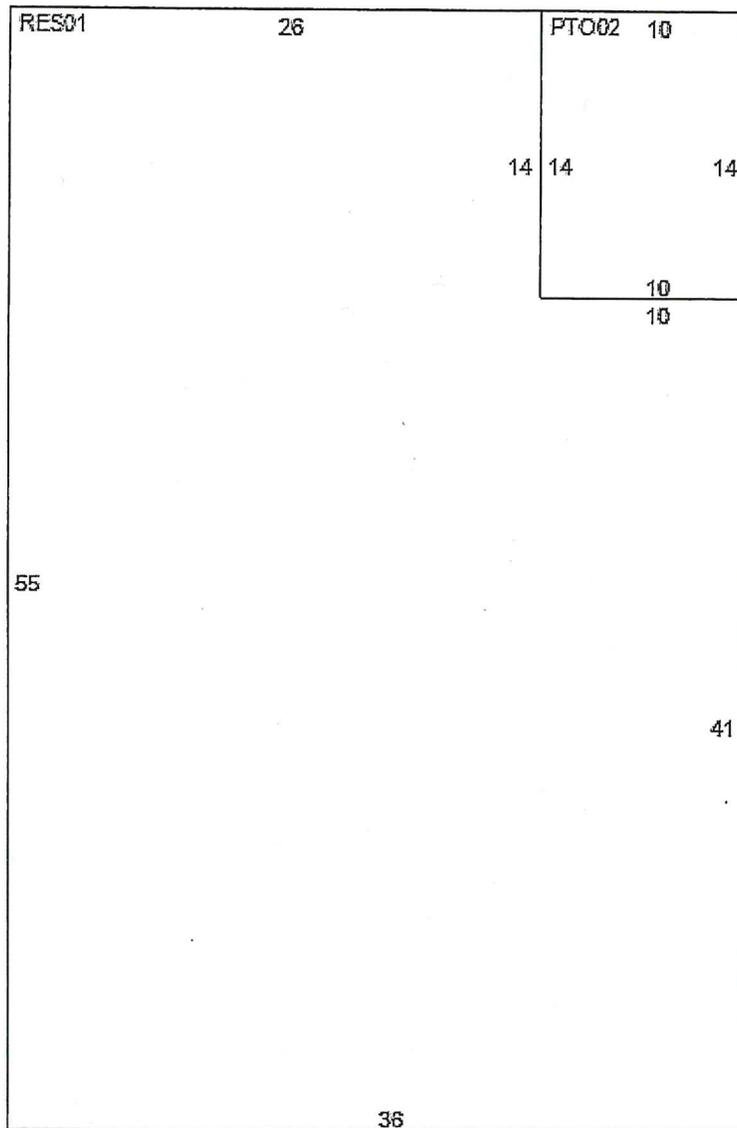
SEC 21 TWP 17 RGE 22
W 1/4 OF NW 1/4 OF NE 1/4
EXC N 210 FT OF W 210 FT
EXC N 1/2 &
E 20 FT OF N 1/2 OF W 1/4 OF NW 1/4 OF NE 1/4
EXC ANY PT THEREOF CONVEYED TO MARION COUNTY IN OR BK 594-742
Parent Parcel: 44679-000-00

Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0100		.0	.0	A1	1.00	AC	19,300.0000	1.00	1.70	1.00	32,810	32,810
9430		20.0	637.0	A1	.29	AC	19,300.0000	1.00	1.08	0.50	3,022	3,022
9902		.0	.0	A1	4.09	AC	19,300.0000	1.00	1.08	1.00	85,252	85,252
Neighborhood 9470											Total Land - Class \$121,084	
Mkt: 10 70											Total Land - Just \$121,084	

Traverse

Building 1 of 1
RES01=L36U55R26D14R10D41.U41
PTO02=L10U14R10D14.



Building Characteristics

Improvement 1F - SFR- 01 FAMILY RESID
 Effective Age 4 - 15-19 YRS
 Condition 0
 Quality Grade 500 - FAIR
 Inspected on 1/1/2025 by 210

Year Built 1985
 Physical Deterioration 0%
 Obsolescence: Functional 0%
 Obsolescence: Locational 0%
 Architecture 0 - STANDARD SFR
 Base Perimeter 182

TypeID	Exterior Walls	Stories	Year Built	Finished Attic	Bsmt Area	Bsmt Finish	Ground Floor Area	Total Flr Area
RES 01	32 - CONC BLK-STUCO	1.00	1985	N	0 %	0 %	1,840	1,840
PTO 0201	- NO EXTERIOR	1.00	1990	N	0 %	0 %	140	140

Section: 1

Roof Style: 10 GABLE	Floor Finish: 24 CARPET	Bedrooms: 3	Blt-In Kitchen: Y
Roof Cover: 08 FBRGLASS SHNGL	Wall Finish: 16 DRYWALL-PAINT	4 Fixture Baths: 0	Dishwasher: N
Heat Meth 1: 20 HEAT PUMP	Heat Fuel 1: 10 ELECTRIC	3 Fixture Baths: 2	Garbage Disposal: N
Heat Meth 2: 00	Heat Fuel 2: 00	2 Fixture Baths: 0	Garbage Compactor: N
Foundation: 7 BLK PERIMETER	Fireplaces: 1	Extra Fixtures: 2	Intercom: N
A/C: Y			Vacuum: N

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width	
190 SEPTIC 1-5 BTH	1.00	UT	99	1985	2	0.0	0.0	
256 WELL 1-5 BTH	1.00	UT	99	1985	2	0.0	0.0	
UDG GARAGE-UNFINSH	1,200.00	SF	40	1985	1	30.0	40.0	
UCP CARPORT-UNFIN	464.00	SF	40	1985	1	29.0	16.0	
159 PAV CONCRETE	120.00	SF	20	1985	3	12.0	10.0	
UCP CARPORT-UNFIN	320.00	SF	40	2000	1	20.0	16.0	
Total Value - \$5,292								

Appraiser Notes

Planning and Building

** Permit Search **

Permit Number	Date Issued	Date Completed	Description
2024102670	10/26/2024	1/3/2025	INSTALL 12 X24 ABOVE GROUND POOL
2024010158	1/1/2024	2/2/2024	NEW 200 AMP SERVICE ATTACHED TO EXISTING GARAGE FOR GENERAL
2023063284	6/23/2023	7/11/2023	REMOVE AND REPLACE SHINGLES SFR. FL#18355.1 FL#18374.1
2023053872	5/31/2023	6/14/2023	C/O 3.5 TON RUNTRU SEER2 14.30. AHRI# 209472707
2022010036	1/1/2022	5/12/2022	ADDITION OF 2 BEDROOMS; BATHROOM; DINING ROOM; LAUNDRY & DE
MC03729	11/1/1983	12/1/1985	SFR

Cost Summary

Buildings R.C.N.	\$176,720	2/16/2024				
Total Depreciation	(\$53,016)					
Bldg - Just Value	\$123,704		Bldg Nbr	RCN	Depreciation	Depreciated
Misc - Just Value	\$5,292	2/19/2013	1	\$176,720	(\$53,016)	\$123,704
Land - Just Value	\$121,084	5/22/2025				
Total Just Value	\$250,080					



Marion County

Development Review Committee

Agenda Item

File No.: 2025-21411

Agenda Date: 11/24/2025

Agenda No.: 6.2.

SUBJECT:

Orange Lake Overlook Restoration - Waiver Request to Major Site Plan in Review

19865 N Us Hwy 441 Micanopy

Project #2025030052 #32721 Parcel #02709-000-00

JB Pro

LDC 6.13.2.A (1-3) - Minimum requirements

CODE states A. Plan sheets shall minimally show: (1) All pre-development and post-development basins that contribute runoff to the area proposed for development, including all off-site contributions, and areas that may be impacted by the development fully delineated and quantified. (2) The time of concentration, and travel path, for each watershed. (3) The location and design parameters for all retention/detention areas including: (a) Dimensions or coordinates for constructability. (b) Cross sections, to scale, along the width and length of each pond, showing the design high water elevation, estimated seasonal high water elevation, pond top elevation, pond bottom elevation, side slope steepness, maintenance berm width, sod stabilization of the pond side slopes, and appropriate vegetative cover on the pond bottom. A typical cross section can be used instead when sufficient information is shown on the plan view which minimally includes pond width and length call outs as measured at the pond's top and bottom elevations. (c) Soil boring location with labels.

APPLICANT requests a waiver due to the proposed site plan is under the threshold required for stormwater.

LDC 6.13.2.C - Minimum requirements

CODE states C. Geotechnical investigation report shall minimally include: (1) A summary of all subsurface exploration data and subsurface soil profiles. (2) Exploration logs, laboratory or in situ test results, groundwater information, the interpretation and analysis of the subsurface data. (3) Recommendations for design, discussion of conditions for solution of anticipated problems, and recommended geotechnical special provisions.

APPLICANT requests a waiver due to the proposed site plan is under the threshold required for stormwater.

LDC 6.13.3 - Types of stormwater management facilities

CODE states A. Existing public. (1) An adjacent public retention/detention area may be utilized for disposal of runoff generated by an applicant's improvements if it can be proven that capacity is sufficient. (2) A Stormwater Connection Application is required for any connection to or expansion of a County retention/detention area, including but not limiting to drainage retention/detention areas or conveyance systems, not previously designed or permitted to consider the applicant's improvements. (3) If the retention/detention area is still under a maintenance agreement, approval in writing must be received from the maintenance entity, when not the County, stating no objection to the use of the facility. B. Natural. (1) A natural facility may be used without further excavation upon the applicant's submittal of calculations demonstrating the existing capacity is sufficient. (2) Proof of control, ownership or easement for operation and maintenance of the natural facility shall be provided. (3) Runoff from adjacent property, to a natural facility, must be perpetuated to the extent of protecting upland owner interest. C. Proposed public. (1) Retention/detention areas shall have side slopes no steeper than 4:1 (horizontal: vertical) with a minimum berm width of 12 feet stabilized at six percent grade maximum around the entire perimeter of the facility. Side slopes steeper than 4:1 may be allowed with additional accommodations related to public safety, maintenance, and access upon approval by the County

Engineer or his designee. (2) Stormwater management systems servicing a public development shall be owned and maintained by Marion County. They may be privately owned and maintained, upon approval by the County Engineer and granting of an easement to Marion County, minimally allowing but not obligating, emergency maintenance, as well as access to, drainage of, conveyance of, and storage of stormwater. (3) If fencing is used, it shall be per the County Fence Detail found in [Section 7.3.1](https://library.municode.com/fl/marion_county/codes/land_development_code?nodeId=LADECO_ART7COSPDEDE_DIV3DEDE_S7.3.1TRST) https://library.municode.com/fl/marion_county/codes/land_development_code?nodeId=LADECO_ART7COSPDEDE_DIV3DEDE_S7.3.1TRST Transportation and Stormwater details. (4) The bottom of all dry water retention areas shall have appropriate vegetative cover. (5) A retention/detention area that is adjacent to a public right-of-way shall be constructed to be aesthetically pleasing with curvilinear form and shall be landscaped with a mixed plant pallet meeting Marion-friendly landscaping standards minimally consisting of four shade trees and 200 square feet of landscaping comprised of shrubs and/or groundcover for every 100 lineal feet of frontage or fractional part thereof, or, in the case of a wet facility, a littoral zone meeting the governing water management district criteria. The proposed landscaping shall be arranged to provide ease of maintenance and screening of stormwater structures. D. Proposed private. (1) Residential subdivisions. Retention/detention areas shall have side slopes no steeper than 4:1 (horizontal: vertical) with a minimum berm width of 12 feet stabilized at six percent grade maximum around the entire perimeter of the facility. Side slopes steeper than 4:1 may be allowed with additional accommodations related to public safety, maintenance, and access upon approval by the County Engineer or his designee. (2) Commercial lots or subdivisions. Retention/detention areas shall be designed with a minimum berm width of 5 feet stabilized at six percent grade maximum around the entire perimeter of the facility and side slopes: (a) No steeper than 4:1 (horizontal: vertical); or (b) Steeper than 4:1 with an access path provided to the bottom of the facility at a slope of no steeper than 3:1; or (c) As vertical walls with a structural detail for the wall design provided, adhering to Florida Building Code, an access path provided to the bottom of the facility at a slope of no steeper than 3:1, and an appropriate barrier provided when adjacent to vehicular paths and parking areas. (3) The bottom of all dry water retention areas shall have appropriate vegetative cover. (4) A retention/detention area that is adjacent to a public right-of-way shall be constructed to be aesthetically pleasing with curvilinear form and shall be landscaped with a mixed plant pallet meeting Marion-friendly landscaping standards minimally consisting of four shade trees and 200 square feet of landscaping comprised of shrubs and/or groundcover for every 100 lineal feet of frontage or fractional part thereof, or, in the case of a wet facility, a littoral zone meeting the governing water management district criteria. The proposed landscaping shall be arranged to provide ease of maintenance and screening of stormwater structures. APPLICANT requests a waiver due to the proposed site plan is under the threshold required for stormwater.

