



SUBMITTAL SUMMARY REPORT 33483

PLAN NAME: BELLEVIEW CIRCLE K	LOCATION: 13210 S US HWY 301 BELLEVIEW,
APPLICATION DATE: 10/01/2025	PARCEL: 45415-000-00
DESCRIPTION:	

CONTACTS	NAME	COMPANY
Applicant	HERB GREEN	CADJAZZ ENGINEERING
Engineer of Record	HERB GREEN	CADJAZZ ENGINEERING

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.2	03/12/2026	03/19/2026	03/26/2026	Requires Re-submit
OCE: Plan Review (DR) v.1	11/14/2025	12/02/2025	12/29/2025	Requires Re-submit
OCE: Plan Review (DR) v.3				Not Received

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.2

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Caroline Dennison	03/19/2026	03/13/2026	Requires Re-submit
<i>Corrections</i>	Additional 911 Comments (Resolved) - On Sheet 1 – The Parcel Number listed at the top of the sheet is 45415-000-00 but it should list Parcels 45418-000-00, 45415-001-00, 45415-000-00, and 45415-002-00. Under Data Summary the address is incorrectly listed as 13214 US-301, Belleview, FL 34420 it should be TBD S US HWY 301. Sheet 2, 3, 3T, 4, 4T, 5, 8, 9, 10, 11, and 12 - Title Bar has Circle K @ NWC of US301 & CR484 Belleview but it should be Circle K at NWC S US HWY 301 & SE 132nd Street Rd. Sheets 3A - Title Bar has Circle K @ US HWY 301 Belleview but it should be Circle K at NWC S US HWY 301 & SE 132nd Street Rd. Sheets 7, 13 and L1 - Title Bar has Circle K @ US HWY 301 & CR 484 but it should be Circle K at NWC S US HWY 301 & SE 132nd Street Rd. Sheets 4, 4T, 5, and L1 – S US HWY 301 is incorrectly labeled as US HIGHWAY 301. Sheet 6 – S US HWY 301 is incorrectly labeled as US HIGHWAY 301 in the Title Bar. Sheet L1 – SE 132nd Street Rd is incorrectly labeled as County Road 484			
<i>Corrections</i>	Additional 911 Comments (Not Resolved) - Sheets 4, 4T, and 5 have S US HWY 301 labeled incorrectly as US HWY 301. Sheet L1 has SE 132nd Street Rd incorrectly labeled as County Road 484 and S US HWY 301 incorrectly labeled as US HWY 301. Sheets L1, ECP, and MOT 1 - Title Bar have Circle K @ NWC of US301 & CR484 Belleview but it should be Circle K at NWC S US HWY 301 & SE 132nd Street Rd.			
Environmental Health (Plans) (Environmental Health)	Evan Searcy	03/19/2026	03/13/2026	Approved
Fire Marshal (Plans) (Fire)	Anthony Marino	03/19/2026	03/12/2026	Approved
<i>Comments</i>	Fire Review has been approved a hydrant to be installed			
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Erik Kramer	03/19/2026	03/19/2026	Requires Re-submit

Corrections 2.12.16/6.5 - EALS or Exemption provided (**Not Resolved**) - **Corrective Action:** Second round review: An EALS or exemption request is required. No waivers are approved for these requirements. Review criteria for a LDC Div 6.5 and provide one of the two options.

First round review: Provide Environmental Assessment of Listed Species (EALS) or submit an Exemption Request per LDC Sec. 6.5.3. - 2.12.16/6.5 - EALS or Exemption provided?: Provide Environmental Assessment of Listed Species (EALS) or submit an Exemption (EALS-ER). Copy of the EALS/EALS-ER will be forwarded to review agency for comments. Refer to LDC Sec. 6.5 for submittal requirements and review procedures.

Corrections 2.12 - Parcel number (**Not Resolved**) - **Corrective Action:** Second round review: The four separate parcels still exist. Staff is providing a signed combine form, see files associated with this Plan number. The combine form will need to be given to Marion County Appraiser's Office. This comment will not be cleared until the parcels are combined and the plan lists the subject property's new parcel number.

First round review: Only parcel 4515-000-00 is listed on cover sheet, but the site encompasses three other parcels. Contact the Zoning division at 352-438-2675 to get a signed land combine form and take record it with the Property Appraisers Office. Ensure the parcel listed on the cover sheet is consistent with the parcel number of the combined property. - 2.12 - Parcel number: Show parcel numbers on the cover sheet.

Corrections 2.12/4.2 - Building height (**Resolved**) - **Corrective Action:** Show provided building height in the data summary table on cover page, per LDC Sec. 2.4.L(8) - 2.12/4.2 - Building height: Show building height (primary and accessory structures) in the site data table.

Corrections 2.12.9 - Existing, proposed & adjacent ROWs (**Resolved**) - **Corrective Action:** Existing, proposed, and/or adjacent ROW information is missing/incorrect/not compliant to LDC/approved XXX. Please provide correct information for all existing, proposed, and adjacent ROW serving the project on the plan. - 2.12.9 - Existing, proposed & adjacent ROWs: Show name, location and dimensions of any existing, proposed, and adjacent streets, including all rights-of-way serving the project on plan.

SUBMITTAL SUMMARY REPORT (33483)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Erik Kramer	03/19/2026	03/19/2026	Requires Re-submit
<i>Corrections</i>	2.12.5/1.8.2.F - Concurrency Deferral Statement (Not Resolved) - Corrective Action: Second round review: Applicant notes the desire to not defer concurrency payments. Contact kim.hatcher@marionfl.org and erik.kramer@marionfl.org to discuss this process. Comment may be cleared by next submittal after discussion. First round review: Provide the concurrency statement on the cover sheet, if deferring concurrency review to the Building Permitting stage. Indicate where this statement is added in the V2 submittal. - 2.12.5/1.8.2.F - Concurrency Deferral Statement: Please provide a concurrency statement on the cover sheet according to LDC Sec. 1.8.2 (F) - Concurrency Deferral. An owner may elect to defer required concurrency review and approval for a development application identified in Section 1.8.2.A to a subsequent development application review stage by executing the following "Concurrency Deferral Statement" on the development application plan, or in a separate sworn and notarized affidavit, a copy of which shall be provided to Growth Services and the original shall be recorded in Marion County's Public Records, as applicable: "This project has not been granted concurrency approval and/or granted and/or reserved any public facility capacities. Future rights to develop the resulting property(ies) are subject to a deferred concurrency determination, and final approval to develop the property has not been obtained. The completion of concurrency review and/or approval has been deferred to later development review stages, such as, but not limited to, [list subsequent applications expected pursuant to Section 1.8.2.C as applicable]."			
<i>Corrections</i>	3.2.3 - NON-RESIDENTIAL - Complies with FAR (Resolved) - Corrective Action: Show max FAR and proposed FAR. - 3.2.3 - NON-RESIDENTIAL - Complies with FAR: For non-residential project, show maximum allowable Floor Area Ratio (FAR) and proposed FAR.			
<i>Corrections</i>	4.4 - Show proposed signs to meet LDC Sec 4.4 (Not Resolved) - Corrective Action: Second round review: The corrective action listed in first round review was not addressed by applicant. Address prior to third round review. First round review: Sign shown on site plan as note 10, located near intersection of US Hwy 301 and CR 484. Indicate if this will be a multi-occupancy sign for the gas station and restaurant, or a single-occupancy signs for gas station or restaurant. Review LDC Sec. 4.4.4.F. which covers which indicates rules for multi-occupancy and single-occupancy, including in certain cases when development is located on a corner lot. Show a minimum 5-foot setback from property lines and provide a note indicating signage will not exceed 30 feet in height per Sec. 4.4.4.F.(2) - 4.4 - Show proposed signs to meet LDC Sec 4.4: If sign(s) is proposed on site, show proposed sign's location and design. The signs shall comply with LDC Sec. 4.4. A master sign plan and/or permit may be required.			
<i>Corrections</i>	2.12 - Zoning Classification-adjacent properties (Resolved) - Corrective Action: Zoning classification of adjacent parcels is missing. Please add labels to site plan sheet. - 2.12 - Zoning Classification-adjacent properties: Show existing zoning classification on the adjacent properties.			
<i>Corrections</i>	2.12.24 - Landscape requirements/6.8.6 - Buffering (Resolved) - Corrective Action: Proposed buffer along US HWY 301 and CR 484 are required to be C-Type buffer with min 15' width. Buffer on site plan is shown as 15', but not clearly labeled as C-Type. Landscape sheet does not appear to provide any labels/description of the buffers along these roads as C-Type. Staff notes, the minimums are provided on the cover sheet, but please indicate where this information is added on the Site Plan and Landscape Plan sheets. - 2.12.24 - Landscape requirements/6.8.6 - Buffering: Show buffer types, locations, and dimensions of required buffering on plan. Show buffer descriptions and illustrations of each proposed buffer (including longitudinal and transverse cross-sections)			
<i>Corrections</i>	2.12.19 - Dimension & location of site improvement (Resolved) - Corrective Action: Proposed site improvements are missing for the 6,335 SF building. Please provide dimensions for the width and depth of the building. - 2.12.19 - Dimension & location of site improvement: Provide dimensions and location of all existing site improvements; dimensions and location for all proposed site improvements.			
<i>Corrections</i>	2.12 - Land Use Designation-adjacent properties (Resolved) - Corrective Action: Land use designation of adjacent parcels is missing. Please add labels to site plan sheet. - 2.12 - Land Use Designation-adjacent properties: Show existing land use designation on the adjacent properties.			
<i>Corrections</i>	2.12.4.L & Article 5 - Overlay zones (Resolved) - Corrective Action: Provide a note on the cover sheet indicating the property is located in the Secondary Springs Protection Overlay Zone. - 2.12.4.L & Article 5 - Overlay zones: Provide a statement showing all applicable overlay zones on the subject property.			
<i>Corrections</i>	2.12.4/6.11.7 - Loading area (Resolved) - Corrective Action: Proposed loading area is missing. Please show location on the site plan. - 2.12.4/6.11.7 - Loading area: Show proposed loading areas on plan, per Sec. 6.11.7. - Loading areas.			
<i>Corrections</i>	2.12 - Waivers (Requested & Approved) (Resolved) - Corrective Action: Please list any waivers requested/approved. This comment will be cleared once the applicant indicates in their comment response that waivers have been requested/approved or provides a list on the cover sheet. - 2.12 - Waivers (Requested & Approved): List of all requested and approved waivers, conditions, and the date of approval.			
<i>Comments</i>	Please review and respond to the "corrective action" portion of the staff comments.			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	03/19/2026	03/13/2026	Requires Re-submit
<i>Comments</i>	See markups on plans			
OCE Design (Plans) (Office of the County Engineer)	William Poole	03/19/2026	03/16/2026	Requires Re-submit
<i>Corrections</i>	2.12.4.I & 6.2.1.D - Index of sheets and numbering (Not Resolved) - Corrective Action: All sheets shall indicate each sheet number and the total number of sheets. - 2.12.4.I & 6.2.1.D - Index of sheets and numbering: Index of sheets; All sheets shall indicate each sheet number and the total number of sheets. Cross references between sheets is required			
<i>Corrections</i>	Additional Design Comments (Not Resolved) - Corrective Action: Please review LDC 2.12 prior to submission of plan and resubmit - Additional Comments:			
<i>Corrections</i>	2.12.3 - Title block (Not Resolved) - Corrective Action: Missing, type of application - 2.12.3 - Title block: Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions			
<i>Corrections</i>	2.21.2.A - Multi-phase Major Site Plans (Not Resolved) - 2.21.2.A - Multi-phase Major Site Plans: Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application			
<i>Corrections</i>	2.12.4 - Front page of the plan (Not Resolved) - Corrective Action: Please include all items under the LDC 2.12.4 - Type of application, Oners Contact and phonenumber, 3" x 5" inch space for county approval, - 2.12.4 - Front page of the plan: Front page of the plan shall minimally include A through L of this section of the LDC.			

SUBMITTAL SUMMARY REPORT (33483)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	03/19/2026	03/20/2026	Requires Re-submit
<i>Comments</i>	Please add signature line, and singer's information (name and title) to the owner's certification on the plan coversheet. -EMW 03.20.26			
	<p>IF APPLICABLE:</p> <p>Sec. 2.18.1.I - Show connections to other phases.</p> <p>Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.</p> <p>Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."</p> <p>Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."</p> <p>Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."</p> <p>Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."</p> <p>Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:</p> <p>1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."</p> <p>3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."</p> <p>Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."</p>			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	03/19/2026	03/16/2026	Requires Re-submit
<i>Corrections</i>	6.13.8.B(7) - Minimum Pipe Size (Not Resolved) - Corrective Action: Minimum pipe size is 15" diameter			
<i>Corrections</i>	6.13.4 - Stormwater Quantity Criteria (Not Resolved) - Corrective Action: See comments under "6.13.7 <input type="checkbox"/> Geotechnical Criteria"			
<i>Corrections</i>	6.13.2.A.3 - Retention/Detention Design Parameters (Not Resolved) - Corrective Action: Pond bottom needs to be sodded. This needs to be noted on the cross section			
<i>Corrections</i>	6.13.4.D - Recovery Analysis (Not Resolved) - Corrective Action: See comments under "6.13.7 <input type="checkbox"/> Geotechnical Criteria"			
<i>Corrections</i>	7.1.3.B. - Drainage Construction Specifications (Not Resolved) - Corrective Action: LDC requires the use of RCP pipe for stormwater conveyance piping. To pursue using an alternative material, the engineer needs to submit a request identifying the alternative material type requested, verification that the material is included on the FDOT Approved Products List, and the site specific installation meets install criteria such as depth of cover and UV protection for pipe ends. County will review the request and provide feedback.			
<i>Corrections</i>	6.13.2.B(6) - Freeboard (Not Resolved) - Corrective Action: See comments under "6.13.7 <input type="checkbox"/> Geotechnical Criteria"			
<i>Corrections</i>	6.13.2.B(4) - Hydrologic Analysis (Not Resolved) - Corrective Action: See comments under "6.13.7 <input type="checkbox"/> Geotechnical Criteria"			
<i>Corrections</i>	6.13.6.C - Best Management Practices (Not Resolved) - Corrective Action: Oil/water separators required for gas stations			
<i>Corrections</i>	6.13.4.C - Discharge Conditions (Not Resolved) - Corrective Action: See comments under "6.13.7 <input type="checkbox"/> Geotechnical Criteria"			
<i>Corrections</i>	6.13.7 - Geotechnical Criteria (Not Resolved) - Corrective Action: Soil borings need to extend at least 10 ft below the proposed pond bottom			
<i>Corrections</i>	6.13.6 - Stormwater Quality Criteria (Not Resolved) - Corrective Action: See comments under "6.13.7 <input type="checkbox"/> Geotechnical Criteria"			
<i>Corrections</i>	6.13.12 - Operation and Maintenance (Not Resolved) - Corrective Action: An operation and maintenance manual is required for all projects. This is a standalone document from the plans and calculations. O&M manual not included in the submittal as stated			
<i>Corrections</i>	2.12.8 - Topographical Contours (Not Resolved) - Corrective Action: Survey needs to be no older than 12 months. Staff would support a waiver - 2.12.8 - Topographical Contours: Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.			
<i>Corrections</i>	6.13.2.B(8) - Calculation & Plan Consistency (Not Resolved) - Corrective Action: This item will be reviewed at resubmittal - 6.13.2.B (8) - Calculation & Plan Consistency: Calculations must be consistent with the plan sheets and other supporting details. Calculations shall use standard methodology recognized in the State of Florida, including hand and/or computerized calculations.			

SUBMITTAL SUMMARY REPORT (33483)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	03/19/2026	03/16/2026	Requires Re-submit
<i>Corrections</i>	Additional Stormwater comments (Not Resolved) - Corrective Action: (1) Please provide a signed and sealed karst analysis (2) Please provide a copy of the NPDES permit or NOI as well as a copy of the District permit prior to construction. (3) If you have questions or would like to discuss the stormwater review comments, please contact Alexander Turnipseed at (352) 671-8376 or at alexander.turnipseed@marionfl.org. - Additional Stormwater comments			
<i>Corrections</i>	6.13.2.A.12/6.12.5-Details, X-Sections, References (Not Resolved) - Corrective Action: Diagram for oil/water separator is needed			
<i>Corrections</i>	Final signed and sealed hard copy signature page (Not Resolved) - After all stormwater comments are resolved, please upload a scanned copy of the digitally signed and sealed certification page of the stormwater report. Alternatively, a hard copy can be submitted. If you choose to submit a hard copy, you only need to submit the certification page of the report. A full report is not necessary. However, full reports are accepted if desired.			
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	03/19/2026	03/19/2026	Requires Re-submit
<i>Corrections</i>	2.12.8. - Current boundary and topographic survey (Not Resolved) - 2.12.8. - Current boundary and topographic survey: Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.			
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	03/19/2026	03/26/2026	Requires Re-submit
<i>Corrections</i>	6.11.9.A - Traffic signals (Not Resolved) - Corrective Action: Any traffic signal modifications will be determined once the traffic study has been submitted and reviewed. - 6.11.9.A - Traffic signals: If a new traffic signal or traffic signal modifications are required, provide a separate offsite improvement plan with details as required in Section 6.11.9.A			
<i>Corrections</i>	6.11.3 - Traffic Impact Analysis (Not Resolved) - Corrective Action: A traffic study is required. The traffic study must be submitted separately for review as a Traffic Impact Analysis - Traffic Study application. The traffic study must be approved prior to final approval of the site plan. The traffic study has not been submitted properly for review as previously instructed. Please submit the traffic study as a separate application. Once the traffic study is submitted properly, a review will be performed. - 6.11.3 - Traffic Impact Analysis: Provide a Traffic Impact Analysis			
<i>Corrections</i>	6.12.12 - Sidewalks (Not Resolved) - Corrective Action: Sidewalk is required along SE 132nd Street Road and US 301. A waiver may be requested from the Development Review Committee to allow payment of a fee in-lieu of construction of the sidewalk. If approved, the fee comes out \$19,270.50 for a 3,854.10 SF sidewalk at \$5 per square foot. - 6.12.12 - Sidewalks: Show sidewalk on the plans as required in section 6.12.12.			
<i>Corrections</i>	6.11.5 - Driveway access (Not Resolved) - Corrective Action: The driveways do not meet spacing requirements. A deviation may be considered after approval of the traffic study. Coordination with FDOT on the driveway connection to US 301 is necessary. A deviation for the driveway on US 301 will be provided subject to FDOT providing a notice of intent to issue a permit for the proposed driveway. - 6.11.5 - Driveway access: The driveways must meet the requirements of section 6.11.5.			
<i>Corrections</i>	6.12.11 - Turn lanes (Not Resolved) - Corrective Action: Provide turn lane construction details for the turn lane on CR 484 including a typical section showing the new turn lane and existing through lanes. Also include a pavement design matching the requirements for an arterial roadway in section 6.12.7 of the Land Development Code. - 6.12.11 - Turn lanes: Turn lanes shall be required as determined by the Traffic Impact Analysis or for safety purposes as determined by the County. A separate offsite improvement plan is required.			
<i>Corrections</i>	6.11.4.B - Cross access (Not Resolved) - Corrective Action: Please fully address the previous comment. Provide a 24' wide paved public cross access easement parallel to both CR 484 and US 301 as shown on the markups. The easement must be paved to each property line. The easement must be in the form established by the County. The template for the easement can be obtained from the Development Review Office at DevelopmentReview@marionfl.org or 352-671-8686. The easement must be executed and returned back to the Development Review Office along with the recording fees prior to final plan approval. - 6.11.4.B - Cross access: Provide a 24' wide paved cross access easement as specified in 6.11.4.B			
<i>Corrections</i>	6.11.9.C - Pavement marking (Not Resolved) - Corrective Action: Label the pavement markings for the turn lane on CR 484. All markings shall be thermoplastic. - 6.11.9.C - Pavement marking: Provide pavement markings as required in Section 6.11.9.C.			
<i>Corrections</i>	6.11.9.B - Traffic signs (Not Resolved) - Corrective Action: Place a right turn only sign underneath the stop signs at the driveways. Also place a one-way sign in the medians in front of the driveways. - 6.11.9.B - Traffic signs: Provide traffic signs as required in Section 6.11.9.B.			
<i>Comments</i>	Please address previous comments			
Utilities (OCE Plans) (Utilities)	Heather Proctor	03/19/2026	03/19/2026	Requires Re-submit
<i>Corrections</i>	6.14.5.A(2) - Proposed mains & connections shown (Not Resolved) - Corrective Action: Ensure proposed new mains are called out; include profile views. - 6.14.5.A(2) - Proposed mains & connections shown: Proposed mains shall be marked as private or public (MCU); points of demarcation shall be called out as necessary to identify changes in ownership. Shall include profile views unless otherwise noted.			
<i>Corrections</i>	6.14.2.A(1) - Letter from utility provider (Not Resolved) - Corrective Action: The parcel is located within the City of Belleview Utilities service area. A letter from the City of Belleview stating utility service availability and connection requirements must be submitted prior to building permit issuance. Because the parcel is within the City of Belleview Utilities service area but outside the City limits, connection distance requirements will be determined in accordance with the Marion County Land Development Code if utilities are not immediately available.			
<i>Corrections</i>	A completed capacity charge worksheet has been provided and uploaded with the application attachments. - 6.14.2.A(1) - Letter from utility provider:			
<i>Corrections</i>	6.14.2 - Connection Requirements (Resolved) - Corrective Action: Parcel is within the City of Belleview Utility Service area. - 6.14.2 - Connection Requirements:			
<i>Corrections</i>	6.14.5.A(1) - Existing water & sewer mains shown (Not Resolved) - Corrective Action: Show all mains; a field locate may be required. - 6.14.5.A(1) - Existing water & sewer mains shown: The entire utility system shall be shown on the plan, including existing water systems and all proposed components within the project area.			
<i>Comments</i>	Parcel is within the City of Belleview utility service area, but outside of the City's municipality. Marion County Utilities will need to determine if the site is within connection distance. Applicant needs to submit correspondence from the City of Belleview stating where the closest water and sewer mains are.			



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

PLN 33483
CIRCLE K

Development Review Committee Waiver Request Form

Per Section 2.10.1. of the Land Development Code: The Development Review Committee (DRC) may waive certain code requirements when not applicable to the proposed type of development or where alternative standards may promote flexibility, economical flexibility, and environmental soundness in layout and design.

Waiver requests and required documentation may be submitted through Civic Access. Waiver requests will not be processed without required information and applicable fees paid. Please be specific with all entries below.

Section Number & Title of Code:

2.12.8 Current Boundary and Topographic Survey

Section Details from Code:

Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch 5J 17 FAC. Alternate topographic data may be accepted if pre approved by the Marion County Land Surveyor.

Reason/Justification for Request:

Using Marion County lidar contours along with latest survey within the areas in proximity of this parcel, we find no offsite impacts in the pre/post development conditions.

