

December 18, 2024

PROJECT NAME: BOWMAN 326 DEVELOPMENT

PROJECT NUMBER: 2023080108

APPLICATION: MAJOR SITE PLAN #30575

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Additional Stormwater comments  
STATUS OF REVIEW: INFO  
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Alexander Turnipseed at (352) 671-8376 or at alexander.turnipseed@marionfl.org.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Copy of District Permit (County Interest)  
STATUS OF REVIEW: INFO  
REMARKS: Please provide a copy of the District permit prior to construction.
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI  
STATUS OF REVIEW: INFO  
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 4 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.B(8) - Calculation & Plan Consistency  
STATUS OF REVIEW: INFO  
REMARKS: This item will be reviewed upon resubmittal.
- 5 DEPARTMENT: ENGTRF - TRAFFIC REVIEW  
REVIEW ITEM: 6.12.11 - Turn lanes  
STATUS OF REVIEW: INFO  
REMARKS: 9/3/24 - An approved traffic study is required to determine the need for turn lane modifications.  
10/25/23 - The traffic study will determine the need for turn lane modifications.
- 6 DEPARTMENT: ENGTRF - TRAFFIC REVIEW  
REVIEW ITEM: 6.11.9.A - Traffic signals  
STATUS OF REVIEW: INFO  
REMARKS: 9/3/24 - An approved traffic study is required to determine the need for signal modifications.  
10/25/23 - The traffic study will determine the need for signal modifications.
- 7 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: Additional Development Review Comments  
STATUS OF REVIEW: INFO  
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

- 8 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval  
STATUS OF REVIEW: INFO  
REMARKS: 10/18/23 - add waivers if requested in the future
- 9 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: Additional Landscape comments  
STATUS OF REVIEW: INFO  
REMARKS: 1. Loblolly bay can only tolerate full sun with sufficient moisture, prefers partial shade. Has a shallow root system and will die without irrigation in drought periods. Mostly found in wet, sites. If the tree dies, replacement will be required. 2. Correct caliper inches on schedule from 3.4" to 3.5"
- 10 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.19.3 - Outdoor lighting plan requirements  
STATUS OF REVIEW: INFO  
REMARKS: Light pole may not exceed 30' in height
- 11 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: Additional Zoning comments  
STATUS OF REVIEW: INFO  
REMARKS: Staff notes the plan references two outparcels. Division of the property into as indicated will require filing and completing a subdivision plat to achieve the proposed outparcels; further, the plat will be required to address the site's overall access, particularly the cross-access spacing previously noted, and "legal access" for the truck parking portion of the site.
- 12 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 2.12.4.L(10) - Parking requirements, service entrances, space size paved parking isle and access to parking area/6.11.8 - Off-street parking requirements/6.11.7 - Loading Areas/ 6.11.6 - Construction access/route  
STATUS OF REVIEW: INFO  
REMARKS: The proposed plan functionally places two two-way driveways side by side where they access what is identified as NW 40th Terrace - the access separation does not comply with appropriate access separation requirements, particularly given the types of traffic that will access the built out site.
- 13 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 2.12.4.L(7) - List and describe land use including floor area of particular use (example: office, warehouse, storage or assembly) these descriptions are often found in the summary of parking requirements but should be clearly shown on plan  
STATUS OF REVIEW: INFO  
REMARKS: Staff notes the project proposes an "overnight semi-truck parking" area. However, no supporting facilities such as office/security space, restrooms, or possible seating areas (indoors or outdoors) to accommodate users of the facility are proposed. This means such activity could potentially be dependent on off-site properties which is a concern if access to those facilities becomes restricted or prohibited. Further, would the lack of such facilities create regulatory compliance issues for both the employees working at the site as well as users of the facility?
- 14 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 2.12.4.L(4) - Zoning requirements: lot width, area , setbacks , coverage (floor area ratios) and parking  
STATUS OF REVIEW: INFO  
REMARKS: The site's driveway parallel to Hwy 326 is shown as providing the site's cross-access but it ends before reaching the site's west boundary. Obtaining an LDC Waiver to end the paving is necessary; staff may

not object to such a waiver subject to providing a cross-access covenant, companion easement, and ensuring the design of the driveway will facilitate the completion of the connection in the future (e.g., avoiding significant elevation changes, etc.).

- 15 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities  
STATUS OF REVIEW: INFO  
REMARKS: as of 9/9/24 review, remains unpaid/unposted  
\$130 - to pay by phone, call 352-671-8686 and reference "Utility Fee" for AR 30575 prior to resubmittal to clear this checklist item. Fee will not change for additional reviews as needed.
- 16 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH  
REVIEW ITEM: Additional Health comments  
STATUS OF REVIEW: INFO  
REMARKS: Proposed irrigation well will require a permit through the Department of Health in Marion County
- 17 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.7 - Geotechnical Criteria  
STATUS OF REVIEW: NO  
REMARKS: (1) Please note that the LDC requires a minimum of two borings per DRA, with an additional boring for each half acre of pond bottom. Pond 2a needs an additional borings (2) Please also note that the LDC requires that for each retention/detention area utilizing percolation or infiltration in the design model, there shall be a minimum of two infiltration rate tests for each retention/detention area.
- 18 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2 A(1)/(2) - Contributing Basins/Tc  
STATUS OF REVIEW: NO  
REMARKS: See comments under "6.13.2.B(4) - Hydrologic Analysis"
- 19 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations  
STATUS OF REVIEW: NO  
REMARKS: See comments under "6.13.2.B(4) - Hydrologic Analysis"
- 20 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.4 - Stormwater Quantity Criteria  
STATUS OF REVIEW: NO  
REMARKS: See comments under "6.13.2.B(4) - Hydrologic Analysis"
- 21 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.B(4) - Hydrologic Analysis  
STATUS OF REVIEW: NO  
REMARKS: DRAs need to be evaluated separately unless they are connected together through an equalizer pipe. Please ensure that the proximity of the ponds is taken into consideration with infiltration.
- 22 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.4.C - Discharge Conditions  
STATUS OF REVIEW: NO  
REMARKS: See comments under "6.13.2.B(4) - Hydrologic Analysis"

- 23 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.B(6) - Freeboard  
STATUS OF REVIEW: NO  
REMARKS: See comments under "6.13.2.B(4) - Hydrologic Analysis"
- 24 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.4.D - Recovery Analysis  
STATUS OF REVIEW: NO  
REMARKS: See comments under "6.13.2.B(4) - Hydrologic Analysis"
- 25 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.5 - Flood Plain & Protection  
STATUS OF REVIEW: NO  
REMARKS: See comments under "6.13.2.B(4) - Hydrologic Analysis"
- 26 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.6 - Stormwater Quality Criteria  
STATUS OF REVIEW: NO  
REMARKS: See comments under "6.13.2.B(4) - Hydrologic Analysis"
- 27 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.8.B(7) - Minimum Pipe Size  
STATUS OF REVIEW: NO  
REMARKS: The LDC requires pipes to have a minimum diameter of 18 inches. Staff would support a waiver provided supporting calculations. Comment pending on waiver approval
- 28 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 7.1.3 - Drainage Construction Specifications  
STATUS OF REVIEW: NO  
REMARKS: LDC requires the use of RCP pipe for stormwater conveyance piping. To pursue using an alternative material, the engineer needs to submit a request identifying the alternative material type requested, verification that the material is included on the FDOT Approved Products List, and the site specific installation meets install criteria such as depth of cover and UV protection for pipe ends. County will review the request and provide feedback. Section of pipe north of curb inlet S-12 is identified as using HDPE
- 29 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.  
STATUS OF REVIEW: NO  
REMARKS: fter all stormwater comments are resolved, please upload a digitally signed and sealed drainage report/letter. A hard copy signed and sealed report can be submitted if desired.
- 30 DEPARTMENT: ENGTRF - TRAFFIC REVIEW  
REVIEW ITEM: 6.11.3 - Traffic Impact Analysis  
STATUS OF REVIEW: NO  
REMARKS: 9/3/24 - Traffic methodology approved in October 2023. Traffic study must be submitted separately from the site plan and all related items will be reviewed following approval of traffic study.  
  
10/25/23 - A traffic study is required.
- 31 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.21.2.B - Major Site Plan fee of \$250.00 + (\$5.00 x total site acreage) made payable to Marion County BCC  
STATUS OF REVIEW: NO  
REMARKS: 9/4/24-fee due with resubmittal  
10/18/23 - fee due with resubmittal

- 32 DEPARTMENT: 911 - 911 MANAGEMENT  
REVIEW ITEM: 2.12.28 - Correct road names supplied  
STATUS OF REVIEW: NO  
REMARKS: Sheets C008 and L004 were not resubmitted, therefore W HWY is still incorrectly labeled as State Road 326. Sheets L001 and L002 still have W HWY 326 incorrectly labeled as County Road 326.
- 33 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.7.6 - Tree removal submittal requirements  
STATUS OF REVIEW: NO  
REMARKS: 1. 36" tree needs assessment for condition submitted as part of this plan. 2. provide complete tree list showing how existing tree inches was calculated.
- 34 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.7.8 - Protected tree replacement requirements  
STATUS OF REVIEW: NO  
REMARKS: 1.Tree replacement is 594", proposed inches are 406, waiver required to defer 189" to future development area. How will this be enforced. Power easement will limit amount of trees that can be placed.
- 35 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.7.9 - Replacement trees; general requirements  
STATUS OF REVIEW: NO  
REMARKS: 594" required, waiver required to defer 189" to future development
- 36 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.8.6 - Buffers  
STATUS OF REVIEW: NO  
REMARKS: 1. North buffer (Type B), requires a wall, with landscape on the public view side of wall.
- 37 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.8.7 - Parking areas and vehicular use areas  
STATUS OF REVIEW: NO  
REMARKS: 1. Parking Islands required for every 10 spaces 2.Shade tree required in islands and in terminus islands 3. Min 5' strip of landscape material required around the parking perimeter.
- 38 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW  
REVIEW ITEM: Major Site Plan  
STATUS OF REVIEW: NO  
REMARKS: Please submit the fully executed cross access easement with exhibit/sketch to OCE for review.  
9.5.24 AL  
IF APPLICABLE:  
Sec. 2.18.1.I - Show connections to other phases.  
Sec.2.19.2.H – Legal Documents  
Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.  
Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)  
For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are

hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."
2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."





Marion County  
Board of County Commissioners

AR #30575

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Date: 12/18/2024 Parcel Number(s): 12945-000-00 and 12945-001-00 Permit Number: 30575

**A. PROJECT INFORMATION:** Fill in below as applicable:

Project Name: Bowman 326 Development Commercial  or Residential   
Subdivision Name (if applicable): \_\_\_\_\_  
Unit \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_

**B. PROPERTY OWNER'S AUTHORIZATION:** Attach a letter from the owner(s), or the owner(s) may sign below, authorizing the applicant to act on the owner's behalf for this waiver request:

Property Owner's Name (print): Bowman 2000, LLC  
Property Owner's Signature: \_\_\_\_\_  
Property Owner's Mailing Address: 10228 Government Lane Blvd  
City: Williamsport State: MD Zip Code: 21795 Phone # (301) 582-1555

**C. APPLICANT INFORMATION:** The applicant will be the point of contact during this waiver process. Letters will be faxed or emailed to the applicant.

Firm Name (if applicable): Menadier Engineering Contact Name: Bill Menadier  
Mailing Address: 13800 Tech City Circle, D302 City: Alachua State: FL Zip Code: 32615  
Phone # (386) 347-5133 Alternate Phone # \_\_\_\_\_  
FAX Number or Email address: wmenadier@menadier.com

**D. WAIVER INFORMATION:**

Section & Title of Code: 6.13.8.B(7) - Minimum Pipe Size  
Reason/Justification for Waiver Request: Requesting a waiver to use storm pipe less than 18" between S-1 and S-2 to avoid pipe crossing conflicts. The required storm pipe capacity is 1.43 CFS which can be managed using 12-inch RCP at 0.44% slope (2.40 CFS @ 3.0 FPS).

(Attach sheet 3 for additional waivers)

**FOR STAFF USE ONLY:**

Received By: Email 12/18/24 Date Processed: 12/18/24 CF Project # 2023080108 AR # 30575

Zoning Use: Parcel of record: Yes  No  Eligible to apply for Family Division: Yes  No   
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ Must Vacate Plat: Yes  No  Date: \_\_\_\_\_ Verified by: \_\_\_\_\_  
Land Use: \_\_\_\_\_ Date: \_\_\_\_\_ Verified by: \_\_\_\_\_

*"Meeting Needs by Exceeding Expectations"*

**DEVELOPMENT REVIEW COMMITTEE  
WAIVER REQUEST FORM CONTINUED**

Section & Title of Code: 6.7.8 Protected tree replacement requirements  
Reason/Justification for Waiver Request: Request to install 189" of the tree mitigation onto future outparcels and delay installation until said parcels are developed. The 189" will become the shade tree requirement for the future outparcels and will be installed at such time they become developed.

Section & Title of Code: 6.8.6 Buffers  
Reason/Justification for Waiver Request: Requesting waiver to allow a 6-ft chain-link fence with opaque slats in lieu of a wall along the northern and eastern boundaries. Both boundaries will include a continuous row of southern red cedars and mixed shade trees. The fence will be located on the project side of each buffer to block the glare from truck headlights. Southern red cedars are large christmas tree shaped trees that create an immediate privacy screen.

Section & Title of Code: 6.8.7 Parking areas and vehicular use areas  
Reason/Justification for Waiver Request: Request a waiver to eliminate the 5-ft landscape strip requirement along the truck parking lot. We're providing a 15-ft type C buffer and 20-ft type B buffer on the east and north boundaries (respectively) with continuous rows of southern red cedar, mixed shade trees, and a 6-ft chain-link fence with opaque slats exceeding the 5-ft landscape strip requirements. The western boundary borders another truck parking lot (similar use) and several shade trees are proposed. The 5-ft strip intent is met.

Section & Title of Code: 6.8.7 - Parking areas and vehicular use areas  
Reason/Justification for Waiver Request: Requesting waiver to exceed 10 parking spaces in a row. The proposed use is an overnight truck parking lot in an commercial/industrial area. Oversized landscape islands are provided at the terminus of all rows with multiple shade trees along with perimeter buffers.

Section & Title of Code: 6.7.9 Replacement trees; general requirements  
Reason/Justification for Waiver Request: Request to install 189" of the tree mitigation onto future outparcels and delay installation until said parcels are developed. The 189" will become the shade tree requirement for the future outparcels and will be installed at such time they become developed.

Section & Title of Code: \_\_\_\_\_  
Reason/Justification for Waiver Request: \_\_\_\_\_

Section & Title of Code: \_\_\_\_\_  
Reason/Justification for Waiver Request: \_\_\_\_\_



# A MARION COUNTY MAJOR SITE PLAN FOR: BOWMAN 326 DEVELOPMENT

PREPARED FOR:  
**BOWMAN 2000, LLC**

**MAINTENANCE PRACTICE AND SCHEDULE INSTRUCTIONS**

**MAINTENANCE RESPONSIBILITIES:**

THIS PROJECT HAS BEEN DESIGNED TO PROVIDE SUITABLE REMOVAL OF STORM WATER FROM THE PROJECT USE AREA. THE RETENTION BASIN WAS SIZED TO MEET BOTH LOCAL AND STATE REQUIREMENTS. THE PROPOSED BASIN WILL ATTENUATE THE REQUIRED DESIGN STORMS WITH ZERO DISCHARGE. TO ASSURE PROPER FUNCTIONING OF THE FACILITIES AFTER COMPLETION OF CONSTRUCTION, THE FOLLOWING RECOMMENDATIONS ARE SUGGESTED:

1. ASPHALT PAVEMENT
  - A. AFTER COMPLETION OF CONSTRUCTION, THE INSIDE EDGES OF ALL TURNING RADI SHALL BE MONITORED TO ASSURE NO POTHOLES, ETC. OCCUR BEHIND THE CURBING.
  - B. ALL PAVEMENT SHALL BE MONITORED TO ASSURE NO FAILURES OCCUR. IF A HOLE DEVELOPS, CUT A SQUARE EDGE AROUND FAILURE AND REPAIR WITH FULL DEPTH OF ASPHALT.
  - C. ASPHALT PAVEMENT SHALL BE CLOSELY MONITORED TO ASSURE NO FUEL SPILLAGE OCCURS THAT WOULD DESTROY BOTH PAVEMENT AND ALSO GRASS IN THE RETENTION BASIN. IF A SPILL DOES OCCUR, FLOOD IMMEDIATELY WITH LARGE VOLUMES OF WATER.
  - D. REPAIR ANY BROKEN CURBING IMMEDIATELY.
2. CULVERTS
  - A. ALL CULVERTS MUST BE MAINTAINED TO ASSURE COMPLETE FULL VOLUME. IF THE ENDS BECOME CRUSHED OR SEDIMENT BUILDS UP IN THE CULVERTS, REPAIR AND/OR CLEAN IMMEDIATELY.
  - B. ALL DRAINAGE CULVERTS SHOULD BE INSPECTED QUARTERLY AND CLEANED TO ASSURE FULL VOLUME CAPACITY.
3. GRATE INLETS
  - A. MAKE SURE GRATES ARE NOT CLOGGED WITH DEBRIS AFTER EACH RAINSTORM.
  - B. MAKE QUARTERLY CHECKS OF INTERIOR OF CONCRETE INLET AND REMOVE ANY SEDIMENT BUILDUP THAT OCCURRED.
  - C. ANY BROKEN GRATES OVER THE INLETS MUST BE REPLACED IMMEDIATELY.

**REQUESTED WAIVERS:**

- 6.7.8 PROTECTED TREE REPLACEMENT REQUIREMENTS  
REQUEST TO INSTALL 261" OF THE REQUIRED TREE MITIGATION ON FUTURE OUT-PARCELS AND DELAY INSTALLATION UNTIL SAID OUT-PARCELS ARE DEVELOPED.
- 6.8.6 BUFFERS  
REQUESTING WAIVER TO ALLOW A 5-FT CHAIN-LINK FENCE WITH OPAQUE SLATS IN LIEU OF A WALL ALONG THE NORTHERN AND EASTERN BOUNDARIES.
- 6.8.7 - PARKING AREAS AND VEHICULAR USE AREAS  
REQUESTING WAIVER TO ELIMINATE THE 5-FT LANDSCAPE STRIP REQUIREMENT ALONG THE TRUCK PARKING LOT.
- 6.8.7 - PARKING AREAS AND VEHICULAR USE AREAS  
REQUEST TO EXCEED 10 PARKING SPACES IN A ROW FOR OVERNIGHT TRUCK PARKING. OVERSIZED LANDSCAPE ISLANDS ARE PROVIDED WITH MULTIPLE SHADE TREES.
- 6.13.8(B)(7) - MINIMUM PIPE SIZE  
REQUEST WAIVER TO USE 12-INCH RCP BETWEEN INLETS S-1 AND S-2 TO AVOID PIPE CROSSING CONFLICTS. THE 12-INCH PIPE HAS ENOUGH CAPACITY TO CONVEY THE STORMWATER CAPTURED BY INLET S-1.

**TRAFFIC STATEMENT:**

**PROPOSED DEVELOPMENT**

SEE TRAFFIC STUDY

**PROJECT WATER AND SEWER DEMANDS:**

THIS PROJECT PROPOSES TO CONSTRUCT A FIRE MAIN. NO OTHER UTILITY CONNECTIONS ARE PROPOSED AT THIS TIME.  
IRRIGATION DEMAND: SEE LANDSCAPE ARCHITECT PLANS

**OPEN SPACE CALCULATIONS:**

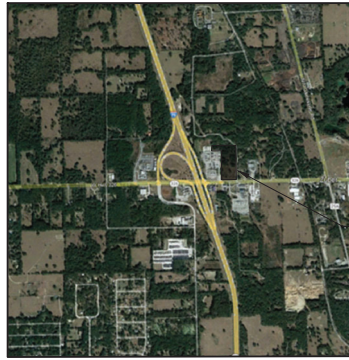
PROPOSED IMPROVEMENTS	
PARCEL AREA:	564,538 S.F. (12.96 ACRES)
EXISTING IMPERVIOUS AREA	0 S.F.
PROPOSED IMPERVIOUS AREA	3,310 S.F.
CONCRETE PAVT.	254,980 S.F.
BUILDING	0 S.F.
FUTURE OUTPARCEL No. 1	32,618 S.F.
FUTURE OUTPARCEL No. 2	32,203 S.F.
TOTAL	333,801 S.F. (67.2%)
PROPOSED WATER RETENTION AREAS:	
WRA 1, 5, & 6 (OUTPARCELS)	28,039 S.F.
WRA 3 & 4	46,351 S.F.
WRA 2	43,860 S.F.
TOTAL	118,250 S.F. (20.9%)
TOTAL OPEN SPACE PROVIDED -	123,399 S.F. (21.9%)
**WATER RETENTION AREAS NOT INCLUDED IN OPEN SPACE**	

**INTERIOR LANDSCAPE CALCULATIONS:**

SEE LANDSCAPE & IRRIGATION PLANS

**STATEMENT OF PROPOSED USE:**

THIS PROJECT WILL SUPPORT AN OVERNIGHT TRUCK PARKING FACILITY. THE PARKING LOT WILL BE SECURED AND GUARDED BY AN UNMANNED GATE. TWO FUTURE DEVELOPMENT PARCELS WILL BE AVAILABLE AND PLATTED AT A LATER DATE. THE OUT-PARCELS ARE ALLOTTED 70% IMPERVIOUS AREA.



SECTION 15, TOWNSHIP 14 S, RANGE 21 E  
**LOCATION SKETCH**

**INDEX**

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C003	DEMOLITION & EROSION CONTROL PLAN
C004	LAYOUT PLAN (1 of 2)
C005	GRADING & DRAINAGE PLAN (1 of 2)
C006	GRADING & DRAINAGE PLAN (2 of 2)
C007	<del>GRADING &amp; DRAINAGE PLAN (2 of 2)</del>
C008	<del>GRADING &amp; DRAINAGE PLAN (2 of 2)</del>
C009	UTILITY PLAN
D001	CONSTRUCTION DETAILS
D002	DRAINAGE RETENTION AREA CROSS-SECTIONS
D003	UTILITY DETAILS
P001	PHOTOMETRIC PLAN
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L003	LANDSCAPE PLAN NORTH
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L006	LANDSCAPE & IRRIGATION DETAILS

**CONCURRENCY NOTE:**

THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE RESULTING PROPERTY(IES) ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.



