

MARCH 3, 2021

**SUBJECT: INITIAL COMMENTS LETTER**

PROJECT NAME: CAMPUS USA SUMMERFIELD @ HWY 441

PROJECT #2020060062

APPLICATION: MAJOR SITE PLAN #25164

**Met with staff 3/4/21. DRC 3/8/21.**

1. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: Will the project be filing for NPDES permit?
2. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Copy of District Permit (County Interest)  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: Please provide a copy of the District permit modification.
3. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Additional Stormwater comments  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: Applicant is demonstrating conformance to a previously approved plan, which allowed 80% impervious coverage for the commercial outparcels.
4. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: Additional Development Review Comments  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
5. DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.15.3 - Fire Protection/Fire Flow Capacity  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: defer to MCFR
6. DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.15.6.G & H - Meter Sizing  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: Meter sizing may be subject to change depending on final ERC calculation.

7. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.8.8 - Building landscaping  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: Shade should not be planted within 20' of buildings, please confirm distance between building and trees shown
8. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 2.12.13/14/15 - General Exhibits  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: Please include the General Map Exhibits.
9. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.8 - Stormwater Conveyance Criteria  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: Please provide a demonstration that conveyance can be achieved at the 25 year, 24 hour storm utilizing an approved tailwater condition. Please see original pipe calcs with ERP 26719-8.
10. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.B(5) - Hydraulic Analysis  
**STATUS OF REVIEW: ENGINEER WILL COMPLY - POSSIBLE WAIVER FOR ITEM 2**  
REMARKS: 1) It appears the building drainage is proposed to be piped to existing inlet S-8. And the majority of the parking lot will drain to the road and into inlet S-9. Please delineate the sub-basins to these two inlets. You will need to demonstrate that the proposed drainage to these inlets conforms with the previously approved plan. 2) Please provide a demonstration that conveyance can be achieved with the new pipe connection to S-8. You will need to utilize a tailwater condition that is consistent with the previously approved plan.
11. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.8.B(3) - Lane Spread Calculations  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: If directing site drainage to SW 109th Terrace as shown, you will need to provide lane spread calculations that meet LDC.
12. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.8.B(7) - Minimum Pipe Size  
**STATUS OF REVIEW: WAIVER REQUESTED. STAFF SUPPORTS SUBJECT TO PROVIDING SUPPORTING CALCULATIONS**  
REMARKS: Minimum 18" pipe required.

**LDC 6.13.8.B(7) - Minimum Stormwater Pipe Size**

CODE states stormwater conveyance pipes and cross culverts shall be a minimum of 18 inches diameter or equivalent. Driveway culverts shall be a minimum of 15 inches diameter or equivalent for residential use and a minimum of 18 inches diameter or equivalent for commercial use. Roof drains, prior to connection to the overall stormwater system, are exempt from minimum diameter requirements.

APPLICANT requests waiver for the use of 12 inch pipe as a substitute to the 18 inch pipe required by Code based on the limited hydraulic demand in this section of the stormwater pipe system. The 12 inch pipe's ability to properly convey runoff will be supported by calculations included in the next submittal.

13. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
 REVIEW ITEM: 6.13.2.A(5) - Existing/Proposed Stormwater Structures  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
 REMARKS: Please provide a detail or a reference to a detail for the proposed 18" yard drains.
14. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
 REVIEW ITEM: 6.13.2.A(12)/6.12.5 - Stormwater Details, Cross Sections, References  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
 REMARKS: Subject parcel is 6200-102-003. Please update Stormwater Memo.
15. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
 REVIEW ITEM: 6.13.12 - Operation and Maintenance  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
 REMARKS: Please provide an O&M document that address maintenance of the on-site stormwater elements of the site.
16. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
 REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
 REMARKS: Stormwater Memo and pipe calculations will need to be signed and sealed.
17. DEPARTMENT: ENGTRF - TRAFFIC REVIEW  
 REVIEW ITEM: 6.11.5 - Driveway access  
**STATUS OF REVIEW: WAIVER REQUESTED. STAFF SUPPORTS.**  
 REMARKS: 02/19/21 - 1. Commercial driveways are required to be 24 feet wide at the right-of-way line. 2. The driveways don't meet spacing requirements. A waiver is needed and supported by staff.

**LDC 6.11.5.C(1) - Driveway Spacing**

CODE states the minimum allowed distance between a commercial driveway and the nearest intersecting roadway or driveway shall be as shown in Table 6.11-2 and 6.11-3. APPLICANT requests waiver allowing the driveway spacing currently shown on the construction plans as the proposed development is unable to meet driveway spacing requirements.

18. DEPARTMENT: ENGTRF - TRAFFIC REVIEW  
 REVIEW ITEM: 6.12.12 - Sidewalks  
**STATUS OF REVIEW: WAIVER REQUESTED. STAFF SUPPORTS.**  
 REMARKS: 02/19/21 - Sidewalk is required along US 441 and SE 109th Terrace. Staff supports payment of a fee in-lieu of construction. If approved by the DRC, the fee for the comes out to \$6,283.00 and must be paid prior to final plan approval.

**LDC 6.12.12.D - Sidewalk Fee**

CODE states at the discretion of the Development Review Committee, in lieu of construction along external streets, the developer may pay a sidewalk fee to the County in an amount necessary to complete construction. APPLICANT requests waiver to pay a fee in-lieu-of sidewalk construction.

19. DEPARTMENT: ENGTRF - TRAFFIC REVIEW  
REVIEW ITEM: Additional Traffic comments  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: 02/19/21 - The drive aisle behind the 90 degree angle parking is required to be 24 feet wide and the drive aisle behind the 60 degree angle parking is required to be 18 feet wide.
20. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.21.2.B - Major Site Plan fee of \$250.00 + (\$5.00 x total site acreage) made payable to Marion County BCC  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: 3/2/21 - Due with resubmittal
21. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: 3/2/21 - Update waivers after DRC
22. DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.4 - Water (potable) Capital Charges and Flow Rates - proposed use identified to calculate  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: NO - Potable water and sewer capital charges are determined by LDC 6.14.4 - correct (or remove) table on Sheet C013 using fixture units to calculate ERCs.  
INFO - Capital Charges will be required to be paid prior to release of permit, and account setup through permitting by a Billing Specialist. Please submit interior floorplan and Capital Charges worksheet to Carrie.Hyde@MarionCountyFL.org ASAP to expedite (will not hold up this plan review but may delay permitting).
23. DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.4 - Water (irrigation) Capital Charges and Flow Rates - total irrigated area identified  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: Irrigation capital charges for commercial use are based on total SF of irrigated area; add this info to C013 or landscape area table on LS-1 (either/both).
24. DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: \$130; can be submitted any time; amount will not change.
25. DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW  
REVIEW ITEM: 2.12.4.L(2,3, & 5)/6.3.1C(15)(g) - DRI/FQD Compliance Note?  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: Revise the plan to add the following advisory note:  
"DEVELOPMENT OF THE PROPERTY AS SHOWN ON THIS SITE PLAN IS SUBJECT TO THE TERMS AND CONDITIONS OF THE STONECREST DEVELOPMENT OF REGIONAL IMPACT (DRI) DEVELOPMENT ORDER, AS MAY BE AMENDED FROM TIME TO TIME, INCLUDING PROVISIONS REGARDING THE CONCURRENCY OF PUBLIC FACILITIES, AND THE ALLOCATION OF USES AS SPECIFIED IN THE STONECREST DRI BUILT-OUT AGREEMENT RECORDED AT OR BOOK/PAGE: 6599/134-150."

