

January 9, 2025

PROJECT NAME: RING POWER EXPANSION

PROJECT NUMBER: 2022030278

APPLICATION: MAJOR SITE PLAN #30211

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.
- 3 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 10/25/23 - add waivers if requested in the future
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
- 5 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: M zoning will require an operating permit
Septic tank and drainfield shown on plan.
Water line will need to be at least 2' from all parts of septic system if schedule 40 pvc.
- 6 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 4.4.4 -Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan.
STATUS OF REVIEW: INFO
REMARKS: Will there be any signage?
- 7 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.27 - Show location of outside storage areas
STATUS OF REVIEW: INFO
REMARKS: Will there be any outside storage?

8 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: Verified with Sunbiz. 3.25.24

IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."



**Marion County
Board of County Commissioners**

AR 30211

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW PLAN APPLICATION

Date: 09/20/2023

A. PROJECT INFORMATION:

Project Name: Ring Power Expansion
Parcel Number(s): 13358-001-00, 13358-000-00, 134448-000-00
Section S25 Township 14S Range 21E Land Use CD Zoning Classification M-2
Commercial Residential Industrial Institutional Mixed Use Other _____
Type of Plan: MAJOR SITE PLAN
Property Acreage 62.03 ac Number of Lots _____ Miles of Roads _____
Location of Property with Crossroads SE intersection of NW 63rd Street and US 301
Additional information regarding this submittal: Proposed construction of a 22,300 s.f building expansion with associated utilities and parking facilities improvements

B. CONTACT INFORMATION (*Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.*)

Engineer:
Firm Name: Kimley-Horn & Associates, Inc. Contact Name: Josh Cockriel, P.E.
Mailing Address: 12740 Gran Bay Parkway West, Suite 2350 City: Jacksonville State: FL Zip Code: 32258
Phone # 904-828-3909 Alternate Phone # _____
Email(s) for contact via ePlans: ocala.permits@kimley-horn.com

Surveyor:
Firm Name: Moorhead Engineering Company Contact Name: Bruce Varnadose
Mailing Address: 305 SE 1st Avenue City: Ocala State: FL Zip Code: 34478
Phone # 352-732-4406 Alternate Phone # _____
Email(s) for contact via ePlans: brucev@meco.us

Property Owner:
Owner: Ring Power Corporation Contact Name: Shane McLaughlin
Mailing Address: 500 World Commerce Parkway City: St Augustine State: FL Zip Code: 32092
Phone # 904-737-7730 Alternate Phone # _____
Email address: shane.mclaughlin@ringpower.com

Developer:
Developer: Ring Power Corporation Contact Name: Shane McLaughlin
Mailing Address: 500 World Commerce Parkway City: St Augustine State: FL Zip Code: 32092
Phone # 904-737-7730 Alternate Phone # _____
Email address: shane.mclaughlin@ringpower.com

Revised 6/2021



MAJOR SITE PLAN FOR RING POWER EXPANSION

FOR RING POWER CORPORATION MARION COUNTY

SECTION 25, TOWNSHIP 14 SOUTH, RANGE 21 EAST

PARCEL ID #'s 13358-001-00, 13358-000-00, & 13448-000-00

JUNE 2024

GENERAL STATEMENT
THE PURPOSE AND CHARACTER OF THE DEVELOPMENT SHALL BE THAT OF THE EXPANSION OF AN EXISTING COMMERCIAL BUILDING.

TRAFFIC:

LEGAL DESCRIPTION:

SURVEY NOTICE:

REFER TO SURVEY DRAWING BY MOOREHEAD ENGINEERING COMPANY FOR BEARINGS & DISTANCES, MONUMENTATION, STATE PLANE COORDINATES, NOTE ON FLOOD ZONE, ETC.

WAIVERS:

SEC 4112 (B), MINIMUM REQUIREMENTS
THE PROPOSED CONSTRUCTION SHALL BE PROVIDED FOR ALL RETENTION/DETENTION AREAS. APPLICANT REQUESTS A WAIVER DUE TO LAND CONTAINING THE TOP OF POND IS GRADED TO ALLOW SHEET FLOW RUNOFF TO CONVEY IN THE POND. THE POND IS DESIGNED TO RETAIN THE DESIGN STORM RUNOFF VOLUME AND PAVES.

APPROVED:

SEC 4112.1, SIDEWALKS

THE PROPOSED SIDEWALKS SHALL BE PROVIDED IN THE URBAN AREA, NEAR ALL ACTIVITY CENTERS, AND SPECIALIZED COMMERCIAL DISTRICTS ALONG ARTERIAL, COLLECTOR, AND MAJOR LOCAL STREETS WHERE THESE STREETS ADJOIN THE PROJECT AND MINIMALLY ALONG ONE SIDE OF THE INTERNAL STREETS. SIDEWALKS SHALL BE CONSTRUCTED WITH ALL-WATHER SURFACES AND SHALL BE A MINIMUM 5 FEET WIDE. FLORIDA BUILDING CODE, AND OTHER DESIGN STANDARDS.
APPLICANT REQUESTS A WAIVER AS THERE IS NO EXISTING SIDEWALKS ALONG NW 40RD ST OR N 15 HWY 441 TO CONNECT ANY PROPOSED SIDEWALK LOCATED WITHIN THE PROJECT PROPERTY SITE.

APPROVE THE WAIVER SUBJECT TO PAYING THE FEE IN LIEU OF A FEE:

SEC 4114.1, FIRE EXITS

EXISTING FIRE EXITS SHALL BE PROVIDED ADJACENT TO OR WITHIN 20 FEET FROM THE BUILDING WALLS AND SHALL EXTEND ALONG AN ENTIRE PERCENT OF THE TOTAL LENGTH OF THE WALL, EXCLUDING THOSE AREAS REQUIRED FOR ACCESS TO THE BUILDING. APPLICANT REQUESTS A WAIVER AS THERE IS A PARKING LOT LOCATED TO THE FRONT OF THE BUILDING AND NO PLAN HAS BEEN PREPARED FOR THE ABILITY TO PLANT 60 PERCENT OF THE BUILDING LENGTH. A 5-FOOT LANDSCAPE BUFFER WILL BE PROPOSED INSTEAD, ON THE OTHER SIDE OF THE ROAD.

APPROVED:

REVIEW THE WAIVER REQUESTABLE TO BE NOT BEING ABLE TO MAKE ANYTHING WITH THE HYDRANTS

EXISTING HYDRANTS SHALL BE PROVIDED ADJACENT TO OR WITHIN 20 FEET FROM THE BUILDING WALLS AND SHALL EXTEND ALONG AN ENTIRE PERCENT OF THE TOTAL LENGTH OF THE WALL, EXCLUDING THOSE AREAS REQUIRED FOR ACCESS TO THE BUILDING. APPLICANT REQUESTS A WAIVER AS THERE IS A PARKING LOT LOCATED TO THE FRONT OF THE BUILDING AND NO PLAN HAS BEEN PREPARED FOR THE ABILITY TO PLANT 60 PERCENT OF THE BUILDING LENGTH. A 5-FOOT LANDSCAPE BUFFER WILL BE PROPOSED INSTEAD, ON THE OTHER SIDE OF THE ROAD.

APPROVED:

REVISION PLEASE CALL ME AT (202) 471-8881 TO BE IN THE OFFICE FOR THE APPROVAL PROCESS

SEC 414.002, Buffers

EXISTING BUFFER AREAS SHALL BE PROVIDED ADJACENT TO OR WITHIN 20 FEET FROM THE BUILDING WALLS AND SHALL EXTEND ALONG AN ENTIRE PERCENT OF THE TOTAL LENGTH OF THE WALL, EXCLUDING THOSE AREAS REQUIRED FOR ACCESS TO THE BUILDING. APPLICANT REQUESTS A WAIVER AS THERE IS A PARKING LOT LOCATED TO THE FRONT OF THE BUILDING AND NO PLAN HAS BEEN PREPARED FOR THE ABILITY TO PLANT 60 PERCENT OF THE BUILDING LENGTH. A 5-FOOT LANDSCAPE BUFFER WILL BE PROPOSED INSTEAD, ON THE OTHER SIDE OF THE ROAD.

APPLICANT REQUESTS A WAIVER AS THERE IS A PARKING LOT LOCATED TO THE FRONT OF THE BUILDING AND NO PLAN HAS BEEN PREPARED FOR THE ABILITY TO PLANT 60 PERCENT OF THE BUILDING LENGTH. A 5-FOOT LANDSCAPE BUFFER WILL BE PROPOSED INSTEAD, ON THE OTHER SIDE OF THE ROAD.

SITE DATA:

PROJECT NAME: RING POWER - EXPANSION
PROJECT LOCATION: 6200 N US HWY 44/264/FL 34475
OWNER/DEVELOPER: RING POWER CORPORATION
500 WORLD COMMERCE PARKWAY
ST. AUGUSTINE, FL 32092
DEVELOPER: RING POWER CORPORATION
500 WORLD COMMERCE PARKWAY
ST. AUGUSTINE, FL 32092
ZONING: M-2
FUTURE LAND USE: COMMERCIAL DISTRICT (CD)
PROPOSED DEVELOPMENT: COMMERCIAL

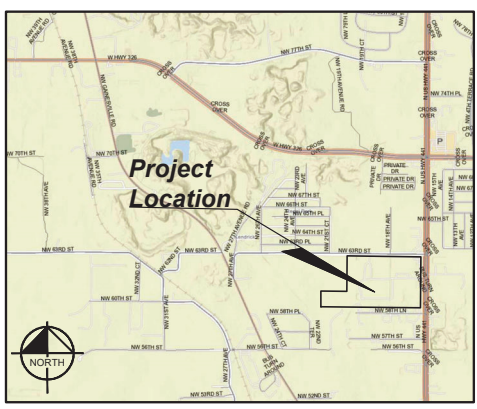
PARCEL ACCOUNT NUMBERS: 13358-001-00, 13358-000-00, & 13448-000-00
SITE GROSS AREA: 48,028 ACRES
PROJECT AREA: 49.89 ACRES
PROPOSED LANDING BAYS: 10 SPACES
EXISTING WETLANDS AREA: 42.19 AC. (1,877,436 S.F.)
PROPOSED WETLANDS AREA: 0.40 AC. (17,324 S.F.) (4.0% OF PROJECT ACREAGE)
PROPOSED BUILDING AREA: 22,300 S.F. TOTAL = (6.15% OF PROJECT AREA)
ROADS: PRIVATE
UTILITIES: PRIVATE
DRAINAGE: PRIVATE

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTORS SHOULD INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

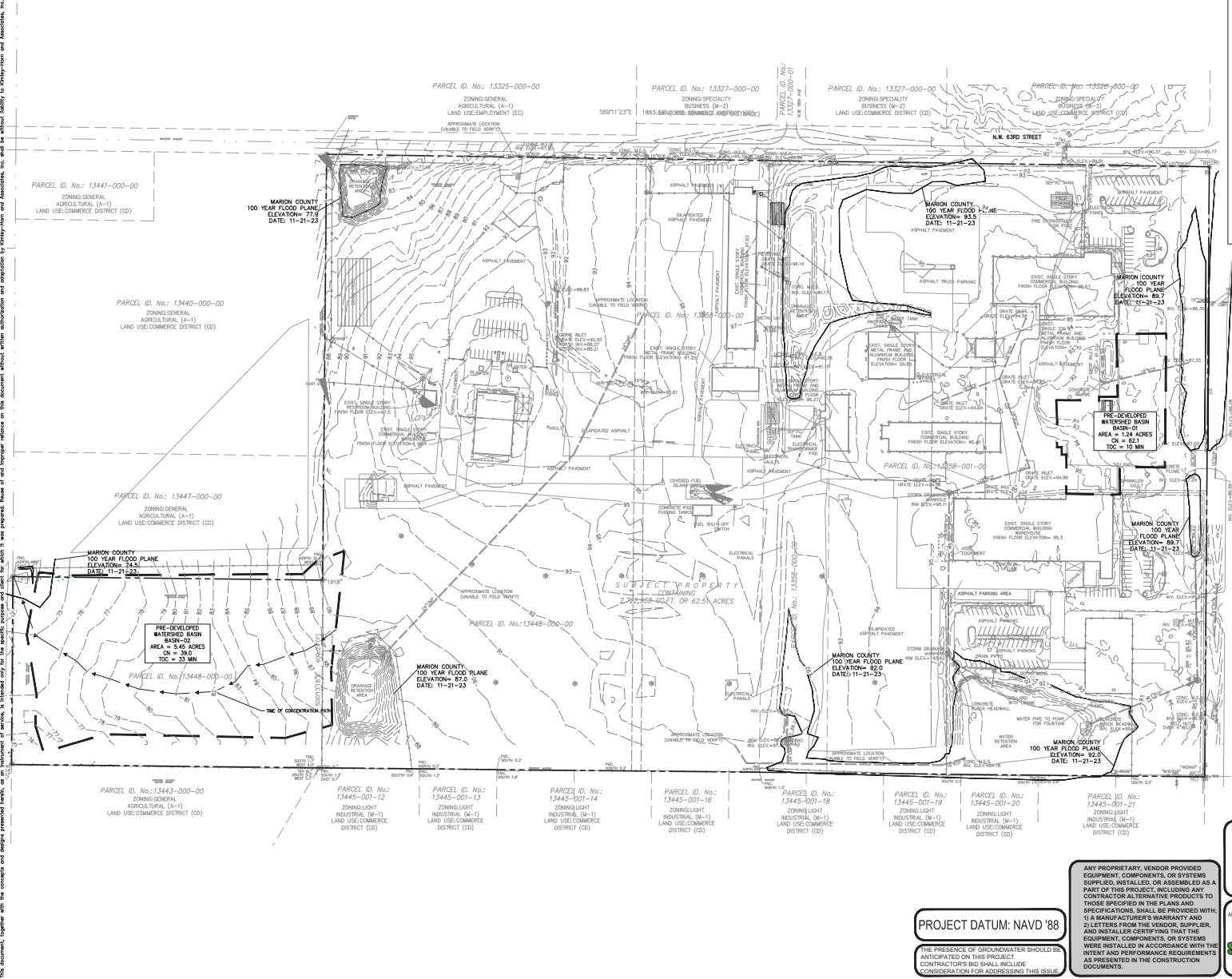
Always call 811 two full business days before you dig to have underground utilities located and marked.

Sunshine 811.com

THE SITE CONSTRUCTION STATEMENT SHALL BE PERFORMED UNDER THE DIRECTION OF A FLORIDA REGISTERED SURVEYOR. MUTUAL FILES WILL BE FURNISHED TO AD IN THE SITE CONSTRUCTION STATEMENT. ANY DISCREPANCIES FOUND BETWEEN MUTUAL FILES AND SITE CONSTRUCTION PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR CLARIFICATION PRIOR TO THAT STAKEOUT.