PROJECT NUMBER: 2023-01-010

**SITE DATA:**

PROJECT NAME: BOWMAN 326 DEVELOPMENT  
OWNER: BOWMAN 2000, LLC  
10228 GOVERNMENT LANE BLVD  
WILLIAMSSPORT, MD 21795

PARCEL NO.: 12945-000-00 & 12945-001-00

LAND USE / ZONING: CD / B-3  
PARCEL AREA: 12.96 ACRES

FLOOR AREA RATIO:  
EXISTING BUILDINGS - 0 S.F.  
PROPOSED BUILDING - 0 S.F.  
F.A.R. = 0

MAXIMUM BUILDING HEIGHT: 50-FT

BUILDING SETBACKS:  
FRONT: 45-FT  
REAR: 25-FT  
SIDE: 10-FT

PROPOSED USE: OVERNIGHT TRUCK PARKING

HOURS OF OPERATION: 24 HOURS

PROPERTY LIES WITHIN FLOOD ZONES 'X' AND AE (ELEV. 68.2) PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 12083C0314E DATED APRIL 19, 2017

PROPERTY LIES WITHIN THE SECONDARY SPRINGS PROTECTION ZONE.

EXISTING FLOOD ZONE A  
135,846 S.F. (24.06%)

PROPOSED COMPENSATORY FLOOD ZONE AREA  
46,351 S.F. (8.21%)

**PARKING CALCULATIONS**

THE PROPOSED DEVELOPMENT IS AN OVERNIGHT TRUCK PARKING FACILITY. THERE ARE NO PASSENGER VEHICLE PARKING SPACES REQUIRED. THERE ARE 130 SEMI-TRUCK PARKING SPACES PROVIDED.

**GENERAL NOTES:**

1. ALL AREAS DISTURBED BY CONSTRUCTION OF THIS PROJECT WHICH ARE NOT OTHERWISE PAVED SHALL BE IMMEDIATELY SOEDD FOLLOWING FINAL GRADING. ALLOW FOR THICKNESS OF SOE WITH A SLOPE UNDERCUT. SOE SHALL BE ARGENTINA BAMA UNLESS OTHERWISE NOTED ON LANDSCAPE PLAN AND SHALL BE REGULARLY WATERED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION DURATION.
2. ALL CONCRETE SHALL BE 3000 P.S.I. - 28 DAY STRENGTH UNLESS OTHERWISE NOTED.
3. TO PREVENT EROSION DURING CONSTRUCTION, SILT FENCING SHALL BE INSTALLED AS INDICATED ON THE DEMOLITION & EROSION CONTROL PLAN AND MAINTAINED UNTIL THE COMPLETION OF ALL SITE CONSTRUCTION.
4. ALL STRIPING SHALL BE 6" WIDE TRAFFIC PAINT UNLESS OTHERWISE INDICATED. APPLIED WITH DOUBLE COAT A MINIMUM OF 24 HOURS APART IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND FOOT DESIGN STANDARDS, LATEST EDITIONS. HANDICAPPED MARKINGS AND HANDICAPPED SIGNS SHALL CONFORM WITH FDOT'S FTP-20-58 AND FTP-22-58 AND STANDARDS PLANS 114-01.
5. ALL TRAFFIC CONTROL DEVICES SHALL BE PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
6. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE FROM THE STATE ROAD 326 CONSTRUCTION ENTRANCE SHOWN ON THE DEMOLITION & EROSION CONTROL PLAN.
7. SITE LIGHTING SHALL BE SHELDED TO PREVENT GLEARE ON THE ADJOINING PROPERTIES AND ROADWAY. A SITE LIGHTING PLAN, PREPARED BY THE ARCHITECT, SHALL BE SUBMITTED TO MARION COUNTY FOR REVIEW AND APPROVAL.
8. ALL STORMWATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION OF IMPERVIOUS AREAS.
9. THIS PROJECT SHALL BE SERVED WATER AND SEWER BY MARION COUNTY UTILITIES.
10. ALL CONSTRUCTION COVERED BY THIS PROJECT SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE, AS APPLICABLE.
11. TRAFFIC SIGNS SHALL BE INSTALLED ON 2" ROUND ALUMINUM POSTS, 14FT IN LENGTH. ALL SIGNS SHALL MEET MARION COUNTY LAND DEVELOPMENT REGULATIONS.
12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND BURIAL DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
13. ALL STOP BARS SHALL BE 24" WIDE WHITE LEAD FREE THERMOPLASTIC.
14. LANDSCAPE INSTALLATION PROFESSIONALS PERFORMING WORK FOR HIRE WITHIN THE UNINCORPORATED AREAS OF MARION COUNTY SHALL BE LANDSCAPE CONTRACTORS LICENSED BY THE MARION COUNTY BUILDING DEPARTMENT, UNLESS OTHERWISE LICENSED BY THE STATE OF FLORIDA.
15. NO REVISIONS TO THE WORK SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
16. ALL PARCELS, ACCESS EASEMENTS SHOWN HEREON ARE HEREBY DEDICATED FOR THE USE AND BENEFIT OF THE PUBLIC, AND MAINTENANCE OF SAID EASEMENTS IS THE RESPONSIBILITY OF THE OWNER OF SAID LANDS.
17. ALL UTILITY EASEMENTS SHOWN HEREON ARE DEDICATED PUBLIC FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF UTILITIES BY ANY UTILITY PROVIDER.
18. ALL STORMWATER AND DRAINAGE EASEMENTS AS SHOWN ARE DEDICATED TO THE PUBLIC FOR THE CONSTRUCTION AND MAINTENANCE OF SUCH FACILITIES.
19. THE STORMWATER MANAGEMENT SYSTEMS PROPOSED ON-SITE AS SHOWN ARE DEDICATED PRIVATE FOR THE CONSTRUCTION AND MAINTENANCE OF SUCH FACILITIES.
20. MARION COUNTY IS GRANTED THE RIGHT TO PERFORM EMERGENCY MAINTENANCE ON THE ON-SITE STORMWATER MANAGEMENT FACILITY AT THE DISCRETION OF A LOCAL, STATE, OR FEDERAL STATE OF EMERGENCY WHENEVER THE DECLARATION INCLUDES THIS PARCEL OR AN EMERGENCY WHEREIN THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC IS DEEMED TO BE AT RISK.
21. ALL GATES SHALL BE SIREN ACTIVATED AND A MINIMUM 20-FT WIDE.

**MARION COUNTY OWNER'S CERTIFICATE:**

I HEREBY CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

DONALD BOWMAN, JR. DATE  
BOWMAN 2000, LLC

**ENGINEER'S CERTIFICATE:**

I HEREBY CERTIFY THAT THIS PLAN AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS WAIVED, AND THE SITE IMPERVIOUS SURFACE RATIO IS LESS THAN 0.8.

WILLIAM A. MENADIER  
PROFESSIONAL ENGINEER  
FLORIDA REGISTRATION NO. 74581

DATE	REVISIONS

William A. Menadier, A/E, P.E.  
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www.wamena.com

PD File: 016 | Anaheim, Florida 32816 | Ph: (386) 447-1315 | www.wamena.com

**WAM MENADIER ENGINEERING**

IF APPROVED THESE COPIES MUST BE KEPT WITH A VALID SIGNATURE.  
THIS PLAN HAS BEEN DIGITALLY SIGNED AND SEALED BY LICENSED PROFESSIONAL ENGINEER WILLIAM A. MENADIER, P.E. ON THE DATE NOTED ON THE ELECTRONIC SIGNATURE.  
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

A MARION COUNTY MAJOR SITE PLAN  
FOR  
**BOWMAN 326 DEVELOPMENT**  
MARION COUNTY  
Title Sheet

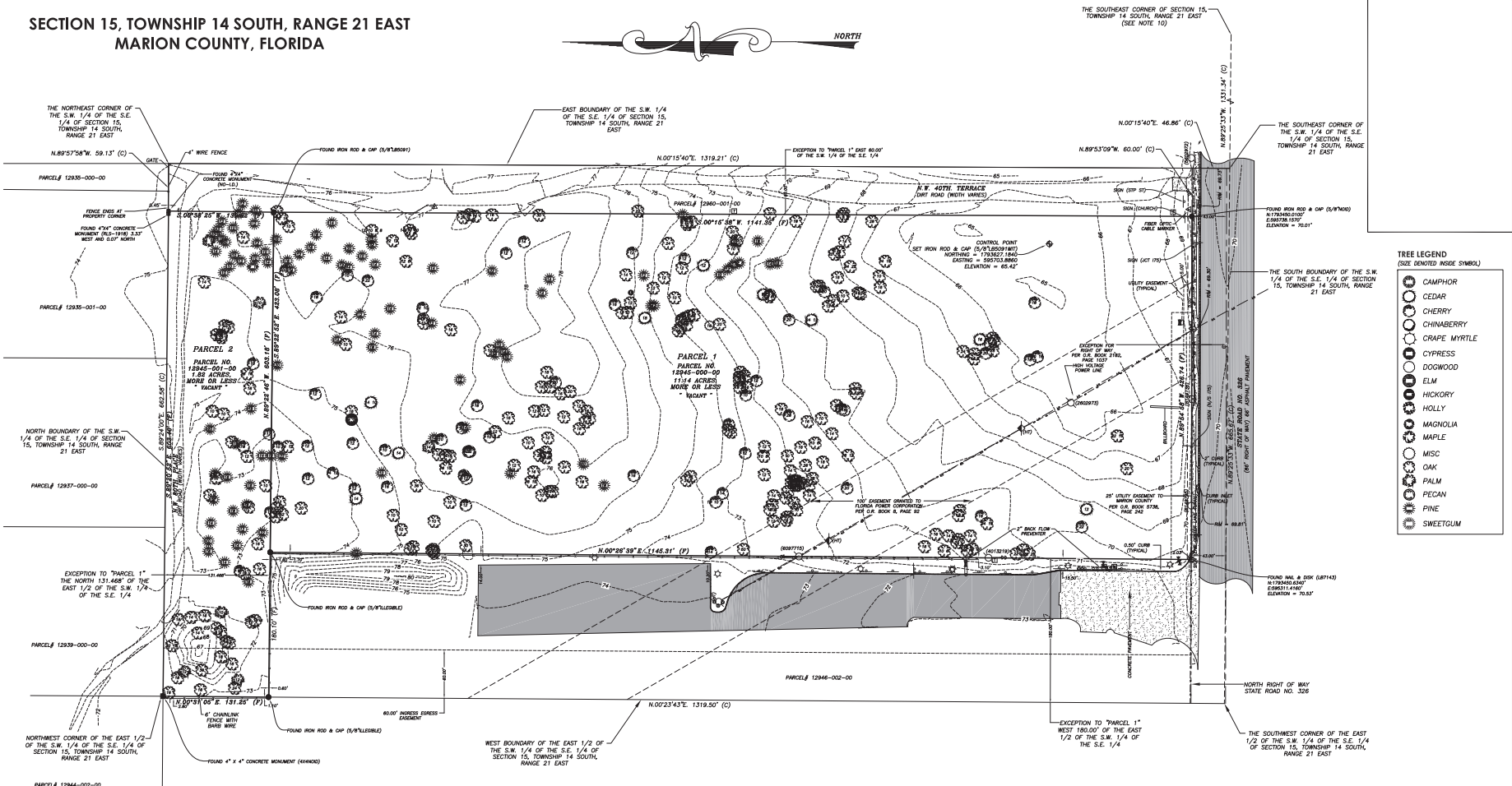
CORR:  
2023-01-010

DATE:  
6-28-2024

SCALE:  
-

C001

SECTION 15, TOWNSHIP 14 SOUTH, RANGE 21 EAST  
MARION COUNTY, FLORIDA



**TREE LEGEND**  
(SIZE DENOTES INSE SYMBOL)

⊙	CAMPHOR
⊙	CEDAR
⊙	CHERRY
⊙	CHINABERRY
⊙	GRAPE MYRTLE
⊙	CYPRESS
⊙	DOGWOOD
⊙	ELM
⊙	HICKORY
⊙	HOLLY
⊙	MAGNOLIA
⊙	MAPLE
⊙	MISC
⊙	OAK
⊙	PALM
⊙	PECAN
⊙	PINE
⊙	SWEETGUM

- LEGEND** UNLESS OTHERWISE NOTED
- ε = CENTERLINE OF RIGHT OF WAY
  - C.B. = CHORD BEARING
  - O.R. = OFFICIAL RECORDS OF MARION COUNTY
  - (F) = FIELD MEASUREMENT
  - ⊖ = CURB INLET GRATE
  - ⊙ = WOOD POWER POLE
  - ⊙ = METAL LIGHT POLE
  - ⊙ = ELECTRIC TRANSFORMER
  - ⊙ = ELECTRIC BOX
  - ⊙ = ELECTRIC METER
  - ⊙ = GUY ANCHOR
  - ⊙ = TELEPHONE BOX
  - ⊙ = TELEPHONE CABLE MARKER
  - ⊙ = FIBER OPTIC CABLE MARKER
  - ⊙ = FIRE HYDRANT
  - ⊙ = WATER VALVE
  - ⊙ = BACKFLOW PREVENTOR
  - ⊙ = METAL REFLECTOR POST
  - ⊙ = BOLLARD
  - ⊙ = SIGN
  - ⊙ = AERIAL ELECTRIC
  - ⊙ = BROKEN LINE, NOT DRAWN TO SCALE
  - ⊙ = DENOTES CONCRETE
  - ⊙ = DENOTES ASPHALT

- NOTES:**
1. DATE OF FIELD SURVEY: JULY 19, 2023
  2. SUBJECT TO RIGHTS OF WAY, RESTRICTIONS, EASEMENTS AND RESERVATIONS OF RECORD.
  3. UNLESS OTHERWISE SHOWN, UNDERGROUND IMPROVEMENTS NOT LOCATED.
  4. PUBLIC RECORDS NOT SEARCHED BY R.M. BARRINEAU & ASSOCIATES, INC.
  5. BEARINGS DEPICTED HEREON ARE GRID BEARINGS, WEST FLORIDA ZONE, NAD-83 (CORRS96) EPOCH=2002.0000, BASED ON TRIMBLE VIRTUAL REFERENCE STATION NETWORK.
  6. ORIENTATION FOR THE IMPROVEMENTS SHOWN HEREON SHOULD NOT BE USED TO RECONSTRUCT BOUNDARY LINES.
  7. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
  8. THIS SURVEY DEPICTS THE PROPERTY AS IT EXISTED ON THE SURVEY DATE, NOT NECESSARILY THE SIGNATURE DATE.
  9. THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT OF THE PARTY(IES) NAMED HEREON, AND SHALL NOT BE DUPLICATED OR RELIED UPON BY ANY OTHER INDIVIDUAL OR ENTITY WITHOUT AUTHORIZATION FROM R.M. BARRINEAU & ASSOCIATES, INC.
  10. THE RIGHT OF WAY WIDTHS FOR N.W. 40TH TERRACE AND N.W. 20TH PLACE ARE UNDETERMINED AND ARE BELIEVED TO BE NAMED ONLY FOR 911 PURPOSES.
  11. VERTICAL DATUM BASED ON CITY OF Ocala ENGINEERING DEPARTMENT CONTROL POINT 00217 WITH AN ELEVATION OF 129.16', NAVD-88.

**DESCRIPTION:**

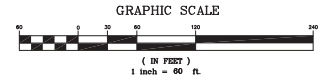
**PARCEL 1:**  
PER TITLE COMMITMENT FILE NO. LARSON TRUST ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, BEARING AN EFFECTIVE DATE OF MARCH 2, 2016.  
THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 14 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA, LESS AND EXCEPT THAT PORTION TAKEN FOR SR. 326 BY ORDER OF TAKING RECORDED IN BOOK 2182, PAGE 1037.

AND LESS AND EXCEPT THE FOLLOWING 3 PARCELS:  
THE EAST 60 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 14 SOUTH, RANGE 21 EAST, EXCEPT RIGHT OF WAY FOR STATE ROAD 326.  
THE NORTH 131,468 FEET OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 14 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA;  
THE WEST 180.00 FEET OF THE EAST 1/2 OF THE S.W. 1/4 OF THE S.E. 1/4 OF SECTION 15, TOWNSHIP 14 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA, EXCEPT THE NORTH 131,468 FEET AND EXCEPT ROAD RIGHT-OF-WAY.

**PARCEL 2:**  
PER QUIT CLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 4823, PAGE 604 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.  
THE NORTH 131,468 FEET OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 14 SOUTH, RANGE 21 EAST TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS THE WEST 60 FEET OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, TOWNSHIP 14 SOUTH RANGE 21 EAST, EXCEPT FOR RIGHT OF WAY OF SR. 326.

**SURVEYOR'S CERTIFICATION:**  
I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 65-17.050-052, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND THAT THE SURVEY IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE.

SIGNATURE DATE: TRAVIS P. BARRINEAU, P.S.M. - LS 6897  
TRAVIS P. BARRINEAU, P.S.M. - LS 6897  
OF R.M. BARRINEAU & ASSOCIATES, INC.  
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL PAGES SEAL OF A LICENSED SURVEYOR AND MAPPER



NO.	REVISIONS	BY	DATE

SCALE:	1" = 60'

**R.M. BARRINEAU AND ASSOCIATES**  
PROFESSIONAL SURVEYORS & MAPPERS  
13000 W. UNIVERSITY BLVD., SUITE 100, Ocala, FL 34474  
PHONE: 352.237.1100 FAX: 352.237.1101  
WWW.RMBARRINEAU.COM

**BOUNDARY & TOPOGRAPHIC SURVEY FOR:**  
**BOWMAN 2000, LLC**

REFERENCES:  
F.S. 627, P.S. 74



0' 30' 60' 120'  
SCALE: 1" = 80'

**TREE LEGEND**  
 1" = 1" TREE  
 1/2" = 1" TREE  
 1/4" = 1" TREE  
 1/8" = 1" TREE

NOTE: IF NO QUANTITY SHOWN, IT IS 1.  
 ALL TREES ARE REMOVED EXCEPT AS NOTED.

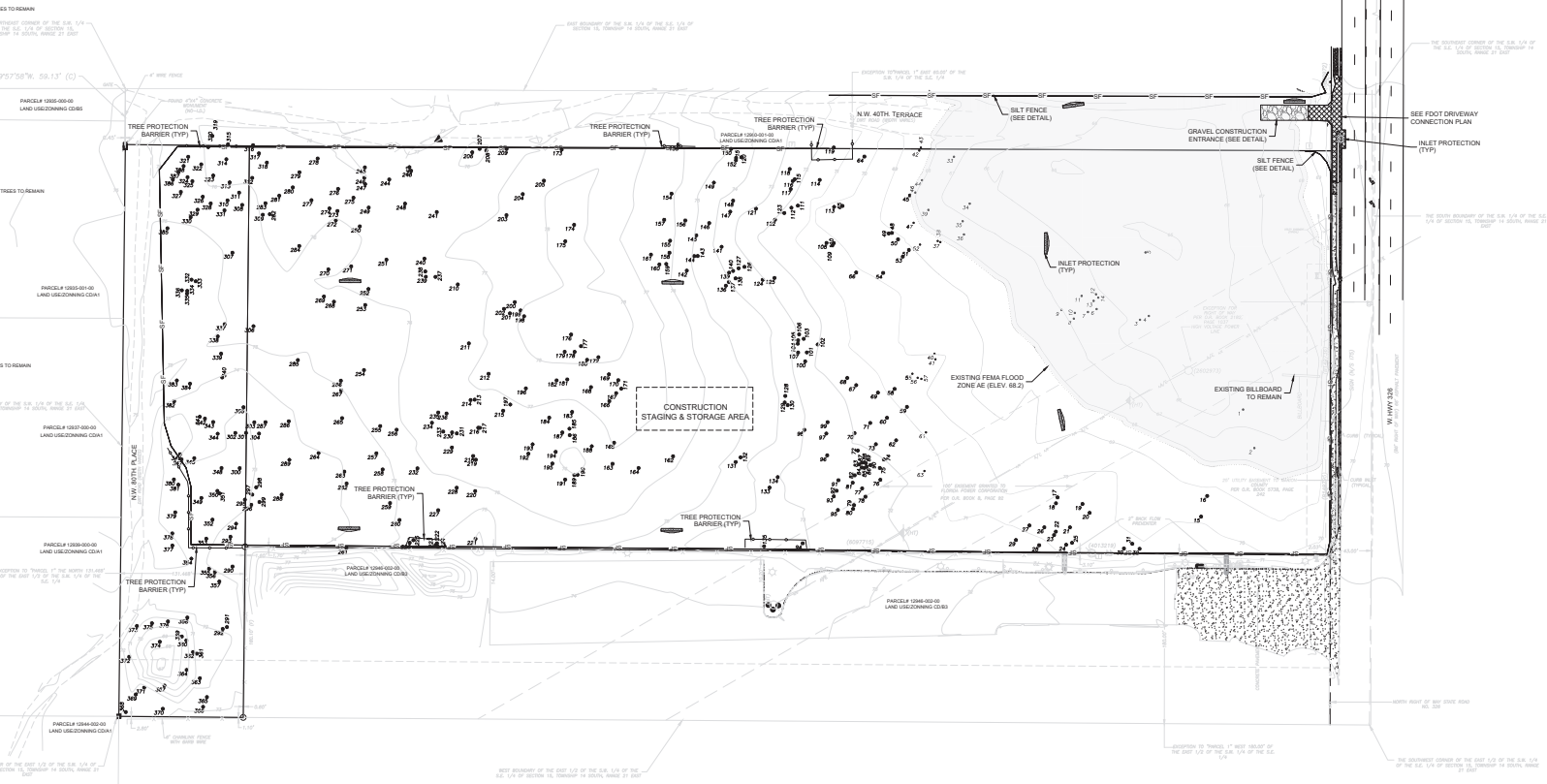
AREA	TREE SIZE (DBH)	TREE SPECIES	AREA	TREE SIZE (DBH)	TREE SPECIES
1	12"	SP	1	12"	SP
2	12"	SP	2	12"	SP
3	12"	SP	3	12"	SP
4	12"	SP	4	12"	SP
5	12"	SP	5	12"	SP
6	12"	SP	6	12"	SP
7	12"	SP	7	12"	SP
8	12"	SP	8	12"	SP
9	12"	SP	9	12"	SP
10	12"	SP	10	12"	SP
11	12"	SP	11	12"	SP
12	12"	SP	12	12"	SP
13	12"	SP	13	12"	SP
14	12"	SP	14	12"	SP
15	12"	SP	15	12"	SP
16	12"	SP	16	12"	SP
17	12"	SP	17	12"	SP
18	12"	SP	18	12"	SP
19	12"	SP	19	12"	SP
20	12"	SP	20	12"	SP
21	12"	SP	21	12"	SP
22	12"	SP	22	12"	SP
23	12"	SP	23	12"	SP
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25	12"	SP	25	12"	SP
26	12"	SP	26	12"	SP
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28	12"	SP	28	12"	SP
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32	12"	SP	32	12"	SP
33	12"	SP	33	12"	SP
34	12"	SP	34	12"	SP
35	12"	SP	35	12"	SP
36	12"	SP	36	12"	SP
37	12"	SP	37	12"	SP
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39	12"	SP	39	12"	SP
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41	12"	SP	41	12"	SP
42	12"	SP	42	12"	SP
43	12"	SP	43	12"	SP
44	12"	SP	44	12"	SP
45	12"	SP	45	12"	SP
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47	12"	SP	47	12"	SP
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49	12"	SP	49	12"	SP
50	12"	SP	50	12"	SP
51	12"	SP	51	12"	SP
52	12"	SP	52	12"	SP
53	12"	SP	53	12"	SP
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55	12"	SP	55	12"	SP
56	12"	SP	56	12"	SP
57	12"	SP	57	12"	SP
58	12"	SP	58	12"	SP
59	12"	SP	59	12"	SP
60	12"	SP	60	12"	SP
61	12"	SP	61	12"	SP
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63	12"	SP	63	12"	SP
64	12"	SP	64	12"	SP
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66	12"	SP	66	12"	SP
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69	12"	SP	69	12"	SP
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94	12"	SP	94	12"	SP
95	12"	SP	95	12"	SP
96	12"	SP	96	12"	SP
97	12"	SP	97	12"	SP
98	12"	SP	98	12"	SP
99	12"	SP	99	12"	SP
100	12"	SP	100	12"	SP

**MAINTENANCE OF TRAFFIC:**

1. N.W. 40th TERRACE & N.W. 80th PLACE SHALL REMAIN ACCESSIBLE TO LOCAL TRAFFIC THROUGHOUT THE DURATION OF CONSTRUCTION. RETAINING WALLS, STORM STRUCTURES, AND CONVEYANCE PIPES SHALL BE INSTALLED STRATEGICALLY TO LIMIT DISTURBANCE TO THE ACCESS FOR SURROUNDING PARCELS.

