January 9, 2025 PROJECT NAME: RING POWER EXPANSION PROJECT NUMBER: 2022030278 APPLICATION: MAJOR SITE PLAN #30211

- DEPARTMENT: ENGDRN STORMWATER REVIEW REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI STATUS OF REVIEW: INFO REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- DEPARTMENT: ENGDRN STORMWATER REVIEW
 REVIEW ITEM: Copy of District Permit (County Interest)
 STATUS OF REVIEW: INFO
 REMARKS: Please provide a copy of the District permit prior to construction.
- 3 DEPARTMENT: ENGIN DEVELOPMENT REVIEW
 REVIEW ITEM: 2.12.4.K List of approved waivers, their conditions, and the date of approval
 STATUS OF REVIEW: INFO
 REMARKS: 10/25/23 add waivers if requested in the future
- 4 DEPARTMENT: ENGIN DEVELOPMENT REVIEW REVIEW ITEM: Additional Development Review Comments STATUS OF REVIEW: INFO

REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

- 5 DEPARTMENT: DOH ENVIRONMENTAL HEALTH REVIEW ITEM: Additional Health comments STATUS OF REVIEW: INFO REMARKS: M zoning will require an operating permit Septic tank and drainfield shown on plan. Water line will need to be at least 2' from all parts of septic system if schedule 40 pvc.
- 6 DEPARTMENT: ZONE ZONING DEPARTMENT REVIEW ITEM: 4.4.4 -Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan.
 STATUS OF REVIEW: INFO REMARKS: Will there be any signage?
- DEPARTMENT: ZONE ZONING DEPARTMENT REVIEW ITEM: 2.12.27 - Show location of outside storage areas STATUS OF REVIEW: INFO REMARKS: Will there be any outside storage?

8 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW REVIEW ITEM: Major Site Plan STATUS OF REVIEW: INFO REMARKS: Verified with Sunbiz. 3.25.24

IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H - Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]." Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec. 6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."



Marion County Board of County Commissioners

AR 30211

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

DEVELOPMENT REVIEW PLAN APPLICATION

Date: 09/20/2023

A. PROJECT INFORMATION:

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B. CONTACT INFORMATION (<u>Check</u> the appropriate box indicating the point for contact for this project. Add <u>all</u> emails to receive correspondence during this plan review.)

Engineer:					
Firm Name: Kimley-Horn & Associates, Inc.	Contact Name:	Josh Co	ckriel,	P.E.	
Mailing Address: 12740 Gran Bay Parkway West, Suite 2350 City:	Jacksonville	State: F	<u>L 7</u>	Zip Code:_	32258
Phone # 904-828-3909 Alternate P	hone #				
Email(s) for contact via ePlans: ocala.permits@kimley-	horn.com				
Surveyor: Firm Name: Moorhead Engineering Company	Contact Name:	Bruce V	arnado)e	
Mailing Address: 305 SE 1st Avenue City:	Ocala	State:	FL Z	Zip Code:	34478
Phone # 352-732-4406 Alternate P	hone #			1 –	
Email(s) for contact via ePlans: brucev@meco.us					
Property Owner: Owner: Ring Power Corporation	Contact Name: S	Shane McL	_aughlin		
Mailing Address: 500 World Commerce ParkwayCity:	St Augustine	State: F	·L 2	Zip Code:	32092
Phone # 904-737-7730 Alternate P	hone #			1	
Email address: shane.mclaughlin@ringpower.com					
Developer: Developer: Ring Power Corporation	Contact Name: S	Shane McL	_aughlin		
Mailing Address: 500 World Commerce ParkwayCity:	St Augustine	State: FL	- 2	Zip Code:	32092
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Email address: shane.mclaughlin@ringpower.com					

Revised 6/2021

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GENERAL NOTES

- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY "LAND DEVELOPMENT CODE" AND "UTILITY MANUAL" AS APPLICABLE.
- NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER AND PROJECT ENGINEER.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE REPORTING SPECIFICATION AND RECORDENTS. CONTRACTOR SHALL CLAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, ENSING PARKINGT AND ALL OTHER DELETIONISM ANTERIAL.
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- 6. IT IS THE CONTRACTOR'S RESPONSELITY TO CONTACT THE VARIOUS ULUTY CONSTRUCTION, AREA BEFORE COMMENSIONE WORK. THE CONTRACTOR SHALL PROVIDE 49 HOURS MIRILUM NOTE TO ALL UTUTY COMPARES PRIOR TO BECOMMING CONSTRUCTION. A LIST OF THE UTUTY COMPARES WHICH THE CONTRACTOR TO THESE CONSTRUCTION PLANES. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LINT THE UTUTY COMPARES WHICH THE CONTRACTOR TO THESE CONSTRUCTION PLANES. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LINT THE UTUTY COMPARES WHICH THE CONTRACTOR MAY MAY TO NOTIFY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB STE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- 9. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK, NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- 10. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGNEER A CONTINED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL (LAND ELOCATION OF ALL CONSTRUCTION INFORMATION THAT ARE RECORD JUDICATION OF ALL CONSTRUCTION INFORMATION THAT ARE RECORD WILL BE THE CONTRACTORS RESPONSIBILITY.
- 12. THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.
- 13. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PROPERLY ABANDONED BY A LUCRISED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL URSIDENTIONAL ACENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
- 14. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
- 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DD NOT CONFLICT WITH ANY KNOWN EXISTING OF OTHER PROPOSED IMPROVEMENTS, FANY CONFLICTS ARE INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FALURE TO NOTFY OWNER OF AN IDENTIFIABLE CONFLICT FROM TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- ALL SIGN POSTS TO BE U-CHANNEL GALVANIZED STEEL 2lbs/L.F. BREAKAWAY POSTS.
- 17. ALL UTILITIES UNDER EXISTING OR PROPOSED PAVEMENT SHALL BE SLEEVED IN ACCORDANCE WITH SECTION B.2.6.ª OF THE MARION COUNTY LDC.
- ALL LIGHTING SHALL BE SHIELDED TO NOT CAST GLARE ONTO ADJACENT PROPERTY.
- 16. BUILDING SHALL COMPLY WITH THE IN BUILDING PUBLIC SAFETY MININUM RADIO SIGNAL STRENCH REQUIREMENTS. THE LOCATION WILL NEED TO HIRE AN AUGUSTATION AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND RECESSARY, DO EDUPWENT WHICH ALLONG THE BUILDING AND RET THE MININUM POLICIES. THE BUILDING MUST HAVE A PASSING RADIO TEST PRIOR TO CALLING FOR THE FINAL FIRE INSPECTION OF THE BUILDING. AND TEST PRIOR TO CALLING FOR THE FINAL FIRE INSPECTION OF THE BUILDING. AND THE STALL FIRE OFFICE OF THE FIRE AND ADDRESS AND ADDRESS AND ADDRESS AND CP EDUPWENT MIST BE DONE UNDER A PERMIT AND BE APPROVED BY THE OFFICE OF THE FIRE AND ADDRESS ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS ADDRESS AND ADDRESS A
- 20. UPON COMPLETION OF THE LANDSCAPE INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN FRORESSIONAL. A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SCHED AND SHALLD BY THE DESIGN FROFESSIONAL AND SUBMITED TO THE CONTYL ANDSCAPE ARCHTECT FROM TO THE ISSUNCE OF A CERTIFICATE OF OCCUPANCY.
- 21. THE CONTRACTOR SHALL OBTAIN AND PROVIDE A COPY OF THE N.P.D.E.S. PERMIT OR N.O.I. TO MARION COUNTY.

DEMOLITION NOTES

- 1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
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- 3. THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN FOR DEMOLITON/PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE ENDIVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITON.

PAVING, GRADING AND DRAINAGE NOTES

- ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN COUNTY'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
- 2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
- 3. TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUEREMENTS OF THE MANUAL OF UNFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FINIA), AND THE REQUEREMENTS OF THE STATE AND ANY LOCAL. AGENCY HAVING JURISDICTION. IN THE SENT THAT THE CONTRACT DOUBLINGS AND THE WHALL GOVERNMENTS ARE NOT IN ARREWENT, HE MOST STRINGENT WHALL GOVERNMENTS.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- ALL DRAINAGE FACILITIES AND STORM STRUCTURES MUST BE BUILT PRIOR TO CONSTRUCTION OF ANY IMPERVIOUS SURFACES.
- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2° DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
- 9. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTL. ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEARNED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
- 10. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
- 11. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAFED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
- 12. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FOOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- 13. ALL SLORES AND AREAS DISTINGED BY CONSTRUCTION SHALL BE GRAED AS FER PLANS. THE AREAS SHALL THEN BE SODDED RESERVED AS PERFORMED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MANTAINED UNTIL HARDY GRASS GROWTH IS ESTRUBIEND IN ALL AREAS. ANY AREAS DISTURBED FOR ANY RESSON FRIGOR TO FINAL ADDITIONAL COST TO THE OWNER, ALL EARTHEN AREAS WILL BE SODDED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCHEM PLAN.
- ALL CUT OR FILL SLOPES SHALL BE 4 (HORIZONTAL) :1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
- 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- 16. THE CONTRACTOR SHALL TAKE ALL PROVINED MEASURES TO CONTROL TURBORY, LINE OF CONTROL TO THANGETRANG SUSPENDED SAUDS NNTO THE RECEIVING WHERE THE POSSIBULITY OF THANGETRANG SUSPENDED SAUDS NNTO THE RECEIVING WHERE THE POSSIBULITY OF THANGETRANG SUSPENDED SAUDS NNTO THE RECEIVING WHERE THE POSSIBULITY OF THANGETRANG SUSPENDED SAUDS NNTO THE RECEIVING WHERE DOY CONTROL TO THANGETRANG SUSPENDED SAUDS NNTO THE RECEIVING WHERE THE POSSIBULITY OF THANGETRANG SUSPENDED SAUDS NNTO THE RECEIVING WHERE THE POSSIBULITY OF THANGETRANG SUSPENDED SAUDS NNTO THE RECEIVING WHERE TO THE SAULT THEORY TANGETRANG SUSPENDED SAUDS NNTO THE RECEIVING WHERE TO THE SAULT THEORY TANGETRANG SUSPENDED SAUDS NNTO THEORY TANGETRANG SUSPENDED SAUDS NNTO THEORY TANGETRANG SUSPENDED SAUDS NNTO THE SAULT THEORY TANGETRANG SUSPENDED SAUDS NNTO THEORY TANGETRANG SUSPENDED SAUDS NNTO THE SAULT THEORY TANGETRANG SUSPENDED SAUDS NNTO THEORY TANGETRANG SUSPENDED SAUDS NNTO THEORY THEORY TANGETRANG SUSPENDED SAUDS NNTO THEORY TANGETRANG SUSPENDED SAUDS NNTO THEORY TANGETRANG SUSPENDED SAUDS NNTO THEORY THEORY THEORY TANGETRANG SUSPENDED SAUDS NNTO THEORY SUSPENDED SAUDS NNTO THEORY TANGETRANG SUSPENDED SAUDS NNTO THEORY SUSPENDED SAUDS NNTO THEORY TANGETRANGETRANG SUSPENDED SAUDS NNTO THEORY SUSPENDED SAUDS NNTO THEORY SUSP
- 17. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS INCCESSARY, TO REVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
- 18. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MONECTATIONS IN COOL CONDITION AT THE CONSTRUCTORS WITH PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT EMPESIATIONS.
- 19. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDERSHABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- 20. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

WATER AND SEWER UTILITY NOTES

- 1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNER HALL TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL ACENCY REQUIREMENTS IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE LURISDICTIONAL ACENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE WAST STRINGENT SHALL COVERN.
- 2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- 3. DETLETING OF PRE JOINTS AND CURVATURE OF PRE SVALL NOT EXCELD THE MANUFACTUREY'S SECONFORMS. SCICHER'L GOST ALL OPEN EDBS OF PRE AND FITTINGS WITH A WATERINGTF PLUG WHEN WORK IS NOT IN PROGRESS. THE NITERIOR OF ALL PRES STALL BE CLEAN AND JOINT SHORE THEORY WHED CLEAN AND BEF PLUTER THE PRE-HAS RECEL LOWEDD THE THEORY WHED CLEAN AND BEF PLUTER THE PRE-HAS RECEL LOWEDD INTO PLUNS. WALKES STALL BE FLUME AND LOCATED ACCOUNTS TO THE PLUNS.
- 4. ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK TILLING, SHALL BE DOKE IN A FIRST CLASS WORKMANIKE WANNER. MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY DJ. PHE FITTINGS. ANY PHE OR TITTING WHICH IS DAMAGED OR WHICH HAS FLANS OR IMPERFECTIONS. WHICH IN THE OPINION OF THE ENONEEN OR OWNER, RENDERS IT UNIT FOR USE, SHALL NOT BE USED. ANY PHE NOT SATISFACTORY TOR USE. SHALL NOT BE USED. ANY PHE NOT SATISFACTORY TOR USE. SHALL BE CHARACED AT THE CONTRACTOR'S EXPENSE.
- WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
- ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISICITIONAL INGENCY'S SECTIONAL ACENCY RECURRENTS ARE NOT IN AGREEVENT, THE NOTS STRENGENT SHALL GOVERN ARE NOT IN AGREEVENT, THE NOTS STRENGENT SHALL GOVERN
- UNDERGROUND LINES SHALL BE SURVEYED BY A PROFESSIONAL LAND SURVEYOR BEFORE BACK FILLING.
- 8. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, MAY AND ALL TESTS REQUIRED BY THE SPECICATIONS AND/OR MAY ACENCY ANNIE JURGOLTON, HEESE TESTS MAY INCLUE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXPILITRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURGOLTONIAL AGENCY AS REQUIRED.
- MARION COUNTY UTILITIES WILL OWN AND MAINTAIN THE WATER AND SEWER MAINS. DAMAGES TO THE HARDSCAPE, LANDSCAPE, OR RESTORATION WILL BE THE SOLE RESPONSIBILITY OF THE OWNER IN THE EVENT OF ANY MAIN REPAIR.

MAINTENANCE

AMOUNTAINMENT OF THE ENGINE AND SEDMENT CONTROL PLAN, AND IN THE STORM WATER POLLITION PREVENTION PLAN, SHALL BE MOTTAINED THE TOTAL THE POLLITION PREVENTION PLAN, SHALL BE AND THE STORM WATER POLLITION PREVENTION THE AND ADDRESS THE ADDRESS AND SEDMENTATION CONTROL MEASURES SHALL BE CHECKOL PLAN DESCRIPTION OF THE STORE SHALL BE CHECKOL PLAN DESCRIPTION OF THE STORE SHALL BE CHECKOL PLAN DESCRIPTION OF THE STORE SHALL BE CHECKOL ADDRESS AND SEDMENTATION CONTROL MEASURES SHALL BE CHECKOL PLAN DESCRIPTION OF THE STORE SHALL BE CHECKOL ADDRESS AND SEDMENTATION CONTROL MEASURES SHALL SECRITICAL ADDRESS AND SEDMENTATION CONTROL MEASURES SHALL SECRITICAL ADDRESS AND SEDMENTATION CONTROL MEASURES SHALL SECRITICAL SECRITICAL SECRITICAL ADDRESS AND SEDMENTATION CONTROL MEASURES SHALL SECRITICAL SECRITICAL ADDRESS AND SEDMENTATION CONTROL MEASURES SHALL SECRITICAL SECRITI

- 1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED, FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 981 OF THE STANDARD SPECIFICATIONS.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- 4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUID ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAID.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- 6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 55 CUBIC YARDS / ACRE.
- ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.