LDC 6.13.7 - Geotechnical criteria

CODE states A. Methodology. The pattern and type of test borings shall be determined by the project engineer, geotechnical engineer, or geologist based on the project size, type, and complexity. (1) Infiltration/permeability rate tests shall follow methods acceptable to the governing State agency and shall be performed at the depth and location which will provide representative test results for use in the design of the retention/detention area. Soil identifications shall refer to the AASHTO Soil Classification System conforming to AASHTO Designation M 145-91. (2) Where visual reconnaissance, available published data, and/or initial borings suggest high karst sensitivity or lithologic variability, additional borings may be required if deemed necessary by the County Engineer or his designee. B. Minimum requirements. (1) Depth. Soil test borings shall be performed to a minimum depth of 10 feet below the proposed finished grade of the bottom of all retention/detention areas or the permanent pool elevation and once the data has been obtained the hole shall be backfilled and compacted. (2) Number of tests. At least two tests shall be performed within the boundary of each proposed retention/detention area. For each half acre of pond bottom area and for each lineal retention/detention area of 250 feet, an additional test shall be conducted. The County Engineer or his designee, may require additional tests if the initial tests indicate the need for them. (3) Infiltration/permeability tests. For retention/detention areas utilizing percolation or infiltration in the design model, there shall be a minimum of two infiltration rate tests for each retention/detention area. Data used for soil permeability testing or infiltration analyses for the retention/detention areas shall be signed and sealed by a professional engineer or professional geologist for both data and procedural accuracy. (4) Aquifer parameters. The estimated

seasonal high ground water elevation and confining layer shall be clearly identified. C. Design considerations. (1) The estimated seasonal high water elevation and the confining layer shall be set no lower than the bottom of the boring for the purposes of stormwater system modeling. (2) The pond bottom elevation of a stormwater facility shall be designed a minimum of 1 foot above the estimated seasonal high water elevation. When the pond bottom is within 1 foot of the estimated seasonal high water elevation, a 50 percent reduction factor shall be used for percolation or ground water mounding analysis shall be included.

APPLICANT requests a waiver due to the proposed site plan is under the threshold required for stormwater.

LDC 6.13.8 - Stormwater conveyance criteria

CODE states A. Methodology. Calculations for stormwater collection and transmission systems shall be designed using the Rational Method based on FDOT Zone 7 Intensity - Duration Curves. Ditch and storm drain flow capacity shall be determined from Manning's Formula with coefficients of roughness based on an assumption of conditions of ultimate development. B. Minimum requirements. (1) Design storm. Conveyance systems shall be sized to accommodate the 25-year 24-hour storm event based on the condition of ultimate development. (2) Tailwater. (a) The tailwater elevation utilized shall be based on the tailwater elevation of the receiving water body plus 6 inches at the peak discharge time of the design storm. (b) Alternatively, the tailwater elevation utilized can be the design high water elevation of the 25-year 24-hour design storm. (c) Note that future connections must be able to demonstrate that conveyance can be achieved at all connections, future and existing, meeting one of the above criteria. (3) Lane spread. Lane spread shall be calculated using FDOT criteria considering the 4-inch per hour or 10-year frequency storm as appropriate, to produce the following results: (a) Subdivision Local and Minor Local Roads. The allowable lane spread shall be no greater than the crown (or high side) of the road. For all divided roadways the allowable lane spread shall be no greater than the inside (or high side) edge of pavement. (b) Arterial, Collector, and Major Local Roads. The allowable lane spread shall leave 8 feet of travel lane dry in each direction. (4) Drainage rights-of-way. All retention/detention areas within subdivision developments shall have direct access to a right-of-way. A drainage right-of-way may be necessary to establish this access. A minimum 12-foot wide, stabilized vehicle access at six percent maximum grade shall be provided to allow for ingress and egress of the retention/detention area. Drainage rights-of-way shall be a minimum of 30 feet in width. As an alternative to right-of-way, access may be provided by an easement of the same width. (5) Drainage easements. All drainage swales to facilities or underground stormwater conveyance systems shall be within drainage easements, except where rights-of-way are provided. Drainage easements shall be a minimum of 20 feet in width. (6) Floodways. If in a floodway or flood prone area, the cross drain shall be sized to accommodate the design intent of that basin. (7) Sizes. Stormwater conveyance pipes and cross culverts shall be a minimum of 18 inches diameter or equivalent. Driveway culverts shall be a minimum of 15 inches diameter or equivalent for residential use and a minimum of 18 inches diameter or equivalent for commercial use. Roof drains, prior to connection to the overall stormwater system, are exempt from minimum diameter requirements. C. Design considerations. (1) Culvert flow capacity shall be determined for the conditions of inlet control or outlet control as applicable. (2) Stormwater collection and transmission systems shall be by inlets, swales, culverts, etc. The use of siphons, pumps, or similar devices is not allowed. (3) Ditch blocks shall be designed and constructed with hard core centers. (4) Stormwater flow velocity shall be taken into consideration in the design of all drainage ditches and appropriate erosion protection shall be provided in accordance with the FDOT Drainage Manual. (5) Where any storm pipe terminates at an earthen slope a mitered end section and concrete collar, or approved equal, is required. Concrete mitered end sections are required for culverts, cross drains and side drains when within a County right-of-way with posted speeds of 40 mph or greater.

APPLICANT requests a waiver due to the proposed site plan is under the threshold required for stormwater.

LDC 6.13.12 - Operation and maintenance

CODE states A. The stormwater management system and associated elements shall be operated and maintained in accordance with this Code, the applicable water management district, the manufacturer's specifications, and other specifications necessitated by the design. B. An operation and maintenance document shall be provided. The owner shall include a signed and dated certification in the document as follows: I hereby certify that I, my successors, and assigns shall perpetually operate and maintain the

stormwater management and associated elements in accordance with the specifications shown herein and on the approved plan (this signature is not required until the final submittal). C. Operation and maintenance documentation shall be incorporated into any contracts, covenants, and/or restrictions for the property owner association and/or property management association.

APPLICANT requests a waiver due to the proposed site plan is under the threshold required for stormwater.

November 3, 2025

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.C - Geotechnical Investigation Report
STATUS OF REVIEW: INFO
REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.7 - Geotechnical Criteria
STATUS OF REVIEW: INFO
REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2 A(1)/(2) - Contributing Basins/Tc
STATUS OF REVIEW: INFO
REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"
- 4 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations
STATUS OF REVIEW: INFO
REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"
- 5 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.A(3) - Retention/Detention Area Design Parameters
STATUS OF REVIEW: INFO
REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"
- 6 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.3 - Type of Stormwater Facility Criteria
STATUS OF REVIEW: INFO
REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"
- 7 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.4 - Stormwater Quantity Criteria
STATUS OF REVIEW: INFO
REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"
- 8 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.4.C - Discharge Conditions
STATUS OF REVIEW: INFO
REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"
- 9 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.B(6) - Freeboard
STATUS OF REVIEW: INFO
REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"
- 10 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.4.D - Recovery Analysis
STATUS OF REVIEW: INFO
REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"

- 11 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.6 - Stormwater Quality Criteria
STATUS OF REVIEW: INFO
REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"
- 12 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.6.C - Best Management Practices
STATUS OF REVIEW: INFO
REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"
- 13 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.A(12)/6.12.5 - Stormwater Details, Cross Sections, References
STATUS OF REVIEW: INFO
REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"
- 14 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.B(8) - Calculation & Plan Consistency
STATUS OF REVIEW: INFO
REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"
- 15 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 16 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.
- 17 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.10 - Karst Topography and High Recharge Areas
STATUS OF REVIEW: INFO
REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"
- 18 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.12 - Operation and Maintenance
STATUS OF REVIEW: INFO
REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"
- 19 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.
STATUS OF REVIEW: INFO
REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"
- 20 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: INFO
REMARKS: (1) If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org. (2) Proposed grading and

drainage modifications that impact the FDOT ROW drainage systems need to be coordinated directly with FDOT.

- 21 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.5 - Driveway access
STATUS OF REVIEW: INFO
REMARKS: 4/28/25 - Driveway access and related pavement markings and signage must be permitted by FDOT in consultation with OCE Traffic.

- 22 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 4/17/25-add waivers if requested in future

- 23 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

- 24 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Operating Permit Required
STATUS OF REVIEW: INFO
REMARKS: Requires limited use water system permit through the Department of Health in Marion County. Although no utility work is being done an operating permit for this well will be required. An application, water system diagram, and water testing will be required.
Please reach out to Rebecca.Roy@FLHealth.gov

- 25 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: 2.12.6 - Location of septic systems & wells
STATUS OF REVIEW: INFO
REMARKS: Well must be 100' from septic system, currently they are ~60' away. Variance may be required.

- 26 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: Limited Use Water System permit required for well.

- 27 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 6.5 & 6.6 - Habitat Preservation/Mitigation Provided?
STATUS OF REVIEW: INFO
REMARKS: If any listed species are observed/potentially located on site, coordinate with FWC and get required permits. Habitat preservation/mitigation plan shall be submitted to County for records at later stage.

- 28 DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: Additional 911 comments

STATUS OF REVIEW: INFO

REMARKS: Sheets 4 - 6 - Please remove label for S US Hwy 441 on any future submittals. I will not reject for this at this time however if any future submittals are done this needs to be removed.

29 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.6 - Location of water and sewer. Does this need a special use permit?

STATUS OF REVIEW: INFO

REMARKS: Indicates use of well/sewer. Defer to MCU/DOH for any needed permits.

30 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 5.2 & 5.3 - Verify any overlay zones such as ESOZ, Springs Protection, or Flood Plain

STATUS OF REVIEW: INFO

REMARKS: Within property boundaries:

ESoz

Secondary Springs Protection Zone

FEMA Flood Zones X/AE

9/2 Please indicate on cover sheet.

31 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.B(4) - Hydrologic Analysis

STATUS OF REVIEW: NO

REMARKS: After further review, this project should probably have been routed as a minor site plan. The original amount of impervious triggered the need for the major site plan. The proposed amount of impervious falls below the threshold and would qualify for the minor site plan. Because the project was routed as a major site plan, it is subject to the requirements of a major site plan. The only way to be relieved of the requirements of a major site plan is to seek a waiver to the requirements. Please contact the reviewer to discuss pursuing the waiver.

32 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 7.1.3 - Drainage Construction Specifications

STATUS OF REVIEW: NO

REMARKS: Please add the following note to the cover page: "No change to the work as shown on the approved plans shall be made without notification to and approval by the office of the County Engineer." The note is required to be on the cover sheet.

33 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.11.3 - Traffic Impact Analysis

STATUS OF REVIEW: NO

REMARKS: 8/29/25 - Using the latest version of the ITE Trip Generation Manual, provide the number of weekday daily trips and maximum peak HR trips on the cover sheet under a section labeled "Traffic Statement".

4/28/25 - Traffic statement minimally required. If traffic assessment or traffic study is required, a traffic methodology must first be submitted separately. Contact OCE Traffic with any questions.

34 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.4.L(2)/3.2.3 - Use Consistent with FLU Designation?

STATUS OF REVIEW: NO

REMARKS: [09/18/2025] see comments below:

1. Policy 120 request letter is submitted. However, the request letter is not approved yet, and it requires the documentation showing the property and its existence before and after April 7, 1994. Please provide the

information in the resubmittal.

2. Please describe what the specific uses and programs are on site.

[original comments] The property is located within B-2 zoning classification and Rural Land land use designation. B-2 is not compatible with RL land use designation. Policy 120 letter is required. Please see Additional Planning Comments below.

35 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.4.L(3) - All applicable Developer's Agreements listed?

STATUS OF REVIEW: NO

REMARKS: [09/18/2025] Policy 120 request letter is submitted and noted on the cover sheet. However, the request letter is not approved yet. Please see other Land Use review comments.

[original comments] When Policy 120 letter is approved, please add a note indicating Policy 120 letter on the Cover Sheet.

36 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.4.L(6) - Gross/wetland/floodplain acreage listed?

STATUS OF REVIEW: NO

REMARKS: [09/18/2025] Portions of the parcel on the east side are located within Flood Zone. Please provide information as commented below.

[original comment] Provide a statement indicating if the subject property is located within one percent (100-year) FEMA flood plain. Show one percent (100-year) FEMA flood zone on plan and list acreage and percentage.

37 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.16/6.5 - [EALS or EALS-ER provided?]

STATUS OF REVIEW: NO

REMARKS: Provide Environmental Assessment of Listed Species (EALS) or submit an Exemption Request per LDC Sec. 6.5.

38 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: Additional Planning Items:

STATUS OF REVIEW: NO

REMARKS: [09/18/2025] See comments below:

1. Policy 120 request letter is submitted. However, the request letter is not approved yet, and it requires the documentation showing the property and its existence before and after April 7, 1994. Please provide the information in the resubmittal.

2. Please describe what the specific uses and programs are on site.

[original comments] Due to incompatibility with Land Use designation, a Policy 120 letter is required for this property. Please submit a request letter to Marion County Growth Services Director Chuck Varadin. Provide sufficient support documents with request letter. Until the letter is issued, this item remains as NO. Please include the Policy 120 letter in resubmittal.