26. DEPARTMENT: 911 - 911 MANAGEMENT  
REVIEW ITEM: 2.12.28 - Correct road names supplied  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: Sheets – C005, C006, C007, C009, C013, P1 and Survey 1 of 1 have both road names incorrect: “US Highway 27 & 441” should be “S US Hwy 441” and SE 109th Terrace should be “SE 109th Terrace Rd.” LS-2 “US HWY 27/441 should be “S US HWY 441”.
27. DEPARTMENT: ENGSUR - SURVEY REVIEW  
REVIEW ITEM: 6.4.7.B(2) - Horizontal control points shall be monumented and referenced to the Florida State Plane Coordinate System  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: Please reference horizontal control to the State Plane Coordinate System.
28. DEPARTMENT: ENGSUR - SURVEY REVIEW  
REVIEW ITEM: 6.4.7.B(4) - Provide a statement or table detailing horizontal datum, adjustment, and coordinate values  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: Please provide.
29. DEPARTMENT: ENGSUR - SURVEY REVIEW  
REVIEW ITEM: 2.12.32 - Provide site analysis map depicting the existing (100-year) flood plain  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: Please provide.
30. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.7.4 - Shade tree requirements  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: Provide shade tree calculations
31. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes)  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: Provide native designations and calculations
32. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.8.6 - Buffers  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: Provide square footage of shrubs and groundcovers to meet 50% requirement
33. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.8.12 - Landscape completion inspection requirements  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: Provide note from this section of code
34. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.9.2 - Irrigation plan requirements (details, legend, notes)  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: Submit irrigation plan

35. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.9.3 - Irrigation design standards  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: Submit irrigation plan
36. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.9.5 - Irrigation system installation  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: Submit irrigation plan
37. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.9.6 - Completion inspection requirements  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: Provide note from this section of code
38. DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 2.12.32 - Show 100yr flood zone  
**STATUS OF REVIEW: ENGINEER WILL COMPLY**  
REMARKS: Please add comment regarding FEMA designated flood zone. Include panel number (0905D) and zone (X).



**Marion County  
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Date: 03/04/2021 Parcel Number(s): 6200-102-003 Permit Number: 2020060062  
mm/dd/yyyy

**A. PROJECT INFORMATION:** Fill in below as applicable:

Project Name: Campus USA Summerfield Commercial  or Residential   
Subdivision Name (if applicable): N/A  
Unit N/A Block N/A Lot N/A

**B. PROPERTY OWNER'S AUTHORIZATION:** Attach a letter from the owner(s) or the owner(s) may sign below authorizing the applicant to act on the owner's behalf for this waiver request:

Property Owner's Name (print): \_\_\_\_\_  
Property Owner's Signature: \_\_\_\_\_  
Property Owner's Mailing Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_ Phone #: \_\_\_\_\_

**C. APPLICANT INFORMATION:** The applicant will be the point of contact during this waiver process and will receive correspondence.

Firm Name (if applicable): CHW, Inc. Contact Name: Daniel Young, P.E.  
Mailing Address: 11801 Research Drive City: Alachua State: FL Zip Code: 32615  
Phone # (352) 331-1976 Alternate Phone #: \_\_\_\_\_  
Email address: daniely@chw-inc.com

**D. WAIVER INFORMATION:**

Section & Title of Code: 6.12.12 - Sidewalks  
Reason/Justification for Waiver Request: D - "the developer may pay a sidewalk fee to the County in an amount necessary to complete construction". The applicant requests to pay a fee in lieu of sidewalk construction.

**DEVELOPMENT REVIEW USE:**

Received By: \_\_\_\_\_ Date Processed: \_\_\_\_\_ Project # \_\_\_\_\_ AR # \_\_\_\_\_

**ZONING USE:** Parcel of record: Yes  No  Eligible to apply for Family Division: Yes  No   
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ P.O.M. \_\_\_\_\_ Must Vacate Plat: Yes  No   
Land Use: \_\_\_\_\_ Date: \_\_\_\_\_ Verified by: \_\_\_\_\_

Revised 5/2017



**Marion County  
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Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Section & Title of Code: 6.13.8 B(7) - Minimum Pipe Size  
Reason/Justification for Waiver Request: Based on the limited hydraulic demand in this section of the stormwater pipe system, a waiver is proposed for the use of 12" pipe as a substitute to the 18" pipe required by code. The 12" pipe's ability to properly convey runoff will be supported by calculations included in the next submittal.

Section & Title of Code: 6.11.5 - Driveway Spacing  
Reason/Justification for Waiver Request: The proposed development is unable to meet driveway spacing requirements. Therefore, we are requesting a waiver allowing the driveway spacing currently shown in construction plans.

Section & Title of Code: \_\_\_\_\_  
Reason/Justification for Waiver Request: \_\_\_\_\_

Section & Title of Code: \_\_\_\_\_  
Reason/Justification for Waiver Request: \_\_\_\_\_

Section & Title of Code: \_\_\_\_\_  
Reason/Justification for Waiver Request: \_\_\_\_\_

Section & Title of Code: \_\_\_\_\_  
Reason/Justification for Waiver Request: \_\_\_\_\_

Revised 7/2017

**CAMPUS USA SUMMERFIELD - MAJOR SITE PLAN**  
**STONECREST CENTER PHASE 1 BLK B LOT 3**  
Project #2020060062 #25164 Parcel #6200-102-003  
CHW



# CONSTRUCTION/MAJOR SITE PLAN

## FOR CAMPUS USA SUMMERFIELD MARION COUNTY, FLORIDA

### SECTION 34, TOWNSHIP 17 SOUTH, RANGE 23 EAST

SUBMITTED TO

## MARION COUNTY ST. JOHNS RIVER WATER MANAGEMENT DISTRICT FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

#### DEVELOPER

DOUG WILCOX, PRESIDENT  
SCHERER CONSTRUCTION OF N. FLORIDA  
2504 NW 71ST PLACE  
GAINESVILLE, FL 32653  
(352) 371-1417

#### OWNER

JEFF THIEMAN, CHIEF OPERATING OFFICER  
CAMPUS USA CREDIT UNION  
P.O. BOX 147029  
GAINESVILLE, FL 32614  
(352) 335-9090  
  
I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND  
ASSIGNS SHALL PERPETUALLY MAINTAIN THE  
IMPROVEMENTS AS SHOWN ON THE PLAN.

