

GENERAL NOTES			
1. THIS SET OF PLANS IS NOT TO BE USED FOR ANY PURPOSE UNLESS ALL SHEETS LISTED IN THE INDEX ARE INCLUDED IN THE SET, SECURELY BOUND AND EACH SHEET PROPERLY CERTIFIED.	2. ALL CONSTRUCTION COVERED BY THESE PLANS MUST CONFORM WITH THE LATEST MATERIAL AND PROCEDURE REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE LATEST MARION COUNTY LAND DEVELOPMENT REGULATIONS.	3. ANY DEVIATION FROM THESE PLANS REQUIRES PRIOR WRITTEN APPROVAL FROM THE PROFESSIONAL ENGINEER OF RECORD AND, IF APPLICABLE, FROM MARION COUNTY AND SJRWMD.	4. THE GENERAL CONTRACTOR FOR THE PROJECT IS HEREBY REQUIRED, AS PART OF THE CONTRACT, TO REVIEW EACH SHEET OF THE SET AND STUDY THEIR CORRELATION PRIOR TO BIDDING & CONSTRUCTION. THIS REVIEW ALSO INCLUDES ALL REPORTS (GEOLOGICAL, STRUCTURAL, STORM WATER) AND PERMITS FOR SPECIAL CONDITIONS. CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES FOUND ON THE PLANS, REPORTS, OR PERMITS.
5. THE GENERAL CONTRACTOR IS HEREBY REQUIRED TO IMPLEMENT JOB SAFETY AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT. JOB SAFETY PRACTICES, MEASURES, ETC., SHALL BE IN ACCORDANCE WITH OSHA AND ANY OTHER APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.	6. THE GENERAL CONTRACTOR IS HEREBY REQUIRED TO CONTACT ALL PERTINENT UTILITY COMPANIES FIELD VERIFY THE LOCATION, BOTH HORIZONTAL AND VERTICAL, OF THE UTILITIES WITHIN THE PROJECT SHOWN ON THE PLANS PRIOR TO STARTING CONSTRUCTION. SHOWN UTILITIES ARE APPROXIMATE.	8. ALL SIGN AND MARKING MATERIAL SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND SAFE PRACTICES FOR STREET AND HIGHWAYS AND UTILITY OPERATIONS.	9. THIS PROJECT FALLS WITHIN THE JURISDICTION OF THE FOLLOWING REGULATORY/MUNICIPAL AGENCIES. CONSTRUCTION MAY COMMENCE ONLY AFTER APPROVAL OF ALL APPLICABLE PERMITS. <ul style="list-style-type: none"> • MARION COUNTY - SITE PLAN • ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT - ERP PERMIT • FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION - NPDES PERMIT
10. THE GENERAL CONTRACTOR IS HEREBY REQUIRED TO INSTALL AND MAINTAIN BEST MANAGEMENT PRACTICES PRIOR TO STARTING EARTHWORK AND DURING CONSTRUCTION AS PER THE FLORIDA STORMWATER EROSION CONTROL INSPECTOR'S MANUAL.	11. THE GENERAL CONTRACTOR IS HEREBY REQUIRED TO NOTIFY PROPERTY OWNERS PRIOR TO WORKING IN THEIR PROPERTY. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COORDINATION OF WORK AND ASSOCIATED IMPACTS WITH PROPERTY OWNERS.	12. ALL AREAS DISTURBED BY THE CONSTRUCTION OF THIS PROJECT WHICH ARE NOT OTHERWISE PAVED SHALL BE IMMEDIATELY SOODED FOLLOWING FINAL GRADING. ALLOW FOR THE THICKNESS OF SOD WITH A 3/4" INCH UNDERCUT. SOD SHALL BE BAHIA AND SHALL BE REGULARLY WATERED BY THE CONTRACTOR UNTIL ESTABLISHED.	13. DATUM <ul style="list-style-type: none"> • ELEVATIONS ARE BASED ON N.G.S. BENCH MARK V 79 (AR0927) ELEVATION 83.64 DATUM = NAVD 88 • THE BEARINGIS SHOWN HEREON. ARE BASED ON FLORIDA STATE PLANE COORDINATES WEST ZONE, BASED ON THE FDOT FFRN NETWORK, NAD 1983, 2011 ADJUSTMENT, AND REFERENCED TO THE EAST LINE OF THE SUBJECT PROPERTY BEING S21°1639'E PREVIOUSLY DESCRIBED AS S21°43.57'E.
14. ALL OVERHEAD UTILITIES SHALL BE RELOCATED TO MEET A MINIMUM VERTICAL CLEARANCE OF 18 FEET. TREES TO REMAIN SHALL BE TRIMMED TO COMPLY WITH THE MINIMUM VERTICAL CLEARANCE.	15. THE DESIGN CONSULTANT SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGES OR DELAYS ATTRIBUTED TO THE LOCATION OR DISPOSITION OF ANY UTILITIES. ANY DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.	25. THE GENERAL CONTRACTOR IS HEREBY MADE RESPONSIBLE AS PART OF THIS CONTRACT FOR ALL CONSTRUCTION LAYOUT, BOTH VERTICAL AND HORIZONTAL. THE LAYOUT SHALL BE MADE BY A PROFESSIONAL LAND SURVEYOR, LICENSED FOR PRACTICE IN THE STATE OF FLORIDA.	26. OWNER SHALL ENTER INTO A CONTRACT WITH A TESTING LABORATORY FOR THE PURPOSE OF QUALITY CONTROL. IF SELECTED TO DO SO, OWNER SHALL BEAR ALL COSTS ASSOCIATED WITH TESTING. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXPENSES INCURRED TO RE-TEST IMPROVEMENTS IN THE EVENT OF "FAILED" TESTS. THE GENERAL CONTRACTOR IS HEREBY MADE RESPONSIBLE TO COORDINATE WITH THE TESTING LABORATORY FOR SCHEDULING OF SAMPLING AND TESTING.
PAVING, GRADING, AND DRAINAGE GENERAL NOTES			
1. THE CONTRACTOR IS RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL PRACTICES DURING CONSTRUCTION TO MINIMIZE ON-SITE EROSION/SEDIMENTATION AND TO PROTECT AGAINST DAMAGE TO OFF SITE PROPERTY. THE FOLLOWING PRACTICES SHALL BE EMPLOYED.	A. EROSION AND SEDIMENTATION CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. A SILT BARRIER SHALL SPECIFICALLY BE REQUIRED, CONSTRUCTED, AND MAINTAINED AS INDICATED. TEMPORARY SEED AND MULCH SHOULD BE USED TO CONTROL ON-SITE EROSION WHEN IT IS NOT PRACTICAL. TO ESTABLISH PERMANENT VEGETATION, SOD SHALL BE PLACED AS EARLY AS POSSIBLE ON ALL SLOPES STEEPER THAN 5 (FT) HORIZONTAL TO 1 (FT) VERTICAL. SOD SHALL BE FINED AS REQUIRED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. THE CONTRACTOR SHALL INSPECT AND REPAIR AS NECESSARY THE EROSION/SEDIMENTATION PROTECTION AT THE END OF EACH WORKING DAY.	B. ALL INLET STRUCTURES AND PIPE SHALL BE PROTECTED FROM SILTATION BY CONSTRUCTION INLET PROTECTION AS DEFINED BY THESE PLANS OR IN THE FDOT STANDARDS. IF SILTATION OCCURS, THE CONTRACTOR IS RESPONSIBLE TO REMOVE SILTATION AS PART OF THE BASE CONTRACT AT NO ADDITIONAL COST TO THE OWNER.	C. EXCAVATED STORMWATER FACILITIES SHALL BE CONSTRUCTED AS PART OF THE INITIAL CONSTRUCTION. THE FACILITIES SHALL BE ROUGH GRADED TO THE DESIGN ELEVATIONS. AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED, EXCESS AND UNSUITABLE SOILS SHALL BE REMOVED FROM THE BASIN (REMOVE ALL ACCUMULATED SILTS, CLAYS, ORGANIC, AND DEBRIS). FINALLY, SCARIFY AND RAKE BOTTOM AND VEGETATE.
D. PERMANENT VEGETATIVE STABILIZATION SHALL BE APPLIED ON FINE GRADED SITES AS SOON AS PRACTICAL. TEMPORARY SEEDING SHOULD BE EMPLOYED TO PREVENT EXPOSURE OF BARRER SOILS UNTIL PERMANENT VEGETATION CAN BE APPLIED.	E. ALL SLOPES 3:1 OR STEEPER REQUIRE LAPPED OR PEGGED SOD.	F. EROSION, SEDIMENT, AND TURBIDITY CONTROL ARE THE RESPONSIBILITY OF THE CONTRACTOR. THESE DELINEATED MEASURES ARE THE MINIMUM REQUIRED, WITH ADDITIONAL CONTROLS TO BE UTILIZED AS NEEDED, DEPENDENT UPON ACTUAL SITE CONDITIONS AND CONSTRUCTION OPERATION.	G. ALL SYNTHETIC BALES, SILT FENCE, AND OTHER EROSION CONTROL MEASURES SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
2. THE CONTRACTOR SHALL MAINTAIN IN HIS POSSESSION A COPY OF THE WATER MANAGEMENT DISTRICT CONSTRUCTION PERMIT. HE SHALL BE RESPONSIBLE FOR ADHERENCE TO ALL CONDITIONS	CONTAINED IN THE PERMIT.	3. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.	4. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE ENGINEER OF RECORD SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO BE USED ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR THE PERFORMANCE OF THE ITEM.
5. GENERAL CONTRACTOR SHALL CONTACT ENGINEER OF RECORD AND THE OWNER REPRESENTATIVE 48 HOURS IN ADVANCE PRIOR TO BACKFILLING TRENCHES FOR FIELD INSPECTION AND PRIOR TO LAYING ASPHALT FOR FIELD INSPECTIONS.	6. CONTRACTOR IS TO SUBMIT FDOT APPROVED ASPHALT DESIGN MIXES TO THE ENGINEER OF RECORD BEFORE ANY WORK IS TO COMMENCE ON PROJECT. THE MIXTURE AT THE PLANT OR ON THE ROAD SHALL NOT EXCEED 335 DEGREES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AND PROVIDE TEMPERATURE READINGS PRIOR TO LAYING ASPHALT.	7. PROVIDE LEVEL PLATFORM IN FRONT OF ALL EGRESS DOORS. THE FLOOR SURFACE ON BOTH SIDES OF A DOOR SHALL BE AT THE SAME ELEVATION. THE FLOOR SURFACE OR LANDING ON EACH SIDE OF THE DOOR SHALL EXTEND FROM THE DOOR IN THE CLOSED POSITION A DISTANCE EQUAL TO THE DOOR WIDTH AND SHALL COMPLY WITH SECTION 4.11.8 MANEUVERING CLEARANCES AT DOORS OF THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.	8. RAMPS SHALL HAVE LEVEL LANDINGS AT THE BOTTOM AND TOP OF EACH RAMP RUN. CURB RAMPS ARE NOT REQUIRED TO HAVE LANDINGS. LANDINGS SHALL HAVE THE FOLLOWING FEATURES. <ul style="list-style-type: none"> A. THE LANDING SHALL BE AT LEAST AS WIDE AS THE RAMP RUN LEADING TO IT. B. ALL LANDINGS ON RAMPS SHALL BE NOT LESS THAN 60" CLEAR, AND THE BOTTOM OF EACH RAMP SHALL HAVE NOT LESS THAN 72" OF STRAIGHT AND LEVEL CLEARANCE. C. IF RAMPS CHANGE DIRECTION AT LANDINGS, THE MINIMUM LANDING SIZE SHALL BE 60"X60". IF A RAMP RUN HAS HANDRAILS ON BOTH SIDES, HANDRAILS ARE NOT REQUIRED ON CURB RAMPS. HANDRAILS SHALL BE SHOWN ON THE SITE PLAN.
9. THE CONTRACTOR SHALL STOCKPILE TOPSOIL AND CONSTRUCTION MATERIALS IN AREAS DESIGNATED BY ENGINEER OF RECORD AND PROPERTY OWNER.	10. ALL CONCRETE USED SHALL BE A MINIMUM OF 3,000 PSI.	11. ALL WELLS, CLEANOUTS, MAN-HOLE TOPS, PULL BOX COVERS AND OTHER UTILITY APPURTENANCES IN THE AREA OF REDEVELOPMENT SHALL BE PROTECTED AND TOPS ADJUSTED TO MATCH PROPOSED GRADES.	CONTRACTOR SHALL SAW CUT, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS ANY EXISTING PAVEMENT.
12. SOO SHALL BE PLACED AROUND ALL STRUCTURES AS DIRECTED BY THE FDOT INDEX NO. 281, ALL OTHER DISTURBED AREAS SHALL BE SEEDED AND MULCHED UNLESS OTHERWISE SPECIFIED ON THE PLANS.	14. ALL STORM SEWER, CURB, AND DITCH BOTTOM INLETS SHALL CONFORM TO THE APPLICABLE FDOT INDEX. ALL DRAINAGE STRUCTURES WITH GRATES THAT ARE LOCATED IN GRASSED AREAS SHALL HAVE THE GRATE CHAINED TO THE STRUCTURE USING AN EYE BOLT AND CHAIN.	15. ALL CONCRETE STRUCTURES SHALL HAVE ALL EXPOSED EDGES CHAMFERED 1/4" AND CLASS 1 SURFACE FINISH.	
OWNERS OPERATION AND MAINTENANCE NOTES FOR STORMWATER			
GENERAL			
1. ALL DRAINAGE FACILITIES WITHIN THE SITE FOR THIS PROJECT SHALL BE MAINTAINED BY THE OWNER. THE STORM DRAINAGE SYSTEM SHALL BE MAINTAINED AS FOLLOWS.	2. DURING CONSTRUCTION, INSTALL EROSION CONTROL BARRIERS (SILTATION FENCES OR STRAW BALES) AS SPECIFIED BY THE PLANS, AS A MINIMUM, AND AT LOCATIONS NOT SPECIFIED WHICH SHOW SIGNS OF OVERFLOW AND EROSION.	SWALES AND DITCHES	3. MAINTAIN SOO OR GRASS IN ALL SWALES WITHIN THIS SITE AND IN THE RIGHT-OF-WAY DIRECTLY IN FRONT OF THE SITE. MOWING SHALL BE PERFORMED REGULARLY TO PRESERVE THE QUALITY OF COVER. SWALES SHALL BE KEPT UNOBSTRUCTED IN ORDER FOR RUNOFF TO FLOW FREELY TO ITS INTENDED DESTINATION. OPERATION OF HEAVY EQUIPMENT OVER FINISHED SWALES SHALL BE AVOIDED TO PROTECT THE GRADES, VEGETATIVE COVER AND INFILTRATION POTENTIAL.
RETENTION PONDS (DRAS)	4. SIDE SLOPES SHALL BE KEPT COVERED WITH SOO OR GRASS AS SPECIFIED ON THE PLANS AND MOWED REGULARLY. YEARLY MAINTENANCE SHALL REPAIR ANY EROSION, ESPECIALLY IN THE AREAS AROUND HEADWAYS, SPILLWAYS AND SPLASH PADS, IF APPLICABLE. REMOVE ACCUMULATED OILS, GREASE AND SILTS IF ANY.	5. VERIFY THAT THE SPILLWAYS, SPLASH PADS, PIPES AND OUTLETS REMAIN UNOBSTRUCTED TO PREVENT OVERTOPPING AND SUBSEQUENT EROSION.	6. DURING CONSTRUCTION, ESPECIALLY IN AREAS WHERE EROSION HAS A POTENTIALLY DAMAGING EFFECT SUCH AS SWALES, WHICH ARE NOT STABILIZED WITH SLOPES GREATER THAN 1:1, DITCH BLOCKS SHALL BE INSTALLED (I.E. HAY BALES) TO PREVENT SOIL MIGRATION UNTIL, SOODING AND OTHER IMPROVEMENTS HAVE BEEN PLACED.
7. DOWNSTREAM PORTIONS OF THE SYSTEM SHALL BE CONSTRUCTED FIRST, IN ORDER TO ACCOMMODATE THE INCREASING FLOW AS THE PROJECT DEVELOPS.	INLETS, PIPES, AND CONTROL STRUCTURES	8. VERIFY BIENNUELY THAT PIPES, INLETS, GRATES AND SLOTS ARE NOT CLOGGED. CLEAN AS NECESSARY.	
AS-BUILT			
1. AS-BUILT RECORD SURVEY SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND ONCE APPROVED PROVIDED TO THE OFFICE OF THE COUNTY ENGINEER AND OTHER AGENCIES AS NECESSARY AS A RECORD OF COMPLETED CONSTRUCTION INFORMATION SHOWN ON THIS SURVEY SHALL BE AN ACTUAL RECORD OF THE HORIZONTAL AND VERTICAL LOCATION OF FEATURES AS CONSTRUCTED AND SHALL BE ARCHIVED WITH THE OFFICE OF THE COUNTY ENGINEER. AS-BUILT RECORD SURVEY SHALL MEET REQUIREMENTS AS SET FORTH IN CH. 5-17.52(1) FAC. THE SURVEY SHALL BE SIGNED, SEALED, AND DATED BY A PROFESSIONAL SURVEYOR AND MAPPER LICENSED IN THE STATE OF FLORIDA WITH THE DATES OF FIELD SURVEY SHOWN.	2. INSPECTION AND MATERIAL TESTING OF ALL IMPROVEMENTS SHALL BE SUBMITTED IN ONE REPORT WITH THE AS-BUILT RECORD SURVEY.	3. PRIOR TO THE FINAL ENGINEERING INSPECTION AND CERTIFICATION ALL PROPERTY CORNERS SHALL BE STAKED AND IF DISTURBED, RE-ESTABLISHED BY A PROFESSIONAL LAND SURVEYOR.	