**DEMOLITION NOTES:**

- PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL HAVE ALL ON-SITE UTILITIES LOCATED.
- ALL CONSTRUCTION VEHICLES SHALL ENTER THE PROJECT AREA VIA THE GRAVEL CONSTRUCTION ENTRANCE. THERE SHALL BE NO CONSTRUCTION ACTIVITIES, MACHINERY, OR VEHICLES BEYOND THE CONSTRUCTION BARRIER FENCE.
- ALL EXISTING SANITARY SEWER SERVICES, GREASE TRAPS, MANHOLES, CLEAN-OUTS AND WATER LINES SHALL BE PROTECTED.
- THE CONTRACTOR SHALL PERIODICALLY SWEEP EXISTING ON-SITE PAVED SURFACES AS WELL AS ALL ABUTTING CITY STREETS, COUNTY ROADS, AND STATE HIGHWAYS TO KEEP THOSE SURFACES IN A SUBSTANTIALLY SEDIMENT-FREE CONDITION. SWEEPING SHALL BE DONE ON A PERIODIC, AS-NEEDED BASIS THROUGHOUT THE WORK WEEK INCLUDING, MOST IMPORTANTLY, AFTER EVERY RAIN EVENT AND EVERY FRIDAY AFTERNOON PRIOR TO CEASING WORK FOR THE WEEK.
- ALL MATERIALS, MACHINERY, AND VEHICLES SHALL BE STORED ON-SITE IN AN ORDERLY, ORGANIZED FASHION.
- CONTRACTOR SHALL DEVELOP AND IMPLEMENT A PLAN TO ASSURE THAT ALL WASTE, SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASH-OUT, CHEMICALS, LITTER AND SANITARY WASTE, ARE PROPERLY CONTROLLED WHILE ON-SITE AND TRANSPORTED AND DISPOSED OF (OFF-SITE) IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. NO WASTE MATERIALS OF ANY KIND ARE PERMITTED TO BE BURIED ON-SITE OR DISCHARGED TO SURFACE WATERS OF THE STATE OR TO THE CITY STORM WATER SYSTEM.



REVISION	DATE

William A. Menadier, A.E., P.E.  
 www.menadier.com



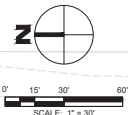
IF APPROVED HEREAS COPIES WITH A VALID SIGNATURE THIS PLAN HAS BEEN DIGITALLY SIGNED AND SEALED BY WILLIAM A. MENADIER, P.E. ON THE DATE NOTED ON THE ELECTRONIC SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED VALID UNLESS SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

A MARION COUNTY MAJOR SITE PLAN FOR  
**BOWMAN 326 DEVELOPMENT**  
 MARION COUNTY  
*Demolition & Erosion Control Plan*

DATE: 2023-01-010  
 DATE: 8-28-2024  
 SCALE: 1" = 80'

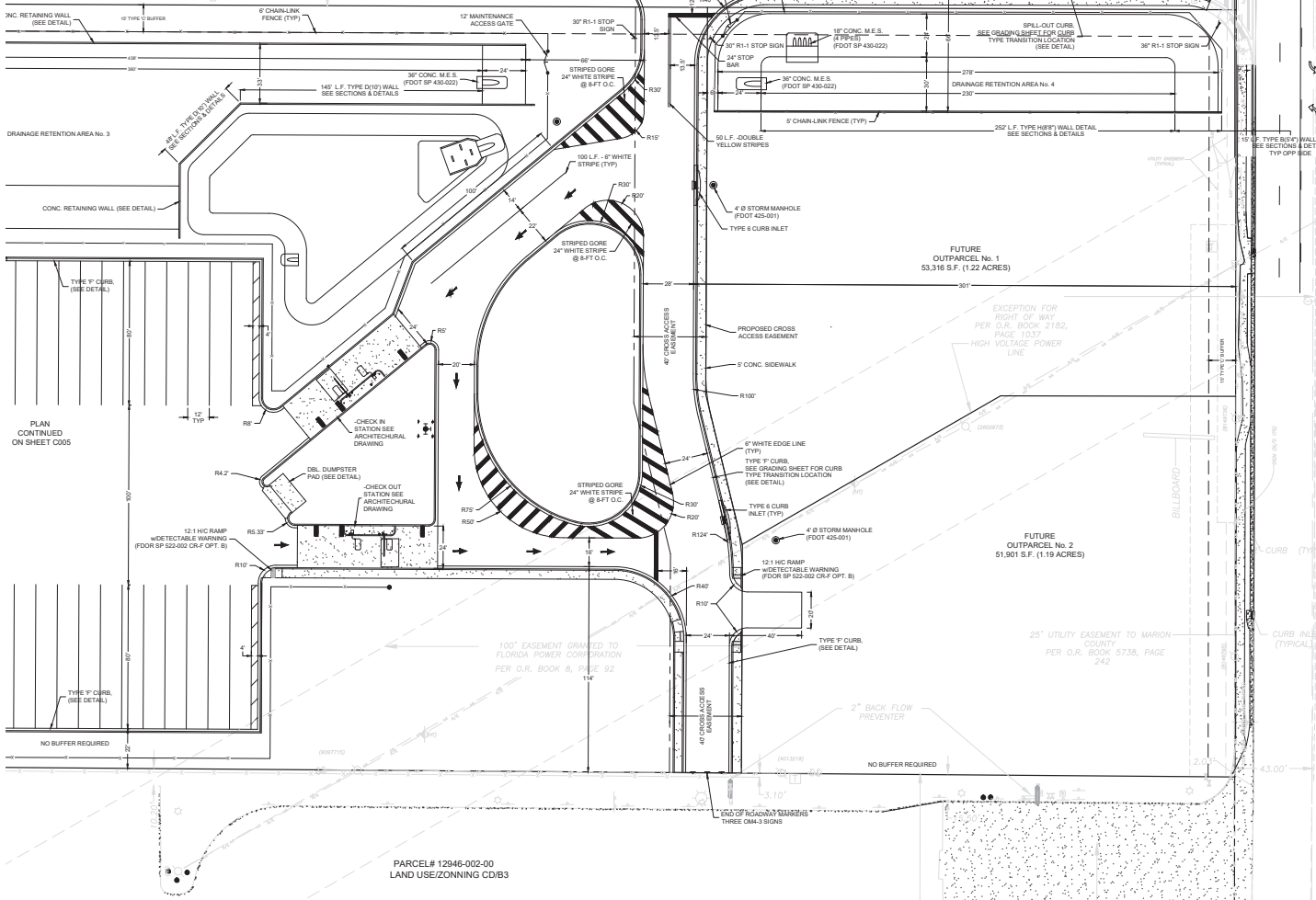
C003

WILLIAM A. MENADIER  
 PROFESSIONAL ENGINEER  
 FLORIDA REGISTRATION NO. 74581



PARCEL# 12960-001-00  
LAND USE/ZONING CD/A1

N.W. 40TH TERRACE  
EXISTING ROAD (100 FT. WIDE)



W. HWY 326  
(80' RIGHT OF WAY 66' ASPHALT PAVEMENT)

THE SOUTHEAST CORNER OF THE S.W. 1/4 OF THE S.E. 1/4 OF SECTION 15, TOWNSHIP 14 SOUTH, RANGE 21 EAST

THE SOUTH BOUNDARY OF THE S.W. 1/4 OF THE S.E. 1/4 OF SECTION 15, TOWNSHIP 14 SOUTH, RANGE 21 EAST

FUTURE OUTPARCEL No. 1  
53,316 S.F. (1.22 ACRES)

FUTURE OUTPARCEL No. 2  
51,901 S.F. (1.19 ACRES)

PARCEL# 12946-002-00  
LAND USE/ZONING CD/B3

REVISION	DATE

William A. Menadier, P.E.  
www.wmenadier.com

**W.A. MENADIER ENGINEERING**  
PO Box 606 | Alachua, Florida 32016 | Ph. (904) 847-5131 | www.wmenadier.com

I APPROVE THESE CONCEPTS WITH A VALID SIGNATURE. THIS PLAN HAS BEEN DIGITALLY SIGNED AND SEALED BY WILLIAM A. MENADIER, P.E. ON THE DATE NOTED ON THE ELECTRONIC SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED VALID AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

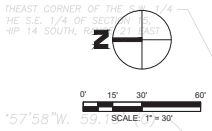
A MARION COUNTY MAJOR SITE PLAN FOR BOWMAN 326 DEVELOPMENT MARION COUNTY  
Layout Plan (1 of 2)

DATE: 2023-01-010
DATE: 8-28-2024
SCALE: 1" = 30'

C004

WILLIAM A. MENADIER  
PROFESSIONAL ENGINEER  
FLORIDA REGISTRATION NO. 74581





PARCEL# 12935-000-00  
LAND USE/ZONNING CD/BS

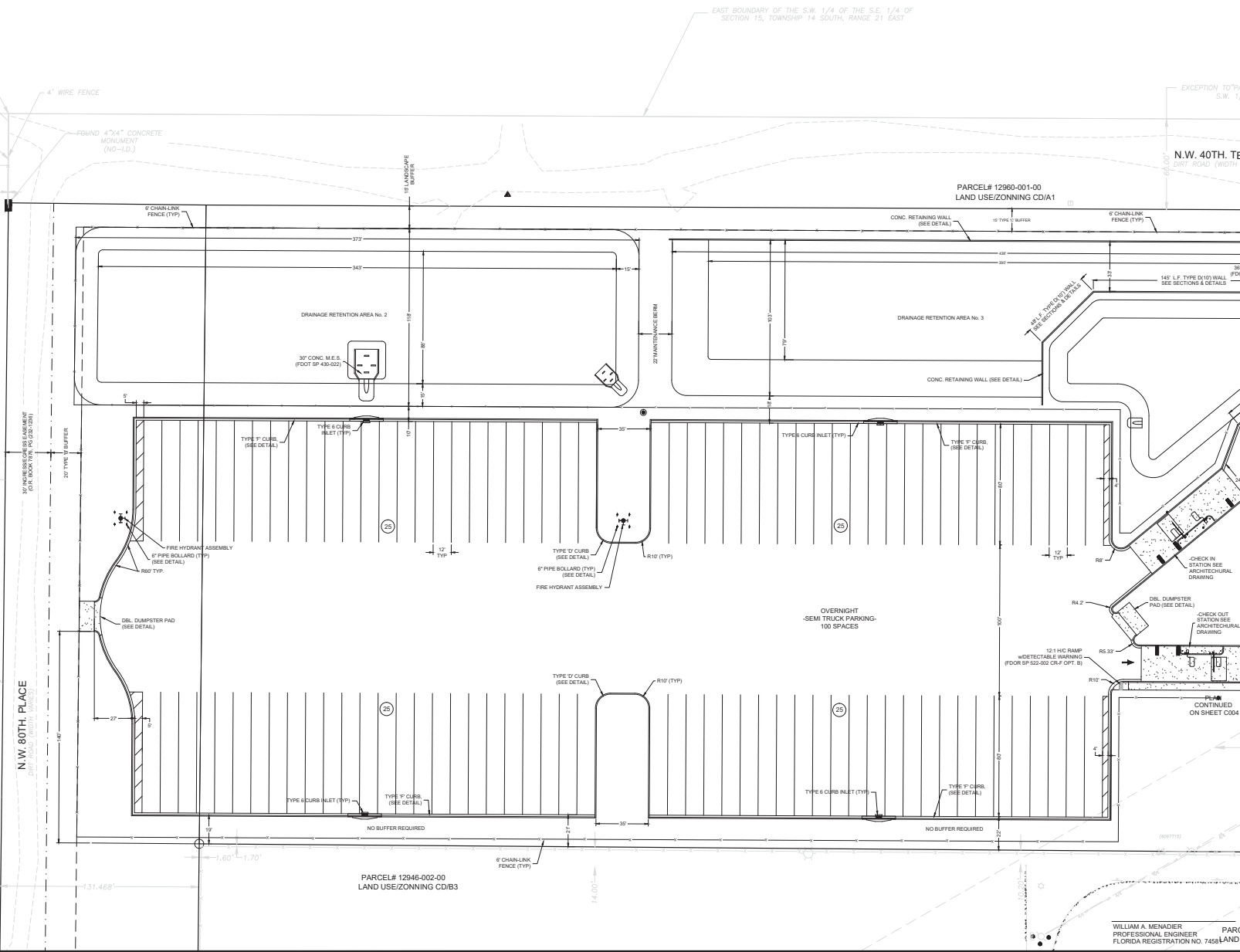
PARCEL# 12935-001-00  
LAND USE/ZONNING CD/A1

OF THE S.W. 1/4 OF THE S.E. 1/4,  
TOWNSHIP 14 SOUTH, RANGE 21 EAST

PARCEL# 12937-000-00  
LAND USE/ZONNING CD/A1

PARCEL# 12939-000-00  
LAND USE/ZONNING CD/A1

EXCEPTION TO "PARCEL 1" THE NORTH 131.468'  
OF THE EAST 1/2 OF THE S.W. 1/4 OF THE  
S.E. 1/4



PARCEL# 12946-002-00  
LAND USE/ZONNING CD/BS

WILLIAM A. MENADIER  
PROFESSIONAL ENGINEER  
FLORIDA REGISTRATION NO. 7458 LAND

REVISION	DATE

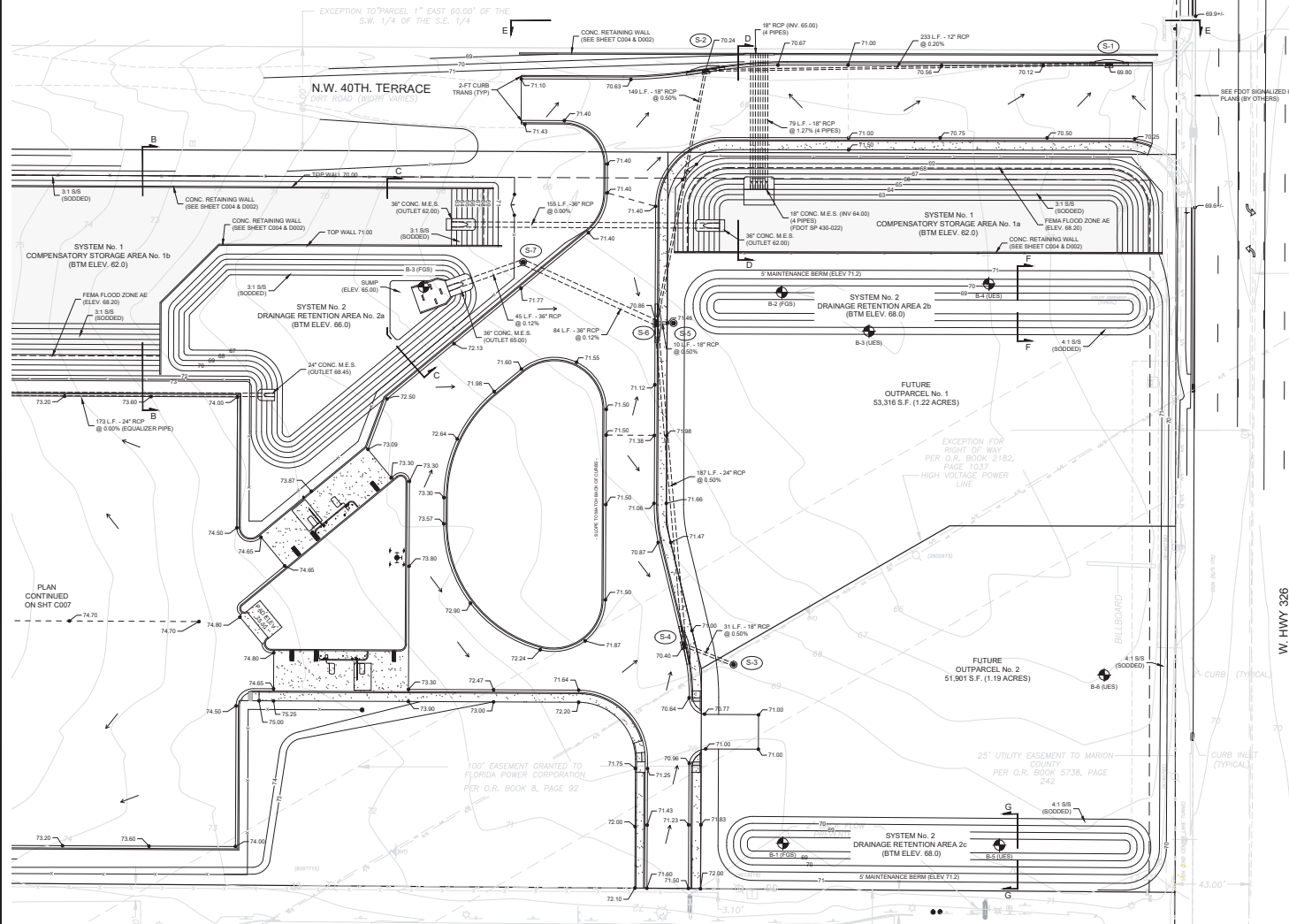
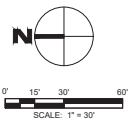
William A. Menadier, P.E.  
www.menadier.com

**MENADIER ENGINEERING**  
PO Box 616 | Alachua, Florida 32016 | Ph. (904) 847-5133 | www.menadier.com

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A MARION COUNTY MAJOR SITE PLAN FOR  
**BOWMAN 326 DEVELOPMENT**  
MARION COUNTY  
Layout Plan (2 of 2)

DATE	2023-01-010
DATE	8-28-2024
SCALE	1" = 30'
PARCEL	C005



THE SOUTHEAST CORNER OF THE S.W. 1/4 OF THE S.E. 1/4 OF SECTION 15, TOWNSHIP 14 SOUTH, RANGE 21 EAST

- S-1 TYPE 'C' CURB INLET  
GRATE ELEV. 69.80 (E.P.)  
N. INV. 68.00 (12")
- S-2 TYPE 'C' CURB INLET  
GRATE ELEV. 70.24 (E.P.)  
S. INV. 67.53 (12")  
W. INV. 67.30 (18")
- S-3 4'Ø STORM MANHOLE  
TOP ELEV. 71.00  
N.E. INV. 67.00 (18")
- S-4 TYPE 'C' CURB INLET  
GRATE ELEV. 70.40  
S.W. INV. 66.85 (18")  
E. INV. 66.85 (24")
- S-5 4'Ø STORM MANHOLE  
TOP ELEV. 71.00  
N. INV. 67.00 (18")

THE SOUTH BOUNDARY OF THE S.W. 1/4 OF THE S.E. 1/4 OF SECTION 15, TOWNSHIP 14 SOUTH, RANGE 21 EAST

- S-6 TYPE 'C' CURB INLET  
GRATE ELEV. 70.86 (E.P.)  
S.E. INV. 66.56 (18")  
S. INV. 66.95 (18")  
S.W. INV. 65.92 (24")  
N.E. INV. 65.15 (36")
- S-7 4'Ø STORM MANHOLE  
TOP ELEV. 72.00  
S.W. INV. 65.05 (36")  
N.W. INV. 65.05 (36")

PLAN CONTINUED ON SHT C007

- ⊙ DENOTES SOIL BORING LOCATION BY UNIVERSAL ENGINEERING SCIENCES (UES)
- ⊙ DENOTES SOIL BORING LOCATION BY FLORIDA GEOTECHNICAL SERVICES (FGS)

W. HWY 326  
(SEE RIGHT OF WAY 60' ASPHALT PAVEMENT)

BILLBOARD  
CURB (TYPICAL)  
CURB INLET (TYPICAL)