39 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.4 - Shade tree requirements

STATUS OF REVIEW: NO

REMARKS: Provide shade tree calculations 1/3,000sf of project site

40 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.4 - Landscape area requirements for non-residential development

STATUS OF REVIEW: NO

REMARKS: Provide landscape area calculations showing 20% is met

- 41 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.6 - Buffers
STATUS OF REVIEW: NO
REMARKS: 1. Confirm Oak trees and winged elm trees along US 441 are a minimum of 30' from OHW, evergreen understory trees would be allowed at a 1:1 basis if a conflict exists
- 42 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.7 - Parking areas and vehicular use areas
STATUS OF REVIEW: NO
REMARKS: Terminus parking islands shall have a canopy tree
- 43 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.9 - Service and equipment areas
STATUS OF REVIEW: NO
REMARKS: Will there be a dumpster? if so, show screening
- 44 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.12 - Landscape completion inspection requirements
STATUS OF REVIEW: NO
REMARKS: Provide note from this section of plans
- 45 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.9.2 - Irrigation plan requirements (details, legend, notes)
STATUS OF REVIEW: NO
REMARKS: Provide signed and sealed irrigation plan
- 46 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.9.6 - Completion inspection requirements
STATUS OF REVIEW: NO
REMARKS: Provide note from this section of plans
- 47 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.19.3 - Outdoor lighting plan requirements
STATUS OF REVIEW: NO
REMARKS: will there be outdoor lighting? if so please provide a signed and sealed photometric plan
- 48 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.24 - Landscape requirements/6.8.6 - Buffering
STATUS OF REVIEW: NO
REMARKS: Please provide required buffer type along ROW, per LDC Sec. 6.8.6. Any garbage collection area shall meet screening requirements, per LDC Sec. 6.8.9
9/2 Show location. dimensions and labels of buffering on plan.
- 49 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.32 - Show 100yr flood zone
STATUS OF REVIEW: NO
REMARKS: Please indicate FEMA flood zone or flood prone areas
9/2 Include flood zone designation (X) on cover sheet.
- 50 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.32 - Modified Environmental Assessment for Listed Species (LDC 6.5.4) -OR- EALS Exemption Application (LDC 6.5.3) submitted (including habitat assessment as necessary per LDC 6.6.4)

STATUS OF REVIEW: NO

REMARKS: Please provide Environmental Assessment for Listed Species (EALS) or EALS exemption application, per LDC Sec. 6.5

9/2 Requested exemption contingent on approval.

51 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: Additional Zoning comments

STATUS OF REVIEW: NO

REMARKS: Commercial B-2 zoning in agricultural Rural Lands. Property needs to obtain recognition as existing non-residential use per Comprehensive Plan Policy 10.1.5, which indicates that:

"The County shall insure that conforming commercial and industrial uses existing as of April 7, 1994, the initial adoption date of the plan, shall be considered conforming uses.

1. Proof of Development: Property owners shall be required to provide sufficient documentation to the County to obtain a conformity letter for such existing development.
 2. Permitted Use(s): The pre-existing use(s) may expand onto any property with the same ownership, properly zoned and contiguous to the existing commercial or industrial use as of the referenced date. The pre-existing use shall be limited to the number of use(s) on the site and was developed in conformity with the Zoning classification at that time. The recognized pre-existing use may change as long as the use is allowable within the Zoning classification.
 3. Subdivision of Property with Pre-Existing Use(s): Should the property which includes a pre-existing use recognized under this policy be legally subdivided, then the conforming use letter shall apply only to the portion of the property which historically included the majority of the pre-existing use with primary consideration for the hard improvements such as structures, public water and sewer, driveway and parking supporting the recognized use.
 4. Property Compliance: If a property with a vested letter obtains a Comprehensive Plan amendment and Zoning Change for consistency purposes, then the vested letter shall be void and the property shall comply with all applicable Comprehensive Plan, Zoning, and LDC requirements.
 5. Appeals: The County shall implement an appeal procedure as further defined in the LDC."
- To request a conformity letter, please contact the Growth Services director at Chuck.Varadin@marionfl.org.
9/2 This item will remain no until policy 120 letter has been approved.

52 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Major Site Plan

STATUS OF REVIEW: NO

REMARKS: Please reflect who will be signing on behalf of the company on the cover sheet. If it is Jeffrey Forbes, please provide documentation that shows their authority to sign on behalf of the entity, as their name is not reflected on SunBiz. Project Map checked as well. -EMW 9.2.2025

IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal

state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."
2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 10/14/2025 Parcel Number(s): 02709-000-00 Permit Number: 32721

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Orange Lake Overlook Restoration Commercial Residential
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Tom Kay
Signature: *Tom Kay*
Mailing Address: 7204 SE County Road 234 City: Gainesville
State: Florida Zip Code: 32641 Phone #: (352) 373-1078
Email address: jeffrey@alachuaconservationtrust.org

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): JBrown Professional Group Inc. Contact Name: Jack Charnas
Mailing Address: 3530 NW 43rd St City: Gainesville
State: Florida Zip Code: 32606 Phone #: (353) 375-8999
Email address: jack.arnas@jbpro.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): _____ 6.10
Reason/Justification for Request (be specific): Proposed site plan is under the threshold required for stormwater improvements.

DEVELOPMENT REVIEW USE:

Received By: _____ Date Processed: 11/3/25 Project # 2025030052 AR # 32721

ZONING USE: Parcel of record: Yes No Eligible to apply for Family Division: Yes No
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes No
Date Reviewed: _____ Verified by (print & initial): _____



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DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Section & Title of Code (be specific) _____ 6.2.5

Reason/Justification for Request (be specific): Proposed site plan is under the threshold required for stormwater improvements.

Section & Title of Code (be specific) _____ 6.13.2.A(1)

Reason/Justification for Request (be specific): Proposed site plan is under the threshold required for stormwater improvements.

Section & Title of Code (be specific) _____ 6.13.2.A(2)

Reason/Justification for Request (be specific): Proposed site plan is under the threshold required for stormwater improvements.

Section & Title of Code (be specific) _____ 6.13.2.A(3)

Reason/Justification for Request (be specific): Proposed site plan is under the threshold required for stormwater improvements.

Section & Title of Code (be specific) _____ 6.13.2.A(12)

Reason/Justification for Request (be specific): Proposed site plan is under the threshold required for stormwater improvements.

Section & Title of Code (be specific) _____ 6.13.2.B

Reason/Justification for Request (be specific): Proposed site plan is under the threshold required for stormwater improvements.

Section & Title of Code (be specific) _____ 6.13.2.B(1)

Reason/Justification for Request (be specific): Proposed site plan is under the threshold required for stormwater improvements.



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DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Section & Title of Code (be specific) _____ 6.13.2.B(2)

Reason/Justification for Request (be specific): Proposed site plan is under the threshold required for stormwater improvements.

Section & Title of Code (be specific) _____ 6.13.2.B(4)

Reason/Justification for Request (be specific): Proposed site plan is under the threshold required for stormwater improvements.

Section & Title of Code (be specific) _____ 6.13.2.B(6)

Reason/Justification for Request (be specific): Proposed site plan is under the threshold required for stormwater improvements.

Section & Title of Code (be specific) _____ 6.13.2.B(8)

Reason/Justification for Request (be specific): Proposed site plan is under the threshold required for stormwater improvements.

Section & Title of Code (be specific) _____ 6.13.2.C

Reason/Justification for Request (be specific): Proposed site plan is under the threshold required for stormwater improvements.

Section & Title of Code (be specific) _____ 6.13.3

Reason/Justification for Request (be specific): Proposed site plan is under the threshold required for stormwater improvements.

Section & Title of Code (be specific) _____ 6.13.4

Reason/Justification for Request (be specific): Proposed site plan is under the threshold required for stormwater improvements.



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DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Section & Title of Code (be specific) _____ 6.13.4.C

Reason/Justification for Request (be specific): Proposed site plan is under the threshold required for stormwater improvements.

Section & Title of Code (be specific) _____ 6.13.4.D

Reason/Justification for Request (be specific): Proposed site plan is under the threshold required for stormwater improvements.

Section & Title of Code (be specific) _____ 6.13.6

Reason/Justification for Request (be specific): Proposed site plan is under the threshold required for stormwater improvements.

Section & Title of Code (be specific) _____ 6.13.6

Reason/Justification for Request (be specific): Proposed site plan is under the threshold required for stormwater improvements.

Section & Title of Code (be specific) _____ 6.13.6.C

Reason/Justification for Request (be specific): Proposed site plan is under the threshold required for stormwater improvements.

Section & Title of Code (be specific) _____ 6.13.7

Reason/Justification for Request (be specific): Proposed site plan is under the threshold required for stormwater improvements.

Section & Title of Code (be specific) _____ 6.13.8

Reason/Justification for Request (be specific): Proposed site plan is under the threshold required for stormwater improvements.



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DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Section & Title of Code (be specific) _____ 6.13.12

Reason/Justification for Request (be specific): Proposed site plan is under the threshold required for stormwater improvements.

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

From: [Jack Charnas, PE](#)
To: [Vickers, Kevin](#); [Development Review](#)
Cc: [Pool, Aaron](#); [Cambre, Jason](#); [Ezekiel Durand](#)
Subject: RE: Waiver Request for AR 32721
Date: Thursday, October 30, 2025 8:14:27 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)

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This email originated from outside the organization. Do not click links, open attachments, or share any information unless you recognize the sender and know the content is safe. Report suspicious emails using the "Phish Alert" button in Outlook or contact the Helpdesk.

Good Morning Mr. Vickers,

I have responded below to your comments in red, please let me know if you would like a revised application today.

- You've included a section 6.2.5 – this section of code doesn't exist. Please clarify intent. **This was a typo, please remove it from the list.**
- You've included section 6.13.2.B and several subsections. Since you've included 6.13.2.B in the application, all subsections are automatically part of the waiver. Why were the subsections listed separately? If you are okay with it, we will remove the subsections and just list the main section of code that covers them. **We were not aware if each subsection needed to be listed separately or if the overarching section would be sufficient. We have no objection to removing the subsection and listing just the main section of code that covers them. The intent of the waiver request is to be exempt from stormwater management code as we are reducing the impervious area on site below the required threshold.**
- You've included section 6.13.4 and several subsections. Since you've included 6.13.4 in the application, all subsections are automatically part of the waiver. Why were the subsections listed separately? If you are okay with it, we will remove the subsections and just list the main section of code that covers them. **We were not aware if each subsection needed to be listed separately or if the overarching section would be sufficient. We have no objection to removing the subsection and listing just the main section of code that covers them. The intent of the waiver request is to be exempt from stormwater management code as we are reducing the impervious area on site below the required threshold.**
- You've included section 6.13.6 and several subsections. Since you've included 6.13.6 in the application, all subsections are automatically part of the waiver. Why were the subsections listed separately? If you are okay with it, we will remove the

subsections and just list the main section of code that covers them. Also, it looks like 6.13.6 was listed twice in the application. Please clarify intent. **We were not aware if each subsection needed to be listed separately or if the overarching section would be sufficient. We have no objection to removing the subsection and listing just the main section of code that covers them. The intent of the waiver request is to be exempt from stormwater management code as we are reducing the impervious area on site below the required threshold.**

Thank you,

Jack Charnas, PE
Project Manager

o (352) 375-8999

JBPro



Our Locations

Gainesville (HQ)
St. Augustine
Tallahassee

Our Services

Civil Engineering
Surveying
Planning & GIS
Landscape Architecture
Construction Services

From: Vickers, Kevin <Kevin.Vickers@marionfl.org>

Sent: Wednesday, October 29, 2025 3:16 PM

To: Jack Charnas, PE <jack.arnas@jbpro.com>; Development Review
<DevelopmentReview@marionfl.org>

Cc: Pool, Aaron <Aaron.Pool@marionfl.org>; Cambre, Jason <Jason.Cambre@marionfl.org>; Ezekiel
Durand <Ezekiel.durand@jbpro.com>

Subject: RE: Waiver Request for AR 32721

[EMAIL FROM EXTERNAL SOURCE]

Jack,

In reviewing the sections of code included in this waiver, we have a few questions/clarifications:

- You've included a section 6.2.5 – this section of code doesn't exist. Please clarify intent.

You've included section 6.13.2.B and several subsections. Since you've included 6.13.2.B in the application, all subsections are automatically part of the waiver. Why were the subsections listed separately? If you are okay with it, we will remove the subsections and just list the main section of code that covers them.

- You've included section 6.13.4 and several subsections. Since you've included 6.13.4 in the application, all subsections are automatically part of the waiver. Why were the subsections listed separately? If you are okay with it, we will remove the subsections and just list the main section of code that covers them.
- You've included section 6.13.6 and several subsections. Since you've included 6.13.6 in the application, all subsections are automatically part of the waiver. Why were the subsections listed separately? If you are okay with it, we will remove the subsections and just list the main section of code that covers them. Also, it looks like 6.13.6 was listed twice in the application. Please clarify intent.

Thanks,



Kevin Vickers, P.E.

Engineering Project Manager
Office of the County Engineer

Marion County Board of County Commissioners
412 SE 25th Ave.
Ocala, FL 34471
Main: 352-671-8686 | Direct: 352-671-8695

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Under Florida law, emails to our organization are public records. If you do not want your email reviewed in response to a public records request, contact this office by phone.