Development Review Committee
 Marion County, Florida
 Plan #: AR0920
 Approval Date: 3/2/2026
 Expiration Date: 3/2/2028

All construction shall conform to the construction standards contained in the Marion County Land Development Code. **Noted:** Areas of the right-of-way disturbed during construction shall be dressed and sooded. Seed and mulch may be used if approved by the County Engineer or designer.

NOTE:
 The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.

- LEGEND**
- FOUND CONCRETE MARKER (IF NOT SHOWN AS NOTED)
 - FOUND 1/2" IRON ROD AND CAP (UNLESS NOTED OTHERWISE)
 - SLOPE
 - BOLLARDS
 - FENCE
 - OVERHEAD WIRES
 - LIGHT POLE
 - POWER POLE
 - POWER POLE AND/OR TELEPHONE CLOSURE BOX
 - ELECTRICAL BOX
 - EROSION/SEDIMENTATION FIELD MEASUREMENT
 - CENTER LINE
 - SWALE
 - FEET
 - FENCE CORNER RECORDS
 - CONCRETE

DATE	BY	REVISIONS	DESCRIPTION	DATE	BY

Seal:
 GDC
 State of Florida Certificate of Authorization #1834

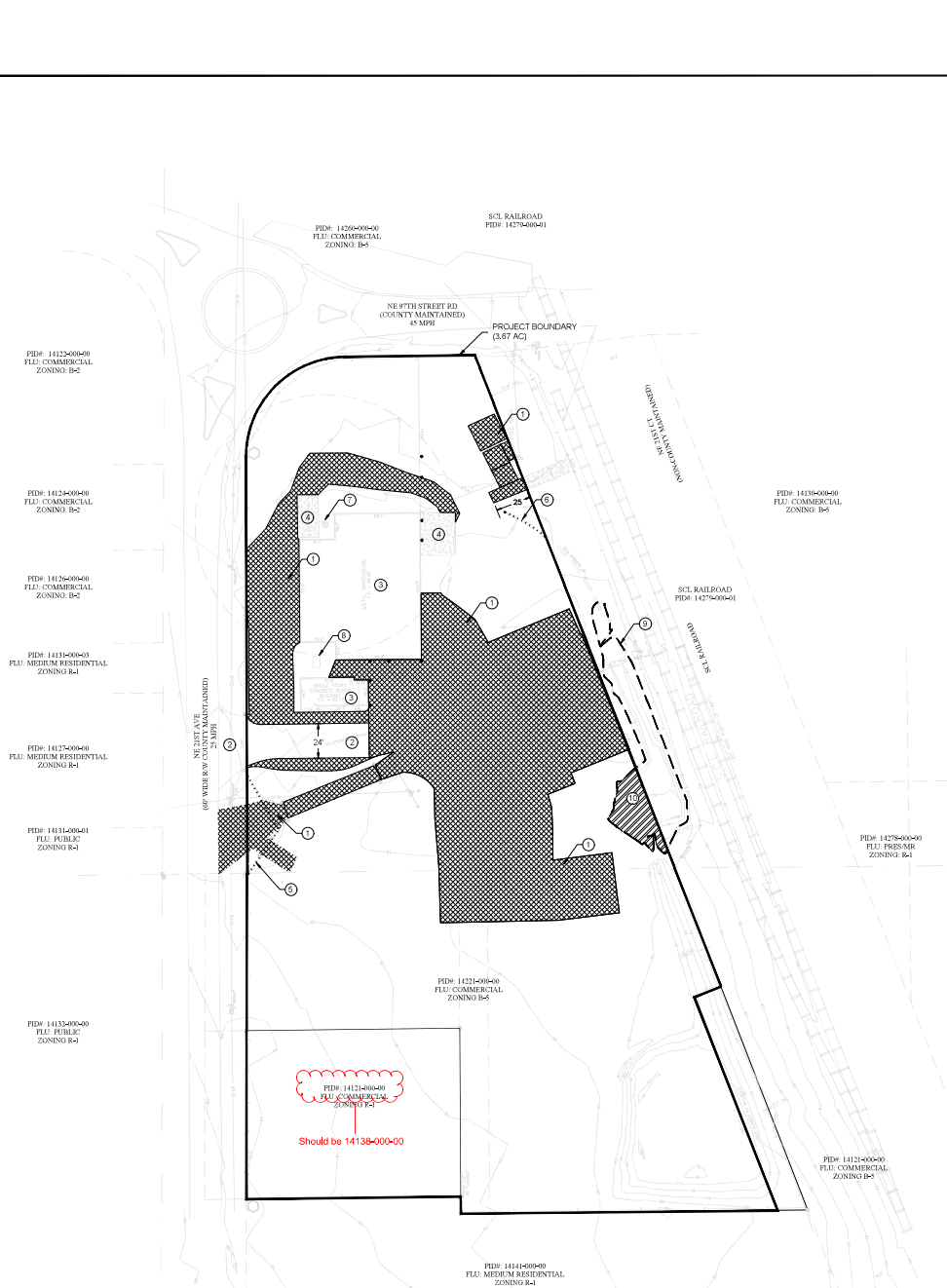
SHEET TITLE	GENERAL NOTES - MAINTENANCE	PROJECT	ALIEN ENGINEERED PRODUCTS - 4068 NE 21st AVE ANTHONY, MARION COUNTY, FL	DATE	3/2/2026
DESIGNED BY	BRK	DRAWN BY	BRK	CHECKED BY	BRK
APPROVED BY	PRK	CHECKED BY	PRK	DATE	3/2/2026
DATE		DATE		DATE	

**Development Review Committee
Marion County, Florida**

Plan #: **32920**
Approval Date: **3/2/2026**
Expiration Date: **3/2/2028**

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest edition. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer or designer.

NOTE:
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.



DEMOLITION PLAN

- ① DEMOLISH EXISTING IMPROVEMENTS AND FOUNDATIONS; SAWCUT PAVEMENT AND CONCRETE AS NECESSARY TO PREPARE FOR REDEVELOPMENT LAYOUT AND PROPOSED IMPROVEMENTS. REMOVE SOUTH DRIVEWAY. SHALL DEBRIS OFF-SITE TO A PROPER DISPOSAL SITE AND IN ACCORDANCE WITH GOVERNING REGULATIONS.
- ② EXISTING NORTH DRIVEWAY APRON AND A PORTION OF THE EXISTING DRIVE ISLE TO REMAIN.
- ③ EXISTING BUILDINGS TO REMAIN. EXISTING METAL AWNING, INCLUDING THE COLUMNS, IN BETWEEN THE BUILDINGS TO BE REMOVED.
- ④ EXISTING CONCRETE PADS TO REMAIN.
- ⑤ REMOVE +/- 82 LF OF EXISTING CHAIN LINK FENCE WITH GATES AND REINSTALL APPROXIMATELY 88 LF OF CHAIN LINK FENCE WITH BARB WIRE WITHIN THE SAME WORK DAY TO MAINTAIN SECURITY TO THE PROPERTY.
- ⑥ REMOVE EXISTING RUBBER STORM PIPE.
- ⑦ EXISTING WELL TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION.
- ⑧ EXISTING SEPTIC TANK TO REMAIN.
- ⑨ "OTHER SURFACE WATER" (EXISTING DRAINAGE RETENTION AREA) APPROXIMATELY 0.088 ACRES.
- ⑩ "OTHER SURFACE WATER" (ON-SITE AREA TO BE IMPACTED) = 0.027 ACRES. SEE PAVING, GRADING, AND DRAINAGE PLAN FOR MODIFICATIONS.