PLANNED BY: Ziegler, Pomeroy & Associates, Inc. DATE: 02/15/2024. PREPARED BY: Ziegler, Pomeroy & Associates, Inc. DATE: 02/15/2024. DRAWN BY: CRZ. CHECKED BY: JWC. FOR ENGINEER OF RECORD SIGNATURE AND SEAL REFER TO SIGNATURE SHEET C-102. SCALE: AS SHOWN. KIMLEY-HORN AND ASSOCIATES, INC. 12740 DEAN BAY PARKWAY WEST, SUITE 2000 JACKSONVILLE, FL 32216 PHONE: 904-450-3000 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106



GRAPHIC SCALE IN FEET
0 50 100 200

NORTH

LEGEND:
 CN CURVE NUMBER
 TC TIME OF CONSTRUCTION
 — BASIN DIVIDE

N. U.S. HIGHWAY 41

PRE-DEVELOPMENT PLAN	KHA PROJECT CH6527003	DATE MARCH 2024	SCALE AS SHOWN	DRAWN BY CRZ	CHECKED BY JWC
RING POWER EXPANSION	FOR ENGINEER OF RECORD SIGNATURE AND SEAL REFER TO SIGNATURE SHEET C-102				
PREPARED FOR RING POWER CORPORATION	FL				
MARION COUNTY	DATE				
SHEET NUMBER C-101	REGIONS				

PROJECT DATUM: NAVD '88

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTORS BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE

ANY PROPRIETARY, VENDOR PROVIDED EQUIPMENT, COMPONENTS, OR SYSTEMS SUPPLIED, INSTALLED, OR ASSEMBLED AS A PART OF THIS PROJECT, INCLUDING ANY CONTRACTOR ALTERNATIVE PRODUCTS TO THOSE SPECIFIED IN THE PLANS AND SPECIFICATIONS, SHALL BE PROVIDED WITH: 1) A MANUFACTURER'S WARRANTY AND 2) LETTERS FROM THE VENDOR, SUPPLIER, AND INSTALLER CERTIFYING THAT THE EQUIPMENT, COMPONENTS, OR SYSTEMS WERE INSTALLED IN ACCORDANCE WITH THE INTENT AND PERFORMANCE REQUIREMENTS AS PRESENTED IN THE CONSTRUCTION DOCUMENTS.

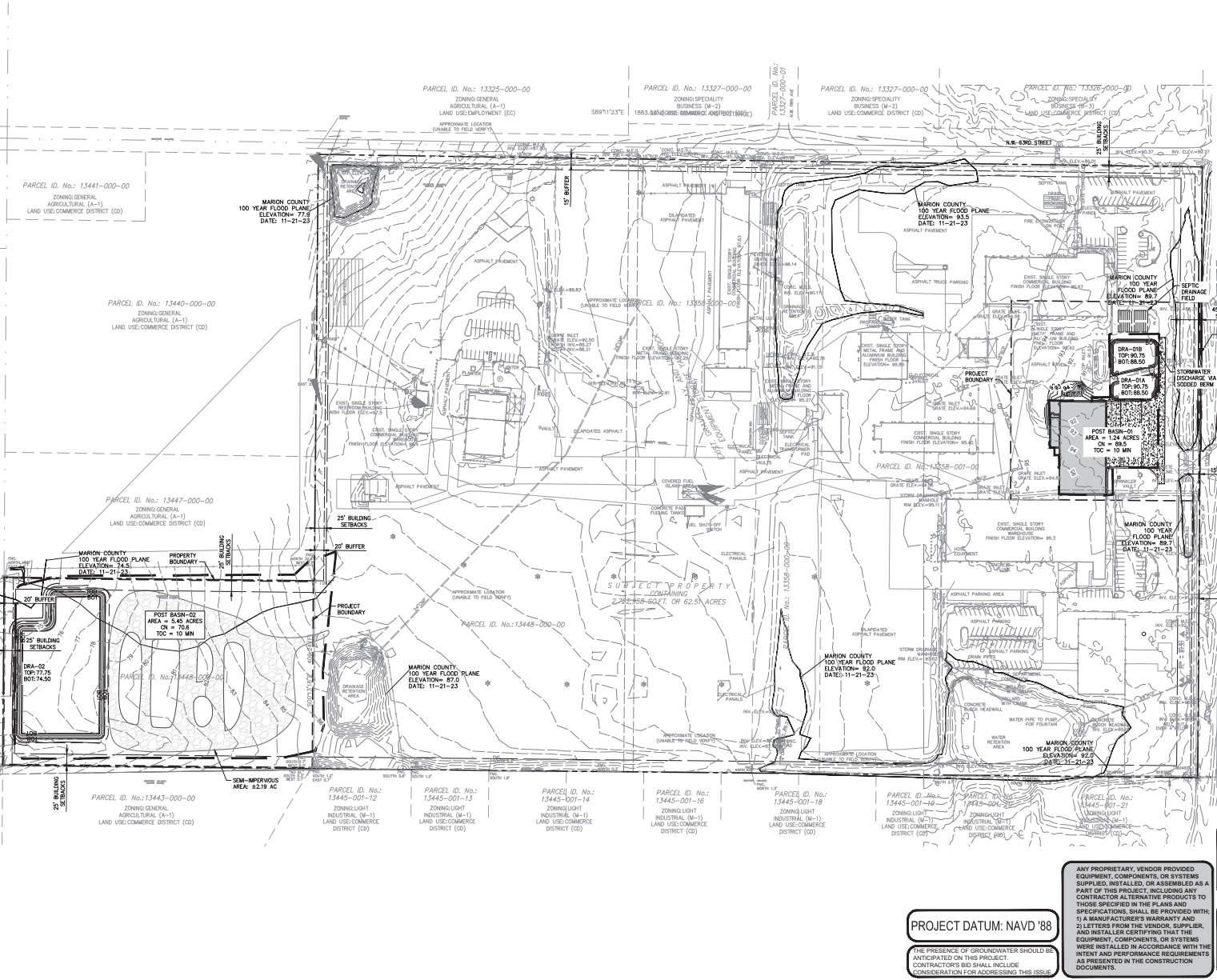
THE SITE CONSTRUCTION STAKEOUT SHALL BE PERFORMED UNDER THE DIRECTION OF A FLORIDA REGISTERED SURVEYOR. AUTOCAD FILES WILL BE FURNISHED TO AID IN THE SITE CONSTRUCTION STAKEOUT. ANY DISCREPANCIES FOUND BETWEEN AUTOCAD FILES AND SITE CONSTRUCTION PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR CLARIFICATION PRIOR TO THAT STAKEOUT.

Always call 811 two full business days before you dig to have underground utilities located and marked.



MAJOR SITE PLAN

PLANNED BY: Ziegler, Christy Sheet: SHEET 1 OF 1 DATE: 02-25-2024 02:53:22 PM
 DRAWN BY: JWC
 CHECKED BY: JWC
 SCALE: AS SHOWN
 DESIGNED BY: CRZ
 DRAWN BY: CRZ
 CHECKED BY: JWC
 FOR ENGINEER OF RECORD SIGNATURE AND SEAL REFER TO SIGNATURE SHEET C-02
 KIMLEY-HORN PROJECT # 2024-03-0001
 12740 GRAN BAY PARKWAY WEST, SUITE 200
 JACKSONVILLE, FL 32216
 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106



GRAPHIC SCALE IN FEET
0 50 100 200

NORTH

LEGEND:

- CN — CURVE NUMBER
- TC — TIME OF CONCENTRATION
- B — BASIN DIVIDE
- H — HEAVY DUTY CONCRETE
- P — PROPOSED BUILDING
- X — EXISTING LIGHT POLE

REV.	REVISIONS	DATE	BY

Kimley-Horn
 FOR ENGINEER OF RECORD SIGNATURE AND SEAL
 REFER TO SIGNATURE SHEET C-02
 KIMLEY-HORN PROJECT # 2024-03-0001
 12740 GRAN BAY PARKWAY WEST, SUITE 200
 JACKSONVILLE, FL 32216
 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

PROJECT DATUM: NAVD '88

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTORS BID SHALL INCLUDE ACCREDITATION FOR ADDRESSING THIS ISSUE

ANY PROPRIETARY, VENDOR PROVIDED EQUIPMENT, COMPONENTS, OR SYSTEMS SUPPLIED, INSTALLED, OR ASSEMBLED AS A PART OF THIS PROJECT, INCLUDING ANY CONTRACTOR ALTERNATIVE PRODUCTS TO THOSE SPECIFIED IN THE PLANS AND SPECIFICATIONS SHALL BE PROVIDED WITH: 1) A MANUFACTURER'S WARRANTY AND 2) LETTERS FROM THE VENDOR, SUPPLIER, AND INSTALLER CERTIFYING THAT THE EQUIPMENT, COMPONENTS, OR SYSTEMS WERE INSTALLED IN ACCORDANCE WITH THE INTENT AND PERFORMANCE REQUIREMENTS AS PRESENTED IN THE CONSTRUCTION DOCUMENTS.

THE SITE CONSTRUCTION STAKEOUT SHALL BE PERFORMED UNDER THE DIRECTION OF A FLORIDA REGISTERED SURVEYOR. AUTOCAD FILES WILL BE FURNISHED TO AID IN THE SITE CONSTRUCTION STAKEOUT. ANY DISCREPANCIES FOUND BETWEEN AUTOCAD FILES AND SITE CONSTRUCTION PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR CLARIFICATION PRIOR TO THAT STAKEOUT.

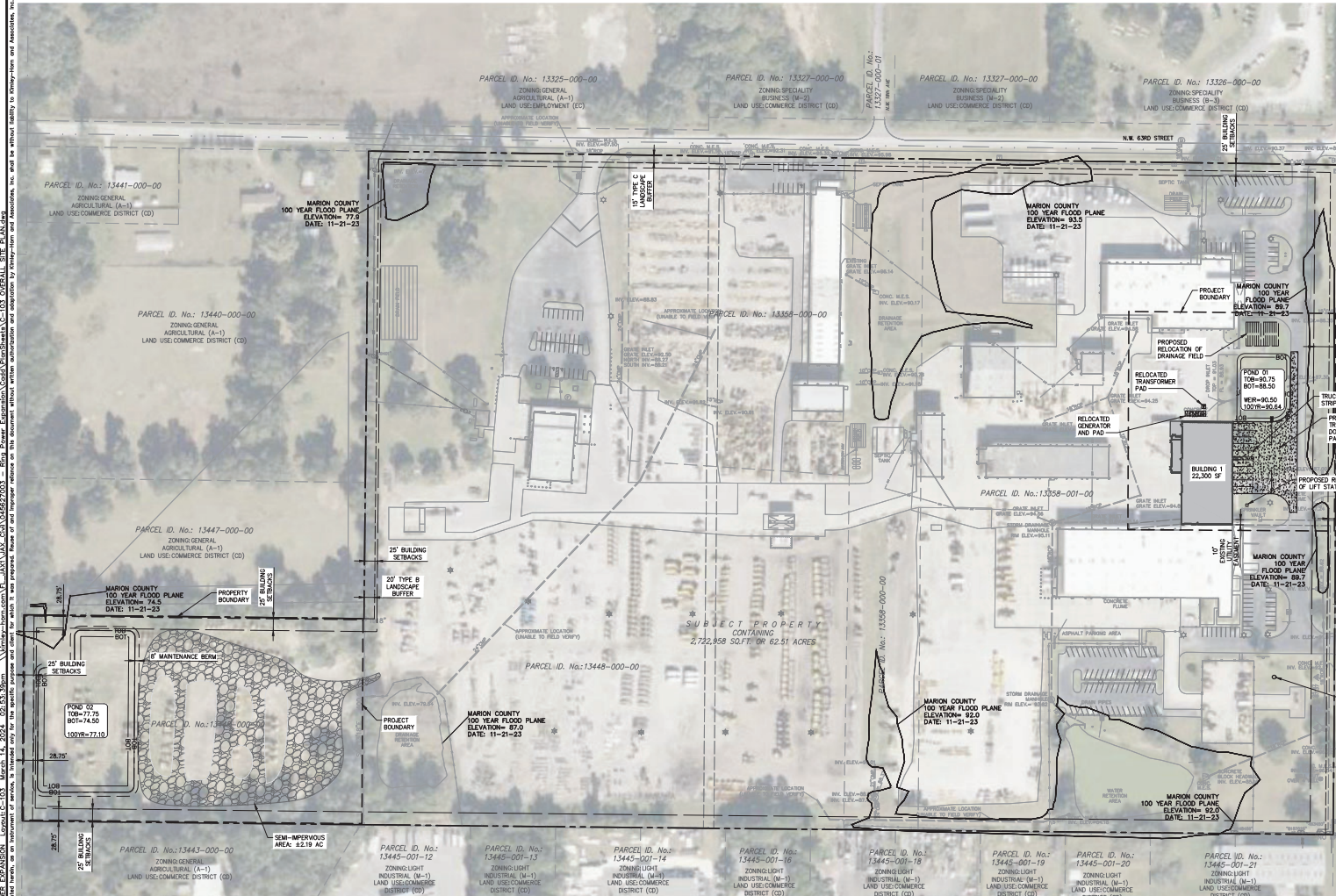
Always call 811 two full business days before you dig to have underground utilities located and marked.



POST DEVELOPMENT PLAN
 RING POWER EXPANSION
 PREPARED FOR
RING POWER CORPORATION
 MARION COUNTY
 SHEET NUMBER
C-102

MAJOR SITE PLAN

PLANNED BY: Ziegler, Inc. SHEET: SHEET 1 OF 10. DATE: 02/25/2024. PROJECT: RING POWER EXPANSION. SCALE: AS SHOWN. DRAWN BY: CRZ. CHECKED BY: JWC. FOR ENGINEER OF RECORD SIGNATURE AND SEAL REFER TO SIGNATURE SHEET C-102.



LEGEND:

- HEAVY DUTY CONCRETE
- PROPOSED BUILDING
- EXISTING LIGHT POLE

GRAPHIC SCALE IN FEET
0 50 100 200

PROJECT DATUM: NAVD '88

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTORS BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE

ANY PROPRIETARY, VENDOR PROVIDED EQUIPMENT, COMPONENTS, OR SYSTEMS SUPPLIED, INSTALLED, OR ASSEMBLED AS A PART OF THIS PROJECT, INCLUDING ANY CONTRACTOR ALTERNATIVE PRODUCTS TO THOSE SPECIFIED IN THE PLANS AND SPECIFICATIONS, SHALL BE PROVIDED WITH: 1) A MANUFACTURER'S WARRANTY AND 2) LETTERS FROM THE VENDOR, SUPPLIER, AND INSTALLER CERTIFYING THAT THE EQUIPMENT, COMPONENTS, OR SYSTEMS WERE INSTALLED IN ACCORDANCE WITH THE INTENT AND PERFORMANCE REQUIREMENTS AS PRESENTED IN THE CONSTRUCTION DOCUMENTS.

THE SITE CONSTRUCTION STAKEOUT SHALL BE PERFORMED UNDER THE DIRECTION OF A FLORIDA REGISTERED SURVEYOR. AUTOCAD FILES WILL BE FURNISHED TO AND BY THE SITE CONSTRUCTION STAKEOUT. ANY DISCREPANCIES FOUND BETWEEN AUTOCAD FILES AND SITE CONSTRUCTION PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR CLARIFICATION PRIOR TO THAT STAKEOUT.