NO.	DATE

William A. Menadier, P.E.  
www.wameng.com

NOT APPROVED UNLESS ACCOMPANIED WITH THIS SIGNATURE  
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A MARION COUNTY MAJOR SITE PLAN FOR THE  
**BOWMAN 326 DEVELOPMENT**  
MARION COUNTY  
Grading & Drainage Plan (1 of 2)

JOB NO:  
2023-01-010  
DATE:  
8-28-2024  
SCALE:  
1" = 30'

WILLIAM A. MENADIER  
PROFESSIONAL ENGINEER  
FLORIDA REGISTRATION NO. 74851

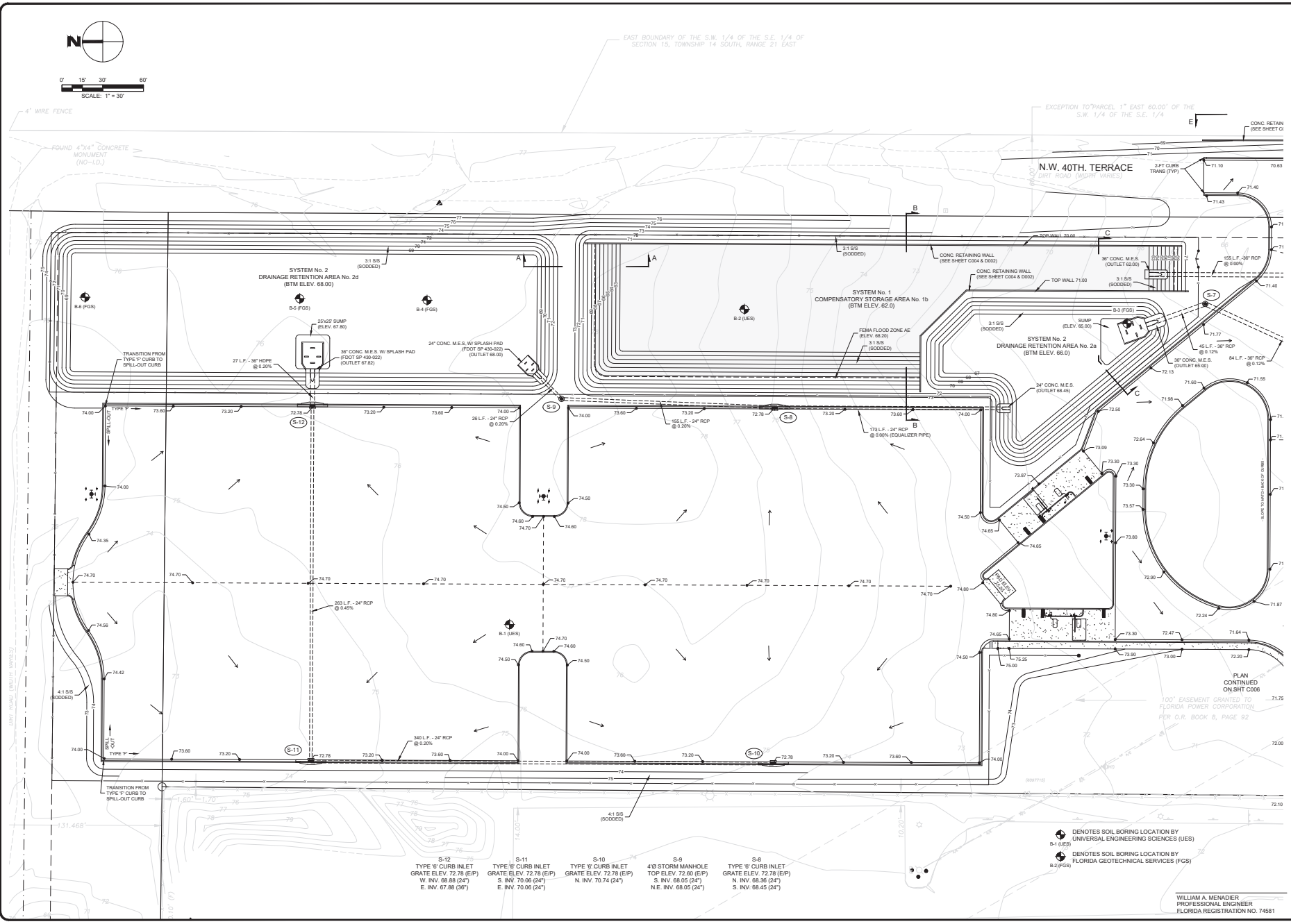
C006





0' 15' 30' 60'  
SCALE: 1" = 30'

EAST BOUNDARY OF THE S.W. 1/4 OF THE S.E. 1/4 OF SECTION 15, TOWNSHIP 14 SOUTH, RANGE 21 EAST



- S-12 TYPE 'B' CURB INLET GRATE ELEV. 72.78 (EP) W. INV. 88.88 (24") E. INV. 87.88 (36")
- S-11 TYPE 'B' CURB INLET GRATE ELEV. 72.78 (EP) S. INV. 70.66 (24") E. INV. 70.06 (24")
- S-10 TYPE 'B' CURB INLET GRATE ELEV. 72.78 (EP) N. INV. 70.74 (24")
- S-9 4/8" STORM MANHOLE TOP ELEV. 72.80 (EP) S. INV. 88.05 (24") N.E. INV. 88.05 (24")
- S-8 TYPE 'B' CURB INLET GRATE ELEV. 72.78 (EP) N. INV. 88.36 (24") S. INV. 88.45 (24")

- 8-1 (BES) DENOTES SOIL BORING LOCATION BY UNIVERSAL ENGINEERING SCIENCES (UES)
- 8-2 (FSS) DENOTES SOIL BORING LOCATION BY FLORIDA GEOTECHNICAL SERVICES (FGS)

WILLIAM A. MENADIER  
PROFESSIONAL ENGINEER  
FLORIDA REGISTRATION NO. 74881

REVISED

DATE

William A. Menadier, ME, P.E.  
www.wameng.com

**WAM MENADIER ENGINEERING**  
P.O. Box 616 • Alachua, Florida 32016 • Ph: (904) 347-5113 • www.wameng.com

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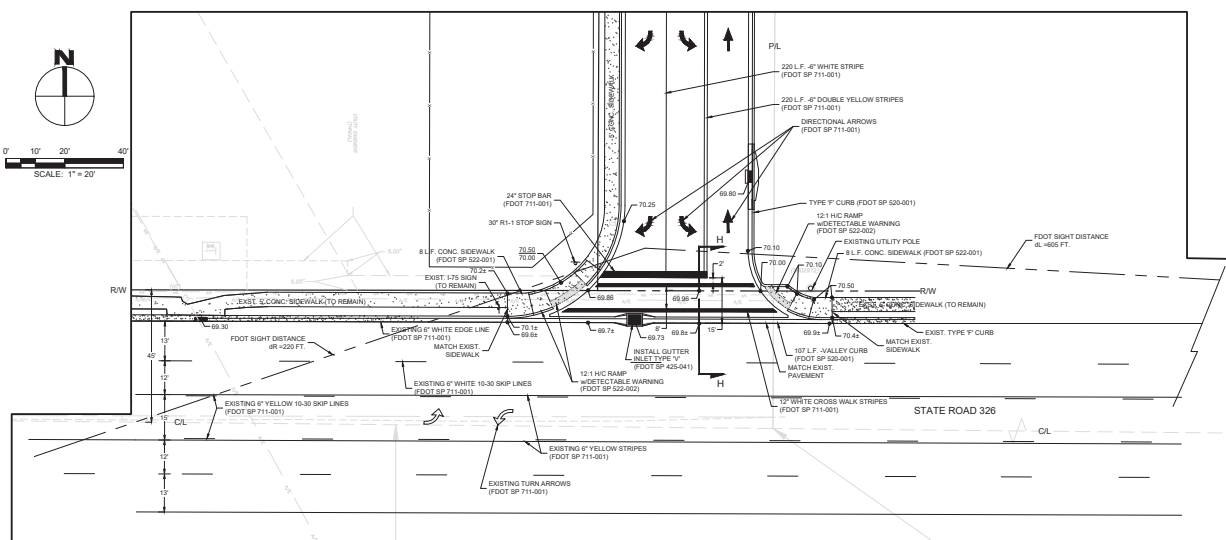
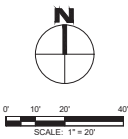
A MARION COUNTY MAJOR SITE PLAN FOR THE  
**BOWMAN 326 DEVELOPMENT**  
MARION COUNTY  
Grading & Drainage Plan C-072

08/08/2023  
2023-01-010

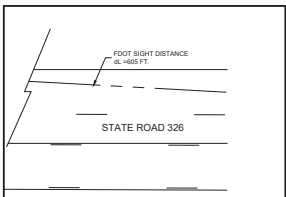
DATE: 8-31-2023

SCALE: 1" = 30'

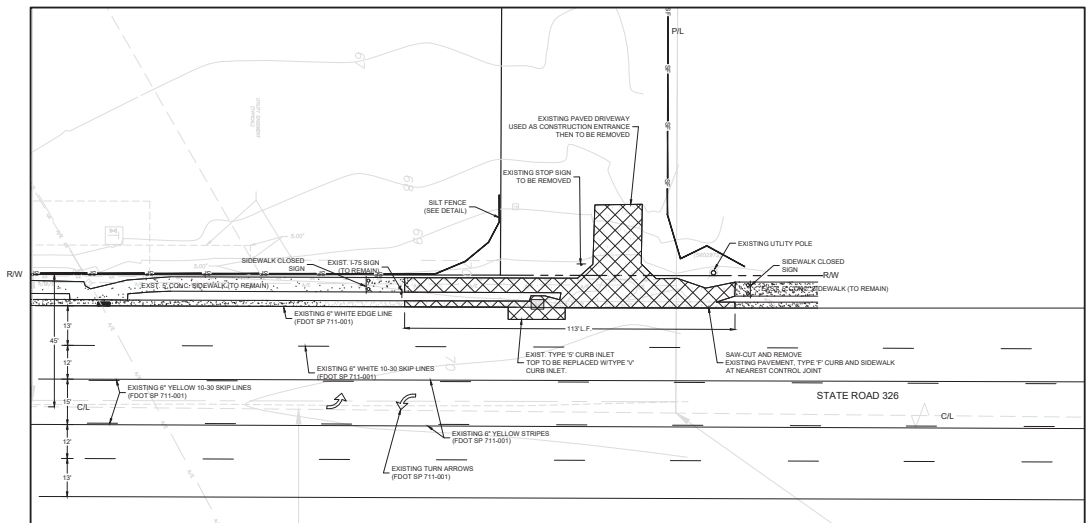
**C007**



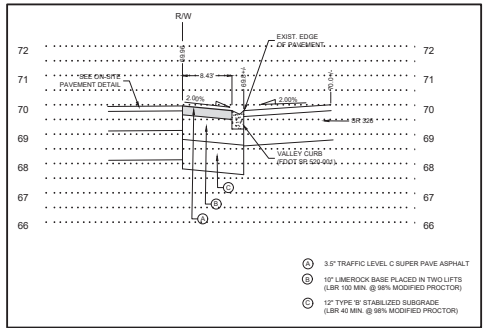
PROPOSED DRIVEWAY CONNECTION



SIGHT DISTANCE CONTINUED TO END



EXISTING CONDITIONS & DEMOLITION PLAN



**H**  
**C7** **ENTRANCE CROSS SECTION**  
SCALE: HORIZONTAL 1"=10'  
VERTICAL 1"=2'

- FDOT CONSTRUCTION NOTES:
1. ALL DISTURBED AREAS WITHIN FOOT RIGHT-OF-WAY SHALL BE SOCCDED WITH MESH-FREE ARGENTINA BAHIA.
  2. THE CONTRACTOR SHALL NOT LEAVE ANY PITS OUTSIDE OF WORK HOURS (i.e. OVERNIGHT) WITHOUT PROPER PROTECTION BARRIERS.
  3. THE CONTRACTOR SHALL NOTE THAT ALL AFFECTED SIDEWALKS, RAMPS, AND CROSSWALKS SHALL BE BUILT AND INSPECTED TO MEET CURRENT ADA REQUIREMENTS.
  4. THE CONTRACTOR SHALL PROTECT ALL EXISTING STORM STRUCTURES, PIPES, UTILITIES, AND OTHER APPURTENANCES THROUGHOUT CONSTRUCTION. ANY DAMAGE WILL BE THE CONTRACTORS RESPONSIBILITY TO CORRECT.
  5. SIGHT DISTANCE AT THE DRIVEWAY COMPLIES WITH FDOT STANDARDS. NO LANDSCAPE OR OTHER OBSTRUCTIONS SHALL BE PLACED WITHIN THE SIGHT TRIANGLES SHOWN HEREON.
  6. ALL MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS 102-600 SERIES.

REVISION	DATE

William A. Menadier, A.E. P.E.  
www.wmenadier.com

**WAM MENADIER ENGINEERING**  
P.O. Box 616 | Alabama, Florida, DC | Ph. (850) 974-1010 | www.wmenadier.com

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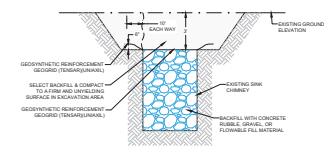
A MARION COUNTY MAJOR SITE PLAN FOR BOWMAN 326 DEVELOPMENT MARION COUNTY FDOT Driveway Connection Plan

DATE: 2023-01-01  
DATE: 9-20-2023  
SCALE: 1" = 20'

WILLIAM A. MENADIER  
PROFESSIONAL ENGINEER  
FLORIDA REGISTRATION NO. 74581

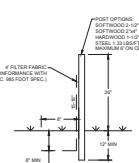
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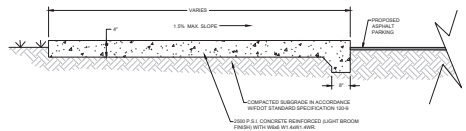


**DETAIL TYPICAL CHIMNEY SINK REPAIR**  
N.T.S.

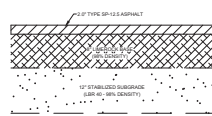
**SINKHOLE REPAIR INSTRUCTIONS:**  
 IF A SINKHOLE DEVELOPS WITHIN THE WATER RETENTION BASINS, THE FOLLOWING IS THE RECOMMENDED CORRECTIVE ACTION:  
 A. INFORM THE LOCAL JURISDICTION'S STORMWATER ENGINEERING DEPT. AND THE APPLICABLE WATER MANAGEMENT DISTRICT IMMEDIATELY UPON DISCOVERY AND PROVIDE WARNING BARRIAGES, ETC. AROUND THE HOLE.  
 B. WHERE LIMESTONE OR SHELL STONE IS EVIDENT FROM THE OPENING OF THE HOLE, WE RECOMMEND THE FOLLOWING REPAIR:  
 1. USING 1" DIAMETER BOLLARDS OF LIMESTONE, CHERT OR SIMILAR HARD MATERIAL, BACKFILL THE CAVITY TO WITHIN 2" OF THE SURFACE.  
 2. USING A SMALLER DIAMETER (1/2" - 1") STONE, FILL THE REMAINDER OF THE CAVITY TO WITHIN 2" OF THE SURFACE.  
 3. USING A BACKFILL PROVIDE FOR THE COMPACTION OF THE FILLED CAVITY BY HYDRAULICALLY COMPRESSING THE FILLED MATERIAL.  
 4. FILL THE REMAINDER OF THE CAVITY USING SEPTIC TANK DRAINFIELD GRAVEL TO THE GROUND SURFACE.  
 5. USING A VERY WET CEMENT SLURRY, POUR CONCRETE OVER THE CAVITY IN A SLOW AND GRADUAL MANNER RAKING THE CEMENT WITH THE GRAVEL TO OBTAIN AS MUCH VERTICAL PENETRATION OF THE CONCRETE AS POSSIBLE.  
 C. IN THOSE AREAS WHERE NO LIMESTONE IS EVIDENT, THE FOLLOWING PROCEDURE IS SUGGESTED:  
 1. USING BACKFILL, REMOVE SUFFICIENT MATERIAL FROM THE SURFACE OF THE HOLE TO ALLOW ADEQUATE AREA IN WHICH MATERIAL CAN BE PLACED SO THAT IT WILL REACH THE BOTTOM OF THE HOLE.  
 2. USING A HEAVYER SOIL (CLAY) SAND OR CLAY PLACE MATERIAL IN THE HOLE WITH A BACKHOE AND USE THE BUCKET TO HYDRAULICALLY COMPACT THE MATERIAL TO BE PLACED. PERFORM THIS OPERATION IN LIFTS, WITH NO LIFT BEING GREATER THAN 2' IN HEIGHT.  
 3. COMPACT THE MATERIAL TO WITHIN 4" OF THE SURFACE OF THE SINKHOLE.  
 4. FORM AND POUR A CONCRETE CAP OVER THE DISTURBED AREA USING 3000 CONCRETE AND FORM BOARDS TO ASSURE THAT ALL CONCRETE IS AT LEAST 4" IN THICKNESS. BE ASSURED THAT THE CONCRETE CAP IS AT THE SAME LEVEL AS THE SURROUNDING ELEVATION.  
 D. AFTER COMPLETION OF THE WORK, REMOVE AND HAUL OFF ANY EXCESS MATERIAL (SOIL AND ROCK) AND REMOVE ANY WASTE CONCRETE THAT WOULD TEND TO SEAL THE POND BOTTOM. REPAIR AND RESEED SIDE SLOPES OF THE BASIN AS A RESULT OF THE WORK.  
 E. PLEASE EXERCISE CAUTION AND WALK THE ENTIRE BOTTOM AREA OF THE POND BEFORE COMMENCEMENT TO ASSURE GOOD SOIL SUPPORT OF THE PROPOSED CONSTRUCTION EQUIPMENT AND MATERIALS.



**DETAIL SILT FENCE**  
N.T.S.

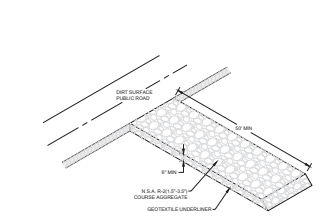


**DETAIL CONCRETE SIDEWALK**  
N.T.S.

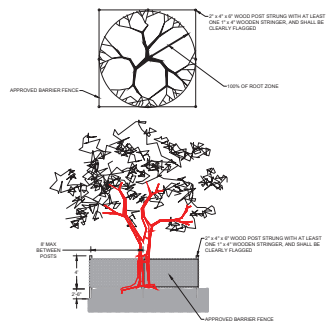


**INDUSTRIAL PAVEMENT SECTION**

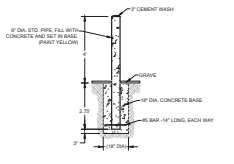
**NOTES:**  
 1. 17' SANDON BASE BY 1/4\"/>



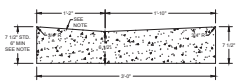
**DETAIL CONSTRUCTION ENTRANCE**  
N.T.S.



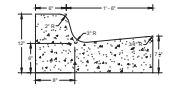
**DETAIL TREE PROTECTION BARRICADE**  
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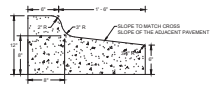
**DETAIL BOLLARD**  
N.T.S.