Section Number & Title of Code:

6.13.7 Geotechnical Criteria

Section Details from Code:

6.13.7.B.1 Depth, Soil test borings shall be performed to a minimum depth of 10 feet below the proposed finished grade of the bottom of all retention/detention areas or the permanent pool elevation and once the data has been obtained the hole shall be backfilled and compacted.

Reason/Justification for Request:

We have one boring at 10 feet below and one boring at 7 feet below.

Section Number & Title of Code:

6.12.12 Sidewalks

Section Details from Code:

Sidewalks shall be provided in the Urban Area, Rural Activity Centers, and Specialized commerce Districts along arterial, collector, and major local streets where these streets adjoin the project and minimally along one side of the internal streets. Sidewalks shall be constructed with all weather surfaces and shall meet Americans with Disabilities Act, Florida building Code, and FDOT Design Standards.

Reason/Justification for Request:

Applicant will contribute to Marion County Sidewalk Fund.

Section Number & Title of Code:

2.12.16 Environmental Assessment

Section Details from Code:

An environmental Assessment for listed species and vegetative communities.

Reason/Justification for Request:

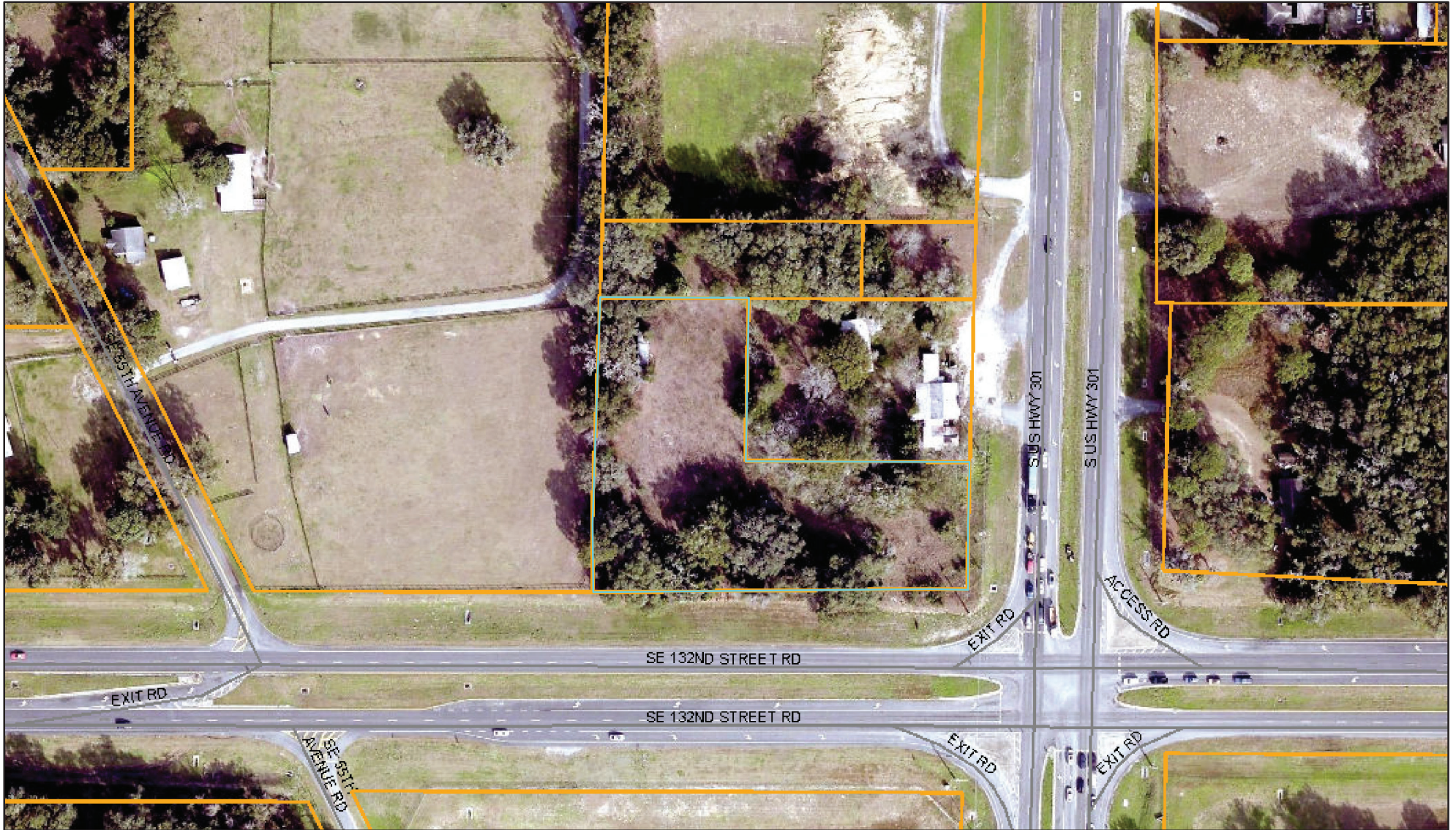
Existing development included a number of residential and commercial buildings located throughout the site including a number of wells and utility corridors. This is a developed site.

Section Number & Title of Code:

Section Details from Code:

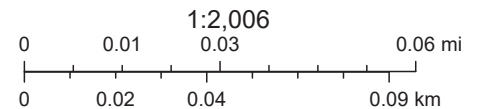
Reason/Justification for Request:

ArcGIS Web Map1



6/5/2026, 10:47:18 AM

- Marion County
- Streets
- Aerial 2024
- Green: Band_2
- Blue: Band_3
- Red: Band_1
- Parcels



Marion County BOCC, Marion County Property Appraiser

CIVIL CONSTRUCTION PLANS

For



RESUBMIT

TBD S US HWY 301, BELLEVIEW, FL 34420
 PARCELS ID #45418-000-00, 45415-001-00, 45415-000-00,
 & 45415-002-00
 JANUARY 2026

PREPARED FOR:

ARBOR CAPITAL

PREPARED BY:



• Engineering Consultants •

SHEET INDEX

NO.	TITLE	REV. NO.
1.	COVER SHEET	
2.	SPECIFICATIONS & NOTES	
3.	SITE DEMOLITION AND SWPPP PLAN	
3A.	SWPP SUPPLEMENTAL DETAILS	
3T.	TREE PRESERVATION PLAN	
4.	SITE PLAN	
4T.	TRUCK TURN	
5P.	PREDEVELOPMENT DRAINAGE PATTERN	
5A.	POSTDEVELOPMENT DRAINAGE BASIN	
5.	PAVING GRADING AND DRAINAGE	
6.	US 301 TURN LANE PLAN	
7.	UTILITY PLAN	
8.	SIGNAGE PLAN	
9.	GRADING DETAILS	
10.	UTILITY DETAILS	
11.	MISCELLANEOUS DETAILS & DUMPSTER	
12.	CROSS SECTIONS	
13.	CROSS SECTIONS	
L1.	LANDSCAPE PLAN	
EPI.	PHOTOMETRIC PLAN	
13.	MOT 1 SURVEY	

CONSULTANTS

CIVIL ENGINEER
 CADIAZZ ENGINEERING CONSULTANTS
 117 E. MONUMENT AVENUE
 KISSIMMEE, FLORIDA 34741
 PH: 407-738-1979
 EMAIL: HGREENE@CADIAZZ.COM

LAND SURVEYOR
 WADE SURVEYING, INC.
 1608 TRACY AVENUE
 LADY LAKE, FLORIDA 32159
 PH: 352-753-6511

UTILITIES

WATER:
 Non Applicable

POWER:
 SUMTER ELECTRIC COOPERATIVE, INC.
 P O BOX 301
 SUMTERTVILLE, FL 33585
 HILLARY BIERWER
 P: 352-569-9568

SEWER:
 Non Applicable

TRANSPORTATION:
 Non Applicable

CABLE:
 CENTURYLINK
 1325 BLAIRSTON RD RM 113
 TALLAHASSEE, FL 32301
 BILL MCCLGOLD
 PH: 850-815-3144

GAS:
 TECO PEOPLES GAS
 316 SW 33RD AVE
 OCALA, FL 34747
 PH: 352-622-0111

FOOT/ITS INFRASTRUCTURE:
 Non Applicable

PHONE:
 Non Applicable

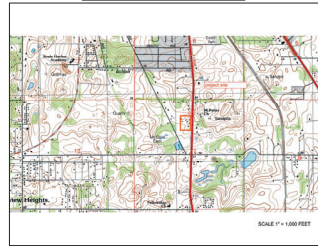
CONTRACTOR TO CALL SUNSHINE ONE AT 1-800-432-4770 (811)
 TO VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION

OWNER CERTIFICATION:
 I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

THE DESIGN AND IDEAS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF CADIAZZ, AND IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION FROM CADIAZZ.

DIMENSION INFORMATION SHOULD NOT BE OBTAINED BY SCALING THE PLANS. DIMENSION INFORMATION NOT PROVIDED HEREIN CAN BE OBTAINED BY CONTACTING CADIAZZ, LLC AT (407) 738-1979

USGS QUAD MAP



1" = 1,000'
 SECTION: 7
 TOWNSHIP: 17 S
 RANGE: 23 E

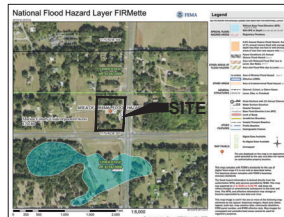
AERIAL MAP



NTS
 SECTION: 7
 TOWNSHIP: 17 S
 RANGE: 23 E

FEMA MAP

FLOOD ZONE: ZONE X
 12083C0745D August, 2008



NTS
 SECTION: 7
 TOWNSHIP: 17 S
 RANGE: 23 E

SOIL MAP



THE DOMINANT SOIL FOR THIS SITE IS:
 #4 - ANDREWS (LAMY SAND)

NTS
 SECTION: 7
 TOWNSHIP: 17 S
 RANGE: 23 E

DATA SUMMARY

PROJECT INTENT:
 THE INTENT OF THIS PROJECT IS THE CONSTRUCTION OF CIRCLE K CONVENIENCE STORE WITH 6 PASSENGER MPDS (12 FUELING STATIONS)

PROPERTY LOCATION:
 TRUCK TURN SW, BELLEVIEW, FL 34420

OWNER OF RECORD:
 BELLEVIEW PROPERTY HOLDINGS, LLC
 2304 S US HWY 301, BELLEVIEW, FL 34420
 WESLEY CHAPPEL, FL 33544-0909

APPLICANT:
 HERB GREEN
 117 E. MONUMENT AVE
 KISSIMMEE, FL 34741

LAND USE: COMMERCIAL

ZONING: BUSINESS COMMERCIAL (B-2)

MAXIMUM BUILDING HEIGHT: 30 FEET, PROPOSED BUILDING HEIGHT - 21'-6"

MAXIMUM FLOOR AREA RATIO (FAR): 2.0, PROPOSED FAR - 0.84

BUILDING SETBACKS:

REQUIRED	PROVIDED
FRONT - 40' (60' W/ GAS PUMPS)	FRONT - 11' (17')
SIDE - 10' (60' W/ GAS PUMPS)	SIDE - 8'
REAR - 25'	REAR - 200'

EXISTING LOT COVERAGE CALCULATIONS:

DESCRIPTION	SQUARE FOOTAGE	ACREAGE	PERCENTAGE
IMPERVIOUS			
BUILDINGS	5,080 S.F.	0.12 AC.	2.80 %
CONCRETE PAVEMENT	4,212 S.F.	0.096 AC.	2.26 %
SUBTOTAL IMPERVIOUS AREA	9,292 S.F.	0.21 AC.	5.25 %
PERVIOUS			
TRAVELWAY AREA	145,301 S.F.	3.30 AC.	84.75 %
TOTAL IMPERVIOUS & PERVIOUS AREA	154,593 S.F.	4.81 AC.	100 %

PROPOSED LOT COVERAGE CALCULATIONS:

DESCRIPTION	SQUARE FOOTAGE	ACREAGE	PERCENTAGE
IMPERVIOUS			
CIRCLE K	6,335 S.F.	0.15 AC.	3.63 %
CONCRETE PAVEMENT	27,488 S.F.	1.22 AC.	3.22 %
IMPERVIOUS AREA	43,793 S.F.	1.07 AC.	30.25 %
PERVIOUS IMPERVIOUS AREA	40,115 S.F.	1.44 AC.	38.49 %
SUBTOTAL IMPERVIOUS AREA	103,908 S.F.	3.91 AC.	75 %
PERVIOUS			
BRUSH & LANDSCAPE AREA	37,623 S.F.	0.86 AC.	21.56 %
POND BOTTOM AREA	6,011 S.F.	0.14 AC.	3.59 %
TOTAL SITE AREA	148,542 S.F.	4.81 AC.	100 %

LDC TABLE 6.11-3 REQUIRES 1 SPACE PER 300 SF. OF STORE AREA AND 1 SPACE PER 4 SEATS IN RESTAURANT USE AREA. 1,107 300 = 18 SPACES
 LDC TABLE 6.11-4 REQUIRES 1 SPACE PER SEAT. AT 1,000 SF. WE ANTICIPATE MAXIMUM 16 SEATS FOR REQUIRED PARKING OF 14 PARKING SPACES

TOTAL REQUIRED PARKING - 15 SPACES WITH MINIMUM 2 ADA SPACES

PARKING PROVIDED - 56 SPACES INCLUDING 2 ADA PARKING SPACES WITH MINIMUM 9 ACCESSIBLE SPACES THAT SATISFIES LDC TABLE 6.11-5 PARKING REQUIREMENTS

LANDSCAPE BUFFER MINIMUMS:

FRONT - TYPE C BUFFER 17' (15' BS)
 SIDE (WEST) - TYPE B BUFFER 17' (15' BS)
 SIDE (EAST) - TYPE B BUFFER 17' (15' BS)
 SIDE (NORTH) - NO BUFFER REQUIRED (COMMERCIAL)
 SIDE (SOUTH) - TYPE B BUFFER 17' WITH WALL

PROPERTY IS LOCATED IN THE SECONDARY SPRINGS PROTECTION ZONE

NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER

LEGAL DESCRIPTION

BEGIN AT A POINT ON THE S.E. CORNER OF THE NE 1/4 OF THE NW 1/4 OF SAID SECTION 7, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA, SAID POINT BEING ON THE NORTH RIGHT-OF-WAY LINE OF S.E. 152ND STREET ROAD, THENCE S. 04°52'42" E, ALONG THE SOUTH LINE OF THE NORTH 1/2 OF THE NE 1/4 OF SAID SECTION 7 AND AFORESAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 99.84 FEET TO THE WEST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 301, (HAVING A 200 FEET WIDE RIGHT OF WAY), THENCE N. 0°05'04" E, DEPARTING SAID NORTH RIGHT-OF-WAY LINE AND ALONG SAID WEST RIGHT-OF-WAY LINE, A DISTANCE OF 417.75 FEET; THENCE N. 04°40'19" N, DEPARTING SAID WEST RIGHT-OF-WAY LINE, A DISTANCE OF 489.50 FEET; THENCE S. 0°52'28" N, A DISTANCE OF 417.72 FEET TO THE AFORESAID NORTH RIGHT-OF-WAY LINE OF S.E. 152ND STREET ROAD AND THE SOUTH LINE OF THE S.E. 1/4 OF THE NE 1/4 OF THE NW 1/4 OF SAID SECTION 7; THENCE S. 04°44'33" E, ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 371.75 FEET TO THE POINT OF BEGINNING. CONTAINING 4.01 ACRES, MORE OR LESS.

THESE PLANS MAY NOT BE COPIED OR MODIFIED WITHOUT WRITTEN PERMISSION FROM CADIAZZ.
 NOT VALID UNLESS SIGNED & EMBOSSED BY A REGISTERED ENGINEER CADIAZZ, CERTIFICATE OF AUTHORIZATION #28599

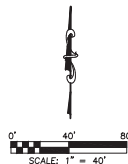
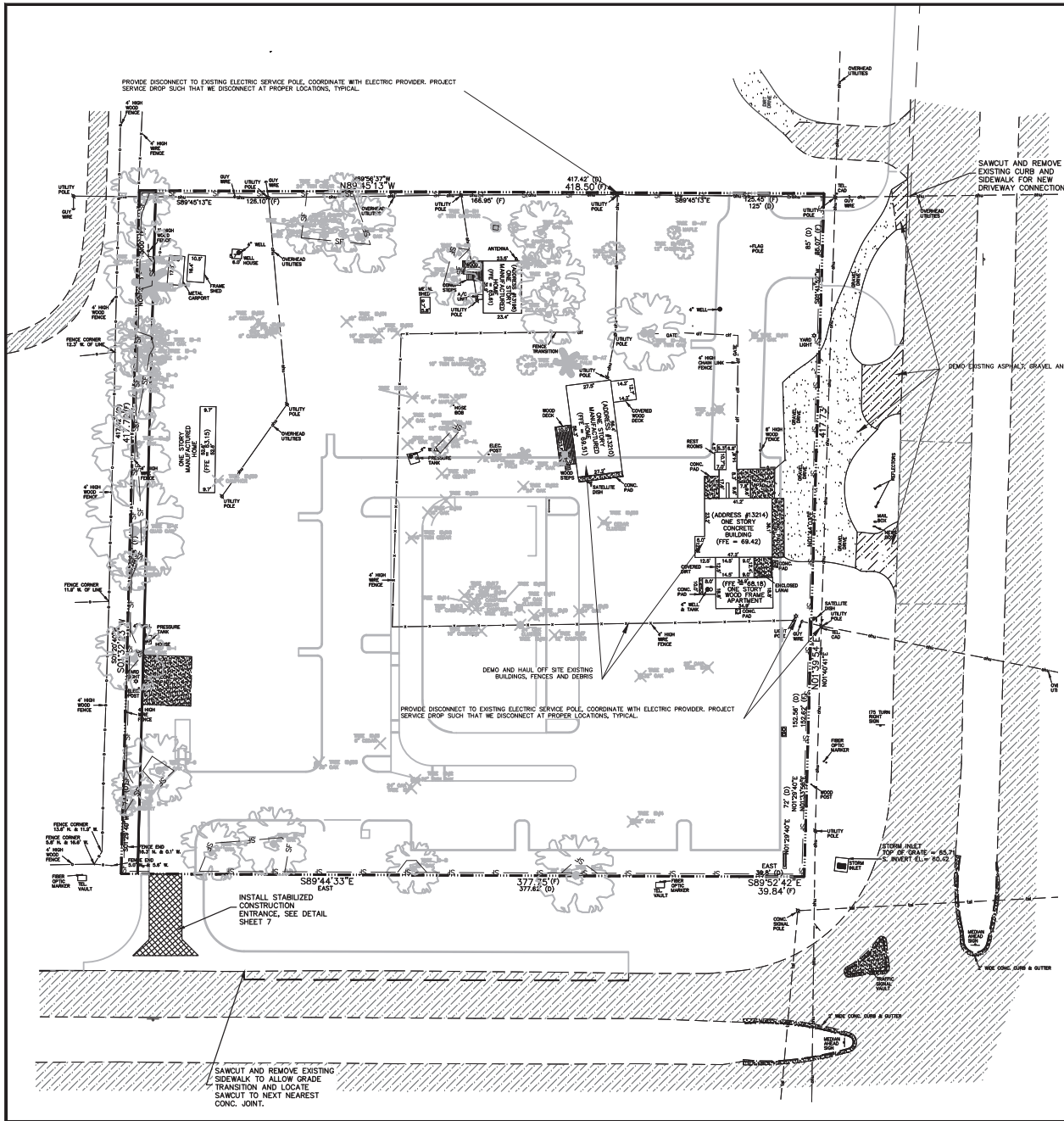


MARION COUNTY PROJECT #33483

DATE: DESCRIPTION: BY: SEP

SHEET NUMBER

1



LEGEND

	EXISTING TREES TO BE REMOVED
	EXISTING TREES TO BE SAVED & REMAIN
	SILT FENCE/EROSION CONTROL

SITE DEMOLITION NOTES

- CONTRACTOR TO DEMOLISH AND REMOVE ALL DELETERIOUS MATERIAL INCLUDING TOPSOIL & ORGANIC VEGETATION (I.E. GRASS, WEEDS AND SHRUBS) WITHIN LIMITS OF THE PROJECT, SEE AS SHOWN UNLESS OTHERWISE NOTED. THE CONTRACTOR IS RESPONSIBLE FOR THE DISPOSAL OF ALL DEMOLITION DEBRIS, INCLUDING DEMOLISHED PAVEMENT & CONCRETE MATERIAL. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL REQUIRED DEMOLITION AND CONTRACTOR PERMITS PRIOR TO COMMENCING DEMOLITION.
- CONTRACTOR TO ESTABLISH AND PROPERLY FLAG PROPERTY LINES PRIOR TO DEMOLITION.
- THE CONTRACTOR SHALL UTILIZE SUSTAINABLE EROSION CONTROL DURING DEMOLITION. SEE CLEARING & EROSION CONTROL NOTES ON DETAIL SHEET.
- THE CONTRACTOR SHALL COORDINATE THE REMOVAL/RELOCATION OF EXISTING UTILITIES WITH THE OWNER OF SAID UTILITY. THIS SHALL INCLUDE WATER, SEWER, GAS, CABLE TV, ELECTRIC, AND TELEPHONE.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO DEMOLITION AND WILL BE RESPONSIBLE FOR THE DAMAGE OF ANY ON-SITE OR OFF-SITE UTILITIES THAT ARE NOT A PART OF THIS PROJECT OR ARE NOT IDENTIFIED TO BE REMOVED.
- THE CONTRACTOR SHALL BARRICADE THE SITE AND CONTROL TRAFFIC PER CURRENT FOOT TRAFFIC CONTROL STANDARDS. CONTRACTOR TO COORDINATE WITH OWNER/DEVELOPER FOR ANY REQUIREMENTS OF MAINTAINING ACCESS THRU EXISTING DRIVEWAY AND PHASE CONSTRUCTION ACCORDINGLY PRIOR TO START OF DEMOLITION/SITE PREPARATIONS.
- CONTRACTOR SHALL PROVIDE SUFFICIENT SITE WATERING/IRRIGATION DURING LEAKDOWN ACTIVITIES TO PREVENT FUGITIVE DUST/DEBRIS FROM LEAVING/BLOWING FROM THE SITE.
- EXISTING DRIVEWAY ENTRANCES TO BE MODIFIED PER PROPOSED SITE PLAN IMPROVEMENTS. CONTRACTOR TO MAINTAIN THRU TRAFFIC DURING NORMAL BUSINESS HOURS AND PROVIDE FOR STEEL PLATES OR OTHER APPURTENANCES NECESSARY TO MAINTAIN TRAFFIC IN DRIVEWAYS AREAS DURING CONSTRUCTION OF STORM, UTILITIES, & PAVEMENT RESTORATION ACTIVITIES.
- CONTRACTOR TO PROVIDE SURFACE DRAINAGE TOWARD EXISTING OUTFALL STRUCTURE DURING ALL CONSTRUCTION OPERATIONS. CONTRACTOR SHALL PROVIDE BEST MANAGEMENT PRACTICES FOR EROSION CONTROL. SEE DETAIL SHEET FOR EROSION CONTROL REQUIREMENTS.
- IF ROOT PRUNING IS REQUIRED WITHIN THE TREE BARRICADE AREA, USE HAND TOOLS & SAWS TO MAKE CLEAN CUTS & MINIMAL IMPACTS TO EXISTING ROOTS ONLY TO ACCOMMODATE INSTALLATION. NO DITCH WITCH OR MACHINERY WILL BE USED TO DISTURB, PULL, OR TEAR ROOTS WITHIN THIS LOCATION.
- PLACE SILT FENCE ALONG WITH TREE BARRICADE AROUND ALL TREES TO REMAIN.