UTILITY NOTES:

- ALL WATER, SEWER, AND REUSE WORK MUST BE PERFORMED IN ACCORDANCE WITH MARION COUNTY WATER AND SEWER STANDARDS, DETAILS, AND SPECIFICATIONS AS WELL AS ALL APPLICABLE STATE AND LOCAL REGULATIONS.
- ALL EQUIPMENT AND MATERIALS SHALL COMPLY WITH THE MARION COUNTY STANDARDS AND SPECIFICATIONS.
- 3. WHELE IT IS NOT POSSIBLE FOR WITER AND STREE (WILLIDING STRAW) LIKES TO SPOSS WITH A WILLION OF MICHS OF VERTICAL CLARANCE, A TALLINNEY TOWN OF WITER DALITY PPE (ALLIN OF MICHS OF VERTICAL CLARANCE, A TALLINNEY TOWN OF WITER DALITY PPE (ALLIN OF MICHS) OF THE ADDRESS OF MICHS OF A TANKA OF ADDRESS OF MICHS USUALLY OF TET LOOK WILL DE CONTERCE OF THE PONT OF GROSSION, HE CONTRACTOR WILL FIELD VERTY THE VERTICAL SEPARATION. HE MINIMUM VERTICAL SEPARATION DETWEEN WATER ADD SEVER (MICHLONG STORM) PPES WIENT 18 INSTRACTS IS NOT POSSIBLE WILL BE IN AVIES DALETER TO OUTSIDE DAMETER. IT IS PRETEXABLE TO HAVE THE WATER MAN ABOVE THE SEVER LIKES ADD AT LEAST 18 IN DALES VERTICAL SEPARATION.
- A FULL UNCUT LENGTH OF WATER MAIN PIPE (USUALLY 20 FEET) SHALL BE CENTERED AT THE POINT OF CROSSING OF ALL WATER AND SEWER (INCLUDING STORM) LINES AT THE POINT OF CROSSINGS RECARDESS OF THE VERTICAL SEPARATIONS.
- 5. IN THE CASE WHERE SOLVENT CONTAMINATION IS FOUND IN TRENCH, WORK WILL BE STOPPED AND THE PROPER AUTHORITIES NOTIFED, WITH THE APPROVAL OF THE MARION CONTY HEALTH DEPARTMENT, DUCTIE, HON PER, ETTINGS, AND APPROVED SOLVENT, RESISTANT CASEFUL TATERNAL SHALL BE USED IN THE CONTAMINATE AREA. THE DUCTLE HON PPE WILL EXTEND AT LEAST 100 FEET BETOND ANY DISCOVERY SOLVENT.
- 6. IN REGARD TO THE REQUEST FOR A LETTER OF RELEASE TO PLACE THE CONSTRUCTION INTO SERVICE, THE BACTERICLOSICAL SAMPLE POINTS SHALL BE INDICATED IN RED OR PINK ON THE RECORD OR AS BUILT DRAWINGS. THE SAMPLE NUMBERS WILL CORRESPOND TO THOSE ON THE BACTERICLOSICAL SAMPLE LAB SHEETS.
- 7. THE RECORD OR "AS BUILT" DRAWINGS SHALL BE PREPARED BY THE CONTRACTOR'S SURVEYOR, WHO SHALL BE REDISTRED IN THE STATL OF LORDA. "AS-BUILT" DRAWINGS SHALL BE PREVENT THE COMPAREMENT OF LORDARY DRAWING SHALL DE MEDIATION THE COMPAREMENT OF DRAWING SHALL DEAL OF THE CONTRACTOR FOR APPROVAL. THE RECORD DRAWING SHALL CLEARLY DEPICT THE VERTICAL CLEARANCES ENTERN WHEN AND SERVER (NOLMING STORM) LIPSE TALL CRESSING AND PARALLEL RUNS WHERE THE HORIZONIAL SEPARATION IS LIESS THAN TO FEEL IN ADDITION, THE CONTRACTOR FOR APPROVAL. SHALL SEPARATION STORM LIPSE TALL CRESSING AND PARALLEL RUNS WHERE THE HORIZONIAL SEPARATION STORM LIPSE TO MONIFIC OF CONSIDING AND PARALLEL RUNS WHERE THE HORIZONIAL SEPARATION SCIESS THAN TO FEEL IN ADDITION, CLEARANCES WHERE AN ANNUMING OF IS INCHES OF VERTICAL CLEARANCE BETWEEN THE WATER AND SERVER (NOLLONG STORM) LIPSE IS NOT POSSIBLE.
- 8. EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED BY THE SURVEYOR, USING GROUND PENETRATING RADAR, MARION COUNTY RECORD DRAWINGS AND A LIMITED NUMBER OF SULE. THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 9. VERTICAL LOCATIONS OF ALL UTURISE (EXCLUDING EXISTING STORM SEVERES) SHOWN ON PLAN AND PROTILE SHETS HAVE BEEN ASSUMED. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION NEAR EXISTING UTURISE SHOWN ON THE PLANS BEFORE CONTINUING WITH CONSTRUCTION. LOCATION DIFFERS FROM INTA SHOWN ON THE PLANS BEFORE CONTINUING WITH CONSTRUCTION.
- 10. SHOULD CONDITIONS VARY FROM THOSE SHOWN ON THESE PLANS THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO CONTINUING CONSTRUCTION.
- ALL WATER AND SEWER CONSTRUCTION SHALL BE ACCOMPLISHED BY AN UNDERGROUND UTILITY CONTRACTOR LICENSED UNDER THE PROVISIONS OR CHAPTER 489, FLORIDA STATUTES.
- ALL UNDERGROUND UTILITIES TO BE INSTALLED SHALL BE IN ACCORDANCE WITH THE MARION COUNTY SPECIFICATIONS AND THE APPROVED SITE PLANS.
- 13. ALL WATERMANS SHALL HAVE A MINIMUM OF 36" COVER FROM FINISHED GRADE AND ALL FOREELMANS SHALL HAVE A MINIMUM OF 48" OF COVER FROM FINISHED GRADE. ALL UTILITY PIPELINES ARE DESCINED TO FINISHED GRADE AND SHALL BE PROTECTED FROM DAMAGE UNTIL WORK IS COMPLETED.
- UNSUITABLE MATERIALS UNDER WATER AND SEMER MAINS SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL PROPERLY COMPACTED TO 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557).
- 15. ALL CURB STOPS ARE TO BE FORD BALL-TYPE WITH LOCKING CAPACITY. 1" MINIMUM.
- NO CONNECTION TO EXISTING POTABLE WATER SYSTEM SHALL BE ALLOWED UNTIL ALL PROPOSED WATER UNES HAVE BEEN PRESSURE TESTED, DISINFECTED, CLEARED FOR SERVICE AND ACCEPTED FOR MAINTENANCE BY JEA AND FDEP.
 CONTRACTOR IS RESPONSILE FOR PROPER NOTIFICATION OF INSPECTING AUTHORITES BEFORE AND
- CONTRACTOR IS RESPONSIBLE FOR PROPER NOTIFICATION OF INSPECTING AUTHORITIES BEFORE AND DURING CONSTRUCTION.
 MECHANICAL RESTRAINTS ARE REQUIRED WHERE WATER MAINS AND FORCE MAINS ARE TERMINATED
- AND AT ALL BENDS. ANY VERTICAL CONFLICT CROSSING USING FITTING SHALL BE RODDED THROUDENUT THE CROSSING. WHERE FORCE MANS OR WATER MAINS ARE LAD WITHOUT FITTINGS, THE MAXIMUM DEFLECTION SHALL BE AS RECOMMENDED BY THE MANUFACTURER OF THE PIPE USED
- FITTINGS SHALL BE USED AT LOCATIONS INDICATED ON THE PLANS, UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- 20. ALL UNDERGROUND VALVES SHALL BE INSTALLED WITH AN ADJUSTABLE CAST IRON VALVE BOX WITH TOP SET TO FINAL GRADE IN ACCORDANCE WITH COUNTY DETAILS AND SPECIFICATIONS.
- NOTICE OF PROCEDURES. 21. ALL COMMERCIAL BUILDING PERMITS AND METERS TO BE PROCESSED THROUGH MARION COUNTY WATER AND SEMER CUSTOMER SERVICE SHALL BE ACCOMPANIED BY A SET OF APPROVED CIVIL DESIGN PLANS.
- 22. ALL WATER AND SENER TAPS TO BE PERFORMED BY UTILITY CONTRACTOR OR LICENSED MASTER PLUMBER MUST BE SOLEDULED AT LEAST 48 HOURS IN ADVANCE THROUGH YOUR MARION COUNTY INSPECTOR. IN ADDITION, IT STILE LONGERE OR FECCOR'S RESPONSIBILITY TO SECURE APPLICABLE D.E.P./DOH/MARION COUNTY PERMITS IN ACCORDANCE WITH MARION COUNTY PERMITTING PROCEDURES.
- 23. METERS TO BE INSTALLED BY MARION COUNTY FORCES UPON APPLICATION AND PAYMENT BY LICENSED MASTER PLUMBER.
- 24. WATER AND SEWER CAPACITY FEES SHALL BE REQUIRED AT TIME OF BUILDING PERMIT APPLICATION. FEES WILL BE BASED ON TOTAL NUMBER OF PLUMBING FIXTURE UNITS SHOWN OR LISTED ON BUILDING PLANS.
- A PRE-CONSTRUCTION CONFERENCE IS REQUIRED AND SHALL BE SCHEDULED IN ADVANCE BY THE STE CONTRACTOR THROUGH MARION COUNTY.
- 26. MCU PERSONNEL ARE TO INSPECT ANY WORK PERFORMED ON OR AROUND EXISTING MCU INFRASTRUCTURE. A PRE-CONSTRUCTION WEITING IS REQUIRED TO BE HELD A MINIUMU OF AN HOURS FROM TO START OF MY CONSTRUCTION. THE FRE-CONSTRUCTION WEITING IS ON COMPLETD, ANY WORK MAY BE HALTED. TO SCHEDULE, CONTACT MCU'S CONSTRUCTION OFFICER AT 352-307-683.

POTABLE WATER SYSTEM NOTES:

- NOTIFY MARION COUNTY 48 HRS. IN ADVANCE OF MAKING THE CONNECTION TO THE EXISTING WATER MAIN STUB. A MARION COUNTY INSPECTOR SHALL BE PRESENT AT TIME CONNECTION IS MADE.
- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES AND CONNECTION POINTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD IMMEDIATELY.
- 3. ALL WATERMAINS SHALL BE INSTALLED WITH A MINIMUM OF 36 INCHES OF COVER FROM FINISHED GRADE.
- ALL WATERMAINS 4" THRU 12" DIAMETER SHALL BE PVC 1120-CLASS 200-DR-14, PVC 1120-CLASS 150-DR-18 WITH PUSH-ON GASKETED JOINTS IN ACCORDANCE WITH MARION COUNTY SPECIFICATIONS.
- ALL POTABLE PVC PIPE 3 INCHES IN DIAMETER OR LESS SHALL BE LISTED AS NSF-PW AND SHALL BE SO MARKED.
- ALL WATER LINES 2" DIAMETER ONLY SHALL BE PVC 1120-PR200-SDR21, PVC 1120-SCHEDULE 40 AND SCHEDULE 80 IN ACORDANCE WITH MARION COUNTY SPECIFICATIONS.
- ALL NEW AND RELOCATED WATER MAIN PIPE, FITTINGS, VALVES, AND FIRE HYDRANTS SHALL BE IN CONFORMANCE WITH APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) AND MARION COUNTY UTILY STANDARDS.
- 8. ALL NEW AND RELOCATED WATER MAIN PIPE AND FITTINGS WILL COMPLY WITH THE LATEST FDEP AND AWWA STANDARDS FOR LEAD CONTENT.
- ALL PACKING AND JOINTING MATERIALS USED IN THE JOINTS OF NEW AND RELOCATED WATER MAIN PIPE SHALL BE IN CONFORMANCE WITH APPLICABLE AWWA AND MARION COUNTY UTILITY STANDARDS.
- 10. ALL NEW AND RELOCATED WATER MAINS AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH AWWA AND MARION COUNTY UTILITY STANDARDS.
- 11. ALL ROCK AND UNSITIARY SZED STOKES (XA DESCREED IN APPLICABLE AWWA AND MARION COUNTY STANADOS AMO/OR PROVINCE/AUTOR ADDRESS AND ADDRESS FOUND IN TRENCIES FOR NEW AND RELOCATE WATER MARINE RECOMMENDED INALIZATION ROFOCIEVIES IN CONTRACT AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS FOUND IN TRENCIES FOR NEW AND RELOCATE WATER MARINE AND APPLICABLE ADDRESS ADDRESS AND ADDRESS ADDRESS AND ADDRESS ADDR
- 12. ALL TEES, BENDS, PLUGS, AND HYDRANTS IN NEW AND RELOCATED WATER MAINS SHALL USE RESTRAINED JOINTS PER MARION COUNTY UTILITIES DETAILS TO PREVENT MOVEMENT.
- 13. ALL NEW AND RELOCATED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651 AND RULE 62-555.345, F.A.C.
- 14. ALL NEW AND RELOCATED WATER SERVICES SHALL BE IN CONFORMANCE WITH THE STATE PLUMBING CODE.
- 15. ALL PPE AND PIPE FITTINGS FOR NEW AND RELOCATED WATER SERVICES SHALL COMPLY WITH THE LATEST FOEP AND AWAY STANDARDS FOR LEAD CONTENT. ALL SQUEERS AND FLUX FOR NEW AND RELOCATED WATER SERVICES SHALL COMPLY WITH THE LATEST FDEP AND AWAY STANDARDS FOR LEAD CONTENT.
- 16. THE POTABLE WATER SYSTEM SHALL MAINTAIN THE MINIMUM HORIZONTAL AND VERTICAL CLEARANCES FROM THE SANTARY SEVER SYSTEM. THE MINIMUM HORIZONTAL AND VERTICAL CLEARANCES ARE DESCRIBED IN DETAIL UNDER THE STANDARD WATER/SEVER SEPARATION STATEMENT.

SANITARY SEWER SYSTEM NOTES:

- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES AND CONNECTION POINTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED TO THE EXISTENCE OF RECORD IMMEDIATELY.
- SANITARY SEWER LINE SHALL BE SDR-26 PVC PIPE CONFORMING TO ASTM D-3034. SANITARY SEWER LINE SHALL BE COLOR CODED AND CLEARLY MARKED.
- SANITARY SEWER FORCEMAIN SHALL BE C900 DR18 PVC PIPE CONFORMING TO ASTM D-1784, D-2241, D-3139, AND F-477. SANITARY FORCE MAIN SHALL BE COLOR CODED GREEN AND CLEARLY MARKED.
- 4. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD ALL VIDEO LOGS AND DEFLECTION TEST RESULTS FOR REVIEW AND APPROVAL.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD ALL EXFILTRATION/INFILTRATION TEST RESULTS FOR REVIEW AND APPROVAL.
- 6. THE SANITARY SEVER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE CONSTRUCTION DRAWINGS AND SPECIFICATIONS. ANY DEVIATION FROM THESE CONSTRUCTION DRAWINGS AND SPECIFICATIONS SHALL BE THE SQLE RESPONSIBILITY OF THE EDITY AUTHORIZING THE DEVIATIONS TO BRING THE SANITARY SEVER SYSTEM INTO COMPLIANCE WITH THESE CONSTRUCTION DOCUMENTS.
- THE SANITARY SEWER SYSTEM SHALL MAINTAIN THE MINIMUM HORIZONTAL AND VERTICAL CLEARANCES FROM THE POTABLE WATER SYSTEM. THE MINIMUM HORIZONTAL AND VERTICAL CLEARANCES ARE DESCRIBED IN DETAIL UNDER THE STANDARD WATER/SEWER SEPARATION STATEMENT.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE CONSTRUCTION OF THE SANITARY SEWER SYSTEM WITH THE OTHER UTILITIES BEING INSTALLED IN THE VICINITY.
- 9. LEARNEE TEST SHALL BE CONJUNCTED SO THAT THE LEARNEE DRIT RATION OR INTURNITION DOES NOT COCCEPT TO CALLOSE FER NOT OF PIPE DWINEFE PRI HUE PER NAT FR. NN: SCION OF THE SYSTEM. EXPLITIATION OR INFIL TRATION TESTS SHALL BE FEFFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FET. AR TESTS, AS A MINIMUM, CONTORM TO THE TEST PROCEDURE DESCRIBED IN ASTIN C-828 FOR CLAY PPE, ASTIN C 924 FOR CONCRET PIPE, ASTIM F-1417 FOR PLASTIC PIPE, AND CRO DIFFER MILTENAS ARTOPHORAE TEST PINCEDURED.
- 10. TELEVISION INSPECTION IS REQUIRED OF ALL NEW AND REPLACED GRAVITY SEWER LINES (PRIVATE AND PUBLIC) PURSUANT TO MARION COUNTY UTILITY STANDARDS SECTION 428, III.4.5.