DEMOLITION NOTES

1. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AT LEAST 7 DAYS PRIOR TO STARTING WORK AND DEVELOP A WORK PLAN THAT WILL COORDINATE CONSTRUCTION TIMING WITH THE OWNERS BUSINESS OPERATION TO MINIMIZE DISRUPTION OF EACH OTHERS WORK.
2. PRIOR TO BEGINNING THE WORK THE CONTRACTOR SHALL VERIFY THE EXISTING LOCATION OF ALL EXISTING UTILITIES BOTH OVER-HEAD AND UNDERGROUND AND ENDEAVOR TO SAFEGUARD AGAINST THE INTERRUPTION OF SERVICES TO THE PUBLIC AND THE OWNER. UPON CONFIRMATION OF UTILITY LINE LOCATIONS ANY CONFLICTS SHALL BE SAFELY RESOLVED AND COORDINATED BETWEEN THE CONTRACTOR, THE UTILITY PROVIDER AND IF NECESSARY A LICENSED CONTRACTOR TO PERFORM SUCH WORK AS APPLICABLE TO THAT UTILITY (I.E. ELECTRICIAN TO ADDRESS POWER CONFLICTS), CONTACT SUNSHINE811.COM | 811 OR (800) 454-4776.
3. OWNER HAS FIRST RIGHT OF REFUSAL OF ALL SALVAGEABLE ITEMS.
4. DEMOLITION SHALL FOLLOW FDOT SPECIFICATIONS SECTION 110 UNDER CLEARING AND GRUBBING.
5. DEMOLITION WORK SHALL BE PERFORMED IN A SAFE AND ORDERLY MANNER AS TO PROTECT THE EXISTING BUILDINGS AND PEOPLE THAT MAY BE WORKING AT THE TIME OF REMOVAL.



SHEET TITLE	DEVELOPER	DATE
DEMOLITION PLAN - MAJOR SITE PLAN	ALIEN ENGINEER PRODUCTS - 811	3/2/2026
PROJECT	ALIEN ENGINEER PRODUCTS - 811	2151 AVE ANTHONY, MARION COUNTY, FL
DESIGNED BY	PRW	DDC DWD NAME: 2506_PRW
DRAWN BY	PRW	CLIENT: JUAN UFRON
APPROVED BY	PRW	DATE: JANUARY 23, 2025
CHECKED BY	PRW	SHEET NO. 0003 OF 0010

REVISION	DESCRIPTION	DATE	BY

SEAL:

DATE: _____

ENGINEER OF RECORD:

Guerra Development Corp.
Consulting Engineering
2817 NW 35th St., Suite 100, Fort Pierce, FL 34947
888.888.8888
GDC@GuerraCorp.net

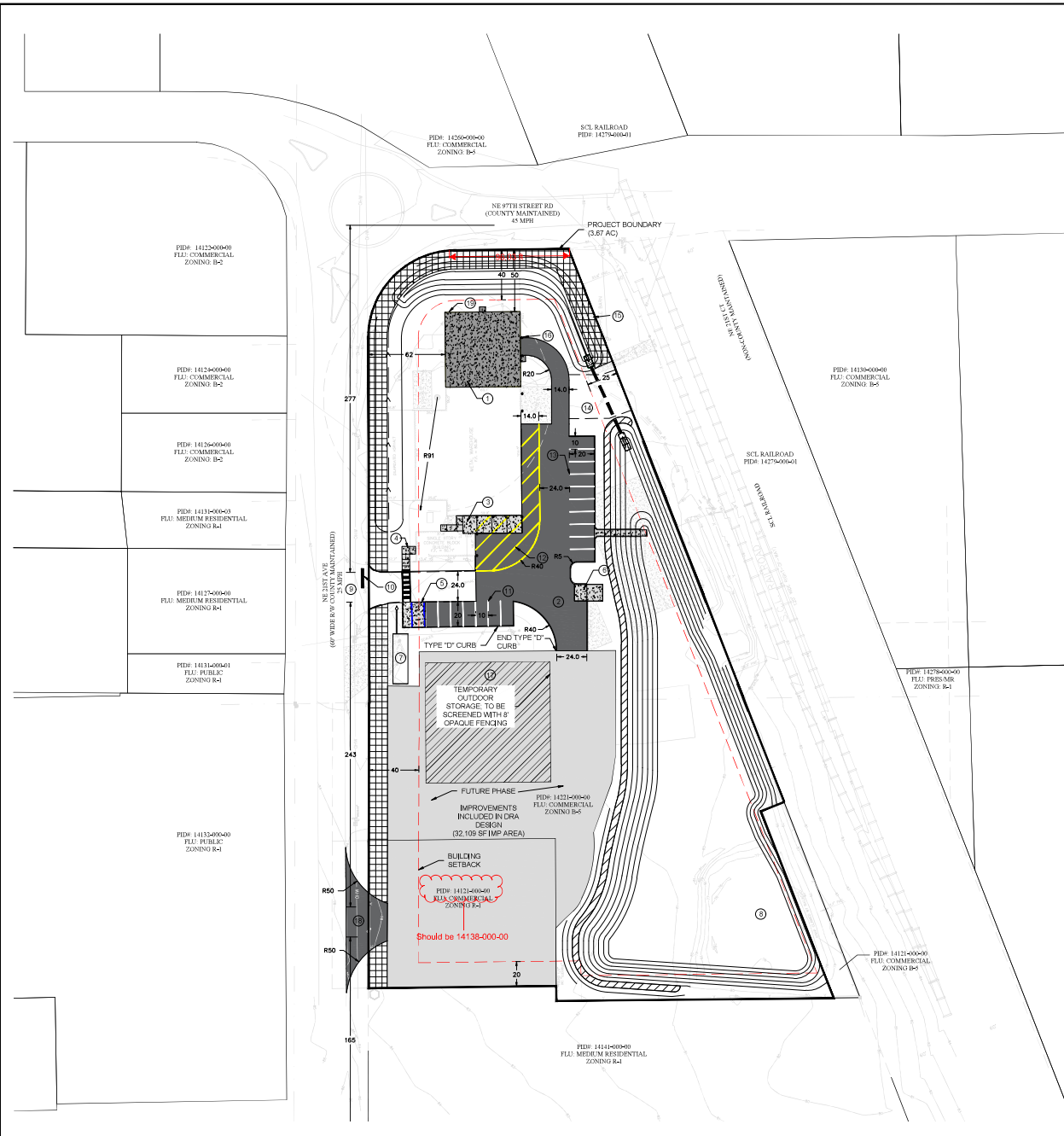
State of Florida - Certificate of Authorization #8181

**Development Review Committee
Marion County, Florida**

Plan #: 32920
Approval Date: 3/2/2026
Expiration Date: 3/2/2028

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest edition. Areas of the right-of-way disturbed during construction shall be dressed and seeded. Seed and mulch may be used if approved by the County Engineer or designer.

NOTICE
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.



SITE PLAN

1. PROPOSED 3600 SF METAL BUILDING. SEE BUILDING PLANS BY OTHERS.
2. HEAVY DUTY ASPHALT SECTION - INSTALL PER DETAIL 11C009. CONTRACTOR TO TEST AND DEFINE LIMITS OF EXISTING BASE AND SUBGRADE TO DETERMINE IF EXISTING MATERIAL CAN REMAIN OR IF IT WILL NEED TO BE REPLACED, AS AN ALTERNATIVE WITHIN THE PARKING SPACE AREAS. LIGHT DUTY ASPHALT MAY BE USED AT THE OWNER'S DISCRETION AS SHOWN IN DETAIL 20C09. INSTALL FOOT TYPE 'D' CURB AROUND PERIMETER AS SHOWN PER DETAIL 30C09.
3. CONCRETE PAVEMENT SECTION - INSTALL PER DETAIL 4C009. USE CARE IN REMOVING THE EXISTING CONCRETE AND PROTECT EXISTING BUILDINGS AND UTILITIES. SEE JOINT LOCATIONS AND DETAILS ON SHEET C009. CONSTRUCT SIDEWALK PER DETAIL 7C009.
4. CONCRETE SIDEWALK SECTION - INSTALL 6" WIDE CONCRETE SIDEWALK PER DETAIL 7C009. INSTALL DETECTABLE WARNINGS PER FOOT INDEX 522-202.
5. CONCRETE PARKING SECTION - INSTALL PER DETAIL 8C009 WITH HANDICAP STRIPING PER DETAIL 8C009 AND A SPECIAL EMPHASIS CROSS WALK PER FOOT INDEX 711-001 SHEET 9 OF 13.
6. CONCRETE DUMPSTER PAD - INSTALL PER DETAIL 9C009.
7. PROPOSED UNDERGROUND FIRE PROTECTION TANK DESIGN BY OTHERS.
8. EXISTING DRAINAGE RETENTION AREA TO BE EXPANDED.
9. EXISTING ASPHALT DRIVEWAY TO REMAIN.
10. INSTALL 24" WHITE STOP BAR - EXISTING STOP SIGN TO REMAIN.
11. INSTALL 6" WHITE STRIPE FOR SEVEN (7) 10' X 20' PARKING SPACES.
12. INSTALL 6" YELLOW STRIPE FOR LOADING ZONE.
13. INSTALL 6" WHITE STRIPE FOR TEN (10) 10' X 20' PARKING SPACES.
14. OPEN SPACE ACCESS TO REMAIN FOR RAIL CONNECTION.
15. PROPOSED LANDSCAPE BUFFER - SEE LANDSCAPE PLAN BY OTHERS.
16. INSTALL (9) NINE BOLLARDS PER DETAIL 10C009.
17. OUTDOOR STORAGE - TEMPORARY UNTIL FUTURE PHASE IS CONSTRUCTED.
18. HEAVY DUTY ASPHALT APRON SECTION - INSTALL PER DETAIL 11C009. CONTRACTOR TO TEST AND DEFINE LIMITS OF EXISTING BASE AND SUBGRADE TO DETERMINE IF EXISTING MATERIAL CAN REMAIN OR IF IT WILL NEED TO BE REPLACED, ADJUST EXISTING GATE AND FENCE TO CENTER ON NEW APRON LOCATION.
19. WALL SIGN PER MARION COUNTY LDC SECTION 4.4.4. ONE WALL SIGN PER OCCUPANCY. NOT TO EXCEED ONE AND THREES-QUARTERS SQUARE FEET IN SIGN AREA FOR EACH LINEAR FOOT OF THAT OCCUPANCY'S BUILDING FRONTAGE UP TO A MAXIMUM OF 200 SQUARE FEET; OR TWO ROOF SIGNS PER PREMISES. NOT TO EXCEED TWO SQUARE FEET IN SIGN AREA FOR EACH LINEAR FOOT OF THAT OCCUPANT'S BUILDING FRONTAGE UP TO A MAXIMUM OF 200 SQUARE FEET; OR THREE AWNING SIGNS PER OCCUPANCY NOT TO EXCEED 30 PERCENT OF THE SURFACE AREA OF AN AWNING, OR THREE MARQUEE SIGNS. NOT TO EXCEED 50 SQUARE FEET IN SIGN AREA FOR EACH MARQUEE.

SITE PLAN NOTES

1. PRIOR TO WORK BEING PERFORMED WITHIN THE RIGHT-OF-WAY THE CONTRACTOR(S) SHALL PREPARE AND PROVIDE A MAINTENANCE OF TRAFFIC CONTROL PLAN AS APPLICABLE, PER FDOT INDEX #102 SERIES FOR COUNTY REVIEW AND APPROVAL. NO DETOURS OR ROAD CLOSURES ARE AUTHORIZED WITH THIS PROJECT.