DOUG WILCOX, PRESIDENT

JEFF THIEMAN, CHIEF OPERATING OFFICER

#### SURVEYOR OF RECORD

MARTIN G. DARDIS, P.L.S.  
CHW  
101 NE 1ST AVENUE  
OCALA, FL 34470  
(352) 331-1976

#### ENGINEER OF RECORD

DANIEL H. YOUNG, P.E.  
CHW  
101 NE 1ST AVENUE  
OCALA, FL 34470  
(352) 331-1976

#### LANDSCAPE ARCHITECT PHOTOMETRIC CONSULTANT

CAELI TOLAR, P.L.A.  
CHW  
101 NE 1ST AVENUE  
OCALA, FL 34470  
(352) 331-1976

BILL STORMANT, P.E.  
5304 NW 173 ST.  
ALACHUA, FL 32615  
stormantwt@cox.net

#### GENERAL NOTES

- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE.

- THIS PROJECT IS LOCATED IN THE COUNTY SECONDARY SPRINGS PROTECTION ZONE (SPZ).  
NOTE: THE SITE DESIGN COMPLIES WITH THE COUNTY SECONDARY SPRINGS SPZ DESIGN REQUIREMENTS.

- THERE ARE NO COMMON AREAS ASSOCIATED WITH THE DEVELOPMENT OF THE SITE.

- NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER AND EOR.

- THIS PROPOSED PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPETITION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.

#### REQUESTED DRC WAIVERS

6.12.12 D - SIDEWALK FEE IN LIEU OF CONSTRUCTING

#### DEVELOPMENT DATA

ZONING: PUD	
FLU: COM	
	ON-SITE
DEVELOPMENT AREA:	48,990 S.F. 1.12 AC
BUILDING AREA	4,345 S.F. 8.8%
ROADS/CURB/CONCRETE:	21,440 S.F. 43.8%
IMPERVIOUS AREA:	25,785 S.F. 52.6%
OPEN SPACE:	23,205 S.F. 47.4%
PARKING SPACES:	22
MAX BUILDING HEIGHT:	LESS THAN 20 FEET
TAX PARCEL:	#6200-102-003

#### TRAFFIC STATEMENT:

PROPOSED LAND USE	ITE LU	AREA	AADT	AM PEAK	PM PEAK
DRIVE IN BANK	912	4,345 S.F.	325	29	58

1.) BASED ON ITE 10TH EDITION AND GROSS BUILDING SQUARE FOOTAGE.

PARKING CALCULATION: 4,345 SF AT 1 SPACE PER 300 SF = 15 SPACES REQUIRED. 22 PARKING SPACES PROVIDED.

REQUIRED 1 HANDICAP SPACES; PROVIDED 2 HANDICAP SPACES

#### ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDR), EXCEPT AS WAIVED:

DANIEL H. YOUNG  
FL PE NO. 70780

#### SURVEYOR'S CERTIFICATION

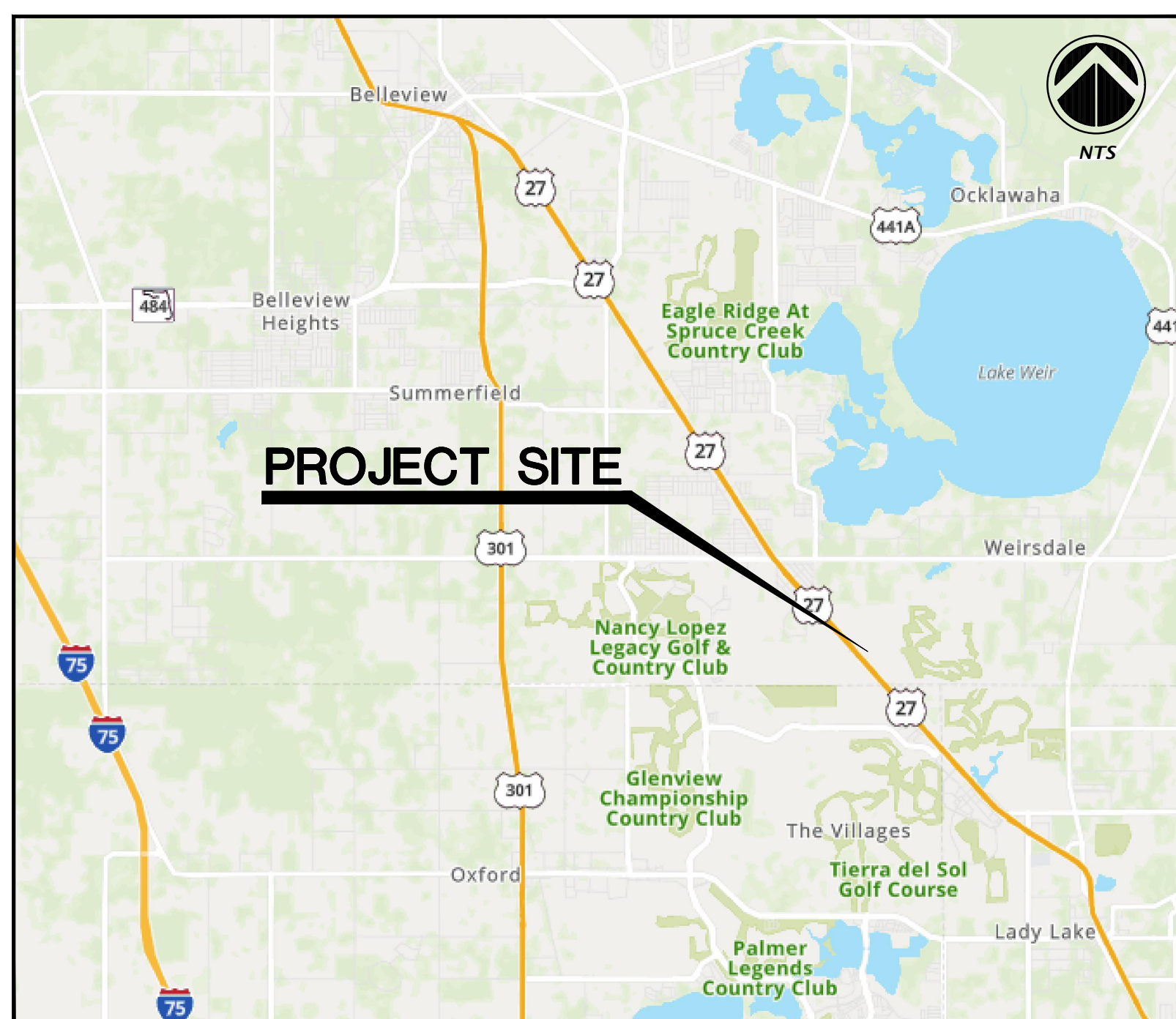
I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENT OF THE LDC AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS;