HYDROSTATIC TESTING NOTES:

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SANTARY SEVERE (INCLUDED LATERALS), FORECUARIS, MO STORM SEVERS SHOULD EROSS UNDER WITERMANN WINDER POSSIELS ANTARY SEVERS FORECAMING AND STORM SEVERS FORESON WITERANKS WINDER FORE ANTARY SEVERS FORECAMING AND STORM SEVERS FORESON WITERANKS SHALL BE LAD TO PROVER A MINIMUM VERTICAL DSTACE OF 12 NICHS BETWEEN THE NIXERI OF THE UPFER PIER AND THE CONNOT PIEL MORE THE WINDERFOR FORESLE. ALL CROSSINGS SHALL BE ARDINADED SO THAT THE SEVER PIER ANTS AND THE WITERAMIN PIE JOINTS AND E EXOLIDISTANT FROM THE FORT OF CROSSING (PIES CONTS AND THE WITERAMIN PIE JOINTS AND E EXOLUSION THE FORM THE FORT OF CROSSING (PIES CONTS AND THE WITERAMIN PIE JOINTS AND E EXOLUSION THE FORM THE FORT OF CROSSING (PIES CONTS AND THE WITERAMIN PIE JOINTS AND E EXOLUSION THE FORM THE FORT OF CROSSING (PIES CONTS AND THE WITERAMIN PIE JOINTS AND E EXOLUSION THE DEPORT WILL BE AND THE OWNER AND THE WITERAMIN PIE JOINTS AND E EXOLUSION THE DEPORT WILL BE AND THE OWNER AND THE AND THE WITERAMIN PIE JOINTS AND E EXOLUSION THE DEPORT WILL BE AND THE OWNER AND THE A

 ALL UNDERGROUND WATERMAINS IN THE PROJECT WILL BE LAID TO PROVIDE A HORIZONTAL SEPARATION OF AT LEAST 3 FEET MINIMUM BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF ANY STORM SEWER, STORWMATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER UNDER PART III OF CHAPTER 62–610 F.A.C.

STANDARD WATER/SEWER/STORM SEWER SEPARATION STATEMENT:

- WATERMAIN SHALL BE LAID AT A MINIMUM DISTANCE OF 3 FEET AND 10 FEET PREFERRED BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF ANY VACUUM SANITARY SEWER.
- 5. WHERE AN UNDERGROUND WATERMAIN IS BEING LAID LESS THAN THE REQUIRED MINIMUM HORIZONTAL DISTANCE FROM ANOTHER PPELINE AND WHERE AN UNDERGROUND WATERMAIN IS CROSSING ANOTHER PIPELINE AND JOINTS IN THE WATERMAIN ARE BEING LOCATED LESS THAN THE REQUIRED MINIMUM DISTANCE FROM JOINTS IN THE OTHER PIPELINE:
 - A. USE OF PRESSURE-RATED PIPE CONFORMING TO THE AMERICAN WATER WORKS ASSOCIATION STANDARDS INCORPORATED INTO RULE 62-555.330, F.A.C., FOR THE OTHER PIPELINE IF IT IS A GRAVITY OR VACUUM-TYPE PIPELINE,
- B. USE OF WELDED, FUSED, OR OTHERWISE RESTRAINED JOINTS FOR EITHER THE WATERMAIN OR THE OTHER PIPELINE, OR
- C. USE OF WATERTIGHT CASING PIPE OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR EITHER THE WATERMAIN OR THE OTHER PIPELINE.
- 6. WHERE AN UNDERGROUND WATERNAIN IS BEING LAD LESS THAN THREE FEET HORIZONTALLY FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATERNAIN IS CROSSING ANOTHER PIPELINE AND IS BEING LAD LESS THAN THE REQUIRED 12" MINIMUM VERTICAL DISTANCE FROM THE OTHER PIPELINE.
- A. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTLE IRON PIPE) OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR THE WATERWAIN, AND,
- B. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (LE., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-MICH-THICK DUCTLE IRON PIPE) OR CONGRETE ENCASSINGTIAT LEAST FOUR INCIRES THICK FOR THE OTHER PIPELINE IF IT IS NEW AND IS CONVEYING WASTEWATER OR RECLAMED WATER.
- 7. ALL PIPING SHALL MEET MARION COUNTY STANDARDS AND SPECIFICATIONS.



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STORM WATER POLLUTION PREVENTION PLAN

SITE DESCRIPTION:

PROJECT NAME AND LOCATION:

RING POWER EXPANSION 6200 N US HWY 441 OCALA, FLORIDA 34475

*SEE COVER SHEET FOR LOCATION MAP

DEVELOPER NAME AND ADDRESS:

RING POWER CORPORATION 500 WORLD COMMERCE PARKWAY ST. AUGUSTINE FL 32092 CONTACT: SHANE D. MCLAUGHLIN (907) 737-7730

PROJECT DESCRIPTION:

THE PROJECT WILL CONSIST OF PARTIAL SITE DEMOLITION, BUILDING CONSTRUCTION AND ASSOCIATED PAVING, GRADING, DRAINAGE AND UTILITY CONNECTIONS

CONTRIBUTING DRAINAGE AREA: 62.03 ACRES

ULTIMATE RECEIVING WATERS: N/A

ACTIVITIES THAT REQUIRE EROSION CONTROL:

SITE CLEARING AND GRUBBING; PROVIDING A STABILIZED CONSTRUCTION ENTRANCE, PERIMETER, AND OTHER EROSION AND SEDIMENT CONTROLS; S GRADING; INSTALLATION OF STORM WATER, SANITARY SEWER, AND WATER INFRASTRUCTURE; CURB AND GUTTER, ROADWAYS, AND SIDEWALKS; SITE

*SEE PLANS FOR THE LOCATION OF TEMPORARY SEDIMENT BARRIERS AND OTHER EROSION CONTROL METHODS.

SUGGESTED SEQUENCE OF MAJOR ACTIVITIES:

THE ORDER OF SITE CONSTRUCTION ACTIVITIES IS AS FOLLOWS:

PROVIDE STABILIZED CONSTRUCTION ENTRANCE INSTALL SILT FENCES AND OTHER EROSION CONTROL MEASURES.

- CLEAR AND GRUB FOR SEDIMENT BASIN/STORMWATER POND/ EARTH DIKE CONSTRUCT STORMWATER PONDS, EARTH DIKE, AND SEDIMENT BASINS
- FINISH CLEARING AND GRUBBING OF SITE
- 6. REMOVE AND STORE TOPSOIL
- PROVIDE INITIAL GRADING AS REQUIRED
- PROVIDE INITIAL GRADING AS REQUIRED STABILIZE ALL DISTURED AREAS AS SOON AS POSSIBLE INSTALL BALL DISTURED AREA SUBMER, CURB AND GUTTER INSTALL BASE TO ROAD AND PARKING AREA FINISH GRADING ENTIRE SITE

PROVIDE REQUIRED LANDSCAPING

- 12. 13. CONSTRUCT PAVING
- 14 REMOVE ACCUMULATED SEDIMENT
- 15. REMOVE ANY ITEMS THAT ARE NOT REQUIRED

THE SEQUENCE OF CONSTRUCTION SHOWN ABOVE IS A GENERAL OVERVIEW AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED. PORPOSES. THE COMITACION IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING, IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SECUENCE IS NECESSARY, CONTRACTOR IS SOLELY AUTHORITY HAVING JURISDICTION AND ALL OTHER APPLICABLE LAWS.

- FURTHERMORE; ENGINEER HAS NO CONTROL OVER OR RESPONSIBILITY FOR THE CONSTRUCTION MEANS AND METHODS OF THIS PROJECT. ANY TURBULITY OR SEDIMENT RELEASES FROM THE PROJECT ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR
- THIS DOCUMENT AN ITS CONTENTS ARE PROVIDED FOR GENERAL SWPPP GUIDANCE AND FOR CONTRACTOR CONVINCE. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE
- CONTRACTOR DE RESPONSIBLE FUR IMPLANENTATION AND MAINTENANCE OCT THE SKMPA AT TIMES. CONTRACTOR SHALL BE PREPARED TO USE ANY NECESSARY METHODS FOR TURBIDITY CONTROL FROM THE SITE, INCLUDING POTENTIAL USE OF CHEMICAL DOSING/ADDITIVES (I.E. POLYACRYLAMIDE) TO ACHIEVE THE ACCEPTABLE FERUENT CRITERIA LEAVING THE SITE.

STABILIZATION PRACTICES:

TEMPORARY STABILIZATION - TOPSOIL STOCK PILES AND DISTURBED PORTIONS TEMPORARY STABILZATION - TOPSOL STOCK PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY ENERGORARY CREESE FOR AT LEAST 21 DAYS, SHALL BE STABILIZED WITH TEMPORARY SEED AND MULCH WITHIN 14 DAYS OF THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE TEMPORARY SEED REQUIRED CAN BE FOUND IN TABLE 1.65 A OF THE FLORIDA DEVELOPMENT MANUAL. FROM TO SEEDING, WHERE SOLIS ARE ACDIC 2 TONS OF PULVERIZED AGRICULTURAL LIMESTONE SHOULD BE ADDED PER ACRE AND OF POLYENCED AGROUTLONG LIMESTONE SHOULD BE ADUED PER AGRE AND 450 POLINS OF 10-20-20 FEMILIZER SHALL BE APPLIED TO EACH AGRE AFTER SEEDING. EACH AREA SHALL BE IMMEDIATELY MULCHED WITH STRAW OR EUWALENT EQUIVALENT EQUIVAL. AREA SO THE SITE WITHO ARE TO BE PAYED SHALL BE TEMPORARILY STABILIZED BY APPLYING GEOTEXTILE AND STONE SUB-BASE UNTIL BITUMMOUS PAYEMENT CAN BE APPLIED.

PERMANENT STARILIZATION - DISTURBED PORTIONS OF THE SITE WHERE PERMANENT STABILIZATION - DISTURBED PORTIONS OF THE STIE WHERE CONSTRUCTION ACTIVITES PERMANENTLY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE APPROPRIATE PERMANENT SEED MIX CAN BE FOUND IN TABLE 1.66A, 1.66B AND 1.66C OF THE FLORIDA DEVELOPMENT MANUAL PRIOR TO TABLES SEEDING, 2 TONS/ACRE OF THELY GROUND AGRICULTURAL LIMESTONE AND THE PROPER FERTILIZER BASED ON THE TYPE OF SEEDING SHALL BE APPLIED TO EACH ACRE TO PROVIDE PLANT NUTRIENTS. AFTER SEEDING, EACH AREA SHALL BE MULCHED IMMEDIATELY.

STRUCTURAL PRACTICES:

EARTH DIKE - IF REQUIRED, AN EARTH DIKE SHALL BE CONSTRUCTED ALONG THE SITE PERIMETER. A PORTION OF THE DIKE SHALL DIVERT RUN-ON AROUND THE CONSTRUCTION SITE. THE REMAINING PORTION OF THE DIKE SHALL COLLECT RUNOFF FROM THE DISTURBED AREA AND DIRECT THE RUNOFF TO THE SEDIMENT BASIN.

SEDIMENT BASIN – A SEDIMENT BASIN SHALL BE CONSTRUCTED IN THE COMMON DRAINAGE AREA FOR THE STIE. THIS STORAGE POND SHALL HAVE , VOLUME OF 3,500 CUBIC FEET OF STORAGE FOR EACH ACRE, ALL SEDIMENT COLLECTED IN THE BASIN MUST BE REMOVED FROM THE BASIN UPON COMPLETION OF CONSTRUCTION. SEDIMENT FROM THE BASIN MAY BE USED AS FILL ON THE SITE IF IT IS SUITABLE SOIL.

WASTE DISPOSAL:

WASTE MATERIALS - ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN A METAL DUMPSTER WITH A SECURE LID IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN THE DUMPSTER. THE SUPERINTENDENT SHALL SHALL BE DEPOSITED IN THE DUMPSIER. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTUILITES TO HAVE THE DUMPSIER EMPTIED AT LEAST TIMCE A WEEK AND THE WASTE TAKEN TO AN APPROPRIATE LANDFLLL. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE. THE SUPERINTENDENT SHALL ORGANIZE TRAINING FOR THE EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH WASTE MATERIALS. SUPERINTENDENT SHALL BE RESPONSIBLE FOR POSTING AND ENEORCING WASTE MATERIAL PROCEDURES

HAZARDOUS WASTE - HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS OR AS DIRECTED BY THE MANUFACTURER. THE SUPERINTENDENT SHALL ORGANIZE THE PROPER TRAINING FOR EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH HAZARDOUS WASTE MATERIALS. THESE PROCEDURES SHALL BE POSTED ON THE SITE. THE PERSON WHO MANAGES THE SITE SHALL BE RESPONSIBLE FOR ENFORCING THE PROCEDURES.

SANITARY WASTE - SANITARY WASTE SHALL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. THE SUPERITENDENT SHALL CORDINATE WITH THE LOCAL UTLITY FOR COLLECTION OF THE SANITARY WASTE AT LEAST THREE TIMES A WEEK TO PREVENT SPILLAGE ONTO THE SITE

OFFSITE TRACKING:

A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO REDUCE A SIMBULZEU CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO REDUCE SEMIMENT TRACKING OFFSITE. THE MAJOR ROAD CONNECTED TO THE PROJECT SHALL BE CLEANED ONCE A DAY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK RESULTING FROM CONSTRUCTION TRAFFIC. ALL TRUCKS HAULING MATERIALS OFFSITE SHALL BE COVERED WITH A TARPAULIN.

TIMING OF CONTROL MEASURES:

THE INSTALLATION OF SILT FENCE (AND OTHER EROSION CONTROL MEASURES), A STABILIZED ENTRANCE AND SEDIMENT BASIN SHALL OCCUR PRIOR TO CLEARING AND GRUBBING ACTUNTY. AFTER CONSTRUCTION IS COMPLETE, THA ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE AREAS SHALL BE REGRADED AND PERMANENTLY STABILIZED AS SHOWN ON THE PLANS.