PROJECT:	ALIEN ENGINEER PRODUCTS - 2151 NE 21ST AVE. ANTHONY MARION COUNTY FL
DESIGNED BY:	PRW
DRAWN BY:	PRW
CHECKED BY:	PRW
APPROVED BY:	PRW
DATE:	JANUARY 23, 2025

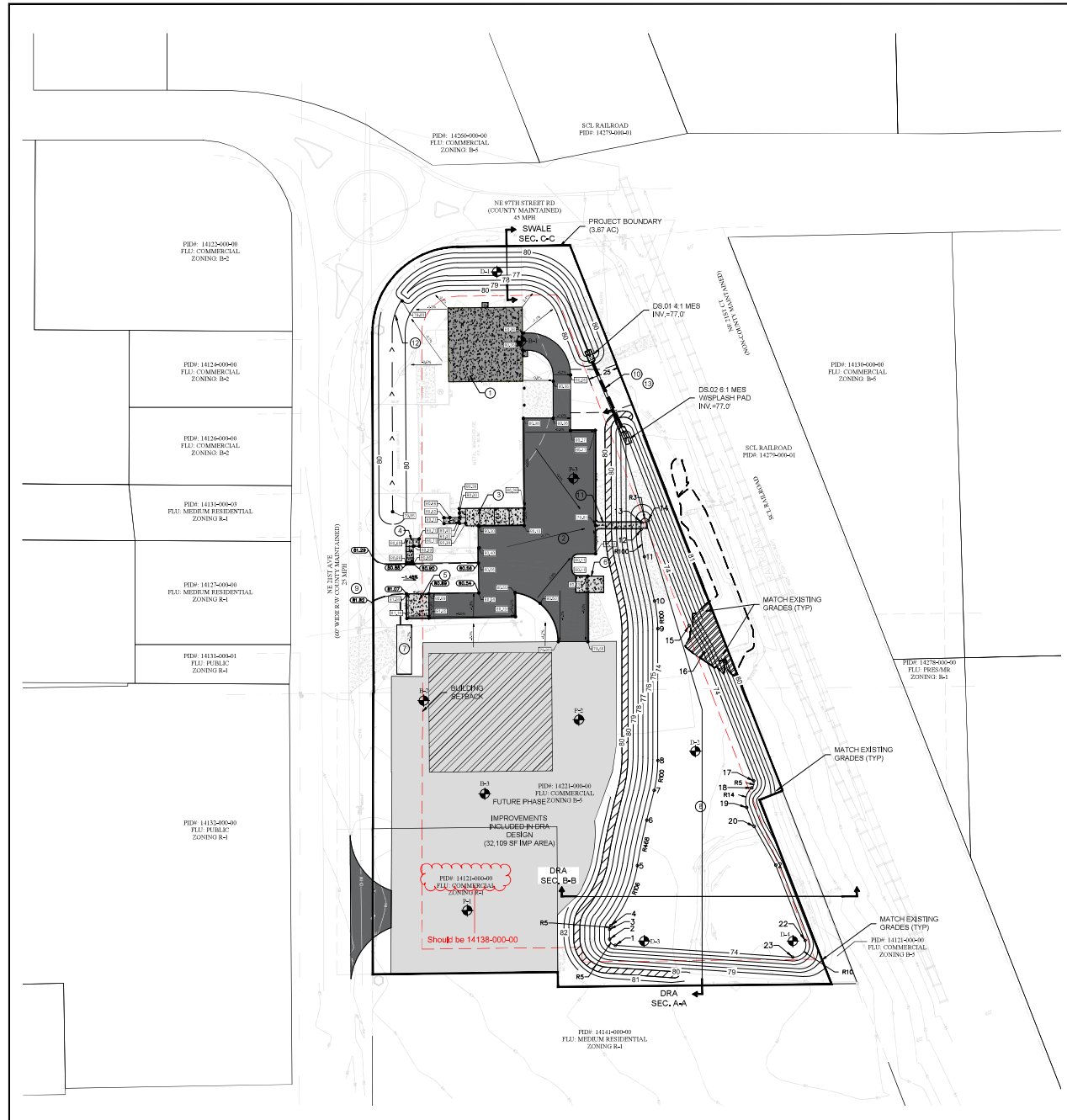
DATE:	BY:

**Development Review Committee
Marion County, Florida**

Plan #: 32920
Approval Date: 3/2/2026
Expiration Date: 3/2/2028

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest edition. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer or designer.

NOTE
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.



PAVING, GRADING, AND DRAINAGE PLAN

1. PROPOSED 3600 SF METAL BUILDING. FINISH FLOOR ELEVATION TO MATCH EXISTING ADJACENT ELEVATION OF 80.36.
2. HEAVY DUTY ASPHALT SECTION. GRADE TO SHEET FLOW TO DRA AS SHOWN.
3. CONCRETE PAVEMENT SECTION. USE CARE IN REMOVING THE EXISTING CONCRETE. RETROFIT AREA. GRADE TO CREATE POSITIVE FLOW AWAY FROM BUILDINGS AS SHOWN AND INTO THE NEW PROPOSED DRAINAGE SYSTEM.
4. CONCRETE SIDEWALK SECTION. NEW SIDEWALK TO MATCH INTO EXISTING DRIVE ISLE AND MATCH EXISTING BUILDING ELEVATION TO CREATE A SMOOTH TRANSITION. ALL TO BE ADA COMPLIANT.
5. CONCRETE ADA PARKING SECTION - SEE SHEET C009.
6. CONCRETE DUMPSTER PAD - SEE SHEET C009.
7. PROPOSED UNDERGROUND FIRE PROTECTION TANK.
8. EXISTING DRAINAGE RETENTION AREA TO BE EXPANDED. SEE DRA CROSS SECTIONS. NOTE THAT THIS SITE HAS SOME RETROFIT CONDITIONS THAT WILL NEED TO BE CONSIDERED FOR DESIGN.
9. EXISTING ASPHALT DRIVEWAY TO REMAIN.
10. PROPOSED 76 LF OF 24" RCP STORM PIPE AT 0.5% SLOPE.
11. PROPOSED 5 FT WIDE CONCRETE FLUME AND A SPLASH PAD.
12. PROPOSED 173 LF OF SODDED SWALE AT 0.5% SEE PLAN FOR ELEVATIONS.
13. OPEN SPACE ACCESS TO REMAIN FOR RAIL CONNECTION.

PAVING, GRADING, AND DRAINAGE NOTES

1. SEE DRAINAGE CALCULATIONS FOR PRE-DEVELOPMENT AND POST-DEVELOPMENT BASINS.
2. THE PROJECT IS LOCATED IN A FLOOD ZONE "X" AS SHOWN UNDER FEMA FIRM 12083C0340D EFFECTIVE 8/26/2008.
3. IN AREAS WHERE EXISTING PAVEMENT IS TO REMAIN, CONTRACTOR SHALL SAWCUT, AND MATCH PROPOSED GRADES TO EXISTING AND PROVIDE A SMOOTH TRANSITION.

DRA POINT TABLE



Point #	Elevation	Northing	Eastng
1	74.00	1801829.39	621660.74
2	74.00	1801834.38	621656.07
3	74.00	1801842.38	621656.07
4	74.00	1801845.48	621657.15
5	74.00	1801893.93	621678.59
6	74.00	1801930.87	621686.23
7	74.00	1801954.96	621692.23
8	74.00	1801979.19	621695.20
9	74.00	1802085.96	621695.14
10	74.00	1802108.44	621692.56
11	74.00	1802144.30	621684.27
12	74.00	1802166.31	621681.70
13	74.00	1802172.38	621681.67
14	74.00	1802173.49	621687.46
15	74.00	1802086.41	621720.80
16	74.00	1802086.38	621732.40
17	74.00	1801962.64	621772.81
18	74.00	1801956.97	621771.34
19	74.00	1801941.13	621767.23
20	74.00	1801925.81	621773.19

STORMWATER SYSTEM OPERATION AND MAINTENANCE NOTES TO OWNER

1. THE ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT AND MARION COUNTY REQUIRE THAT THE STORMWATER SYSTEM SHOWN IN THESE PLANS BE MAINTAINED AND REMAIN IN GOOD WORKING ORDER IN PERPETUITY.
2. AN ACCEPTABLE OPERATION AND MAINTENANCE ENTITY SHALL HAVE THE FINANCIAL, ADMINISTRATIVE, AND LEGAL CAPABILITY TO ACCESS, MONITOR, OPERATE, AND MAINTAIN THE PERMITTED STORMWATER SYSTEM.
3. SEE THE OPERATION AND MAINTENANCE PLAN WHICH CONTAINS ALL THE REQUIREMENTS THAT THE MAINTENANCE ENTITY IS RESPONSIBLE FOR.

SHEET TITLE	PAVING, GRADING, AND DRAINAGE PLAN - MAJOR SITE PLAN
PROJECT	ALIEN ENGINEERED PRODUCTS - 8555 NE 21ST AVE ANTHONY MARION COUNTY FL
DESIGNED BY	PRW
DRAWN BY	PRW
CHECKED BY	PRW
APPROVED BY	PRW
CLIENT	JUAN UFRON
DATE	JANUARY 23, 2025
SHEET NO.	0005 OF 0010

DATE	BY	REVISIONS	DESCRIPTION


 1" = 40' SCALE
 1" = 40' SCALE
 SEAL: 
 Juan Ufron, P.E.
 No. 14138-000-00
 Date:

Querra Development Corp.
 Consulting Engineering
 2817 NE 35th St., Suite 34470
 Jacksonville, FL 32211
 GDC@QuerraCorp.net
 State of Florida Certificate of Authorization #0001548

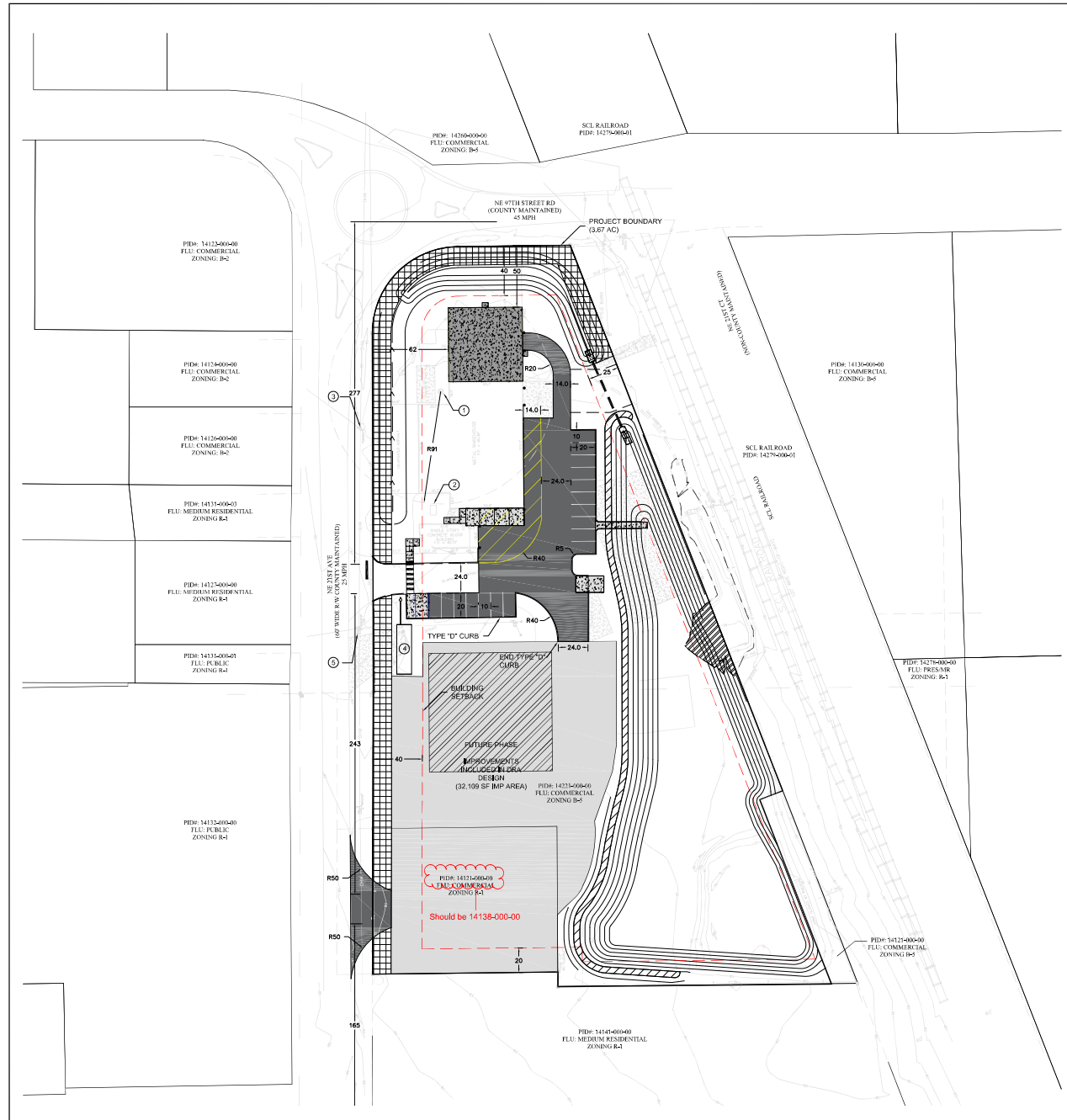

 ENGINEER OF RECORD:

Development Review Committee
Marion County, Florida

Plan #: 32920
Approval Date: 3/2/2026
Expiration Date: 3/2/2028

All construction shall conform to the construction standards contained in the Marion County Land Development Code. Best edition. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer or designer.