EROSION CONTROL NOTES

- REFER TO EROSION CONTROL DETAILS AND NOTES ON SHEET 8
- TURBIDITY MUST BE REDUCED TO NO MORE THAN 29 NTUS ABOVE BACKGROUND LEVEL PRIOR TO DISCHARGE OF SITE.
- BM'S MUST BE INSPECTED WEEKLY OR AFTER EVERY 0.5-INCH RAINFALL EVENT AND ALL INSPECTION REPORTS MUST BE AVAILABLE FOR INSPECTION ON SITE.
- CONTRACTOR SHALL MINIMIZE THE AREA OF DISTURBED VEGETATION.
- CONTRACTOR SHALL FILE FOR A FIRST NOTICE OF INTENT (NOI) FOR CONSTRUCTION GENERAL PERMIT AND A NOTICE OF TERMINATION (NOT) WITHIN 14 DAYS OF CONSTRUCTION COMPLETION.

REVISION	DATE	BY	CHK'D BY	DATE	NO.
1	07/23				
2					
3					
4					
5					

SITE DEMOLITION AND PREPARATION PLAN
 CIRCLE K @ NWC S US HWY 301 & SE 132ND STREET RD
 MARION COUNTY, FLORIDA
 ARBOR CAPITAL PARTNERS



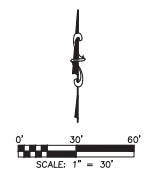
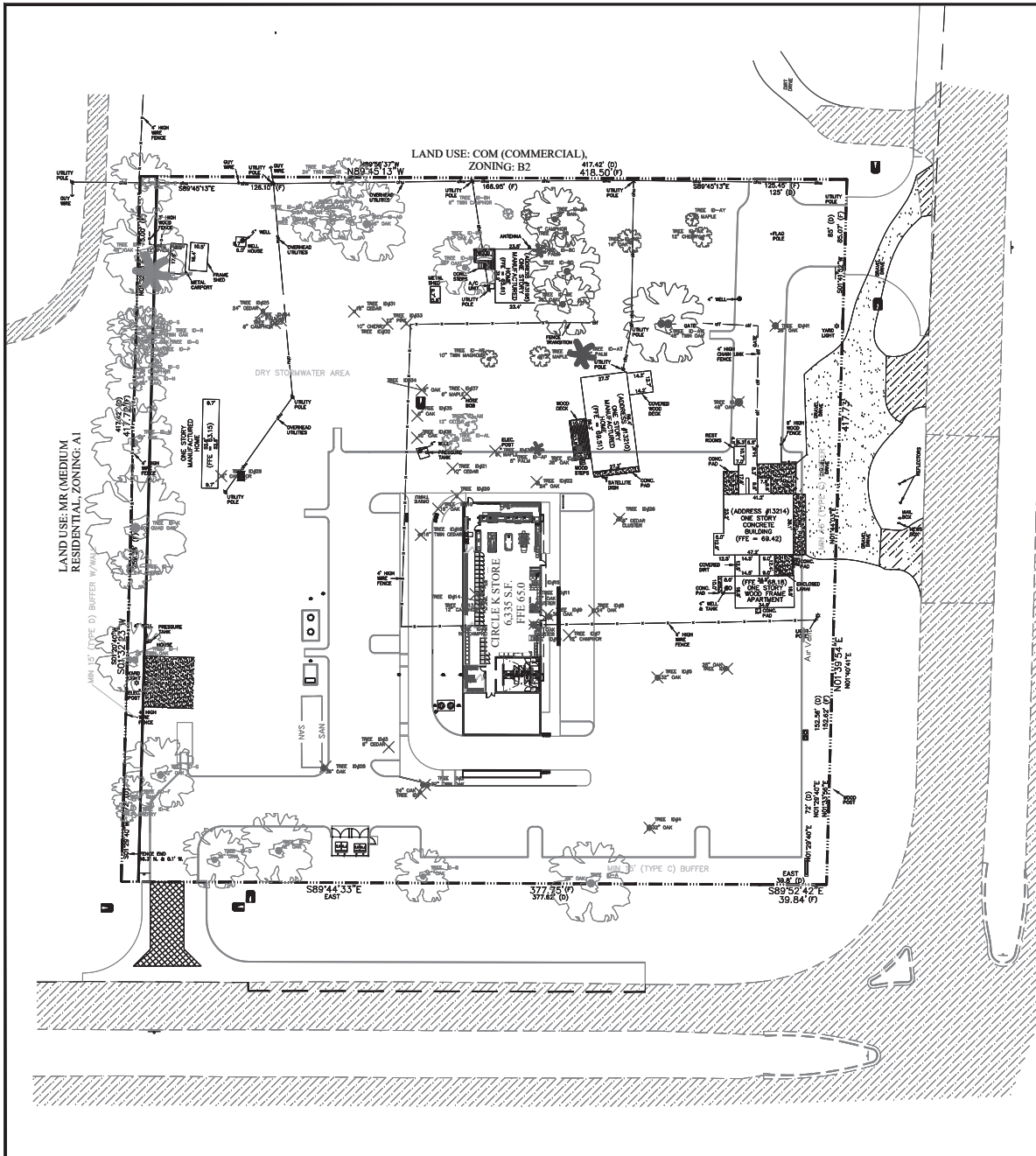
THESE PLANS MAY NOT BE COPIED OR REPRODUCED WITHOUT PERMISSION FROM ENGINEERING CONSULTANTS, INC.

SEAL

NOT VALID UNLESS SIGNED & SEALED BY A REGISTERED ENGINEER IN FLORIDA. LICENSE NO. 12400. AUTHORIZED SIGNATURE 1/2009

SHEET NUMBER
3





LEGEND

- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO BE SAVED & REMAIN
- SALT FENCE/EROSION CONTROL

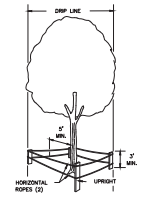
Hardees Bellevue

Tree ID	Diam. (in)	Tree Type
** A	48	OAK
** B	32	OAK
** C	42	OAK
** D	36	OAK
** E	12	CHERRY
** F	24	OAK
** G	42	OAK
** H	28	TWIN OAK
** I	24	CHERRY
** J	60	QUAD OAK
** K	48	OAK
** L	36	OAK
** M	6	CAMPBOR
** N	36	OAK
** O	36	OAK
** P	28	OAK
** Q	24	TWIN OAK
** R	28	OAK
** S	24	PALM
** T	24	PALM
** U	48	OAK
** V	36	OAK
** W	24	CEDAR
** X	24	CEDAR
** Y	48	OAK
** Z	36	OAK
** AA	24	CEDAR
** AB	24	CEDAR
** AC	24	CEDAR
** AD	48	OAK
** AE	24	TWIN CEDAR
** AL	10	OAK
** AM	12	CEDAR
** BF	36	OAK
** BG	24	OAK
total	888	

(888 INCHES DBH SAVED)
 ** * TREE CANOPY THAT ARE EQUAL OR GREATER THAN 30 FEET RADIUS.

Hardees Bellevue

Tree ID	Diam (in)	Type
1	24	OAK
2	32	OAK
3	6	CEDAR
4	32	OAK
5	32	OAK
6	28	OAK
7	12	CAMPBOR
8	24	OAK
9	36	OAK
10	24	OAK CLUSTER
11	42	OAK
12	12	CAMPBOR
13	12	CAMPBOR
14	10	CEDAR
15	12	CAMPBOR
16	12	CAMPBOR
17	12	CAMPBOR
18	16	TWIN CEDAR
19	16	OAK
20	12	CEDAR
21	10	CEDAR
22	24	OAK
23	6	CAMPBOR
24	12	PALM
25	24	CEDAR
26	8	CEDAR CLUSTER
28	36	OAK
29	6	CAMPBOR
30	12	PALM
31	16	CEDAR
32	10	CHERRY
33	12	PINE
34	6	OAK
35	6	OAK
36	10	OAK
37	6	MAPLE
38	8	MAPLE
39	36	OAK
40	48	OAK
41	28	OAK
42	8	PALM
AR	10	TWIN MAGNOLIA
AS	12	MAPLE
AT	18	PALM
AU	48	OAK
AV	28	OAK
AW	48	TWIN OAK
AX	12	CHERRY
AY	8	MAPLE
AZ	14	OAK
BA	36	OAK
BB	6	CAMPBOR
BC	8	PALM
BD	42	OAK
BE	36	OAK
BF	36	OAK
BG	24	OAK
BH	6	TWIN OAK
Total	1144	



- NET & BARRIERS**
- TO PROTECT ALL ABOVE GROUND PORTIONS
 - TO PROTECT SOIL NEAR TREE FROM COMPACTION
 - PROTECT PHYSICAL AND METEOROLOGICAL WEATHER FROM CONSTRUCTION EQUIPMENT OPERATORS

- INVESTIGATE FOR ROOT BARRIERS**
- MINIMUM RADIUS TO BE PROTECTED IS 30" IN DIAMETER
 - MINIMUM 3" IN HEIGHT
 - SPACING - THE EQUIVALENT OF 2" IN DIAMETER OR 1/2" IN HEIGHT
 - HORIZONTAL - THE EQUIVALENT OF TWO COURSES OF 1/2" RADIUS WITH HELIX PLASTIC TAPES PLACING
 - BARRIERS TO BE INSTALLED AROUND TREES TO REMAIN BEFORE CONSTRUCTION OR WHEN NEARBY TREES ARE REMOVED
 - BARRIERS TO REMAIN IN PLACE UNTIL ALL FINISH CONSTRUCTION AND HEAVY EQUIPMENT IS OUT OF AREA

TREE PROTECTION MEASURES

1. All Trees over 10" to be preserved shall be evaluated for condition and long term viability. All trees 30" DBH and greater shall be assessed for condition to determine mitigation requirements. A Tree Protection Zone shall be established for all trees being preserved, show and label on plan 4. The Critical Root zone shall be established on a tree by tree basis by a Landscape Architect or Certified Arborist, show and label on plan and shown on the plan. 5. Trees are shown to be preserved around the proposed DRA; show how the tree roots will be protected (CRZ). Provide full mitigation calculations per 6.7.6.6.7.7.6.8.6.6.7.9 LDC 6.7.3

DISCIPLINE	REG.	CREDENTIALS	DATE	REVISION	SCALE	DATE
ARCHITECT	FL	PROFESSIONAL	01/15/2024	1	AS SHOWN	01/15/2024
LANDSCAPE ARCHITECT	FL	PROFESSIONAL	01/15/2024	2	AS SHOWN	01/15/2024
ENGINEER	FL	PROFESSIONAL	01/15/2024	3	AS SHOWN	01/15/2024
PLANNING	FL	PROFESSIONAL	01/15/2024	4	AS SHOWN	01/15/2024
CONTRACTOR	FL	PROFESSIONAL	01/15/2024	5	AS SHOWN	01/15/2024

TREE PRESERVATION PLAN
 CIRCLE K @ NWC S US HWY 301 & SE 132ND STREET RD
 MARION COUNTY, FLORIDA
 ARBOR CAPITAL PARTNERS

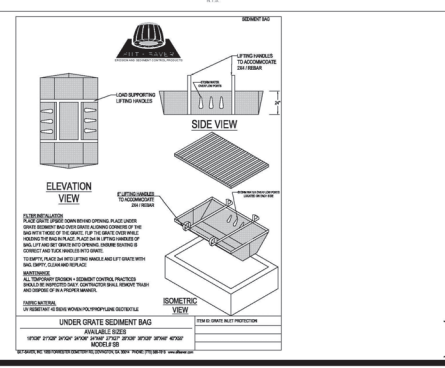
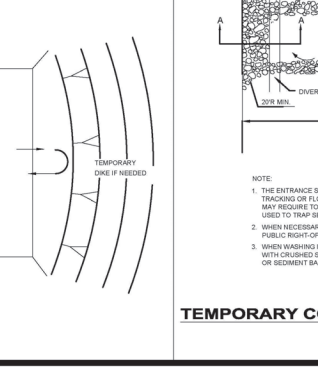
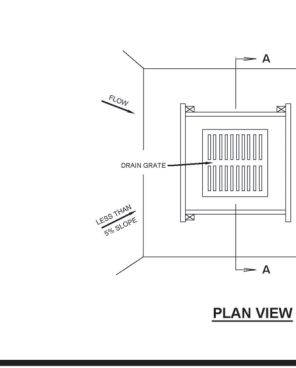
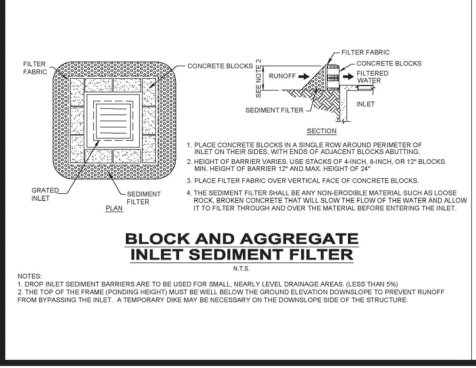
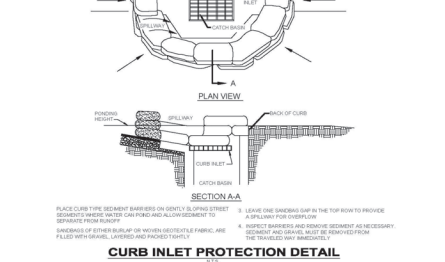
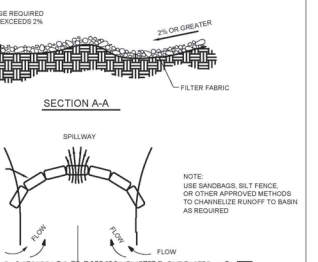
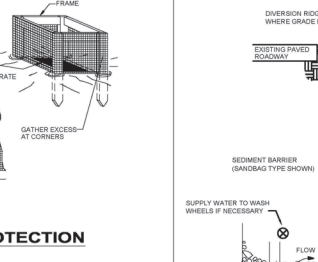
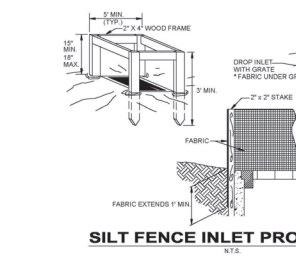
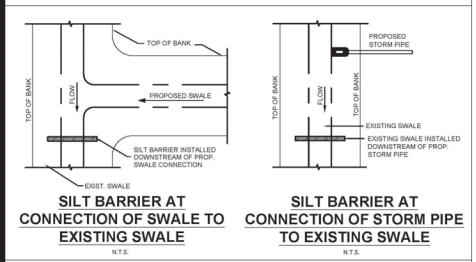
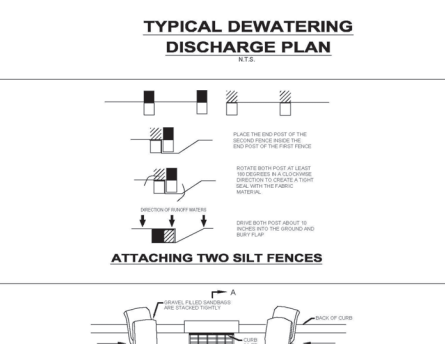
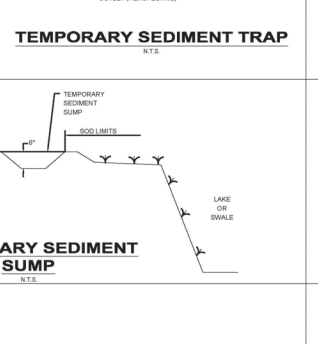
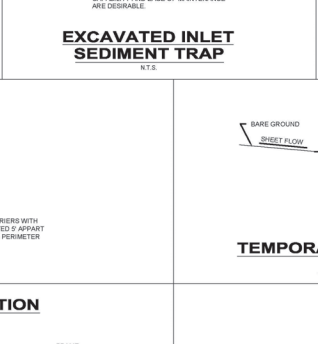
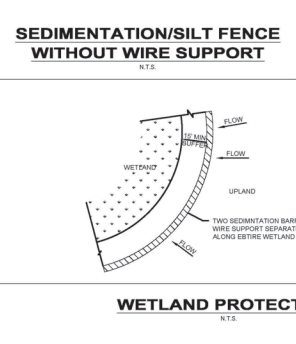
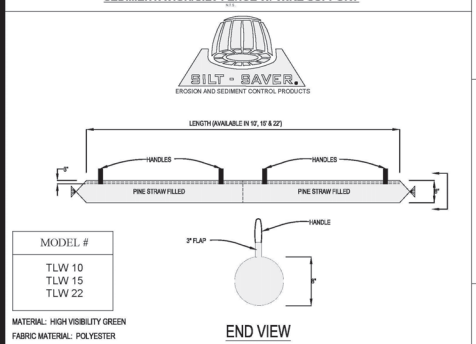
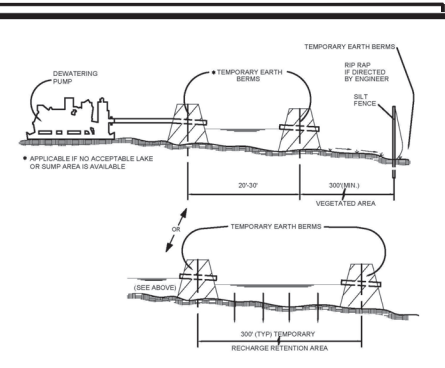
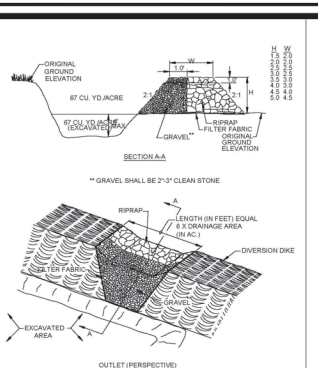
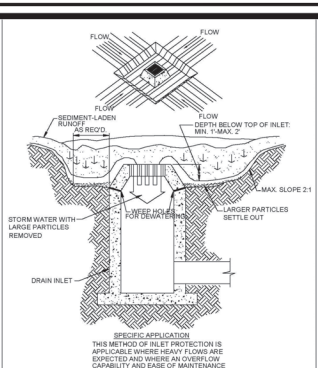
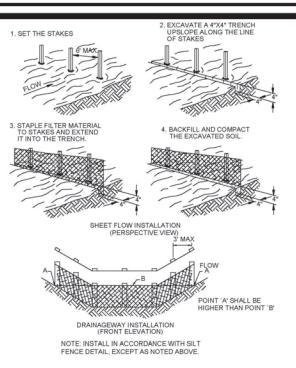
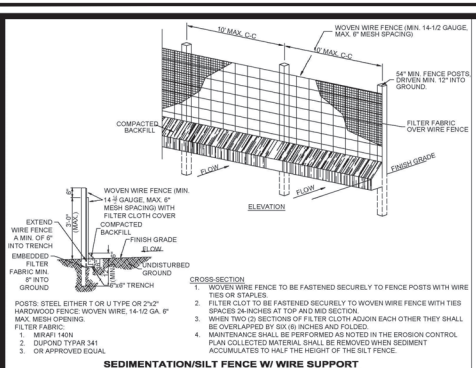
Engineering Consultants
 Phone: (407) 738-1700 Fax: (407) 586-7552

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SEAL

NOW VALID UNLESS BOSTER & SEALLED BY A REGISTERED PROFESSIONAL ENGINEER CARDAZ LLC CERTIFICATE OF AUTHORIZATION # 2500

SHEET NUMBER
3T

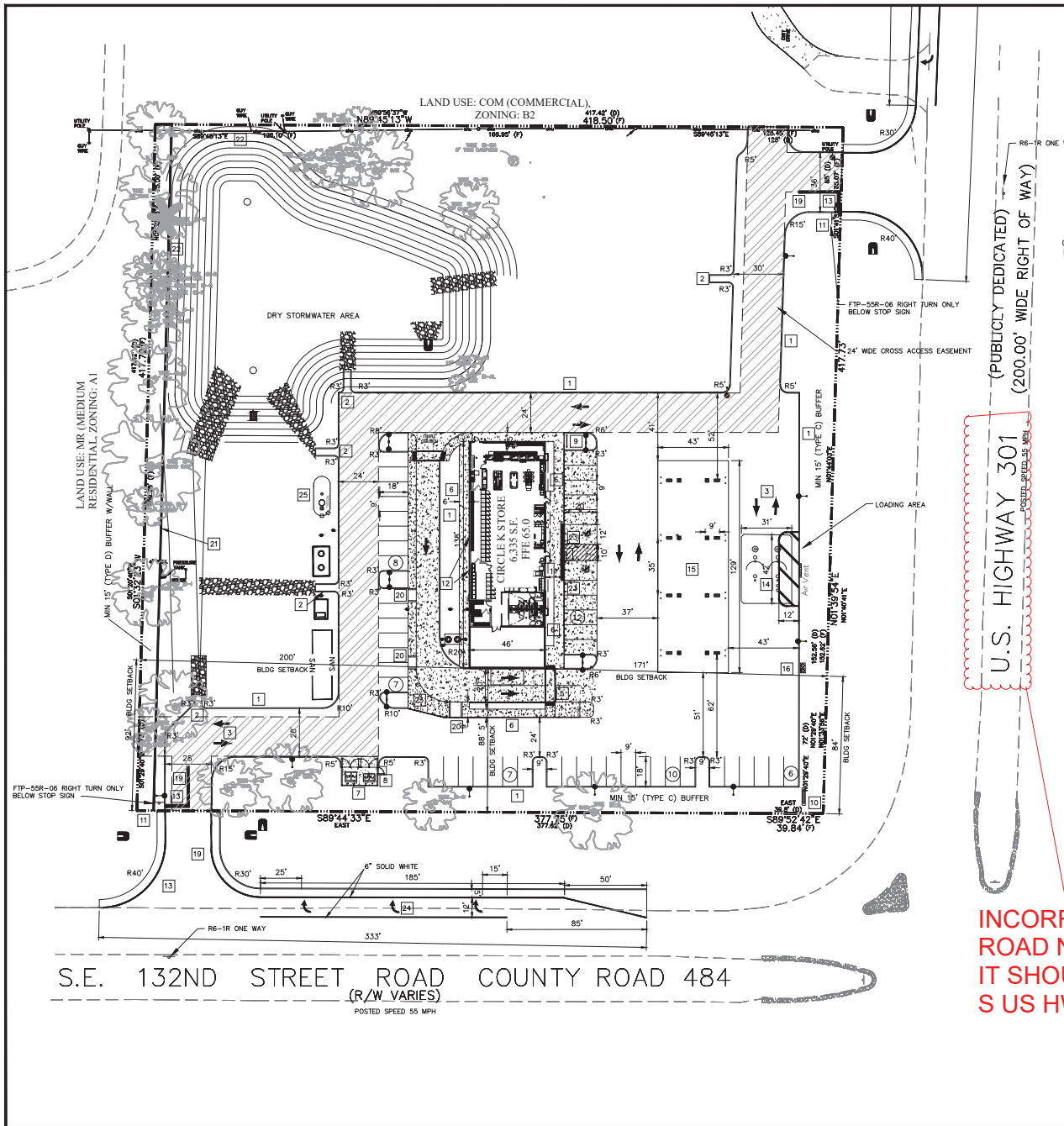


DESIGNED BY	SCALE	DATE
DRAWN BY	SCALE	DATE
CHECKED BY	SCALE	DATE
IN CHARGE	SCALE	DATE
APPROVED BY	SCALE	DATE

SWPP SUPPLEMENT DETAILS
CIRCLE K @ NWC S US HWY 301 & SE 152ND STREET RD
MARION COUNTY, FLORIDA
ARBOR CAPITAL PARTNERS

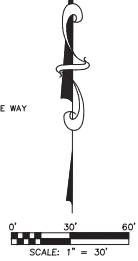


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SEAL
 NOT VALID UNLESS SIGNED BY A REGISTERED ENGINEER
3A
 SHEET NUMBER