MARTIN G. DARDIS  
FL PLS NO. 5097

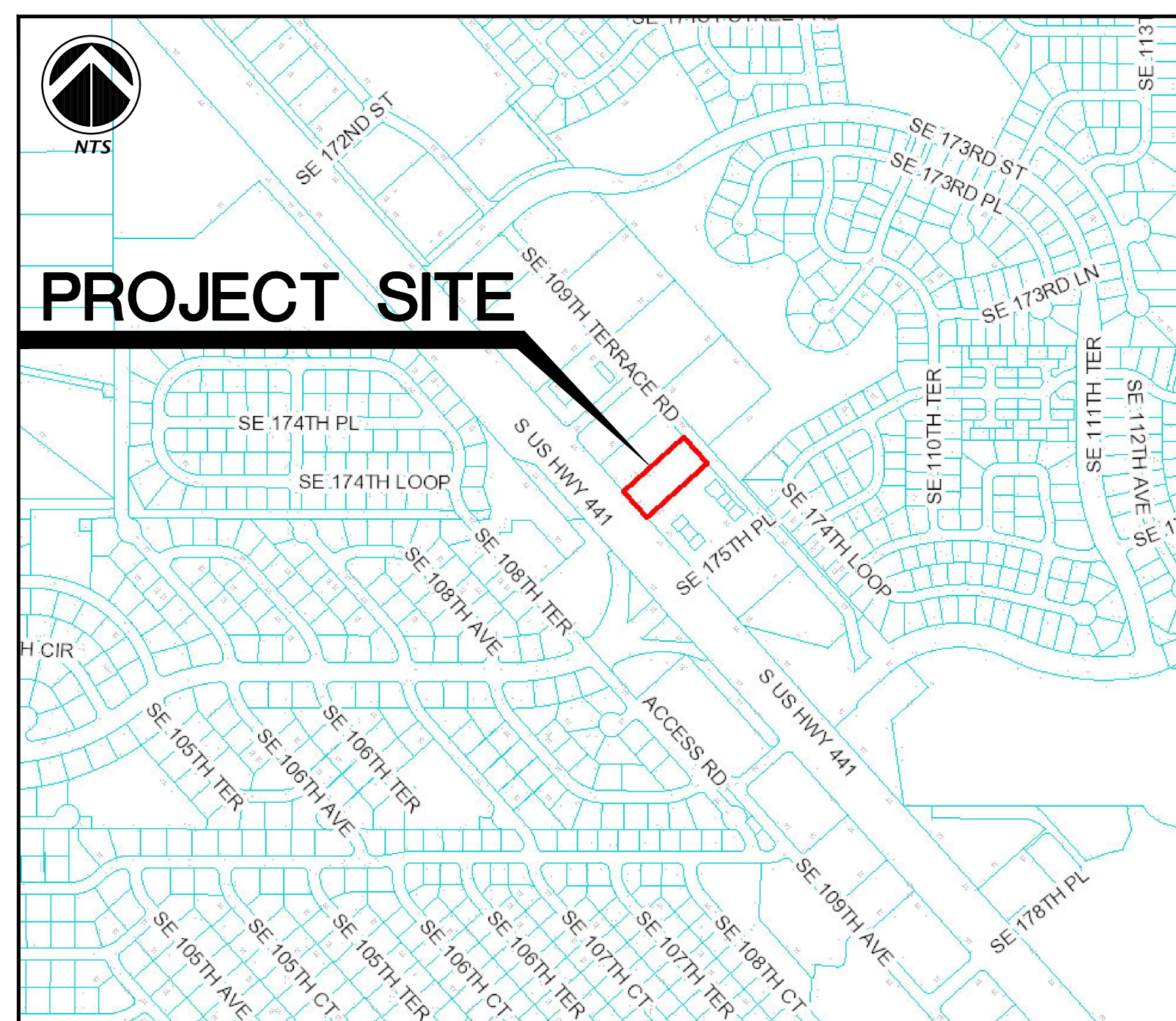
**BEFORE YOU DIG !**  
CALL SUNSHINE STATE ONE CALL OF FLORIDA  
AT LEAST TWO FULL BUSINESS DAYS BEFORE  
DIGGING OR DISTURBING EARTH



**811**  
Know what's below.  
Call before you dig.  
1-800-432-4770



VICINITY MAP



LOCATION MAP

#### SHEET INDEX

SHEET NUMBER	DESCRIPTION
C001	COVER SHEET AND INDEX
1 OF 1	BOUNDARY AND TOPOGRAPHIC SURVEY
C002	GENERAL NOTES
C003	LEGEND
C004	STORMWATER POLLUTION PREVENTION NOTES
C005	STORMWATER POLLUTION PREVENTION PLAN AND DETAILS
C006	DEMOLITION PLAN
C007	DETAILED HORIZONTAL CONTROL AND SITE PLAN
C008	ACCESSIBLE SITE PLAN
C009	DETAILED GRADING AND DRAINAGE PLAN
C010 - C012	CONSTRUCTION DETAILS
C013	DETAILED UTILITY PLAN
LS-1	LANDSCAPE SCHEDULE, CALCULATIONS AND NOTES
LS-2	LANDSCAPE PLAN
P1	PHOTOMETRIC PLAN
A0.1	ARCHITECTURE FLOOR PLAN
A0.2	ARCHITECTURE ELEVATIONS

101 NE 1st Avenue  
Ocala, Florida 34470  
www.chw-inc.com  
est. 1988 FLORIDA  
CA-5075

**CHW**  
Professional Consultants

SCALE: N/A  
VERTICAL SCALE ON ORIGINAL DRAWING: 1" = 10' (SEE NOTES ON THIS SHEET, ADJUST SCALES ACCORDINGLY.)

REVISIONS:

DATE: 02/16/21 MARION COUNTY, SIMMONS & FOOT

CITY: SCHERER CONSTRUCTION OF N. FLORIDA PROJECT: CAMPUS USA SUMMERFIELD SHEET TITLE: COVER SHEET AND INDEX SHEET NUMBER: 20-0127

DESIGNER: T.E. COWART CHECKER: C. MENHENNETT, E.L. PROJECT NUMBER: D.H. YOUNG, P.E.