NOTICE
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.



UTILITY PLAN

1. EXISTING ON-SITE WELL TO REMAIN TO SERVICE THE EXISTING AND PROPOSED USE. CONTRACTOR SHALL PROTECT WELL DURING CONSTRUCTION AND SHALL PROVIDE A CONCRETE PAD FOR TANK AND ADD A FILTRATION SYSTEM PER DOH.
2. EXISTING ON-SITE SEPTIC TANK & DRAINFIELD TO REMAIN TO SERVICE THE EXISTING AND PROPOSED USE.
3. EXISTING POWER PROVIDED BY DUKE ENERGY, CONTRACTOR TO COORDINATE WITH OWNER AND DUKE ENERGY FOR SERVICE TO SHOP EXPANSION.
4. FIRE FLOW TO BE PROMOTED TO EXPANDED SHOP THROUGH THE INSTALLATION OF A NEW UNDERGROUND 20,000 GAL FIRE TANK. INSTALLATION SHALL BE BASED ON MANUFACTURER'S RECOMMENDATIONS AND GUIDANCE FROM MARION COUNTY FIRE RESCUE. TANK MUST HAVE THE ABILITY FOR FUTURE EXPANSION.
5. EXISTING COMMUNICATION PROVIDED BY OCALA FIBER, CONTRACTOR TO COORDINATE WITH OWNER AND OCALA FIBER FOR SERVICE TO SHOP EXPANSION.

UTILITY NOTES

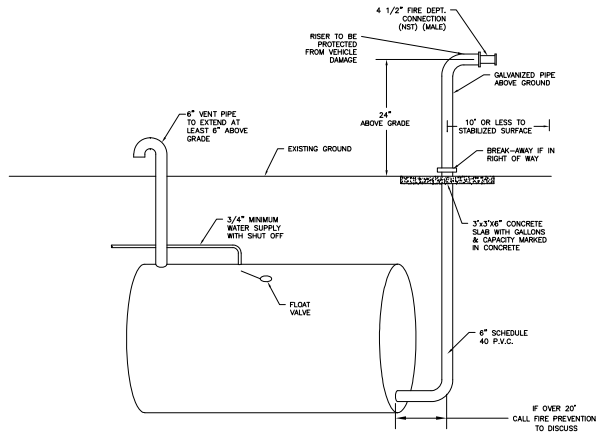
1. CONTRACTOR SHALL INCLUDE ALL UTILITY ADJUSTMENTS TO TOPS, VALVES, METERS, ETC. AS TO PROVIDE A SMOOTH SURFACE FOR MATCHING PROPOSED GRADES.
2. NO EXTERIOR LIGHTING IS PROPOSED AS A PART OF THE CIVIL SITE WORK.

ESTIMATED WATER & SEWER DEMAND (CHAPTER 62-6 FAC)

DESCRIPTION	NO UNITS	UNIT	FLOW RATE (GPD)	AVERAGE DAILY FLOW (GPD)
METAL SHOP/MANUFACTURE				
EMPLOYEES	13	EA	15	195
CLASSIC BAY	3	EA	100	300
			Sub-Total	495
OFFICE				
OFFICE	9	1000 SF	15	149
EMPLOYEES	2	EA	15	30
			GREATER	149
			SEWER DEMAND	644
			WATER DEMAND	808

ESTIMATED FIRE FLOW DEMAND (NFPA 1142)

DESCRIPTION	AREA (SF)	HT (AVG) FT	VL (GF)	OCCUPANCY CLASS (DNC)	CONSTRUCTION CLASS (DCC)	EXPOSURE	WATER SUPPLY MIN. (GAL)
BASED ON PROPOSED SHOP EXPANSION							
METAL SHOP	3600	19-2	69/20	5	Type II (0.75)	YES	15000
						TANK SIZE PROVIDED	20000



- IF MULTIPLE TANKS ARE REQUIRED, THEY MUST BE MANIFOLDED TOGETHER INTO A SINGLE RISER.
- RISER SHALL BE A MINIMUM OF 1.5 X BUILDING HEIGHT AWAY FROM BUILDING HOWEVER, IT IS OFFEN AN ADVANTAGE FOR PROPERTY OWNERS AND THE FIRE DEPARTMENT TO HAVE RISER INSTALLED A SIGNIFICANT DISTANCE AWAY FROM BUILDING (UP TO 100').
- TO DETERMINE THE BEST LOCATION OF THE FIRE DEPARTMENT CONNECTION YOU MUST CONTACT MARION COUNTY FIRE RESCUE.

TYPICAL OF SINGLE TANK SYSTEM
IT IS THE RESPONSIBILITY OF THE SYSTEM DESIGNER TO ENSURE FUNCTIONALITY, AND OWNERS RESPONSIBILITY TO MAINTAIN.

PROJECT:	ALIEN ENGINEERED PRODUCTS - 3605 NE 21ST AVE ANTHONY MARION COUNTY FL
DESIGNED BY:	PRM
DRAWN BY:	PRM
CHECKED BY:	PRM
APPROVED BY:	PRM
CLIENT:	JUAN GIRON
DATE:	JANUARY 23, 2025
SHEET NO.:	007 OF 010

SHEET TITLE:	UTILITY PLAN - MAJOR SITE PLAN
PROJECT:	ALIEN ENGINEERED PRODUCTS - 3605 NE 21ST AVE ANTHONY MARION COUNTY FL
DESIGNED BY:	PRM
DRAWN BY:	PRM
CHECKED BY:	PRM
APPROVED BY:	PRM
CLIENT:	JUAN GIRON
DATE:	JANUARY 23, 2025
SHEET NO.:	007 OF 010

DATE:	BY:	REVISION DESCRIPTION:

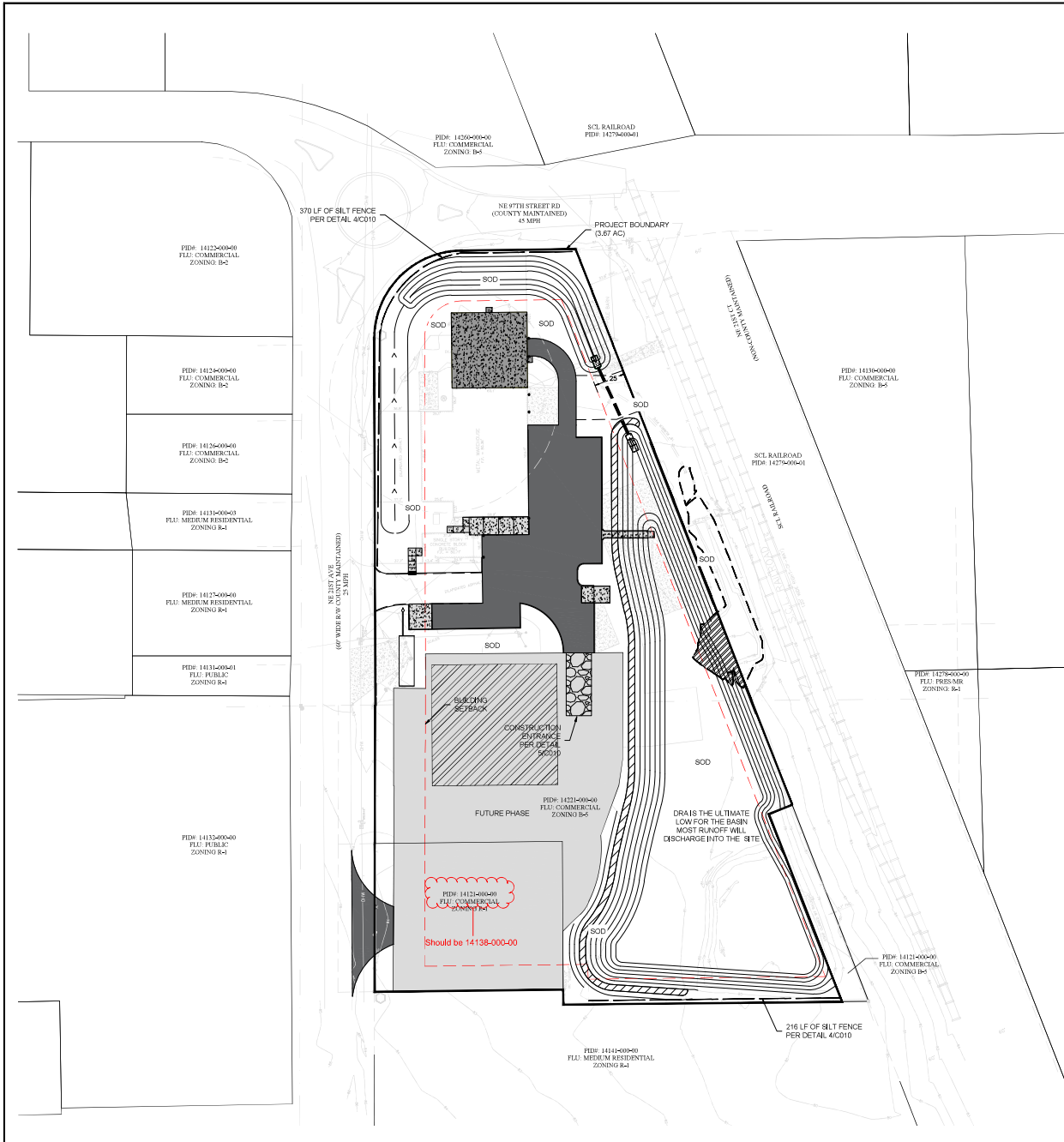
SCALE:

1" = 100'-0" (AS SHOWN)

DATE: 01/23/2025

Querra Development Corp.
Consulting Engineering
2817 NE 30th St, Ocala, Florida 34470
GDC@QuerraConsult.com
GDC

State of Florida - Certificate of Accreditation #1616



NARRATIVE DESCRIPTION

THE FOLLOWING NARRATIVE OF THE STORM WATER POLLUTION PREVENTION PLAN IS INTENDED TO SHOW THE GENERAL CONDITIONS AND MINIMUM CONTROLS REQUIRED TO PROTECT DOWNSTREAM PROPERTIES AND PREVENT THE TRANSPORT OF SEDIMENTATION DURING CONSTRUCTION OPERATIONS IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REGARDING STORM WATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES.

AS CONDITIONS AND METHODS OF CONSTRUCTION CHANGE FROM TIME TO TIME THE CONTRACTOR SHALL PREPARE A STORM WATER POLLUTION PREVENTION PLAN IMPLEMENT CONTROLS AND BEST MANAGEMENT PRACTICES FROM THE FOLLOWING SOURCES:

1. FDOT SPECIFICATIONS SECTION 104- PREVENTION, CONTROL, AND ABATEMENT OF EROSION AND WATER POLLUTION.
2. FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTORS MANUAL.

SITE DESCRIPTION

COUNTY: MARION COUNTY, FL
 SEC. TWP. RG: SECTIONS 09 TOWNSHIP 14S, RANGE 22E
 STREET ADDRESS: 9655 NE 21ST AVE
 PROJECT AREA: 3.67 ACRES
 SITE LOCATION MAP: SEE COVER SHEET OF CONSTRUCTION PLANS

CONSTRUCTION ACTIVITY

MAJOR SITE PLAN IS INTENDED FOR THE REDEVELOPMENT OF THE SITE TO SERVE THE EXISTING METAL FABRICATION USE. EXPANSION OF THE SAME USE, AND PLANNING FOR FUTURE IMPROVEMENTS.

SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES

REQUIREMENTS SET FORTH IN THESE DRAWINGS SHALL BE CONSIDERED AS A MINIMUM PERFORMANCE REQUIREMENT, TO BE IN EFFECT DURING THE LIFE OF THE CONSTRUCTION CONTRACT.

PRIOR TO START OF CONSTRUCTION ACTIVITIES, EROSION AND SEDIMENTATION FENCING SHALL BE INSTALLED AT LOCATIONS SHOWN ON THESE DRAWINGS. THE OWNER MAY CHOOSE THROUGH THE ENGINEER OF RECORD (ENGINEER) OR THE CONTRACTOR, TO MAKE ADDITIONS OR DELETIONS TO THE SCOPE OF THESE PLANS AS NECESSARY TO MEET THE SITE CONDITIONS.

TO MINIMIZE THE POTENTIAL FOR ADVERSE FLOODING TO ADJOINING PROPERTIES, THE STORM WATER SYSTEM SHALL BE CONSTRUCTED IN THE FOLLOWING SEQUENCE:

- 1.1. CLEARING AND GRUBBING
- 1.2. EARTHWORK FOR DRAINAGE RETENTION AREAS, CONSTRUCTED IN FULL. PARTIAL CONSTRUCTION IS ACCEPTABLE SO LONG AS ADVERSE FLOODING TO ADJOINING PROPERTIES IS CONTROLLED.
- 1.3. EARTHWORK FOR DOWNSTREAM PORTIONS OF SWALES AND STORMWATER PIPES.
- 1.4. EARTHWORK FOR REMAINDER OF THE SITE.

AREA ESTIMATES

TOTAL PROJECT SITE AREA: 3.67 ACRES
 TOTAL SITE AREA TO BE DISTURBED: 49+2.11 ACRES
 TOTAL IMPERVIOUS AREA: 1.57 ACRES

RUNOFF DATA

RUNOFF COEFFICIENTS VARY UPON LOCATION
 BEFORE C.O. 10 TO 0.86
 DURING C.O. 10 TO 0.95
 AFTER C.O. 10 TO 0.95

THE SOIL TEST BORINGS GENERALLY ENCOUNTERED LOOSE TO VERY LOOSE SAND TO SILTY SAND (SPHSM) TO DEPTHS OF 5.5 TO 13.5 FEET, FOLLOWED BY SILTY CLAYEY SAND TO SANDY CLAY (BRSSCH) TO THE MAXIMUM BORING TERMINATION DEPTHS OF 20 FEET BELOW SURFACE. AS AN EXCEPTION, SOIL BORING 04 ENCOUNTERED LIMESTONE AT A DEPTH OF 18.5 FEET TO THE BORING TERMINATION DEPTH OF 20 FEET. THE GROUNDWATER LEVEL WAS NOT ENCOUNTERED IN ANY OF THE SOIL TEST BORINGS UPON WORK COMPLETION.

OUTFALL INFORMATION

THERE IS ONE DRAINAGE RETENTION AREA OF STORMWATER STORAGE PROPOSED AS FOLLOWS:

1. DRA 1 - NO DISCHARGE UP TO 100 YR 24 HR EVENT
 LOCATION: LATITUDE 29.29' LONGITUDE 82.11'
 BASIN SIZE: 13.38 ACRES
 RECEIVING WATER: N/A

SITE MAP

THE CONSTRUCTION PLANS ARE BEING USED AS THE SITE MAP.

EROSION AND SEDIMENT CONTROLS

CLEARING AND GRUBBING

INSTALL SILT FENCE AS THE PERIMETER CONTROL DURING CLEARING AND GRUBBING ACTIVITIES. INSTALLATION SHALL BE PERFORMED IN A TIMELY MANNER AS TO MINIMIZE THE OPPORTUNITY FOR SEDIMENT AND EROSION TO OCCUR DOWNSTREAM.

EARTHWORK FOR DRA CONSTRUCTION

AFTER PERIMETER CONTROLS ARE INSTALLED CLEAR AND GRUB THE POND SITE. PRIOR TO EARTHWORK INSTALL A CONSTRUCTION ENTRANCE TO MINIMIZE SOIL TRACKING ONTO THE ROADS. PERFORM EXCAVATION AND EMBANKMENT ACTIVITIES TO CONSTRUCT THE POND TO THE GRADES AND ELEVATIONS SHOWN ON THE PLANS. ALL SLOPES TO BE SODDED AS SOON AS PRACTICAL AFTER FINISH GRADING. POND BOTTOMS SHALL BE SODDED. STABILIZE ALL OTHER DISTURBED AREAS WITH SOD IF SLOPES ARE 6:1 OR STEEPER. SEED AND MULCH SLOPES LESS THAN 6:1 OR FLATTER.

EARTHWORK FOR SWALES AND STORMWATER PIPES AND INLETS
 STORMWATER CONVEYANCE SWALES AND PIPES SHALL BE INSTALLED FROM DOWNSTREAM TO UPSTREAM. ALL SWALES SHALL BE STABILIZED WITH SOD AS SOON AS PRACTICAL AFTER FINISH GRADING. SEDIMENTATION BARRIERS SHALL BE USED AROUND STORM INLETS. MITERED END SECTIONS, AND OTHER STORMWATER SYSTEM COMPONENTS TO PREVENT SILTATION OF PIPES AND DRAWS. THE PIPE CONVEYANCE SYSTEM SHALL BE FLUSHED FREE AND THE SOIL SEDIMENTATION REMOVED.

Development Review Committee
Marion County, Florida

Plan #: 32920
 Approval Date: 3/2/2026
 Expiration Date: 3/2/2028

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest edition. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer or designer.

NOTES
 The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute for the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.

STORMWATER MANAGEMENT

AS METHODS OF CONSTRUCTION CHANGE CONTRACTOR SHALL PROVIDE FOR STORMWATER MANAGEMENT, AS NEEDED, INCLUDING BUT NOT LIMITED TO THE BEST MANAGEMENT PRACTICES FOUND IN FDOT SPECIFICATION 104 AND THE FLORIDA STORMWATER EROSION AND SEDIMENTATION INSPECTORS MANUAL.

STABILIZATION PRACTICES

STABILIZATION MEASURES SHALL BE IMPLEMENTED AS SOON AS PRACTICAL BUT IN NO CASE MORE THAN 7 CALENDAR DAYS AFTER CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. THE STABILIZATION TYPES SHALL INCLUDE THE FOLLOWING UNLESS OTHERWISE APPROVED BY THE COUNTY AND ENGINEER OF RECORD:

1. TEMPORARY SOD
2. PERMANENT SOD
3. CONCRETE SURFACE
4. ASPHALT SURFACE
5. ARTIFICIAL COVERINGS

STRUCTURAL PRACTICES

ALL STRUCTURAL CONTROLS SHALL BE PLACED BEFORE DISTURBING SOIL UPSTREAM OF THE CONTROL. AT A MINIMUM THESE CONTROLS SHALL INCLUDE THE FOLLOWING:

TEMPORARY BARRIERS - SILT FENCE, TURBIDITY BARRIERS
 INLET PROTECTION
 CONSTRUCTION ENTRANCE

PERMANENT

SOD

OTHER CONTROLS

WASTE DISPOSAL
 PROVIDE LITTER CONTROL AND COLLECTION WITH THE PROJECT DURING CONSTRUCTION ACTIVITIES. DISPOSAL OF ALL FERTILIZER OR OTHER CHEMICAL CONTAINERS ACCORDING TO EPA'S STANDARD PRACTICE AS DETAILED BY THE MANUFACTURER. ALL SOLID WASTE MATERIALS SHALL BE PROPERLY DISPOSED OF OFF-SITE AND NOT IN A SURFACE WATER OR WETLAND.

OFF-SITE VEHICLE TRACKING & DUST CONTROL

PROVIDE FOR A STABILIZED CONSTRUCTION ENTRANCE AND USE ROADWAY SWEEPERS TO REMOVE SEDIMENT FROM ROADS DAILY DURING SOIL MOVING ACTIVITIES. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARP/AULINS.

STATE AND LOCAL REGULATIONS FOR WASTE DISPOSAL, SANITARY SEWER, OR SEPTIC TANK REGULATIONS

PROVIDE PORTABLE TOILETS AND SERVICE TO THEM DURING CONSTRUCTION.

FERTILIZERS & PESTICIDES

ALL PROCEDURES SHALL COMPLY WITH FDOT SPECIFICATION 882 FOR THE APPLICATION OF FERTILIZER AND THE MARION COUNTY LAND DEVELOPMENT CODE FOR PESTICIDE APPLICATIONS.

TOXIC SUBSTANCES

PROVIDE A LIST OF TOXIC SUBSTANCES THAT ARE LIKELY TO BE USED ON THE PROJECT AND PROVIDE A PLAN ADDRESSING THE GENERATION, APPLICATION, MIGRATION, STORAGE, AND DISPOSAL OF THESE SUBSTANCES.

MAINTENANCE

ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL PERMANENT ACCEPTABLE SURFACES ARE COMPLETE. MAINTENANCE MAY INCLUDE BUT IS NOT LIMITED TO: REPLACEMENT OF PERIMETER BARRIERS, ADDITIONAL BARRIERS, REMOVAL OF SEDIMENT FROM THE STORMWATER SYSTEM OR ROADWAY, REMOVAL AND REPLACEMENT OF SOD, ETC.

INSPECTIONS

QUALIFIED PERSONNEL SHALL INSPECT THE PROJECT SITE AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAIN EVENT THAT GENERATES 0.50 INCHES OF RAINFALL OR GREATER.

CONTRACTOR SHALL ADDRESS ANY IDENTIFIED DEFICIENCY WITHIN 24 HOURS OF THE INSPECTION INCLUDING THE NEED FOR ADDITIONAL MEASURES AS APPLICABLE AND AS APPROVED BY THE ENGINEER.

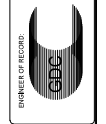
SHEET TITLE	STORMWATER POLLUTION PREVENTION PLAN - WORK SHEET PLAN
PROJECT	ALIEN ENGINEER PRODUCTS - 9655 NE 21ST AVE, ANTHONY, MARION COUNTY, FL
DESIGNED BY	PRW
DRAWN BY	PRW
CHECKED BY	PRW
APPROVED BY	PRW
CLIENT	ALIAN UPRON
DATE	JANUARY 23, 2025
SHEET NO.	0085 OF 0010

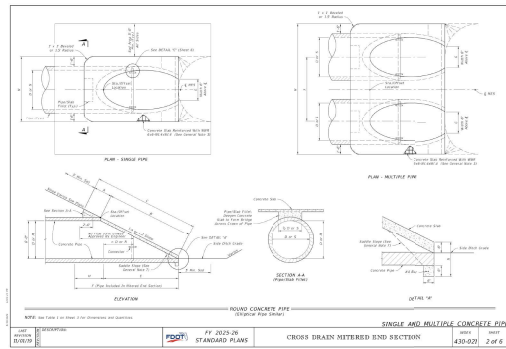
DATE	BY	REVISION DESCRIPTION



SEAL:
 PLAN NUMBER: 25-0015-04
 FILE NO.: 25-0015-04
 DATE:

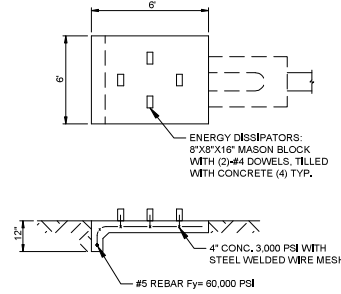
Querra Development Corp.
 Consulting Engineering
 2817 NW 35th St., Ocala, Florida 34470
 352-237-1111
 GDC@QuerraCorp.net
 State of Florida Certificate of Authorization #6515





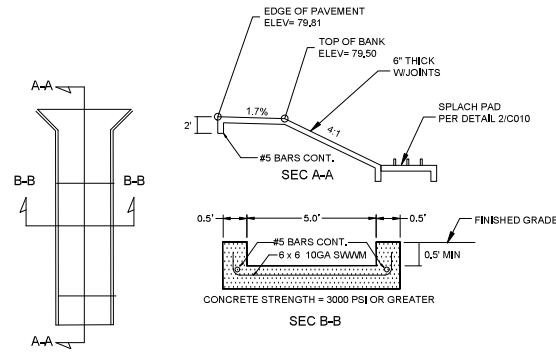
CONCRETE MITERED END SECTION

NO SCALE 1/2014



SPLASH PAD

NO SCALE 2/2014



CONCRETE FLUME

NO SCALE 3/2014

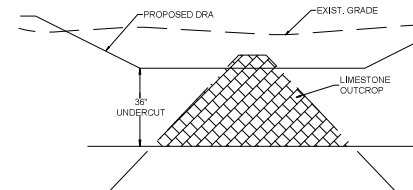
Development Review Committee
Marion County, Florida

Plan #: 32920
Approval Date: 3/2/2026
Expiration Date: 3/2/2028

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest edition. Access of the right-of-way, disturbance during construction shall be crossed and staked. Seed and mulch map be used if approved by the County Engineer or designer.