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sunshine811.com

SITE DATA:

PARCEL NUMBER:	13326-00-00, 13328-00-00, & 13448-00-00
CURRENT ZONING:	M-2
PARCEL AREA:	8,62.03
TOTAL PROJECT AREA:	89.87
PROPOSED BUILDING ADDITION AREA:	22,300 S.F.
PROPOSED BUILDING ADDITION AREA:	0.43 AC
PROPOSED LOADING BAYS:	10
PROPOSED BUILDING TYPE:	STORAGE
MINIMUM NUMBER OF PARKING SPACE PER SEC. 611.8:	611.8
IRRIPOUSE = 1 SPACE PER 3,000 S.F.:	7,433 S.F.
TOTAL BUILDING AREA:	24 SPACES
REQUIRED NUMBER OF PARKING SPACES:	88 SPACES
EXISTING NUMBER OF PARKING SPACES:	

- GENERAL NOTES:**
- ALL ELEMENTS THAT ARE PLACES OF PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES ON THE SITE (INCLUDING ACCESSIBLE ROUTES AND PARKING) SHALL MEET THE REQUIREMENTS OF FLORIDA AMERICANS WITH DISABILITIES ACCESSIBILITY IMPLEMENTATION ACT. THE CURRENT ADA STANDARDS FOR ACCESSIBLE DESIGN, FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION AND THE FAIR HOUSING ACT, WHEN APPLICABLE.
 - ALL DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
 - ALL ASPHALT REMOVAL SHALL HAVE SAW-CUT EDGES.
 - CONTRACTOR TO PROVIDE MAINTENANCE OF TRAFFIC TO THE ADJACENT PARKING SPACES AND DRIVE ANGLES.
 - ALL TRAFFIC CONTROL, SIGNAGE, CONES AND PROTECTIVE BARRIERS SHALL BE PROVIDED BY AND INSTALLED BY THE CONTRACTOR.
 - IRRIGATION EXISTING WELLS LOCATED ON-SITE.
 - FLOOD PRONE AREAS DEPICTED ARE FROM SURVEY PERFORMED BY MOOREHEAD ENGINEERING COMPANY.

Kimley-Horn

FOR ENGINEER OF RECORD SIGNATURE AND SEAL REFER TO SIGNATURE SHEET C-102

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
12740 GRAN BAY PARKWAY WEST, SUITE 2000
JACKSONVILLE, FL 32256
PHONE: 904-429-3000
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

OVERALL SITE PLAN

RING POWER EXPANSION
PREPARED FOR
RING POWER CORPORATION
MARION COUNTY

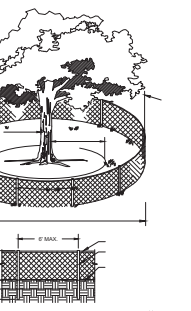
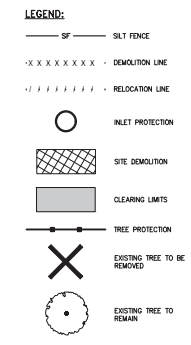
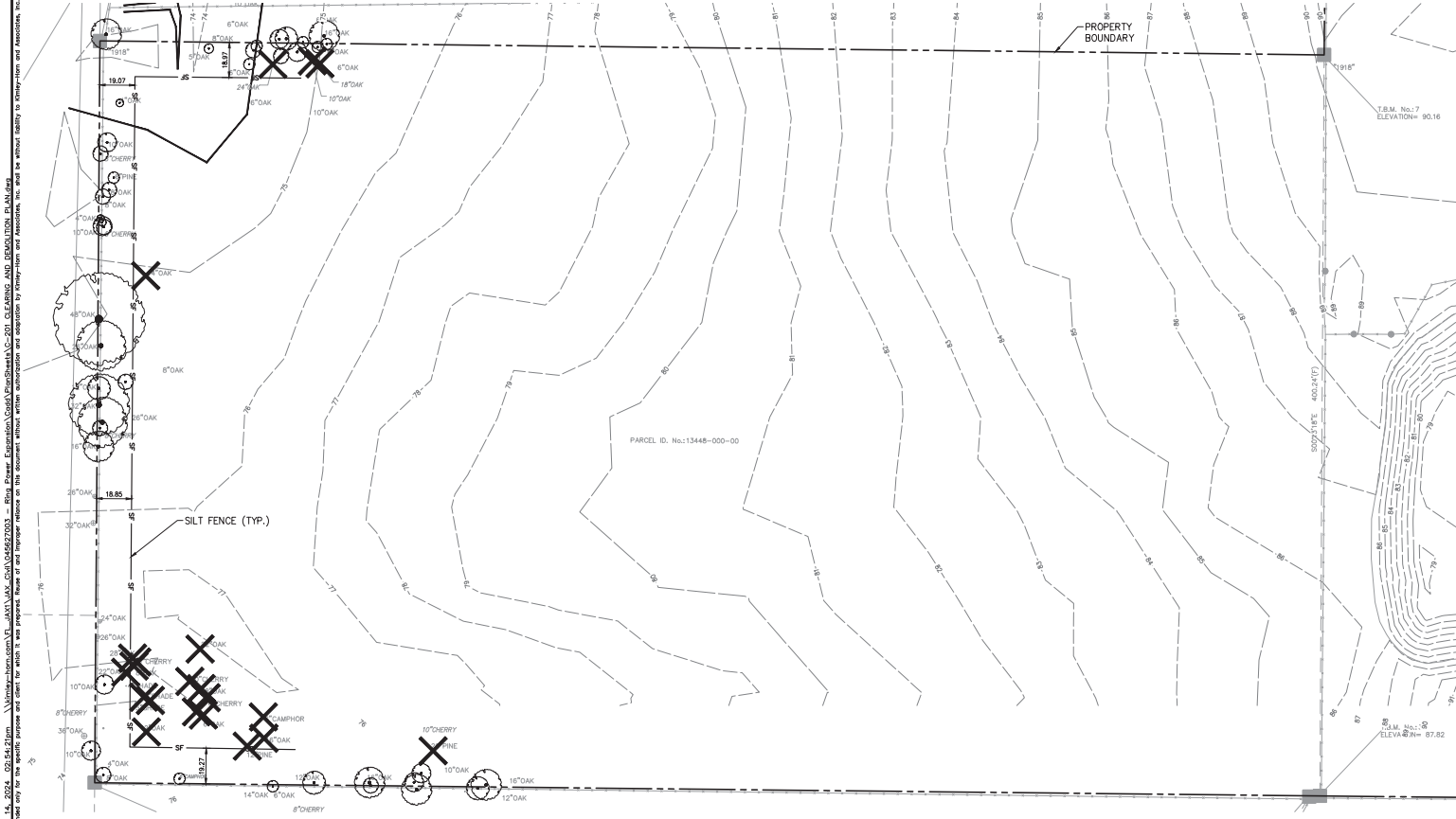
DATE: _____ BY: _____

REVISIONS:

No.	DATE	BY

SHEET NUMBER
C-103

MAJOR SITE PLAN



- DEMOLITION NOTES:**
- FOR PROJECT BENCHMARKS REFER TO SHEET C-103
 - ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
 - THE INTENT OF THE DEMOLITION PLAN IS TO DETECT EXISTING FEATURES THAT ENCOMPASS THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
 - THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DETECTED/ADDRESSED ON THIS DRAWING SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER, ARCHITECT, AND PROJECT ENGINEER IMMEDIATELY.
 - ALL FEATURES IDENTIFIED ON THIS PLAN WHICH ARE LISTED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE SITE. AFTER DEMOLITION IS COMPLETE THE SITE SHALL BE DELIVERED IN A CONDITION SUITABLE FOR REDEVELOPMENT.
 - CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.
 - CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJACENT ROADWAYS, SIDEWAYS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
 - DEMOLITION SHOULD BE ANTICIPATED AND ALL COSTS, PERMITS AND EQUIPMENT FOR DEMOLITION SHALL BE INCLUDED IN THE CONTRACTOR'S BID PRICE.
 - ALL ASPHALT TO BE REMOVED SHALL BE SAW CUT ADJACENT TO REMAINING IMPROVEMENTS.
 - SEE SITE AND IMPROVEMENTS PLANS FOR LIMITS AND GRADING OF RESURFACED DRIVEWAYS AND ENTRANCES.
 - DEMOLITION CONTRACTOR SHALL CONSTRUCT EROSION CONTROL MEASURES AS SHOWN ON THIS PLAN AS NECESSARY DURING DEMOLITION OPERATIONS OR AS DIRECTED BY THE ENGINEER, CITY OR COUNTY INSPECTOR TO PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SOIL EROSION AND SEDIMENTATION.
 - VARIATIONS TO CONDITIONS OR DISCREPANCIES IN ACTUAL FIELD CONDITIONS AS THEY APPLY TO THE DEMOLITION OR SITE DEVELOPMENT WORK MUST BE BROUGHT TO THE OWNER'S REPRESENTATIVE AND ENGINEER'S ATTENTION PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION.
 - CONTRACTOR SHALL LOCATE, IDENTIFY, PROPERLY TERMINATE, AND MARK ALL EXISTING UTILITIES WITHIN THE DEMOLITION AREA THAT ARE TO REMAIN AND PROTECT THEM FROM DAMAGE.

- THE DEMOLITION CONTRACTOR MUST NOTIFY ALL UTILITY COMPANIES, FIRE MARSHALL AND OWNER'S REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY UTILITY SERVICE. NOTIFICATION MUST BE MADE FOR THE PROJECT SPECIFICATIONS. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH AND ADHERENCE TO EACH UTILITY COMPANY'S AND FIRE MARSHALL'S REGULATIONS REGARDING SERVICE INTERRUPTION.
- THE DEMOLITION CONTRACTOR MUST PROTECT ALL LANDSCAPING AND OTHER FEATURES DESIGNATED TO REMAIN AND REPLACE SUCH ITEMS IF DISTURBED DURING DEMOLITION.
- CONTRACTOR SHALL CONDUCT ALL DEMOLITION OPERATIONS WITH MINIMAL INTERFERENCE TO PUBLIC AND/OR PRIVATE ACCESSES AND FACILITIES. ALL AREAS OUTSIDE OF THE PAVEMENT REMOVAL LINE MUST BE MAINTAINED FOR PUBLIC ACCESS.
- THE DEMOLITION CONTRACTOR MUST PROTECT BENCH MARKS, PROPERTY CORNERS, AND ALL OTHER SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT. IF A MARKER MUST BE REMOVED, IT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AND REFUSED.
- THE DEMOLITION CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL MEASURES AS REQUIRED IN ACCORDANCE WITH THE U.S. DEPT. OF TRANSPORTATION "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" AND GOVERNING MUNICIPALITY REQUIREMENTS.
- DEPRESSIONS AND VOID AREAS CAUSED BY DEMOLITION WORK ARE TO BE FILLED TO SUBGRADE AND PROPERLY COMPACTED TO THE EXISTING ELEVATION TO AVOID WATER PONDING.
- THE DEMOLITION CONTRACTOR SHALL ACQUIRE ALL PERMITS AND PAY ALL ASSOCIATED FEES PERTAINING TO THE DEMOLITION AND DISPOSAL REQUIREMENTS. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ADHERENCE TO ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS REGARDING THIS WORK. IF THERE ARE NO LOCAL, STATE OR FEDERAL REQUIREMENTS THE DEMOLITION CONTRACTOR SHALL ACQUIRE AN ENGINEER'S CERTIFICATION THAT THE WORK HAS BEEN DONE IN ACCORDANCE WITH THE PLANS.
- THE DEMOLITION CONTRACTOR SHALL COORDINATE THE DEMOLITION TO LEAVE ACCESS AND UTILITY SERVICE TO THE NEIGHBORING BUILDINGS AT ALL TIMES.
- WATER SERVICE, SEWER SERVICE, POWER SERVICE AND ALL DRY UTILITIES SHALL BE MAINTAINED "IN-SERVICE" DURING THE HOURS OF BUSINESS FOR ALL EXISTING TENANTS.
- REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE SPECIFIED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
- THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN FOR DEMOLITION AND/OR PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.

- TREE PROTECTION NOTES**
- TREE PROTECTION BARRICADES SHALL BE INSTALLED AROUND ALL PROTECTED TREES AND GROUPS OF TREES PRIOR TO ANY CLEARING OR GRADING OPERATIONS, INCLUDING THE REMOVAL OF OTHER TREES.
 - FOR LARGE GROUPS OF TREES, BARRICADES MAY BE PLACED BETWEEN THE PROTECTED TREES AND THE CONSTRUCTION ACTIVITY AREA.
 - BARRICADES SHALL BE MADE OF RIGID MATERIAL CAPABLE OF SURVIVING FOR THE DURATION OF THE CONSTRUCTION. BARRICADES SHALL BE INSPECTED WEEKLY DURING THE DURATION OF CONSTRUCTION AND REPAIRED/REINSTALLED AS REQUIRED.
 - CLEANING OF EQUIPMENT OR MATERIAL OR THE DISPOSAL OF WASTE MATERIALS, INCLUDING BUT NOT LIMITED TO, PAINT, OIL, SOLVENT, ASPHALT, CONCRETE, AND MORTAR WITHIN THE TREE PROTECTION ZONE (TPZ) OF ANY TREE IS NOT ALLOWED.
 - THE MOVEMENT OF EQUIPMENT OR STORAGE OF EQUIPMENT, MATERIALS, OR FILL WITHIN THE TPZ OF ANY TREE IS NOT ALLOWED.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTORS BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

Always call 811 two full business days before you dig to have underground utilities located and marked.



PROJECT DATUM: NAVD '88

THE SITE CONSTRUCTION STAKEOUT SHALL BE PERFORMED UNDER THE DIRECTION OF A FLORIDA REGISTERED SURVEYOR. AUTOCAD FILES WILL BE FURNISHED TO ADD IN THE SITE CONSTRUCTION STAKEOUT. ANY DISCREPANCIES FOUND BETWEEN AUTOCAD FILES AND SITE CONSTRUCTION PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR CLARIFICATION PRIOR TO THAT STAKEOUT.