From: Jack Charnas, PE <jack.arnas@jbpro.com>

Sent: Tuesday, October 28, 2025 10:18 AM

To: Development Review <DevelopmentReview@marionfl.org>; Vickers, Kevin <Kevin.Vickers@marionfl.org>

Cc: Pool, Aaron <Aaron.Pool@marionfl.org>; Cambre, Jason <Jason.Cambre@marionfl.org>; Ezekiel Durand <Ezekiel.durand@jbpro.com>

Subject: RE: Waiver Request for AR 32721

CAUTION: THIS MESSAGE IS FROM AN EXTERNAL SENDER

This email originated from outside the organization. Do not click links, open attachments, or share any information unless you recognize the sender and know the content is safe. Report suspicious emails using the "Phish Alert" button in Outlook or contact the Helpdesk.

Good Morning Marion County,

Please see the attached Waiver request application form and site plan. We have mailed out the same package with the review fee this morning and expect it to arrive towards the end of this week/beginning of next week. Please let us know in the meantime if there is anything else you need from us to keep this process moving.

Thank you,

Jack Charnas, PE
Project Manager

o (352) 375-8999

JBPPro



Our Locations

Gainesville (HQ)
St. Augustine
Tallahassee

Our Services

Civil Engineering
Surveying
Planning & GIS
Landscape Architecture
Construction Services

From: Development Review <DevelopmentReview@marionfl.org>

Sent: Tuesday, October 14, 2025 9:39 AM

To: Jack Charnas, PE <jack.arnas@jbpro.com>; Vickers, Kevin <Kevin.Vickers@marionfl.org>; Ezekiel Durand <Ezekiel.durand@jbpro.com>

Cc: Development Review <DevelopmentReview@marionfl.org>; Pool, Aaron <Aaron.Pool@marionfl.org>; Cambre, Jason <Jason.Cambre@marionfl.org>

Subject: RE: Waiver Request for AR 32721

[EMAIL FROM EXTERNAL SOURCE]

Good morning,

Please find attached a copy of the Development Review Waiver Request application.

Feel free to reach out should you have any questions.

Kind regards,

Kelly

Your Development Review Team
Office of the County Engineer

Marion County Board of County Commissioners
412 SE 25th Ave., Ocala, FL 34471
Main: 352-671-8686

[Empowering Marion for Success!](#)

Under Florida law, emails to our organization are public records. If you do not want your email reviewed in response to a public records request, contact this office by phone.

From: Jack Charnas, PE <jack.chnaras@jbpro.com>
Sent: Tuesday, October 14, 2025 9:23 AM
To: Vickers, Kevin <Kevin.Vickers@marionfl.org>; Ezekiel Durand <Ezekiel.durand@jbpro.com>
Cc: Development Review <DevelopmentReview@marionfl.org>; Pool, Aaron <Aaron.Pool@marionfl.org>; Cambre, Jason <Jason.Cambre@marionfl.org>
Subject: RE: Waiver Request for AR 32721

CAUTION: THIS MESSAGE IS FROM AN EXTERNAL SENDER

This email originated from outside the organization. Do not click links, open attachments, or share any information unless you recognize the sender and know the content is safe. Report suspicious emails using the "Phish Alert" button in Outlook or contact the Helpdesk.

Received, thank you Kevin! We will return the waiver request form as soon as we receive it from staff.

Thank you,

Jack Charnas, PE
Project Manager

o (352) 375-8999

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Tallahassee

Our Services

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Surveying
Planning & GIS
Landscape Architecture
Construction Services

From: Vickers, Kevin <Kevin.Vickers@marionfl.org>
Sent: Tuesday, October 14, 2025 9:21 AM
To: Jack Charnas, PE <jack.chnaras@jbpro.com>; Ezekiel Durand <Ezekiel.durand@jbpro.com>
Cc: Development Review <DevelopmentReview@marionfl.org>; Pool, Aaron

<Aaron.Pool@marionfl.org>; Cambre, Jason <Jason.Cambre@marionfl.org>

Subject: Waiver Request for AR 32721

[EMAIL FROM EXTERNAL SOURCE]

Good Morning,

Attached is the draft list of code sections you will need to seek a waiver to. Please take a look through the code and make sure there's no other sections you think should be added to this list. All sections need to be listed in the waiver request form.

I've copied DRC staff on this email. They can send you the waiver request form and answer any further questions you have about the DRC meeting process.

In the meantime feel free to reach out to me with any questions.

Thanks,



Kevin Vickers, P.E.

Engineering Project Manager

Office of the County Engineer

Marion County Board of County Commissioners

412 SE 25th Ave.

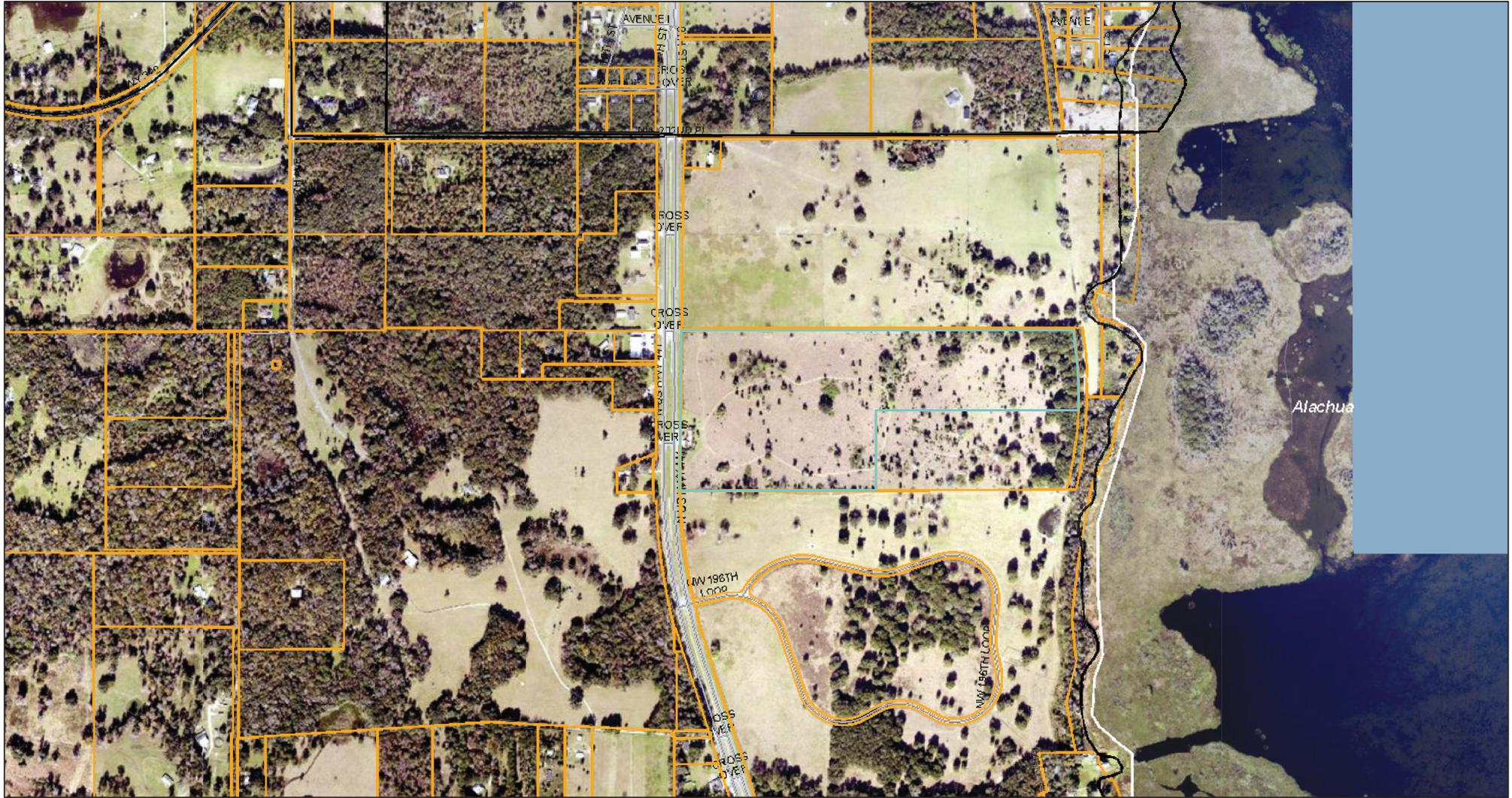
Ocala, FL 34471

Main: 352-671-8686 | Direct: 352-671-8695

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Under Florida law, emails to our organization are public records. If you do not want your email reviewed in response to a public records request, contact this office by phone.

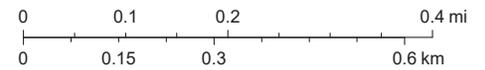
Marion County Florida - Interactive Map



4/11/2025, 10:25:36 AM

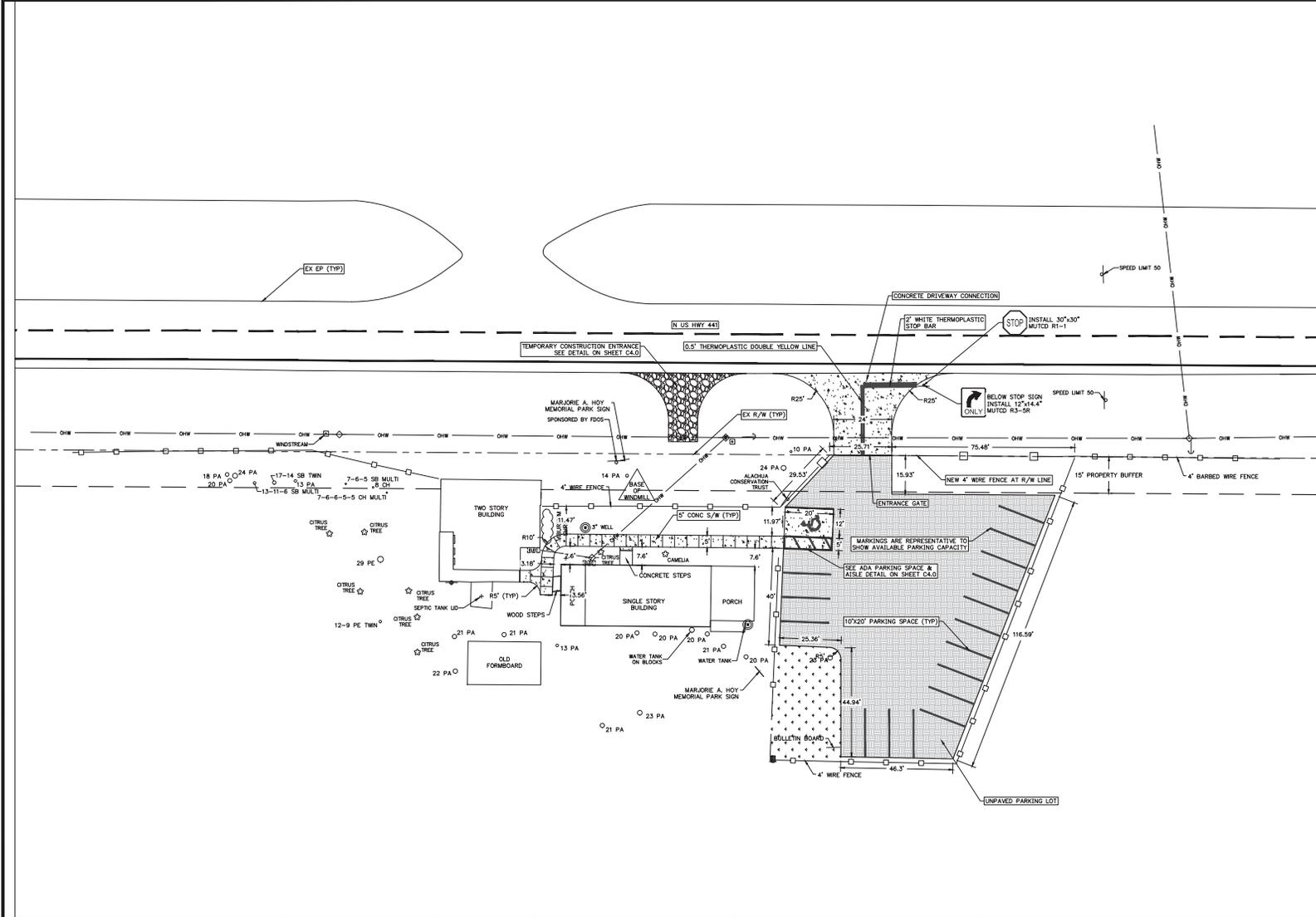
1:9,028

- | | | | |
|------------------|-------------------------|----------------|---------------|
| Florida Counties | Parcels | Not Maintained | Aerial 2024 |
| Marion County | County Road Maintenance | Not Maintained | Red: Band_1 |
| Municipalities | OCE Maintained Paved | Streets | Green: Band_2 |
| | OCE Maintained Unpaved | | Blue: Band_3 |



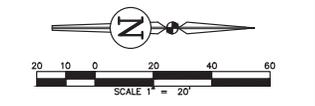
Marion County Property Appraiser, OCE, Marion County BOCC

Marion County Board of County Commissioners
 This map is provided "as is" without any warranty or representation of accuracy, timeliness, completeness, merchantability, or fitness. The user is responsible for verifying any information and assumes all risk for reliance on any information herein.