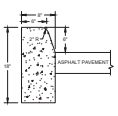
**VALLEY GUTTER CURB 3\"/>**



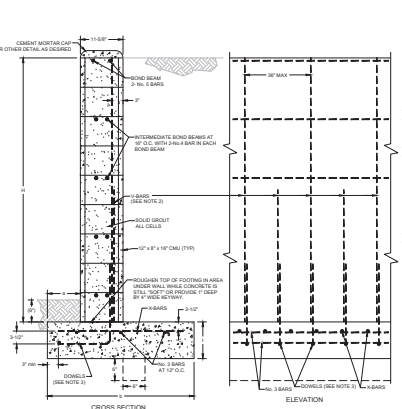
**STANDARD TYPE 1\"/>**



**SPILL-OUT TYPE 1\"/>**



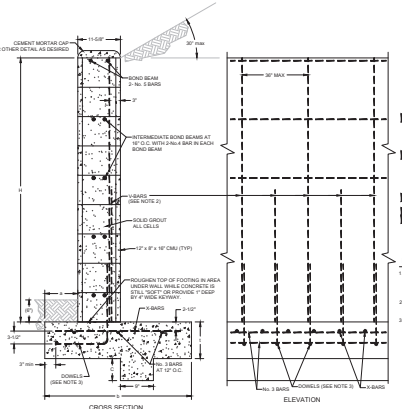
**DETAIL TYPE 10\"/>**



**RETAINING WALL, 12\"/>**

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**DETAIL NOTES:**  
 1. REINFORCEMENT OF A WALL AND SPACING OTHER THAN INDICATED ABOVE MAY BE USED PROVIDED SUCH OTHER REINFORCEMENT PROVIDES AN AREA OF STEEL AT LEAST EQUAL TO THAT INDICATED IN THE TABLE.  
 2. ALL REINFORCEMENT SHALL BE COVERED BY THE MIN. HEIGHT OF THE WALL AND THE SPACING OF THE REINFORCEMENT TO THE TOP SHALL NOT EXCEED 48\"/>



**RETAINING WALL, 12\"/>**

NO.	DESCRIPTION	QTY	UNIT	REMARKS
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**DETAIL NOTES:**  
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 2. ALL REINFORCEMENT SHALL BE COVERED BY THE MIN. HEIGHT OF THE WALL AND THE SPACING OF THE REINFORCEMENT TO THE TOP SHALL NOT EXCEED 48\"/>

REVISIONS
DATE

William A. Menadier, P.E.  
 Professional Engineer  
 Florida Registration No. 74581

**MENADIER ENGINEERING**  
 10000 N.W. 10th Ave., Suite 100  
 Miami, FL 33150  
 Phone: (305) 487-4333  
 Fax: (305) 487-4333  
 www.menadier.com

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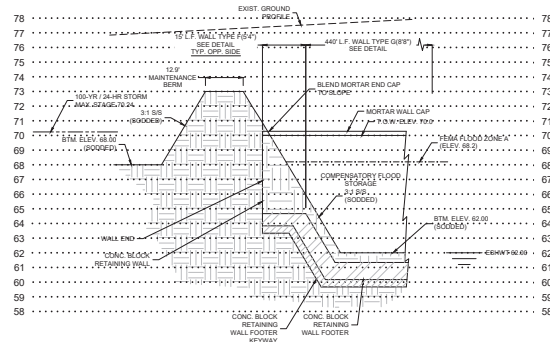
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**MARION COUNTY MAJOR SITE PLAN FOR BOWMAN 326 DEVELOPMENT**  
 MARION COUNTY  
 Construction Details

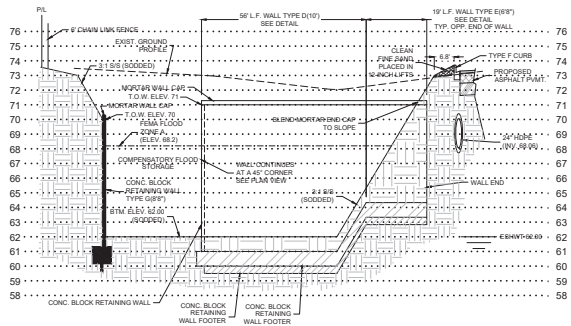
DATE: 2023-01-01  
 DATE: 8-28-2024  
 SCALE: 1\"/>

WILLIAM A. MENADIER  
 PROFESSIONAL ENGINEER  
 FLORIDA REGISTRATION NO. 74581

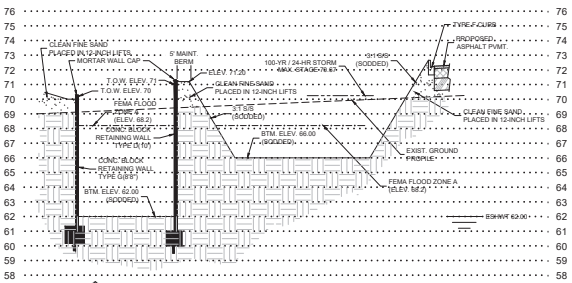
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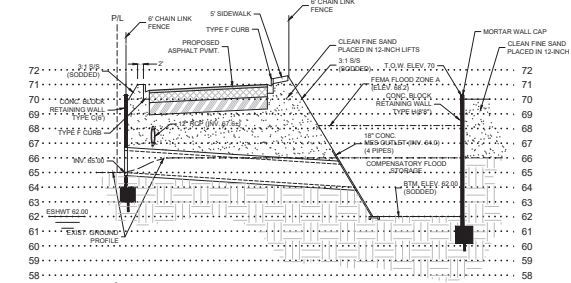
**A** DRAINAGE RETENTION AREA CROSS SECTION  
**C7** SCALE: HORIZONTAL 1"=20'  
 VERTICAL 1"=4'



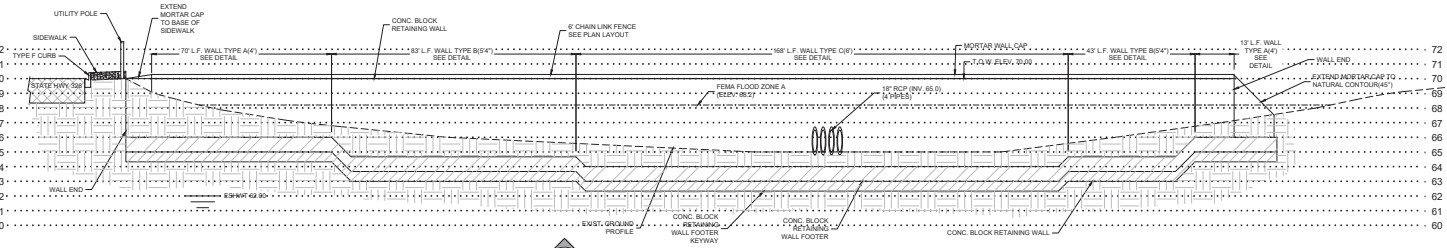
**B** DRAINAGE RETENTION AREA CROSS SECTION  
**C6** SCALE: HORIZONTAL 1"=20'  
 VERTICAL 1"=4' ROTATED VIEW



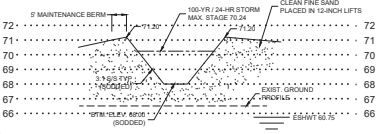
**C** DRAINAGE RETENTION AREA CROSS SECTION  
**C6** SCALE: HORIZONTAL 1"=20'  
 VERTICAL 1"=4' ROTATED VIEW



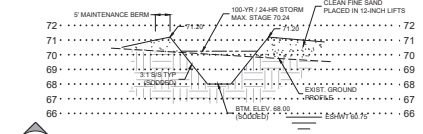
**D** DRAINAGE RETENTION AREA CROSS SECTION  
**C6** SCALE: HORIZONTAL 1"=20'  
 VERTICAL 1"=4' ROTATED VIEW



**E** DRAINAGE RETENTION AREA CROSS SECTION  
**C6** SCALE: HORIZONTAL 1"=20'  
 VERTICAL 1"=4' ROTATED VIEW: NOTE HWY 326 CALL OUT



**F** DRAINAGE RETENTION AREA CROSS SECTION  
**C6** SCALE: HORIZONTAL 1"=20'  
 VERTICAL 1"=4' ROTATED VIEW

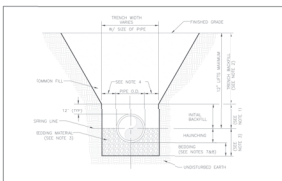


**G** DRAINAGE RETENTION AREA CROSS SECTION  
**C6** SCALE: HORIZONTAL 1"=20'  
 VERTICAL 1"=4' ROTATED VIEW

REVISED
DATE
William A. Menadier, A.E. PE www.menadier.com www.menadier.com
PO Box 616   Alachua, Florida 32016   Ph. (352) 347-3133   www.menadier.com
A MARION COUNTY MAJOR SITE PLAN <b>BOWMAN 326 DEVELOPMENT</b> MARION COUNTY <i>Drainage Retention Area Cross-Sections</i>
DATE: 2023-01-010
DATE: 6-28-2024
SCALE: 1" = 20'
<b>D002</b>

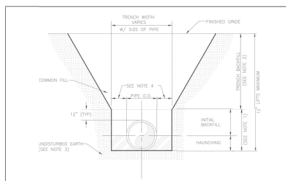
WILLIAM A. MENADIER  
 PROFESSIONAL ENGINEER  
 FLORIDA REGISTRATION NO. 74581





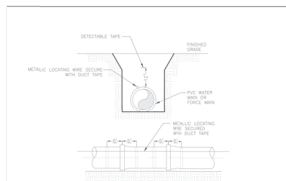
1. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% DRY WEIGHT PROPORTION OF THE MAXIMUM DENSITY.
2. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% DRY WEIGHT PROPORTION OF THE MAXIMUM DENSITY.
3. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% DRY WEIGHT PROPORTION OF THE MAXIMUM DENSITY.
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8. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% DRY WEIGHT PROPORTION OF THE MAXIMUM DENSITY.
9. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% DRY WEIGHT PROPORTION OF THE MAXIMUM DENSITY.
10. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% DRY WEIGHT PROPORTION OF THE MAXIMUM DENSITY.

7.3.2  
UT 102  
BEDDING AND TRENCHING 1



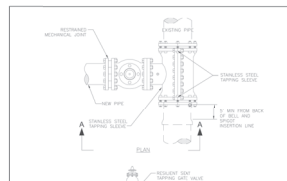
1. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% DRY WEIGHT PROPORTION OF THE MAXIMUM DENSITY.
2. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% DRY WEIGHT PROPORTION OF THE MAXIMUM DENSITY.
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4. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% DRY WEIGHT PROPORTION OF THE MAXIMUM DENSITY.
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9. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% DRY WEIGHT PROPORTION OF THE MAXIMUM DENSITY.
10. ALL BEDDING MATERIAL SHALL BE COMPACTED TO 95% DRY WEIGHT PROPORTION OF THE MAXIMUM DENSITY.

7.3.2  
UT 103  
BEDDING AND TRENCHING 2



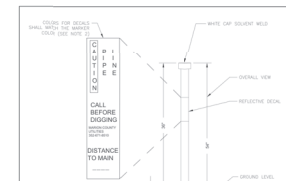
1. ALL PIPE SHALL BE LOCATED WITH DETECTABLE TAPE.
2. ALL PIPE SHALL BE LOCATED WITH DETECTABLE TAPE.
3. ALL PIPE SHALL BE LOCATED WITH DETECTABLE TAPE.
4. ALL PIPE SHALL BE LOCATED WITH DETECTABLE TAPE.
5. ALL PIPE SHALL BE LOCATED WITH DETECTABLE TAPE.
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8. ALL PIPE SHALL BE LOCATED WITH DETECTABLE TAPE.
9. ALL PIPE SHALL BE LOCATED WITH DETECTABLE TAPE.
10. ALL PIPE SHALL BE LOCATED WITH DETECTABLE TAPE.

7.3.2  
UT 104  
PIPE LOCATING WIRE AND DETECTABLE TAPE



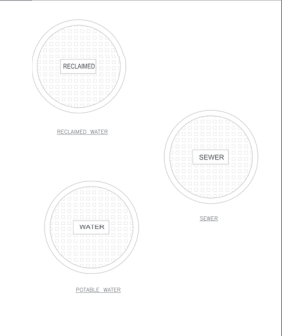
1. ALL TAPPING SHALL BE DONE IN ACCORDANCE WITH THE TAPPING PROCEDURE.
2. ALL TAPPING SHALL BE DONE IN ACCORDANCE WITH THE TAPPING PROCEDURE.
3. ALL TAPPING SHALL BE DONE IN ACCORDANCE WITH THE TAPPING PROCEDURE.
4. ALL TAPPING SHALL BE DONE IN ACCORDANCE WITH THE TAPPING PROCEDURE.
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9. ALL TAPPING SHALL BE DONE IN ACCORDANCE WITH THE TAPPING PROCEDURE.
10. ALL TAPPING SHALL BE DONE IN ACCORDANCE WITH THE TAPPING PROCEDURE.

7.3.2  
UT 108  
TAPPING SLEEVE AND GATE VALVE ASSEMBLY

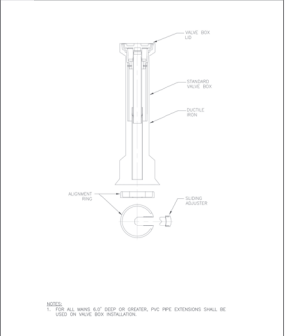


1. ALL UTILITY MAN MARKERS SHALL BE PLACED AT THE LOCATION OF ALL UTILITY LINES.
2. ALL UTILITY MAN MARKERS SHALL BE PLACED AT THE LOCATION OF ALL UTILITY LINES.
3. ALL UTILITY MAN MARKERS SHALL BE PLACED AT THE LOCATION OF ALL UTILITY LINES.
4. ALL UTILITY MAN MARKERS SHALL BE PLACED AT THE LOCATION OF ALL UTILITY LINES.
5. ALL UTILITY MAN MARKERS SHALL BE PLACED AT THE LOCATION OF ALL UTILITY LINES.
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10. ALL UTILITY MAN MARKERS SHALL BE PLACED AT THE LOCATION OF ALL UTILITY LINES.

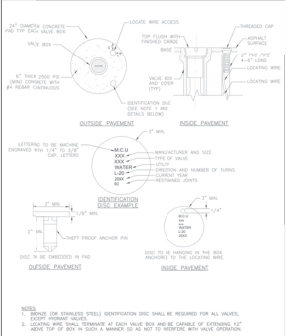
7.3.2  
UT 109  
UTILITY MAN MARKER



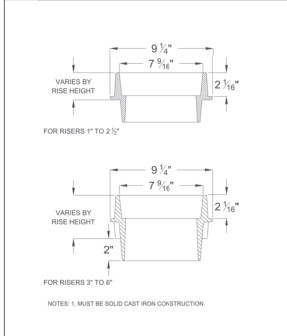
7.3.2  
UT 110  
TYPICAL VALVE BOX COVER



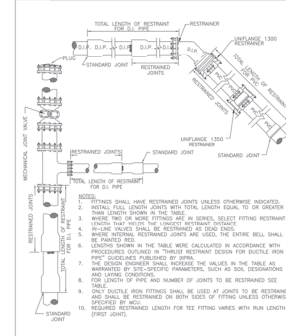
7.3.2  
UT 111  
SEALED VALVE BOX, ADJUSTABLE



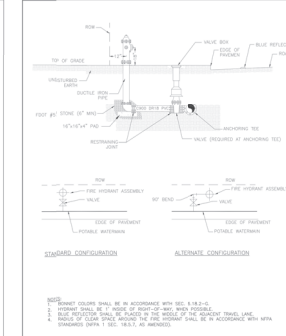
7.3.2  
UT 112  
VALVE BOX PAD



7.3.2  
UT 115  
VALVE BOX RISER



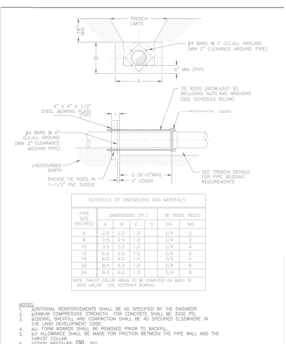
7.3.2  
UT 116 A  
RESTRAINED PIPE TABLE



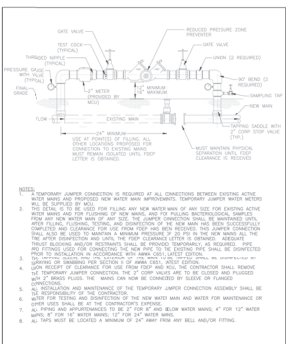
7.3.2  
UT 210  
FIRE HYDRANT ASSEMBLY

MINIMUM RESTRAINED LENGTHS (FT)	H-HORIZONTAL		V-VERTICAL-UP		V-VERTICAL-DOWN	
	FOR DIP	FOR BARE PVC	FOR DIP	FOR BARE PVC	FOR DIP	FOR BARE PVC
1/2"	10	10	10	10	10	10
3/4"	10	10	10	10	10	10
1"	10	10	10	10	10	10
1 1/2"	10	10	10	10	10	10
2"	10	10	10	10	10	10
2 1/2"	10	10	10	10	10	10
3"	10	10	10	10	10	10
3 1/2"	10	10	10	10	10	10
4"	10	10	10	10	10	10
4 1/2"	10	10	10	10	10	10
5"	10	10	10	10	10	10
5 1/2"	10	10	10	10	10	10
6"	10	10	10	10	10	10
6 1/2"	10	10	10	10	10	10
7"	10	10	10	10	10	10
7 1/2"	10	10	10	10	10	10
8"	10	10	10	10	10	10
8 1/2"	10	10	10	10	10	10
9"	10	10	10	10	10	10
9 1/2"	10	10	10	10	10	10
10"	10	10	10	10	10	10

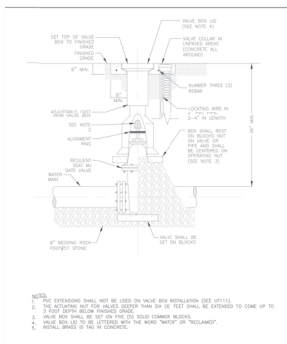
7.3.2  
UT 118 B  
RESTRAINED PIPE TABLE



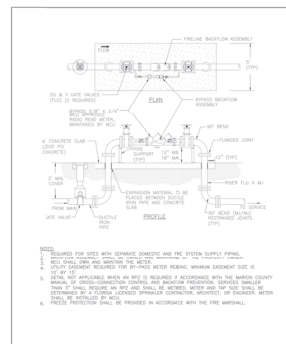
7.3.2  
UT 201  
THRUST COLLAR WATER MAINS



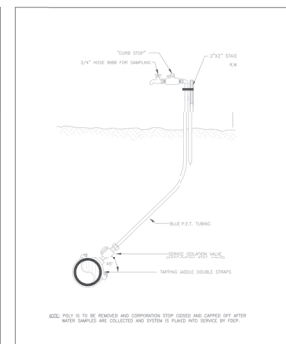
7.3.2  
UT 203  
TEMPORARY JUMPER CONNECTION



7.3.2  
UT 204  
GATE VALVE WATER AND RECLAIMED MAINS



7.3.2  
UT 208  
FIRE LINE DOUBLE DETECTOR CHECK VALVE ASSEMBLY



7.3.2  
UT 211  
TEMPORARY SAMPLE POINT

REVISIONS	DATE

William A. Menadier, P.E.  
www.menadier.com

**MENADIER ENGINEERING**  
Ph. (386) 547-4313  
www.menadier.com

APPROVED FOR CONSTRUCTION WITH A VALID SIGNATURE. THIS DRAWING HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY WILLIAM A. MENADIER, P.E. ON THE DATE NOTED ON THE ELECTRONIC SIGNATURE.

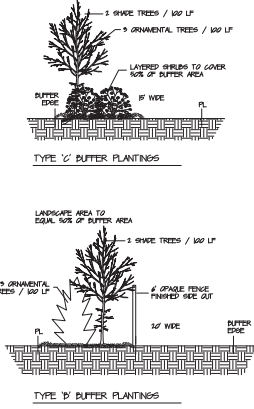
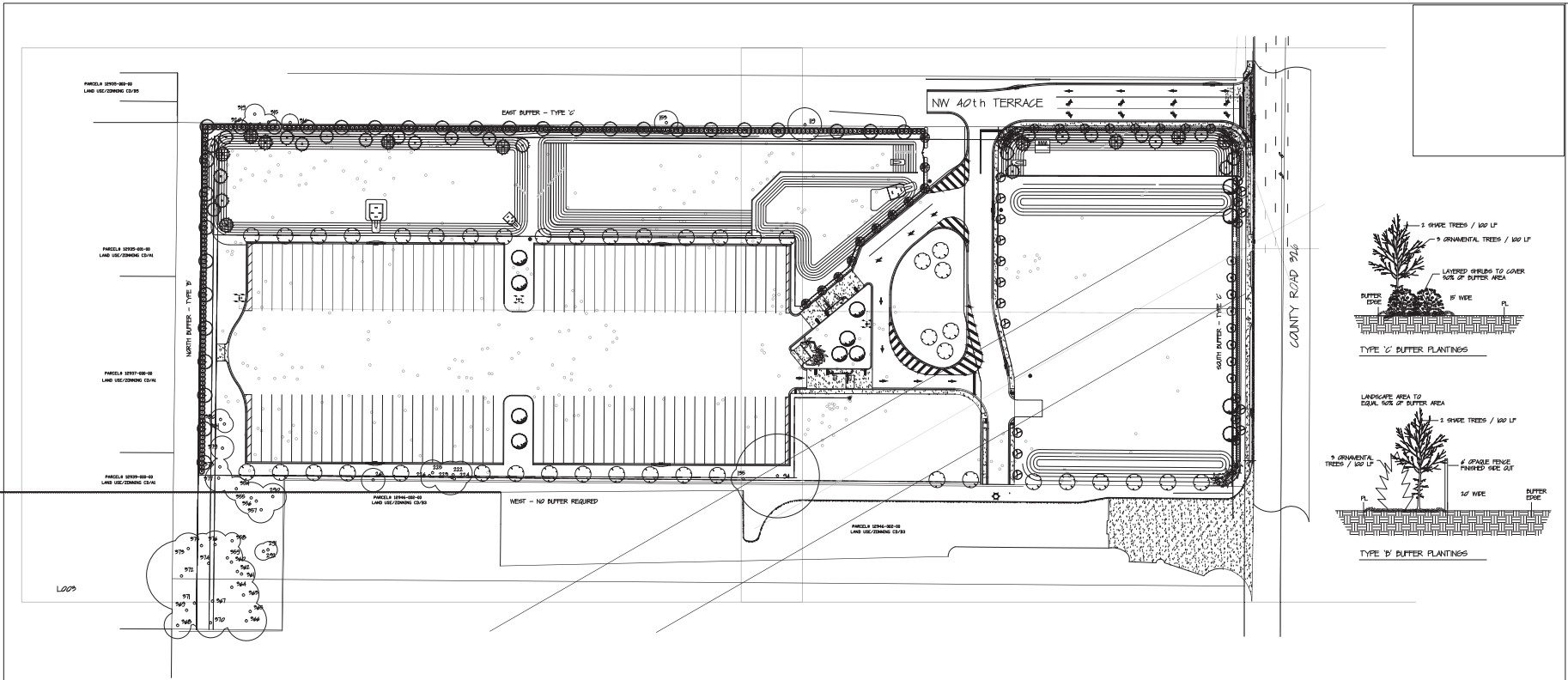
A MARION COUNTY MAJOR SITE PLAN FOR THE BOWMAN 326 DEVELOPMENT MARION COUNTY Utility Details

DATE: 2023-01-01  
DATE: 8-28-2024  
SCALE: 1" = 10'

D003

WILLIAM A. MENADIER  
PROFESSIONAL ENGINEER  
FLORIDA REGISTRATION NO. 74581





**TREE PRESERVATION LIST**

24	5/2" OAK	254	1/2" PINE	272	1/2" OAK
25	1/2" OAK	255	1/2" CHERRY	273	1/2" PALM
26	1/2" OAK	256	1/2" OAK	274	1/2" OAK
27	1/2" OAK	257	1/2" OAK	275	1/2" OAK
28	1/2" OAK	258	1/2" PALM	276	1/2" OAK
29	1/2" OAK	259	1/2" OAK	277	1/2" OAK
30	1/2" OAK	260	1/2" OAK	278	1/2" PINE
31	1/2" OAK	261	1/2" PINE	279	1/2" PINE
32	1/2" OAK	262	1/2" OAK	280	1/2" PINE
33	1/2" OAK	263	1/2" OAK	281	1/2" PINE
34	1/2" OAK	264	1/2" PALM		
35	1/2" OAK	265	1/2" OAK		
36	1/2" OAK	266	1/2" OAK		
37	1/2" OAK	267	1/2" OAK		
38	1/2" OAK	268	1/2" OAK		
39	1/2" OAK	269	1/2" OAK		
40	1/2" OAK	270	1/2" OAK		

**TREE PRESERVATION**

TOTAL EXISTING TREES	==	582
TOTAL EXISTING BUFFER TREES	==	1262 (482' / 100' / 100')
TOTAL EXISTING BUFFER TREE PRESERVATION REQUIRED	==	1262
TOTAL EXISTING BUFFER TREE PRESERVATION PROVIDED	==	1262
TOTAL EXISTING BUFFER TREE PRESERVATION DEFICIT	==	0
REPLACEMENT FOR BUFFER TREES PRESERVED	==	1262
REPLACEMENT FOR PRIMARY AREA TREES PRESERVED	==	1262
REPLACEMENT FOR PRIMARY AREA TREES PRESERVED	==	1262