DANIEL H. YOUNG

FL PE No. 70780

SHEET NO. C001

## GENERAL NOTES

1. THE TOPOGRAPHIC AND EXISTING INFORMATION SHOWN HEREON WERE TAKEN FROM A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY CHW, AND DATED JUNE 11, 2020.
2. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. THE RESPECTIVE UTILITY COMPANIES SHALL RELOCATE ALL UTILITIES THAT INTERFERE WITH THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANIES DURING THE RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE CAUSED TO THE CONTRACTOR BY THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
3. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE APPROPRIATE UTILITY COMPANIES IN ORDER TO ALLOW MARKING OF THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES IN ADVANCE OF CONSTRUCTION BY CALLING THE FLORIDA SUNSHINE STATE ONE-CALL CENTER, INC. AT 1-800-432-4770 OR 811. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "SUNSHINE" 48 HOURS PRIOR TO ANY CLEARING OF CONSTRUCTION TO IDENTIFY ALL UTILITY LOCATIONS. NO CONSTRUCTION ACTIVITY MAY OCCUR UNTIL THE UTILITIES HAVE BEEN PROPERLY MARKED.
4. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL LOCATION AND VERTICAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF THE PROJECT ENVELOPE SHOWN PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL CALL ALL UTILITY COMPANIES TO HAVE THE LOCATIONS OF ALL UTILITIES FIELD MARKED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUING CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
6. ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS BEFORE COMMENCING CONSTRUCTION WORK, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
7. ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK INCLUDING LANDSCAPING.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY AND/OR MUNICIPALITY INSTRUCTIONS.
9. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND SHALL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPES ARE BEING PLACED. DEWATERING SHALL BE USED AS REQUIRED, AND PERMITTED THROUGH LOCAL GOVERNMENTAL AGENCIES AND WATER MANAGEMENT DISTRICT PER CURRENT REGULATIONS AT THE SOLE COST OF THE CONTRACTOR.
11. CONTRACTOR TO REVIEW GEOTECHNICAL REPORT AND BORINGS PRIOR TO BIDDING THE PROJECT AND FOLLOW OUTLINED CONSTRUCTION TECHNIQUES.
12. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SERVICES OF AN APPROVED TESTING LABORATORY AND/OR SOILS ENGINEER, APPLICABLE REGULATORY AGENCIES, AND AS MAY BE FOUND IN THE ENGINEERING CONSTRUCTION DRAWINGS OR SPECIFICATIONS. CONTRACTOR TO VERIFY ALL TESTING WITH THE OWNER PRIOR TO COMMENCING CONSTRUCTION. UPON COMPLETION OF THE WORK, THE TESTING LABORATORY AND/OR SOILS ENGINEER MUST SUBMIT TO THE OWNER'S ENGINEER CERTIFICATIONS STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
13. INSTALL SILT FENCE PRIOR TO SITE DEMOLITION OR NEW SITE CONSTRUCTION. INSTALL SILT FENCE PER FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL AND PROVIDE TOE-IN. THE CONTRACTOR SHALL MAINTAIN THE SILT FENCE IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. THE PROJECT SILT FENCE SHALL BE INSPECTED DAILY AND ANY CORRECTIVE MEASURES SHALL BE COMPLETED WITHIN 24 HOURS.
14. ALL TREE BARRICADES AND SILT FENCING SHALL BE INSTALLED AND INSPECTED BY MARION COUNTY PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR CONSTRUCTION ACTIVITIES.
15. THE CONTRACTOR IS TO PREPARE THE SITE PRIOR TO BEGINNING ACTUAL CONSTRUCTION IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
16. ALL DELETERIOUS MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER'S ENGINEER OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED AND REMOVED FROM THE SITE. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE AREAS.
17. CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS SHALL BE SODDED, SEEDED, MULCHED, OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL, AS DIRECTED BY THESE PLANS, IMMEDIATELY FOLLOWING CONSTRUCTION PER LOCAL INSPECTOR.
18. WORK BEING PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON THE SITE BY OTHER CONTRACTORS AND/OR UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES.
19. ALL PAVEMENT DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
20. THE GOVERNING STANDARDS AND SPECIFICATIONS, UNLESS STATED OTHERWISE SHALL BE PER FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD PLANS (FY 2020-21 ROAD CONSTRUCTION), AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION DATED JANUARY 2021, AS AMENDED BY CONTRACT DOCUMENTS. ALL MATERIALS AND METHODS SHALL MEET FDOT SPECIFICATIONS AND SHALL BE PRODUCED OR OBTAINED FROM AN FDOT APPROVED SOURCE.
21. ALL NEW TRAFFIC CONTROL DEVICES (SIGNS AND PAVEMENT MARKINGS) SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FDOT STANDARDS.
22. ALL STRIPING WITHIN THE COUNTY RIGHT OF WAY SHALL BE PLACED FIRST AS TEMPORARY STRIPING FOLLOWED BY APPLICATION OF THERMOPLASTIC STRIPING 30 DAYS LATER.
23. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PROPER BENCHMARKS ON-SITE. EXISTING BENCH MARKS SCHEDULED FOR REMOVAL SHALL BE RELOCATED AT CONTRACTORS EXPENSE AND RE-ESTABLISHED BY A LICENSED SURVEYOR.
24. ALL HANDICAP RAMPS SHALL COMPLY WITH THE FLORIDA ACCESSIBILITY CODE AND AMERICANS WITH DISABILITIES ACT.
25. A PRE-CONSTRUCTION CONFERENCE SHALL BE REQUIRED. THE CONTRACTOR, ENGINEER OF RECORD, AND THE OWNER SHALL MEET WITH MARION COUNTY PRIOR TO INITIATION OF SITE CONSTRUCTION.
26. ANY CHANGE ORDER REQUESTS, SITE REVISIONS, AND PAY REQUESTS MUST BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD.
27. CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING AS NEEDED THROUGHOUT ALL CONSTRUCTION ACTIVITIES COVERED BY THESE PLANS. DEWATERING SHALL BE DONE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS, JANUARY 2021 EDITION, SECTION 120.
28. THE CONTRACTOR IS RESPONSIBLE FOR THE PERFORMANCE AND COST OF ALL CLEARING AND GRUBBING AND ALL WORK OF REMOVAL, DISPOSAL, AND REPAIR OR REPLACEMENT OF EXISTING IMPROVEMENTS WHERE SHOWN IN THE PLANS, OR ORDERED BY THE ENGINEER TO BE REMOVED, OR WHERE REQUIRED BECAUSE OF THE CONSTRUCTION OPERATIONS, IN ORDER TO CONSTRUCT THE PROPOSED IMPROVEMENTS (THIS INCLUDES BUT IS NOT LIMITED TO PROPOSED PIPING, STRUCTURES, UTILITIES, PAVING, CURBING, ETC.).
29. AN AS-BUILT SURVEY MAY BE REQUIRED BY REGULATORY AGENCIES. CONTRACTOR TO COORDINATE WITH PROJECT OWNER FOR COMPLETION OF AS-BUILT SURVEYS PRIOR TO PROJECT / PERMIT CLOSE-OUT.