LEGEND / ABBREVIATIONS

	PROPOSED CURB		S/W OR SW	#	PARKING SPACES
	EXISTING EDGE OF PAVEMENT		C2		SIDEWALK
	SITE BOUNDARY LINE		R=		CURVE NUMBER
	CENTER LINE OF ROAD		SF OR SQ. FT.		CURVE RADIUS
	RIGHT-OF-WAY LINE		EX		EXISTING
	RIGHT-OF-WAY				TREES TO REMAIN
	TYPICAL				TREES TO REMAIN
	HC				TREES TO REMAIN
	HANDICAP PARKING (SEE SIGNING & MARKING SHEET FOR PARKING LAYOUT DETAILS)				TREES TO REMAIN
	PROPOSED CONCRETE (SEE DETAIL)				TREES TO REMAIN
	PAVEMENT MARKINGS (PER FDOT INDEX 17346)				TREES TO REMAIN
	EXISTING TREES TO REMAIN				TREES TO REMAIN
	PROPOSED SITE LIGHTING (SEE PHOTOMETRIC PLAN) 30" HIGH CFL AREA / 17" HIGH AUTO AREA				TREES TO REMAIN
	CONSTRUCTION NOTES: PLEASE REFER TO SHEET 2 FOR CONSTRUCTION NOTES LEGEND				TREES TO REMAIN
	DRAINAGE FILTER FABRIC PLACED BELOW MINIMUM 2 LAYERS OF 6" ROCK/CONCRETE RUBBLE				TREES TO REMAIN



- 1 FDOT "D" TYPE CURB (SEE DETAIL SHEET)
- 2 CONCRETE DRAINAGE FLUME (SEE DETAIL SHEET 8)
- 3 PAINTED TRAFFIC ARROWS (TYPICAL)
- 4 CURB RAMP TRUNCATED DOME DETECTABLE WARNING PER FDOT INDEX 522-002 (SEE DETAIL SHEET) TO BE CAST INTO CONCRETE, MAX EDGE TO BE FLUSH/PLAT WITH CONCRETE.
- 5 PEDESTRIAN CROSSING STRIPING, STANDARD CROSSWALK PER FDOT INDEX 711-001
- 6 CONCRETE SIDEWALK MIN. 4" THICK (REFER TO DETAIL SHEET)
- 7 7" THICK CONCRETE AT DUMPSTER PAD WITH WWF 6X6 10GA (W1.4 X W1.4), 6" THICK AT PARKING ALONG BUILDING
- 8 DUMPSTER ENCLOSURE (SEE DETAIL SHEET 10)
- 9 INSTALL BICYCLE RACK W/ 5'X5' CONC. PAD - BIKE RACK (SEE DETAILS ON SHEET 8)
- 10 PROJECT SIGN TO BE PERMITTED BY SEPARATE SIGN PERMIT SUBMITTAL, TYPICAL FOR ALL SIGNS INCLUDING PROJECT SIGN AND DIRECTIONAL SIGNS. CONTRACTOR TO COORDINATE WITH MEP TO INSTALL CONDUIT/WIRING, PER MARION COUNTY LDC MINIMUM SIGN SETBACK 5', MAX HEIGHT 30' IN 300 SQ FT COPY AREA.
- 11 R1-1 (STOP SIGN, SEE DETAIL SHEET 8)
- 12 CONSTRUCT ROOF DRAINS, REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND REQUIRED DETAILS AND SPECIFICATIONS, ALSO REFER TO SHEET 5 GRADING PLANS FOR STORM LINE LOCATIONS.
- 13 24" WIDE WHITE THERMO PLASTIC STOP BAR, (SEE DETAIL SHEET 8)
- 14 UNDERGROUND TANKS AND CONCRETE PAVEMENT COORDINATE W/MEP PLANS FOR DETAILS, 8" CONCRETE & LOADING AREA
- 15 CANOPY AND CONCRETE PAVEMENT COORDINATE W/ARCHITECTURAL AND MEP PLANS FOR DETAILS
- 16 AIR VACUUM LOCATION, AIR ONLY COORDINATE WITH ARCHITECTURAL PLAN FOR POWER AND CONDUITS.
- 17 6" DIA. STEEL PIPE BOLLARD 4 FEET HIGH ABOVE PAVEMENT REFER TO DETAIL ON SHEET 16
- 18 18" SOLID YELLOW 45° ANGLE
- 19 6" SOLID DOUBLE YELLOW 4" GAP PER FDOT INDEX 711-001
- 20 CLOSED CONCRETE FLUME CONSISTENT WITH FDOT INDEX 425-061 REFER TO DETAIL SHEET
- 21 6" HIGH OPAQUE TIMBER FENCING LOCATE & INSTALL POSTS PER SUPPLIER RECOMMENDATION. INSTALL FENCING TO MAINTAIN EXISTING TREES TO REMAIN.
- 22 MINIMUM 5' WIDE PERIMETER ACCESS BERM AROUND POND MAX SLOPE 1V:10H
- 23 6" DIAMETER 4' CLEAR HEIGHT CONCRETE FILLED TRAFFIC BOLLARDS, SEE DETAIL SHEET. AT ADA PARKING, POST ADA SIGN PER DETAIL USING TRAFFIC BOLLARD.
- 24 RIGHT TURN MARKING PER FDOT INDEX 711-001
- 25 FIRE SUPPLY UNDERGROUND TANK

TRAFFIC CONTROL SIGNS

- R1-1 STOP SIGN MIN. 30"x30" - SEE DETAIL SHEET 8 FOR MINIMUM STANDARDS
 FTP-55R-06 RIGHT TURN ONLY
 R6-1R ONE WAY 36" X 12"
1. REFER TO DETAIL SHEET 8 FOR HANDICAP PARKING SPACE SIGNING AND MARKING.
 2. ALL SIGNS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 3. ALL PAVEMENT MARKINGS WITHIN FDOT & SUBMITTER COUNTY RIGHT OF WAY SHALL BE THERMOPLASTIC

NOTE:
 STAND ALONE BUILDING PERMITS ARE REQUIRED ON THE PRIMARY STRUCTURE, SIGNS, WALLS, FENCES, DUMPSTER CORRALS, STREET LIGHTING, IRRIGATION SYSTEMS, LIFT STATIONS AND ANY OTHER ACCESSORY STRUCTURES.

ALL PEDESTRIAN PATHS (SIDEWALKS, RAMPS AND CROSSWALKS) SHALL BE IN ACCORDANCE WITH ADA ACCESSIBILITY STANDARDS, UNLESS OTHERWISE NOTED. MAXIMUM RAMP SLOPES SHALL BE 1V:14H, MAXIMUM LONGITUDINAL SLOPES SHALL BE 5% AND MAXIMUM CROSS SLOPES SHALL BE 2%.

WORK IN FDOT ROW NOTE

ALL CONSTRUCTION IN FDOT ROW SHALL CONFORM TO THE LATEST EDITIONS OF THE FDOT DESIGN STANDARD PLANS, THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE FDOT UTILITY ACCOMMODATION MANUAL.

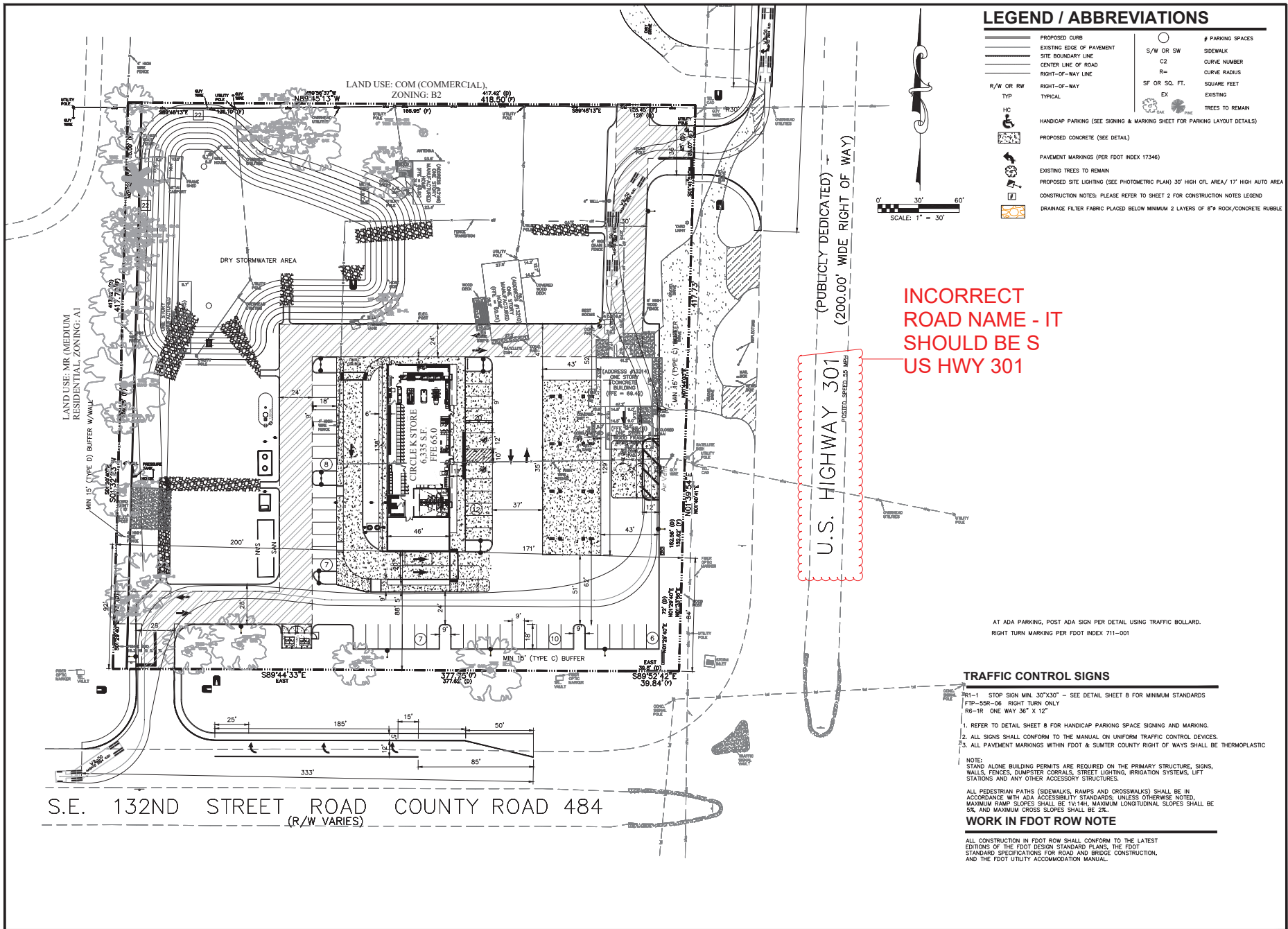
REVISIONS	DATE	BY	CHKD	DATE	BY	CHKD

SITE PLAN
 CIRCLE K @ NWC S US HWY 301 & SE 132ND STREET RD
 MARION COUNTY, FLORIDA
 HARBOR CAPITAL PARTNERS



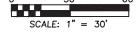
SHEET NUMBER
4





LEGEND / ABBREVIATIONS

- PROPOSED CURB
- EXISTING EDGE OF PAVEMENT
- SITE BOUNDARY LINE
- CENTER LINE OF ROAD
- RIGHT-OF-WAY LINE
- R/W OR RW
- TYP
- HC
- HANDICAP PARKING (SEE SIGNING & MARKING SHEET FOR PARKING LAYOUT DETAILS)
- PROPOSED CONCRETE (SEE DETAIL)
- PAVEMENT MARKINGS (PER FDOT INDEX 17346)
- EXISTING TREES TO REMAIN
- PROPOSED SITE LIGHTING (SEE PHOTOMETRIC PLAN) 30' HIGH CFL AREA / 17' HIGH AUTO AREA
- CONSTRUCTION NOTES: PLEASE REFER TO SHEET 2 FOR CONSTRUCTION NOTES LEGEND
- DRAINAGE FILTER FABRIC PLACED BELOW MINIMUM 2 LAYERS OF 8" ROCK/CONCRETE RUBBLE
- # PARKING SPACES
- S/W OR SW SIDEWALK
- C2 CURVE NUMBER
- R= CURVE RADIUS
- SF OR SQ. FT. SQUARE FEET
- EXISTING
- TREES TO REMAIN



INCORRECT ROAD NAME - IT SHOULD BE S US HWY 301

AT ADA PARKING, POST ADA SIGN PER DETAIL USING TRAFFIC BOLLARD.
RIGHT TURN MARKING PER FDOT INDEX 711-001

TRAFFIC CONTROL SIGNS

- R1-1 STOP SIGN MIN. 30"x30" - SEE DETAIL SHEET 8 FOR MINIMUM STANDARDS
- FTP-55R-06 RIGHT TURN ONLY
- RB-1R ONE WAY 36" X 12"
- 1. REFER TO DETAIL SHEET 8 FOR HANDICAP PARKING SPACE SIGNING AND MARKING.
- 2. ALL SIGNS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- 3. ALL PAVEMENT MARKINGS WITHIN FDOT & SUMNER COUNTY RIGHT OF WAYS SHALL BE THERMOPLASTIC

NOTE:
STAND ALONE BUILDING PERMITS ARE REQUIRED ON THE PRIMARY STRUCTURE, SIGNS, WALLS, FENCES, DUMPSTER CORALS, STREET LIGHTING, IRRIGATION SYSTEMS, LEFT STATIONS AND ANY OTHER ACCESSORY STRUCTURES.
ALL PEDESTRIAN PATHS (SIDEWALKS, RAMPS AND CROSSWALKS) SHALL BE IN ACCORDANCE WITH ADA ACCESSIBILITY STANDARDS, UNLESS OTHERWISE NOTED. MAXIMUM RAMP SLOPES SHALL BE 1:14H. MAXIMUM LONGITUDINAL SLOPES SHALL BE 5% AND MAXIMUM CROSS SLOPES SHALL BE 2%.

WORK IN FDOT ROW NOTE

ALL CONSTRUCTION IN FDOT ROW SHALL CONFORM TO THE LATEST EDITIONS OF THE FDOT DESIGN STANDARD PLANS, THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE FDOT UTILITY ACCOMMODATION MANUAL.

NO.	REVISIONS	DATE	BY	CHKD.	APP'D.	CONVD.	BLG.
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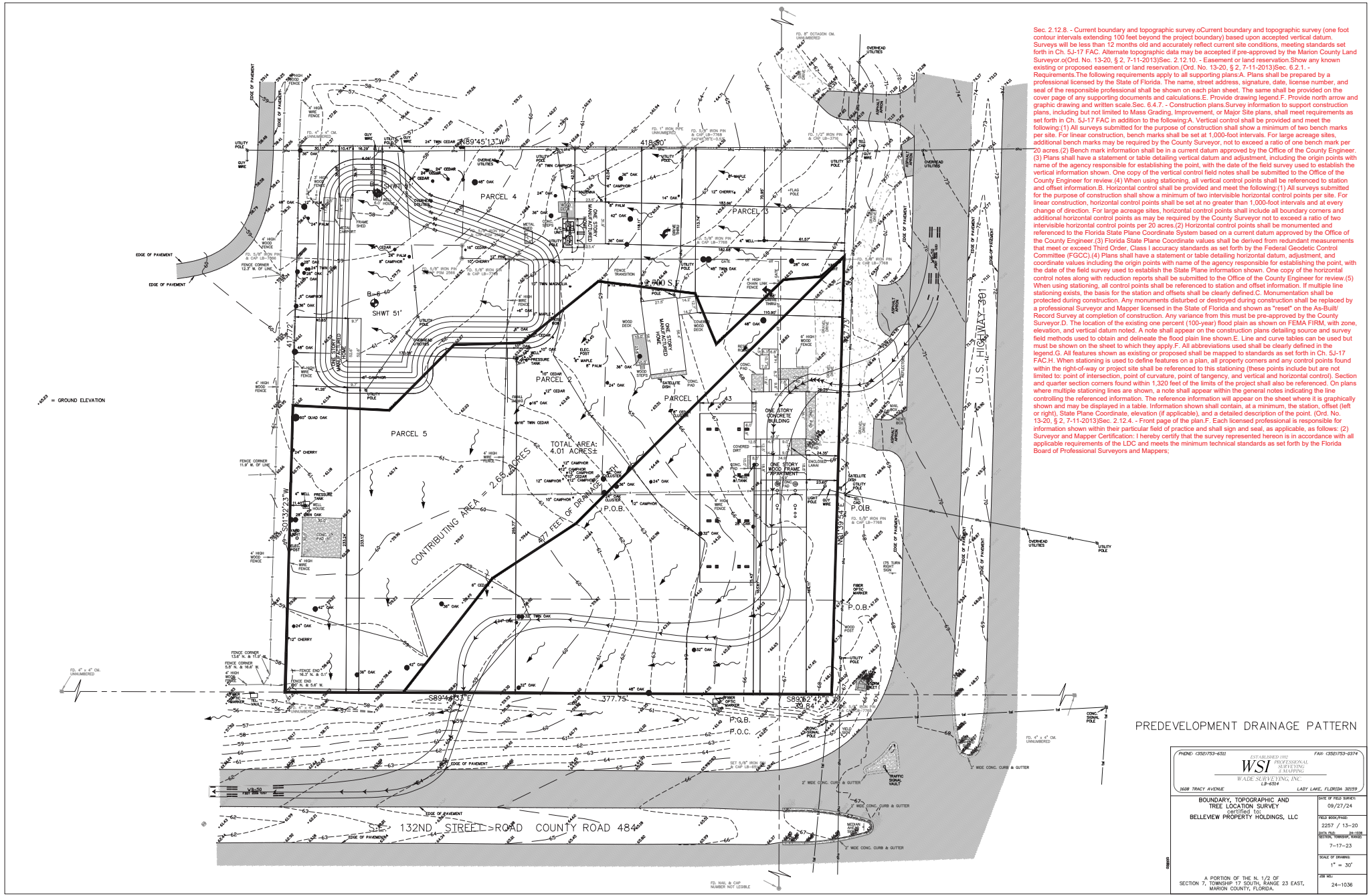
TRUCK TURN
CIRCLE K @ NWC S US HWY 301 & SE 132ND STREET TRD
MARION COUNTY, FLORIDA
ARBOR CAPITAL PARTNERS



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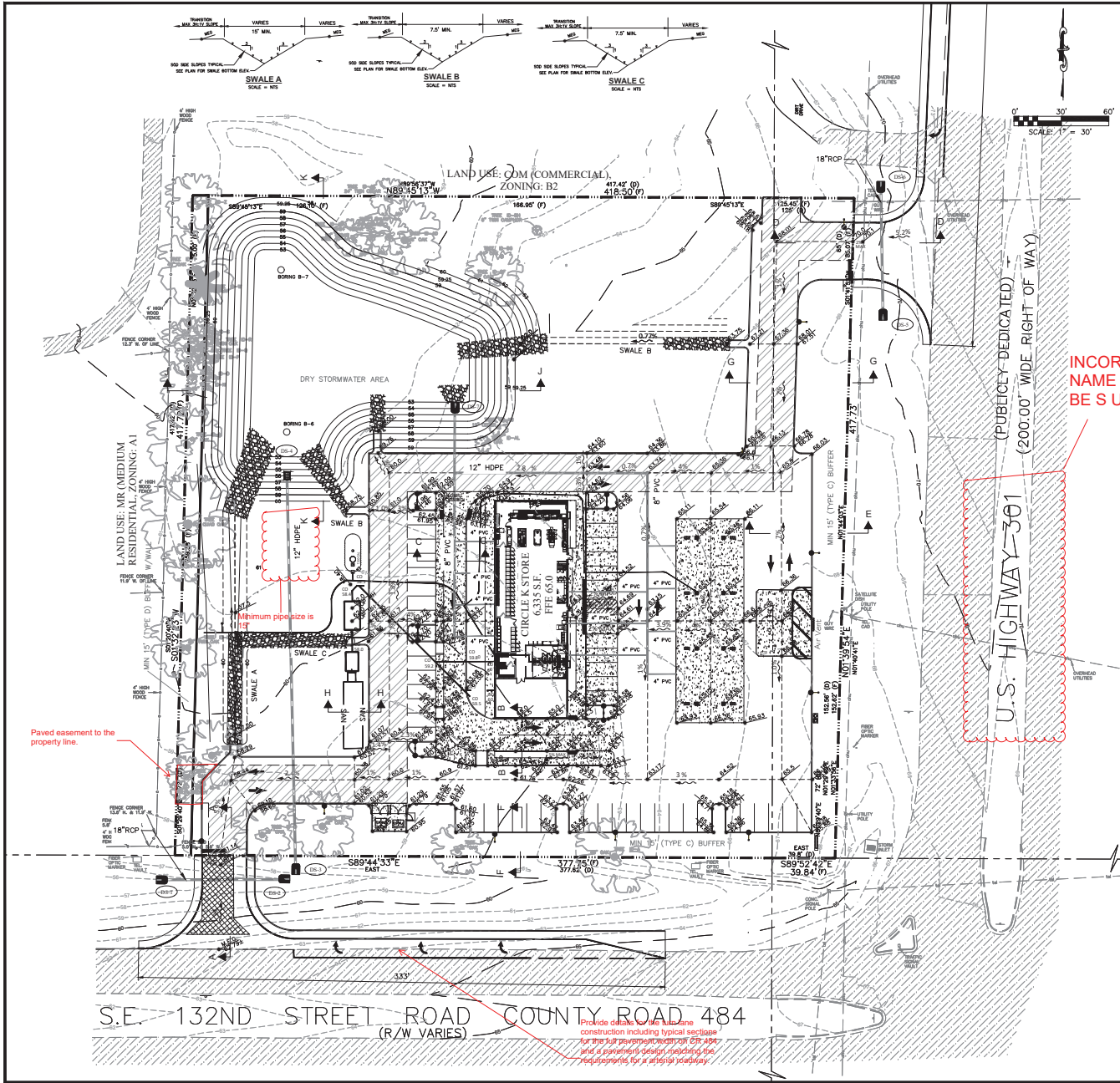
NOT VALID UNLESS SIGNED A REGISTERED ENGINEER CALAZA LLC CERTIFICATION OF AUTHORIZATION 20208