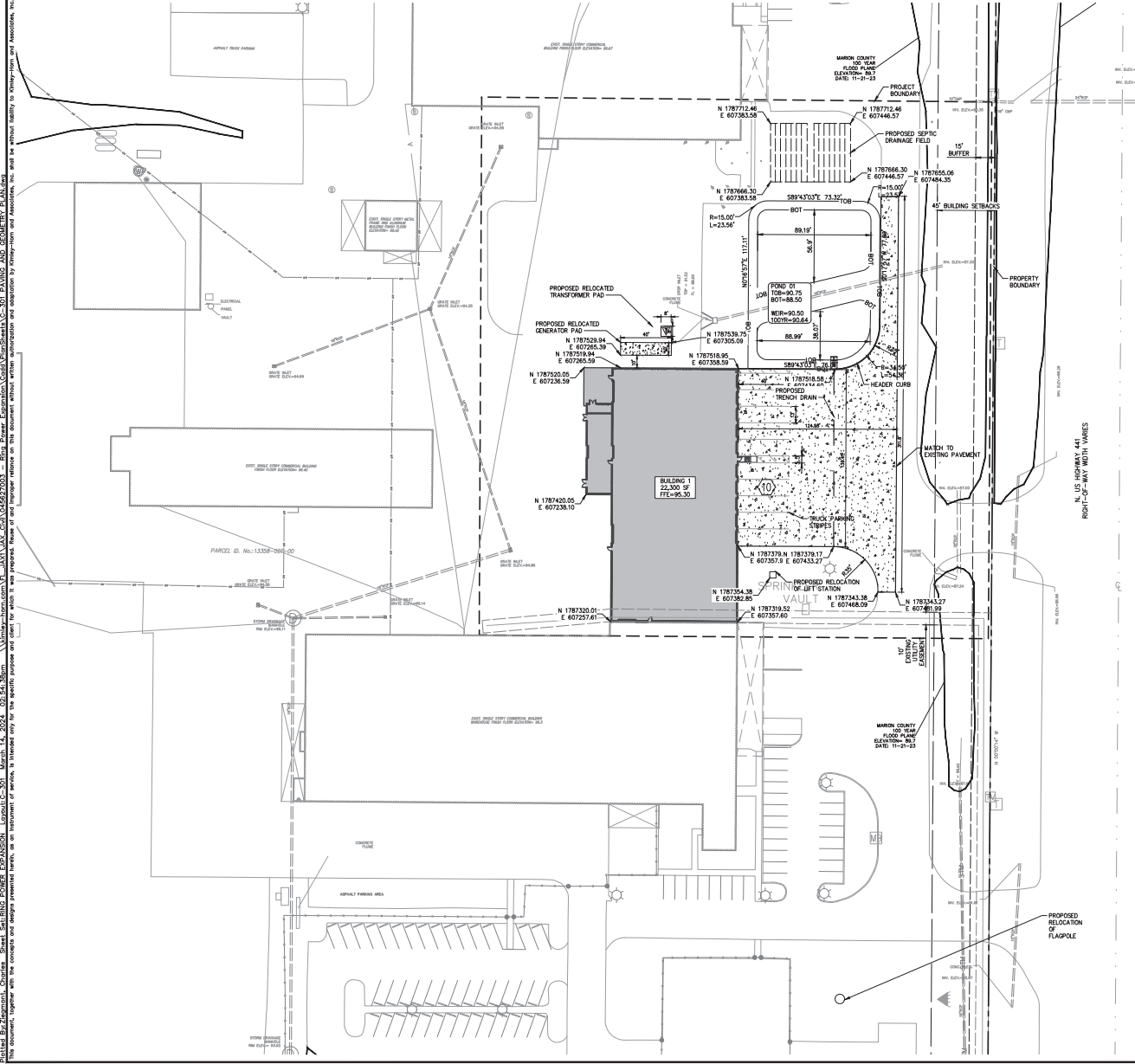
TREE PRESERVATION NOTE:
TREE PRESERVATION MEASURES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY DEMOLITION ACTIVITIES.

PLANNED BY: ZACHRY GROUP, INC. CHECKED BY: JWC
 DRAWN BY: CRZ
 DESIGNED BY: CRZ
 SCALE: AS SHOWN
 MARCH 2024
 CH45627003
 RMA PROJECT

		DATE: _____ REVISIONS: _____ No. _____
FOR ENGINEER OF RECORD SIGNATURE AND SEAL REFER TO SIGNATURE SHEET C-020		REGISTRY No.: 35106
RMA PROJECT CH45627003 MARCH 2024	DRAWN BY: CRZ CHECKED BY: JWC	DATE: _____ REVISIONS: _____ No. _____
CLEARING AND DEMOLITION PLAN RING POWER EXPANSION PREPARED FOR RING POWER CORPORATION MARION COUNTY		SHEET NUMBER C-202

MAJOR SITE PLAN

PLANNED BY: Ziegler, Christa - Sheet: Setting POWER EXPANSION - Layout: C-301 - March 14, 2024 - 02:54:35pm - \\win\jason\work\2024\C4527003 - Ring Power Expansion\CodePlanSheet\C-301 PAVING AND GEOMETRY PLAN.dwg
 DRAWN BY: Ziegler, Christa - Sheet: Setting POWER EXPANSION - Layout: C-301 - March 14, 2024 - 02:54:35pm - \\win\jason\work\2024\C4527003 - Ring Power Expansion\CodePlanSheet\C-301 PAVING AND GEOMETRY PLAN.dwg
 CHECKED BY: JWC - Sheet: Setting POWER EXPANSION - Layout: C-301 - March 14, 2024 - 02:54:35pm - \\win\jason\work\2024\C4527003 - Ring Power Expansion\CodePlanSheet\C-301 PAVING AND GEOMETRY PLAN.dwg
 THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGN PRESENTED HEREIN, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. BEYOND THE USE AND PURPOSE INTENDED ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND AGREEMENT BY KIMLEY-HORN AND ASSOCIATES, INC. AND BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



- LEGEND:**
- HEAVY DUTY CONCRETE
 - PARKING SPACE COURT
- NOTES:**
- ALL RADII MEASURED TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - FOR PROJECT BENCHMARKS REFER TO SHEET C-103

PROJECT DATUM: NAVD '88

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

ANY PROPRIETARY, VENDOR PROVIDED EQUIPMENT, COMPONENTS, OR SYSTEMS SUPPLIED, INSTALLED, OR ASSEMBLED AS A PART OF THIS PROJECT, INCLUDING ANY CONTRACTOR ALTERNATIVE PRODUCTS TO THOSE SPECIFIED IN THE PLANS AND SPECIFICATIONS, SHALL BE PROVIDED WITH: 1) A MANUFACTURER'S WARRANTY AND 2) LETTERS FROM THE VENDOR, SUPPLIER, AND INSTALLER CERTIFYING THAT THE EQUIPMENT, COMPONENTS, OR SYSTEMS WERE INSTALLED IN ACCORDANCE WITH THE INTENT AND PERFORMANCE REQUIREMENTS AS PRESENTED IN THE CONSTRUCTION DOCUMENTS.

THE SITE CONSTRUCTION STAKEOUT SHALL BE PERFORMED UNDER THE DIRECTION OF A FLORIDA REGISTERED SURVEYOR. AUTOCAD FILES WILL BE FURNISHED TO AID IN THE SITE CONSTRUCTION STAKEOUT. ANY DISCREPANCIES FOUND BETWEEN AUTOCAD FILES AND SITE CONSTRUCTION PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR CLARIFICATION PRIOR TO THAT STAKEOUT.

Always call 811 two full business days before you dig to have underground utilities located and marked.

sunshine811.com

FOR ENGINEER OF RECORD SIGNATURE AND SEAL REFER TO SIGNATURE SHEET C-02		KHA PROJECT C4527003	
DATE: _____		DATE: MARCH 2024	
NO. _____		SCALE: AS SHOWN	
REVISIONS		DESIGNED BY: CRZ	
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This document, together with the concepts and design presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. It is the property of Kimley-Horn and Associates, Inc. and shall be returned to Kimley-Horn and Associates, Inc. upon completion of the project. It is not to be used for any other project, in whole or in part, without the written consent of Kimley-Horn and Associates, Inc. Any reproduction or use of this document without the written consent of Kimley-Horn and Associates, Inc. is strictly prohibited.

PLAN VIEW
4.0' x 10.0'

CROSS SECTION
R, D, S, H

PROFILE VIEW
H1, H2

NOTES:
1. SEE GRATING DETAILS FOR SURFACE TREATMENT OPTIONS
2. H1 AND H2 VARY BASED ON PROJECT SPECIFICATIONS AND MAY NOT RESEMBLE THE IMAGES SHOWN ABOVE.

PIPE Ø (in)	Ø (mm)	W (in)	W (mm)	Ø (in)	Ø (mm)	R (in)	R (mm)	PRODUCT #
6 (150)	152.4	24.00	610	0.5 (13)				06000DXXL
8 (200)	203.2	30.00	762	0.625 (16)				08000DXXL
10 (250)	254.0	36.00	914	0.75 (19)				10000DXXL
12 (300)	304.8	42.00	1067	1.125 (29)				12000DXXL
12 (300)	304.8	42.00	1067	1.125 (29)				12000DXXLTAL
15 (375)	381.0	51.00	1295	1.25 (32)				15000DXXL
15 (375)	381.0	51.00	1295	1.25 (32)				15000DXXLTAL
18 (450)	457.0	60.00	1524	2.25 (57)	0.32 (8)			18000DXXL
18 (450)	457.0	60.00	1524	2.25 (57)	0.32 (8)			18000DXXLTAL
24 (600)	609.6	84.00	2134	3.00 (76)	0.32 (8)			24000DXXL
24 (600)	609.6	84.00	2134	3.00 (76)	0.32 (8)			24000DXXLTAL
30 (750)	762.0	102.00	2591	3.50 (89)	0.32 (8)			30000DXXL
30 (750)	762.0	102.00	2591	3.50 (89)	0.32 (8)			30000DXXLTAL
36 (900)	914.4	120.00	3048	4.00 (102)	0.32 (8)			36000DXXL
36 (900)	914.4	120.00	3048	4.00 (102)	0.32 (8)			36000DXXLTAL

© 2022 ADS, INC.
REV. DESCRIPTION BY. MMS/DFY. DATE

Duraslot XL Pipe
Cast Iron Slot Height
DRAWING NUMBER: STD-1451B

4465 TRILUMEN BLVD
HILLIARD, OHIO 43026
TEL: 614.891.2200
WWW.KIMLEY-HORN.COM

A. DURASLOT XL End Cap
B. DURASLOT XL Pipe
C. DURASLOT XL Adapter
D. ADS N12 HDPE or HP Storm Pipe
E. DURASLOT XL Coupler Band
F. DURASLOT XL End Plate
G. 5' Wide Grate (Provided by ADS or Other)
H. 1/2 x 20 Locking Bolt (Bolt Design Varies by Grate Design)

I. Locking Plate with 1/2 x 20 Nut
K. Hex Head Assembly Kit:
• Hex Head Screw x 3 1/2" Long w/
(2) Washers & 1/2" Hex Nut

NOTE: - Slot height may vary per project
- Each Cap (A) & Adapter (C) comes with an End Plate (F).
- Coupler Band (E) comes with a Hex Head Assembly Kit (J)

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REV. DESCRIPTION BY. MMS/DFY. DATE

Duraslot XL Assembly
DRAWING NUMBER: STD-1450B

4465 TRILUMEN BLVD
HILLIARD, OHIO 43026
TEL: 614.891.2200
WWW.KIMLEY-HORN.COM

2:1 SLOPE

TABLE	A	B	C	D	ØAL	A	B	C	D	ØAL	A	B	C	D	ØAL	A	B	C	D	ØAL	
6 (150)	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0

3:1 SLOPE

TABLE	A	B	C	D	ØAL	A	B	C	D	ØAL	A	B	C	D	ØAL	A	B	C	D	ØAL	
6 (150)	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0

4:1 SLOPE

TABLE	A	B	C	D	ØAL	A	B	C	D	ØAL	A	B	C	D	ØAL	A	B	C	D	ØAL	
6 (150)	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0

5:1 SLOPE

TABLE	A	B	C	D	ØAL	A	B	C	D	ØAL	A	B	C	D	ØAL	A	B	C	D	ØAL	
6 (150)	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0	14.0

NOTE: ** REFERENCE ONLY - DIMENSIONS MAY VARY **

ADS RECOMMENDS THAT THE PRODUCT BE INSTALLED WITH A CONCRETE COLLAR TO SUPPORT AND CLOSE CONFIGURATIONS PER DOT SPECIFICATIONS. THE CHANNEL AT THE BOTTOM OF THE TABLE MUST BE SHAPED TO PREVENT TAIL LIFT BY THE SLEET WATER FLOW.

LENGTH (ØAL)

ELEVATION

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REV. DESCRIPTION BY. MMS/DFY. DATE

ADS N12 HDPE
DRAWING NUMBER: STD-310

4465 TRILUMEN BLVD
HILLIARD, OHIO 43026
TEL: 614.891.2200
WWW.KIMLEY-HORN.COM

1/8" RECESS INTO FINISHED PAVEMENT

ALUMINUM SLOT RISER WITH 5 IN WIDE GRATE

EXPANSION JOINT (BY OTHERS)

ASPHALT OR CONCRETE PAVEMENT (BY OTHERS)

COMPRESSIVE STRENGTH CONCRETE (BY OTHERS)

ADS N12 HDPE

BASE MATERIAL AS APPROPRIATE

STABLE UNDISTURBED EARTH OR COMPACTED FILL

BASE MATERIAL AS APPROPRIATE

6" MIN.

Nominal Diameter, ID, in. (mm)	Depth of Invert, H, in. (mm)	
	Minimum	Maximum
6 (150)	12.50 (318)	30.00 (762)
8 (200)	14.50 (368)	32.00 (813)
10 (250)	16.50 (419)	34.00 (864)
12 (300)	19.00 (483)	48.00 (1219)
15 (375)	22.00 (559)	51.00 (1295)
18 (450)	25.00 (635)	54.00 (1372)
24 (600)	31.25 (794)	60.00 (1524)
30 (750)	38.25 (972)	66.00 (1676)
36 (900)	44.25 (1024)	72.00 (1829)

NOTES:
1. BACKFILL DESIGN SHOULD BE USED FOR HS-20 LOADING APPLICATIONS.
2. SITE ENGINEER TO PROVIDE SITE SPECIFIC DETAILS, SUCH AS CONCRETE STRENGTH.
3. REFER TO ADS TECH NOTE 2.11 FOR ADDITIONAL DESIGN INFORMATION.
4. SLOT RECESS IS NOT INCLUDED IN DEPTH OF INVERT TABLES.

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REV. DESCRIPTION BY. MMS/DFY. DATE

Duraslot XL Heavy Traffic Installation
DRAWING NUMBER: STD-1452B

4465 TRILUMEN BLVD
HILLIARD, OHIO 43026
TEL: 614.891.2200
WWW.KIMLEY-HORN.COM

Kimley-Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
12740 GRAN BAY PARKWAY WEST, SUITE 2000
HILLIARD, OHIO 43026
PHONE: 614-891-3000
WWW.KIMLEY-HORN.COM REGISTRY No. 35106

FOR ENGINEER OF RECORD SIGNATURE AND SEAL
REFER TO SIGNATURE SHEET C-02

RMA PROJECT: CH6527003
DATE: MARCH 2024
SCALE: AS SHOWN
DESIGNED BY: CRZ
DRAWN BY:
CHECKED BY:

DRAINAGE DETAILS
RING POWER EXPANSION
PREPARED FOR
RING POWER CORPORATION
MARION COUNTY
MAJOR SITE PLAN

SHEET NUMBER
C-701A

NO.	REVISIONS	DATE	BY

STORM WATER POLLUTION PREVENTION PLAN

SITE DESCRIPTION:

PROJECT NAME AND LOCATION:

RING POWER EXPANSION
6200 N US HWY 441
OCALA, FLORIDA 34475

*SEE COVER SHEET FOR LOCATION MAP

DEVELOPER NAME AND ADDRESS:

RING POWER CORPORATION
500 WORLD COMMERCE PARKWAY
ST. AUGUSTINE, FL 32092
CONTACT: SHANE D. MCLAUGHLIN
(907) 737-7730

PROJECT DESCRIPTION:

THE PROJECT WILL CONSIST OF PARTIAL SITE DEMOLITION, BUILDING CONSTRUCTION AND ASSOCIATED PAVING, GRADING, DRAINAGE AND UTILITY CONNECTIONS.