- GENERAL DIMENSION NOTES**
- BOUNDARY INFORMATION SHOWN IS BASED ON THE JBPRO BOUNDARY & FIXED IMPROVEMENTS SURVEY DATED 10/01/2024.
 - CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE PROJECT SURVEY AND DESIGN DRAWINGS AND SHALL VERIFY EXISTING SITE CONDITIONS. ANY APPARENT DISCREPANCIES OR ADDITIONAL PERTINENT INFORMATION SHALL BE BROUGHT TO THE PROJECT ENGINEER'S ATTENTION IMMEDIATELY.
 - ALL DIMENSIONS AND RADIUS SHOW ARE DIMENSIONED TO EDGE OF PAVEMENT, UNLESS OTHERWISE SPECIFIED.
 - ALL STRIPING SHALL CONFORM TO FDOT STANDARD PLANS INDEX 711-001
 - IMPERVIOUS AREA**
 - EXISTING:**
 - BUILDING: 3,336 SF = .077 AC = .15%
 - PAVEMENT: 7,227 SF = .17 AC = .32%
 - TOTAL IMPERVIOUS AREA: 10,563 SF = .25 AC = .47%
 - PROPOSED:**
 - BUILDING: 3,336 SF = .077 AC = .15%
 - PAVEMENT: 3,068 SF = .070 AC = .13%
 - TOTAL IMPERVIOUS AREA: 6,404 SF = .15 AC = .28%
 - PERVIOUS AREA:**
 - EXISTING:** 2,297,681 SF = 52.75 AC = 99.55%
 - PROPOSED:** 2,301,840 SF = 52.84 AC = 99.72%
 - PARKING DATA**
 - VEHICLE PARKING CRITERIA PER MARION COUNTY CODE SEC. 6.11.B.**
 - 4 SPACES/1,000 SF FOR NEIGHBORHOOD CENTER UNDER 100,000 SF
 - VEHICLE PARKING PROVIDED:**
 - TOTAL SPACES CALCULATION: 4 EA BUILDINGS = 2,805 SF = 12 SPACES
 - TOTAL SPACES PROVIDED: 17 SPACES PROVIDED
 - ADA PARKING CRITERIAL:**
 - ADA SPACES REQUIRED: FOR 1-25 TOTAL SPACES = 1 ADA SPACE
 - ADA SPACES PROVIDED: 1 SPACE PROVIDED

- LEGEND**
- PROPOSED UNPAVED PARKING
 - PROPOSED CONCRETE PAVEMENT
 - EXISTING GRASS TO REMAIN UNDISTURBED



REVISIONS			
NO.	DATE	DESCRIPTION	DRWN/APPR

ENGINEER OF RECORD: JACK C. CHARNAS, P.E.
 FLORIDA LICENSE NO. 98925
 THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JACK CHARNAS, PE ON THE DATE ADJACENT TO THE SEAL.
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

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 Gainesville (352) 375-8888 | St. Augustine (321) 788-8888
 Toll Free (877) 66-JBPro | Email: contact@jbpro.com

SHEET TITLE: DIMENSION PLAN
 CLIENT: ALACHUA CONSERVATION TRUST
 MARION COUNTY, FLORIDA

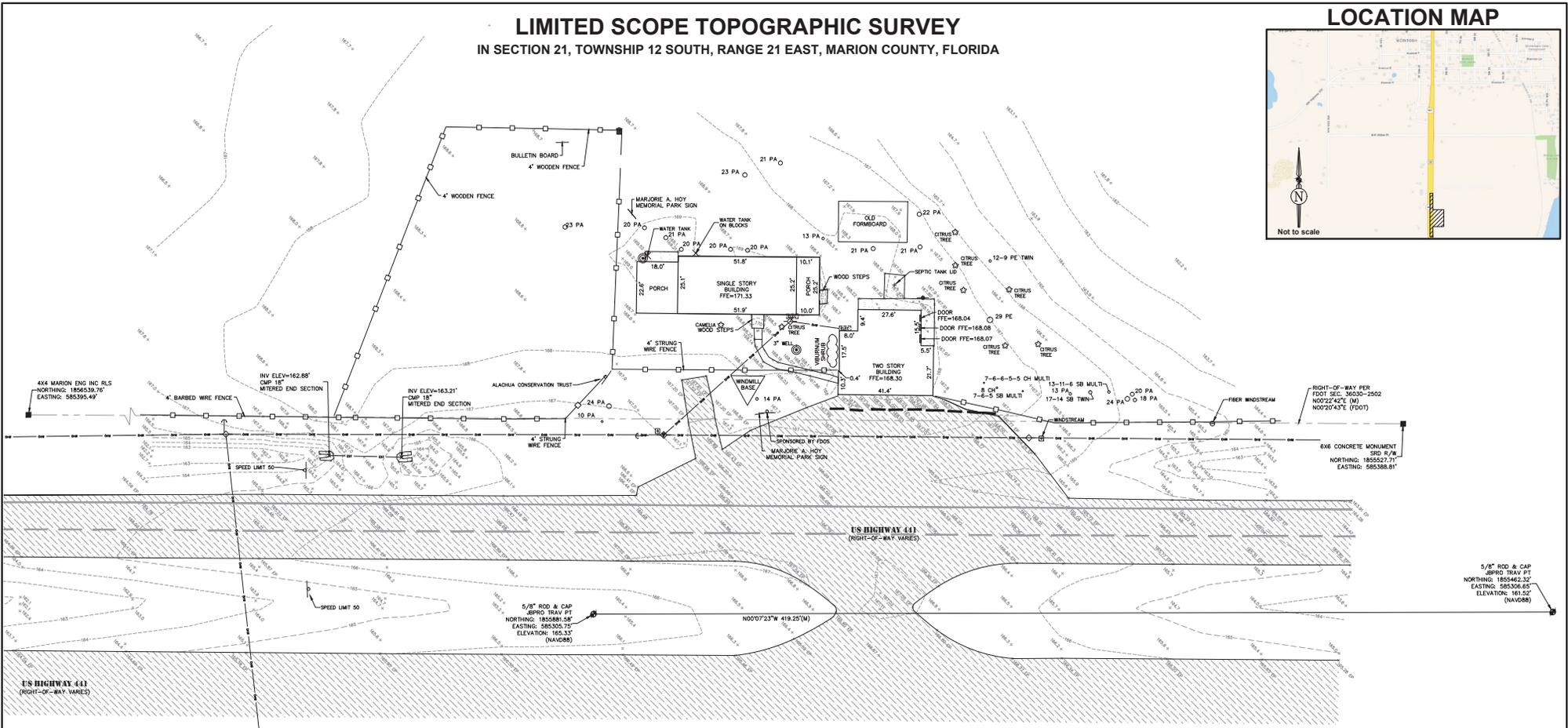
PROJECT: ORANGE LAKE OVERLOOK RESTORATION
 MAJOR SITE PLAN

DATE: OCTOBER 2025
 PROJECT NO: 0791-24-001
 SHEET NO: C2.0

LIMITED SCOPE TOPOGRAPHIC SURVEY

IN SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA

LOCATION MAP



SURVEYOR'S NOTES

1. THIS IS NOT A BOUNDARY SURVEY.
2. THE SCOPE OF THIS SURVEY IS LIMITED TO THAT INFORMATION SHOWN HEREON.
3. ALL DISTANCES AS SHOWN HEREON ARE EXPRESSED IN U.S. SURVEY FEET AND DECIMAL PARTS THEREOF.
4. ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND BASED ON MULTIPLE GPS OBSERVATIONS REFERENCING THE FLORIDA DEPARTMENT OF TRANSPORTATION PERMANENT REFERENCE NETWORK (FPRN).
5. STATE PLANE COORDINATES ARE REFERENCED TO THE NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT, FLORIDA WEST COORDINATE ZONE AND BASED ON MULTIPLE GPS OBSERVATIONS REFERENCING THE FLORIDA DEPARTMENT OF TRANSPORTATION PERMANENT REFERENCE NETWORK (FPRN).
6. THIS SURVEY IS BASED ON MEASUREMENTS CONDUCTED ON 10/01/2024.
7. UNDERGROUND UTILITY LINE LOCATIONS ARE APPROXIMATE.
8. ADDITIONAL ENCUMBRANCES MAY AFFECT THE SUBJECT PARCEL THAT DO NOT APPEAR ON THIS MAP.
9. REPRODUCED COPIES THAT ARE NOT AT 24"X36" MAY NOT BE TO SCALE.
10. UNLESS OTHERWISE NOTED, CORNER MARKERS SHOWN HEREON WERE FOUND DURING THE COURSE OF THIS SURVEY.

ABBREVIATIONS

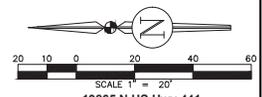
- (M) = MEASURED DISTANCE
 CMP = CORRUGATED METAL PIPE
 EP = EDGE OF PAVEMENT
 FFE = FINISHED FLOOR ELEVATION
 INV = INVERT
 ELEV = ELEVATION
 ID = IDENTIFICATION
 JBPRO = JIBROWN PROFESSIONAL GROUP
 LB = LICENSED BUSINESS
 LS = LICENSED SURVEYOR
 NAD83(2011) = NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT
 NAVD88 = NORTH AMERICAN VERTICAL DATUM OF 1988
 PRM = PERMANENT REFERENCE MONUMENT
 PLS = PROFESSIONAL LAND SURVEYOR
 PT = POINT
 RW = RIGHT-OF-WAY
 TRAV = TRAVERSE

TREES:

- CH = CHERRY LAUREL
 PA = PALM
 PI = PINE
 PE = PERSIMMON
 SB = SUGARBERRY
 TWIN = TWIN TRUNK
 MULTI = MULTIPLE TRUNK

SYMBOL LEGEND

- BUILDING OUTLINE
- FENCE LINE
- OHW OVERHEAD WIRE
- STORM SEWER LINE
- ⊕ BENCHMARK
- ⊕ CONCRETE MONUMENT
- ⊕ WATER WELL
- ⊕ ELECTRIC METER
- ⊕ POWER POLE
- ⊕ POWER POLE WITH TRANSFORMER
- ⊕ GUY WIRE
- ⊕ SINGLE POLE SIGN
- ⊕ TELEPHONE PEDESTAL/SERVICE BOX
- ⊕ DUMPSTER
- ⊕ WATER FAUCET
- ⊕ ORNAMENTAL PLANT
- ⊕ OTHER MARKER
- ⊕ TREE-SIZE(INCHES) AND SPECIES
- ⊕ SPOT ELEVATION - SOFT SURFACE
- ⊕ SPOT ELEVATION - HARD SURFACE
- CONTOUR LINES
- ASPHALT SURFACE
- CONCRETE SURFACE

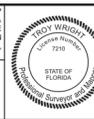


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 4422 US 18, Suite 118 | Augustine, FL
 1826 Ox Bottom Lane | Tallahassee, FL
 Toll Free: (844) 06-JBPro

THE MAP OF THE PROPERTY DESCRIBED HEREON WAS MADE UNDER MY SUPERVISION AND THIS MAP OF SURVEY FURTHER MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS & MAPPERS IN CHAPTER 47, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 47.287, FLORIDA STATUTES, AND THE MAP OF SURVEY SHOWN HEREON IS A TRUE AND ACCURATE REPRESENTATION THEREOF TO THE BEST OF MY KNOWLEDGE, BEING SUBJECT TO NOTES AND NOTATIONS SHOWN HEREON.