ITEMS REQUIRING POLLUTION PREVENTION:

THE FOLLOWING ITEMS ARE EXPECTED TO BE PRESENT ON THE PROJECT SITE ASPHALT, CONCRETE, CLEANING SUPPLIES, DETERGENTS, FERTILIZERS, MASONARY BLOCKS/BRICKS, METAL PIECES, PAINT, PETROLEUM BASED PRODUCTS, ROOFING SUPPLIES TAR WOOD

THE FOLLOWING ARE NON-STORM WATER SOURCES THAT WILL BE ENCOUNTERED AT THE SITE AND SHOULD BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO ISCHARGE

-UNCONTAMINATED GROUNDWATER EXPOSED DURING EXCAVATION -WATER FROM WATER LINE FLUSHING -PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR

HAZARDOUS MATERIALS HAVE OCCURRED).

SPILL PREVENTION AND CONTROL:

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

GOOD HOUSEKEEPING:

-SUPERINTENDENT SHALL INSPECT PROJECT AREA DAILY FOR PROPER STORAGE, USE, AND DISPOSAL OF CONSTRUCTION MATERIALS. -STORE ONLY ENOUGH MATERIAL ON SITE FOR PROJECT COMPLETION. -ALL SUBSTANCES SHOULD BE USED BEFORE DISPOSAL OF CONTAINER. -ALL CONSTRUCTION MATERIALS STORED SHALL BE ORGANIZED AND IN THE

PROPER CONTAINER AND IF POSSIBLE, STORED UNDER A ROOF OR PROTECTIVE COVER PRODUCTS SHALL NOT BE MIXED UNLESS DIRECTED BY THE MANUFACTURER.

-ALL PRODUCTS SHALL BE USED AND DISPOSED OF ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

HAZARDOUS PRODUCTS:

-MATERIALS SHOULD BE KEPT IN ORIGINAL CONTAINER WITH LABELS UNLESS THE ORIGINAL CONTAINERS CANNOT BE RESEALED. IF ORIGINAL CONTAINERS CANNOT BE USED, LABELS AND PRODUCT INFORMATION SHALL BE SAVED. -PROPER DISPOSAL PRACTICES SHALL ALWAYS BE FOLLOWED IN ACCORDANCE WITH MANUFACTURER AND LOCAL/STATE REGULATIONS.

PRODUCT SPECIFIC PRACTICES:

-PETROLEUM PRODUCTS MUST BE STORED IN PROPER CONTAINERS AND CLEARLY LABELED. VEHICLES CONTAINING PETROLEUM PRODUCTS SHALL BE LABELLU, VEHICLES CONTAINING PEIROLEUM PRODUCTS SHALL BE PERIODICALLY INSPECTE FOR LEAKS. PRECAUTIONS SHALL BE AVOID LEAKAGE OF PETROLEUM PRODUCTS ON SITE. —THE MINIUM ANOUNT OF FERTULIZER SHALL BE USED AND MIXED INTO THE SOIL IN ORDER TO LIMIT EXPOSURE TO STORM WATER. FERTULIZERS SHALL BE STORED IN A COVERED SHED. THE CONTENTS OF ANY PARTALLY USED BAGS OF FERTULIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILIS. SPILLS

PAINT CONTAINERS SHALL BE SEALED AND STORED WHEN NOT IN LISE. EXCESS PAINT MUST BE DISPOSED OF IN AN APPOVED MANNER. -CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

SPILL CONTROL PRACTICES:

N ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

SPILL CLEANUP INFORMATION SHALL BE POSTED ON SITE TO INFORM -SPILL CLEANUP INFORMATION SHALL BE POSIEU ON SILE IO INFORM EMPLOYEES ABOUT CLEANUP FORCEDURES AND RESOURCES. -THE FOLLOWING CLEAN-UP FOULPHENT MUST BE KEPT ON-SITE NEAR THE MATERIAL STORAGE AREA: GLOVES, MOPS RAKES, BROOMS, DUIT PANS, SAND, SAWDUST, LIQUID AESORBER, GOGGLES, AND TRASH CONTAINERS. -ALL SPILLS SHALL BE CLEANED UP AS SOON AS FOSSIBLE. -WHEN GLEANING A STULL, THE AREA SHOULD BE WELL VENTLATED AND THE EMPLOYEE SHALL WEAR PROFEMP ROTECTIVE COVENING TO PREVENT INJURY.

LWH-DVEL SHALL WLAR PROPER PROFILENCE COVERING TO PREVENT INJURY. TON'C SPILLS MUST BE REPORTED TO THE PROFEN AUTHORITY RECARDLESS OF THE SIZE OF THE SPILL -AFTER A SPILL THE PREVENTION PLAN SHALL BE REVIEWED AND CHANGED TO PREVENT FURTHER SMILLAR SPILLS FROM OCCURRING. THE CAUSE OF THE SPILL MEASURES TO PREVENT IT, AND HOW TO CLEAN THE SPILL UP SHALL BE

RECORDED

RECORDED. THE SUPERINTENDENT SHALL BE THE SPILL PREVENTION AND CLEANUP CORONNATOR AND IS RESPONSIBLE FOR THE DAY TO DAY SITE OPERATIONS. THE SUPERINTENDENT ALSO OPERSEES THE SPILL PREVENTION FLAN AND SHA DAD CLEANUP PROCEDURES. SHALL

EROSION AND SEDIMENT CONTROLS: BEST MANAGEMENT PRACTICES SHALL BE USED FOR THIS PROJECT TO CONTROL EROSION AND TURBIDITY CAUSED BY STORM WATER RUN-OFF. THE LOCATION AND DETAILS OF EROSION CONTROL METHODS ARE SHOWN ON THE PLANS. THE SUB-CONTRACTOR(S) IS/ARE RESPONSIBLE FOR PLACING AND MAINTAINING THESE CONTROL METHODS AS SHOWN ON THE PLANS OR AS REQUIRED. HE/SHE SHUT ON THE PLANS OR AS REQUIRED. HE/SHE SHALL ALSO PROVIDE THE REQUIRED EROSION PROTECTION AS REQUIRED BY LOCAL, STATE AND FEDERAL LAW. OFFSITE SHALL BE COVERED WITH A TARPAULIN. STORM WATER MANAGEMENT: STORM WATER COLLECTION SHALL BE PROVIDED BY CURB AND GUTTER AND DRAINAGE INLETS FOR THE DEVELOPED AREAS. THE AREAS THAT ARE REGRADED BUT NOT DEVELOPED SHALL BE STABILIZED IMMEDIATELY AFTER Kimley»Horn INC. 2350 5106 ASSOCIATES, I WEST, SUITE 2 IDA 32258 9-3900 GISTRY No. 35 SHALL BE STABILIZED IMMEDIATELY AFTER REGRADING. THE ENTRE SITE SHALL DRAIN TO A SWMF. THE SWMF SHALL BE IN THE AREA OF THE TEMPORARY SEDIMENT BASINS. WHEN SLOPES HAVE BEEN STABILIZED, THE SEDIMENT THAT HAS ACCUMULATED SHALL BE REMOVED FORM THE DECEM AND FULL ADEDOROTORY AND / WAY W FLORID, -828--. REGIS ARK 9 1 - 0 0 4 KIMLEY-HOR GRAN BAY PA JACKSONVILL PHONE: 5 MLEY-HORNLC FROM THE BASIN AND THE APPROPRIATE VEGETATION SHALL BE PLANTED MAINTENANCE AND INSPECTION PRACTICES 0 2024 12740 G THE FOLLOWING ARE MAINTENANCE AND INSPECTION PRACTICES THAT SHALL BE COMPLETED BY THE CONTRACTOR: -ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE CHECKED DAILY AND AFTER EACH SIGNIFICANT RAINFALL BY THE SUPERINTENDENT OR AND AFTER EACH SIGNIFICANT RAINFALL BY THE SUPERINTENDENT OR SOMEONE UNDER HIS/HED INCIC SUPERVISION. -ALL SEDMENT AND EROSION CONTROL METHODS SHALL BE KEPT IN GOOD COMDITION. TEPHARS MUST BE MADE WITHIN 24 HOURS OF REPORT. -THE SILT FENCE SHALL BE CLEARED OF SEDMENT WHEN SEDMENT MEASURES ONE-THIRD THE HEIGHT OF THE FENCE. -THE SILT FENCE SHALL BE INSPECTED PERIODICALLY FOR HEIGHT OF SEDMENT AND CONDITION OF FENCE. -THE SEDMENT AD CONDITION OF FENCE. SEDIMENT. THEY SHALL BE CLEANED WHEN SEDIMENT REACHES 10% OF TOTAL CAPACITY AND AFTER CONSTRUCTION IS COMPLETE. LDIAL OFFACITY AND AN LEY CURSINGUION IS COMPLETE. DE PROVENTY DE REPARED. DE PROVENTY DE REARED. ALL SEEDING SHALL BE CHECKED FOR PROFER GROWTH AND UNIFORMITY. UNISTABALIZED AREAS SHALL BE CHECKED FOR PROFER GROWTH AND UNIFORMITY. UNISTABALIZED AREAS SHALL BE CHECKED FOR PROFER GROWTH AND UNIFORMITY. UNISTABALIZED THE SEDIMENT AND EROSON CONTROL METHODOS. THE INSPECTION OF THE SEDIMENT AND EROSON CONTROL METHODOS. THE INSPECTIVE OF THE SELVINGET AND EXAMPLE AND EXAMPLE AND RETAINED ON ETHICS. INFORMS IN ALL BE FILED IN AND ORGANIZED MANNER AND RETAINED ON-SITE DURING CONSTRUCTION. AFTER CONSTRUCTION IS COMPLETED, THE REPORTS SHALL BE SAMED FOR AT LEAST THREE YEARS. THE REPORTS SHALL BE AVAILABLE FOR ANY AGENCY THAT HAS JURISDICTION OVER EROSION 024 SHOWN CRZ MT DATE MARCH 2 scale: AS 5 designed by: drawn by: CONTROL. THE SUPERINTENDENT SHALL ORGANIZE THE TRAINING FOR INSPECTION PROCEDURES AND PROPER EROSION CONTROL METHODS FOR EMPLOYEES 88 THAT COMPLETE INSPECTIONS AND REPORTS. CONTRACTOR'S CERTIFICATION PLAN I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION STORMWATER POLLUTION PREVENTION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGE EXPANSION RING POWER CORPORATION ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION. SIGNATURE/DATE COMPANY NAME/ADDRESS RESPONSIBILITY POWER RING

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CRITICAL ANALYSIS

2024-05-22 14:35

4" 274.24 GPM

18 GPM 274.24 GPM 256.24 GPM

65 PSI 65 PSI

Generated:

P.O.C. NUMBER: 01 Water Source Information: FLOW AVAILABLE Point of Connection Size: Flow Available

PRESSURE AVAILABLE Static Pressure at POC: Pressure Available:

DESIGN ANALYSIS Maximum Station Flow: Flow Available at POC: Residual Flow Available:

 Residual Flow Available:
 2552 40°

 Crickal Station:
 1

 Design Pressure:
 30 FSI

 Friction Loss:
 0.09 FSI

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 Loss for Bactioners:
 0.02 FSI

 Loss for Bactioners:
 0.76 FSI

 Loss for Bactioners:
 0.76 FSI

 Loss for Bactioners:
 0.76 FSI

 Pressure Available:
 4.16 FSI

TYPICAL IRRIGATION SPECIFICATION AND NOTES

 THE SYSTEM SHALL BE DESIGNED TO PROVIDE 100% COVERAGE. ANY CHANGES MADE IN THE LAYOUT DUE TO FIELD CONDITIONS SHALL BE IN ACCORDANCE WITH THESE STANDARDS.

2. VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. ALL UTILITIES AND STRUCTURES MAY NOT BE SHOWN ON THESE PLANS-CONTRACTOR SHALL FIELD VERIFY.

3. CONTRACTOR TO FIELD VERIFY ALL POINT OF CONNECTION SOURCE INFORMATION INCLUDING PSI AND GPM PRIOR TO CONSTRUCTION.

4. INSTALLATION OF WORK SHALL BE COORDINATED WITH OTHER CONTRACTORS IN SUCH A MANNER AS TO ALLOW FOR A SPEEDY AND ORDERLY COMPLETION OF ALL WORK ON-SITE.

5. IRRIGATION DESIGN IS SCHEMATIC ONLY. FULL AND COMPLETE SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW BY THE OWNER'S REPRESENTATIVE.

6. CONTRACTOR SHALL COORDINATE WITH THE PLANTING PLAN FOR PLANTER BED AND TREE LOCATIONS TO ENSURE ALL PLANT MATERIAL IS COVERED BY 100% HEAD-TO-HEAD IRRIGATION.

7. CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS OF THE FINAL INSTALLATION TO OWNER AT SUBSTANTIAL COMPLETION BEFORE RECEIVING FINAL PAYMENT.

8. IRRIGATION CONTRACTOR TO PROVIDE POWER SUPPLY TO ELECTRIC CONTROLLERS.

 IRRIGATION CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK PRIOR TO COMMERCEMENT OF HIS OPERATIONS ON SITE. COPIES OF THE PERMITS SHALL BE SENT TO THE OWNER/CEMENAL CONTRACTOR WORK IN THE A LOW SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF LOCAL AND/OR STATE JURISDICTION.

10. IRRIGATION SYSTEM SHALL NOT BE INSTALLED THROUGH PRESERVED PLANT COMMUNITIES OR WITHIN WETLANDS OR THEIR ASSOCIATED BUFFERS.

11. LOCATE ALL IRRIGATION LINES WITHIN LANDSCAPED AREAS WHENEVER POSSIBLE. ALL LINES UNDER PAVEMENT MUST BE SLEEVED. ALL VALVES SHALL BE LOCATED WITHIN LANDSCAPED AREAS, AS SPECIFIED.

12. MAINLINE SHALL NOT BE LOCATED WITHOUT PRIOR APPROVAL OF THE OWNER'S REPRESENTATIVE.

13. CONTRACTOR TO COORDINATE LOCATION OF ALL METERS AND BACKFLOW ASSEMBLIES WITH PROJECT OWNER.

14. THE IRRIGATION CONTRACTOR SHALL BE DIRECTLY RESPONSIBLE FOR SLEEVING AND DIRECTIONAL BORES.

15. ALL SLEEVES UTILIZED BY THE IRRIGATION CONTRACTOR WHETHER INSTALLED BY HIM OR NOT, SHALL BE LOCATED ON THE "A-SBUILT" DRAWINGS. THE DEPTH BELOW FINISH GRADE, TO THE INSAREST FOOT OF EACH END OF THE SLEEVES HALL BE INSTEAD AT SUBJECT STATUS AND UNDER SIDE WALKS SHALL BE SIZED TWO PIPE SIZES GRAFETE THIN THE PIPE IT CARAVES.

16. ALL PRESSURIZED MAINLINES AND LATERALS UNDER PAVEMENT SHALL BE WITHIN SLEEVES AS NOTED. WHERE ELECTRIC OR HYDRAULIC VALVE CONTROL LINES PASS THROUGH A SLEEVE WITH OTHER MAIN OR LATERAL LINES THEY SHALL BE CONTAINED WITHIN A SERVARTE, SMALLER CONDUIT.

17. SLEEVES UNDER EXISTING PAVEMENT MUST BE DIRECTIONAL BORE. OPEN CUT IS NOT AN OPTION.

18. NUMBER THE TOP OF ALL VAVE BOX LIDS WITH MINIMUM 1* HEIGHT BLACK LETTERS TO CORRESPOND TO AUTOMATC AND GATE VALVE DESIGNATIONS ALL HOSE BIBS VAVE BOXES SHALL BE LABELED IN A SIMILAR MANNER WITH THE DESIGNATION 1*81: LETTER OUTSIDE OF TIME CLOCK CABINETS TO CORRESPOND WITH IRRIGATION CLOCK PROGRAM DESIGNATION.