SHEET NUMBER
4T



Sec. 2.12.8. - Current boundary and topographic survey (Current boundary and topographic survey (one foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor or Ord. No. 13-20, § 2, 7-11-2013) Sec. 2.12.10. - Easement or land reservation Show any known existing or proposed easement or land reservation (Ord. No. 13-20, § 2, 7-11-2013) Sec. 6.2.1. - Requirements: The following requirements apply to all supporting plans A. Plans shall be prepared by a professional licensed by the State of Florida. The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet. The same shall be provided on the cover page of any supporting documents and calculations E. Provide drawing legend F. Provide north arrow and graphic drawing and written scale Sec. 6.4.7. - Construction Plans Survey information to support construction plans, including but not limited to Mass Grading, Improvement, or Major Site Plans, shall meet requirements as set forth in Ch. 5J-17 FAC in addition to the following A. Vertical control shall be provided and meet the following: (1) All surveys submitted for the purpose of construction shall show a minimum of two bench marks per site. For linear construction, bench marks shall be set at 1,000-foot intervals. For large acreage sites, additional bench marks may be required by the County Surveyor, not to exceed a ratio of one bench mark per 20 acres (2) Bench mark information shall be in a current datum approved by the Office of the County Engineer. (3) Plans shall have a statement or table detailing vertical datum and adjustment, including the origin points with name of the agency responsible for establishing the point, with the date of the field survey used to establish the vertical information shown. One copy of the vertical control field notes shall be submitted to the Office of the County Engineer for review (4) When using stationing, all vertical control points shall be referenced to station and offset information B. Horizontal control shall be provided and meet the following: (1) All surveys submitted for the purpose of construction shall show a minimum of two intervisible horizontal control points per site. For linear construction, horizontal control points shall be set at no greater than 1,000-foot intervals and at every change of direction. For large acreage sites, horizontal control points shall include all boundary corners and additional horizontal control points as may be required by the County Surveyor not to exceed a ratio of two intervisible horizontal control points per 20 acres (2) Horizontal control points shall be monumented and referenced to the Florida State Plane Coordinate System based on a current datum approved by the Office of the County Engineer (3) Florida State Plane Coordinate values shall be derived from redundant measurements that meet or exceed Third Order, Class II accuracy standards as set forth by the Federal Geodetic Control Committee (FGCC) (4) Plans shall have a statement or table detailing horizontal datum, adjustment, and coordinate values including the origin points with name of the agency responsible for establishing the point, with the date of the field survey used to establish the State Plane information shown. One copy of the horizontal control notes along with reduction reports shall be submitted to the Office of the County Engineer for review (5) When using stationing, all control points shall be referenced to station and offset information. If multiple line stationing exists, the basis for the station and offsets shall be clearly defined C. Monumentation shall be protected during construction. Any monuments disturbed or destroyed during construction shall be replaced by a professional Surveyor and Mapper licensed in the State of Florida and shown as "reset" on the As-Built/Record Survey at completion of construction. Any variance from this must be pre-approved by the County Surveyor D. The location of the existing one percent (100-year) flood plain as shown on FEMA FIRM, with zone, elevation, and vertical datum noted. A note shall appear on the construction plans detailing source survey and survey field methods used to obtain and delineate the flood plain line shown E. Line and curve tables can be used but must be shown on the sheet to which they apply F. All abbreviations used shall be clearly defined in the legend G. All features shown as existing or proposed shall be mapped to standards as set forth in Ch. 5J-17 FAC H. When stationing is used to define features on a plan, all property corners and any control points found within the right-of-way or project site shall be referenced to this stationing (these points include but are not limited to: point of intersection, point of curvature, point of tangency, and vertical and horizontal control). Section and quarter section corners found within 1,320 feet of the limits of the project shall also be referenced. On plans where multiple stationing lines are shown, a note shall appear within the general notes indicating the line controlling the referenced information. The reference information will appear on the sheet where it is graphically shown and may be displayed in a table. Information shown shall contain, at a minimum, the station, offset (left or right), State Plane Coordinate, elevation (if applicable), and a detailed description of the point. (Ord. No. 13-20, § 2, 7-11-2013) Sec. 2.12.4. - Front page of the plan: Each licensed professional is responsible for information shown within their particular field of practice and shall sign and seal, as applicable, as follows: (2) Surveyor and Mapper Certification: I hereby certify that the survey represented herein is in accordance with all applicable requirements of the LDC and meets the minimum technical standards as set forth by the Florida Board of Professional Surveyors and Mappers.

PHONE: (352) 753-6532	ESTABLISHED 1992	FAX: (352) 753-6374
WSI		
PROFESSIONAL SURVEYING & MAPPING		
WADE SURVEYING, INC.		
LP-6514		
1608 TRACY AVENUE	LAKY LAKE, FLORIDA 32039	
BOUNDARY, TOPOGRAPHIC AND TREE LOCATION SURVEY	DATE OF FIELD SURVEY	09/27/24
BELLEVUE PROPERTY HOLDINGS, LLC	FIELD BOOK/FOLDER	2257 / 13-20
	SCALE	7-17-23
	SCALE OF DRAWING	1" = 30'
	DATE	24-10-36
A PORTION OF THE N. 1/2 OF SECTION 7, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA.		



LEGEND / ABBREVIATIONS

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPOSED CURB
---	---	SITE BOUNDARY LINE
---	---	CENTER LINE OF ROAD
---	---	RIGHT-OF-WAY
---	---	CONTOURS
---	---	STORM DRAIN PIPES
---	---	SAWCUT LINE
---	---	RIGHT-OF-WAY
R/W OR RW	R/W OR RW	TYPICAL
TYP	TYP	SIDEWALK
S/W OR SW	S/W OR SW	LINEAR FEET
LF	LF	STORM DRAIN
SD	SD	ELEVATION
EL	EL	EXISTING
EX	EX	INVERT
INV	INV	MATCH EXISTING GRADE
MEG	MEG	FINISH FLOOR ELEVATION
FFE	FFE	PAVEMENT
PVMT	PVMT	TOP OF CURB & BOTTOM OF CURB FOR CANOPY TOP SECOND FOUR/BOTTOM FIRST FOUR
>49.58	>49.58	SLOPE
0.50%	0.50%	DRAINAGE INLET
0	0	SURFACE STORMWATER FLOW DIRECTION
---	---	STORM SEWER STRUCTURE NUMBER
---	---	CONCRETE PAVEMENT
---	---	SOIL BORING LOCATIONS
---	---	MIN. 2 LAYERS 6\"/>

INCORRECT ROAD NAME - IT SHOULD BE S US HWY 301

DRAINAGE STRUCTURES

- (18) MITERED END SECTION (18\"/>

DRAINAGE PIPE DATA

- DS-1 TO DS-2 85 LF OF 18\"/>

CONSTRUCTION NOTES

- ALL ELEVATIONS ARE BASED ON NAVD 1988
- DRIVEWAY CONNECTIONS ELEVATIONS HAVE BEEN PROJECTED BASED ON EXISTING FIELD CONDITIONS. VERIFY AND MAINTAIN EXISTING GUTTER FLOWLINES AND MATCH EXISTING EDGE OF PAVEMENTS DURING INSTALLATION OF DRIVEWAY CONNECTIONS.
- CONTRACTOR SHALL PROVIDE TEES, BENDS AND CONNECTING MATERIALS PROVIDING A ROOF DRAIN CONNECTION TO 12\"/>

CONTRACTOR NOTES

- BEFORE BEGINNING SITE WORK, THE CONTRACTOR IS REQUIRED TO FIELD VERIFY THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES AND OTHER FEATURES. THE CONTRACTOR MAY CONSULT THE UTILITY OWNER'S RECORD DRAWINGS, BUT THE UTILITY OWNER AND THE ENGINEER DO NOT GUARANTEE, BY IMPLICATION OR OTHERWISE, THE ACCURACY OF THE UTILITY OWNER'S RECORD DRAWINGS. THE SITE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR ANY RECONSTRUCTION REQUIRED, OTHER THAN SHOWN ON THIS PLAN.
- CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION TO CONFIRM LOCATIONS OF UTILITY AND STORM DRAINAGE FROM BIDDING. IF ANY SUBSTANTIAL DEVIATIONS FROM THIS PLAN, NOTIFY ENGINEER AND OBTAIN WRITTEN INSTRUCTIONS PRIOR TO START OF CONSTRUCTION.

PROJ. NO.	DATE	BY	CHKD.

PAVING GRADING & DRAINAGE PLAN
CIRCLE K @ NWC S US HWY 301 & SE 132ND STREET RD
 MARION COUNTY, FLORIDA
 ARBOR CAPITAL PARTNERS

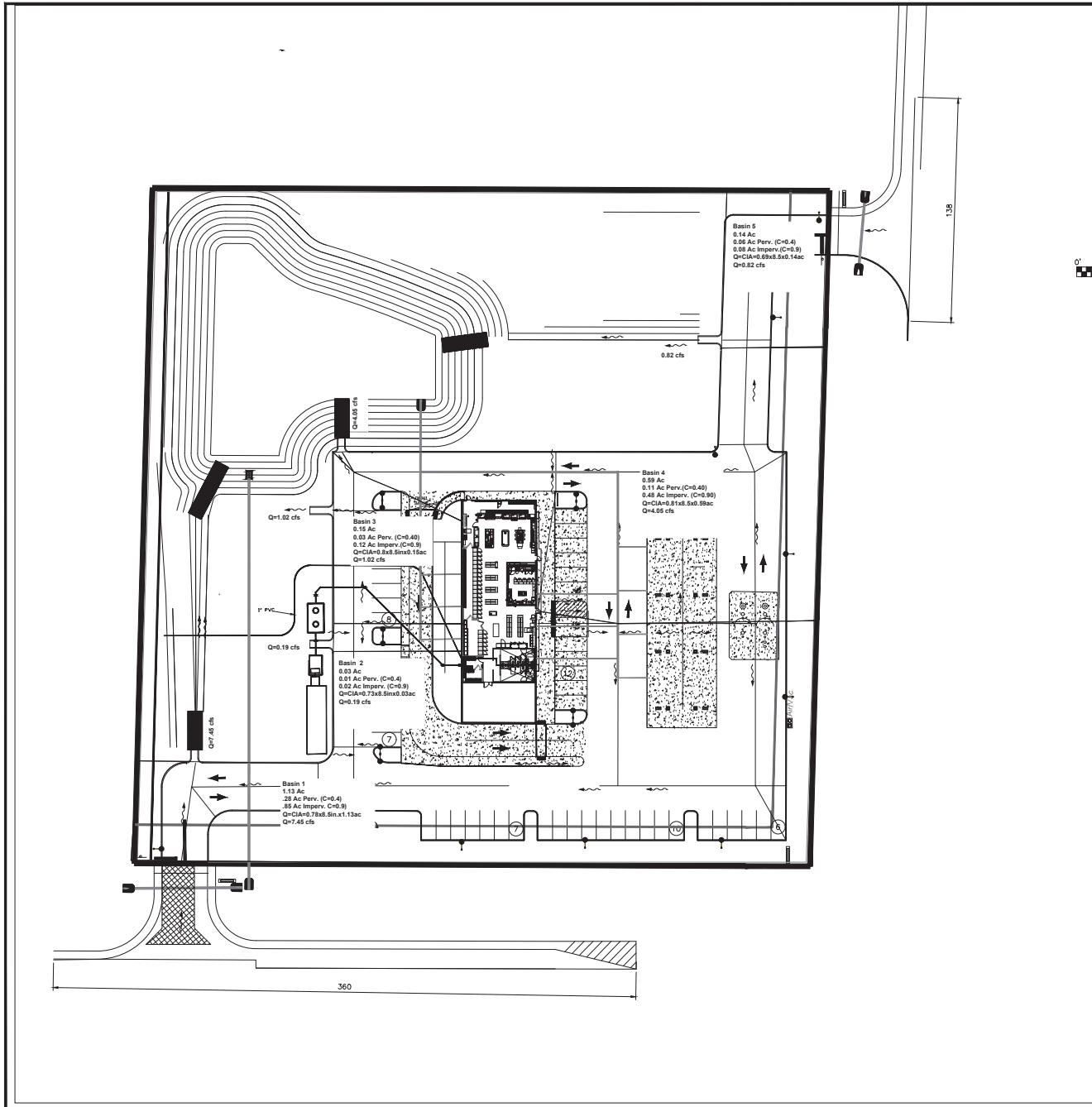


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NOT VALID UNLESS SIGNED A REGISTERED ENGINEER CHADAZZ LLC CERTIFICATION OF AUTHORIZATION NUMBER

SHEET NUMBER





LEGEND / ABBREVIATIONS

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPOSED CURB
---	---	SITE BOUNDARY LINE
---	---	CENTER LINE OF ROAD
---	---	RIGHT-OF-WAY
---	---	CONTOURS
---	---	STORM DRAIN PIPES
---	---	SAWTOOTH LINE
R/W OR RW	R/W OR RW	RIGHT-OF-WAY
TYP	TYP	TYPICAL
S/W OR SW	S/W OR SW	SIDEWALK
LF	LF	LINEAR FEET
SD	SD	STORM DRAIN
EL	EL	ELEVATION
EX	EX	EXISTING
INV	INV	INVERT ELEVATION
MEG	MEG	MATCH EXISTING GRADE
FFE	FFE	FINISH FLOOR ELEVATION
PVMT	PVMT	PAVEMENT
49.58	10.52	GRADE ELEVATION
0.50%	0.50%	SLOPE
□	□	DRAINAGE INLET
---	---	SURFACE STORMWATER FLOW DIRECTION
---	---	STORM SEWER STRUCTURE NUMBER
---	---	CONCRETE PAVEMENT
---	---	HEAVY DUTY PAVEMENT
---	---	TURN LANE PAVEMENT PER COUNTY STANDARDS

0' 30' 60' MEG
SCALE: 1" = 30'

NO.	REVISIONS	DATE	BY	SCALE	DATE	SCALE
1						
2						
3						
4						
5						

POST DEVELOPMENT DRAINAGE BASINS
 CIRCLE K @ NWC S US HWY 301 & SE 132ND STREET RD
 MARION COUNTY, FLORIDA
 ARBOR CAPITAL PARTNERS

Engineering Consultants
 PO Box 450006 • Jacksonville, Florida 32245
 Phone: (904) 738-1939 Fax: (904) 738-1932

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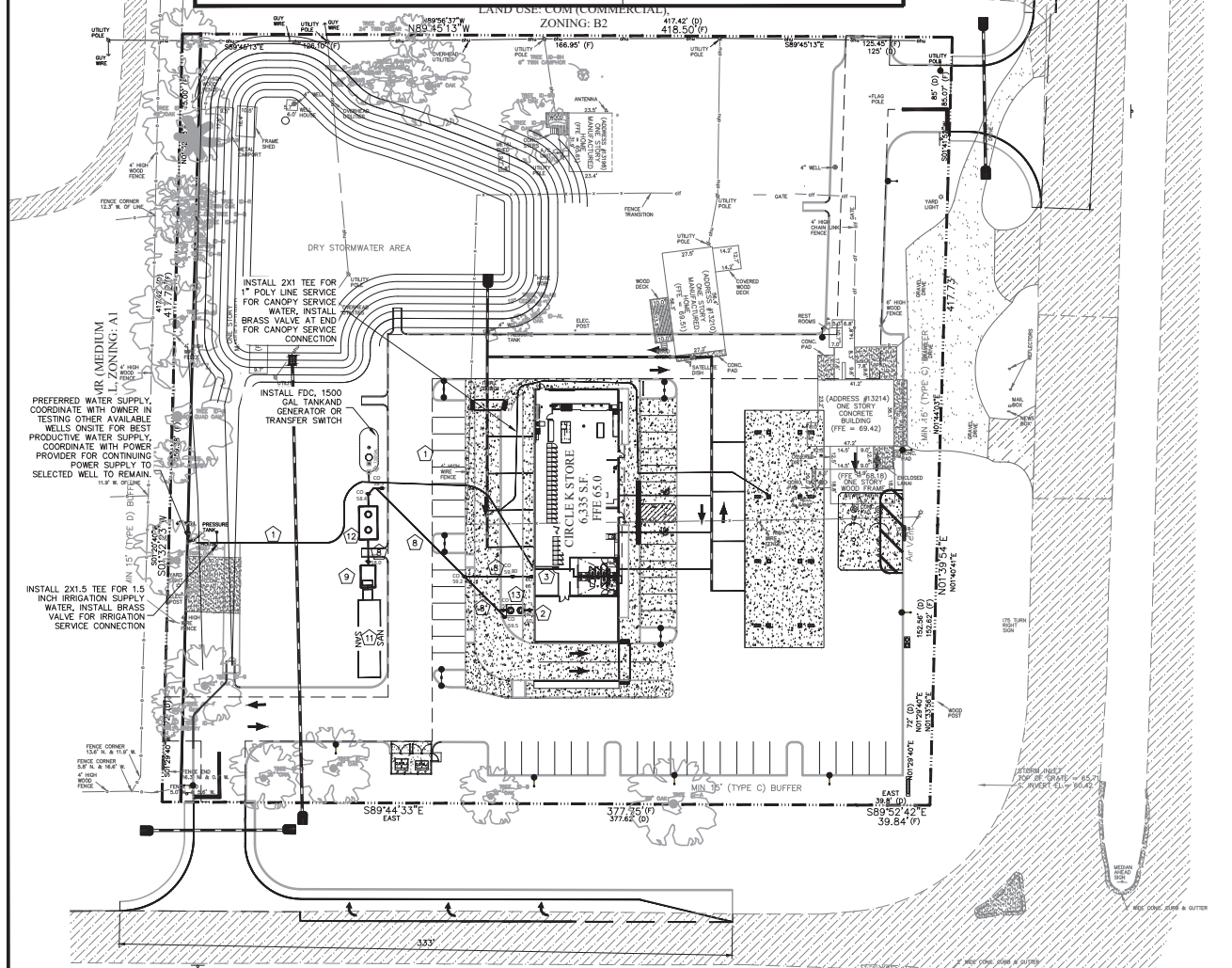
SEAL

NOT VALID UNLESS SIGNED &
 BELIEVED BY
 A REGISTERED ENGINEER
 CADWAZ, LLC
 CERTIFICATION OF
 AUTHORIZATION 22008

SHEET NUMBER
5B

UTILITY NOTES

- 1 2" POTABLE PE DR9 LINE TO THE BUILDING
- 2 4" PVC SEWER SERVICE CONNECTION W/ 2-WAY CLEAN OUT INVERT 60.0
- 3 6" PVC SEWER CONNECTION W/ CLEAN OUT INVERT 60.0
- 4 PE WATER SERVICE CONNECTION W/ BRASS COUPLING/VALVE SEE PLAN FOR SIZE
- 5 1" IRRIGATION METER & RPZ FOR WATER ONLY
- 6 3" ELECTRICAL CONDUIT TO BLDG MAIN PANEL COORDINATE WITH BLDG MEP PLANS
- 7 2" COMMUNICATION CONDUIT, COORD. W/ PROVIDER & MEP FOR INSTALL LOCATION
- 8 6" PVC SEWER @ MIN. 1% SLOPE
- 9 1,000 GALLON DOSING TANK W/ TWO MYER 4/10 HP MODEL SRM4 W/ FLOATS & VALVES AS MANUF. BY LSM OR EQUAL. DOSING TANK TO INCLUDE ACCESS FRAME AND HATCH. COORD. WITH MEP PLANS FOR ELECTRICAL POWER TO PUMPS AND CONTROLS. 6" GRAVITY LINE IN @ INVERT ELEV. 58.0'
- 10 12" PE SEWER LINE DR 11, TO INCLUDE MINIMUM 2 FEED CONNECTIONS INTO ADS DRAINFIELD CHAMBERS.
- 11 2,600 S.F. DRAINFIELD SYSTEM, INCLUDING MINIMUM 6" BEDDING STONE, RECHARGE CHAMBERS, FILTER FABRIC, AND GRAVEL COVERING PER MANUF. RECOMMENDATION. SHOP DRAWINGS WITH PRODUCT SPECIFICATIONS, AND FINAL DESIGN & SECTIONS TO BE APPROVED BY EOR, PRIOR TO CONSTRUCTION.
- 12 2,500 GALLON SEPTIC TANK, SHOP DRAWINGS TO BE APPROVED BY EOR PRIOR TO INSTALLATION. MANHOLE RING/COVER TO BE HD/HS-20 RATED
- 13 1,500 GALLON GREASE TRAP. SHOP DRAWINGS TO BE APPROVED BY EOR PRIOR TO INSTALLATION. MANHOLE RING/COVER TO BE HD/HS-20 RATED AND BE FLUSH WITH SURROUNDING GRADE.



LEGEND / ABBREVIATIONS

EXISTING	PROPOSED	DESCRIPTION
—	—	FIRE HYDRANT
—	—	WATER VALVE-WV
—	—	BLOWOFF - BO
—	—	WATER METER - WM
—	—	SANITARY MANHOLE - MH
—	—	SANITARY CLEANOUT - CO
—	—	BACKFLOW PREVENTER - BFP OR REDUCED PRESSURE ASSEMBLY - RPZ
—	—	WATER MAIN
—	—	SANITARY MAIN
—	—	GAS LINE
—	—	EASEMENT LINE
—	—	SWALE
—	—	LINEAR FEET
—	—	PVC
—	—	POLYVINYL CHLORIDE
—	—	SD
—	—	STORM DRAIN
—	—	INVERT
—	—	PROPOSED SITE LIGHTING (SEE PHOTOMETRIC PLAN)

CONSTRUCTION NOTES

- CONTRACTOR TO COORDINATE WITH MARION COUNTY FOR SCHEDULE OF ANY INSTALLATION/INSTALLATION FEE.
 - CONTRACTOR SHALL PROVIDE RPZ BFP CONSISTENT WITH THE MARION COUNTY STANDARDS OF MC UTILITIES APPROVED EQUIPMENT.
 - ALL SPECIFICATIONS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH MARION COUNTY UTILITY STANDARDS & SPECIFICATIONS LATEST EDITION AND STANDARD UTILITY DETAILS. CONSTRUCTION MATERIALS SHALL BE IN ACCORDANCE WITH THE MARION COUNTY QUALIFIED PRODUCTS LIST.
- WATER**
- 2" WATER SUPPLY TO BUILDING
 - 1" WATER SUPPLY WITH RPZ OR VACUUM BREAKER TO CANOPY
 - 1.5" WATER SUPPLY WITH RPZ FOR IRRIGATION SUPPLY

- SEWER**
- CLEANOUTS, SEE PLAN FOR INVERTS. SEE UTILITY DETAILS FOR SPECIFICATIONS.
 - HAND HOLE LIDS ARE REQUIRED FOR CLEANOUTS LOCATED IN AREAS WITH VEHICULAR TRAFFIC, SEE SANITARY CLEANOUT DETAIL.