Florida License No. LS2719
 Certificate of Authorization No. L83031
 NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL PAPER SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER OR VALID DIGITAL SIGNATURE IN ELECTRONIC FORM

Troy V Wright
 Troy V. Wright, PSM
 Professional Surveyor and Mapper



LIMITED SCOPE TOPOGRAPHIC SURVEY
 CERTIFIED TO:
 1. ALACHUA CONSERVATION TRUST INC

Scale: 1"=50'
 Plot No.: JTB-24261
 Date: 12-2024
 Checked: JTB
 Drawn: JTB
 Date: 12/20/2024
 File Book: N/A
 Page: 1 of 1
 Sheet: 1 of 1

GENERAL DEVELOPMENT INFORMATION

- DEVELOPMENT INFORMATION
 - PROJECT TITLE: ORANGE LAKE OVERLOOK RESTORATION
 - PROJECT DESCRIPTION: THIS PROJECT INCLUDES REMOVAL OF ROADSIDE PARKING AND REGRADING THE EXISTING PARKING SURFACE DRAINAGE AND STABILIZATION, AND ADDING ADA ACCESS TO THE SITE. THE SITE IS SERVED BY AN ON-SITE POTABLE WELL AND SEPTIC SYSTEM FOR WASTE WATER.
 - PROJECT ADDRESS: HWY 61 US 441, MIDWAY, FL 32867
 - TAX PARCEL NO.S: 02709-000-00
 - SEC./TOWN/RANGE: 21/12/75
 - ZONING: B-2 (COMMUNITY BUSINESS) & A-1 (GENERAL AGRICULTURE) SEE POLICY 120 LETTER FOR COMPATIBILITY WAIVER
 - FUTURE LAND USE: RL - RURAL LAND
 - ADJACENT PARCELS: NORTHERN PARCEL: ADDRESS N/A (A-1, B-2 & RURAL LAND)
SOUTHERN PARCEL: 5885 NW 196TH LOOP (A-3 & RURAL LAND)
SOUTHEASTERN PARCEL: ADDRESS N/A (A-1 & RURAL LAND)
EASTERN PARCEL: ADDRESS N/A (A-1 & RURAL LAND)
WESTERN PARCEL: FOOT BY FM FOR N US HWY 441
- LOCATION OF SUBJECT PROPERTY: SEE LOCATION MAP THIS SHEET
- CONTACT INFORMATION
 - OWNER: ALACHUA CONSERVATION TRUST INC., CONTACT: JEFFREY FORBES
7704 SE COUNTY RD. 234
GAINESVILLE, FL 32641
(352) 373-1078
 - ENGINEER: JBRWN PROFESSIONAL GROUP INC., CONTACT: ANDREW GEISEL, PE
(863) 658-8633
 - SURVEYOR: JBRWN PROFESSIONAL GROUP INC., CONTACT: TROY WRIGHT, PSM
(352) 375-8999
 - LANDSCAPE ARCHITECT: JBRWN PROFESSIONAL GROUP INC., CONTACT: MICHAEL HANS, PLA
(978) 206-3659

CONSTRUCTION DRAWINGS OF ORANGE LAKE OVERLOOK RESTORATION FOR ALACHUA CONSERVATION TRUST

- ADDITIONAL DESIGN DATA
 - SETBACK REQUIREMENTS (MARION COUNTY CODE SEC. 4.2.18.E)
 - FRONT/STREET: 40 FT
 - REAR: 25 FT
 - SIDE: 10 FT
 - BUFFER REQUIREMENTS (MARION COUNTY CODE SEC. 4.2.18.G)
 - FRONT/STREET: TYPE C (10 FT)
 - REAR: TYPE C (15 FT)
 - SIDE: TYPE E (5 FT)
 - DEVELOPMENT STANDARDS REQUIREMENTS (MARION COUNTY CODE SEC. 4.2.18.D)
 - MAXIMUM HEIGHT: 50 FT
 - PROPOSED HEIGHT: N/A - NO BUILDINGS PROPOSED
 - MAXIMUM LOT AREA: NONE
 - PROPOSED LOT AREA: N/A - NO LOTS PROPOSED
 - MAXIMUM LOT WIDTH: NONE
 - PROPOSED LOT WIDTH: N/A - NO LOTS PROPOSED
 - MAXIMUM FLOOR RATIO: 1.0
 - PROPOSED FLOOR RATIO: N/A - NO BUILDINGS PROPOSED

- IMPERVIOUS AREA
 - EXISTING:

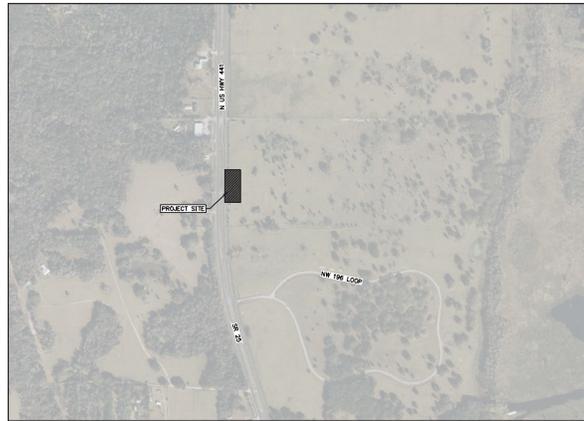
BUILDING:	3,336 SF = .077 AC = .15%
PAVEMENT:	7,227 SF = .17 AC = .32%
TOTAL IMPERVIOUS AREA:	10,563 SF = .25 AC = .47%
 - PROPOSED:

BUILDING:	3,336 SF = .077 AC = .15%
PAVEMENT:	3,068 SF = .070 AC = .13%
TOTAL IMPERVIOUS AREA:	6,404 SF = .15 AC = .28%
- PERVIOUS AREA:
 - EXISTING: 2,297,681 SF = 52.75 AC = 99.55%
 - PROPOSED: 2,301,840 SF = 52.84 AC = 99.72%
- PARKING DATA
 - VEHICLE PARKING CRITERIA PER MARION COUNTY CODE SEC. 6.11.B:

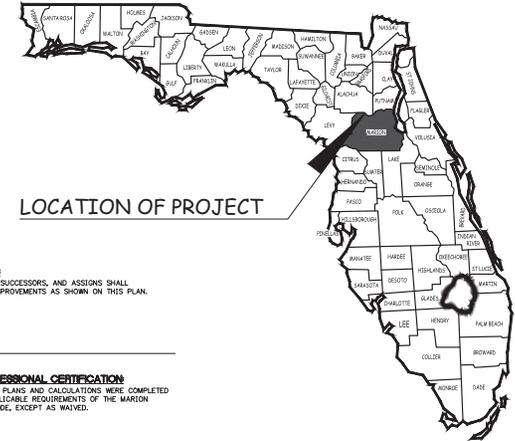
4 SPACES/1,000 SF FOR NEIGHBORHOOD CENTER UNDER 100,000 SF
--
 - VEHICLE PARKING PROVIDED:

TOTAL SPACES CALCULATION:	4 EA BUILDINGS = 2,805 SF = 12 SPACES
TOTAL SPACES PROVIDED:	17 SPACES PROVIDED
 - ADA PARKING CRITERIA:

ADA SPACES REQUIRED:	FOR 1-25 TOTAL SPACES = 1 ADA SPACE
ADA SPACES PROVIDED:	1 SPACE PROVIDED
- THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE RESULTING PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, A BUILDING PERMIT.



LOCATION MAP
N.T.S.



LOCATION OF PROJECT

OWNERS CERTIFICATION

I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

LICENSED DESIGN PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS WAIVED.

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C0.0	COVER SHEET
C0.1	LEGEND, ABBREVIATIONS, AND NOTES
C1.0	DEMOLITION AND EROSION CONTROL PLAN
C2.0	DIMENSION PLAN
C3.0	PAVING, GRADING, AND DRAINAGE PLAN
C3.1	DRIVEWAY PLAN
C4.0	DETAILS

REVISIONS			
NO.	DATE	DESCRIPTION	DRWN/APPR

Andrew Geisel
Florida Professional Engineer License No. 94916
 Florida Professional Surveyor License No. 94916

ENGINEER OF RECORD: **ANDREW J.K. GEISEL, P.E.**
 FLORIDA LICENSE NO. 94916

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ANDREW GEISEL, PE ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

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 4420 US-1 S, Suite 1 | St. Augustine, Florida 32086

Gainesville (352) 375-8999 | St. Augustine (321) 788-8888
 Toll Free (877) 666-JBPro | Email: contact@jbpro.com

SHEET TITLE: **COVER SHEET**

CLIENT: **ALACHUA CONSERVATION TRUST**
 MARION COUNTY, FLORIDA

DATE: **AUGUST 2025**

PROJECT NO: **0791-24-001**

PROJECT: **ORANGE LAKE OVERLOOK RESTORATION**
 MAJOR SITE PLAN

SHEET NO: **C0.0**

PAVING, GRADING AND DRAINAGE SPECIFICATIONS

1. ALL GRABAGE CONSTRUCTION, INCLUDING MATERIALS, CONSTRUCTION TECHNIQUES, AND TECHNICAL STANDARDS SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE LATEST FOOT DESIGN MANUAL.
2. ALL AREAS OF NEW CONSTRUCTION SHALL BE CLEARED AND GRUBBED, SUITABLE TOP SOIL REMAINING ONSITE MAY BE STOCKPILED FOR FINE GRADING IN LANDSCAPED AREAS. THE CONTRACTOR SHALL FURNISH ALL REQUIRED MATERIALS AND UTILITIES TO REMAIN SHALL BE PROTECTED PRIOR TO STARTING CONSTRUCTION AND SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD.
3. ALL NEW ASPHALT PAVEMENT CONSTRUCTION SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
 - A. EARHWORKE FILL MATERIALS SHALL CONFORM TO AASHTO SOIL GROUPS A-1, A-2, A-3, OR A-4 AND SHALL BE PLACED IN 4" - 12" LOOSE LIFTS AND COMPACTED TO 98% DENSITY USING MODIFIED PROCTOR METHOD (ASTM D 1557).
 - B. SURFSLC EXCAVATION: WHERE SURFSLC EXCAVATION IS REQUIRED, UNSUITABLE MATERIALS SHALL BE REMOVED TO A DEPTH OF 10" BELOW THE LIMEBOOK BASE AND BACKFILLED WITH CLEAN FILL.
 - C. STABILIZED SURFSLC: ALL STABILIZED MATERIAL SHALL CONFORM TO SECTION 914 AND PLACED ACCORDING TO FOOT STANDARD SPECIFICATIONS SECTION 104 IN ONE 10" MINIMUM COMPACTED LIFT. SURFSLC SHALL BE STABILIZED TO A MINIMUM USE VALUE OF 40 PER DESIGN SECTION.
 - D. BASE COURSE: ALL MATERIAL SHALL BE LIMEBOOK CONFORMING TO FOOT STANDARD SPECIFICATIONS SECTION 914 AND PLACED ACCORDING TO SECTION 104 IN ONE 8" PER DESIGN SECTION MINIMUM COMPACTED LIFT. ALL BASE MATERIAL SHALL BE COMPACTED TO 98% DENSITY BY MODIFIED PROCTOR METHOD (ASTM D 1557). THE PRIME COURSE SHALL CONFORM TO FOOT STANDARD SPECIFICATIONS SECTION 302.
 - E. SURFACE COURSE: ALL ASPHALTIC CONCRETE MATERIAL SHALL BE SUPERPAVE AND SHALL CONFORM TO FOOT STANDARD SPECIFICATIONS SECTION 304. ALL ASPHALTIC CONCRETE CONSTRUCTION SHALL CONFORM TO FOOT STANDARD SPECIFICATIONS SECTION 350.
4. ALL CONCRETE USED FOR CONSTRUCTION OF DRIVEWAYS, SIDEWALKS, ETC. SHALL BE CLASS 1 CONFORMING TO FOOT STANDARD SPECIFICATIONS SECTION 306.
5. SIDEWALK SHALL BE CONSTRUCTED IN ACCORDANCE WITH FOOT STANDARD SPECIFICATIONS SECTION 522. EXISTING TEMPORARY INFORMATION DEPICTED IS BASED ON TOPOGRAPHIC SURVEYS PROVIDED BY JBRP FROM DATA GATHERED ON SITE 10/02/2024. THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATION GRADES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT WILL AFFECT FINISH GRADE DESIGN FOR PROPER GRADING CONDITIONS PRIOR TO CONSTRUCTION. JBRP WILL ASSIST THE CONTRACTOR IN VERIFYING ANY GRADING DISCREPANCIES PRIOR TO CONSTRUCTION TO ASSURE PROPER RUNOFF CONDITIONS RESULT UPON COMPLETION OF CONSTRUCTION.

WORK WITHIN FDOT RIGHT-OF-WAY

1. THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE REQUIREMENTS SPECIFIED BY FDOT.
2. NO WORK SHALL BE DONE FOR MATERIALS USED IN THE RIGHT-OF-WAY WITHOUT INSPECTION BY FDOT. THE CONTRACTOR SHALL FURNISH FDOT WITH EVERY REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK PERFORMED AND MATERIALS USED ARE IN ACCORDANCE WITH THE REQUIREMENTS AND PREENT OF THE PLANS AND SPECIFICATIONS.
3. FDOT RESERVES THE RIGHT TO MODIFY THE PROPOSED WORK WITHIN THEIR RIGHT-OF-WAY TO ENSURE COMPATIBILITY WITH EXISTING IMPROVEMENTS. SUCH MODIFICATION COSTS SHALL BE BORN BY THE CONTRACTOR.
4. TRAFFIC CONTROL WITHIN EXISTING RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LATEST MUTCD OR FDOT STANDARDS FOR CONTROL OF TRAFFIC THROUGH WORK ZONES.
5. THE CONTRACTOR SHALL SUBMIT A TEMPORARY TRAFFIC CONTROL PLAN TO FDOT FOR APPROVAL PRIOR TO CONSTRUCTION WITHIN THE RIGHT-OF-WAY.