**LANDSCAPE / OPEN SPACE**

TOTAL PROJECT AREA	==	64,000 SF (1.34 AC)
LESS PROJECT IMPROVEMENTS	==	-12,000 SF
LESS IMPROVEMENTS (STREETWALL)	==	-1,000 SF
LESS IMPROVEMENTS (STREETWALL)	==	-1,000 SF
LESS RETENTION BASIN	==	-1,000 SF
LANDSCAPE / OPEN SPACE REQUIRED	==	49,000 SF (0.90 AC)
LANDSCAPE / OPEN SPACE PROVIDED	==	49,000 SF

**SHADE TREE CALCULATIONS**

TOTAL PROJECT AREA	==	64,000 SF
LESS IMPROVEMENTS	==	-12,000 SF
LESS IMPROVEMENTS (STREETWALL)	==	-1,000 SF
LESS IMPROVEMENTS (STREETWALL)	==	-1,000 SF
LESS RETENTION BASIN	==	-1,000 SF
LANDSCAPE / OPEN SPACE REQUIRED	==	49,000 SF
LANDSCAPE / OPEN SPACE PROVIDED	==	49,000 SF

**DRA LANDSCAPING**

**DRA 1 - 510 LF**

TREES REQUIRED	==	140 (4' / 100 LF)
TREE PROVIDED	==	140 (4' / 100 LF)
SHED AREA REQUIRED	==	280 SF
SHED AREA PROVIDED	==	280 SF

**DRA 2 - 42 LF**

TREES REQUIRED	==	17 (4' / 100 LF)
TREE PROVIDED	==	17 (4' / 100 LF)
SHED AREA REQUIRED	==	84 SF
SHED AREA PROVIDED	==	84 SF

**BUFFER CALCULATIONS**

**SOUTH BUFFER - 424 LF, TYPE 'C', 12" WIRE, 12" X 12" X 12" CURB**

SHADE TREES REQUIRED	==	85 (2' / 100 LF)
SHADE TREES PROVIDED	==	85 (2' / 100 LF)
ORNAMENTAL TREES REQUIRED	==	27 (0' / 100 LF)
ORNAMENTAL TREES PROVIDED	==	27 (0' / 100 LF)
LANDSCAPE AREA REQUIRED	==	280 SF (0.6%)
LANDSCAPE AREA PROVIDED	==	280 SF

**EAST BUFFER - (260 - 80) 180 LF, TYPE 'C', 12" WIRE, 12" X 12" X 12" CURB**

SHADE TREES REQUIRED	==	4 (2' / 100 LF)
SHADE TREES PROVIDED	==	4 (2' / 100 LF)
ORNAMENTAL TREES REQUIRED	==	0 (0' / 100 LF)
ORNAMENTAL TREES PROVIDED	==	0 (0' / 100 LF)
LANDSCAPE AREA REQUIRED	==	0 SF (0%)
LANDSCAPE AREA PROVIDED	==	280 SF

**NORTH BUFFER - 424 LF, TYPE 'C', 12" WIRE, 12" X 12" X 12" CURB**

SHADE TREES REQUIRED	==	85 (2' / 100 LF)
SHADE TREES PROVIDED	==	85 (2' / 100 LF)
ORNAMENTAL TREES REQUIRED	==	27 (0' / 100 LF)
ORNAMENTAL TREES PROVIDED	==	27 (0' / 100 LF)
LANDSCAPE AREA REQUIRED	==	280 SF (0.6%)
LANDSCAPE AREA PROVIDED	==	280 SF

**LANDSCAPE MATERIAL LIST**

**CANOPY TREES**

16	AR	ACER RUBRUM FLORIDA PLANE	FLORIDA RED MAPLE	NATIVE	48 GAL 35' CAL. 7 TALL SINGLE LEADER, FULL CANOPY
17	AL	QUERCUS LAEMONTII	LARGELY BAY	NATIVE	48 GAL 35' CAL. 7 TALL SINGLE LEADER, FULL CANOPY
18	MO	MANGLOIA GRANDIFLORA	SOUTHERN MANGROVE	NATIVE	48 GAL 35' CAL. 7 TALL SINGLE LEADER, FULL CANOPY
19	ON	QUERCUS VIRGINICA	LIVE OAK	NATIVE	48 GAL 35' CAL. 7 TALL SINGLE LEADER, FULL CANOPY
20	TX	TAEGARDIA PESTIFERA	DALY OLEANDER	NATIVE	48 GAL 35' CAL. 7 TALL SINGLE LEADER, FULL CANOPY

**ORNAMENTAL TREES**

1	EP	LEU & ATTENEA EAST PALATKA	EAST PALATKA HOLLY	NATIVE	36 GAL 25' CAL. 7 TALL SINGLE LEADER, FULL CANOPY
2	LI	LAURUS ROBURATA	LAUREL	NATIVE	36 GAL 25' CAL. 7 TALL SINGLE LEADER, FULL CANOPY
3	LT	LIQUIDAMBAR STYRACIA	FLORIDA RED MAPLE	NATIVE	36 GAL 25' CAL. 7 TALL SINGLE LEADER, FULL CANOPY
4	MP	MANGLOIA LITTLE-LEAF	MANGROVE	NATIVE	36 GAL 25' CAL. 7 TALL SINGLE LEADER, FULL CANOPY
5	SH	SHADE PALMETTO	FLORIDA PALM	NATIVE	36 GAL 25' CAL. 7 TALL SINGLE LEADER, FULL CANOPY

**SHRUBS**

100	ES	ERANDIOPSIS SPECIOSA	PURPLE FONTANA GRASS	NATIVE	2 GAL 10" - 12" TALL FULL SET 5' O.C.
101	FP	FUNARIA PATERNA	PURPLE FONTANA GRASS	NATIVE	2 GAL 10" - 12" TALL FULL SET 5' O.C.
102	JK	JUNIPERUS VIRGINIANA	SOUTHERN RED CEDAR	NATIVE	2 GAL 10" - 12" TALL FULL SET 5' O.C.
103	LI	LIQUIDAMBAR STYRACIA	JAPANESE PRUNEL	NATIVE	2 GAL 10" - 12" TALL FULL SET 5' O.C.
104	VB	VERBENA GOODENOUGHII	SWEEP VERBENA	NATIVE	2 GAL 10" - 12" TALL FULL SET 5' O.C.
105	ZF	ZAWA FLORIDANA	COOTE	NATIVE	2 GAL 10" - 12" TALL FULL SET 5' O.C.

**NATIVE LANDSCAPING**

40,000	GF	ARGENTINE-BIRCH GRASS			
80,000	GF	ARGENTINE-BIRCH GRASS			

**TOTAL PLANT MATERIAL** = 1254 (90% OFFSITE USE)  
**NATIVE PLANTS REQUIRED** = 267 (90% OFFSITE USE)  
**NATIVE PLANTS PROVIDED** = 267

**WATER REQUIRED**

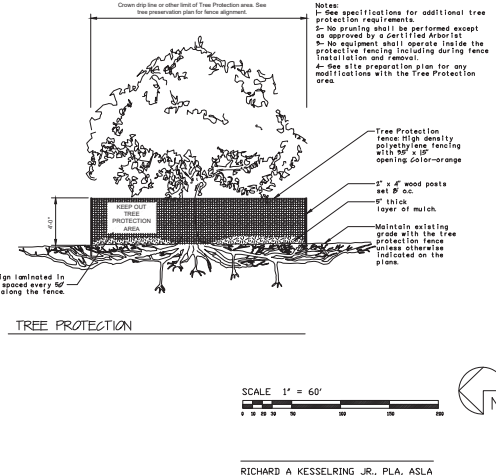
484 GALLONS

**NOTES:**

- USE ORNAMENTAL TREES INSTEAD OF SHADE TREES BECAUSE OF OVERHEAD ELECTRICAL LINES (SOUTH BUFFER)
- ALLOW REDUCED TREES AND LANDSCAPING ALONG IMPROVED PORTION OF NW 40th TERRACE (EAST BUFFER)
- ELIMINATE WALL AND GRASS/SHRUB TREES DUE TO CHANGING BUFFER PLANTINGS (NORTH BUFFER)
- ELIMINATE BUFFER REQUIREMENTS FOR WEST 'B' BECAUSE THERE WILL BE NO IMPROVEMENTS (NORTH BUFFER)

**487. PARKING AREAS & VEHICULAR USE AREAS**

5) ELIMINATE LANDSCAPE PLANT REQUIREMENTS BASED ON PROJECT USE  
 6) ELIMINATE SHADE TREE REQUIREMENT IN LANDSCAPE PLANTING BASED ON PROJECT USE



NO.	DATE	DESCRIPTION	RAK	BY
1	9/23			

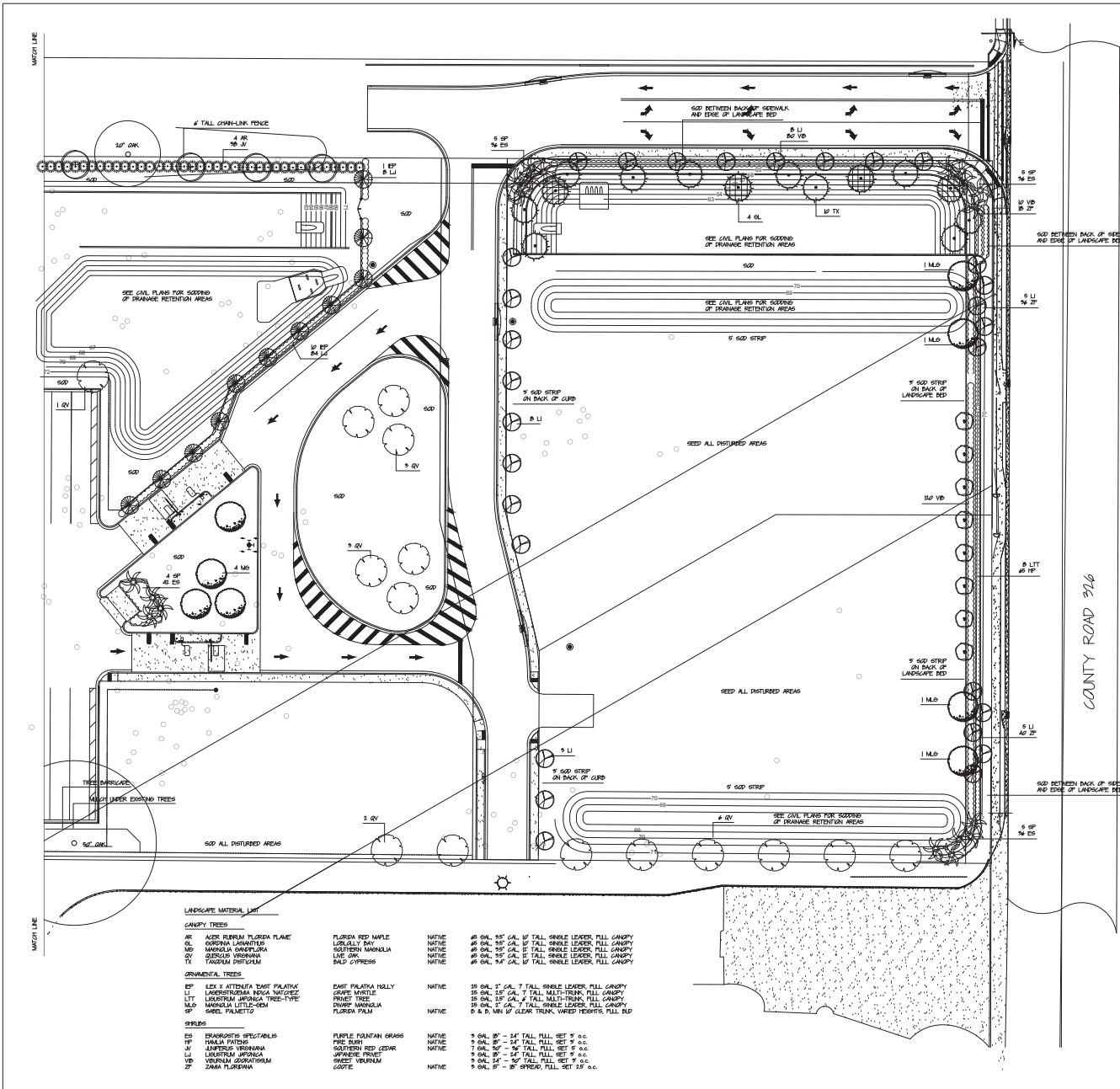
DATE: 9 / 23  
 DRAWING NO.:  
 NEW NAME:  
 SCALE: 1" = 60'  
 JOB NO.:

ENVIRONMENTAL DESIGN  
 ANDY KESSLER, JR., ARCHITECT  
 P.O. BOX 5175  
 1900 SE 30th STREET  
 Ocala, Florida 32676  
 TEL: 352-422-8889  
 FAX: 352-422-8889  
 WWW: www.edk.com  
 OFF. COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN

**EDK**

LANDSCAPE MASTER PLAN  
 DOWNMAN 316  
 FLORIDA  
 MARION COUNTY

SHEET 1001 OF 1001



**LANDSCAPE NOTES**

1. ALL MATERIAL SHALL BE FLOWN OR GRADE OR BETTER.
2. ALL LANDSCAPE AREAS SHALL BE MULCHED WITH 1" - 2" OF FINE DARK MULCH.
3. MULCH SHALL NOT BE INSTALLED ON TOP OF THE ROOT BALLS OF ANY SHADE OR ORNAMENTAL TREES.
4. ALL MATERIAL INSTALLED SHALL MEET THE SIZE GRASSES AND STANDARDS FOR LANDSCAPE INSTALLATION.
5. CERTIFICATION IS REQUIRED FROM THE NURSERY AND/OR THE LANDSCAPE CONTRACTOR THAT THE TREE ROOT BALL HAS BEEN SHAVED FOR GRADES AND STANDARDS.
6. ALL TREES MUST BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE.
7. ALL NEW TREES MUST BE GUDED OR STAKED AS DETAILED.
8. EXISTING TREES THAT ARE TO REMAIN MUST BE PROTECTED THROUGHOUT CONSTRUCTION.
9. THE LANDSCAPE ARCHITECT SHALL REVIEW WITH THE CONTRACTOR ALL LANDSCAPE THAT IS TO BE DONE AND SHALL IDENTIFY THE SCOPE OF WORK.
10. PLACEMENT OF ALL LANDSCAPE MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
11. ALL LANDSCAPE MATERIAL MUST BE INSTALLED WITH NATIVE PEAT AND SLOW-RELEASE NITROGEN FERTILIZER.
12. ALL PALMS SHALL HAVE STRAIGHT, UNBLENDED TRUNKS AS APPROVED BY LANDSCAPE ARCHITECT.
13. SHAPE PALMS MAY BE SURGICALLY CUT BUT MUST MAINTAIN A FULL HEALTHY BUD.
14. ALL MATERIAL SHALL BE GUARANTEED FOR 90 DAYS FROM THE DATE OF ACCEPTANCE.
15. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING IN ALL TREES & PALMS AND REMOVING AIR-POCKETS.
16. DURING THE ESTABLISHMENT PERIOD (FIRST 90 DAYS) THE LANDSCAPE CONTRACTOR SHALL APPLY A MINIMUM OF 60" - 80" DEPT. TO ALL NEW TREES AND PALMS.
17. DURING INSTALLATION OF ALL PALMS VIEWERS PALM TRANSPARENT SHALL BE APPLIED PER MANUFACTURER'S SPECIFICATIONS AND CONTRACTOR MUST VERIFY THIS TO THE LANDSCAPE ARCHITECT.
18. LANDSCAPE CONTRACTOR MUST LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION.
19. NO PLANTINGS OR OTHER OBSTRUCTIONS MAY BE WITHIN THE 5' VERTICAL OVERHANG AREA.
20. ALL NEW 50D SHALL BE ARGENTINE-SHIVA INSTALLED WITH NO SHIPS OR SHADERS.
21. ALL WIRE / MESH BACKING SHALL BE COMPLETELY REMOVED PRIOR TO ANY ACCEPTANCE.
22. 50D EDGES SHALL BE SHOVEL-CUT AND ROUNDED FOR MAINTENANCE.
23. ALL IRREGULAR SHALL BE ARGENTINE-SHIVA REEF MIX APPLIED AT A 1/8" / 1000' OF.
24. REEF SHALL BE RAKED IN AND COVERED WITH STRAW OR OTHER ACCEPTABLE MATERIAL.
25. ALL 50D AND REEF AREAS SHALL BE CLEARED AND ALL ROCKS, STICKS, AND OTHER DEBRIS REMOVED.
26. PLANTING SOIL USED FOR THE BUILDING PLANTERS AND BACKFILLING OF THE LANDSCAPE ISLANDS, ETC. MUST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION.
27. ALL SOIL SHALL BE WEED-FREE, CONTAIN NO STICKS, ROCKS, OR OTHER FOREIGN OBJECTS, AND SHALL BE A MIXTURE OF 50% SAND, 50% SOIL AND 5% TOP-SOIL.
28. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL PLANT MATERIAL, ROOTS, SOIL, AND OTHER LANDSCAPE ITEMS REMOVED FROM THIS SITE.
29. THE LANDSCAPE CONTRACTOR MUST PROVIDE AN AS-BUILT OF THE IRRIGATION SYSTEM TO THE LANDSCAPE ARCHITECT PRIOR TO REQUESTING ANY INSPECTIONS AND/OR APPROVALS.
30. THE CONTRACTOR SHALL KEEP THE SITE CLEAN OF ALL DEBRIS, SEDIMENT, DIRT, ETC. AND ENSURE THAT DRAINAGE SYSTEM REMAINS CLEAR AND THAT PEDESTRIAN WAYS ARE NOT BLOCKED.
31. DO NOT PLANT NEW TREES TOO DEEP UNLESS THE TRUNK FLARE AND SET THIS AT OR ABOVE THE SURROUNDING SOIL LEVEL.
32. REMOVE ANY TREE WRAP FROM AROUND THE TRUNK OF NEW TREES TO BE INSTALLED.
33. ALL NEW TREES AND SHRUBS MUST MEET THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60).
34. LANDSCAPE ARCHITECT MAY REQUIRE PRUNING OF NEW TREES AFTER INSTALLATION IF IT IS DETERMINED THAT THE TREES NEED A SINGLE DOWNWARD LEADER ESTABLISHED OR CLUSTERS BRANCHES REMOVED.
35. ALL PLANT MATERIAL MUST MEET ALL OF THE SIZE SPECIFICATIONS, NOT JUST THE CONTAINER SIZE.
36. HAVING THE LANDSCAPE ARCHITECT APPROVAL OF PLANT PLACEMENT IS ESSENTIAL FOR ACCEPTANCE.
37. ALL SIZE SPECIFICATIONS SHOWN ON THE MATERIAL LIST ARE FOR THE HEIGHT OF THE MATERIAL, UNLESS OTHERWISE NOTED. MEASUREMENT SHALL BE AS PER THE CURRENT INDUSTRY GRASSES AND STANDARDS.

**MARION CO. NOTES**

1. TREE PROTECTION SHALL CONTINUE DURING THE COURSE OF CONSTRUCTION. ALL REQUIREMENTS OUTLINED IN SECTION 615 SHALL BE COMPLIED WITH BY ALL CONTRACTORS OPERATING ON SITE.
2. ALL REQUIREMENTS OUTLINED IN SECTION 615 SHALL BE COMPLIED WITH FOR ANY REPLACEMENT TREES REQUIRED ON THIS SITE BY THE CONTRACTOR.
3. THE PRELIMINARY AND FINAL INSPECTIONS AS OUTLINED IN SECTION 615 SHALL BE COMPLIED WITH AND CERTIFICATE OF COMPLETION OR CERTIFICATION OF COMPLETION SHALL BE ISSUED UNTIL THESE INSPECTIONS HAVE BEEN COMPLETED AND APPROVAL GRANTED.
4. NOTES HAVE BEEN SHOWN REMOVING LICENSED (68B, 68C) AS IS. TREE PROTECTION (615 E), MAINTENANCE (68B, 68C), FERTILIZER USE (68A), AND WATERING (68D).
5. ALL REQUIREMENTS OUTLINED IN SECTION 616 REMOVING FERTILIZERS AND OTHER LANDSCAPE PROFESSIONALS SHALL BE COMPLIED WITH BY THE OWNER AND/OR OTHER LANDSCAPE PROFESSIONALS.
6. UPON COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL, A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE REVIEWED AND REAID BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
7. ALL REQUIREMENTS OUTLINED IN SECTION 616 REMOVING LANDSCAPE MAINTENANCE SHALL BE COMPLIED WITH BY THE OWNER AND/OR OTHER MAINTENANCE PROFESSIONALS.
8. ALL REQUIREMENTS OUTLINED IN SECTION 616 REMOVING LANDSCAPE INSTALLATION AND MAINTENANCE LICENSED AND CERTIFICATION SHALL BE COMPLIED WITH.
9. ANY PERSON PROVIDING LANDSCAPE INSTALLATION SERVICES FOR TREES SHALL MEET THE LICENSED AND CERTIFICATION REQUIREMENTS UNDER SECTION 616.
10. ALL PLANTINGS SHALL BE INSTALLED ACCORDING TO BEST MANAGEMENT PRACTICES.
11. TREES AND PALMS SHALL BE PROPERLY PLANTED AND GUDED OR STAKED.
12. ALL PLANTINGS SHALL BE PROPERLY WATERED DURING INSTALLATION AND THROUGH THE ESTABLISHMENT PERIOD FOR HEALTHY GROWTH AS RECOMMENDED BY UPF/MS.
13. INSTALLATION SHALL MEAN ORIGINAL, A REPLACEMENT AND REPLACEMENT IF NECESSARY OF ALL MATERIALS 50D AND/OR 50D PLANT MATERIAL SHALL BE REPLACED BY THE OWNER WITHIN 90 DAYS OF NOTIFICATION BY THE COUNTY.