19. THE IRRIGATION CONTRACTOR SHALL INSTALL A COLOR-CODED METAL DETECTABLE MARKING TAPE WHICH CLEARLY NOTES: "CAUTION: IRRIGATION LINE BURIED BELOW." THE TAPE SHALL BE INSTALLED THE FULL LENGTH OF THE IRRIGATION MANUNE.

20. ALL VALVES, SPLICES WITHIN CONTROL LINES, AND QUICK COUPLERS SHALL BE LOCATED WITHIN NDS VALVE BOXES AS FOLLOWS:

-RECTANGULAR 12"X17" HEAVY DUTY BOX. (PURPLE COVER FOR REUSE TO BE PROVIDED WHERE APPROPRIATE).

21. ALL UNSIZED PIPE SHALL BE 3/4" UNLESS OTHERWISE NOTED ON PLAN. SEE LATERAL PIPE SIZING REQUIREMENTS.

22. EACH TREE AND PALM (AS SHOWN ON THE PLANS) SHALL HAVE A MIN 24 GALLON PER HOUR FLOOD BUBBLER. LOCATE BUBBLER ON THE UPHILL SIDE OF TREES ON ALL SLOPES.

23. ALL IRRIGATION HEADS/DRIP TUBING SHALL BE LOCATED ONE (1) FOOT FROM BACK OF CURB WHEN NEXT TO A ROADWAY. (THIS SHALL NOT INCLUDE PARKING AREAS OR DRIVE AISLES).

24. LOCATE ALL VALVES IN PLANTING BEDS WITH A MINIMUM OF 3'-0' FROM BACK OF CURB OR EDGE OF PAVENENT, UNLESS OTHERWISE NOTED. PIPE SIZES ON EITHER SIDE OF SECTION VALVES CONNECTING MAINLINE TO SECTION LATERAL SHALL BE ONE (1) PIPE SIZE LARGER THAN VALVE SIZE. WHERE MAINLINE RUM PARALLEL TO PAVENENT OR CURBING, THE MAINLINE SHALL BE OFFSET 2-0' FROM THE EDGE OF PAVENENT OR CURB.

25. IRRIGATION ZOMES SHALL BE SEPARATED FOR HIGH AND LOW WATER USE REQUIREMENTS AND OPERATED ON DIFFERENT WALTERING CYCLES BUBBERS, DRPHURE, AND SPRAYL HEADS SHALL BE SEPARATED ON DIFFERENT VALVES. AT NO TIME SHALL MULTPLE IRRIGATION HEAD TYPES BE LOCATED ON THE SAME VALVE.

28. ALL DRP ZONES SHALL BE INSTALLED WITH A FLUSH VALVE AND AIR RELIEF VALVE. IN THE EVENT THAT A DRP ZONE HAS MORE THAN ONE HIGH OR LOW POINT, MORE THAN ONE AIR RELIEF VALVE OR FLUSH VALVE WILL BE REQUIRED FOR THAT ZONE. DRIPLINE SHALL PROVIDE 3.5 GPH BMITTERS, 10° O.C. WITH 16° LINE SPACRA 5.1 A NUMBUL

27. IRRIGATION CONTRACTOR TO COORDINATE WITH OWNER FOR FINAL CONTROLLER AND RAIN SENSOR LOCATIONS. THE CONTROLLER SHALL BE PLACED IN A LOCKING CABINET IN THE MOST INCONSPICUOUS AREA APPROPRIATE FOR ITS LOCATION. (MODOR VS. OUTDOOR USE)

28. LOCATE THE AUTOMATIC RAIN SENSOR SHUTOFF DEVICE IN AN AREA THAT IS UNDBSTRUCTED BY TREES, ROOF OVERHANGS, OR AWN OTHER OVERHEAD OBJECT. THE SENSOR SHALL NOT BE PLACED WITHIN THE SPRAV ZONE OF ANY SPRINKLES HEAD, INCLUING OF SFITE RIGRATION. CONTRACTOR SHALL LOCATE SENSOR WITHIN CLOSE PROXIMITY TO THE IRRIGATION CONTROLLER.

29. CONTRACTOR SHALL PERFORM HYDRO-TESTING OF MAIN LINES.

HYDRO-TESTING TO BE PERFORMED AS LISTED:

THE CONTINUEND SHALL HOPPY THE OWNER'S REPRESENTATIVE FORTY GLOTI (48) HOURS IN ADVINCE OF TESTING PRIOR TO BOYCILLING, CONTINUENCE SHALL FLIP (HPW) WITH WATER IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE, TAKING CARE TO FURCE THE ARF FROM IT ASML, INCI PRESSING FURCE OF OTHER AGEN OF ANY ADVINCES THE ARF FROM IT ASML, INCI PRESSING FURCE OF THE OWNER'S REPRESENTATIVE, TAKING CARE TO FURCE THE ARF FROM IT A SML, INCI PRESSING FURCE OF THE OWNER'S REPRESENTATIVE, TAKING CARE TO FURCE THE ARF FROM IT A SML, INCI PRESSING FURCE OF THE OWNER'S REPRESENTATIVE, INCI AND REPRESENTATIVE IS SML THE OWNER'S ADVINCES AND RETEXT THE SYSTEM UNIT. THE OWNER'S REPRESENTATIVE IS SML THEO TO THE THE SYSTEM VALUE SYSTEM UNIT. THE OWNER'S REPRESENTATIVE IS SML THEORY OF THE SYSTEM VALUE SYSTEM UNIT. THE OWNER'S REPRESENTATIVE IS SML THEORY OF THE SYSTEM VALUE SYSTEM.

31. ALL CONTROL WIRE SHALL BE INSTALLED IN A 1-1/4" ELECTRICAL CONDUIT.

32. CONTRACTOR TO MINIMIZE IRRIGATION OVERTHROW TO IMPERVIOUS AND NATURAL AREAS THROUGH FIELD ADJUSTMENTS TO INDIVIDUAL HEADS.

33. ALL UNIMPROVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY THE CONTRACTOR

34. INSTALL ALL BACKFLOW PREVENTION DEVICES AND ALL PIPING BETWEEN THE POINT OF CONNECTION AND THE BACKFLOW PREVENTER AS PER LOCAL CODES. FINAL LOCATION SHALL BE DETERMINED BY THE OWNERS AUTHORIZED REPRESENTATIVE.











TYPICAL PLANTING NOTES

A. SCOPE OF WORK

- THE WORK CONSISTS OF: OBTAINING ALL APPLICABLE PERMITS, FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPLICEMENTS, RECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS SPECIFIED HERRIN.
- WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.
- PROTECTION OF EXISTING STRUCTURES
- ALL DETING BILLINGS WALS, WALS, PARING RIPIG, OTHER STE CONTRUCTION TIME, AND PARITING A BLEADY COMMETED ON ESTABLENDE NOD DESIGNATE TO BEAMIN SHALL BE PROTECTED FORD MANAGE 9°THE CONTRUCTOR INTEG SOFT SPECIFIC ALL DAMAGE RESULTING FROM NEGLIGIBLE SHALL BE REPARED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE WORR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL SUBMIT A DITALED MONIET SPECIFIC WORK ZONE TRAFFIC CONTROL FUAL UNLESS THE WORK REQUESE NOTIFIEM AND ET THAN A DIRECT AMPICATION OF THE DOWNLINE OF TRANSPORTATION, EXCID ESSIAS INMONIESS & A DIRECT STANDARD ROMAN DIRECT AMPICATION OF THE DOWNLINE TRANSPORTATION EXCID ESSIAS INMONIESS & A DIRECT STANDARD ROMAN DIRECT AMPICATION OF THE DOWNLINE TRANSPORTATION EXCIDENT TRANSPORTATION AND MALE INFORMATION PROVIDED TO STANDARD ROMAND S NOT ACCUPTIBAL A PROJECT STANDARD ROMAND S NOT ACCUPATIONAL A PROJECT STANDARD ROMAND S NOT ACCUPTIBAL A PROJECT STANDARD ROMAND S NOT ACCUPTIBAL A PROJECT STANDARD ROMAND S NOT ACCUPTIBAL A PROJECT STANDARD ROMAND AND THAT'S A DIRECT APPLICATION OF DOT STANDARD ROMAND S NOT ACCUPTIBAL A PROJECT STAFFIC TO THIS NATIONALCO THAND THAT A DIRECT APPLICATION DIRECT MONESTING MONE STANDARD S NOT ACCUPTIBAL TRANSPORT TO THAT DAVINCT TRAINING IN MANTEMALCE OF THEFT, AS A DIRECT ADDRESS NOT AND A SUCCESSING VICCOMMENT ADAVING TO TRAINING AND AND THAT'S CONTROL THAT DAVING TO TRAINARD AND AND THAT'S CAN ADDRESS THE PROJECT STAFFIC CONTROL THAT PRACE ADALLER PROJECTION OF A DIRECT ADALLER PROJECT STAFFIC CONTROL THAT DAVING TRAINARD AND AND THAT'S CONTROL THAT ADALLER PROVIDED ADALLER PROJECTION OF ADALLER PROVIDED ADALLER PROVIDED TRAINARD AND AND THAT'S CONTROL THAT ADALLER PROVIDED ADALLER PROJECT ADALLER PROVIDED ADALLER PRO
- THE CONTRACTOR MALE & EXCEPTIONE FOR LOCATING ALL MULTICS METHED REACT IN MOUNT, INCOME TO DE LA MARINE IN EL MOUNTAINE DE LA MARINE D
- IMMEDIATE IF ANY DAMAGES OCCUR TO EXISTING TREE 6. CALL ONE CALL (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION
- PROTECTION OF EXISTING PLANT MATERIALS
- THE CONTRACTOR SHALL BE RESPONDED FOR ALL UNAUTHORIZED OUTTING OR DAMAGE TO TREES AND SHRUEE DISTINU OTHERWISE, CANESD IS CARELESS (DURINERT CONTRACTION, MATERIAL SOCIONALIS, CT. C. THE SHALL RECLUSE COMPACT DRIVING OR PARKING INSIDE THE DRIV-LINE AND SPILLING OIL GAOLINE, OR OTHER DELETEROUS MATERIALS WITHIN THE DRIVLINE ON ANTERNALS SHALL BURNED ON STE
- 2. SEE TREE MITIGATION PLAN AND NOTES.
- MATERIALS 1. GENERAI
- MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE. SAMPLE SOFE CIRE III, CLUBIC FOOT CINE III, CLUBIC FOOT CINE III, CLUBIC FOOT CINE III, DE JURGETHY CON TAGGED IN NURSERVY CINE III DE JURGETHARE OF THE PLANT WITH A MEASURING STICK WILL SUFFICE "IN SCHIE INSTANCES AN IMAGE TAKEN OF THE PLANT WITH A MEASURING STICK WILL SUFFICE
- MATERIAL TOPSOIL MIX PLANTS
- 2. PLANT MATERIALS

a. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DR

RANT SPICES AND SEE SHALL CONFORM TO THOSE INDUCTED ON THE BRANNES ALL INJECTS YEARS SHALL BE IN ACCOUNTY WITH ADDRESS AND EXPOSITION DEVELOPMENTS AND THE DRAWNING ALL INJECTIONS. THE RESOLUTION THE ADDRESS AND THE PROVINTIES OF ADDRESS AND ADDRESS AND EXPOSITION ALL INSETS AND ADDRESS AND A

A MASSISSING THE MEDIA AND MEDIA AND MERCENTRAL MARKEN AND MERCENTRAL AND MERCENT

. INSPECTION PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR CALLITY, SIZE, AND VARIETY, SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR A THESE COMPLETION FOR SIZE AND CONTION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQU INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE

- SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)
- 1. CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW
- 2. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL

a. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER. REASONABLY FREE OF SUBSOIL CLAY LUMPS. BRUSH WEEDS AND OTHER LITTER: FREE OF ROOTS. STUMPS. STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHA THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND HAVE A PH BETWEEN 5.5 AND 7.0.

- b. CONTRACTOR SHALL COORDINATE ALL EARTHWORK OPERATIONS WITHIN TREE PROTECTION AREAS WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WORK.
- c. ALL TOPSOIL SHALL BE NATURAL, FRIABLE, FERTLE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH.
- d. TOPSOIL, PH RANGE OF 5.5 TO 7.0, 3-5 PERCENT ORGANIC MATERIAL, MINIMUM, FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER SODS, STIFF CLAY, STONIS LARGER THAN ONE INCH IN DUANFTER, STUMPS, RODOTS, TRASH, TOXIC SUBSTANCES OR ANY OTHER MATERIAL WHICH MAY BE HARMULT OP LANT GROWTH.
- «. VERIFY AMOUNT STOCKPILED IF ANY, AND SUPPLY ADDITIONAL AS NEEDED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCUBS AT LEAST FOUR INCHES DEEP. DO NOT OBTAIN TOPSOIL FROM BOGS OR MARSHES.
- 2. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SCIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE AT WHICH POINT CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
- WATER INCRESSARY FOR PLANTING AND MAINTENNICE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HAMAPLI, NATURAL OR MAN-MADE ELEMENTS DETRMINITAL TO PLANTS WATER METING THE ADD'S STAMADOR SHALL BE GRATMED ON THIS SIF FROM THE OWNER, B WAILABLE, ADD THE CONTRACTORS HALL BE RESPONDED TO MARE ARRANGEMENTS FOR ITS USE IN IST AND THE SATISFACTORY FOR ADD THE SATISFACTORY AND ADD THE SATISFACTORY AND ADD THE SATISFACTORY ADD THE SATISF
- * WATERING/IRRIGATION RESTRICTIONS MAY APPLY REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
- FERTILIZER
- CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED. * FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
- MULCH
- 1. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A MINIMUM DEPTH OF THREE (3) INCHES. CLEAR MULCH FROM EACH PLANTS CROWN (BASE). SEE PLAN FOR MULCH SPECIFICATIONS.

- PROVIDE A THREE (3) INCH MINIMUM LAVER OF SPECIFIED MULCH OVER THE ENTIRE AREA WITH PINNED WEED BARRIER FABRIC IN EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT (6' MINIMUM) PLANTED UNDER THIS CONTRACT.