GENERAL CONSTRUCTION NOTES

1. TRAFFIC CONTROL WITHIN EXISTING R/W SHALL BE IN ACCORDANCE WITH LATEST MUTCD OR FDOT STANDARDS FOR CONTROL OF TRAFFIC THROUGH WORK ZONES.
2. MARION COUNTY SHALL BE NOTIFIED 24 HOURS IN ADVANCE FOR INSPECTION OF PRELIMINARY STAKES OF CONSTRUCTION WITHIN THEIR R/W. SURFACE PREPARATION, LIMEBOOK PLACEMENT, INSPECTION OF THE STREET LIMEBOOK BASE PRIOR TO THE PLACEMENT OF ASPHALT, AND OTHERS AS REQUIRED FOR APPROVAL.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES WITHIN THE WORK LIMITS OF ALL IMPROVEMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION. IN THE EVENT THAT A UTILITY CONFLICT OCCURS, CONTRACTOR SHALL NOTIFY JBRP AND THE UTILITY PROVIDER TO COORDINATE REMEDIATION.
4. ALL DISTURBED AREAS WITHIN THE R/W SHALL BE SEED, FERTILIZED, AND MULCHED UNLESS SEEDING IS OTHERWISE SPECIFIED. SEEDING IS REQUIRED ON ALL SLOPES 5:1 OR STEEPER.
5. CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF ALL FOREIGN DEBRIS AND MATERIAL OFFSITE. DISPOSAL METHODS AND LOCATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND REQUIREMENTS.
6. SEE DEMOLITION AND EROSION CONTROL PLAN FOR SPECIFIC EROSION AND SEDIMENT CONTROL MEASURES.
7. SILT FENCING AND/OR STAKED HAY BALES SHALL BE CONSTRUCTED WHERE SHOWN ON THE DRAWINGS PRIOR TO STARTING CONSTRUCTION.
8. ALL DISTURBED AREAS IN THE CONSTRUCTION AREA SHALL BE COMPLETELY GRADED BY COMPLETION OF CONSTRUCTION. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO FINAL RELEASE.
9. NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT THE NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
10. CONTRACTOR TO PERFORM FINAL VERIFICATION OF THE ABSENCE OF ANY LISTED SPECIES PRIOR TO BEGINNING ANY SOIL DISTURBANCE ACTIVITIES. IN THE EVENT LISTED SPECIES ARE DISCOVERED, WORK IS TO BE STOPPED UNTIL PROPER PERMITTING THROUGH FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION IS OBTAINED. ANY APPLICABLE PRESERVATION OR MITIGATION PLANS DEVELOPED SHALL BE SUBMITTED TO THE COUNTY UPON APPROVAL BY FWC.

NPDES EROSION AND SEDIMENT CONTROL PERMITTING NOTES

1. THE CONTRACTOR IS REQUIRED TO FILE THE FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION (FDEP) NOTICE OF INTENT (NOI) TO USE THE CONSTRUCTION GENERAL PERMIT (CGP) FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (RULE 62-451.300(A), F.A.C.) CONSTRUCTION ACTIVITY SHALL NOT COMMENCE PRIOR TO OBTAINING AN APPROVED LETTER FROM FDEP VERIFYING THE NOI IS COMPLETE. THE PROJECT IS COVERED BY THE CGEP PERMIT AND THE PROJECT IDENTIFICATION NO. IS ESTABLISHED. CONTRACTOR SHALL PROVIDE THE LOW AND PROPERTY OWNER WITH A COPY OF THE FDEP ACKNOWLEDGMENT LETTER VERIFYING COVERAGE.
2. THE CONTRACTOR SHALL ABIDE BY THE REQUIREMENTS OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND COP AT ALL TIMES THROUGHOUT CONSTRUCTION, AND UTILIZE ALL APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) AS REQUIRED TO PREVENT EROSION AND SEDIMENT DISCHARGE OFFSITE DURING CONSTRUCTION.
3. EROSION AND SEDIMENT CONTROL (BMPs) SHALL BE IN ACCORDANCE WITH THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGN AND REVISIONS MANUAL, DATED JULY 2013, OR LATEST UPDATE. THE CONTRACTOR IS RESPONSIBLE TO UTILIZE ALL BMPs AS NECESSARY THROUGHOUT CONSTRUCTION, AND MAY UTILIZE MULTIPLE BMPs OR OTHER MEANS AND METHODS DEEMED APPROPRIATE TO CONTROL EROSION AND SEDIMENT DISCHARGE.
4. THE CONTRACTOR SHALL UTILIZE A STATE OF FLORIDA CERTIFIED EROSION AND SEDIMENT CONTROL (ESC) INSPECTOR DURING CONSTRUCTION TO ABIDE BY THE TERMS OF THE NOI PERMIT COVERAGE. AT A MINIMUM THE CERTIFIED INSPECTOR SHALL INSPECT ALL DISCHARGE POINTS, DISTURBED AREAS, MATERIAL STORAGE AREAS, STRUCTURAL CONTROLS AND CONSTRUCTION ENTRANCES/EXITS AT LEAST ONCE EVERY SEVEN (7) DAYS AND AFTER EVERY 1" INCH OR GREATER RAINFALL EVENT. MALP OPERATIONS AND INCIDENTS OF NON-COMPLIANCE SHALL BE RECORDED IN THE INSPECTION REPORT, AS WELL AS CORRECTIVE ACTIONS AND MAINTENANCE UNLESS OTHERWISE MAINTENANCE MUST OCCUR WITHIN SEVEN (7) CALENDAR DAYS OF THE INSPECTION. THESE INSPECTIONS MUST BE DOCUMENTED AND SIGNED BY A QUALIFIED INSPECTOR AS DETERMINED BY THE COP. THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY IS IN COMPLIANCE WITH THE SWPPP AND THE COP WHEN THE REPORTS DO NOT IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.
5. UPON SATISFACTORY COMPLETION OF THE PROJECT CONSTRUCTION AND SITE STABILIZATION, THE CONTRACTOR SHALL FILE THE NPDES STORMWATER NOTICE OF TERMINATION (NOT) (RULE 62-451.300(D), F.A.C.) WITH FDEP. THE PERMIT COVERAGE IS DEEMED COMPLETE WHEN ALL SOIL DISTURBING CONSTRUCTION ACTIVITIES ARE COMPLETE AND STABILIZATION OF ALL DISTURBED OPEN AREAS HAVE REACHED AT LEAST 50% VEGETATIVE COVER OR OTHER PERMANENT STABILIZATION IS IN PLACE. A COPY OF THE NOT SHALL BE PROVIDED TO THE LOR AND PROPERTY OWNER.

STANDARD ABBREVIATIONS

ADJ	ADJACENT	LONG	LONGITUDE
ALUM	ALUMINUM	LOW	LOW POINT
APT	APARTMENT	LEFT	LEFT
ASPH	ASPHALT	LT	MAINTENANCE
BAJ	BACK OF JACK	MAN	MANHOLE
BC	BACK OF CURB	MES	METERED END SECTION
BCOUP	BETHEMUMS COATED CORRUGATED METAL PIPE	MIN	MINIMUM
BLDG	BUILDING	N	NORTH
BM	BENCHMARK	N/A	NOT APPLICABLE
BOP	BEGINNING OF PROFILE	NE	NORTH EAST
BSL	BUILDING SETBACK LINE	NO	NORTH WEST
C&G	CURB & GUTTER	NIC	NOT IN CONTRACT
CI	CURVE ONE	NUMBER	NUMBER
CAV	CABLE TELEVISION	NW	NORTH WEST
CE	CURB END (PARB)	OC	ON CENTER
CF	CUBIC FEET	PE	REFORCED CORRUGATED POLYETHYLENE PIPE
CH	CAST IRON	PE	PROFESSIONAL ENGINEER
CL	CENTER LINE	PL	PROPERTY LINE
CLF	CHAIN LINK FENCE	PRE	PRIMARY
CMF	CORRUGATED METAL PIPE	PSE	POUNDS PER SQUARE INCH
CPA	CORRUGATED METAL PIPE ARCH	PT	PRESSURE TREATED (NON ARSENIC)
C&O	CLEAN OUT	PUE	PUBLIC UTILITY EASEMENT
COMM	COMMUNICATIONS	PC	POLYVINYL CHLORIDE
CONC	CONCRETE	PMAT	PAVEMENT
CPE	CORRUGATED POLYETHYLENE PIPE	R/W	RIGHT OF WAY
CV	CUBIC YARD	RT	ONE FOOT RADIUS
D&I	DITCH BOTTOM INLET	RB	REACTION BLOCK
DOB	DOUBLE CHECK BACKFLOW PREVENTER	REF	REINFORCED CONCRETE PIPE
D&D	DESIGN HIGH WATER LEVEL	REFP	REDUCED PRESSURE BACKFLOW PREVENTER
DI	DUCTILE IRON	RIGHT	RIGHT
DIA	DIAMETER	S	SOUTH
E	EAST	S/W	SOUTH WEST
E/W	EASEMENT	SE	SOUTH EAST
EL	ELEVATION	SEC	SECONDARY
ELEC	ELECTRIC	SF	SQUARE FEET
EDP	EDGE OF PAVEMENT	SI	SMITH GEAR
EN	EDGE OF PROFILE	SI	STATION
ENOP	ELLIPTICAL REINFORCED CONCRETE PIPE	S&M	STANDARD PENETRATION TEST
EXIST	EXISTING	SPA	SPACE
FC	FACE OF CURB	ST	STORM SEWER
FDC	FIRE DEPARTMENT CONNECTION	SS	STAINLESS STEEL
FDEP	FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION	ST	STANDARD
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION	STA	STATION
FF	FINISH FLOOR	STD	STANDARD
FG	FINISH GRADE	STL	STEEL
FH	FIRE HYDRANT	SW	SOUTH WEST
FL	FIRE LINE	SY	SQUARE YARD
FL	FIRE LINE	TBC	TRAFFIC BEARING COVER
FLL	FLOW LINE	TBM	TEMPORARY BENCHMARK
FM	FORCE MAIN	TEL	TELEPHONE
FO	FIBER OPTIC	TRM	TRANSFORMER
FP	FLOOD PLAIN	TV	TELEVISION
FT	FEET	TW	TOP OF WALL
FUT	FUTURE	TOP	TYPICAL
FWC	FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION	UD	UNDER DRAIN
GA	GALVANIZED	UL	UNDER LAY
GV	GATE VALVE	UTL	UTILITIES
HC	HANDICAP	VCP	VERTICALLY CLAY PIPE
HP	HIGH POINT	VH	VEHICLE
HR	HOUR	W	WEST
INV	INVERT	W/V	WATER MAIN
JBRP	JBRP PROFESSIONAL GROUP, INC.	YR	YEAR
LF	LINEAR FEET		
LI	LINE ONE		
LAT	LATITUDE		

LEGEND

	EXISTING STORM SEWER LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	EXISTING TREE TO REMAIN
	PROPOSED CONCRETE PAVEMENT & SIDEWALK
	PROPOSED UNIMPROVED PARKING
	PROPOSED FINISHED GRADE SPOT ELEVATION
	PROPOSED DIRECTIONAL FLOW ARROW
	PROPOSED SILT FENCE
	PROPOSED TREE BARRICADE FENCE
	RIGHT-OF-WAY LINE

LEGEND, ABBREVIATIONS, AND NOTES

3530 NW 43rd Street | Gainesville, Florida 32605
 4428 US-1 S, Suite 1 | St. Augustine, Florida 32086
 Gainesville (352) 375-8888 | St. Augustine (352) 788-8888
 Toll Free (877) 66-JBPro | Email: contact@jbpro.com

CLIENT: ALACHUA CONSERVATION TRUST
 MARION COUNTY, FLORIDA

PROJECT: ORANGE LAKE OVERLOOK RESTORATION
 MAJOR SITE PLAN

DATE: AUGUST 2025

PROJECT NO: 0791-24-001

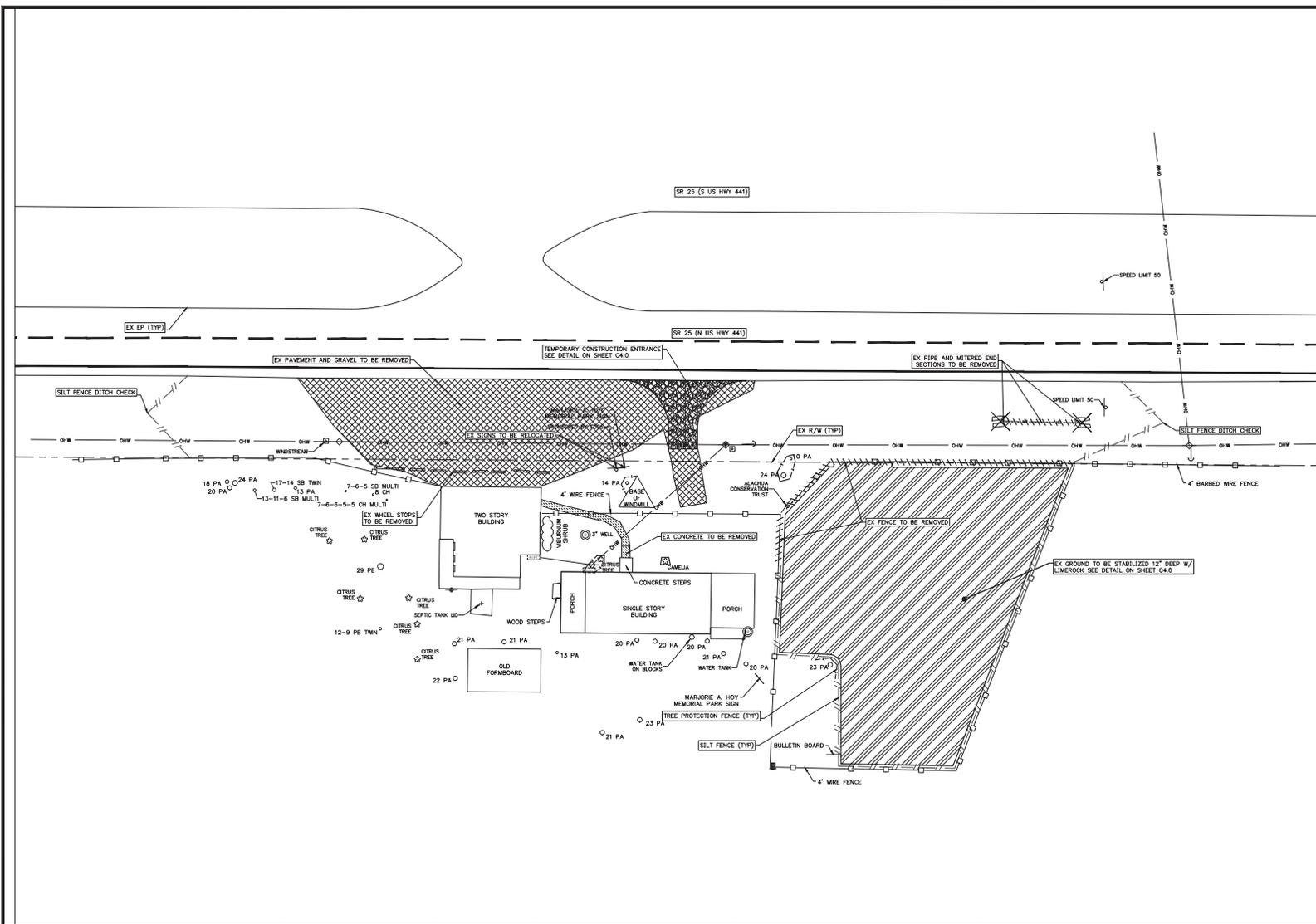
SHEET NO: C01



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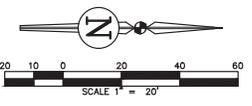
GENERAL DEMOLITION NOTES