## MAINTENANCE OF TRAFFIC (MOT) NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR CREATING A MAINTENANCE OF TRAFFIC (MOT) PLAN FOR CONSTRUCTION ACTIVITY THAT OCCURS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO SIDEWALK WORK AND ACTIVITIES THAT REQUIRE A LANE OR ROAD CLOSURE, SUCH AS CONNECTION TO SEWER MANHOLES AND WATER MAINS. THE MOT PLAN MUST BE CREATED BY A REGISTERED PROFESSIONAL ENGINEER WHO IS CERTIFIED TO DO SO BY THE FDOT MOT CERTIFICATION TRAINING. THE MOT PLAN MUST ALSO BE IN ACCORDANCE WITH FDOT STANDARDS PLANS AND FDOT STANDARD SPECIFICATIONS REQUIREMENTS AND MUST BE REVIEWED AND APPROVED BY MARION COUNTY.
2. THE CONTRACTOR SHALL SUBMIT THE MOT TO THE APPROPRIATE REGULATORY AUTHORITY PRIOR TO WORK REQUIRING THE MOT FOR APPROVAL. NO WORK IN THE ROW SHALL OCCUR UNTIL THE MOT IS APPROVED.

## DEMOLITION GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ALL DEMOLITION MATERIALS IN A SAFE AND LAWFUL MANNER. THE CONTRACTOR SHALL SALVAGE TO THE OWNER ANY ITEM AS DETERMINED BY THE OWNER. ONCE DEMOLISHED, MATERIAL SHALL BE DISPOSED OF PROPERLY AND IMMEDIATELY.
2. REMOVE ALL IMPROVEMENTS DEFINED ON THE DEMOLITION PLAN. SALVAGE ITEMS TO OWNER AS DEFINED BY THE OWNER'S REPRESENTATIVE AND CONSTRUCTION DOCUMENT SPECIFICATIONS.
3. EXISTING PAVEMENT AND SIDEWALK EDGES THAT BORDER NEW CONSTRUCTION OR DEMOLITION ARE TO BE SAW-CUT TO PROVIDE A SMOOTH TRANSITION.
4. ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED.
5. ROOTS LARGER THAN 1 INCH IN DIAMETER ON TREES TO BE PRESERVED THAT ARE ENCOUNTERED DURING CONSTRUCTION MUST BE CUT CLEANLY AND COVERED OVER WITH SOIL BY THE END OF THE WORKING DAY.
6. ALL ASPHALT AND LIMEROCK WILL BE COMPLETELY REMOVED FROM AREAS THAT WILL BE LANDSCAPED. IN PARTICULAR, AREAS WHERE ASPHALT WILL BE REMOVED MUST HAVE THE TOP HARD SURFACE, LIMEROCK, AND COMPACTED SOIL REMOVED. REPLACEMENT SOIL SHALL BE CLEAN DEEP FILL OF PH 5.5 - 6.5. THE DEPTH OF UNCOMPACTED SOIL PRIOR TO PLANTING MUST BE AT LEAST 3 FEET TO ACCOMMODATE FUTURE TREE ROOT GROWTH. NO LIMEROCK, LARGE STONES, OR OTHER CONSTRUCTION DEBRIS CAN REMAIN IN AREAS TO BE LANDSCAPED.

## PAVING, GRADING, AND DRAINAGE GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL PRACTICES DURING CONSTRUCTION TO MINIMIZE ON-SITE EROSION/SEDIMENTATION AND TO PROTECT AGAINST DAMAGE TO OFF SITE PROPERTY. THE FOLLOWING PRACTICES SHALL BE EMPLOYED:
  - A. EROSION AND SEDIMENTATION CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AREAS OF OFF-SITE DISCHARGE DURING CONSTRUCTION SHALL BE PROTECTED WITH A SEDIMENT BARRIER PER FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL TO PREVENT OFF-SITE DISCHARGE OF SEDIMENTS. A SILT BARRIER SHALL SPECIFICALLY BE REQUIRED, CONSTRUCTED, AND MAINTAINED AS INDICATED ON THIS SHEET. TEMPORARY SEED AND MULCH SHOULD BE USED TO CONTROL ON-SITE EROSION WHEN IT IS NOT PRACTICAL TO ESTABLISH PERMANENT VEGETATION. SOD SHALL BE PLACED AS EARLY AS POSSIBLE ON ALL SLOPES STEEPER THAN 5 (FT) HORIZONTAL TO 1 (FT) VERTICAL. SOD SHALL BE PINNED AS REQUIRED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. THE CONTRACTOR SHALL INSPECT AND REPAIR AS NECESSARY THE EROSION/SEDIMENTATION PROTECTION AT THE END OF EACH WORKING DAY.

NOTE: EROSION/SEDIMENTATION CONTROL SHALL BE PLACED PRIOR TO SITE EXCAVATION AND SHALL REMAIN IN PLACE UNTIL SITE VEGETATION AND LANDSCAPING IS COMPLETE.
  - B. ALL INLET STRUCTURES AND PIPE SHALL BE PROTECTED FROM SILTATION BY CONSTRUCTING INLET PROTECTION AS DEFINED BY THESE PLANS OR IN THE FDOT STANDARD. IF SILTATION OCCURS, THE CONTRACTOR IS RESPONSIBLE TO REMOVE SILTATION AS PART OF THE BASE CONTRACT AT NO ADDITIONAL COST TO THE OWNER.
  - C. EXCAVATED STORMWATER FACILITIES SHALL BE CONSTRUCTED AS PART OF THE INITIAL CONSTRUCTION. THE FACILITIES SHALL BE ROUGH GRADED TO THE DESIGN ELEVATIONS. AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED, THE FACILITIES BOTTOM SHALL BE OVER-EXCAVATED BY SIX INCHES, SCARIFIED, BACKFILLED WITH ARCHER FILL (HAVING NO MORE THAN 5% PASSING NO. 200 SIEVE), AND GRADED TO FINAL DESIGN GRADES. EXCESS AND UNSUITABLE SOILS SHALL BE REMOVED FROM THE BASIN (REMOVE ALL ACCUMULATED SILTS, CLAYS, ORGANIC, AND DEBRIS). FINALLY, SCARIFY AND RAKE BOTTOM AND VEGETATE.
  - D. PERMANENT VEGETATIVE STABILIZATION SHALL BE APPLIED ON FINE GRADED SITES AS SOON AS PRACTICAL. TEMPORARY SEEDING SHOULD BE EMPLOYED TO PREVENT EXPOSURE OF BARREN SOILS UNTIL PERMANENT VEGETATION CAN BE APPLIED.
  - E. ALL SLOPES 1:3 OR STEEPER REQUIRE LAPPED OR PEGGED SOD.
  - F. EROSION, SEDIMENT AND TURBIDITY CONTROL ARE THE RESPONSIBILITY OF THE CONTRACTOR. THESE DELINEATED MEASURES ARE THE MINIMUM REQUIRED, WITH ADDITIONAL CONTROLS TO BE UTILIZED AS NEEDED, DEPENDENT UPON ACTUAL SITE CONDITIONS AND CONSTRUCTION OPERATION.
  - G. ALL SYNTHETIC BALES, SILT FENCE, AND OTHER EROSION CONTROL MEASURES SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.