- ELECTRICAL**
- CONTRACTOR TO COORDINATE W SIGN PROVIDER & INSTALL CONDUIT AND WIRING FOR SIGN POWER. COORDINATE WITH MEP PLANS AND PROVIDE POWER & TO SIGN.
 - ELECTRICAL CONDUIT PER ARCHITECTURAL PLANS & COORDINATE WITH POWER PROVIDER & CONFIRM WITH OWNER ON PLACEMENT OF ELECTRIC TRANSFORMER PRIOR TO INSTALLATION.
 - CONTRACTOR TO PROVIDE ALL ELECTRICAL CONDUITS AND WIRING FOR SITE POWER AND LIGHTING COORDINATE WITH ARCHITECTURAL/MEP PLANS FOR POLE HEIGHT AND LIGHTING SPECIFICATIONS.

- CONTRACTOR TO COORDINATE WITH LOCAL SERVICE PROVIDERS FOR INSTALLING CONDUIT FOR CABLE, PHONE AND INTERNET SERVICES.
- CONTRACTOR SHALL PROVIDE POWER SUPPLY TO THE IRRIGATION CONTROLLER THROUGH THE HOUSE PANEL.
- CONTRACTOR TO PROVIDE SLEEVING UNDER PAVED AREAS FOR IRRIGATION WATER AND COORDINATE WITH POWER, PHONE AND CABLE ON CONDUIT REQUIREMENTS PRIOR TO BASE INSTALLATION.
- CONTRACTOR TO PROVIDE 4" SLEEVING UNDER PAVED AREAS TO ACCOMMODATE IRRIGATION & COORDINATE WITH LANDSCAPE MAINTENANCE.
- NO LANDSCAPING SHALL BE PLANTED IN SUCH A MANNER AS TO ADVERSELY AFFECT UTILITY INSTALLATION, OPERATION AND MAINTENANCE.

REQUIRED MATERIALS

- PVC WATER LINES SHALL BE IN ACCORDANCE WITH AWWA C900 AND C905 CLASS 235; FOR LINES BETWEEN 4" AND 12" PIPE SCHEDULE SHALL BE DR 18. ALL FITTINGS SHALL BE IN ACCORDANCE WITH AWWA/ANSI C153/A 21.53.06 CLASS 350. ALL PVC LINES SMALLER THAN 4" SHALL BE ASTM D2241, SDR 21, 200 PSI PRESSURE RATING.
- POLYETHYLENE TUBING SHALL BE IN ACCORDANCE WITH AWWA C901 PE 3608 CLASS 200 AND BE SCHEDULE DR 9 FOR POTABLE WATER LINES. POLY SEWER LINES SHALL BE CLASS 160 DR 11.
- GRAVITY SEWER SHALL BE IN ACCORDANCE WITH ASTM D-3034 WITH A SCHEDULE SDR 28 WITH JOINTS IN ACCORDANCE WITH ASTM D-3212. LOW PRESSURE PVC SHALL BE IN ACCORDANCE WITH ASTM D2241 AND 1784 SDR 21 CLASS 200.
- ALL VALVES SHALL BE RESILIENT SEAT GATE VALVES
- CONTRACTOR WILL COORDINATE WITH THE INSTALL OF TRANSFER SWITCH IN ACCORDANCE WITH F.S.S. 526.143 PRE-WIRING FOR ALTERNATE POWER SOURCE TO SUPPLY AND CHARGE FOR FUEL.

CONTRACTOR NOTES

- BEFORE BEGINNING SITE WORK, THE CONTRACTOR IS REQUIRED TO FIELD VERIFY THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES AND OTHER FEATURES. THE CONTRACTOR MAY CONSULT THE UTILITIES OWNER'S RECORD DRAWINGS BUT THE UTILITY OWNER AND THE ENGINEER DO NOT GUARANTEE, BY IMPLICATION OR OTHERWISE, THE ACCURACY OF THE UTILITY OWNER'S RECORD DRAWINGS. THE SITE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR ANY MODIFICATION REQUIRED, OTHER THAN SHOWN ON PLANS.
- CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION TO CONFIRM LOCATIONS OF UTILITY AND STORM DRAINAGE FROM BUILDING. IF ANY SUBSTANTIAL DEVIATIONS FROM THIS PLAN, NOTIFY ENGINEER AND OBTAIN WRITTEN INSTRUCTIONS PRIOR TO START OF CONSTRUCTION.
- PRIOR TO COMMENCEMENT OF UTILITY SITE CONSTRUCTION, THREE COPIES OF SHOP DRAWINGS, IN ADDITION TO ANY COPIES REQUIRED BY THE APPLICANT SHALL BE SUBMITTED TO THE UTILITY DEPARTMENT FOR REVIEW AND APPROVAL.

NO.	DATE	REVISIONS
1	12/20/22	ISSUED FOR PERMITS
2		
3		
4		
5		

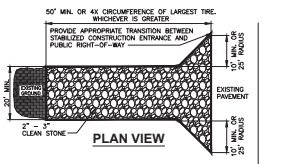
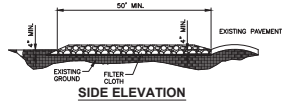
UTILITY PLAN
 CIRCLE K @ NWC S US HWY 301 & SE 132ND STREET TRD
 BELLEVUE MARION, FLORIDA
 ARBOR CAPITAL PARTNERS



THESE PLANS MAY NOT BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM CANALIZ ENGINEERING

NOT VALID UNLESS SIGNED & SEALED BY REGISTERED ENGINEER CAROLIZ LLC CERTIFICATION OF AUTHORIZATION #2008

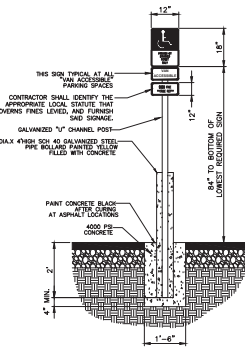




STABILIZED CONSTRUCTION ENTRANCE

CONSTRUCTION SPECIFICATIONS

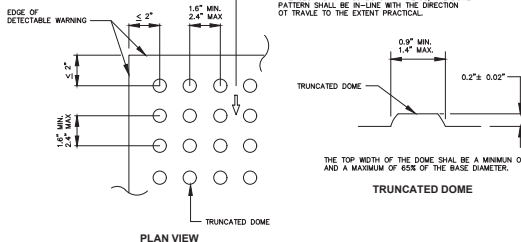
1. STONE - USE COARSE AGGREGATE (2 - 3 INCH STONE).
2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
3. THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH COARSE STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRILLS, SCARDS OR OTHER APPROVED METHODS.
6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MACHINES USED TO TRAVEL SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
7. 12" X 24" METAL GRATE MAY BE USED. GRATE SHALL BE 25' AWAY FROM PAVEMENT AND APPROPRIATE SEDIMENT CONTROL TRAPPING DEVICE SHALL BE USED AT GRATE OUTLET POINT.



HANDICAP SIGN DETAIL

SCALE = NTS

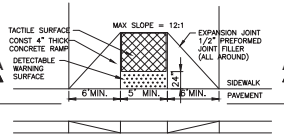
ON RAMPS THAT ARE PERPENDICULAR WITH THE CURB LINE, THE DOME PATTERN SHALL BE IN-LINE WITH THE DIRECTION OF TRAVEL ON RAMPS INTERSECTING WITH CURBS ON A RADIUS, THE DOME PATTERN SHALL BE IN-LINE WITH THE DIRECTION OF TRAVEL TO THE EXTENT PRACTICAL.



TRUNCATED DOME

ALL SIDEWALK CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE RAMP AND IN THE DIRECTION OF TRAVEL 24" (2' MIN) FROM THE BACK OF CURB.

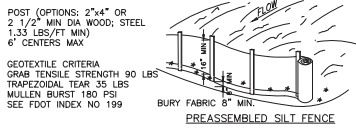
CURB RAMP DETECTABLE WARNING DETAIL



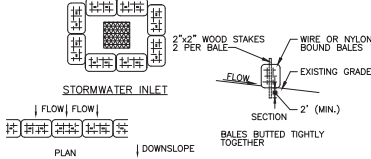
HANDICAPPED RAMP

SCALE = NTS

- NOTES:
1. TACTILE SURFACES SHALL BE CONSTRUCTED BY TEXTURING TO A DEPTH NOT EXCEEDING 1/8" BY USE OF A TAMP OR ROLLER FABRICATED WITH AN IMPRINT SURFACE OF EITHER 1" MESH 0.500 WIRE CLOTH (PLAIN WEAVE, CONVENTIONAL CRIMP), #6 EXPANDED METAL (STANDARD) OR 3 LB. EXPANDED METAL GRATING.
 2. DETECTABLE WARNING SURFACE SHALL BE INSTALLED IN ACCORDANCE WITH F.C.D.O.T. INDEX 802-002 AND A.D.A. STANDARDS, PER F.D.O.T. AND A.D.A. STANDARDS. THE COLOR REQUIREMENTS FOR THE DETECTABLE WARNING SURFACE SHALL PROVIDE A DARK-ON-LIGHT OR LIGHT-ON-DARK CONTRAST BETWEEN THE DETECTABLE WARNING SURFACE AND THE ADJACENT WALKING SURFACE.



PREASSEMBLED SILT FENCE



WIRE OR NYLON BOUND BALES



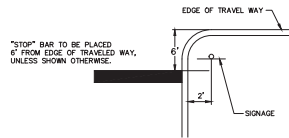
SYNTHETIC SILT BARRIER

EROSION CONTROL/WATER QUALITY MANAGEMENT PRACTICES

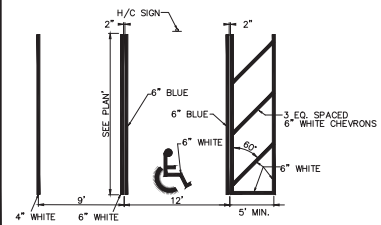
1. THE CONTRACTOR MUST SELECT, IMPLEMENT, AND OPERATE ALL EROSION AND SEDIMENT CONTROL MEASURES REQUIRED TO RETAIN SEDIMENT ON-SITE AND TO PREVENT VIOLATIONS OF WATER QUALITY STANDARDS AS SPECIFIED IN CHAPTERS 17-301, 17-302, 17-4, F.A.C. THE CONTRACTOR IS ENCOURAGED TO USE APPROPRIATE BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL AS DESCRIBED IN THE FLORIDA LAND DEVELOPMENT MANUAL: A GUIDE TO SOUND LAND AND WATER MANAGEMENT (DEP, 1988).
2. THE CONTRACTOR SHALL CONTROL TURBID RUNOFF FROM THE PROJECT BY ROUGH EXCAVATING THE PROPOSED RETENTION AREAS IMMEDIATELY FOLLOWING CLEARING AND GRADING OPERATIONS. ALL DRAINAGE DISCHARGE SHALL BE DIRECTED TO THESE AREAS) FOR SETTLING PRIOR TO DISCHARGE OFF-SITE.
3. THE CONTRACTOR SHALL INSTALL WATER QUALITY CONTROL DEVICES ALONG THE SITE PERIMETER AS DETERMINED ON THESE PLANS. THE CONTRACTOR SHALL RECEIVE THE ENGINEER'S APPROVAL OF THE INSTALLATION PRIOR TO ANY OTHER SITE CONSTRUCTION.
4. ALL EROSION CONTROL/WATER QUALITY DEVICES SHALL BE IN ACCORDANCE WITH SECTION 104 OF THE LATEST EDITION OF THE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SILT FENCES, SYNTHETIC BALES, AND/OR TURBIDITY BARRIERS SHALL BE INSTALLED AT ALL OFF-SITE DISCHARGE POINTS. ALL EROSION CONTROL/WATER QUALITY DEVICES SHALL BE LEFT IN PLACE UNTIL THE DISTURBED AREAS ARE COMPLETELY STABILIZED AND/OR VEGETATED.
5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SOIL MOISTURE TO PREVENT WIND-GENERATED SOIL EROSION. ALL SURFACES 30 OR MORE DAYS SHALL BE VEGETATED WITH A TEMPORARY OR PERMANENT COVER.
6. REFER TO FOOT SPECIFICATIONS, SECTION 104 FOR EROSION CONTROL STANDARDS.

EROSION CONTROL DETAIL

SCALE = NTS

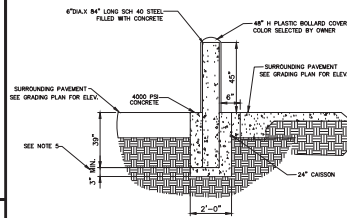


STOP BAR DETAIL WITH SIGNAGE



ADA PARKING STALL DETAIL

(NOT TO SCALE)

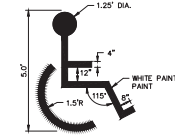


TYPICAL BOLLARD DETAIL

SCALE = NTS

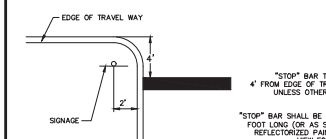
NOTES:

1. CONCRETE MUST BE MINIMUM 4000 PSI COMPRESSIVE STRENGTH WITH FIBER MESH REINFORCEMENT.
2. PROVIDE PLASTIC BOLLARD COVER. COVER TO BE IDEASHIELD (OR APPROVED EQUAL) IF THICK BROWN (P0-440), 6" PIPE FITMENT, WITH DOME TOP, 48" TALL.
3. DESIGN PARAMETERS:
a. 20 MPH
b. 5,000 LB VEHICLE
c. USE SIGNATURE IN SANDY OR OTHER SOILS THAT MIGHT CAVE IN.
4. INCREASE DEPTH OF CASSON BELOW FREE TO MEET LOCAL JURISDICTION MIN. PROSD. DEPTH REQUIREMENT. PIPE CAN STAY AT 39" BELOW PAVEMENT.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY NO UTILITY CONFLICTS EXIST WHERE BOLLARDS ARE TO BE INSTALLED. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS AND AWAIT WRITTEN INSTRUCTIONS PRIOR TO INSTALLATION.



HANDICAP PAVEMENT SYMBOL DETAIL

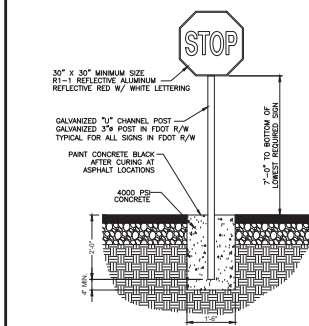
SCALE = NTS



STOP BAR DETAIL WITH SIGNAGE

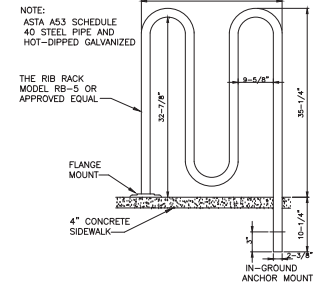
SCALE = NTS

- "STOP" BAR TO BE PLACED 6" FROM EDGE OF TRAVELED WAY, UNLESS SHOWN OTHERWISE.
- "STOP" BAR SHALL BE 24" WIDE AND 12' FOOT LONG, OR AS SHOWN. WHITE REFLECTORIZED PAINT. (SEE PLAN VIEW FOR LOCATIONS)



STOP SIGN DETAIL

SCALE = NTS



BICYCLE RACK DETAILS

NOTE: ASTA A53 SCHEDULE 40 STEEL PIPE AND HOT-DIPPED GALVANIZED

- THE RIB RACK MODEL RB-5 OR APPROVED EQUAL
- FLANGE MOUNT
- 4" CONCRETE SIDEWALK
- IN-GROUND ANCHOR MOUNT

DESIGNED BY	DATE	CHECKED BY	DATE
DRAWN BY	DATE	SCALE	NTS
PROJECT NUMBER	121022	REVISIONS	
CUSTOMER	ENTON		
SHEET NUMBER	1	TOTAL SHEETS	1

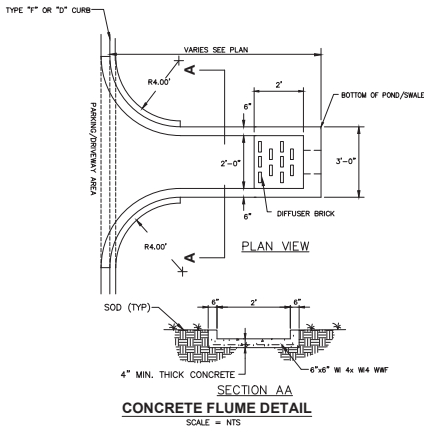
SIGN, PARKING & EROSION CONTROL DETAILS
 CIRCLE K @ NWC S US HWY 301 & SE 132ND STREET RD
 MARION COUNTY, FLORIDA
 ARBOR CAPITAL PARTNERS

Engineering Consultants
 PO Box 450066
 Ft. Lauderdale, Florida 33475
 Phone: (954) 738-0799 Fax: (954) 346-7552

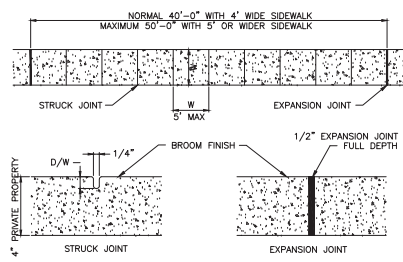
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SEAL

SHEET NUMBER



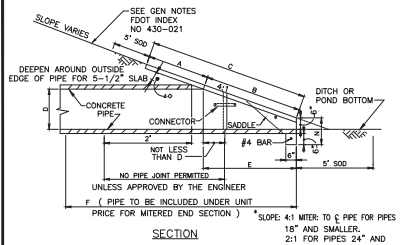
**SECTION AA
CONCRETE FLUME DETAIL**
SCALE = NTS



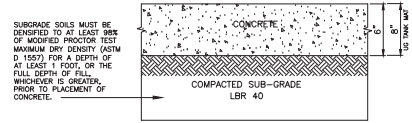
TYPICAL SIDEWALK
SCALE = NTS

- NOTES:
1. SIDEWALK EXPANSION JOINTS TO BE AT ALL TIES TO CONCRETE OTHER THAN DRIVEWAYS. MAXIMUM SPACING SHALL BE 60'.
 2. EXPANSION JOINT MATERIAL SHALL BE ASPHALT FIBER IMPREGNATED PREFORMED JOINT FILLER, TO FILL DEPTH OF CONCRETE.

D	X	A	B	C	E	F	G	H	M				
									SINGLE PIPE	DOUBLE PIPE	TRIPLE PIPE	QUAD PIPE	
15"	2'-7"	2.27	4.88	6.36	4.03	8'	1.22	4.00	4.43	7.21	8.79	12.37	11.9'
18"	2'-10"	2.36	5.12	7.48	5.03	9'	1.41	4.00	4.92	7.70	10.56	13.42	12.9'
24"	3'-2"	2.52	7.18	9.71	7.03	11'	1.73	4.00	5.00	8.92	12.33	15.72	15.2'
30"	4'-3"	2.70	9.25	11.95	9.03	13'	2.00	4.00	6.08	10.33	14.58	18.83	17.9'



TYPICAL CONCRETE PAVEMENT DETAIL
SCALE = NTS

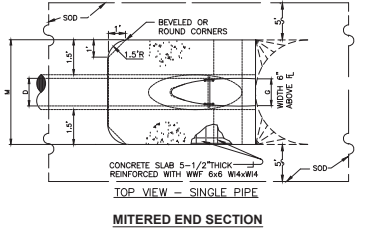


SUBGRADE SOILS MUST BE DESIGNED TO AT LEAST ONE OF MODIFIED PROCTOR TEST MAXIMUM DRY DENSITY (ASTM D 1557) FOR A DEPTH OF AT LEAST 1 FOOT, OR THE FULL DEPTH OF FILL, WHICHEVER IS GREATER, PRIOR TO PLACEMENT OF CONCRETE.

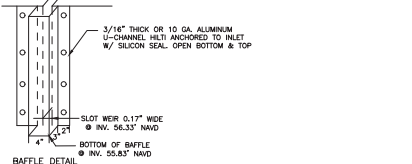
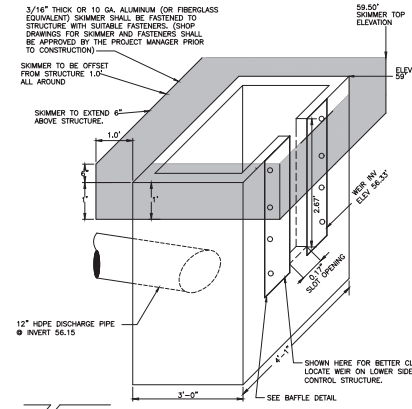
GENERAL CONTRACTOR SHALL PROVIDE CONCRETE AT TRASH ENCLOSURE AND APRON AS FOLLOWS:

MINIMUM 3,000 PSI COMPRESSIVE STRENGTH CONCRETE WITH FIBER REINFORCEMENT, MINIMUM MODULUS OF RUPTURE OF 600 PSI

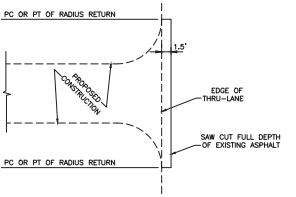
TYPICAL CONCRETE PAVEMENT DETAIL
SCALE = NTS



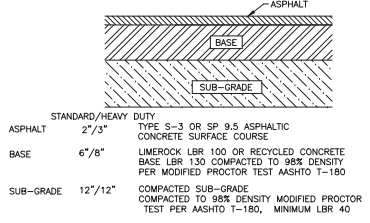
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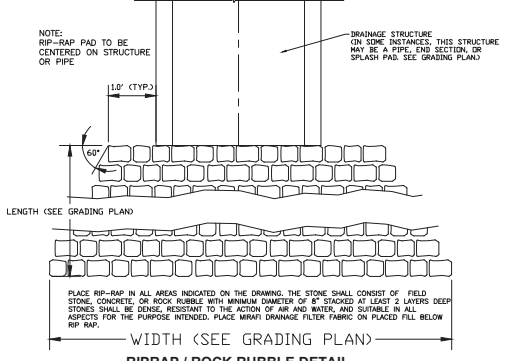
**DS-4
F.D.O.T. INDEX No. 425-052
MODIFIED TYPE "C" INLET
OUTFALL CONTROL STRUCTURE**
SCALE = NTS



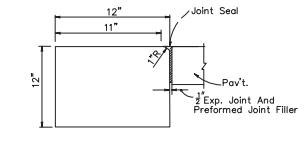
PAVEMENT CONNECTION DETAIL AT EXISTING AISLES & DRIVEWAYS
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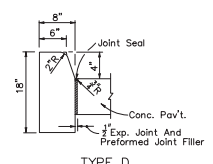
TYPICAL PAVEMENT SECTION
SCALE = NTS



RIPRAP / ROCK RUBBLE DETAIL
SCALE = NTS



CONC. FLUSH HEADER CURBS
SCALE = NTS



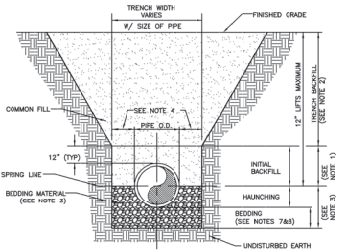
**TYPE D
PER FOOT INDEX 520-001
CONCRETE CURBS**
SCALE = NTS

NO.	REVISIONS	DATE	BY	CHKD.	SCALE	NTS
1						
2						
3						
4						
5						

PAVING AND DRAINAGE DETAILS
CIRCLE K @ NWC S US HWY 301 & SE 132ND STREET RD
MARION COUNTY, FLORIDA
ARBOR CAPITAL PARTNERS



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SEAL
NOT VALID UNLESS SIGNED & STAMPED BY A REGISTERED ENGINEER - CERTIFICATE NO. 12345
CERTIFICATION OF AUTHORIZATION NO. 2000

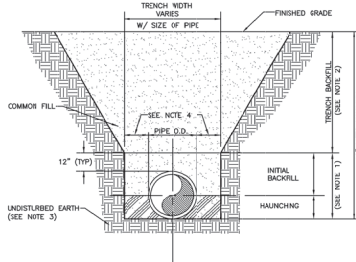


- NOTES:**
1. INITIAL BACKFILL: COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 3. BEDDING MATERIAL SHALL CONFORM TO FDOT NO. 37 AGGREGATE.
 4. 15" MAX. (12" MIN.) FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX. (12" MIN.) FOR PIPE DIAMETER 24" AND LARGER.
 5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 6. ALL PIPE TO BE INSTALLED WITH BELLY FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 7. BEDDING DEPTH SHALL BE 4" MINIMUM FOR PIPE DIAMETER UP TO 12" AND 6" MINIMUM FOR PIPE DIAMETER 12" AND LARGER.
 8. DITCHES FOR REMOVAL OF UNSUBSIDIABLE MATERIAL SHALL GOVERN DEPTH OF BEDDING ROCK BELOW THE PIPE. UTILITIES SHALL DETERMINE IN THE FIELD REQUIRED REMOVAL OF UNSUBSIDIABLE MATERIAL TO REACH SUITABLE FOUNDATION.
 9. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN MARION COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.
 10. ONE COMPACTION TEST SHALL BE REQUIRED FOR EACH LIFT NOT TO EXCEED 200'.