**LANDSCAPE MATERIAL LIST**

SYMBOL	COMMON NAME	FLORIDA REF. NAME	NATIVE	SIZE	PLANTING
CA	ACACIA RUBRUM TORREDA FLAME	FLORIDA RED MAPLE	NATIVE	48 GAL. 15' CAL. 1/2" TALL SINGLE LEADER, FULL CANOPY	SEE CIVIL PLANS FOR SCHEDULING OF DRAINAGE RETENTION AREAS
OL	OSYRIS LAEVIFLORA	LOUISIANA BAY	NATIVE	48 GAL. 15' CAL. 1/2" TALL SINGLE LEADER, FULL CANOPY	SEE CIVIL PLANS FOR SCHEDULING OF DRAINAGE RETENTION AREAS
MA	MANGROVE OXYSPORA	SOUTHERN MANGROVE	NATIVE	48 GAL. 15' CAL. 1/2" TALL SINGLE LEADER, FULL CANOPY	SEE CIVIL PLANS FOR SCHEDULING OF DRAINAGE RETENTION AREAS
LV	LEUCOPHYA	FLORIDA CYPRESS	NATIVE	48 GAL. 15' CAL. 1/2" TALL SINGLE LEADER, FULL CANOPY	SEE CIVIL PLANS FOR SCHEDULING OF DRAINAGE RETENTION AREAS
TR	TRICHODIA		NATIVE	48 GAL. 15' CAL. 1/2" TALL SINGLE LEADER, FULL CANOPY	SEE CIVIL PLANS FOR SCHEDULING OF DRAINAGE RETENTION AREAS
EP	ELAEAGNUS PARVIFLORA	DAWF PALM	NATIVE	36 GAL. 12' CAL. 1/2" TALL SINGLE LEADER, FULL CANOPY	SEE CIVIL PLANS FOR SCHEDULING OF DRAINAGE RETENTION AREAS
LI	LIQUIDAMBAR	SWAMP WHITE	NATIVE	36 GAL. 12' CAL. 1/2" TALL SINGLE LEADER, FULL CANOPY	SEE CIVIL PLANS FOR SCHEDULING OF DRAINAGE RETENTION AREAS
TT	TAXUS FLORIDANA	FLORIDA PINE	NATIVE	36 GAL. 12' CAL. 1/2" TALL SINGLE LEADER, FULL CANOPY	SEE CIVIL PLANS FOR SCHEDULING OF DRAINAGE RETENTION AREAS
SP	SABEL PALMETTO	FLORIDA PALM	NATIVE	36 GAL. 12' CAL. 1/2" TALL SINGLE LEADER, FULL CANOPY	SEE CIVIL PLANS FOR SCHEDULING OF DRAINAGE RETENTION AREAS
ES	ERAGROSTIS SPECIATILIS	PURPLE POUNTAIN GRASS	NATIVE	5 GAL. 18" - 24" TALL, FULL SET 5" O.C.	SEE CIVIL PLANS FOR SCHEDULING OF DRAINAGE RETENTION AREAS
MP	MIMULUS	FLORIDA PINE	NATIVE	5 GAL. 18" - 24" TALL, FULL SET 5" O.C.	SEE CIVIL PLANS FOR SCHEDULING OF DRAINAGE RETENTION AREAS
JV	JUNIPERUS VIRGINIANA	SOFTENED RED CEDAR	NATIVE	7 GAL. 20" - 24" TALL, FULL SET 5" O.C.	SEE CIVIL PLANS FOR SCHEDULING OF DRAINAGE RETENTION AREAS
LI	LIQUIDAMBAR	SWAMP WHITE	NATIVE	5 GAL. 18" - 24" TALL, FULL SET 5" O.C.	SEE CIVIL PLANS FOR SCHEDULING OF DRAINAGE RETENTION AREAS
VB	VERBENA	FLORIDA PINE	NATIVE	5 GAL. 18" - 24" TALL, FULL SET 5" O.C.	SEE CIVIL PLANS FOR SCHEDULING OF DRAINAGE RETENTION AREAS
ZP	ZINNIA	COSTA	NATIVE	5 GAL. 18" - 24" TALL, FULL SET 5" O.C.	SEE CIVIL PLANS FOR SCHEDULING OF DRAINAGE RETENTION AREAS

NO.	DATE	COUNTY	COMMENTS	RAK	BY
1	9/13				

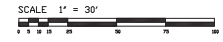
DATE:	9 / 13
DRAWING NO.:	30
SCALE:	1" = 30'
JOB NO.:	

ENVIRONMENTAL DESIGN  
ANDY KESSELER, LANDSCAPE ARCHITECT  
1902 SE 9th STREET  
GAINESVILLE, FLORIDA 32609  
PHONE: 352-333-3333  
WWW.EDKDESIGN.COM

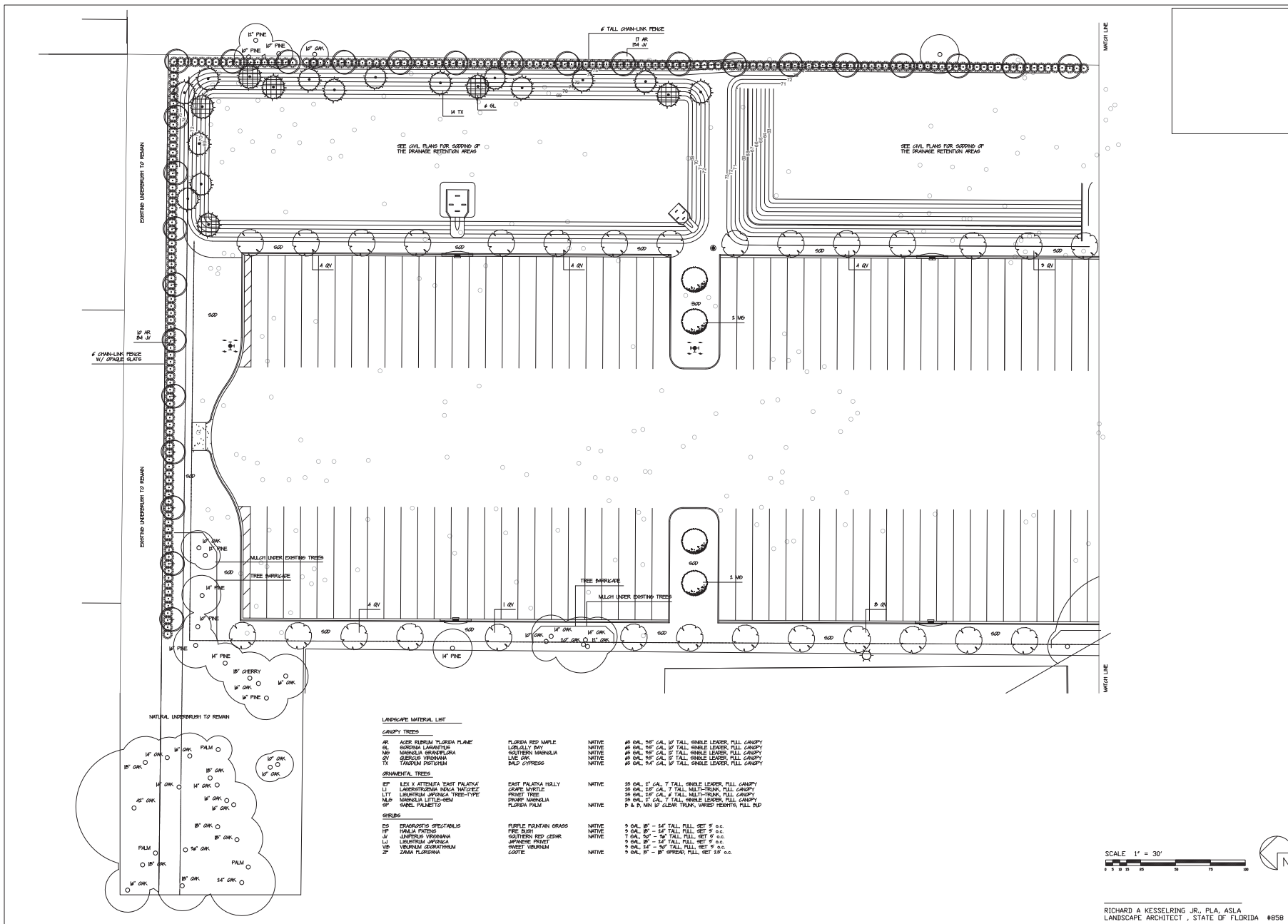
**EDK**

LANDSCAPE PLAN - SOUTH  
BOWMAN 326  
MARION COUNTY  
FLORIDA

SHEET 1202 of 1202

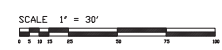


RICHARD A. KESSELER, JR., P.L.A., A.S.L.A.  
LANDSCAPE ARCHITECT, STATE OF FLORIDA #858



**LANDSCAPE MATERIAL LIST**

CANOPY TREES		ORNAMENTAL TREES	
AR ACER RUBRUM FLORIDA PLANE	FLORIDA RED MAPLE	EP LEX X ATTENUATA EAST PALATKA	EAST PALMIRA HOLLY
OL GORDONIA LIGNATISS	LOBLOLLY BAY	LI LINDERA STRATA	CAPE HITCHEL
MG MANGROVA GRANIFLORA	SOUTHERN MANGROVA	LV LEBBOSSIA JAVANICA TREE-TYPE	PRISTE TREE
QV QUERCUS VIRGINIANA	LICE OAK	MLD MANGROVA LITTLE-STEM	DWARF MANGROVA
TX TAXODIUM DISTICHUM	DAMP CYPRESS	SP SIBEL PALMETTO	FLORIDA PALM
CANOPY TREES		SHRUBS	
FLORIDA RED MAPLE	FLORIDA RED MAPLE	ES ERABROGOTIS SPECTABILIS	PURPLE FONTANAI GRASS
NATIVE	NATIVE	FP FICUS PATENS	NATIVE
NATIVE	NATIVE	JV JAPANESE VIBURNUM	NATIVE
NATIVE	NATIVE	LI LIQUIDAMBAR JAPONICA	JAPANESE PRIVET
NATIVE	NATIVE	VP VIBURNUM COCCINEUM	SWEET VIBURNUM
NATIVE	NATIVE	ZF ZAWIA FLORIDANA	COFFE
# 6AL 35' CAL 1/2" TALL SINGLE LEADER FULL CANOPY	# 6AL 35' CAL 1/2" TALL SINGLE LEADER FULL CANOPY	2 6AL 18" - 24" TALL FULL RET 9' o.c.	2 6AL 18" - 24" TALL FULL RET 9' o.c.
# 6AL 35' CAL 1/2" TALL SINGLE LEADER FULL CANOPY	# 6AL 35' CAL 1/2" TALL SINGLE LEADER FULL CANOPY	1 6AL 20" - 24" TALL FULL RET 9' o.c.	1 6AL 20" - 24" TALL FULL RET 9' o.c.
# 6AL 35' CAL 1/2" TALL SINGLE LEADER FULL CANOPY	# 6AL 35' CAL 1/2" TALL SINGLE LEADER FULL CANOPY	1 6AL 18" - 24" TALL FULL RET 9' o.c.	1 6AL 18" - 24" TALL FULL RET 9' o.c.
# 6AL 35' CAL 1/2" TALL SINGLE LEADER FULL CANOPY	# 6AL 35' CAL 1/2" TALL SINGLE LEADER FULL CANOPY	1 6AL 18" - 24" TALL FULL RET 9' o.c.	1 6AL 18" - 24" TALL FULL RET 9' o.c.
# 6AL 35' CAL 1/2" TALL SINGLE LEADER FULL CANOPY	# 6AL 35' CAL 1/2" TALL SINGLE LEADER FULL CANOPY	1 6AL 18" - 24" TALL FULL RET 9' o.c.	1 6AL 18" - 24" TALL FULL RET 9' o.c.



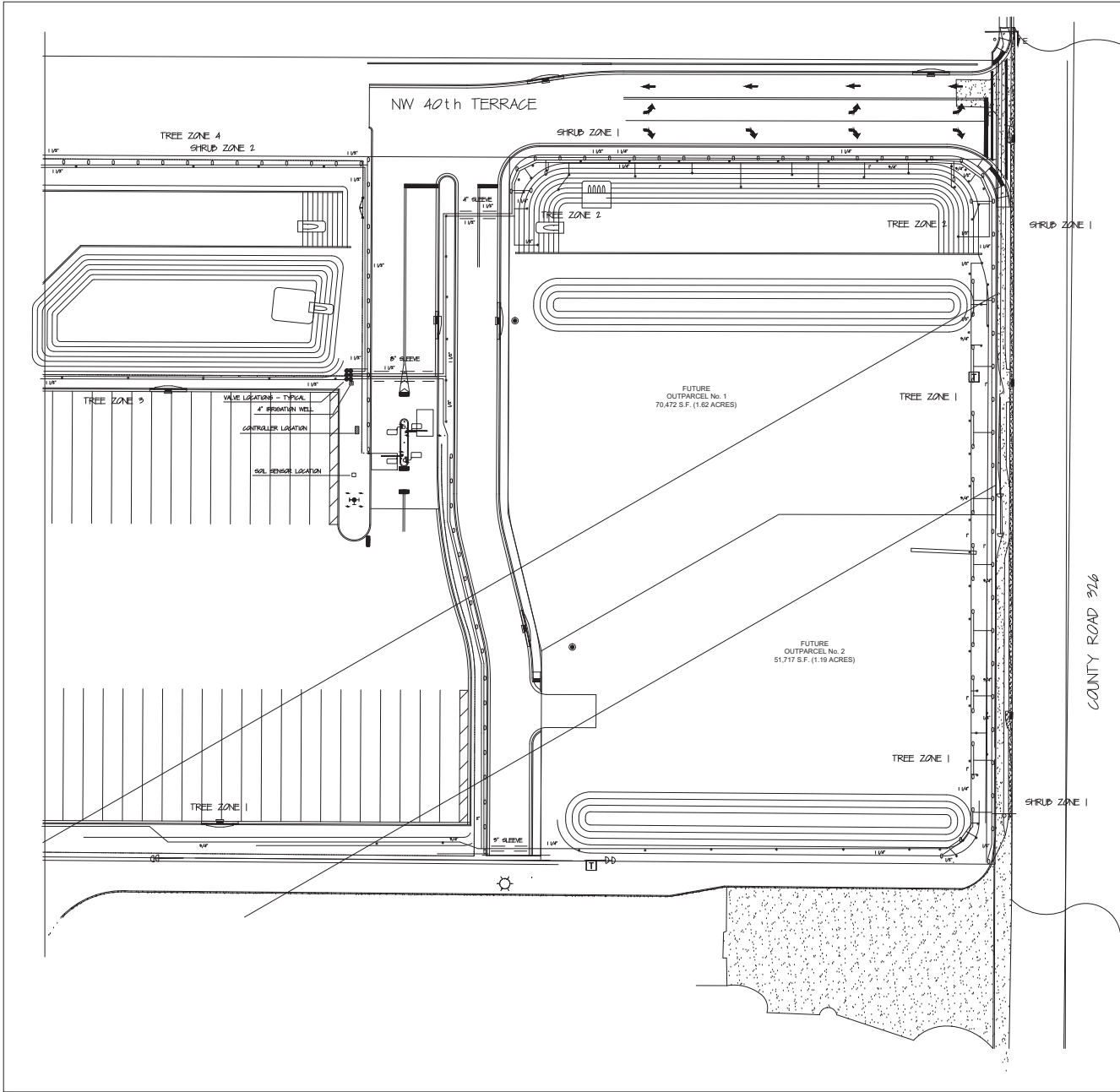
RICHARD A KESSELING JR., PLA, ASLA  
LANDSCAPE ARCHITECT, STATE OF FLORIDA #658

NO.	DATE	DESCRIPTION	RAK	BY
1	8/24	COUNTY COMMENTS		

DATE	9 / 23
DRAWING NO.	
REV NAME	
REV	
REV	
REV	

ENVIRONMENTAL DESIGN ARCHITECT  
1900 SE 8th STREET  
SUITE 100  
GALLA, FLORIDA 34478  
5001 CORAL COAST, COMMERCE-ENVIRONMENTAL DESIGN

LANDSCAPE PLAN - NORTH  
BOWMAN 316  
MARION COUNTY  
FLORIDA



**IRRIGATION LEGEND**

- HUNTER MP 1000 SERIES POP-UP SPRAY HEADS
- ✱ HUNTER FOX SERIES BUNKER HEADS FOR TREES
- SOIL SENSOR LOCATION
- ⊞ 4" IRRIGATION WELL W/ 4" HP PUMP
- ⊞ HUNTER X-CORE (8 STATION) CONTROLLER
- 2" NELSON VALVES IN WATER-RESISTANT BOXES
- == SLEEVING - SCH 40 P.V.C.

**IRRIGATION NOTES**

1. MINOR CHANGES MAY BE MADE IN THIS LAYOUT WITH APPROVAL BY THE LANDSCAPE ARCHITECT
2. ALL HEAD LOCATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION
3. HEADS SHALL BE 1/2, 3/4, OR FULL GROUND AS EACH LOCATION REQUIRES
4. SPRAYS PATTERNS SHALL BE SET TO MINIMIZE SPRAY ONTO ADJACENT WALKS, DRIVES, AND BUILDINGS
5. WATER SOURCE SHALL BE A NEW 4" WELL - IRRIGATION USE ONLY - INSTALLED IN THE GENERAL AREA SHOWN WITH A 4" HP PUMP
6. PRIOR TO ANY INSTALLATION THE IRRIGATION CONTRACTOR SHALL INSPECT THE EXISTING SITE CONDITIONS AND THE PROPOSED LAYOUT. IF THERE ARE ANY QUESTIONS, THEY SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO ANY INSTALLATION. ANY MODIFICATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION.
7. THE OWNER WILL PROVIDE ELECTRICAL SERVICE TO THE WELL SITE
8. THE CONTROLLER SHALL BE LOCATED IN THE GENERAL AREA SHOWN AND SHALL BE MOUNTED AS APPROVED BY THE LANDSCAPE ARCHITECT IN A LOCKABLE CABINET
9. THE OWNER WILL PROVIDE AN ELECTRICAL OUTLET IN THE CONTROLLER AREA
10. ALL VALVES SHALL BE INSTALLED IN WATER-RESISTANT BOXES
11. ALL SLEEVING MUST BE INSTALLED PRIOR TO THE LAYOUTING OF THE PAVED AREAS
12. ALL FEEDER LINES SHALL BE INSTALLED A MINIMUM OF 18" DEEP
13. RAINFALL MANAGEMENT DEVICE SHALL BE INSTALLED TO MANAGE IRRIGATION DURING SUFFICIENT RAINFALL (SHD SERIES). IN ADDITION AN ACCLIMA TDT SENSOR WITH SOIL CONTROL MONITOR MUST BE INSTALLED AS LOCATED BY THE LANDSCAPE ARCHITECT FOR PROPER IRRIGATION AMOUNTS
14. THE ENTIRE SYSTEM MUST BE OPERATIONAL, TESTED, AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
15. THE CONTRACTOR SHALL RETURN WITHIN THE PERIOD 30 DAYS TO ADJUST THE SYSTEM AS NECESSARY AND DIRECTED BY THE LANDSCAPE ARCHITECT
16. ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR 1 YEAR FOR FINAL ACCEPTANCE
17. THE CONTRACTOR MUST PROVIDE AN AS-BUILT DRAWING TO THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
18. MAXIMUM PRESSION DEVICE SHALL BE INSTALLED AT THE WELL PER ALL APPLICABLE CODES
19. SLEEVES MUST BE INSTALLED IN ALL AREAS WHERE IRRIGATION PIPING IS INSTALLED UNDER PAVEMENT
20. ZONES ARE DESIGNED TO FUNCTION AT 50 GPM AND 40 PSI AT THE VALVE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING AT ALL HEADS TO INSURE PROPER PRESSURE AND WATER QUANTITY FOR THE DESIGNED COURSE
21. CONTRACTOR SHALL CONSULT WITH BOTH OWNER AND THE LANDSCAPE ARCHITECT FOR THE TIMING OF THE SYSTEM BASED ON CURRENT WATER RESTRICTIONS
22. SYSTEM DOES NOT PROVIDE SOAK COURSE OF THE ENTIRE PROJECT SITE. CONTRACTOR MUST ADJUST HEADS TO COVER THE NEW TREE AND SHRUB PLANTINGS AS DIRECTED BY THE LANDSCAPE ARCHITECT
23. ALL LINE LOCATIONS MUST BE ADJUSTED ON-SITE TO INSURE THAT THEY DO NOT STRIKE THE MAJOR ROOT SYSTEMS OF THE TREES TO BE PRESERVED
24. ALL IRRIGATION HEADS SHALL BE LOW-VOLUNTARY, WREGO-IRRIGATION TO MINIMIZE WATER CONSUMPTION
25. SET RUN TIMES FOR THE SYSTEM PER RECOMMENDATIONS BY FWS @ EDPS/PAS/ULEL/LE/RESO
26. ON HEADS LOCATED BELOW THE VALVE LOCATIONS, INSOLE CHECK VALVES ARE INSTALLED AT THE HEAD
27. POP-UP HEADS WITHIN 500' AREAS SHALL BE SET AT 4"
28. ALL VALVES SHALL HAVE A FACTORY-INSTALLED "FILTER ENTRY" AND VERIFIED BY CONTRACTOR
29. VERIFY CONTROLLER SET-UP WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
30. ALL IRRIGATION INSTALLATION SHALL MEET 2008 GRASSES AND STANDARDS
31. NO IRRIGATION HEADS SHALL BE INSTALLED ON ROOFS UNLESS SPECIFICALLY NOTED AND DETAILED
32. ALL AS-BUILTS, VERIFICATIONS, ETC. MUST BE SUBMITTED PRIOR TO FINAL INSPECTION AND ACCEPTANCE
33. BUBBLERS AT ALL TREES AND PALMS SHALL BE SITED AT THEIR PROPER LOCATIONS