2. THE CONTRACTOR SHALL MAINTAIN IN HIS POSSESSION A COPY OF THE WATER MANAGEMENT DISTRICT CONSTRUCTION PERMIT. HE SHALL BE RESPONSIBLE FOR ADHERENCE TO ALL CONDITIONS CONTAINED IN THE PERMIT.
3. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
4. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER AND OWNER'S ENGINEER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO BE USED ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR THE PERFORMANCE OF THE ITEM.
5. THE COST OF ALL TESTING OF COMPACTION AND OTHER REQUIRED TESTS SHALL BE PAID BY THE CONTRACTOR AND MADE AVAILABLE TO THE ENGINEER OF RECORD DURING SITE INSPECTIONS.
6. GENERAL CONTRACTOR TO CONTACT ENGINEER OF RECORD AND THE OWNER REPRESENTATIVE 48 HOURS IN ADVANCE PRIOR TO BACKFILLING TRENCHES FOR FIELD INSPECTION AND PRIOR TO LAYING ASPHALT FOR FIELD INSPECTION.
7. CONTRACTOR IS TO SUBMIT FDOT APPROVED ASPHALT DESIGN MIXES TO THE OWNER'S REPRESENTATIVE AND ENGINEER OF RECORD BEFORE ANY WORK IS TO COMMENCE ON PROJECT. THE MIXTURE AT THE PLANT OR ON THE ROAD SHALL NOT EXCEED 335 DEGREES. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND PROVIDE TEMPERATURE READINGS PRIOR TO LAYING ASPHALT.
8. AS DETERMINED NECESSARY AND DIRECTED BY MARION COUNTY OR ENGINEER OF RECORD, THE CONTRACTOR SHALL UNDERCUT ALL UNSUITABLE MATERIAL 24 INCHES BELOW THE BOTTOM OF ANY PROPOSED LIMEROCK BASE, AND SHALL BACKFILL WITH FILL MATERIAL MEETING FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. SEE FDOT INDEX 120-001 AND 120-002.
9. PROVIDE LEVEL PLATFORM IN FRONT OF ALL EGRESS DOORS. THE FLOOR SURFACE ON BOTH SIDES OF A DOOR SHALL BE AT THE SAME ELEVATION. THE FLOOR SURFACE OR LANDING ON EACH SIDE OF THE DOOR SHALL EXTEND FROM THE DOOR IN THE CLOSED POSITION A DISTANCE EQUAL TO THE DOOR WIDTH AND SHALL COMPLY WITH SECTION 4.13.6 MANEUVERING CLEARANCES AT DOORS OF THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.
10. RAMPS SHALL HAVE LEVEL LANDINGS AT THE BOTTOM AND TOP OF EACH RAMP RUN. CURB RAMPS ARE NOT REQUIRED TO HAVE LANDINGS.

- A. THE LANDING SHALL BE AT LEAST AS WIDE AS THE RAMP RUN LEADING TO IT.
- B. ALL LANDINGS ON RAMPS SHALL BE NOT LESS THAN 60" CLEAR, AND THE BOTTOM OF EACH RAMP SHALL HAVE NOT LESS THAN 72" OF STRAIGHT AND LEVEL CLEARANCE.
- C. IF RAMPS CHANGE DIRECTION AT LANDINGS, THE MINIMUM LANDING SIZE SHALL BE 60"x60". IF A RAMP RUN HAS A RISE GREATER THAN 6" OR A HORIZONTAL PROJECTION GREATER THAN 72" THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS. HANDRAILS SHALL BE SHOWN ON THE SITE PLAN.

11. THE CONTRACTOR SHALL STOCKPILE TOPSOIL AND CONSTRUCTION MATERIALS IN AREAS DESIGNATED BY THE OWNER.
12. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING RECORD DRAWINGS AS NOTED IN NOTE #29 UNDER SITE GENERAL NOTES.
13. ALL CONCRETE USED SHALL BE 2,500 PSI MINIMUM.
14. ALL WELLS, CLEANOUTS, MANHOLE TOPS, PULL BOX COVERS AND OTHER UTILITY APPURTENANCES IN THE AREA OF REDEVELOPMENT SHALL BE PROTECTED AND TOPS ADJUSTED TO MATCH PROPOSED GRADES.
15. CONTRACTOR SHALL SAW CUT, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS ANY EXISTING PAVEMENT.
16. SOD SHALL BE PLACED AROUND ALL STRUCTURES AS DIRECTED BY THE FDOT INDEX 524-001 AND FDOT INDEX 425- AND 430- SERIES AS APPROPRIATE. ALL OTHER DISTURBED AREAS SHALL BE SEEDED AND MULCHED.
17. ALL STORM SEWER CURBS AND DITCH BOTTOM INLETS SHALL CONFORM TO THE APPLICABLE FDOT INDEX. ALL DRAINAGE STRUCTURES WITH GRATES THAT ARE LOCATED IN GRASSED AREAS SHALL HAVE THE GRATE CHAINED TO THE STRUCTURE USING AN EYE BOLT AND CHAIN.
18. ALL CONCRETE STRUCTURES SHALL HAVE ALL EXPOSED EDGES CHAMFERED 3/4" AND CLASS I SURFACE FINISH.
19. ALL HDPE FITTINGS AND CONNECTORS SHALL BE WATER TIGHT. SEE SPECIFICATIONS FOR MORE INFORMATION.
20. COMPACTION OF ALL MATERIALS SHALL BE LIMITED TO STATIC MOE ONLY, UNLESS DIRECTED OTHERWISE BY THE ENGINEER OF RECORD.
21. ALL RCP PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC IN ACCORDANCE WITH FDOT STANDARD SPECIFICATION SECTION 430.