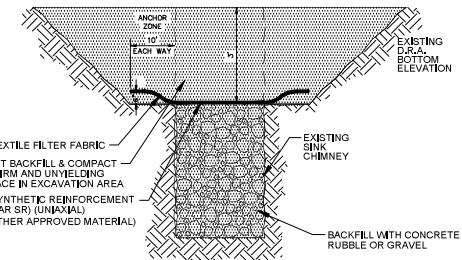
NOTICE: The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.

SHEET TITLE:	GENERAL DETAILS - UNDERCUT
PROJECT:	AUDEN ENGINEERED PRODUCTS - 4665 NE 21ST AVE ANTHONY MARION COUNTY FL
DESIGNED BY:	PRIV
DRAWN BY:	PRIV
CHECKED BY:	PRIV
APPROVED BY:	PRIV
CURATOR:	JUAN ORON
DATE:	JANUARY 23, 2024
SHEET NO.:	0210 OF 0210



LIMESTONE UNDERCUT AT DRA

NO SCALE 7/2014



NOTES:

- IF LIMESTONE IS ENCOUNTERED OR A SINKHOLE OR SOLUTION PIPE FORMS DURING CONSTRUCTION, CONSTRUCTION OF THE BASIN MUST BE HALTED AND THE PROJECT GEOTECHNICAL ENGINEER MUST BE NOTIFIED IMMEDIATELY.
- THE SINKHOLE OR SOLUTION PIPE MUST BE REPAIRED WITHIN 10 DAYS OF THE DISCOVERY USING A DISTRICT APPROVED METHOD.
- THE STORMWATER SYSTEM MUST BE INSPECTED MONTHLY FOR THE OCCURRENCE OF SINKHOLES OR SOLUTION PIPES.

STANDARD SINKHOLE CHIMNEY REPAIR DETAIL

NO SCALE 8/2014

Chapter 3: Temporary BMPs for Erosion and Sedimentation Control

- When used to control sediments from a steep slope, silt fences should be placed away from the toe of the slope for increased holding capacity (see Figure 3.4d).
- Silt fences shall be removed when they have served their useful purpose, but not before the upslope area has been permanently stabilized.

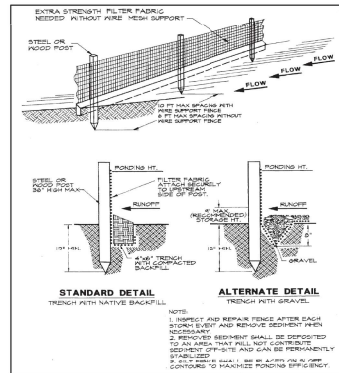


Figure 3.4a. Silt fence
Source: Erosion Direct

SILT FENCE

Page 44 of 202

NO SCALE 4/2014

Chapter 3: Temporary BMPs for Erosion and Sedimentation Control

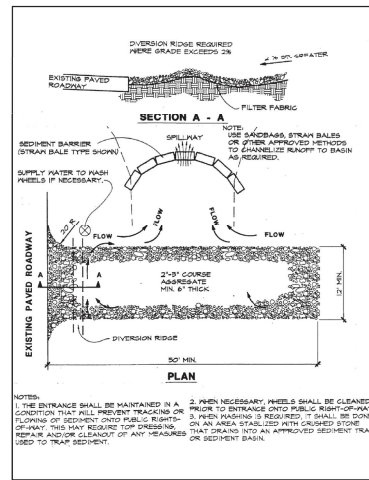


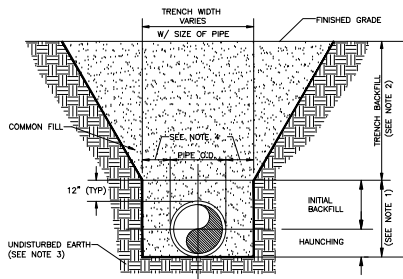
Figure 3.3a. Temporary gravel construction entrance
Source: Erosion Direct

CONSTRUCTION ENTRANCE

Page 37 of 202

NO SCALE 5/2014

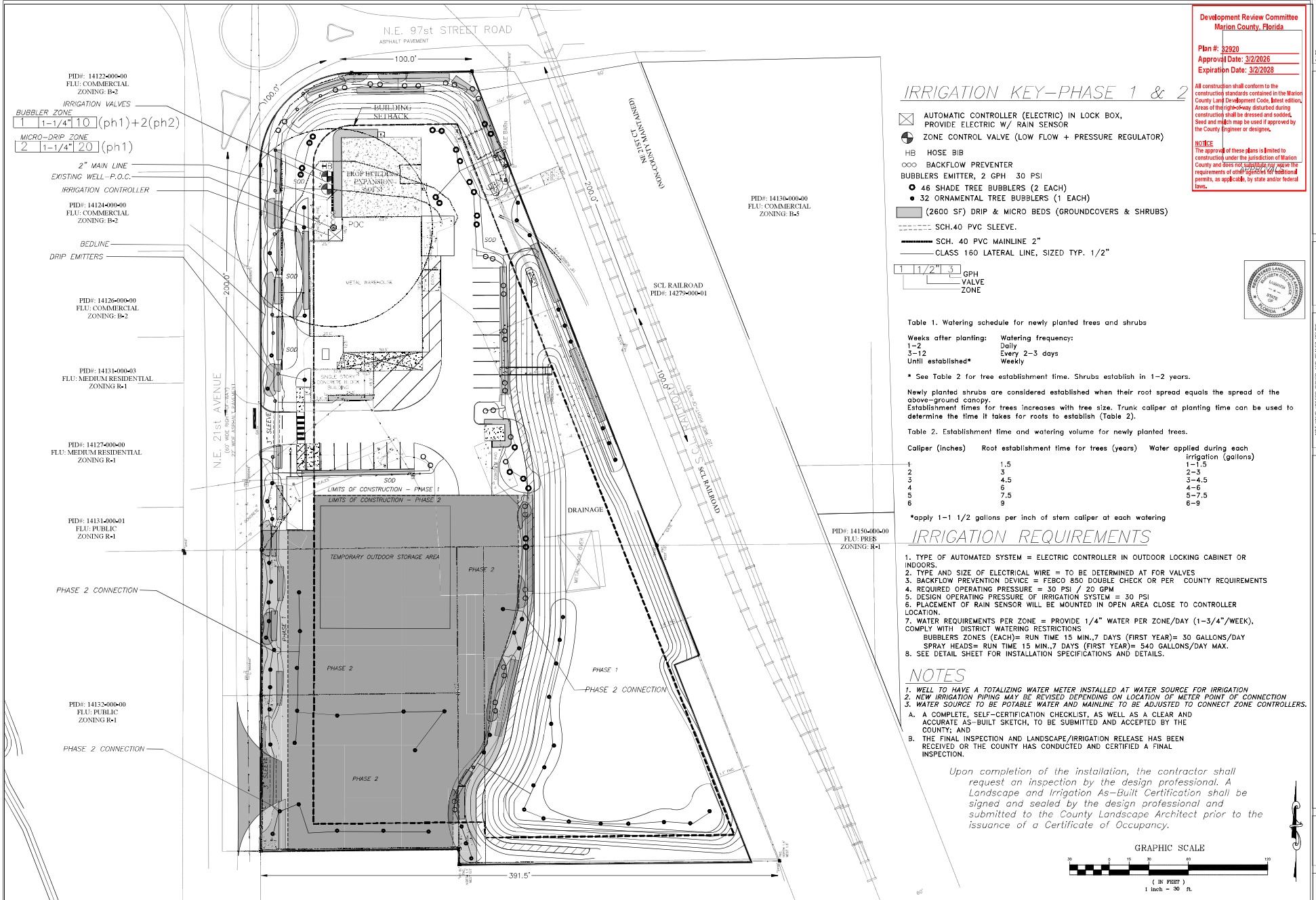
TYPE "B" BED TRENCH (UT 103)



NOTES:

- INITIAL BACKFILL AND HAUNCHING: SELECT COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
- TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
- PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY UTILITIES.
- 5" MAX (12" MIN) FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX (12" MIN) FOR PIPE DIAMETER 24" AND LARGER.
- WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
- ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
- FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN MARION COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

NO SCALE 6/2014



Development Review Committee
 Marion County, Florida

Plan #: 22920
 Approval Date: 3/2/2026
 Expiration Date: 3/2/2028

All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest edition. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer or designer.

NOTICE
 The approval of these plans is limited to the construction under the jurisdiction of Marion County and does not constitute any other permits, as applicable, by state and/or federal laws.

IRRIGATION KEY—PHASE 1 & 2

- ☒ AUTOMATIC CONTROLLER (ELECTRIC) IN LOCK BOX, PROVIDE ELECTRIC W/ RAIN SENSOR
- ⊗ ZONE CONTROL VALVE (LOW FLOW + PRESSURE REGULATOR)
- HB HOSE BIB
- ⊖ BACKFLOW PREVENTER
- ⊙ BUBBLERS EMITTER, 2 GPH 30 PSI
 - 46 SHADE TREE BUBBLERS (2 EACH)
 - 32 ORNAMENTAL TREE BUBBLERS (1 EACH)
- ▨ (2600 SF) DRIP & MICRO BEDS (GROUNDCOVERS & SHRUBS)
- SCH.40 PVC SLEEVE.
- SCH. 40 PVC MAINLINE 2"
- CLASS 160 LATERAL LINE, SIZED TYP. 1/2"

Table 1. Watering schedule for newly planted trees and shrubs

Weeks after planting:	Watering frequency:
1-2	Daily
3-12	Every 2-3 days
Until established*	Weekly

* See Table 2 for tree establishment time. Shrubs establish in 1-2 years.

Newly planted shrubs are considered established when their root spread equals the spread of the above-ground canopy. Establishment times for trees increases with tree size. Trunk caliper at planting time can be used to determine the time it takes for roots to establish (Table 2).

Table 2. Establishment time and watering volume for newly planted trees.

Caliper (inches)	Root establishment time for trees (years)	Water applied during each irrigation (gallons)
1	1.5	1-1.5
2	3	2-3
3	4.5	3-4.5
4	6	4-6
5	7.5	5-7.5
6	9	6-9

*apply 1-1 1/2 gallons per inch of stem caliper at each watering

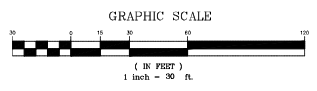
IRRIGATION REQUIREMENTS

1. TYPE OF AUTOMATED SYSTEM = ELECTRIC CONTROLLER IN OUTDOOR LOCKING CABINET OR INDOORS.
2. TYPE AND SIZE OF ELECTRICAL WIRE = TO BE DETERMINED AT FOR VALVES
3. BACKFLOW PREVENTION DEVICE = FERCO 850 DOUBLE CHECK OR PER COUNTY REQUIREMENTS
4. REQUIRED OPERATING PRESSURE = 30 PSI / 20 GPM
5. DESIGN OPERATING PRESSURE OF IRRIGATION SYSTEM = 30 PSI
6. PLACE OF RAIN SENSOR WILL BE MOUNTED IN OPEN AREA CLOSE TO CONTROLLER LOCATION.
7. WATER REQUIREMENTS PER ZONE = PROVIDE 1/4" WATER PER ZONE/DAY (1-3/4"/WEEK), COMPLY WITH DISTRICT WATERING RESTRICTIONS
 - BUBBLERS ZONES (EACH) = RUN TIME 15 MIN., 7 DAYS (FIRST YEAR) = 30 GALLONS/DAY
 - SPRAY HEADS = RUN TIME 15 MIN., 7 DAYS (FIRST YEAR) = 540 GALLONS/DAY MAX.
8. SEE DETAIL SHEET FOR INSTALLATION SPECIFICATIONS AND DETAILS.