- L DIGGING AND HANDLING

- a. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE. b. THE SOD SHALL BE CERTIFIED TO MEET APPROPRIATE STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND. c. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SD AS TO MAKE A SOLD SODDED LAWN AREA. SOD SHALL BE LAID LINFORMAY AGAINST THE EDGES OF ALL CURBE AND OTHER MARGEAVE ELEMENTS, YANED AND LANTED AREAS IMMEDIATER YOLDOWING LIVYING, THE LAUNA REASS SHALL BERLED WITH A LAWN REALER LISTOMARIUS TO RESO ROUGH VIRIBUTATER YOLDOWING THOUGHAN VIRIBATED B. IN THE OPINION OF THE OWNER, TO OTHER STRING SING SINGESSARY AFTER ROLLING TO RLI. THE VOIDS ENTWENT HES OF MARGE AND OL DIVINON UN OTHER OWNER. TO OTHER SING SINGESSARY AFTER ROLLING TO RLI. THE VOIDS ENTWENT HES OF MARGES AND THEN OWNERN OF THE OWNER. TO OTHER SING SINGESSARY AFTER ROLLING TO RLI. THE VOIDS ENTWENT HES OFMARES AND THEN OWNERN OF THE OWNER. TO OTHER SING SINGESSARY AFTER ROLLING TO RLI. THE VOIDS ENTWENT HES OFMARES AND THEN OWNERN OF THE OWNER. TO OTHER SING SINGESSARY AFTER ROLLING TO RLI. THE VOIDS ENTWENT HES OFMARES AND THEN OWNERN OF THE SING LASS AND, SAPAPHONDED WITH E WONES ENTWENT HES OFMARES AND THEN OWNERN OF THE SING LASS AND, SAPAPHONDED WITH E WONES ENTWENT HES SOFMARES AND THEN OWNERN OF THE SING LASS AND, SAPAPHONDED WITH E WONES AND THE SINGESSARY AFTER SINGESSARY AFTER SINGESSARY AFTER ROLLING TO RUNNE THE SING LASS AND SING SINGESSARY AFTER SINGESSARY

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- BALLED AND BURLAPPED (88.8), AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBRIOUS AND FEEDING ROUTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED
- 3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRI OUT DURING TRANSPORTATION AND PRIOR TO PLANTING.
- PROTECTION OF PALMS: ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED FRAMM FRANTING DETAIL.
- 5. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
- I CONTAINER CROWNI STOCK
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
- An STARLEND CONTAINER GOWIN PART SHALL BE TRANSPLANTED INTO A CONTAINER AND GOWIN IN THAT CONTAINER SUPPRICINTY LONG PROJECT AND THE HIGH PRESENCES TO AN EVEN EVOLUTED SO THAT HE ROOT MOSAVE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER, CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THER STRMS.

- 3. ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.
- 4. RPG="ROOTS PLUS GROWER" CONTAINER PRODUCTS SHALL BE USED WHERE SPECIFIED.
- K MATERIALS LIST
- QUANTITIES RECESSANT TO COMPLETE THE WORK ON THE BANANGE SHALL BE LINKINGHO BY THE CONTINUCTOR QUANTITY STIMUTE NEW BBIN MARC CAREFULX BUT HAS LINKED CLAF ALERVICET CON CONTREXCENSING TO LINKING THE CONTROL OF BENDES SHALLD A DOCERPARCY OCCUR BETWEEN THE FLAKS AND THE FLAKT LIST QUANTITY, THE OWNER'S REPRESENTATIVE SHALL BE A DOCERPARCY OF CLAR BETWEEN THE FLAKS AND THE FLAKT LIST QUANTITY, THE OWNER'S REPRESENTATIVE SHALL BE A DOCERPARCY OF CLAR BETWEEN THE FLAKS AND THE FLAKT LIST QUANTITY, THE OWNER'S REPRESENTATIVE SHALL BE A DOCERPARCY OF CLAR BETWEEN THE FLAKS AND THE FLAKT LIST QUANTITY, THE OWNER'S REPRESENTATIVE SHALL BE A DOCERPARCY OF CLAR BETWEEN THE FLAKS AND THE FLAKT LIST QUANTITY, THE OWNER'S REPRESENTATIVE SHALL BE A DOCERPARCY OF CLAR BETWEEN THE FLAKS AND THE FLAKT LIST QUANTITY, THE OWNER'S REPRESENTATIVE SHALL BE A DOCERPARCY OF CLAR BETWEEN THE FLAKS AND THE FLAKT LIST QUANTITY, THE OWNER'S REPRESENTATIVE SHALL BE A DOCERPARCY OF CLAR BETWEEN THE FLAKS AND THE FLAKT LIST QUANTITY, THE OWNER'S REPRESENTATIVE SHALL BE A DOCERPARCY OF CLAR BETWEEN THE FLAKS AND THE FLAKT LIST QUANTITY. THE OWNER'S REPRESENTATIVE SHALL BE A DOCERPARCY OF CLAR BETWEEN THE FLAKS AND THE FLAKT LIST QUANTITY. THE OWNER'S REPRESENTATIVE SHALL BE A DOCERPARCY OF CLAR BETWEEN THE FLAKS AND THE FLAKT LIST QUANTITY. THE OWNER'S REPRESENTATIVE SHALL BE A DOCERPARCY OF CLAR BETWEEN THE FLAKT SHALL AND NOT THE FLAKT LIST OF CLAR BETWEEN THE FLAKT SHALL AND NOT THE FLAKT LINK NOT THE FLAKT LIST OF CLAR BETWEEN THE FLAKT SHALL AND NOT THE FLAKT SHALL AND NOT THE FLAKT SHALL AND NOT THE FLAKT SHALL BETWEEN THE FLAKT SHALL AND NOT THE FLAKT SHALL FLAKT SHALL AND NOT THE FLAKT SHALL AND NOT THE FLAKT SHALL AND NOT THE FLAKT SHALL FLAKT SHALL FLAKT SHALL FLAKT SHALL AND NOT THE FLAKT SHALL AND NOT THE FLAKT SHALL F
- 2. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE. L. FINE GRADING
- 1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DPTH. CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT INCESSARY INCLUDING & GRADINET TRACTOR WITH INFORT FOR TAXADORTING SOLI WITHIN THE SITE.
- ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEERS PLANS FOR FINAL
- O PLANTING PROCEDURES
- CLEANING UP BEFORE COMMENCING WORK THE CONTRACTOR SHALL CLEAN WORK AND SUBROUNDING AREAS OF ALL RUBBISH OR OBECTOMABLE MATTER DAILY ALL MORTAR, CLEMEN, AND TOXIC MATERIA SHALL BE REMOVED FORM THE SUBFACE OF ALL PANT BEDS THESE MATERIAS SHALL NOT BE MORE WITH THE SUB, LAND THE CONTRACTOR MOS SULFS ALL CONTROL MORE MATERIA THE SOLING WHICH WILL IN ANY WAR ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL MIMERIATEV CALL IT TO THE ATTENTION OF THE OWNERS HRYBERIATURE. FALLUR BO OS OBERGIES PARTITIOS SHALL MARE THE SHALL MIMERIATEV CALL IT TO THE ATTENTION OF THE OWNERS HRYBERIATURE. FALLUR BO OS OS DEFECTION FRANCTING SHALL MARE THE SHALL MIMERIATE CALL IT TO THE ATTENTION OF THE OWNERS HRYBERIATURE. FALLUR BO OS OS DEFECTION FRANCTING SHALL MARE THE SHALL MIMERIATE FRANCHS THE RESIDENCEMENT. OF THE CONTRACTOR.
- 3. FURNISH NURSERV'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN, INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERV OR GROWING SITE.
- 4. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTS STORED ON SITE SHALL NOT REMAIN UNPL APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTCULTURAL PRACTICES SHALL BE EXERCISED.
- THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPLIETENANCES AND PLANTS.
- ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACK FILLED WITH THE PREMARED PLANTING SOIL MIXTURE AS SPECIFIED IN URLESS SHOWN CITEMPOSE SIX THE DRAWINGS, AND BALLY FLEEVINT THE MEDIAGE PLAN TINS SOLI MATURE & SYSTE BED DRAWING STORE AND ALL REPORTS AND ALL AND PLANTING MONTHE HAS BEEN LIGHTED INTO PLACE WITH A SLOW, FLEI AND ALL AND HELD IN POSITION UNTIL THE PLANTING MONTHE HAS BEEN LIGHTED INTO PLACE WITH A SLOW, FLEI AND ALL AND HELD IN POSITION UNTIL THE PLANTING MONTHE HAS BEEN LIGHTED INTO PLACE WITH A SLOW, FLEI AND ALL AND HELD IN POSITION UNTIL THE
- TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLIN 8. FOLLOW PLANTING SPECIFICATIONS IN PLANTING DETAILS
- FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES. STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET, PACK LIGHTLY WITH FEET. ADD MORE WET SOLL MIXTURE. DO NOT COVER TOP OF BALL WITH SOLL MIXTURE ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
- 10. TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR POWNER'S REPRESENTATIVE, TO PRESENT AT HE ADARDARCHER OF THE PLANT, ALL SOFT WOOD OR SUCCER GROWTH AND ALL BROKEN OR SUCCER GROWCH AND ALL BROKEN OR ADARDARCHER THE ANALYSIS. ACCOUNT AND ALL BROKEN ADARDARCHER THE ANALYSIS AND ALL BROKEN ADARDARCHER ADARDARC
- 12. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO ENSURE STABILITY AND MAINTAIN TREES IN AU INFORM FOSTION. IF THE CONTRACTOR AND OWNER DECDE TO YOUWE THE TREE GUYING AND BRACING, THE OWNER SHALL ROOTE THE REVOLUTION OF A ADDRESS AND ADDRESS THE MOST AND ADDRESS AND A
- ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. P. LAWN SODDING
- 1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
- 2. ALL ABAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEDS, AND DEBRS BY MEANS OF A SOD CUTTER TO A REPH OF THREE (3) INCHES, AND THE GROUND BROACH TO AN EVEN GRADE. THE INTER SURFACT SHALL BE ROLLD WITH A ROLLT WIGHTNER KONT MORE THAN UN-HANDRIDE (100) ROUGH SRF ROTO OF OWNER ROUGH AND ALL DEPRESSIONS CAUSED BY STITLINEME SYNALL BE RULED WITH ADDITIONAL SOL, AND THE SURFACT SHALL BE ROGRADED AND ROLLED UNTL PRESENTED A SMOOTH AND THEN HANNED TO THE ROLLD BROACH.
- 3. PREPARE LOOSE BED FOUR (4) INCHES DEEP. RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHUN 4 SODDING

	REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SUBSICE OF THE SOD AND THOROUGHLY WATERED IN, FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
5.	DURING DIELIVERY, PRICH TO, AND DURING THE PLANTING OF THE LAWIN AREAS, THE SOO PANELS SHALL AT ALL TIMES BE PROTECTED FROM ROCESSIVE DIVINIGA AND UNRECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOO SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SYNATING OR EXCESSING HAT AND MOSTRUE.
6.	LAWN MAINTENANCE
	a. WITHIN THE CONTRACT LIMITS THE CONTRACTOR SHALL REPORTER A DIRECT AND REAL ESTEMATION OF ADDRESS AND REPORTER AND REPORT AND R
	b. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD, LAWN UNTIL ACCEPTANCE BY THE OWNERS REPRESENTATIVE PROON TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WAI EMPAN, ARRADICATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WAITERING ESTICTIONS AS SET FOR IT HE PROVERTY SURGEDURAL AUTHORITY.
	CLEANUP
U B A	IPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE. THE CONTRACTOR SHALL REMOVE ALL MATERIAL, QUIPMENT, AND DEBRIS REJUTING FROM MIS WORK, ALL PAVED AREAS SHALL BE CLEANED AND THE STELLET IN A NEAT AND CCEPTAUEL CONTRINUON AS AVPRIVED BY THE COWNERS REVERSENTATIVE.
	PLANT MATERIAL MAINTENANCE
A THE (TH	LL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAVING, AND ALL R OPEANTONS GUICH AS RE-STAUNIC OR REPAIRING THEE GUY SUPPORTS NECESSARY TO ENSURE A HEALTHY PLANT CONDITION E CONTRACTOR ON UNIT: CERTIFICATION OF ACCEPTANCE OF THE OWNERS NERVESINATIVE.
	FINAL INSPECTION AND ACCEPTANCE OF WORK
F P S S	INSU INSERTION AT THE FIN OF THE WURDARNY PERIOD SHULL ECON HAATING. CONSTRUCTION AND ALL OTHER INCOMINAL WORK BRANNEN TO THE CANDERCLAIN PERIODENENT AT THE STIME SHOLL ES BURKET TO THE ASSOCIENT, IN AN WARANTY OR AS PROFILED BY THE LANDSCAPE ACKITISTIC OR OWNER IN WORKING BEGINNING WITH THE TIME OF REFLACEMENT AND ENDING WITH THE MAR INSERTION AND ACCEPTIANCE HERE INCOMESTION DEVINENCE AND
	WARRANTY
1.	THE UPE AND SATISFACTORY CONSTITUTE RANT MATERIAL INSTALLED INCLUDING SOOD IN THE UNIDGEARE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CAENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S RUPRESENTATIVE.
2.	AMP RANT NOT FOLKIND IN HARLTHY GRONING CONDITION AT THE BIO OF THE WARRANTY PREIDD SHALL BE RANKIND FROM THE STETAND REALED AS SOON AN WARRHER CONDITIONS PRIMT ALL REPLACEMENTS SHALL BE RANKIND FOR AND SZE AS SPECIFED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MILCHED AS SPECIFED AT ND ADDITIONAL COST TO THE OWNER.

THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRREGATION MAINTENANCE, THE CONTRACTOR SHOLD VISIT THE PROJECT SITE PRODUCTALLY DURING THE DORL (1) YEAR WARRANTY PROD TO ENALUATE MAINTENANCE PROCEEDINES EBOR (PROVIDED BY THE OWNER) CONTRACTOR SHULL ADDRESS TO BY MITING OF MAINTENANCE PROCEEDINES EBOR (PROVIDED BY THE OWNER) CONTRACTOR SHULL ADDRESS TO BY MITING OF CONTRACTOR SHOLD WIST THE REAL PROVIDED BY THE OWNER) CONTRACTOR SHULL ADDRESS TO BY MITING OF CONTRACTOR SHOLD OF DOLE PRAVINT FOR A PRODO OF TWEN (1) YANG MAINTENANCE PROCEEDINGS WHICH THE PRAVIDED BY THE OWNER) CONTRACTOR SHULL ADDRESS TO BY MITING OF CONTRACTOR SHOLD OF DOLE PRAVINT FOR A PRODO OF TWEN (1) YANG MITING ADDRESS OF CONTRACTOR SHULL ADDRESS TO BY MITING ADDRESS OF CONTRACTOR SHULL ADDRESS OF THE OWNER OF DIA DY MITING ADDRESS OF CONTRACTOR SHULL ADDRESS OF CONTRACTOR SHULL ADDRESS OF THE OWNER OF THE OWNER OF CONTRACTOR SHULL ADDRESS OF THE OWNER OF CONTRACTOR SHULL ADDRESS OF THE OWNER OF THE OWNER OF CONTRACTOR SHULL ADDRESS OF CONTRACTOR

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OVERALL

AND SEAL











			TREE MITIGATIO	ON TABLE		
Tree #	Species	DBH	Status	Inches to be Removed	Replacement	Inches to Preserved
1	PALM	10	Preserved		ĸequired	10
2	PALM	10	Preserved			10
3	PALM	8	Preserved			8
4 5	DALM	28	Preserved	28	21	8
6	SHADE	14	Preserved			14
7	SHADE	8	Preserved			8
8	OAK	5	Preserved			5
9	OAK	6	Preserved			6
10	OAK	6	Preserved			6
12	OAK	6	Preserved			6
13	OAK	6	Preserved			6
14	OAK	24	Preserved			24
15	OAK	10	Preserved			10
17	OAK	10	Remove	10	5	
18	OAK	18	Remove	18	9	
19	OAK	4	Preserved			4
20	OAK	10	Preserved			10
21	PINE	6	Preserved			6
23	OAK	8	Preserved			8
24	OAK	8	Preserved			8
25	OAK	4	Preserved			4
26	OAK	4	Preserved			4
27	CHERRY	8	Preserved			8
29	OAK	14	Remove	14	7	
30	OAK	8	Remove	NIC		
31	OAK	48	Preserved			48
32	OAK	26	Preserved			26
34	OAK	32	Preserved			32
35	OAK	26	Preserved			26
36	OAK	16	Preserved			16
37	OAK	24	Preserved			24
38	OAK	26	Preserved	22	10.5	26
39	OAK	22	Remove	22	16.5	
40	CHERRY	6	Remove	NIC	21	
42	OAK	8	Remove	NIC		
43	OAK	22	Remove	22	16.5	
44	OAK	10	Preserved			10
45	SHADE	4	Remove	NIC		
40	SHADE	5	Remove	NIC		
48	OAK	12	Preserved			12
49	CHERRY	10	Remove	10	5	
50	OAK	8	Remove	NIC		
51	CHERRY	6	Remove	NIC		
52	SHADE	12	Preserved			12
53	CAMPHOR	6	Remove (INVASIVE)	NIC		6
55	OAK	16	Preserved			16
56	CHERRY	8	Preserved			8
57	OAK	4	Preserved			4
58	OAK	8	Preserved			8
59	CAMPHOR	6	Remove (INVASIVE)	NIC		
60	12" PINE	12	Preserved			12
62	OAK	16	Preserved			16
63	CHERRY	8	Preserved			8
64	CHERRY	10	Preserved			10
65	OAK	10	Preserved			10
66	PINE	26	Preserved			26
67	OAK	16	Preserved	60	60	16
68 69	DINE	12	Remove	12	6	
03	FINE		TOTAL	224	167	607
NIC: Not	Included in Ca	lculation du	e to invasive status or b	eing below 10"		