CONTRIBUTING DRAINAGE AREA: 62.03 ACRES

ULTIMATE RECEIVING WATERS: N/A

ACTIVITIES THAT REQUIRE EROSION CONTROL:

SITE CLEARING AND GRUBBING; PROVIDING A STABILIZED CONSTRUCTION ENTRANCE, PERIMETER, AND OTHER EROSION AND SEDIMENT CONTROLS; SITE GRADING; INSTALLATION OF STORM WATER, SANITARY SEWER, AND WATER INFRASTRUCTURE; CURB AND GUTTER, ROADWAYS, AND SIDEWALKS; LANDSCAPING.

*SEE PLANS FOR THE LOCATION OF TEMPORARY SEDIMENT BARRIERS AND OTHER EROSION CONTROL METHODS.

SUGGESTED SEQUENCE OF MAJOR ACTIVITIES:

THE ORDER OF SITE CONSTRUCTION ACTIVITIES IS AS FOLLOWS:

1. PROVIDE STABILIZED CONSTRUCTION ENTRANCE
2. INSTALL SILT FENCES AND OTHER EROSION CONTROL MEASURES
3. CLEAR AND GRUB FOR SEDIMENT BASIN/STORMWATER POND/ EARTH DIKE
4. CONSTRUCT STORMWATER PONDS, EARTH DIKE, AND SEDIMENT BASINS
5. FINISH CLEARING AND GRUBBING OF SITE
6. REMOVE AND STORE TOPSOIL
7. PROVIDE INITIAL GRADING AS REQUIRED
8. STABILIZE ALL DISTURBED AREAS AS SOON AS POSSIBLE
9. INSTALL UTILITIES, STORM SEWER, CURB AND GUTTER
10. INSTALL BASE TO ROAD AND PARKING AREA
11. FINISH GRADING ENTIRE SITE
12. PROVIDE REQUIRED LANDSCAPING
13. CONSTRUCT PAVING
14. REMOVE ACCUMULATED SEDIMENT
15. REMOVE ANY ITEMS THAT ARE NOT REQUIRED

THE SEQUENCE OF CONSTRUCTION SHOWN ABOVE IS A GENERAL OVERVIEW AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING, IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND ALL OTHER APPLICABLE LAWS.

- FURTHERMORE, ENGINEER HAS NO CONTROL OVER OR RESPONSIBILITY FOR THE CONSTRUCTION MEANS AND METHODS OF THIS PROJECT. ANY TURBIDITY OR SEDIMENT RELEASES FROM THE PROJECT ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THIS DOCUMENT AND ITS CONTENTS ARE PROVIDED FOR GENERAL SWPPP GUIDANCE AND FOR CONTRACTOR CONVIENCE.
- CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THE SWPPP AT TIMES.
- CONTRACTOR SHALL BE PREPARED TO USE ANY NECESSARY METHODS FOR TURBIDITY CONTROL FROM THE SITE, INCLUDING POTENTIAL USE OF CHEMICAL DOSING/ADDITIVES (I.E. POLYACRYLAMIDE) TO ACHIEVE THE ACCEPTABLE EFFLUENT CRITERIA LEAVING THE SITE.

STABILIZATION PRACTICES:

TEMPORARY STABILIZATION – TOPSOIL STOCK PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASE FOR AT LEAST 21 DAYS, SHALL BE STABILIZED WITH TEMPORARY SEED AND MULCH WITHIN 14 DAYS OF THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE TEMPORARY SEED REQUIRED CAN BE FOUND IN TABLE 1.6.6.5 A OF THE FLORIDA DEVELOPMENT MANUAL. PRIOR TO SEEDING, WHERE SOILS ARE ACIDIC 2 TONS OF PULVERIZED AGRICULTURAL LIMESTONE SHOULD BE ADDED PER ACRE AND 450 POUNDS OF 10-20-20 FERTILIZER SHALL BE APPLIED TO EACH ACRE. AFTER SEEDING, EACH AREA SHALL BE IMMEDIATELY MULCHED WITH STRAW OR EQUIVALENT EAL. AREAS OF THE SITE WHICH ARE TO BE PAVED SHALL BE TEMPORARILY STABILIZED BY APPLYING GEOTEXTILE AND STONE SUB-BASE UNTIL BITUMINOUS PAVEMENT CAN BE APPLIED.

PERMANENT STABILIZATION – DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE APPROPRIATE PERMANENT SEED MIX CAN BE FOUND IN TABLES 1.6.6.A, 1.6.6.B AND 1.6.6.C OF THE FLORIDA DEVELOPMENT MANUAL. PRIOR TO SEEDING, 2 TONS/ACRE OF FINELY GROUND AGRICULTURAL LIMESTONE AND THE PROPER FERTILIZER SHALL BE APPLIED TO EACH ACRES PORTION OF THE DIKE TO EACH ACRE TO PROVIDE PLANT NUTRIENTS. AFTER SEEDING, EACH AREA SHALL BE MULCHED IMMEDIATELY.

STRUCTURAL PRACTICES:

EARTH DIKE – IF REQUIRED, AN EARTH DIKE SHALL BE CONSTRUCTED ALONG THE SITE PERIMETER. A PORTION OF THE DIKE SHALL DIVERT RUN-ON AROUND THE CONSTRUCTION SITE. THE OF SEEDING PORTION OF THE DIKE SHALL COLLECT RUNOFF FROM THE DISTURBED AREA AND DIRECT THE RUNOFF TO THE SEDIMENT BASIN.

SEDIMENT BASIN – A SEDIMENT BASIN SHALL BE CONSTRUCTED IN THE COMMON DRAINAGE AREA FOR THE SITE. THIS STORAGE POND SHALL HAVE A VOLUME OF 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE. ALL SEDIMENT COLLECTED IN THE BASIN MUST BE REMOVED FROM THE BASIN UPON COMPLETION OF CONSTRUCTION. SEDIMENT FROM THE BASIN MAY BE USED AS FILL ON THE SITE IF IT IS SUITABLE SOIL.

WASTE DISPOSAL:

WASTE MATERIALS – ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN A METAL DUMPSTER WITH A SECURE LID IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN THE DUMPSTER. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITIES TO HAVE THE DUMPSTER EMPITED AT LEAST TWICE A WEEK AND THE WASTE TAKEN TO AN APPROPRIATE LANDFILL. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE. THE SUPERINTENDENT SHALL ORGANIZE TRAINING FOR THE EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH WASTE MATERIALS. THE SUPERINTENDENT SHALL BE RESPONSIBLE FOR POSTING AND ENFORCING WASTE MATERIAL PROCEDURES.

HAZARDOUS WASTE – HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS OR AS DIRECTED BY THE MANUFACTURER. THE SUPERINTENDENT SHALL ORGANIZE THE PROPER TRAINING FOR EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH HAZARDOUS WASTE MATERIALS. THESE PROCEDURES SHALL BE POSTED ON THE SITE. THE PERSON WHO MANAGES THE SITE SHALL BE RESPONSIBLE FOR ENFORCING THE PROCEDURES.

SANITARY WASTE – SANITARY WASTE SHALL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITY FOR COLLECTION OF THE SANITARY WASTE AT LEAST THREE TIMES A WEEK TO PREVENT SPILLAGE ONTO THE SITE.

OFFSITE TRACKING:

A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO REDUCE SEDIMENT TRACKING OFFSITE. THE MAJOR ROAD CONNECTED TO THE PROJECT SHALL BE CLEANED ONCE A DAY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK RESULTING FROM CONSTRUCTION TRAFFIC. ALL TRUCKS HAULING MATERIALS OFFSITE SHALL BE COVERED WITH A TARP/AULIN.

TIMING OF CONTROL MEASURES:

THE INSTALLATION OF SILT FENCE (AND OTHER EROSION CONTROL MEASURES), A STABILIZED ENTRANCE AND SEDIMENT BASIN SHALL OCCUR PRIOR TO CLEARING AND GRUBBING ACTIVITY. AFTER CONSTRUCTION IS COMPLETE, THE ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE AREAS SHALL BE REGRADED AND PERMANENTLY STABILIZED AS SHOWN ON THE PLANS.

ITEMS REQUIRING POLLUTION PREVENTION:

THE FOLLOWING ITEMS ARE EXPECTED TO BE PRESENT ON THE PROJECT SITE: ASPHALT, CONCRETE, CLEANING SUPPLIES, DETERGENTS, FERTILIZERS, MASONRY BLOCKS/BRICKS, METAL PIECES, PAINT, PETROLEUM BASED PRODUCTS, ROOFING SUPPLIES, TAR, WOOD.

THE FOLLOWING ARE NON-STORM WATER SOURCES THAT WILL BE ENCOUNTERED AT THE SITE AND SHOULD BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE:
-UNCONTAMINATED GROUNDWATER EXPOSED DURING EXCAVATION
-WATER FROM WATER LINE FLUSHING
-PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).

SPILL PREVENTION AND CONTROL:

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

GOOD HOUSEKEEPING:

- SUPERINTENDENT SHALL INSPECT PROJECT AREA DAILY FOR PROPER STORAGE, USE, AND DISPOSAL OF CONSTRUCTION MATERIALS.
- STORE ONLY ENOUGH MATERIAL ON SITE FOR PROJECT COMPLETION.
- ALL SUBSTANCES SHOULD BE USED BEFORE DISPOSAL OF CONTAINER.
- ALL CONSTRUCTION MATERIALS STORED SHALL BE ORGANIZED AND IN THE PROPER CONTAINER AND IF POSSIBLE, STORED UNDER A ROOF OR PROTECTIVE COVER.
- PRODUCTS SHALL NOT BE MIXED UNLESS DIRECTED BY THE MANUFACTURER.
- ALL PRODUCTS SHALL BE USED AND DISPOSED OF ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

HAZARDOUS PRODUCTS:

- MATERIALS SHOULD BE KEPT IN ORIGINAL CONTAINER WITH LABELS UNLESS THE ORIGINAL CONTAINERS CANNOT BE RESEALED. IF ORIGINAL CONTAINERS CANNOT BE USED, LABELS AND PRODUCT INFORMATION SHALL BE SAVED.
- PROPER DISPOSAL PRACTICES SHALL ALWAYS BE FOLLOWED IN ACCORDANCE WITH MANUFACTURER AND LOCAL/STATE REGULATIONS.

PRODUCT SPECIFIC PRACTICES:

- PETROLEUM PRODUCTS MUST BE STORED IN PROPER CONTAINERS AND CLEARLY LABELED. VEHICLES CONTAINING PETROLEUM PRODUCTS SHALL BE PERIODICALLY INSPECTED FOR LEAKS. PRECAUTIONS SHALL BE TAKEN TO AVOID LEAKAGE OF PETROLEUM PRODUCTS ON SITE.
- THE MINIMUM AMOUNT OF FERTILIZER SHALL BE USED AND MIXED INTO THE SOIL IN ORDER TO LIMIT EXPOSURE TO STORM WATER. FERTILIZERS SHALL BE STORED IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
- PAINT CONTAINERS SHALL BE SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT MUST BE DISPOSED OF IN AN APPROVED MANNER.
- CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

SPILL CONTROL PRACTICES:

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- SPILL CLEANUP INFORMATION SHALL BE POSTED ON SITE TO INFORM EMPLOYEES ABOUT CLEANUP PROCEDURES AND RESOURCES.
- THE FOLLOWING CLEAN-UP EQUIPMENT MUST BE KEPT ON-SITE NEAR THE MATERIAL STORAGE AREA: GLOVES, MOPS, RAGS, BROOMS, DUST PANS, SAND, SANDUST, LIQUID ABSORBER, GOGGLES, AND TRASH CONTAINERS.
- ALL SPILLS SHALL BE CLEANED UP AS SOON AS POSSIBLE.
- WHEN CLEANING A SPILL, THE AREA SHOULD BE WELL VENTILATED AND THE EMPLOYEE SHALL WEAR PROPER PROTECTIVE COVERINGS TO PREVENT INJURY.
- TOXIC SPILLS MUST BE REPORTED TO THE PROPER AUTHORITY REGARDLESS OF THE SIZE OF THE SPILL.
- AFTER A SPILL, THE PREVENTION PLAN SHALL BE REVIEWED AND CHANGED TO PREVENT FURTHER SIMILAR SPILLS FROM OCCURRING. THE CAUSE OF THE SPILL, MEASURES TO PREVENT IT, AND HOW TO CLEAN THE SPILL UP SHALL BE RECORDED.
- THE SUPERINTENDENT SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR AND IS RESPONSIBLE FOR THE DAY TO DAY SITE OPERATIONS. THE SUPERINTENDENT ALSO OVERSEES THE SPILL PREVENTION PLAN AND SHALL BE RESPONSIBLE FOR EDUCATING THE EMPLOYEES ABOUT SPILL PREVENTION AND CLEANUP PROCEDURES.

EROSION AND SEDIMENT CONTROLS:

BEST MANAGEMENT PRACTICES SHALL BE USED FOR THIS PROJECT TO CONTROL EROSION AND TURBIDITY CAUSED BY STORM WATER RUN-OFF. THE LOCATION AND DETAILS OF EROSION CONTROL METHODS ARE SHOWN ON THE PLANS. THE SUB-CONTRACTOR(S) IS/ARE RESPONSIBLE FOR PLACING AND MAINTAINING THESE CONTROL METHODS AS SHOWN ON THE PLANS OR AS REQUIRED. HE/SHE SHALL ALSO PROVIDE THE REQUIRED EROSION PROTECTION AS REQUIRED BY LOCAL, STATE AND FEDERAL LAW. OFFSITE SHALL BE COVERED WITH A TARP/AULIN.

STORM WATER MANAGEMENT:

STORM WATER COLLECTION SHALL BE PROVIDED BY CURB AND GUTTER AND DRAINAGE INLETS FOR THE DEVELOPED AREAS. THE AREAS THAT ARE REGRADED BUT NOT DEVELOPED SHALL BE STABILIZED IMMEDIATELY AFTER REGRADING. THE ENTIRE SITE SHALL DRAIN TO A SWMF. THE SWMF SHALL BE IN THE AREA OF THE TEMPORARY SEDIMENT BASINS. WHEN SLOPES HAVE BEEN STABILIZED, THE SEDIMENT THAT HAS ACCUMULATED SHALL BE REMOVED FROM THE BASIN AND THE APPROPRIATE VEGETATION SHALL BE PLANTED.