NOTES

1. WELL TO HAVE A TOTALIZING WATER METER INSTALLED AT WATER SOURCE FOR IRRIGATION
2. NEW IRRIGATION PIPING MAY BE REVISED DEPENDING ON LOCATION OF METER POINT OF CONNECTION
3. WATER SOURCE TO BE POTABLE WATER AND MAINLINE TO BE ADJUSTED TO CONNECT ZONE CONTROLLERS.
 - A. A COMPLETE, SELF-CERTIFICATION CHECKLIST, AS WELL AS A CLEAR AND ACCURATE AS-BUILT SKETCH, TO BE SUBMITTED AND ACCEPTED BY THE COUNTY; AND
 - B. THE FINAL INSPECTION AND LANDSCAPE/IRRIGATION RELEASE HAS BEEN RECEIVED OR THE COUNTY HAS CONDUCTED AND CERTIFIED A FINAL INSPECTION.

Upon completion of the installation, the contractor shall request an inspection by the design professional. A Landscape and Irrigation As-Built Certification shall be signed and sealed by the design professional and submitted to the County Landscape Architect prior to the issuance of a Certificate of Occupancy.



DATE: 12/29/24
 DRAWN BY: ELIZABETH C. WOODRUFF
 CHECKED BY: ELIZABETH C. WOODRUFF
 DESIGNED BY: ELIZABETH C. WOODRUFF
 PROJECT NO.: 14121-000-00

ELIZABETH C. WOODRUFF
 LANDSCAPE ARCHITECTURE, LLC
 SITE PLANS, CONSULTANT, CONSTRUCTION DOCUMENTS
 1001 W. 10TH STREET, SUITE 100
 GAINESVILLE, FL 32609

REVISIONS:
 12/29/24: Final Design
 12/29/24: Final Design
 12/29/24: Final Design
 12/29/24: Final Design

100' WIDE RIGHT-OF-WAY
 100' WIDE RIGHT-OF-WAY AND SEASIDE DRIVE

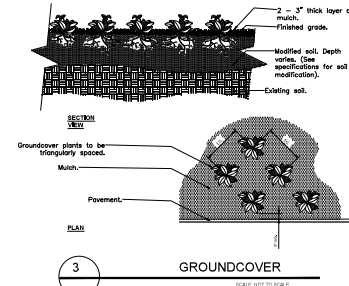
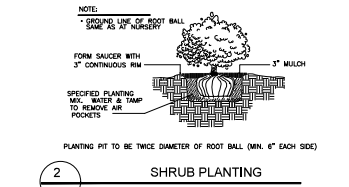
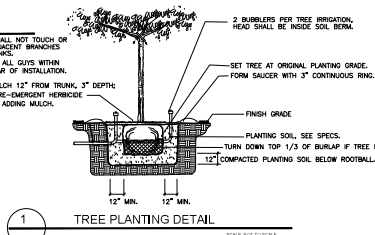
ELIZABETH C. WOODRUFF, A.S.C.A. - DATE: 12/29/24
 BY: 14121-000-00

IRRIPLAN PLAN—PHASE 1 & 2
 ALIEN ENGINEERED PRODUCTS
 TAX PARCEL NO. 14121-000-00; 14121-000-00
 COCALA, FLORIDA

SHEET
 LA-3 OF 4

IRRIGATION NOTES

- This schematic irrigation plan serves primarily as a guide. The Contractor shall be entirely responsible for proper coverage and operation of the systems, including changes from the plan as necessary to adjust for actual site conditions.
- The Contractor shall be responsible for providing all labor, materials, and accessories required for complete irrigation systems meeting the performance requirements outlined herein.
- All work shall be installed in accordance with the regulations of the local, county, or other governing authorities. Fees for all permits, inspections, and impact fees required shall be included as work required.
- The water source shall be well water. Design data shall be verified by the Contractor prior to installation.
- A rain sensor device, Mini-Clirk II, or approved equal, shall be installed for each controller installed.
- All remote control valves, gate valves, ball valves, hose bibs and wire splices shall be installed in a suitable Ametek-type valve box of proper size as required for easy access to the valve. Valve boxes shall have a sump of 1 cf of gravel. Valve boxes shall be set flush and sloped with the surrounding grade.
- All PVC pipe in the system less than 2" O.D. except risers, shall be Class 160 PSI Polyvinyl Chloride solvent weld pipe conforming to the ASTM-D2466, Type 1, requirements, NSF approved.
- All PVC pipe in the system greater or equal to 2" O.D. and fittings shall be Schedule 40, Type 1, NSF approved conforming to the ASTM-D2466 requirements.
- All wiring, if required, shall be U.L. U.F. wiring. A separate power wire shall be installed from the controller to each individual valve. Wiring shall be installed with main lines where possible; when not, it shall be installed in conduit. Waterproof wire connectors shall be used for controller wiring. Provide pressure compensating devices as necessary to reduce misting.
- Verify the presence of all sleeving before commencing work. Where piping must pass under existing concrete or pavement, it shall be jacked or jetted where possible. Only if impossible to get in place without cutting pavement, permission will be given by the Owner to this is necessary, all cutting and replacing of the paving to match the existing shall be included under this section of the specifications.
- All PVC piping and wiring shall be installed in the trenches with a minimum of 12" of cover and a maximum depth of 24", except where specific permission is obtained from the Landscape Architect and/or Owner for less cover due to existing conditions. Where necessary because of landscaping, cover shall be as deep as required.
- All flex pipe shall be buried to a depth of at least 4" (or covered with 3" of mulch) except where the tubing daylight over newly planted rootballs.
- All emitters and flood bubblers shall be installed at the rootball and be minimally visible above the mulch.
- The Contractor shall warrant the installation workmanship for a period of one year from date of job completion and retainage release. The Contractor shall further see to the fulfillment of all manufacturer's warranties and shall provide an Owner's Manual. A reproducible as-built copied from the original showing all dimensioned system components shall be required for final job acceptance.
- Irrigation System to include backflow device. Rainsensor to be installed at controller.



LANDSCAPE NOTES

- All plants shall be Florida No. 1 or better, as outlined under Grades and Standards for Nursery Plants, Division of Plant Industries, State of Florida, latest edition.
- All work shall be performed in accordance with standard and accepted nursery practices in a workmanlike manner.
- The Landscape Contractor shall be responsible for finish grading all areas of the site. Rough grade will be within 2" of finish grade. The Landscape Contractor shall be responsible for any grade disturbed by his work.
- The Landscape Contractor shall be responsible for the thorough removal of existing weeds and grass in the areas to be planted, including application(s) of appropriate herbicides before and after plant installation.
- Soil used for planting shall consist of two parts of the existing soil and one part domestic peat moss (or sandy fill in heavy soils), mixed with two lbs. fertilizer per cubic yard. Fertilizer shall be SLOW RELEASE for new plantings.
- Terra-Sorb, or approved equal, shall be incorporated into the planting soil of all trees in sandy soils only at the following rates:

15 gallon containers = one (3 oz.) Handy Pac
30 gallon containers = two (3 oz.) Handy Pacs
Up to 3" caliper = one (3 oz.) Handy Pac
4" to 5" caliper = two (3 oz.) Handy Pacs
Broadcast 1/2 throughout the planting pit; mix 1/2 with backfill.

All plant beds shall be top-dressed with 4" of pine bark nuggets.
- The Landscape Architect reserves the right to field locate or review flagged locations of any or all plant material.
- All balled and burlapped trees shall be hardened-off at the supplier's for a minimum of 30 days prior to shipping. All suppliers must be approved by the Landscape Architect prior to delivery and installation of the trees; any tree which shows signs of stress shall be replaced immediately at no charge to the Owner.
- All trees will be staked per detail sheet or by another method approved by the Landscape Architect. Mulched tree rings shall encompass guys.
- No substitutions shall be permitted without prior approval from the Landscape Architect.
- Maintain minimum 12 inches mulch clearance from trunk of trees.
- Guaranty (from time of job completion and retainage release):

Trees and shrubs = 1 year

Development Review Committee
Marion County, Florida

Plan #: 32920
Approval Date: 3/2/2026
Expiration Date: 3/2/2028

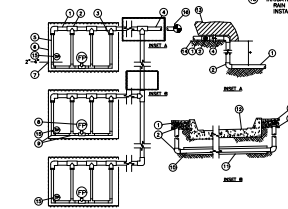
All construction shall conform to the construction standards contained in the Marion County Land Development Code, latest edition. Areas of the right-of-way disturbed during construction shall be dressed and sodded. Seed and mulch may be used if approved by the County Engineer or designer.

NOTES:
The approval of these plans is limited to construction under the jurisdiction of Marion County and does not substitute nor waive the requirements of other agencies for additional permits, as applicable, by state and/or federal laws.

APPROVALS

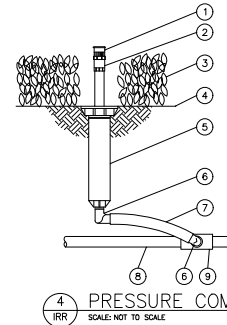


- PVC SUPPLY HEADER
- PVC SCH 40 Tee OR EL (TYPICAL)
- BARB & MALE FITTING
- RAIN BIRD W/ 1/2\"/>

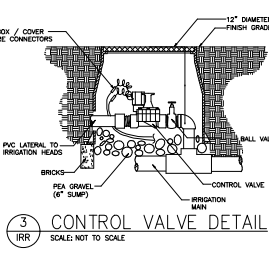
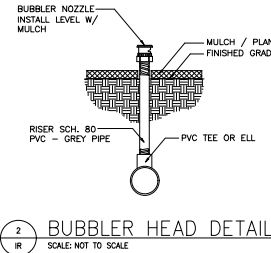
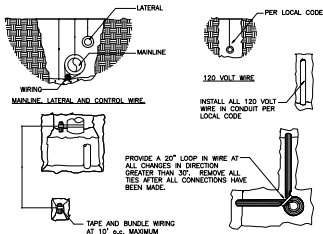


- NOTES:
1. FOR ALL XPS-OV AND POLY CONNECTIONS INSTALL OFF AND/OR XFD FITTINGS.
2. DISTANCE BETWEEN LATERAL RISERS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEB SITE (WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.
3. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.
4. PLACE THE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
5. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.
6. WITH LONG TUBE RISER FITTINGS WITH LOCKER PRESSURE OVER JOINTS, IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.

Inlet Pressure psi	12" Spacing		16" Spacing	
	Normal Flow (gph)	Normal Flow (gph)	Normal Flow (gph)	Normal Flow (gph)
5.0	5.2	4.2	4.3	
20	192	136	254	215
30	289	209	402	337
40	350	244	495	416
50	397	281	573	477
60	436	309	637	529



- PRESSURE COMPENSATING FULL-CIRCLE BUBBLER: RAIN BIRD 1400
- PLASTIC ADAPTER: RAIN BIRD MODEL FA-80
- PLANT MATERIAL
- FINISH GRADE/TOP OF MULCH
- POP-UP SPRAY SPRINKLER: RAIN BIRD 1804
- 1/2-INCH MALE NPT x 490-INCH BARB ELBOW: RAIN BIRD MODEL SBE-050
- SWING PIPE, 12-INCH LENGTH: RAIN BIRD MODEL SP-100
- PVC LATERAL PIPE
- PVC SCH 40 Tee OR EL



DATE: 12/29/24
DRAWN BY: C. HOCK
CHECKED BY: C. HOCK
DATE: 12/29/24
SCALE: AS SHOWN

ELIZABETH C. HOCK
LANDSCAPE ARCHITECTURE, LLC
SITE PLANS CONSULTANT, CONSTRUCTION DOCUMENTS
1031 FOREST HILLS
GAINESVILLE, FL 32609
REVISIONS:
12/29/24 - phase 1
3/2/2025 - phase 1
7/19/25 - phase 1
CONTRACT COMMENTS

NOT VALID UNLESS SIGNED AND SEALED BELOW
ELIZABETH C. HOCK, R.L.S., A.S.L.A. - DATE: 3/2/2026
FL # 14158-000-000
OCALA, FLORIDA

DETAILS PLAN
ALIEN ENGINEERED PRODUCTS
TAX PARCEL NO. 14158-000-000 14121-000-000
OCALA, FLORIDA

SHEET
LA-4 OF 4