TREE MITIGATION SPECIFICATIONS

- A. GENERAL
- 1. CONTRACTOR SHALL ADHEAR TO ALL TREE PROTECTION REQUIREMENTS LISTED IN THESE SPECIFICATIONS AND/OR THOSE LISTED IN THE CITY OR COUNTY ZONNING CODE, TREE PROTECTION (LATEST EDITION). WHICHEVER IS MORE STRINGENT SHALL APPLY.
- 2. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION PROCEDURES WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WOR
- ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATION MATERIAL THAT WILL, WITHIN A REASONABLE TIME FRAME, DETER SOIL DISTURBANCE.
- NO SIGNS, BUILDING PERMITS, WIRES OR OTHER ATTACHMENTS OF ANY KIND SHALL BE ATTACHED TO ANY TREE OR PALM. GUY WIRES DESIGNED TO PROTECT TREES ARE EXCLUDED FROM THIS PROHIBITION.
- 5. EXISTING TREE LOCATIONS AND SIZES ARE ESTIMATES AND ARE BASED ON A SURVEY PROVIDED BY THE OWNER SELECTED SUBJECTOR
- CONTRACTOR SHALL COORDINATE TREE REMOVAL WITH PERMITTING AGENCY AND PROJECT ARBORIST PRIOR TO CONSTRUCTION. NO PERSON MAY REMOVE OR CAUSE TO BE REMOVED ANY PROTECTED TREE OR PALM WITHOUT FIRST HAVING PROCURED A PERMIT AS PROVIDED BY THE APPROPRIATE PERMITTING AGENCY.
- FOR PROTECTED TREES OR PALMS BEING REMOVED, THE CONTRACTOR MUST GIVE THE PERMITTING AGENCY REASONABLE OPPORTUNITY TO RELOCATE TREES DESIGNATED FOR REMOVAL TO ANOTHER SITE AT THE PERMITTING AGENCY'S EXPENSE. CONTRACTOR IS RESPONSIBLE FOR POSSESSING ALL REQUIRED APPLICATOR LICENSES, BUSINESS REGISTRATIONS AND INSURANCE, PESITICIDE LABELS, AND INITERIL DATA SAFETY SHEETS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR HWWN DALL SHILL CONTINUENT MATERIALS AND REQUIRED PESICALL PROTECTICE EQUIPMENT FOR PESITOLE PAPEL/ATOMS AND ACCEMENTAL SPRILS ON STIET AT ALL TIMES. THE OWNER RESERVES THE RIGHT TO INSPECT EACH APPLICATOR AND HAVE THESE MATERIALS PRESENDE DESCRIAL AD QUIRING ANY RESIDECT HEATMANT.
- WHERE TRAFFIC AREAS ARE PROPOSED WITHIN THE DRIP LINE OF PROTECTED TREES AND LESS THAN FOUR (4) INCHES OF GRADE CHANGE ARE PROPOSED, PERMEABLE SURFACES THAT ALLOW AIR AND WATER INTO THE SOLL SHOULD BE USED IN LIEU OF ASPHALT FOR OTHER SUCH IMPERVIOUS SURFACES.
- 10. TREE WELLS OF AN APPROVED DESIGN SHALL BE CONSTRUCTED AROUND ALL TREES TO BE PRESERVED WHEN MORE THAN FOUR INCHES OF FILL IS TO BE DEPOSITED WITHIN THE DRIP LINE AREA OF THOSE TREES. COORDINATE WITH PROJECT ARBORIST.
- 11. THE SEQUENCE OF TREE MITIGATION AND PRESERVATION MEASURES IS IMPERATIVE TO THE HEALTH AND SURVIVABILITY OF THE SUBJECT TREES AND SHALL BE COORDINATED WITH THE OWNER SELECTED PROJECT ARBORIST. THE DESIRED SEQUENCE IS OUT UNE REI OW
- a. TREE PROTECTION FENCING.
- b. ROOT PRUNING AND ROOT BARRIERS
- c. CLEARING
- d. TREE CANOPY PRUNIN
- e. FERTILIZATION
- f. INSECTICIDE
- a IRRIGATION
- B TREE PROTECTION FENCING
 - PRIOR TO THE ERECTION OF ANY TREE PROTECTION FENCING, ALL FOREIGN SURFACE MATERIAL, TRASH OR DEBRIS SHALL BE REMOVED FROM THE AREA TO BE ENCLOSED BY THE FENCING. AFTER ERECTION OF THE FENCING NO SUCH MATERIAL OR LITTER
- 2. TREE PROTECTION FENCING SHALL BE PLACED AROUND ALL PROTECTED TREES TO CREATE A PROTECTIVE ROOT ZONE AND SHALL REMAIN IN PLACE UNTIL SITE CLEARING, LAND ALTERATION, AND CONSTRUCTION ACTIVITIES ARE COMPLETE.
- NATIVE GROUND COVER AND UNDERSTORY VEGETATION EXISTING WITHIN THE PROTECTED AREA SHALL REMAIN THROUGHOUT CONSTRUCTION. OTHER DESIGNATED VEGETATION AND INVASIVE PLANT SPECIES SHALL BE REMOVED ONLY BY MANUAL LABOR UTILIZING HAND TOOLS. OR BY OTHER METHODS APPROVED BY THE PROJECT ARBORIST.
- TREE PROTECTION FENCING TYPES AND LOCATIONS SHALL BE ERECTED AS SHOWN ON THE TREE MITIGATION PLANS AND DETAILS, OR AS REDUESTED BY LOCAL AGENCY.
- 5. FINAL LOCATIONS SHALL BE COORDINATED WITH AND APPROVED BY THE PROJECT ARBORIST
- 6. NO MATERIALS, EQUIPMENT, SPOIL, WASTE OR WASHOUT WATER MAY BE DEPOSITED, STORED, OR PARKED WITHIN 20 FEET OF THE TREE PROTECTION ZONE. 7. EROSION CONTROL DEVICES SUCH AS SILT FENCING, DEBRIS BASINS, AND WATER DIVERSION STRUCTURES SHALL BE INSTALLED TO PREVENT SILTATION AND/OR EROSION WITHIN THE TREE PROTECTION ZONE.
- 8. CONSTRUCTION ACTIVITY SHALL NOT DESTROY OR IRREVERSIBLY HARM THE ROOT SYSTEM OF PROTECTED TREES. POST HOLES AND TRENCHES LOCATED CLOSE TO PROTECTED TREES SHALL BE ADJUSTED TO AVOID DAMAGE TO MAJOR ROOTS.
- DO NOT NISTALL CONDUIT, DRAIN OR REGALIZIONES, DO ANY LITENTI LINE MININI THE REPROTECTION 2006 WITHOUT THE APPROVAL OF THE PROJECT ARBORIST. IF LINES MUST TRAVERSE THE PROTECTION AREA, THEY SHALL BE TUNNELED OR BORED MOREE THE FEE.
- 10. CONTRACTOR'S ACCESS TO FENCED TREE PROTECTION AREAS WILL BE PERMITTED ONLY WITH APPROVAL OF THE PROJECT
- 11. EXCAVATION OR GRADING REQUIRED WITHIN THE PROTECTED AREA SHALL BE LIMITED TO THREE (3) INCHES OF OUT OR FILL. COORDINATE WITH PROJECT ARBORIST.
- 12. STRUCTURES AND UNDERGROUND FEATURES TO BE REMOVED WITHIN THE TREE PROTECTION ZONE SHALL BE COORDINATED WITH THE PROJECT ARBORIST.
- TREE PROTECTION FENCING AROUND TREES TO BE RELOCATED SHALL BE ERECTED UNTIL THE TREE IS READY TO BE RELOCATED AND NEW FENCING SHALL BE ERECTED AT THE TREES NEW LOCATION AND WILL REMAIN IN PLACE UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETE.
- 14. IF ANY DAMAGE TO TREE PROTECTION FENCING SHOULD OCCUR BY ACCIDENT OR NEGLIGENCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATE REPAIRS.
- E TEMPORARY MALL OR ACCESS ROUGH MET PASS OVER THE REPORTING A REAL OF TREES TO BE PRESENCED. A ROUGIED OF SIX(8) ROUGH OR MULCH OR ORIVES SALL SECRETED TO REPORT THE SOL THE ROUGIES MUTCHING SALL SECRET REPLEISHED AS INCESSARY TO MANTANA SIX(8) ROUTROAD BDAT ALL TIMES. CONTRACTOR SHALL REMOVE ALL SUCH MITTENLS FROM THE SITE AS SOLON AS TEMPORARY ACCESS IN OL NOVER DECESSARY.
- 16. CONTRACTOR SHALL COORDINATE WITH THE PROJECT ARBORIST PRIOR TO THE REMOVAL OF ALL TREE PROTECTION FENCING. C. ROOT PRUNING/TRENCHING
- TRENCHING LOCATIONS SHALL BE APPROVED IN THE FIELD BY THE PROJECT ARBORIST TRENCHING EQUIPMENT THAT WILL TURN AT HIGH RPM'S IS PREFERRED, AND SHALL BE APPROVED BY THE PROJECT ARBORIST APPROVED EQUIPMENT WILL BE USED TO PERFORM ALL ROOT PRUNING OPERATIONS. A MINIMUM DEPTH OF THREE FEET IS REQUIRED.
- 3. INSTALL ROOT BARRIER WHERE DESIGNATED. SEE TREE MITIGATION PLAN AND DETAIL SHEETS.
- 4. THE TRENCH SHALL BE BACKFILLED WITH PREVIOUSLY EXCAVATED SOIL AND COMPACTED IMMEDIATELY.
- 5. TREES TO BE RELOCATED SHALL BE ROOT PRUNED A MINIMUM OF TWELVE (12) WEEKS PRIOR TO TREE RELOCATION
- WHEN THE TREE ROOT ZONE WILL BE DISTURBED, AFFECTED ROOTS MUST BE SEVERED BY CLEAN PRUNING CUTS AT THE POINT WHERE CONSTRUCTION IMPACTS THE ROOTS.
- D. CLEARING
- 1. ANY BRUSH CLEARING REQUIRED WITHIN THE TREE PROTECTION ZONE SHALL BE ACCOMPLISHED WITH HAND-OPERATED EQUIPMENT.
- 2. CONTRACTOR SHALL CLEAR ALL TREE PROTECTION AREAS OF VINES, SHRUBS, GROUND COVERS, WEEDS, SAPLINGS, AND INVASIVES LISTED ON THE LATEST EDITION OF THE FLORIDA EXOTIC PEST PLANT COUNCIL'S LIST OF INVASIVE SPECIES.