	MARION COUNTY FLORIDA UTILITIES	MARION COUNTY FLORIDA UTILITIES	MARION COUNTY FLORIDA UTILITIES	MARION COUNTY FLORIDA UTILITIES	MARION COUNTY FLORIDA UTILITIES
	MARION COUNTY FLORIDA UTILITIES	MARION COUNTY FLORIDA UTILITIES	MARION COUNTY FLORIDA UTILITIES	MARION COUNTY FLORIDA UTILITIES	MARION COUNTY FLORIDA UTILITIES

BEDDING AND TRENCHING 1

7.3.2	LT
	102

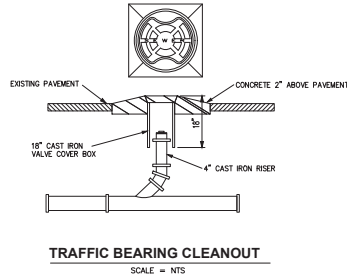


- NOTES:**
1. INITIAL BACKFILL AND HAUNCHING: SELECT COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 3. PIPE BEDDING UTILIZING: SELECT COMMON FILL OF BEDDING ROCK IN ACCORDANCE WITH BEDDING AND TRENCHING (1) DETAIL. DETAIL MAY BE REQUIRED AS DIRECTED BY MCO.
 4. 15" MAX. (12" MIN.) FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX. (12" MIN.) FOR PIPE DIAMETER 24" AND LARGER.
 5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
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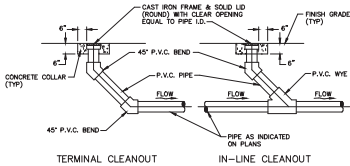
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BEDDING AND TRENCHING 2

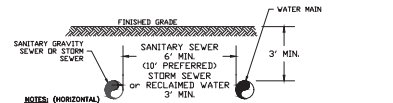
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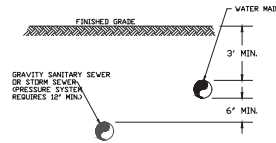
TRAFFIC BEARING CLEANOUT
SCALE = NTS



CLEANOUT DETAIL IN UNPAVED AREA
SCALE = NTS

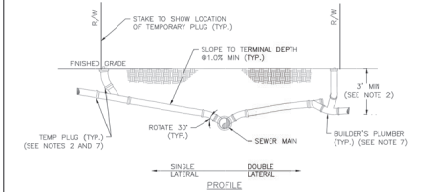
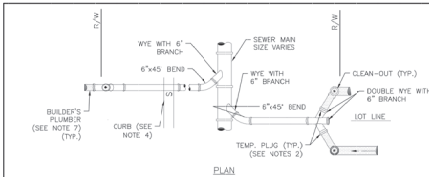


- NOTES: (HORIZONTAL)**
1. A MINIMUM SEPARATION OF SIX (6) FEET, OUTSIDE TO OUTSIDE, SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY GRAVITY SEWER LINES.
 2. A MINIMUM HORIZONTAL SEPARATION OF THREE (3) FEET, OUTSIDE TO OUTSIDE, SHALL BE MAINTAINED BETWEEN WATER MAINS AND RECLAIMED WATER LINES CARRYING UNRESTRICTED PUBLIC ACCESS REUSE WATER AND STORM SEWER LINES.



3. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND SANITARY GRAVITY SEWERS SHALL BE REDUCED TO THREE FEET (3') WHEN THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX (6) INCHES (6") ABOVE THE TOP OF THE SEWER 668-555314(2C).

UTILITY PIPE MINIMUM SEPARATION



- NOTES:**
1. INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
 2. WYE TO BE NO SHALLOWER THAN 3'-FEET AND NO DEEPER THAN 5'-FEET.
 3. ALL FITTINGS SHOWN ARE TO BE INSTALLED.
 4. SERVICE CONNECTIONS SHALL BE PERMANENTLY MARKED BY ETCHING OR STAMPING AN "X" IN THE CURB DIRECTLY OVER THE LATERAL, WHERE NO CURB EXISTS, LOCATION SHALL BE MARKED BY PLACEMENT OF ADHESIVE REFLECTIVE MARKERS AS SPECIFIED BY MCO.
 5. BUILDER'S PLUMBER WILL REMOVE PLUGS, INSTALL CLEANOUT, AND CONNECT SERVICE LATERAL TO HOUSE.
 6. CLEANOUT SHALL BE INSTALLED AT THE PROPERTY LINE AND SET A MINIMUM OF 2" ABOVE THE FINISHED GRADE.
 7. DURING CONSTRUCTION SERVICE LATERAL AND CLEANOUTS SHALL BE STUBBED OUT A MINIMUM OF 1" AND SHALL BE CAPPED BY DEVELOPER'S SITE-WORK CONTRACTOR UNTIL PROPERTY IS DEVELOPED AND CONNECTION TO CENTRAL SEWER IS MADE.

	MARION COUNTY FLORIDA UTILITIES	MARION COUNTY FLORIDA UTILITIES	MARION COUNTY FLORIDA UTILITIES	MARION COUNTY FLORIDA UTILITIES	MARION COUNTY FLORIDA UTILITIES
	MARION COUNTY FLORIDA UTILITIES	MARION COUNTY FLORIDA UTILITIES	MARION COUNTY FLORIDA UTILITIES	MARION COUNTY FLORIDA UTILITIES	MARION COUNTY FLORIDA UTILITIES

SEWER SERVICE LATERAL

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	312

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CHECKED BY	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE
APPROVED BY	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE

UTILITY DETAILS
CIRCLE K @ NWC S US HWY 301 & SE 132ND STREET TRD
MARION COUNTY, FLORIDA
ARBOR CAPITAL PARTNERS

Engineering Consultants
PO Box 450066
Kalamo, Florida 34745
Phone: (407) 738-1978 Fax: (407) 348-7552

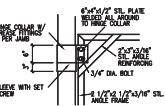
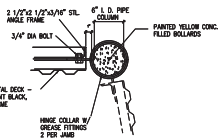
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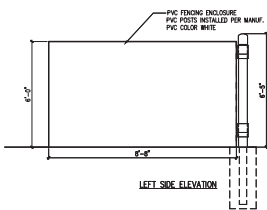
SHEET NUMBER

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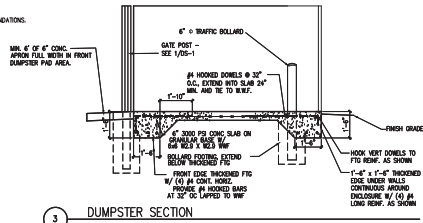


TYPICAL PVC PANEL COLOR WHITE

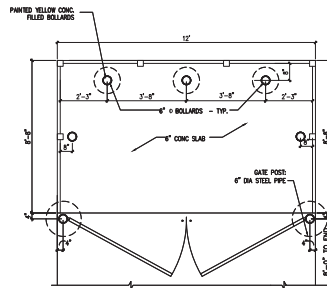
2 HARDWARE DETAILS
NTS



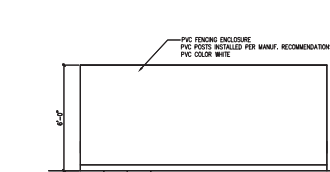
LEFT SIDE ELEVATION



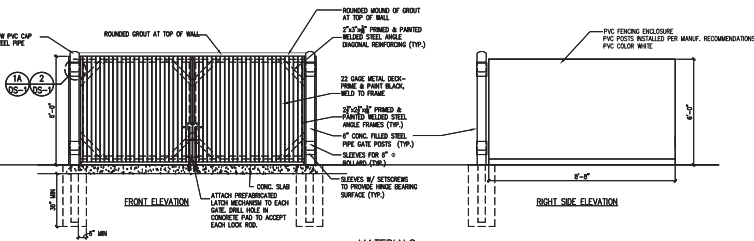
3 DUMPSTER SECTION



FRONT ELEVATION



REAR ELEVATION



1 DUMPSTER PLAN & ELEVATIONS
NTS

GENERAL NOTES

1. 6" DIA. STEEL POSTS SHALL BE SET A MINIMUM OF 36" INTO CONCRETE.
2. DUMPSTER ENCLOSURE CONSTRUCTION TO MATCH BUILDING CONSTRUCTION, U.S.A.C.
3. CONCRETE STRENGTH: FT = 3000 PSI, MIN. SLUMP = 3" FOR SLABS AND FORMING.
4. REINFORCING STEEL: ASTM A618, GRADE 60.
5. DESIGN IN ACCORDANCE WITH FLORIDA BUILDING CODE, 6TH EDITION, 2023.
6. PVC FENCING TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATION FOR MINIMUM WIND LOAD RESISTANCE PER IRC 6TH EDITION, 2023.

MATERIALS:

1. ALL MASONRY TO MATCH BUILDING & COLOR COORDINATED TO BE CONSISTENT WITH BUILDING COLORS.

NOTE:

SJRWMD AND THE COUNTY SHOULD BE NOTIFIED AFTER FEATURES ARE OBSERVED, AND THE ACTUAL REMEDIATION PLAN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO REPAIR BASED ON SPECIFIC SITE VISIT.

SINKHOLE REPAIR DETAIL

SCALE = NTS

PERSON/DATE	REVISION	DATE

MISCELLANEOUS DETAILS
 CIRCLE K @ NWC S US HWY 301 & SE 132ND STREET RD
 MARION COUNTY, FLORIDA
 ARBOR CAPITAL PARTNERS

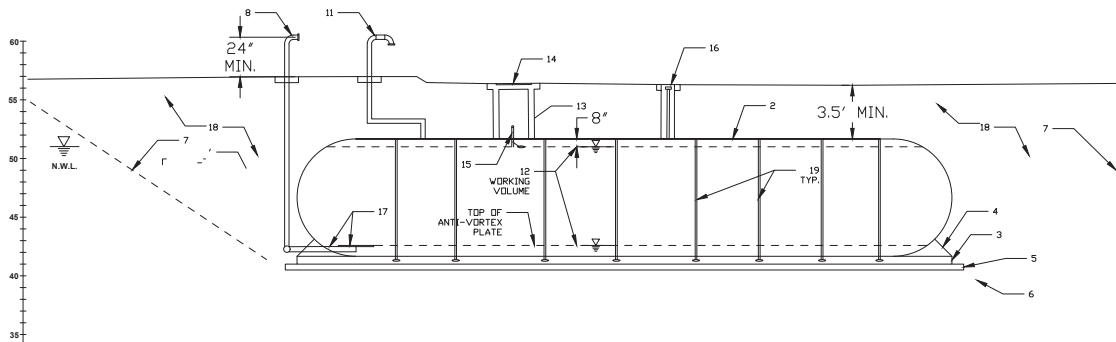


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SHEET NUMBER

11



GENERAL FIRE TANK & DRY HYDRANT ASSEMBLY NOTES

GENERAL FIRE TANK & DRY HYDRANT ASSEMBLY NOTES:

- UNDERGROUND FIRE WATER STORAGE TANK (TANK) SHALL BE FIBER REINFORCED PLASTIC (FRP) SINGLE WALL CONSTRUCTION AT MANUFACTURED BY VERTEX OR EQUIVALENT. TANK SHALL HAVE A WORKING VOLUME OF 27,000 GALLONS AS SHOWN ON THE DRAWINGS. WORKING VOLUME IS THE NET VOLUME AVAILABLE AFTER SUBTRACTING OUT THE VOLUME FROM THE TOP OF THE VORTEX PLATE DOWN AND 8" DOWN FROM THE TOP OF THE TANK (MAXIMUM WATER LEVEL). THE TANK SHALL HAVE THE FOLLOWING AMENITIES:
 - FRP CONSTRUCTION, 12" NOMINAL DIAMETER SINGLE WALL TANK, LENGTH AS REQUIRED FOR REQUIRED WORKING VOLUME
 - 4" FLANGED VENT NOZZLE
 - FRP MANWAY WITH EXTENSION TO FINISH GRADE
 - FRP LADDER ATTACHED AND MEETING SAFETY STANDARDS
 - 4" NPT SERVICE FITTING RISER PIPE, 4" FILL WITH CAM-LOCK CONNECTION AND 16" ROUND MANHOLE
 - E-FRAME AND COVER, COMPLETE AND ADAPTED TO GRADE
 - HOLD DOWN STRAP AND TURNBUCKLE ASSEMBLY THAT CAN BE CAST INTO CONCRETE SLAB. STRAP SHALL BE FRP OR STAINLESS STEEL. TURN BUCKLE ASSEMBLY AND ANCHOR SHALL BE STAINLESS STEEL. HOLD DOWN ASSEMBLY SHALL BE RATED FOR EMPTY TANK AND BUILT TO FINISH GRADE, RESPECT TO LOADS WITH 80% SOIL CONCENTRATION AND A SAFETY FACTOR OF 2.0.
 - REMOTE LEVEL INDICATOR
- CONCRETE FOR ANCHOR SLAB SHALL BE 3000 PSI, 4" AGGREGATE, 4" SLUMP, AND MAY HAVE UP TO 12% FLY ASH. REBAR SHALL BE ASTM A615, 60 KSI STEEL. REINFORCEMENT SHALL BE 40 BAR AT 12" O.C. IN X, WITH 3" CLEAR CONCRETE COVER FROM BOTTOM. TANK ANCHORS SHALL BE REINFORCED IN PLACE FOR THE CONCRETE POUR. BIF SHALL NOT BE WELDED TO THE REBAR. CAPTURED PORTIONS OF THE STAINLESS STEEL TURN BUCKLE ASSEMBLY SHALL BE WRAPPED WITH ELECTRICIANS OR PLUMBERS TAPE BEFORE BACKFILLING. GROUT SPACE BETWEEN TOP OF ANCHOR SLAB UP 24" ABOVE.
- TANK FILL SYSTEM SHALL BE 1" PIPE. PIPE FILL ASSEMBLY SHALL BE INSTALLED IN THE MANWAY. UNDERGROUND PIPING SHALL BE SCHEDULE 40 PVC. EXPOSED PIPING AND PIPING IN THE MANWAY SHALL BE GALVANIZED STEEL. PIPING IN THE MANWAY SHALL CONSIST OF ELBOW, BALL VALVE, UNION, PIPE EXTENSION INTO THE TANK AND BALL COCK ASSEMBLY SET AT ELEVATION AS CALLED FOR ON THE PLANS. FILL ASSEMBLY SHALL BE MOUNTED TO THE MANWAY WITH UNRESTRICTED SUPPORTS. FILL ASSEMBLY SHALL BE REMOVABLE FROM THE SURFACE BY UNDOING THE UNION AND STRAPPING HOLDING THE PIPE TO THE UNRESTRICT SUPPORT.
- DRY HYDRANT ASSEMBLY SHALL BE CONSTRUCTED OF FLANGED CLASS 350 DUCTILE IRON OR EQUIVALENT WELDED STEEL PIPE. PIPING FROM THE TANK SHALL BE AS SHOWN ON THE DRAWINGS. PIPING SHALL EXTEND MINIMUM 24" ABOVE FINISH GRADE AND SHALL TERMINATE WITH ELBOW AND 4.5" FIRE CONNECTION (NPT) MALE. PIPE SHALL BE RESTRAINED AT GRADE WITH A 3"x3" CONCRETE SLAB. GUARD POSTS SHALL BE LOCATED AS SHOWN ON THE DRAWINGS. INSTALL PLASTIC ALL WEATHER SIGN WITH THE FOLLOWING INFORMATION ON IT:

FRP HYDRANT
STORAGE CAPACITY = 27,000 GAL
AVAILABLE SITE PRESSURE = 5.65 PSI
- THIS INFORMATION SHALL ALSO BE STAMPED INTO THE CONCRETE SLAB OR ON A BRASS PLATE ANCHORED TO THE CONCRETE.
- THE 4" FILL PIPE SHALL BE TERMINATED WITH A 4" FILL WITH CAM LOCK CONNECTION IN A 16" ACCESS VAULT OR MANHOLE WITH H-20 RATED COVER, ADAPTED TO FINISH GRADE.
- THE 16" MANWAY WITH AN H-20 RATED FLAT IRON FRAME AND COVER 10FT IN LENGTH AND ADJUSTED TO FINISH GRADE. CAST IRON COVER SHALL BE 30"x24" CONCENTRIC RING COVER.
- VENT PIPING SHALL BE 4" FLANGED PVC SCHEDULE 40 PVC. VENT PIPING SHALL BE EXTENDED A MINIMUM 24" ABOVE GRADE WITH 180 DEGREE RETURN. TERMINATE WITH BUNG FLANGE WITH HOLE DRILLED TO MATCH HOSE PIPE DIAMETER. SANDWICH STAINLESS STEEL 1/4" MESH WITH STAINLESS STEEL BUG SCREEN MESH BETWEEN FLANGES. CONSTRUCT 18"x18"x6" CONCRETE SLAB AT BASE OF VENT. PAINT ABOVE GROUND PIPING WITH TWO COATS OF PAINT, COLOR AS SELECTED BY OWNER.

CONSTRUCTION NOTES ON THIS SHEET

- CONSTRUCT 1" WATER LINE TO FIRE WATER STORAGE TANK
- CONSTRUCT FRP FIRE WATER STORAGE TANK
- CONSTRUCT CONCRETE ANCHOR SLAB, 12"x36"x8" THICK, OF REINFORCE CONCRETE
- CONSTRUCT GROUT TANK SUPPORT BACK FILL UP MINIMUM 24"
- CONSTRUCT 6" OF AGGREGATE BASE COURSE COMPACTED TO 90% STD. PROCTOR (TYP)
- NATIVE SOIL DEWATERED TO MINIMUM 24" BELOW GRADE AND COMPACTED TO 90% STD. PROCTOR (TYP)
- SHORE OR CONSTRUCT STABLE SLOPE OUT AS REQUIRED BY INDUSTRIAL SAFETY ORDERS
- CONSTRUCT DRY HYDRANT ASSEMBLY WITH CONCRETE SLAB
- CONSTRUCT DRY HYDRANT SIGN
- CONSTRUCT GUARD POSTS
- CONSTRUCT 4" VENT ASSEMBLY
- CONSTRUCT 12" VERTEX MANUFACTURE'S CALCULATIONS SHOWING THE TANK PROVIDED WILL PROVIDE THE REQUIRED WORKING VOLUME.
- CONSTRUCT FRP MANWAY EXTENSION
- CONSTRUCT MANHOLE COVER WITH CONCRETE RING AND CAST IRON FRAME AND COVER
- CONSTRUCT 1" FILL WATER ASSEMBLY IN MANWAY
- CONSTRUCT 4" FILL ASSEMBLY IN VAULT OR MANHOLE
- CONSTRUCT VORTEX PLATE AND DRY HYDRANT ASSEMBLY
- CONSTRUCT BACK FILL OF CLEAN SOIL COMPACTED TO 90% STD. PROCTOR (TYP). BENCH BACKFILL INTO EXCAVATION SIDE SLOPES.
- CONSTRUCT STAINLESS STEEL TE-DOWNS.

NFPA 1142 2022 EDITION

$$W_s = V_s / OHC \times CC$$

W_s = "WATER SOURCE VOLUME"
 V_s = "TOTAL VOLUME"
 OHS = "OCCUPANCY HAZARD CLASSIFICATION"
 CC = "CONSTRUCTION CLASSIFICATION"

$$V_s = 56,850 \quad OHC = \text{SERVICE STATION} = 6 \quad CC = 0.75$$

THEREFORE WATER SOURCE VOLUME IN GALLONS SHOULD BE MINIMUM 7,106 GAL.