MAINTENANCE AND INSPECTION PRACTICES:

THE FOLLOWING ARE MAINTENANCE AND INSPECTION PRACTICES THAT SHALL BE COMPLETED BY THE CONTRACTOR:

- ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE CHECKED DAILY AND AFTER EACH SIGNIFICANT RAINFALL BY THE SUPERINTENDENT OR SOMEONE UNDER HIS/HER DIRECT SUPERVISION.
- ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE KEPT IN GOOD CONDITION. REPAIRS MUST BE MADE WITHIN 24 HOURS OF REPORT.
- THE SILT FENCE SHALL BE CLEARED OF SEDIMENT WHEN SEDIMENT MEASURES ONE-THIRD THE HEIGHT OF THE FENCE.
- THE SILT FENCE SHALL BE INSPECTED PERIODICALLY FOR HEIGHT OF SEDIMENT AND CONDITION OF FENCE.
- THE SEDIMENT BASINS/DITCHES SHALL BE CHECKED MONTHLY FOR DEPTH OF SEDIMENT. THEY SHALL BE CLEANED WHEN SEDIMENT REACHES 10% OF TOTAL CAPACITY AND AFTER CONSTRUCTION IS COMPLETE.
- THE DIVERSION DIKE SHALL BE INSPECTED MONTHLY. ANY BREACHES SHALL BE PROMPTLY REPAIRED.
- ALL SEEDING SHALL BE CHECKED FOR PROPER GROWTH AND UNIFORMITY. UNSTABILIZED AREAS SHALL BE RE-SOODED.
- A MAINTENANCE REPORT SHALL BE COMPLETED DAILY AFTER EACH INSPECTION OF THE SEDIMENT AND EROSION CONTROL METHODS. THE REPORTS SHALL BE FILED IN AN ORGANIZED MANNER AND RETAINED ON-SITE DURING CONSTRUCTION. AFTER CONSTRUCTION IS COMPLETED, THE REPORTS SHALL BE SAVED FOR AT LEAST THREE YEARS. THE REPORTS SHALL BE AVAILABLE FOR ANY AGENCY THAT HAS JURISDICTION OVER EROSION CONTROL.
- THE SUPERINTENDENT SHALL ORGANIZE THE TRAINING FOR INSPECTION PROCEDURES AND PROPER EROSION CONTROL METHODS FOR EMPLOYEES THAT COMPLETE INSPECTIONS AND REPORTS.

CONTRACTOR'S CERTIFICATION:

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGE ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

SIGNATURE/DATE	COMPANY NAME/ADDRESS	RESPONSIBILITY

<p style="font-size: 8px; margin-top: 5px;">© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 12760 GRAN BAY PARKWAY WEST, SUITE 2000 FORT MYERS, FLORIDA 33907 PHONE: 941-939-3000 WWW.KIMLEY-HORN.COM REGISTRY No. 31016</p>	<p style="font-size: 8px; margin-top: 5px;">FOR ENGINEER OF RECORD SIGNATURE AND SEAL REFER TO SIGNATURE SHEET C-02</p> <p style="font-size: 8px; margin-top: 5px;"> KIM PROJECT: _____ DATE: _____ SCALE: AS SHOWN DESIGNED BY: _____ DRAWN BY: _____ CHECKED BY: _____ </p>
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STORMWATER POLLUTION PREVENTION PLAN

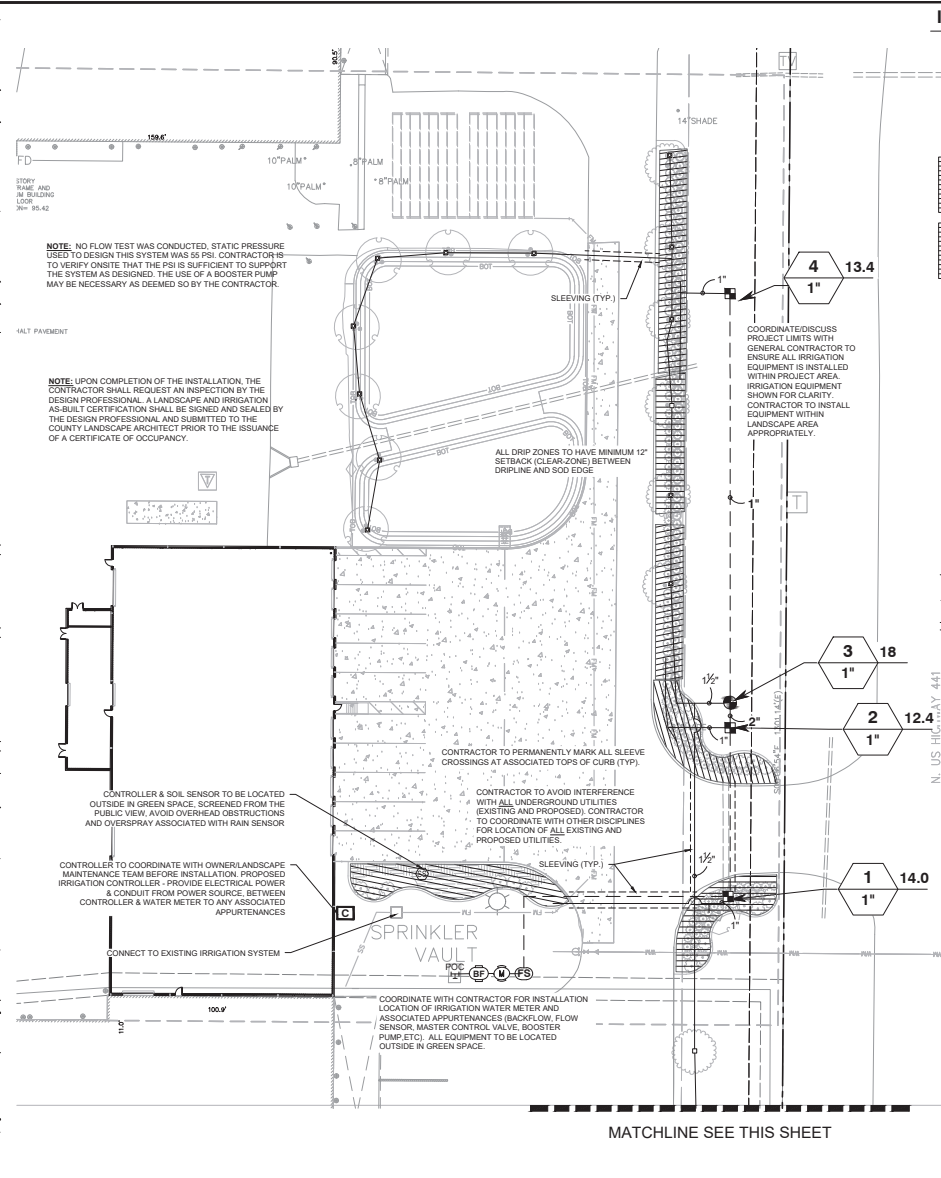
RING POWER EXPANSION

PREPARED FOR
RING POWER CORPORATION
MARION COUNTY
MAJOR SITE PLAN

SHEET NUMBER
C-704

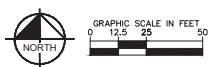
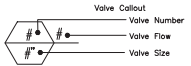
PLANNED DEVELOPMENT - CHECKS - SHEET - STORMWATER POLLUTION PREVENTION PLAN - RING POWER EXPANSION - MARION COUNTY - PROJECT NO. 2024-02-08-1491 - DATE: 02/28/2024 - 02:58:14pm - This document is the property of Kimley-Horn and Associates, Inc. and is intended for the specific project and client for which it was prepared. It is not to be used for any other project or purpose without the written authorization and approval of Kimley-Horn and Associates, Inc. All rights reserved.

This document, together with the contracts and design presented herewith, is the instrument of service. It is to be read in conjunction with the specifications and application to the contract and shall be without effect if they conflict with the provisions and conditions hereof. It is to be read in conjunction with the specifications and application to the contract and shall be without effect if they conflict with the provisions and conditions hereof.

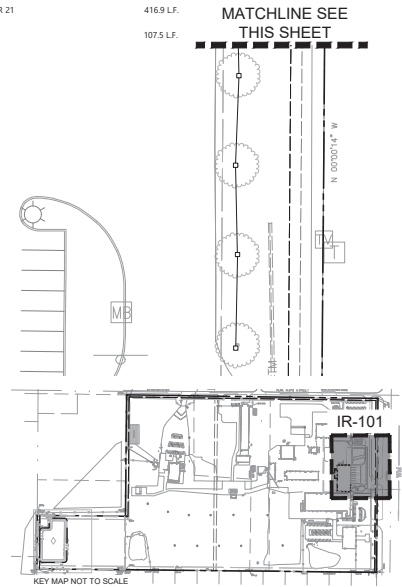


IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	HUNTER PCB-R FLOOD BUBBLER, 1/2IN. FIPT. WITH PURPLE CAP FOR RECLAIMED WATER USE.	18	15
	RAIN BIRD KCZ-100-PRF MEDIUM FLOW DRIP CONTROL KIT, 1IN. DIV VALVE, 1IN. PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR, 5 GPM-20 GPM.	3	
	AREA TO RECEIVE DRIPLINE RAIN BIRD XFD-04-12 XFD ON-SURFACE PRESSURE COMPENSATING LANDSCAPE DRIPLINE, 0.4 GPH EMITTERS AT 12" O.C. DRIPLINE LATERALS SPACED AT 12" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN, UV RESISTANT. SPECIFY XF INSERT FITTINGS.	786.8 LF.	
	AREA TO RECEIVE DRIPLINE RAIN BIRD XFD-04-12 (2) XFD ON-SURFACE PRESSURE COMPENSATING LANDSCAPE DRIPLINE, 0.4 GPH EMITTERS AT 12" O.C. DRIPLINE LATERALS SPACED AT 12" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN, UV RESISTANT. SPECIFY XF INSERT FITTINGS.	5,367 LF.	
	HUNTER ICV-G-8SP (3) 1IN., 1-1/2IN., 2IN. AND 3IN. PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.	1	
	HUNTER IBV (2) 1" 1IN., 1-1/2IN., 2IN. AND 3IN. BRASS ELECTRIC MASTER VALVE, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.	1	
	FFCO 825Y 1" REDUCED PRESSURE BACKFLOW PREVENTER	1	
	HUNTER HC-12 12 STATION CONTROLLER WITH WI-FI CONNECTION	1	
	HUNTER SOIL-CLK THE SOIL-CLK PROBE USES PROVEN TECHNOLOGY TO MEASURE MOISTURE WITHIN THE ROOT ZONE. WHEN THE PROBE SENSES THAT THE SOIL HAS REACHED ITS DESIRED MOISTURE LEVEL, IT WILL SHUT DOWN IRRIGATION, PREVENTING WATER WASTE.	1	
	HUNTER HC-100-FLOW (2) 1IN. FLOW METER FOR USE WITH HYDRAMIS ENABLED CONTROLLER TO MONITOR FLOW AND PROVIDE SYSTEM ALERTS, ALSO FUNCTIONS AS STAND ALONE FLOW TOTALIZER/SUB METER ON ANY RESIDENTIAL OR COMMERCIAL IRRIGATION SYSTEM.	1	
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21	1,065 LF.	
	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21	416.9 LF.	
	PIPE SLEEVE: PVC SCHEDULE 40	107.5 LF.	



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 Know what's below. Call before you dig.
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

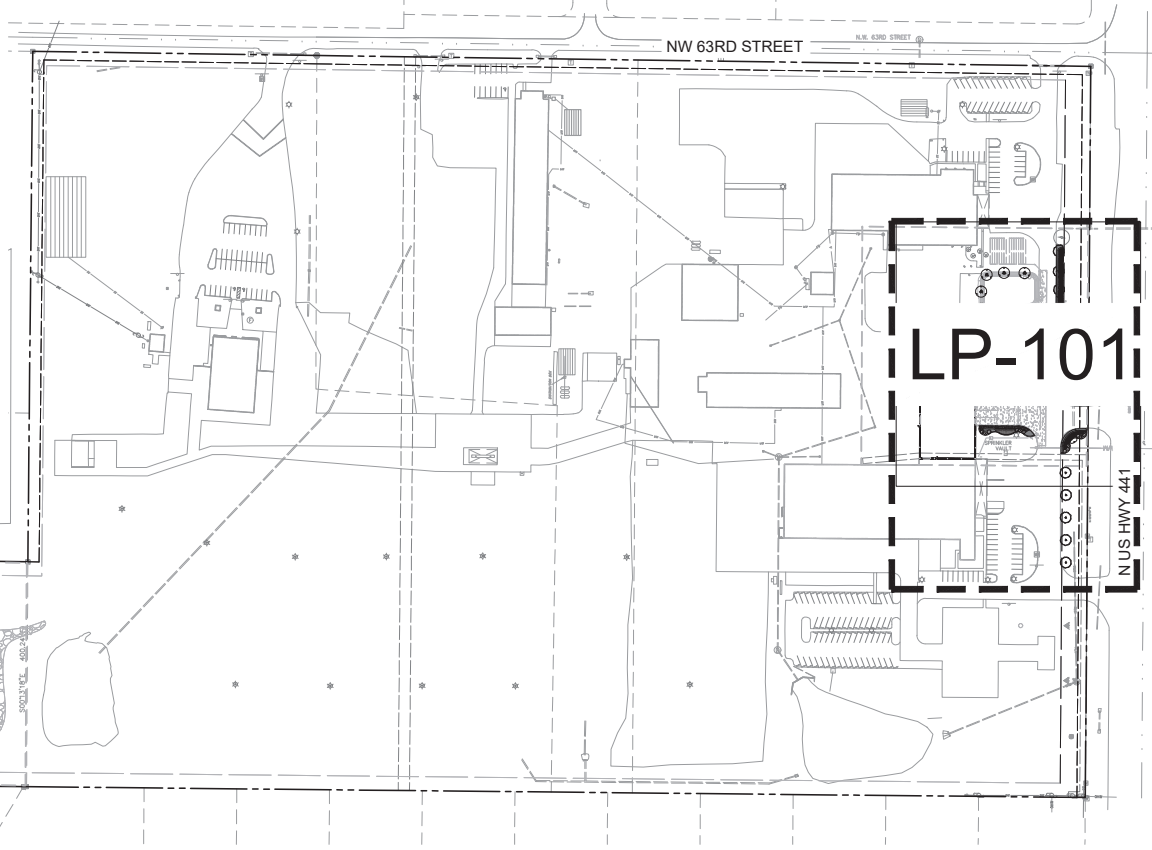
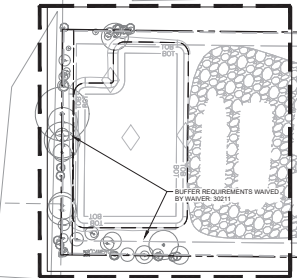


Kimley Horn 13004 HUNTER-HORN AND ASSOCIATES, INC. 12740 JACONVILLE, FLORIDA 32218 © 2020 WWW.KIMLEY-HORN.COM REGISTRY NO. 30108	
FOR LANDSCAPE ARCHITECT OF RECORD SIGNATURE AND SEAL REFER TO SIGNATURE SHEET C-002	
PROJECT NO. 2024-001 DATE: JUNE 2024 SCALE: AS SHOWN DESIGNED BY: HHA DRAWN BY: HHA CHECKED BY: HHA	FLORIDA MARION COUNTY MAJOR SITE PLAN
OVERALL IRRIGATION PLAN RING POWER OCALA	SHEET NUMBER IR-101
REVISIONS No. DATE BY	DATE BY

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LANDSCAPE CALCULATIONS		
PER MARION COUNTY LAND DEVELOPMENT CODE		
	REQUIRED	PROVIDED
SECTION 6.8.7	5' MIN. MIN. LANDSCAPED AREA AROUND PERIMETER OF PARKING LOT AREA. 1 SHADE TREE PER PARKING ISLAND, 2 SHADE TREES REQUIRED PER DOUBLE LOADED PARKING ISLANDS. PARKING ISLANDS SHALL BE COMPLETELY PLANTED WITH SHRUBS OR GROUNDCOVERS. TURFGRASS IS PROHIBITED.	PERIMETER OF PARKING LOT IS COMPLETELY LANDSCAPED WITH SHRUBS AND GROUNDCOVERS. SHADE TREES ARE PROVIDED IN ALL PARKING ISLANDS. ALL PARKING ISLANDS ARE PLANTED WITH SHRUBS AND/OR GROUNDCOVERS.
SECTION 6.8.10	25% OF ALL PROPOSED PLANT QUANTITIES, EXCLUDING TURF GRASS, SHALL BE FLORIDA NATIVE SPECIES SUITABLE FOR USE IN MARION COUNTY. 50% OF REQUIRED SHADE TREES SHALL BE FLORIDA NATIVE SPECIES SUITABLE FOR MARION COUNTY. NO MORE THAN 50% OF REQUIRED SHADE TREES SHALL BE OF ONE SPECIES.	61% OF PLANT SPECIES SELECTION IS FLORIDA NATIVE AND SUITABLE FOR MARION COUNTY. 100% OF SHADE TREES PROPOSED ARE NATIVE NO PROPOSED SHADE TREES EXCEED OVER 50% OF TOTAL SPECIES.