- 3. PROJECT ARBORIST MUST APPROVE METHODS OTHER THAN HAND CLEARING.
- A TWO (2) INCH LAYER OF MULCH SHALL BE APPLIED OVER THE SURFACE OF EXPOSED ROOTS OF PROTECTED TREES DURING THE SITE CLEARING PHASE. TREE CANOPY PRUNING E.
- TREE PRUNING SPECIFICATIONS SHALL BE DEFINED BASED ON SPECIFIC RECOMMENDATIONS OF THE PROJECT ARBORIST. INFORMATION PRESENTED BELOW SHOULD BE USED AS A GUIDELINE.
- 1. CONTRACTOR SHALL VISIT THE SITE WITH THE PROJECT ARBORIST TO VERIFY THE EXTENT OF REQUIRED PRUNING. 2
- ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF A QUALIFED INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) CERTIFIED ARBORIST OR AN AMERICAN SOCIETY OF CONSULTING ARBORISTS (ASCA) REGISTERED CONSULTING ARBORIST (IRCA) 3. AT LEAST ONE MEMBER OF THE PRUNING CREW SHALL BE AN ISA CERTIFIED ARBORIST.
- 4. WHILE IN THE TREE. THE ARBORIST SHALL PERFORM AN AERIAL INSPECTION TO IDENTIFY DEFECTS THAT REQUIRE TREATMENT. ANY ADDITIONAL WORK NEEDED SHALL BE REPORTED TO THE OWNER.
- PRENNED, CUTS SHALL BE COME IN ACCORDANCE WITH THE LATEST EXTENDING THE AMEN ADD REMAINS STANDARD UMBERCAN MICTOMA STANDARD FOR THESE CARE CREATING MAN DIVENSI VALUE AS REFORMED IN ACCOMMANCE WITH THE LATEST EDITION OF ANN 2133 I SPETY STANDARD FRAINING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ANN 2133 I SPETY STANDARD FRAINING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ANN 2133 I SPETY STANDARD FRAINING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ANN 2133 I SPETY STANDARD FRAINING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ANN 2133 I SPETY STANDARD FRAINING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ANN 2133 I SPETY STANDARD FRAINING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ANN 2133 I SPETY STANDARD FRAINING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ANN 2133 I SPETY STANDARD FRAINING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ANN 2133 I SPETY STANDARD FRAINING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ANN 2133 I SPETY STANDARD FRAINING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ANN 2133 I SPETY STANDARD FRAINING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ANN 2133 I SPETY STANDARD FRAINING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF BAST BEST MINAGEMENT FRAINCES. 5.
- WHERE TEMPORARY CLEARANCE IS NEEDED FOR ACCESS, BRANCHES SHALL BE TIED BACK TO HOLD THEM OUT OF THE CLEARANCE ZONE.
- NO MORE THAN 20 PERCENT OF LIVE FOLIAGE SHALL BE REMOVED WITHIN ANY TREE.
- 8. ALL TREES WITHIN THE PROJECT AREA SHALL BE PRUNED AS FOLLOWS a. LIVE BRANCH PRUNING SHOULD BE PERFORMED ONLY WHEN THE DANGER OF INSECT OR DISEASE INFESTATION IS NOT PRESENT.
- b. REMOVE STUBS, CUTTING OUTSIDE THE WOUND WOOD TISSUE THAT HAS FORMED AROUND THE BRANCH
- c. CLEANING, FOR THE SELECTIVE REMOVAL OF DEAD, DISEASED, BROKEN, OR CROSSING BRANCHES DOWN TO ONE INCH IN DIAMETER OR AS DIRECTED BY THE PROJECT ARBORIST.
- d. PRUNING CUTS LARGER THAN 4 INCHES IN DIAMETER. EXCEPT FOR DEAD WOOD. SHALL BE AVOIDED.
- e. PRUNING CUTS THAT EXPOSE HEARTWOOD SHALL BE AVOIDED WHENEVER POSSIBLE.
- f. ALL TREES WITH CROWNS THAT PROJECT INTO PARKING LOT/ROADWAY AREAS SHALL BE RAISED TO 14 FEET ABOVE FINISHED GRADE. g. ALL TREES WITH CROWNS THAT PROJECT INTO SIDEWALK AREAS SHALL BE RAISED TO A HEIGHT OF 8 FEET ABOVE FINISHED
- 9. TREES, WHO'S ROOT SYSTEMS WILL BE IMPACTED SHALL RECEIVE THE FOLLOWING PRUNING TO COMPENSATE FOR ROOT LOSS: a. THE LOCATION AND SIZE OF BRANCHES FOR REDUCTION SHALL BE DEFINED BY THE PROJECT ARBORIST.
- b. REDUCTION, OR THE SELECTIVE PRUNING TO REDUCE TREE HEIGHT OR SPREAD.
- c. REDUCE END WEIGHT ON HEAVY, HORIZONTAL BRANCHES BY SELECTIVELY REMOVING SMALL DIAMETER BRANCHES, NO GREATER THAN 2 TO 3 INCHES, NEAR THE ENDS OF SCAFFOLD BRANCHES. d. RAISING SHALL CONSIST OF SELECTIVE PRUNING TO PROVIDE VERTICAL CLEARANCE
- 10. PROPOSED/REPLACEMENT TREES
- a. PRUNING SHALL BE LIMITED TO CLEANING.
- 11. BRUSH SHALL BE CHIPPED AND SPREAD (ONLY WHEN DISEASE OR INSECT INFESTATION IS NOT PRESENT) UNDERNEATH TREES WITHIN THE TREE PROTECTION ZONE TO A MAXIMUM DEPTH OF THREE (3) INCHES, LEAVING THE TRUNK CLEAR OF MULCH.
- 12. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EXCESS DEBRIS ON A DAILY BASIS.
- E FERTILIZATION
- 1. CONTRACTOR SHALL COORDINATE FERTILIZATION PLAN, FOLLOWING BEST MANAGEMENT PRACTICES WITH THE PROJECT ARBORIST PRIOR TO COMMENCEMENT OF WORK.
- EVERY EFFORT SHALL BE MARE TO UTILIZE CHEMICALS OF AN ORGANIC OR BIODEGRADABLE MATURE IN ORDER TO OFFER LESST MEAST TO THE INITIALE MINIMUM INSTITUTION IN REPORT OF THE REPORTED FOR MARIA, APPLING, AND DISYOBAL OF LOGINAL TO CONTINUES WITH STRUCTURE TO MANUFACTURES SECURATIONS CONTINUES WITH FROM REPORT TO CONTINUES WITH STRUCTURE TO MANUFACTURES SECURATIONS CONTINUES WITH FROM REPORT TO CONTINUES WITH STRUCTURE. 3. ONLY TREES AFFECTED BY CONSTRUCTION OR AS SHOWN ON THE TREE MITIGATION PLAN AND TREE INVENTORY SCHEDULE SHALL BE TREATED.
- 4. TREES SPECIFIED TO RECEIVE FERTILIZER SHALL BE TREATED AS FOLLOWS.
- A. MIX FERTILIZER ACCORDING TO MANUFACTURER'S SPECIFICATIONS INTO A TANK WITH AGITATION CAPABILITY. b. MIX WETTING AGENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS INTO SAME TANK WITH FERTILIZER. AGITATE MIX.
- c. INJECT THE MIXTURE WITH A HYDRAULIC INJECTION SYSTEM INTO THE UPPER 6-12 INCHES OF SOIL WITH A SOIL PROBE. INJECT AT THE RATE OF ONE THIRD (1/3) GALLON AT EACH INJECTION SITE.
- d. THE CRITICAL ROOT ZONE AREA PLUS 2' BEYOND THE CRITICAL ROOT ZONE SHALL BE INJECTED, BUT NOT BEYOND ROOT PRUNING LOCATIONS.
- e. FERTILIZER SHALL BE INSTALLED PRIOR TO THE INSTALLATION OF ANY AERATION SYSTEMS
- f. EMPTY PRODUCT CONTAINERS SHALL BE STOCKPILED FOR INSPECTION BY THE PROJECT ARBORIST PRIOR TO DISPOSAL E TRANSPLANT INOCULANT & DIOSTIMULANT
- a. CONTRACTOR SHALL PROVIDE MYCORRHIZAL TRANSPLANT INOCULANT ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND AS RECOMMENDED BY THE PROJECT ARBORIST. MIX INOCULANT IN 10" WIDE TOPSOIL RING AROUND THE ROOT BALL.
- b. CONTRACTOR SHALL PROVIDE INJECTABLE MYCORRHIZAL INOCULANT ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND AS RECOMMENDED BY THE PROJECT ARBORIST. AGITATE FOR 10 MINUTES. c. INJECT THE MIXTURE WITH A HYDRAULIC INJECTION SYSTEM INTO THE UPPER 6-12 INCHES OF SOIL WITH A SOIL PROBE. INJECT AT THE RATE OF ONE THIRD (1/3) GALLON AT EACH INJECTION SITE.
- d. EMPTY PRODUCT CONTAINERS SHALL BE STOCKPILED FOR INSPECTION BY PROJECT ARBORIST PRIOR TO DISPOSAL 7. TRANSPLANT MAINTENANCE
- a. APPROXIMATELY ONE YEAR AFTER PLANTING, THE CONTRACTOR SHALL REFERTILIZE ALL TRANSPLANTS UTILIZING THE SAME INFORMATELY ADVISED ADVISED AND A STATEMENT OF A DVISED ADVISED ADVIS G. INSECTICIDE
- 1 NOTIFY PROJECT ABBORIST IF ANY INFESTATION IS NOTICED
- 2 FOLLOW PROJECT ARRORIST'S RECOMMENDED PROCEDURES
- 3. FOLLOW ALL MANUFACTURERS' RECOMMENDATIONS CONCERNING APPLICATION. READ ALL WARNING LABELS.
- ANY PETS, AS WELL AS, THE PETS FOOD AND WATER BOWLS SHOULD BE REMOVED. FROM THE AREA AND ANY SWIMMING POOLS SHOULD BE COVERED. COORDINATE WITH PROJECT AREORIST FOR FURTHER INSTRUCTION. 5. ENSURE COMPLETE COVERAGE AND REAPPLY 2-3 MONTHS AFTER INITIAL APPLICATION UTILIZING SAME PROCEDURE.
- H. IRRIGATION
- 1. EVERY EFFORT SHALL BE MADE TO WATER THE PRESERVED TREES AND TRANSPLANTS. CONTRACTOR SHALL IRRIGATE BY HAND OR BY TEMPORARY IRRIGATION
- TREES TO BE REMOVED THAT HAVE BRANCHES EXTENDING INTO THE CANOPY OF TREES TO REMAIN MUST BE REMU QUALIFIED SACETFIED ARBORIST AND NOT SY DEMOLTION OR CONSTRUCTION CONTRACTORS. THE QUART SHALL REMOVE THE TREE IN A MANNER THAT CAUSES NO DAMAGE TO THE TREES AND UNDERSTORY VEGETATION TREES TO BE REMOVED LOCATED WITHIN THE TREE PROTECTION ZONE SHALL BE REMOVED BY A QUALIFIED ISA CERTIFIED ARBORIST. THE TREES SHALL BE CUT NEAR GROUND LEVEL AND THE STUMP GROUND OUT. 1. DIG TRANSPLANT-RECEIVING HOLE. 2. SET SPADE DUG ROOT BALL INTO RECEIVING HOLE 4*-6" ABOVE EXISTING GRADE 3. WASH SAND OR TOPSOIL INTO AIR POCKETS BETWEEN ROOT BALL AND RECEIVING HOLE INSTALL TOPSOIL RING, 4" HIGH, 10" WIDE, AROUND PERIMETER OF ROOT BALL. MIX MYCORRHIZAL TRANSPLANT INOCULANT INTO TOPSOIL, RING PER MANUFACTURERS SPECIFICATIONS. 5. INSTALL THREE INCHES OF MULCH FROM PERIMETER OF ROOT BALL TO WITHIN 6" OF TREE TRUNK. 6. COVER TOPSOIL RING WITH 1" OF MULCH AND EXTEND MULCH 4"-6" DEEP, AWAY FROM PERIMETER OF ROOT BALL. HOLDING AREAS SHOULD NOT BE NECESSARY. CONSTRUCTION PHASING SHOULD BE IMPLEMENTED SO THAT TREES ARE IMMEDIATELY RELOCATED TO THEIR PERMANENT LOCATION. COORDINATE WITH PROJECT ARBORIST AS NEEDED. 2. SHOULD A HOLDING AREA BE NECESSARY, TREE PROTECTION FENCING SHALL BE INSTALLED AT THE PERIMETER OF THE ENTIRE AREA. 3. CONTRACTOR SHALL COORDINATE LOCATION AND SPECIFICATIONS OF THE HOLDING AREA WITH PROJECT ARBORIST. CONTRACTOR SHALL SUPPLY TEMPORARY IRRIGATION TO THE HOLDING AREA CONSISTING OF ABOVE GROUND PVC OR POLYETHYLENE PIPE, SPRAY OR ROTOR HEADS (WTH HEAD TO HEAD COVERAGE) AND A CONTROLLER. COORDINATE WITH PROLECT ARBORIST FOR CONTROLLER SETTINGS AND ALTERNATIVE WATERING WETHODS. CONTRACTOR SHALL COORDINATE ALL EARTHWORK OPERATIONS WITHIN TREE PROTECTION AREAS WITH THE PROJECT ARBORIST PRIOR TO BEGINNING WORK. ALL TOPSOL SHALL BE NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOL IN THE VICINITY THAT PRODUCES HEAVY GROWTH. TOPSOIL, PH RANGE OF 5.5 TO 7.0, 3.5 PERCENT ORGANIC MATERIAL MINIMUM, FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY, STONES LARGER THAN ONE (1) NOH IN DIAMETER, STUMPS, ROOTS, TRASH, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY FE HABRIEL TO PLANT GRAVIT VERIFY AMOUNT STOCKPILED IF ANY, AND SUPPLY ADDITIONAL AS NEEDED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST FOUR (4) INCHES DEEP. DO NOT OBTAIN TOPSOIL FROM BOGS OR MARSHES. PROJECT ARBORIST SHALL APPROVE ALL TOPSOIL PRIOR TO PLACEMENT. IF DAMAGE TO ANY TREE SHOULD OCCUR BY ACCIDENT OR NEGLIGENCE DURING THE CONSTRUCTION PERIOD, THE PROJECT ARBORIST SHALL APPRAISE THE DAMAGE AND MAKE RECOMMENDATIONS TO THE OWNER FOR REPAIR BY THE CONTRACTOR. IF ANY TREE DISIDILATED TO BE SAND ID REMOVED FROM THE SITE WITHOUT PERMISSION OF THE OWNERS REPRESENTATIVE, THE IPROJECT ARBORIST SHALL APPRAISE THE FIRE AND IMAGE RECOMMENSATIONS TO THE OWNERS FOR REPLACEMENT BY THE ASSESSED TO THE OWNERBY THE OWNERING THE OWNERNATIONS. TO THE OWNERS AND ANY ESTIMATION OF THE OWNERS AND ANY ES 4'HT "PERIMETER PLUS" CONSTRUCTION FENCE BY CONWED PLASTICS OR OWNER REPRESENTATIVE APPROVED EQUAL. SUB PRODUCT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION. 2 6' TALL METAL "T" POSTS OR 2" x 2" X 6' PRESSURE TREATED WOOD POSTS WITH 24" BURIAL BELOW GRADE. Meleon INSTALLATION NOTES: POST SELECTION SHOULD BE BASED ON EXPECTED STRENGTH NEEDS AND THE LENGTH OF TIME FENCE WILL BE IN PLACE. FLEXIBLE FIBERGLASS ROD POSTS ARE RECOMMENDED FOR PARKS, ATHLETIC EVENTS AND CROWD CONTROL INSTALLATIONS. METAL "T" POSTS OR TREATED WOOD POSTS ARE TYPICALLY USED FOR CONSTRUCTION AND OTHER APPLICATIONS. POSTS SHOULD BE DRIVEN INTO THE GROUND TO A DEPTH OF 1/3 OF THE HEIGHT OF THE POST. FOR EXAMPLE A 6' POST SHOULD BE SET AT LEAST 2' INTO THE GROUND. C. SPACE POSTS EVERY 4' (MIN.) TO 6' (MAX.). D. SECURE FENCING TO POST WITH NYLON CABLE TIES (AVAILABLE FROM CONWED PLASTICS). WOOD STRIPS MAY BE ALSO BE USED TO PROVIDE ADDITIONAL SUPPORT AND PROTECTION BETWEEN TIES AND POSTS.

2. IRRIGATE AS REQUIRED BY PROJECT ARBORIST UNTIL PERMANENT IRRIGATION IS INSTALLED AND OPERATING

5. ALL BURN PITS IF APPLICABLE MUST BE APPROVED BY THE PROJECT ARBORIST AND OWNER.

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J. MACHINE DUG TRANSPLANTING

7. WATER TRANSPLAN

M. REPAIR OF DAMAGED TREES

A.K

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K. HOLDING AREA FOR TRANSPLANTS

TREE REMOVALS

UNDERGROUND IRRIGATION SHALL NOT BE INSTALLED WITHIN THE DRIP LINES OF EXISTING TREES UNLESS ROOT PROTECTION

PRIOR TO AND DURING LAND CLEARING, INCLUDING GRUBBING, ALL TREES TO BE REMOVED SHALL BE CLEARLY MARKED BY PROJECT ARBORIST WITH RED SURVEY RIBBONS AT 36 INCHES MINIMUM ABOVE GRADE.

CONTRACTOR SHALL REMOVE ALL TREES AS SHOWN ON THE TREE MITIGATION PLANS AFTER THE TREE PROTECTION FENCING IS INSTALLED.

ALL TREES SHOWN TO BE REMOVED SHALL BE FELLED WITH A CHAIN SAW AND STUMP GROUND 6" BELOW SURFACE. ANY TREE SHOWN TO BE REMOVED THAT IS IN AN AREA WHERE COMPACTION IS CRITICAL SHALL BE FELLED WITH A CHAIN SAW AND STUMP REMOVED BY CONTRACTOR.

ALL WOO AND STUMP FROM REMAYARS SHALL BE HANLED FROM THE SITT THE DAME DAY, ENCERT FOR YOR ALL YOR ARE TO BE MALCHED AND FORCED OF HANDED DIRECTLY YO MALCHED REASE, YOR MACCARED TREES BY ANDEDUAN OF REMAINTS TOPS SHALL BE CHIPPED AND PLACED IN THE TREE FROTECTION ZONE YO A DEPTH OF THREE (5) NONES. ALL EXCESS WOOD CHIPS SHALD BE CHIPPED AND PLACED IN THE TREE FROTECTION ZONE YO ADEPTH OF THREE (5) NONES. ALL EXCESS WOOD CHIPS SHALD BE CHIPPED AND PLACED IN THE TREE FROTECTION ZONE YO ADEPTH OF THREE (5) NONES. ALL EXCESS WOOD CHIPS SHALD BE CHIPPED AND PLACED IN THE TREE FROTECTION ZONE YO ADEPTH OF THREE (5) NONES. ALL EXCESS WOOD CHIPS



NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH FENCE. WIRE MAY DAMAGE FENCE OVER TIME. TREE PROTECTION FENCING

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OCALA MITIGATION NOTES POWER RING SHEET NUMB TM-150

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