**MIRRORED NOTES**

1. UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION AND THE ACCEPTANCE OF THE AS-BUILT DRAWING AND OPERATIONAL INFORMATION A FINAL INSPECTION AND LANDSCAPE / IRRIGATION RELEASE SHALL BE SIGNED AND SEALED BY THE IRRIGATION DESIGN PROFESSIONAL AND SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT. ALL REQUIREMENTS OUTLINED IN SECTION 4504 SHALL BE COMPLIED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS
2. ALL REQUIREMENTS IN SECTION 4504 REGARDING SYSTEM INSTALLATION, SCHEDULING, OPERATIONAL AND MAINTENANCE SHALL BE COMPLIED WITH. SYSTEMS SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH FLORIDA REGULATIONS AND RULES FOR PROTECTION OF WATER RESOURCES BY THE FLORIDA YARDS AND NEIGHBORHOOD PROGRAM
3. ALL REQUIREMENTS OUTLINED IN SECTION 4505 REGARDING THE IRRIGATION SCHEDULING SHALL BE COMPLIED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS
4. ALL REQUIREMENTS OUTLINED IN SECTION 4506 REGARDING LICENSING AND CERTIFICATION OF THE IRRIGATION INSTALLATION AND MAINTENANCE PROFESSIONALS SHALL BE COMPLIED WITH
5. NOTES HAVE BEEN DRAWN REGARDING GROUND-WATER REQUIREMENTS (4504 WATERING INSTALLATION (4505 AND INSTALLATION LICENSING REQUIREMENTS (4506)



RICHARD A KESSELING JR., P.L.A., A.S.L.A.  
LANDSCAPE ARCHITECT, STATE OF FLORIDA #958

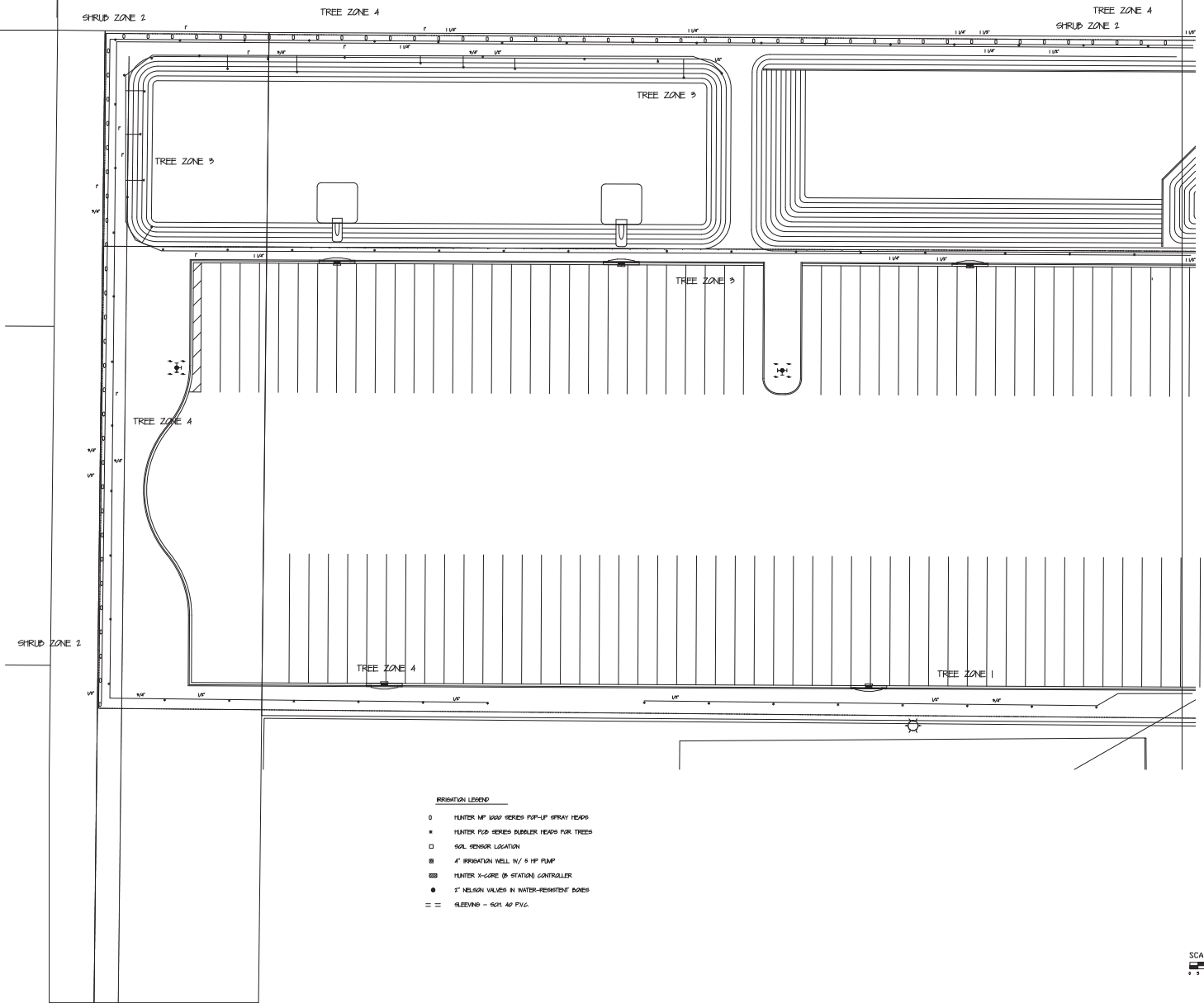
NO.	DATE	DESCRIPTION	BY

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PROJECT NO.:	DATE: 9 / 23

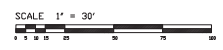
ENVIRONMENTAL DESIGN ARCHITECT  
ANDY KESSELING, LANDSCAPE ARCHITECT  
P.L.A., A.S.L.A.  
1900 SE 8th STREET  
GULF BAY, FLORIDA 33706  
GULF BAY COASTAL ARCHITECTURE, AIR PLANNING, DESIGN  
GOLF COURSE DESIGN, COMMERCIAL, RESIDENTIAL, DESIGN



IRRIGATION PLAN - SOUTH  
BOWMAN 326  
MARION COUNTY  
FLORIDA



- IRRIGATION LEGEND**
- HUNTER MP 1000 SERIES POP-UP SPRAY HEADS
  - HUNTER P20 SERIES BUBBLER HEADS FOR TREES
  - SOIL SENSOR LOCATION
  - 4" IRRIGATION WELL W/ 6 HP PUMP
  - ▨ HUNTER IN-GRADE @ STATION CONTROLLER
  - 2" NELSON VALVES IN WATER-RESISTANT BOXES
  - == SLEEVING - 50% AD P.V.C.




RICHARD A. KESSELING, JR., P.L.A., A.S.L.A.  
 LANDSCAPE ARCHITECT, STATE OF FLORIDA #858

NO.	DATE	DESCRIPTION	BY

DATE:	9 / 23
DRAWING NO.:	
NEW NAME:	
SCALE:	1" = 30'
APP. NO.:	
APP.:	
PK:	

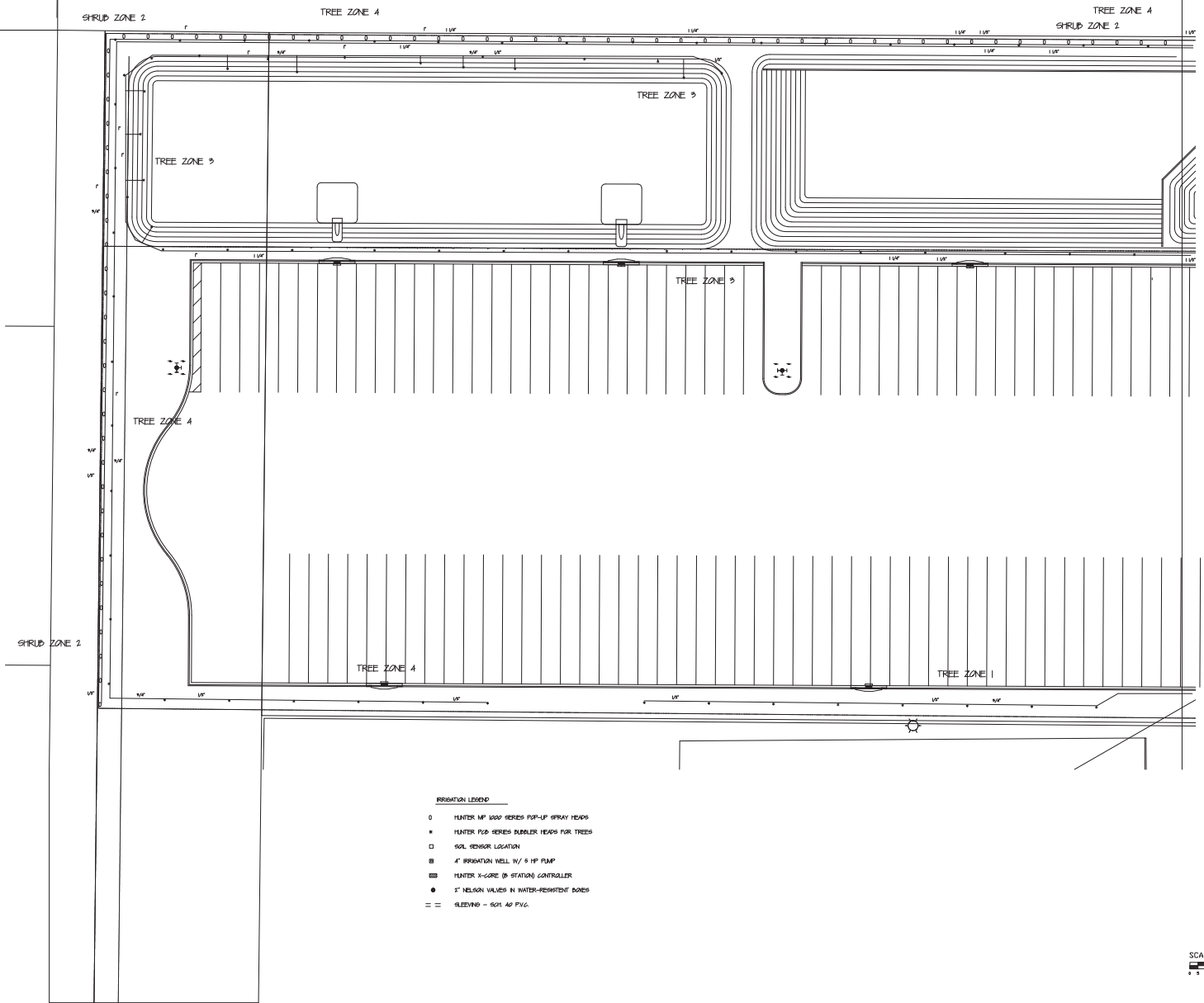
ENVIRONMENTAL DESIGN  
 ANDY KESSELING, LANDSCAPE ARCHITECT  
 1920 SW 36th STREET, SUITE 100, BOCA RATON, FL 33432  
 (561) 993-1111  
 WWW.ANDYKESSELING.COM  
 LANDSCAPE ARCHITECTURE, SITE PLANNING, DESIGN  
 AND CONSTRUCTION MANAGEMENT



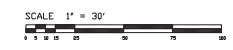
IRRIGATION PLAN - NORTH  
 POMMAN 326  
 MARION COUNTY FLORIDA

SHEET 205 of 205





- IRRIGATION LEGEND**
- HUNTER MP 1000 SERIES POP-UP SPRAY HEADS
  - HUNTER P20 SERIES BUBBLER HEADS FOR TREES
  - SOIL SENSOR LOCATION
  - 4" IRRIGATION WELL W/ 6 HP PUMP
  - ▨ HUNTER IN-GRADE @ STATION CONTROLLER
  - 2" NELSON VALVES IN WATER-RESISTANT BOXES
  - == SLEEVING - 50% AD P.V.C.




RICHARD A. KESSELING, JR., P.L.A., A.S.L.A.  
 LANDSCAPE ARCHITECT, STATE OF FLORIDA #858

NO.	DATE	DESCRIPTION	BY

DATE:	9 / 23
DRAWING NO.:	
NEW NAME:	
SCALE:	1" = 30'
APP. NO.:	
APP.:	
PK:	

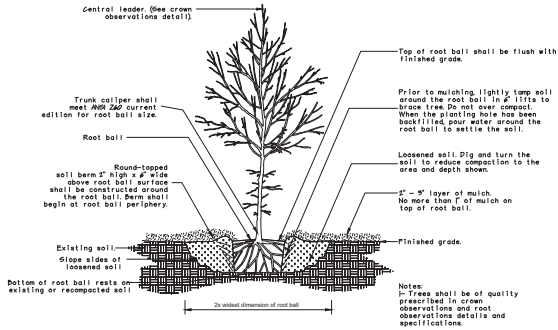
ENVIRONMENTAL DESIGN  
 ANDY KESSELING, LANDSCAPE ARCHITECT  
 1920 SW 36th STREET, SUITE 100, BOCA RATON, FL 33433  
 (561) 993-0111  
 WWW.ANDYKESSELING.COM  
 LANDSCAPE ARCHITECTURE, SITE PLANNING, DESIGN  
 AND CONSTRUCTION MANAGEMENT



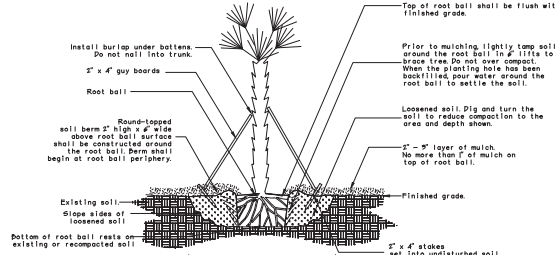
IRRIGATION PLAN - NORTH  
 POMMAN 326  
 MARION COUNTY FLORIDA

SHEET 205 of 205

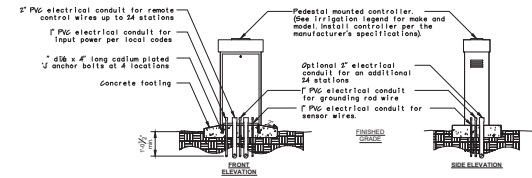




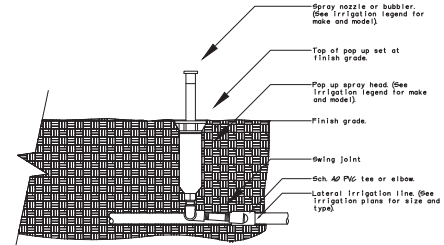
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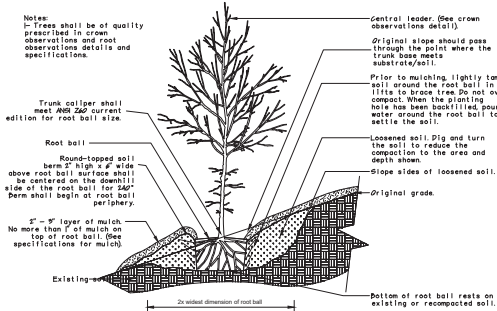
PALM INSTALLATION



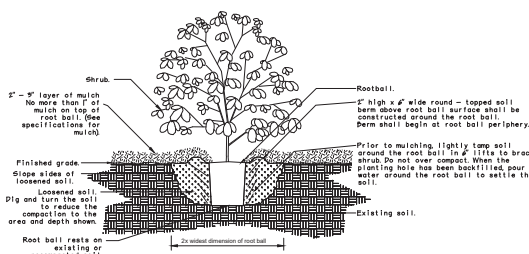
PEDESTAL MOUNTED CONTROLLER



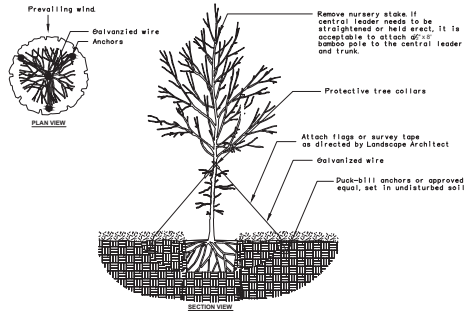
POP UP-SPRAY HEAD



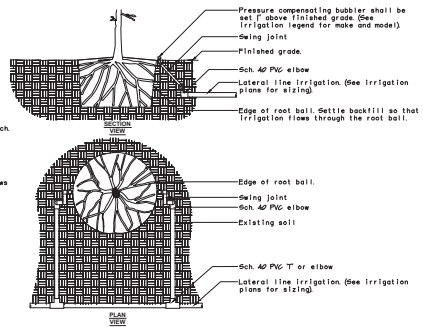
TREE INSTALLATION ON SLOPE



SHRUB INSTALLATION



TREE STAKING - TREES < 2" CALIPER



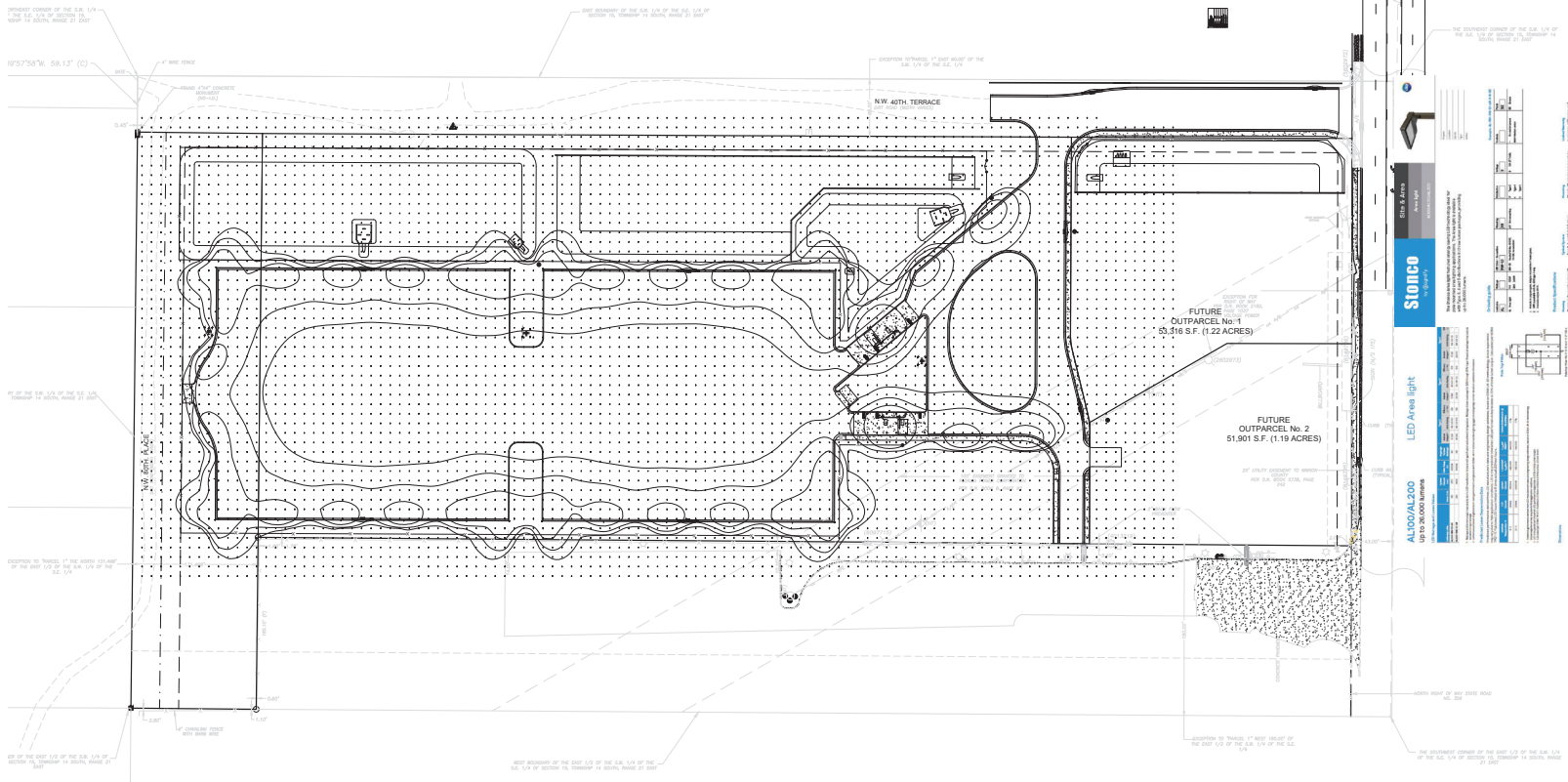
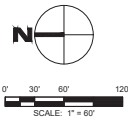
TREE BUBBLER LAYOUT

NO.	DATE	BY/IA	COUNTY COMMENTS	RAK	BY
1					

DATE:	9 / 23
DRAWING NO.:	
REV. NAME:	
FR	AV
SCALE:	1" = 30'
JOB NO.:	

ENVIRONMENTAL DESIGN ARCHITECT  
ANDY KESSELER, LANDSCAPE ARCHITECT  
OSLA, FLORIDA 34148  
(352) 932-8899  
LANDSCAPE ARCHITECTURE, SITE PLANNING,  
GOLF COURSE DESIGN, COMMERCIAL/RESIDENTIAL DESIGN

LANDSCAPE & IRRIGATION DETAILS  
BOWMAN 326  
FLORIDA  
MARION COUNTY



**LED Area light**

**ALDUAL200**  
Up to 20,000 lumens

**SLIOLIC**  
10-100W

**Lighting Schedule**

Item	Description	Quantity	Notes
1	ALDUAL200 LED Area Light	10	10' x 10' x 10'
2	SLIOLIC LED Area Light	10	10' x 10' x 10'
3	Lighting Pole	10	10' x 10' x 10'
4	Lighting Pole	10	10' x 10' x 10'
5	Lighting Pole	10	10' x 10' x 10'
6	Lighting Pole	10	10' x 10' x 10'
7	Lighting Pole	10	10' x 10' x 10'
8	Lighting Pole	10	10' x 10' x 10'
9	Lighting Pole	10	10' x 10' x 10'
10	Lighting Pole	10	10' x 10' x 10'

**Lighting Schedule**

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WILLIAM A. MENADIER  
PROFESSIONAL ENGINEER  
FLORIDA REGISTRATION NO. 74581

REVISION	DATE

William A. Menadier, A/E, P.E.  
www.menadier.com

**WAM MENADIER ENGINEERING**

PO Box 606 | Alachua, Florida 32016 | Ph. (352) 347-5133 | www.menadier.com

IF APPROVED HERE, ACCOMPANY WITH A VALID SIGNATURE. THIS PLAN HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY WILLIAM A. MENADIER, P.E. ON THE DATE NOTED ON THE ELECTRONIC SIGNATURE.

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A MARION COUNTY MAJOR SITE PLAN FOR  
**BOWMAN 326 DEVELOPMENT**  
MARION COUNTY  
*Photometric Plan*

DATE: 2023-01-010  
DATE: 6-28-2024  
SCALE: 1" = 60'

P001