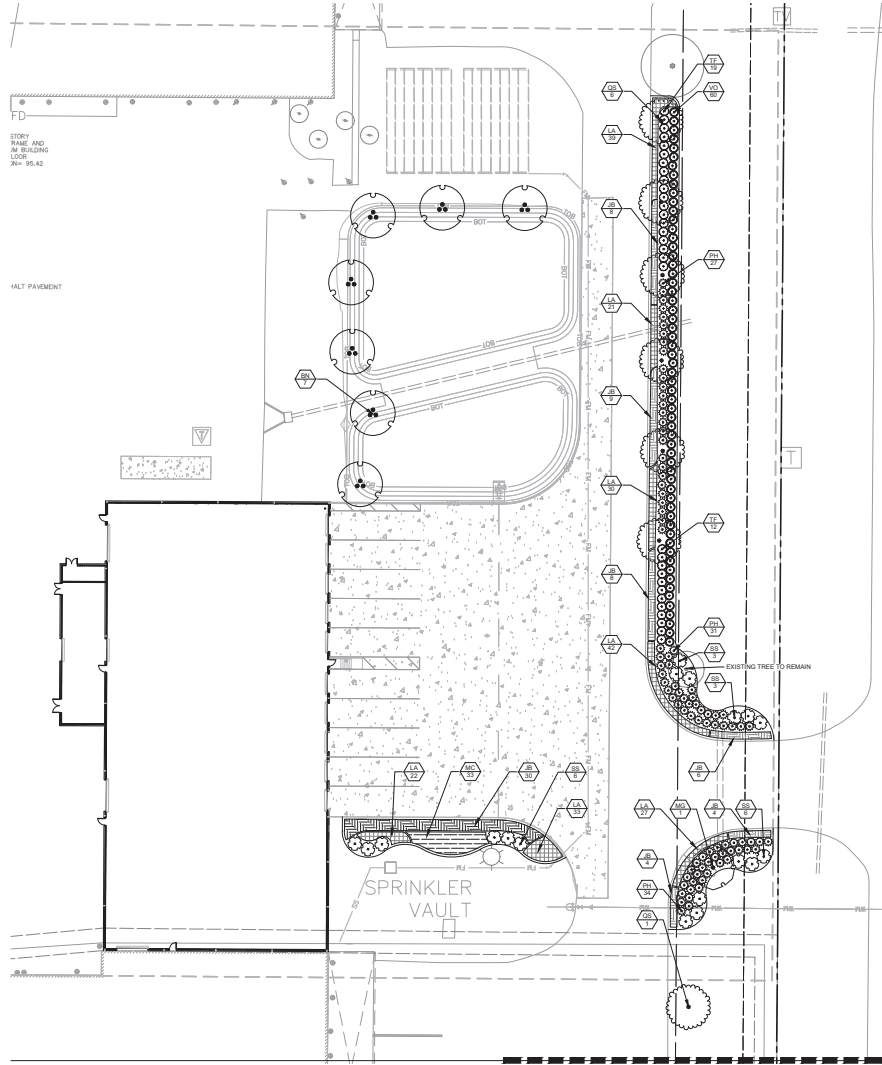
TOTAL TREE CALCULATION REQUIRED FOR SITE	
LDC SEC. 6.7.4	
East Redevelopment Area	
Site Shade Trees Required: 1/3,000 SF	14 Shade Trees
Calculation: 42,500 SF of Redeveloped Area / 3,000 SF = 14 Shade Trees	
East Site Shade Trees Provided	19 Shade Trees Proposed + 5 Existing Trees
West Redevelopment Area	
Site Shade Trees Required: 1/3,000 SF	30 Shade Trees
Calculation: 90,950 SF of Redeveloped Area / 3,000 SF = 30 Shade Trees	
West Site Shade Trees Provided	43 Existing Trees
Non-Residential Development Landscape Area	
LDC SEC. 6.8.4	
East Redevelopment Area	
20% of developed area to be landscaped.	8,500 SF
Calculation: 42,500 SF of Redeveloped Area x 20% = 8,500 SF	
East Landscape Area Provided	8,500 SF +
West Redevelopment Area	
20% of developed area to be landscaped.	18,190 SF
Calculation: 90,950 SF of Redeveloped Area x 20% = 18,190 SF	
West Landscape Area Provided	30,950 SF



NORTH
 GRAPHIC SCALE IN FEET
 0 50 100 200
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FOR LANDSCAPE ARCHITECT OF RECORD SIGNATURE AND SEAL REFER TO SIGNATURE SHEET C-002	
PROJECT NO. 144-87003 DATE: JUNE 2024 SCALE: AS SHOWN DESIGNED BY: HHA DRAWN BY: HEM CHECKED BY: MAJ	MARION COUNTY FLORIDA MAJOR SITE PLAN
OVERALL PLANTING PLAN SHEET NUMBER LP-100	RING POWER OCALA
REVISIONS No. DATE BY	

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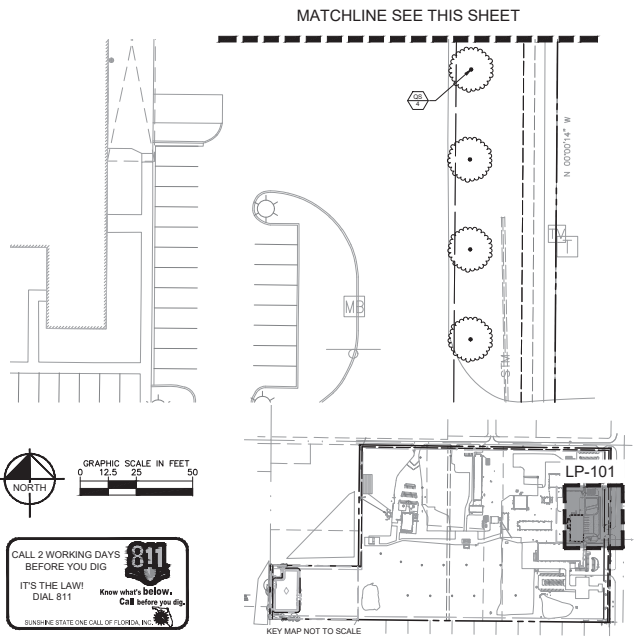


PLANT SCHEDULE

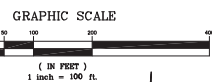
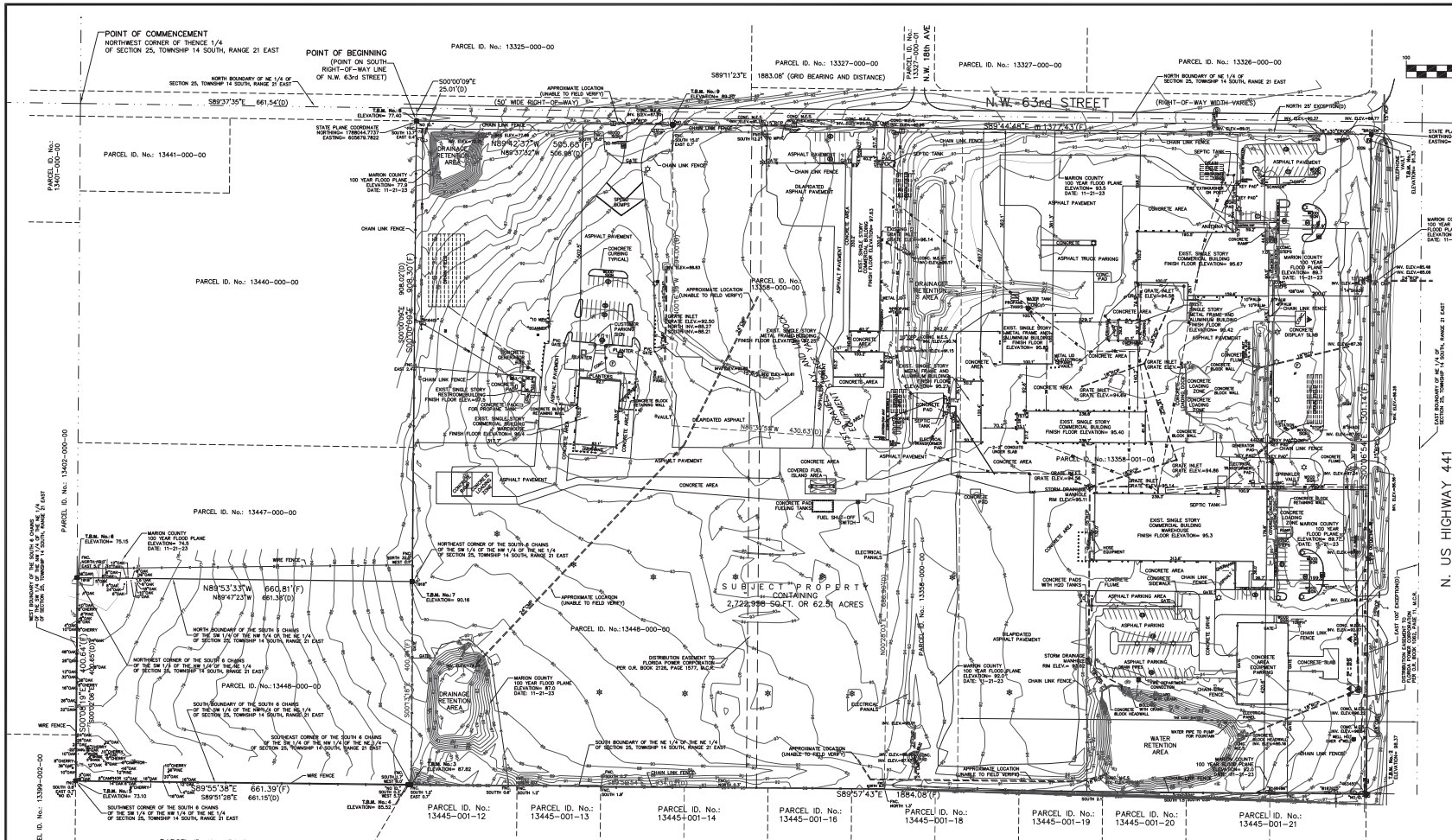
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	HEIGHT
TREES							
	BN	7	BETULA NIGRA	RIVER BIRCH MULTI-TRUNK	CONT.	9" MULTI-TRUNK, 3-CANE MIN.	12'-14' HT MIN
	MG	1	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	CONT.	4" CAL MIN	12'-14' MIN.
	QS	11	QUERCUS VIRGINIANA 'SKY CLIMBER'	SKY CLIMBER SOUTHERN LIVE OAK	CONT.	4" CAL MIN	12'-14' MIN.
SHRUBS							
	PH	92	PENNSTETUM ALOPECUROIDES 'HAMLEN'	HAMLEN FOUNTAIN GRASS	3 GAL	18" FULL	24" O.C.
	SS	18	SABAL REPENS	SAW PALMETTO	3 GAL	18" FULL	30" O.C.
	TF	31	TRIPSAcium DACTYLOIDES	FAMANTCHEE GRASS	3 GAL	24" FULL	48" O.C.
	VO	60	VIBURNUM CROVATUM	WALTER'S VIBURNUM	3 GAL	12" FULL	36" O.C.
SHRUB AREAS							
	MC	33	MULLENBERGIA CARLIARIS	PINK MUHLY GRASS	CONT.	18" FULL	36 O.C.
GROUND COVERS							
	BK	63	ILINPERLUS HORIZONTALIS 'BLUE RUG'	BLUE RUG LINPER	1 GAL	12"x12"	48" O.C.
	LA	214	LIRIOPE MUSCARI 'AZTEC'	AZTEC LILTYRIF	CONT.	12" FULL	24" O.C.

NOTE: 60% BUILDING FRONTAGE REQUIREMENT NOT MET BECAUSE OF SITE CONDITIONS. WAIVER APPROVED WITH THE PROPOSAL OF A 15 FT BUFFER ALONG HWY 441.

NOTE: UPON COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL. A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



 KIMLEY-HORN AND ASSOCIATES, INC. 12740 JACONDAVILLE, FLORIDA 32218 © 2020 WWW.KIMLEY-HORN.COM REGISTRY NO. 37018	FOR LANDSCAPE ARCHITECT OF RECORD SIGNATURE AND SEAL REFER TO SIGNATURE SHEET C-002	FOR LANDSCAPE ARCHITECT OF RECORD SIGNATURE AND SEAL REFER TO SIGNATURE SHEET C-002
	OVERALL PLANTING PLAN RING POWER OCALA	MARION COUNTY FLORIDA
NO. OF SHEETS: 14 SHEET NO.: 10 DATE: JUNE 2024 SCALE: AS SHOWN DESIGNED BY: HHA DRAWN BY: HEM CHECKED BY: MAJ	REVISIONS NO. DATE BY	MAJOR SITE PLAN



FEMA FLOOD ZONE
 THE DESCRIBED PROPERTY AS SHOWN HEREON IS IN ZONES "X"
 OF THE FEMA COMMUNITY PANEL NO. 130305001E, DATED APRIL
 1987; FEMA COMMUNITY PANEL NO. 130305001E, DATED
 AUGUST 28R, 2008; FEMA COMMUNITY PANEL NO. 130305001E,
 DATED APRIL 19R, 2017; AND FEMA COMMUNITY PANEL NO.
 130305001D, DATED AUGUST 28R, 2008.