NO.	REVISION	DATE	BY	CHKD BY
1				
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5				

FIRE SUPPLY TANK
 CIRCLE K @ NWC S US HWY 301 & SE 132ND STREET RD
 MARION COUNTY, FLORIDA
 ARBOR CAPITAL PARTNERS



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 CERTIFICATION OF AUTHORIZATION # 2000

SHEET NUMBER

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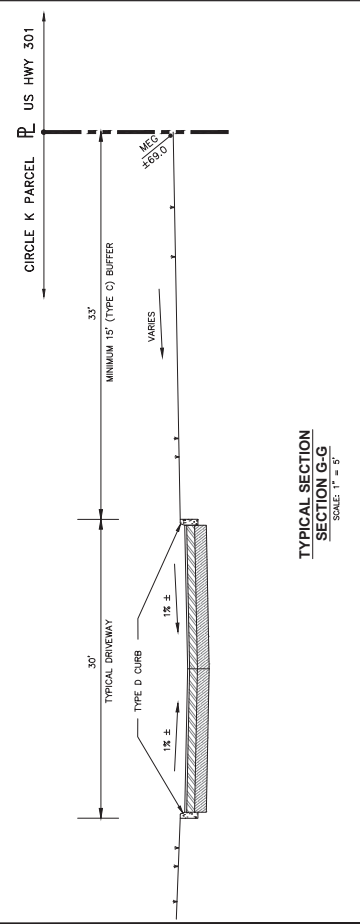
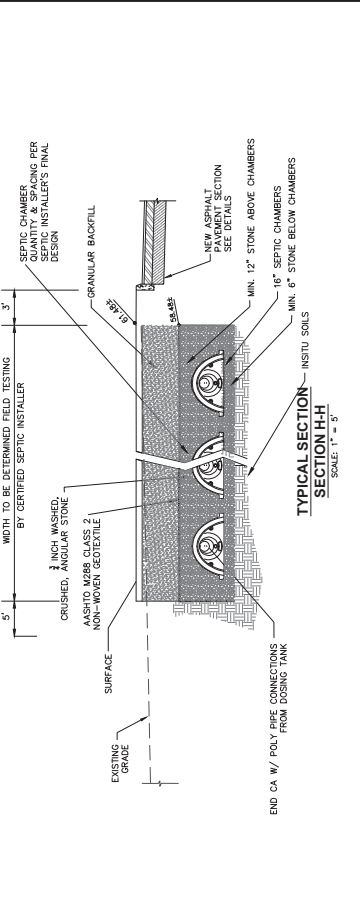
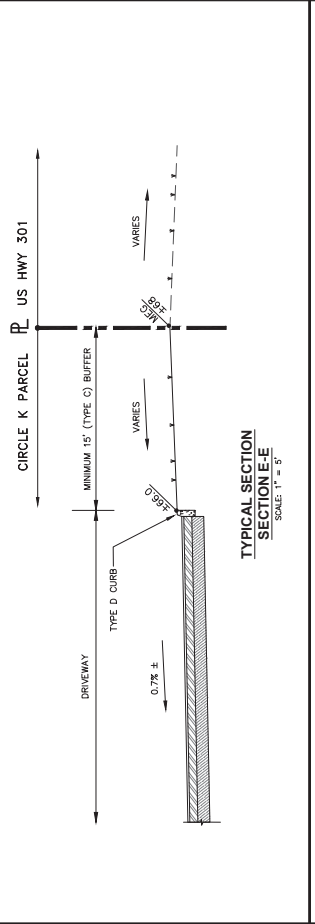
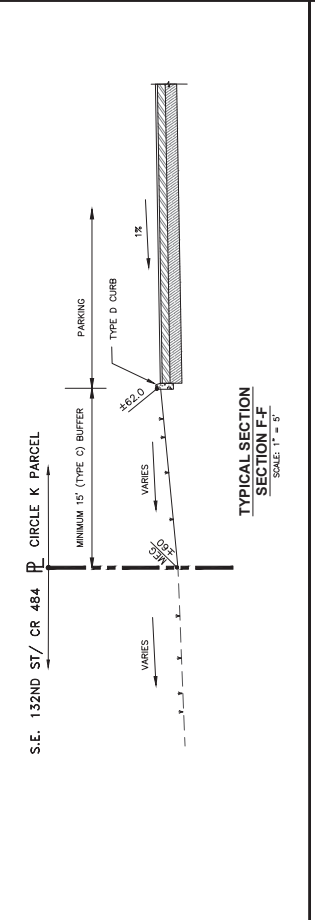
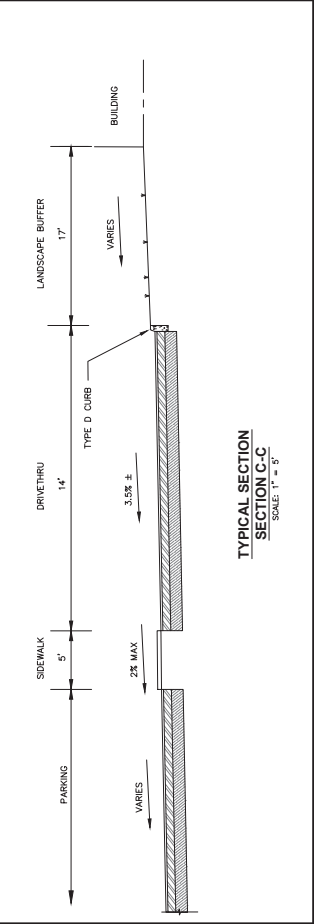
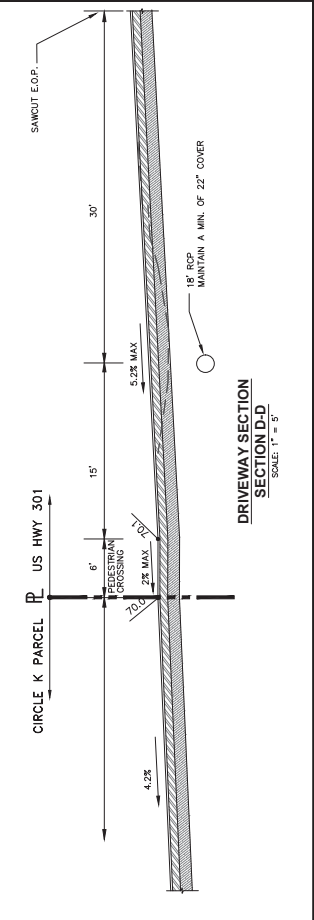
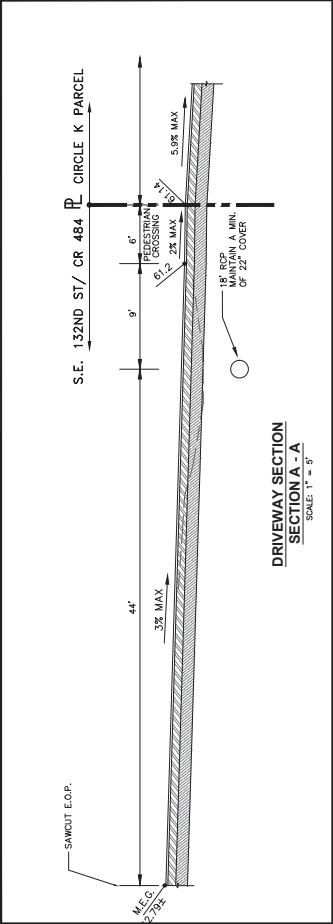
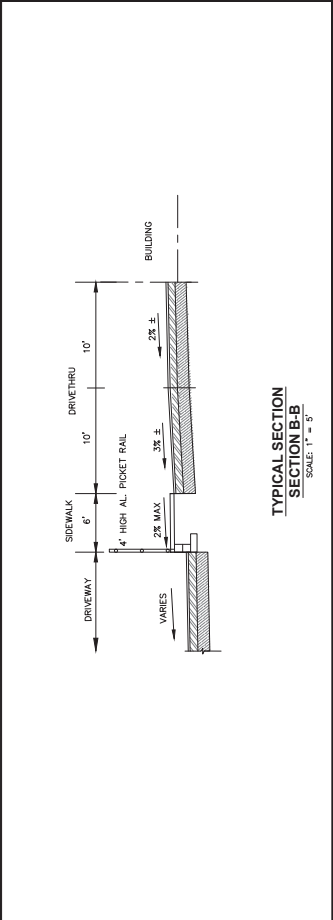
CROSS SECTIONS AND DETAILS
 CIRCLE K @ NWC S US HWY 301 & SE 132ND STREET RD
 MARION COUNTY, FLORIDA
 ARBOR CAPITAL



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SCALE

NOTES: 1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE SPECIFIED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.



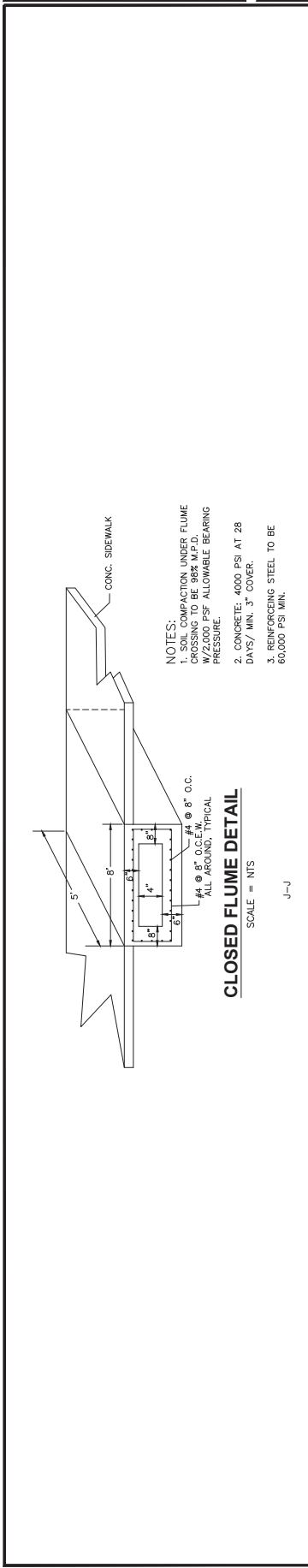
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CROSS SECTIONS AND DETAILS
 CIRCLE K @ NWC S US HWY 301 & SE 132ND STREET RD
 MARION COUNTY, FLORIDA
 ARBOR CAPITAL

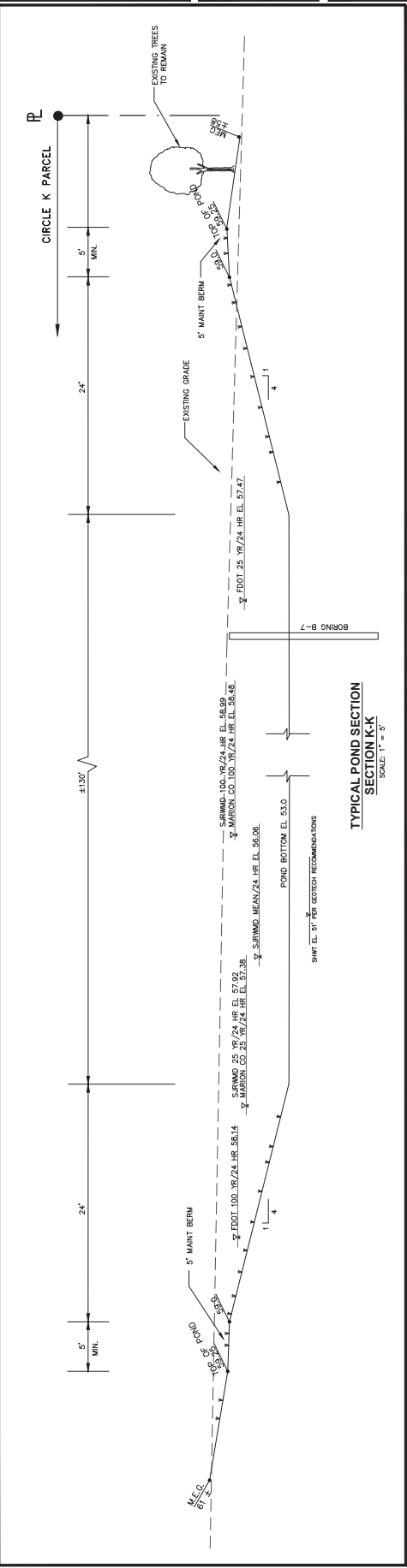
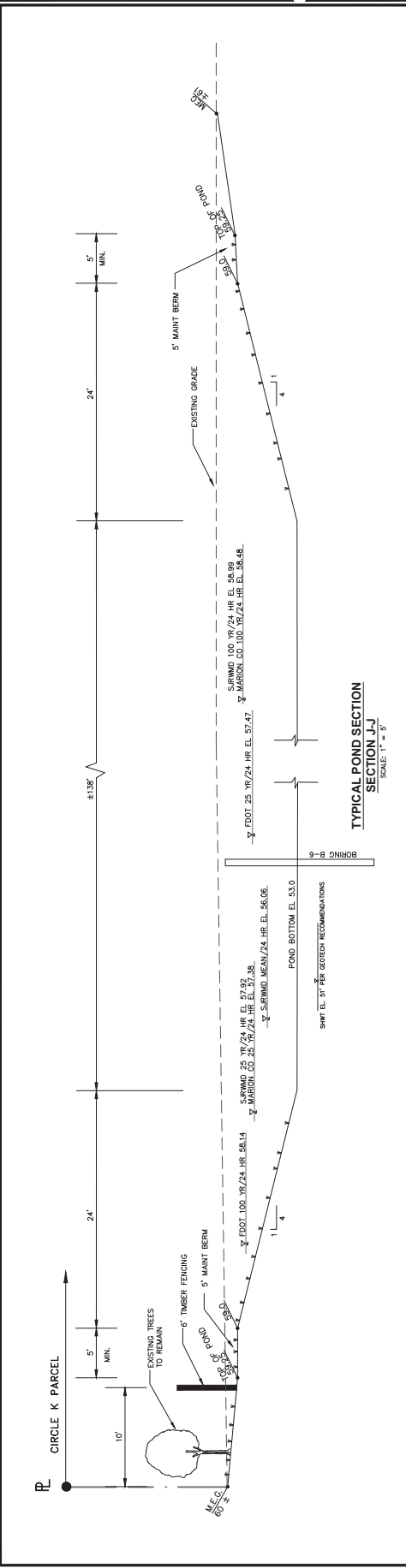
Engineering Consultants
 P.O. Box 450006 • Kissimmee, Florida 34745
 Phone: (407) 728-1779 Fax: (407) 448-7525

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SHEET NUMBER
13



- NOTES:**
1. CONSTRUCTION UNDER FLUME CROSSING TO BE 98% M.P.D. W/2,000 PSF ALLOWABLE BEARING PRESSURE.
 2. CONCRETE: 4000 PSI AT 28 DAYS/ MIN. 3" COVER.
 3. REINFORCING STEEL TO BE 60,000 PSI MIN.



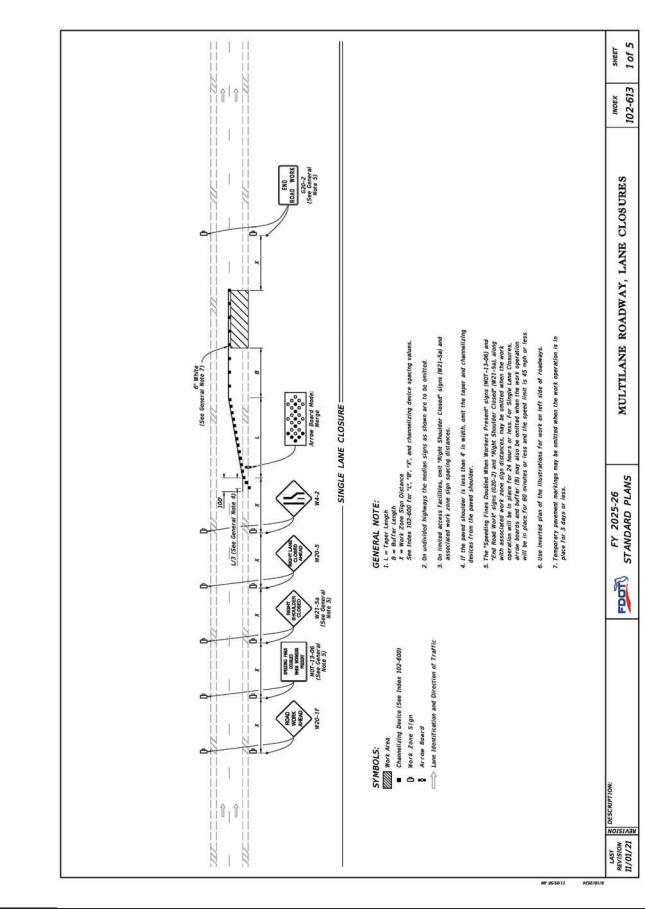
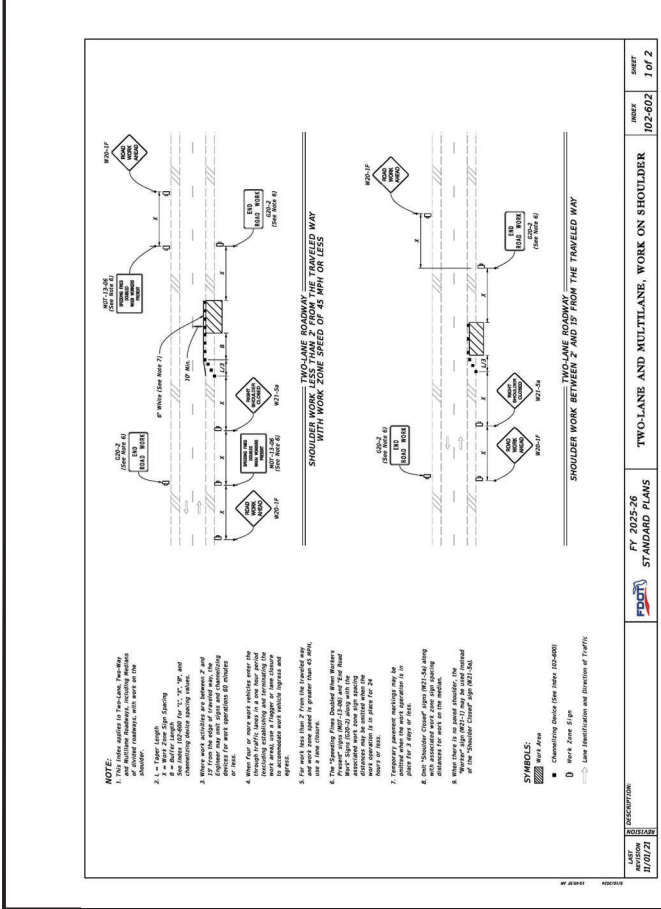
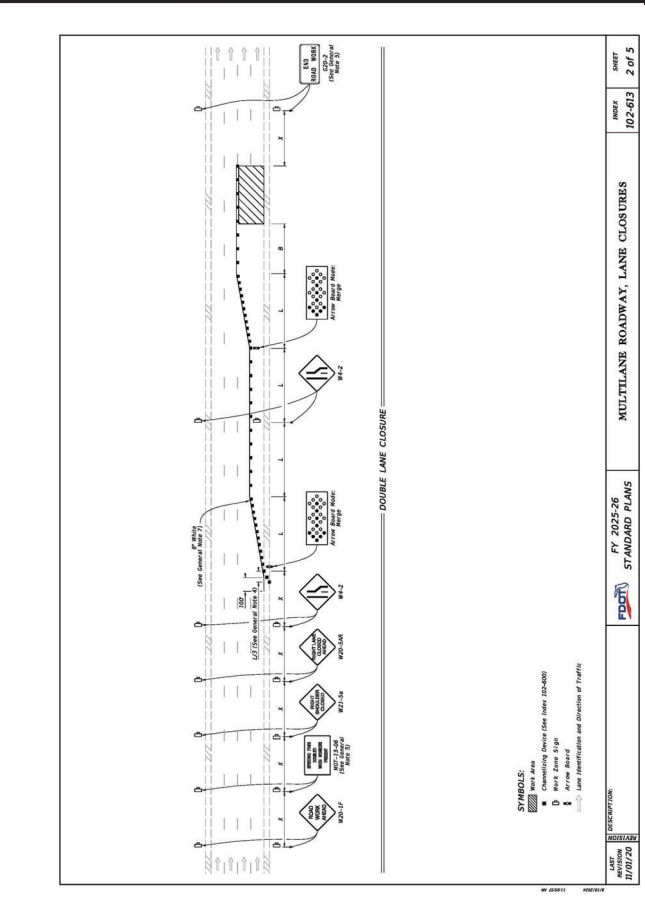
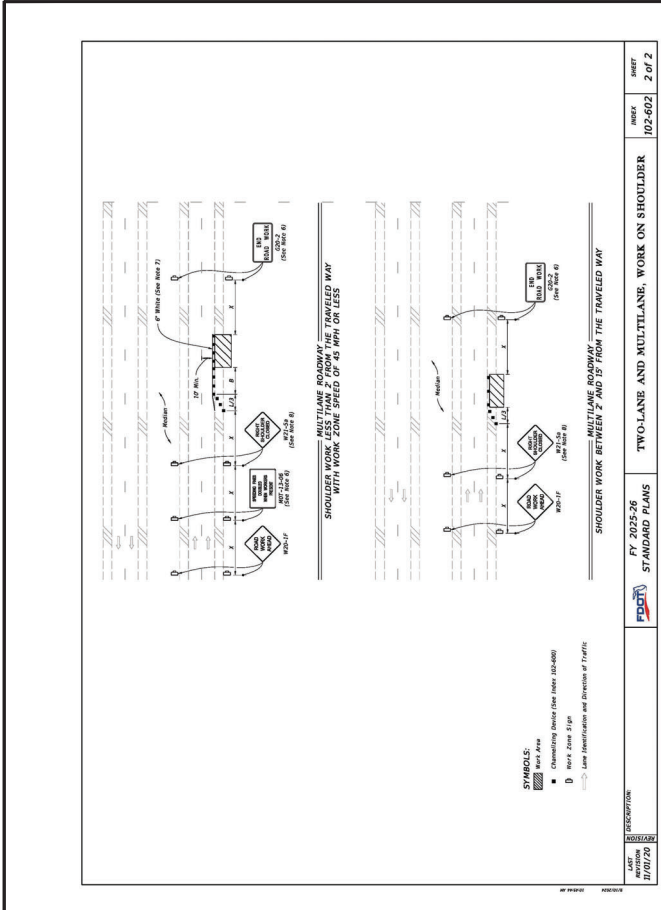
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MOT PLAN
 CIRCLE K @ WVC OF US301 & CR484 BELLEVUE
 MARION COUNTY, FLORIDA
 ARBOR CAPITAL PARTNERS
 Phone: (877) 736-1976 Fax: (877) 468-7552



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MOT 1
 SHEET NUMBER



NOTE:
 1. All work shall be performed in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.00, and the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.01.
 2. All work shall be performed in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.02, and the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.03.
 3. All work shall be performed in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.04, and the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.05.
 4. All work shall be performed in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.06, and the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.07.
 5. For work less than 2' from the traveled way, the contractor shall use a minimum of 2' of shoulder width for the work area.
 6. The temporary traffic control shall be established in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.08, and the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.09.
 7. All work shall be performed in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.10, and the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.11.
 8. All work shall be performed in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.12, and the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.13.
 9. All work shall be performed in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.14, and the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.15.
 10. All work shall be performed in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.16, and the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.17.

GENERAL NOTE:
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 5. All work shall be performed in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.08, and the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.09.
 6. All work shall be performed in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.10, and the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.11.
 7. All work shall be performed in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.12, and the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.13.
 8. All work shall be performed in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.14, and the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.15.
 9. All work shall be performed in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.16, and the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.17.
 10. All work shall be performed in accordance with the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.18, and the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction, 2019 Edition, Section 700.19.