1. PRIOR TO DEMOLITION AND CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO VERIFY THE LOCATION OF ALL ABOVE GROUND AND UNDERGROUND UTILITIES TO BE REMOVED OR RELOCATED.
2. CONTRACTOR IS RESPONSIBLE FOR ALL SITE DEMOLITION AND MATERIAL REMOVAL. IN ADDITION TO THE DEMOLITION SHOWN, THE CONTRACTOR SHALL REMOVE ALL MISCELLANEOUS TRASH, DEBRIS, FENCING ETC., IN ORDER TO PROVIDE A CLEAN CONSTRUCTION SITE.
3. CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF ALL DEMOLITION MATERIAL OFF SITE. DISPOSAL METHODS AND LOCATIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
4. REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMESTOCK, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOO AREAS IS THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR. SOIL IN AREAS TO BE LANDSCAPED SHALL BE UNCOMPACTED, SUITABLE FOR ROOT GROWTH WITH APPROPRIATE AMOUNTS OF ORGANIC MATTER, AND OF PH RANGE OF 5.5 - 6.5.
5. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL DESIGNATE A TEMPORARY CONSTRUCTION ENTRANCE AND STOCKPILE AREA.
6. ALL SIGNAGE OR MINOR SITE FEATURES TO BE RELOCATED IN CURRENT POSITION OR AS NOTED AFTER GRADING.



LEGEND

- EXISTING ASPHALT TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED
- EXISTING GROUND TO BE STABILIZED
- EXISTING FENCE TO BE REMOVED
- SILT FENCE
- TREE PROTECTION FENCE
- EXISTING STRUCTURE TO BE REMOVED



REVISIONS			
NO.	DATE	DESCRIPTION	DRWN/APPR

ENGINEER OF RECORD: **ANDREW J.K. GEISEL, P.E.**
 FLORIDA LICENSE NO. 94916

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JBPro
 CIVIL ENGINEERING | LAND PLANNING
 SURVEYING | CONSTRUCTION SERVICES

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Gainesville (352) 375-8888 | St. Augustine (321) 788-8888
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SHEET TITLE: **DEMOLITION AND EROSION CONTROL PLAN**

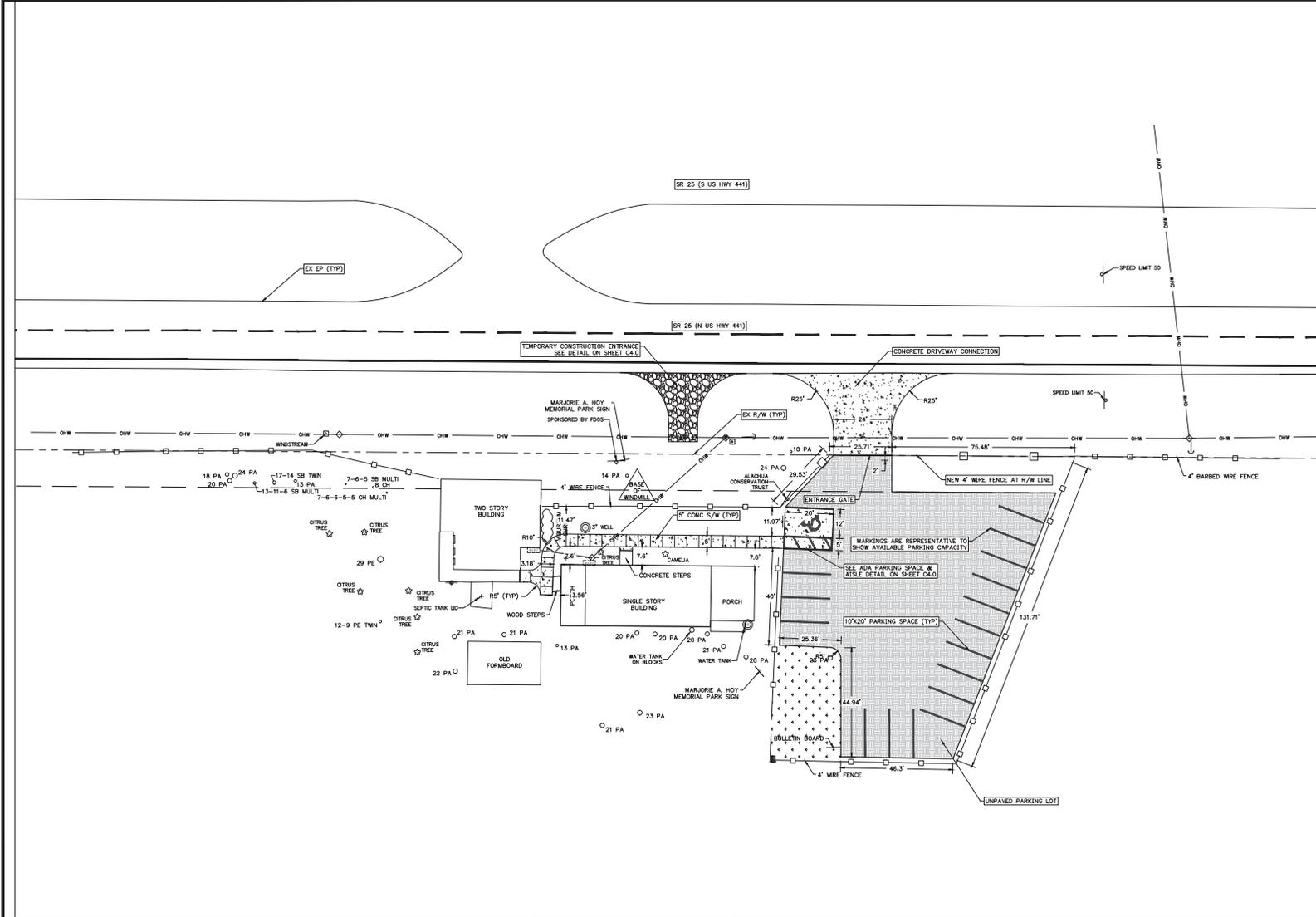
CLIENT: **ALACHUA CONSERVATION TRUST**
 MARION COUNTY, FLORIDA

PROJECT: **ORANGE LAKE OVERLOOK RESTORATION**
 MAJOR SITE PLAN

DATE: **AUGUST 2025**

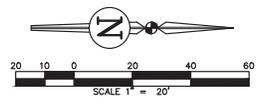
PROJECT NO: **0791-24-001**

SHEET NO: **C10**



- GENERAL DIMENSION NOTES**
- BOUNDARY INFORMATION SHOWN IS BASED ON THE JBPRO BOUNDARY & FIXED IMPROVEMENTS SURVEY DATED 10/01/2024.
 - CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE PROJECT SURVEY AND DESIGN DRAWINGS AND SHALL VERIFY EXISTING SITE CONDITIONS. ANY APPARENT DISCREPANCIES OR ADDITIONAL PERTINENT INFORMATION SHALL BE BROUGHT TO THE PROJECT ENGINEER'S ATTENTION IMMEDIATELY.
 - ALL DIMENSIONS AND RADIUS SHOWN ARE DIMENSIONED TO EDGE OF PAVEMENT, UNLESS OTHERWISE SPECIFIED.
 - ALL STRIPING SHALL CONFORM TO FDOT STANDARD PLANS INDEX 711-001
 - TOTAL PROPOSED PARKING AVAILABLE = 19 SPACES
TOTAL ADA PARKING SPACES = 1 SPACE

- LEGEND**
- PROPOSED UNPAVED PARKING
 - PROPOSED CONCRETE PAVEMENT
 - EXISTING GRASS TO REMAIN UNDISTURBED



REVISIONS			
NO.	DATE	DESCRIPTION	DRWN/APPR

ENGINEER OF RECORD: **ANDREW J.K. GEISEL, P.E.**
FLORIDA LICENSE NO. 94916

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4420 US-1 S, Suite 1 | St. Augustine, Florida 32086

Gainesville (352) 375-8888 | St. Augustine (321) 788-8888
Toll Free: (877) 66-JBPro | Email: contact@jbpro.com

SHEET TITLE: **DIMENSION PLAN**

CLIENT: **ALACHUA CONSERVATION TRUST**
MARION COUNTY, FLORIDA

PROJECT: **ORANGE LAKE OVERLOOK RESTORATION**
MAJOR SITE PLAN

DATE: **AUGUST 2025**

PROJECT NO: **0791-24-001**

SHEET NO: **C2.0**



Marion County

Development Review Committee

Agenda Item

File No.: 2025-21413

Agenda Date: 11/24/2025

Agenda No.: 6.3.

SUBJECT:

Fawn Lake Estates - Waiver for Step Down and Land Use

SSS Unit 27

PID#: 9027-0000-02

Tillman & Associates Engineering, LLC

LDC 2.1.2.1 Comprehensive Plan - Land Use Requirements

CODE states Outside of the UGB or PSAs, the Development Review Committee may grant a step-down density of one FLU designation where insufficient infrastructure exists to support development at the designated density. For example, parcels designated Medium Residential may be developed as Low Residential with DRC approval in these areas. The Future Land Use Map will be updated to reflect such approvals, coincident with recording the Final Plat.

APPLICANT requests to reduce 47.53 acres of 110.04 acres from HR to MR. Area requesting to be reduced to MR is primarily conservation area. As 110.04 acres, it is required to have 440 units on 62.51 acres. Development standards would require multi-family or townhouses which are not compatible with area. Project being proposed consists of 329 units. The step down would require minimum of 297 units. This is served by two lane roads and surrounded by detached SFR units. Same product is being proposed.



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: _____ Parcel Number(s): 9027-0000-02 Permit Number: TBD

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Fawn Lake Estates Commercial Residential
Subdivision Name (if applicable): SSS Unit 27
Unit 27 Block * _____ Lot * _____ Tract * _____

*Refer to MCPA Parcel Card

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Midway 65 LLC
Signature: [Signature]
Mailing Address: 277 Midway Road City: Ocala
State: FL Zip Code: 34472 Phone # 352-266-7408
Email address: thawk1068@gmail.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Tillman & Associates Engineering, LLC Contact Name: David Tillman or Jon Harvey
Mailing Address: 1720 SE 16th Avenue, Bldg 100 City: Ocala
State: FL Zip Code: 34471 Phone # 352-387-4540
Email address: Permits@Tillmaneng.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): _____ Comprehensive Plan Policy 2.1.2. 1.
Reason/Justification for Request (be specific): Requesting to reduce 47.53 acres of 110.04 acres from HR to MR. Area requesting to be reduced to MR is primarily conservation area. As 110.04 acres, it is required to have 440 units on 62.51 acres. Development standards would require multi-family or townhouses which is not compatible with area. Project being proposed consists of 329 units. The step down would require minimum of 297 units. This is served by 2 lane roads and surrounded by detached SFR units. Same product is being proposed.

DEVELOPMENT REVIEW USE:

Received By: _____ Date Processed: _____ Project # _____ AR # _____

ZONING USE: Parcel of record: Yes No Eligible to apply for Family Division: Yes No
Zoned: _____ ESUZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes No
Date Reviewed: _____ Verified by (print & initial): _____



Marion County

Development Review Committee

Agenda Item

File No.: 2025-21412

Agenda Date: 11/24/2025

Agenda No.: 8.1.

SUBJECT:

Planning & Zoning Commission Items for 11/24/25
Marion County Growth Services Department

<https://marionfl.legistar.com/Calendar.aspx>