BASIS OF ELEVATION
 ELEVATIONS ARE BASED ON THE F.P.M.N. NETWORK AND
 CHECKED INTO N.G.S. BENCHMARK CHAT ELEVATION 84.35 DATUM
 NAVD 1988.

HORIZONTAL DATUM
 STATE PLANE COORDINATES BASED ON THE FLORIDA DEPT. OF
 TRANSPORTATION F.P.M.N. NETWORK, NAD83, 1999 ADJUSTMENT.

- LEGEND**
- FOUND BURN HOOD AND CAP (CAP NUMBER AS REFERRED)
 - SANITARY SEWER MANHOLE
 - GRASSY MANHOLE
 - FUEL POLE
 - TELEPHONE RISER
 - IRRIGATION CONTROL BOX
 - LIGHT POLE
 - FLOOR LIGHT
 - POWER POLE
 - OVERHEAD ELECTRIC LINE
 - BURIED ELECTRIC
 - BURIED SEWER LINE
 - FLOOR SLAB
 - CONCRETE BEAM
 - WATER WELLS
 - WATER VALE
 - SANITARY SEWER CLEANOUT
 - NUMBER OF FINISH SPACES
 - FENCE LINE
 - FIELD MEASUREMENT
 - FENCE CORNER OR LOCATION
 - FENCE
 - COUNTY RECORDS
 - SURVEY BY SECTION
 - ELEVATION
 - CONCRETE CONCRETE PIPE
 - COMPACTED FLOOR FIN.

DESCRIPTION:
 PARCEL ID. No.: 13448-000-00
 COMMENCING AT THE NORTHWEST CORNER OF THE NE 1/4 OF SECTION 25, TOWNSHIP 14 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA, SAID POINT BEING A RAILROAD SPIKE IN THE PAVEMENT, THENCE S 09°37'30" E ALONG THE NORTH BOUNDARY OF SAID NE 1/4 A DISTANCE 661.54 FEET TO THE NORTHWEST CORNER OF THE EAST 1/2 OF THE NW 1/4 OF THE NE 1/4 OF SAID SECTION 25, THENCE S 00°00'09" E ALONG THE WEST BOUNDARY OF SAID EAST 1/2 OF THE NW 1/4 OF THE NE 1/4 A DISTANCE OF 25.00 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ON THE SOUTH RIGHT-OF-WAY LINE OF NW 63RD STREET (50 FEET WIDE); THENCE CONTINUE S00°00'09" E ALONG SAID WEST BOUNDARY 90.02 FEET TO THE NORTHWEST CORNER OF THE SW 1/4 OF THE NW 1/4 OF THE NE 1/4 OF SAID SECTION 25, THENCE N 89°47'23" W ALONG THE NORTH BOUNDARY OF SAID SOUTH 6 CHAINS OF THE SW 1/4 OF THE NW 1/4 OF THE NE 1/4 A DISTANCE OF 661.54 FEET TO THE NORTHWEST CORNER OF THE SW 1/4 OF THE NW 1/4 OF THE NE 1/4 OF SAID SECTION 25, THENCE S 09°37'30" E ALONG THE SOUTH BOUNDARY OF SAID SOUTH 6 CHAINS OF THE SW 1/4 OF THE NW 1/4 OF THE NE 1/4 OF SAID SECTION 25, THENCE N 02°00'09" E ALONG THE WEST BOUNDARY OF SAID SOUTH 6 CHAINS OF THE SW 1/4 OF THE NW 1/4 OF THE NE 1/4 OF SAID SECTION 25, THENCE S 89°50'54" E ALONG THE SOUTH BOUNDARY OF SAID SOUTH 6 CHAINS OF THE SW 1/4 OF THE NW 1/4 OF THE NE 1/4 OF SAID SECTION 25, THENCE N 89°50'54" E ALONG THE SOUTH BOUNDARY OF SAID SOUTH 6 CHAINS OF THE SW 1/4 OF THE NW 1/4 OF THE NE 1/4 OF SAID SECTION 25, THENCE N 02°00'09" W 59.400 FEET TO AN INTERSECTION WITH THE ADJACENT SOUTH RIGHT-OF-WAY LINE, THENCE N 89°37'32" W ALONG SAID SOUTH RIGHT-OF-WAY LINE 506.98 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH
 PARCEL ID. No.: 13358-001-00
 THE EAST 900 FEET OF THE NE 1/4 OF THE NE 1/4 OF SECTION 25, TOWNSHIP 14 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA, EXCEPT THE EAST 100 FEET THEREOF FOR ROAD RIGHT OF WAY AND EXCEPT THE NORTH 25 FEET THEREOF FOR ROAD RIGHT OF WAY.

TOGETHER WITH
 PARCEL ID. No.: 13358-000-00
 THE NE 1/4 OF THE NE 1/4 OF SECTION 25, TOWNSHIP 14 SOUTH, RANGE 21 EAST, LESS AND EXCEPT THE EAST 900.00 FEET THEREOF AND THE NORTH 25.00 FEET THEREOF FOR ROAD RIGHT OF WAY FOR STATE ROAD 25-1.

TOGETHER WITH THE EAST 1/2 OF THE NE 1/4 OF SECTION 25, TOWNSHIP 14 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA, LESS AND EXCEPT THE FOLLOWING DESCRIBED PROPERTY, COMMENCING AT THE NORTHWEST CORNER OF THE NE 1/4 OF SECTION 25, TOWNSHIP 14 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA, SAID POINT BEING A RAILROAD SPIKE IN THE PAVEMENT, THENCE S 09°37'30" E ALONG THE NORTH BOUNDARY OF SAID NE 1/4 A DISTANCE 661.54 FEET TO THE NORTHWEST CORNER OF THE EAST 1/2 OF THE NW 1/4 OF THE NE 1/4 OF SAID SECTION 25, THENCE N 89°47'23" W ALONG THE NORTH BOUNDARY OF SAID SOUTH 6 CHAINS OF THE SW 1/4 OF THE NW 1/4 OF THE NE 1/4 OF SAID SECTION 25, THENCE S 09°37'30" E ALONG THE SOUTH BOUNDARY OF SAID SOUTH 6 CHAINS OF THE SW 1/4 OF THE NW 1/4 OF THE NE 1/4 OF SAID SECTION 25, THENCE N 02°00'09" E ALONG THE WEST BOUNDARY OF SAID SOUTH 6 CHAINS OF THE SW 1/4 OF THE NW 1/4 OF THE NE 1/4 OF SAID SECTION 25, THENCE S 89°50'54" E ALONG THE SOUTH BOUNDARY OF SAID SOUTH 6 CHAINS OF THE SW 1/4 OF THE NW 1/4 OF THE NE 1/4 OF SAID SECTION 25, THENCE N 89°50'54" E ALONG THE SOUTH BOUNDARY OF SAID SOUTH 6 CHAINS OF THE SW 1/4 OF THE NW 1/4 OF THE NE 1/4 OF SAID SECTION 25, THENCE N 02°00'09" W 59.400 FEET TO AN INTERSECTION WITH THE ADJACENT SOUTH RIGHT-OF-WAY LINE, THENCE N 89°37'32" W ALONG SAID SOUTH RIGHT-OF-WAY LINE 506.98 FEET TO THE POINT OF BEGINNING, LESS AND EXCEPT THE NORTH 25.00 FEET THEREOF FOR ROAD RIGHT OF WAY FOR STATE ROAD 25-1.

- NOTES:**
1. BEARINGS ARE ASSUMED AND BASED ON THE WEST BOUNDARY OF THE NW 1/4 OF NE 1/4 OF SECTION 25, TOWNSHIP 14 SOUTH, RANGE 21 EAST BEING: S00°00'09" E.
 2. UNDERGROUND IMPROVEMENTS SHOWN ARE BASED ON BEST AVAILABLE INFORMATION, (I.e. PREVIOUS SURVEYS, ASBUILT SURVEYS, OR INFORMATION PROVIDED BY RING POWER).
 3. ALL RIGHT-OF-WAYS SHOWN ARE PHYSICALLY OPEN.
 4. DESCRIPTION FURNISHED BY CLIENT AND MARION COUNTY RECORDED DOCUMENTS.
 5. UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RASD SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.
 6. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS OR OWNERSHIP TITLE EVIDENCE EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAN. THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING, WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS OTHER THAN POSSIBLE EASEMENTS THAT WERE VISIBLE AT THE TIME OF THE MAKING OF THE SURVEY, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION, RESTRICTIONS, ZONING OR OTHER LAND-USE REGULATIONS, AND/OR OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 7. THIS SURVEY HAS BEEN PREPARED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE PARTIES NAMED HEREON AND SHALL NOT BE RELIED UPON BY ANY OTHER INDIVIDUAL OR ENTITY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 8. LOCATIONS OF SEPTIC TANKS AND DRAIN FIELDS ARE APPROXIMATE AND NOT FIELD VERIFIED.
 9. AT THE TIME OF THIS SURVEY F.O.D.1. IS RECONSTRUCTING ROADWAY, DRAINAGE AND MEDIAN ALONG IN U.S. HIGHWAY 441.



BRUCE M. VARNADO
 PROFESSIONAL SURVEYOR AND MAPPER
 NO. 2870, STATE OF FLORIDA
 DATE OF SIGNATURE:

BOUNDARY AND TOPOGRAPHIC SURVEY
RING POWER CORPORATION

FOR THE BENEFIT OF:
 RING POWER CORPORATION

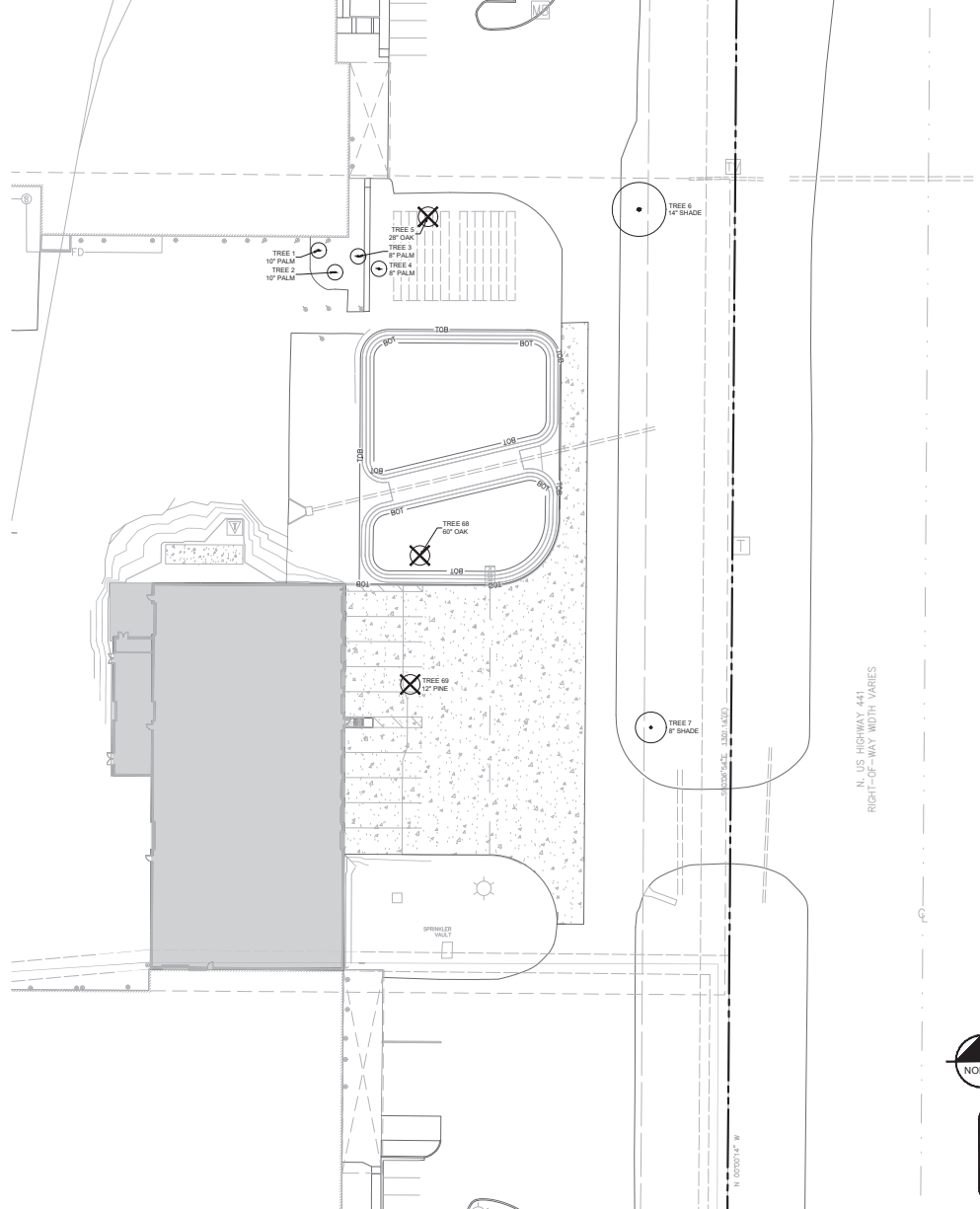
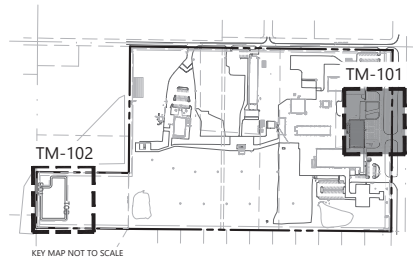
I HEREBY CERTIFY THAT THE HEREON DEPICTED PARCEL OF LAND WAS SURVEYED UNDER MY DIRECTION AND THAT SAID SURVEY CONFORMS TO THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS IN CHAPTER 25-17, FLORIDA ADMINISTRATIVE CODE.
 DATED AT Ocala, Florida this 12th day of July, 2023.

Job No.: 23-085 Drawing: 23085E Scale: 1" = 100'
 Drawn by: EAM Approved by: BMV F.B.2307 Pg.51-45
 Date Finished: Office: 05-13-22 Field: 05-09-22

SHEET NO. 1 OF 1 SHEETS

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TREE LEGEND

- TREE TO REMAIN
- TREE TO BE REMOVED
- OFF-SITE TREE TO REMAIN

NORTH

GRAPHIC SCALE IN FEET
 0 15 30 60

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 Know what's below. Call before you dig.
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

Kimley-Horn © 2024 KIMLEY-HORN AND ASSOCIATES, INC. 12745 GRAND AVENUE, SUITE 2000 JACKSONVILLE, FLORIDA 32216 PHONE: 904-409-3000 WWW.KIMLEY-HORN.COM REGISTRY No. 35106	FOR LANDSCAPE ARCHITECT OF RECORD SIGNATURE AND SEAL REFER TO SIGNATURE SHEET C-02		KHA PROJECT NO. DATE JUNE 2024	SCALE AS SHOWN DESIGNED BY: KHA DRAWN BY: HEM CHECKED BY: MAJ	FLORIDA MARION COUNTY MAJOR SITE PLAN
	OVERALL MITIGATION PLAN RING POWER OCALA		SHEET NUMBER TM-101	REVISIONS No. DATE	BY