## WATER AND WASTEWATER GENERAL NOTES

1. MATERIALS AND CONSTRUCTION METHODS FOR WATER AND WASTEWATER SYSTEMS SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY CODES, PLANS, AND SPECIFICATIONS FOR CONSTRUCTION, LATEST REVISION THEREOF AND SUPPLEMENTAL SPECIFICATIONS THERETO. APPROVAL AND CONSTRUCTION OF ALL UTILITY EXTENSIONS AND CONNECTIONS MUST BE COORDINATED THROUGH THE REGULATORY AGENCY DEPARTMENT FOR PUBLIC UTILITIES.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES TO DISCONNECT OR REMOVE THEIR FACILITIES PRIOR TO REMOVING OR DEMOLISHING ANY EXISTING STRUCTURES FROM THE SITE.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY UTILITY FIELD LOCATION AND RELOCATION AS REQUIRED.
4. THE COST OF ALL TESTING OF COMPACTION AND OTHER REQUIRED TESTS SHALL BE PAID BY THE CONTRACTOR AND MADE AVAILABLE TO THE ENGINEER OF RECORD DURING SITE INSPECTIONS.
5. THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON GRAVITY SEWERS IN ACCORDANCE WITH THE REGULATORY JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF PARTIES US THE CONTRACTOR'S RESPONSIBILITY.
6. ALL FORCE MAINS SHALL BE SUBJECT TO A HYDROSTATIC PRESSURE TEST IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.
7. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER AND OWNER'S ENGINEER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO BE USED ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR THE PERFORMANCE OF THE ITEM.
8. A HORIZONTAL SEPARATION OF TEN FEET PREFERRED, BUT NO LESS THAN SIX FEET, SHALL BE MAINTAINED BETWEEN POTABLE WATER MAINS AND GRAVITY OR PRESSURE WASTEWATER MAINS, WASTEWATER FORCE MAINS, AND RECLAIMED WATER MAINS NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. A HORIZONTAL SEPARATION OF TEN FEET PREFERRED, BUT NO LESS THAN THREE FEET, SHALL BE MAINTAINED BETWEEN POTABLE WATER MAINS AND VACUUM WASTEWATER MAINS. A HORIZONTAL SEPARATION OF THREE FEET SHALL BE MAINTAINED BETWEEN POTABLE WATER MAINS AND STORM SEWERS, STORMWATER FORCE MAINS, AND RECLAIMED WATER MAINS REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
9. WHEN POTABLE WATER MAINS CROSS OTHER PIPES, THE TWO PIPES SHALL HAVE JOINTS A MINIMUM OF SIX FEET FROM THE CROSSING. WHEN POTABLE WATER MAINS CROSS UNDERNEATH OTHER PIPES, THE MINIMUM VERTICAL SEPARATION IS TWELVE INCHES. WHEN POTABLE WATER MAINS CROSS ABOVE PRESSURE WASTEWATER MAINS, WASTEWATER FORCE MAINS, AND RECLAIMED WATER MAINS, THE MINIMUM VERTICAL SEPARATION IS TWELVE INCHES. WHEN POTABLE WATER MAINS CROSS ABOVE GRAVITY AND VACUUM WASTEWATER MAINS, STORM SEWERS, AND STORMWATER FORCE MAINS, THE PREFERRED VERTICAL SEPARATION IS TWELVE INCHES AND THE THE MINIMUM VERTICAL SEPARATION IS SIX INCHES.
10. ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
11. RESTRAINED JOINTS SHALL BE PROVIDED AT ALL FITTINGS AND HYDRANTS IN ACCORDANCE WITH AWWA STANDARDS.
12. ALL PVC WATER SERVICE LINES SHALL BE SCH 40 PVC.
13. THE SITE WORK CONTRACTOR SHALL ENGAGE THE SERVICES OF A LICENSED UNDERGROUND UTILITY AND EXCAVATION CONTRACTOR TO INSTALL THE NEW WATER SERVICE LINE.
14. ALL SANITARY SEWER SERVICE LATERALS SHALL BE 4" PVC SDR 35 OR 6" PVC SDR 35 WITH A CLEAN-OUT LOCATED PER THE PLANS. MINIMUM SLOPE FOR 4" LATERALS SHALL BE 1.0% AND A MINIMUM CLEANOUT SPACING OF 75 FEET ON-CENTER AND MINIMUM SLOPE FOR 6" LATERALS SHALL BE 0.6% AND A MINIMUM CLEANOUT SPACING OF 100 FEET ON-CENTER.
15. PUBLIC UTILITY EASEMENTS WILL BE PROVIDED AS REQUIRED FOR ALL UTILITIES SHOWN HEREON BY METES AND BOUND DESCRIPTION AND IN ACCORDANCE WITH THE REGULATORY AGENCY DEPARTMENT FOR PUBLIC UTILITIES.

## ELECTRIC SERVICE GENERAL NOTES

1. ALL ELECTRICAL UTILITIES AND INFORMATION SHOWN ON THE CIVIL PLANS ARE FOR LOCATION AND COORDINATION PURPOSES ONLY. REFER TO ELECTRICAL PLANS BY OTHERS FOR THE ELECTRICAL DESIGN AND DETAILS.

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DATE: 02/16/21  
CITY: MARION COUNTY, FLORIDA  
PROJECT: SCHERER CONSTRUCTION OF N. FLORIDA  
CAMBUS USA  
SUMMERFIELD  
SHEET TITLE: GENERAL NOTES  
PROJECT NUMBER: 20-0127

DESIGNED BY: T.E. COWART  
CHECKED BY: C. MENHENNETT, E.L.  
QUALITY CONTROL: D.H. YOUNG, P.E.  
PROJECT NUMBER: 20-0127

DANIEL H. YOUNG

FL PE No. 20780

SHEET NO.

**C002**

## ABBREVIATIONS

<b>SYMBOLS</b>			
'	FEET (WHEN USED WITH LENGTHS)	N	NORTH
°	DEGREES	N-E	NORTHING - EASTING
'	MINUTES (WHEN USED WITH ANGLES)	N/A	NOT APPLICABLE
"	SECONDS	NAVD	NORTH AMERICAN VERTICAL DATUM OF 1988
%	PERCENT	NGVD	NATIONAL GEODETIC VERTICAL DATUM OF 1929
@	AT	NO	NUMBER
		NPDES	NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM
		NTS	NOT TO SCALE
<b>A</b>		<b>O</b>	
AASTHO	ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	OC	ON CENTER
AC	ACRES	OHW	OVERHEAD WIRE
ADA	AMERICAN WITH DISABILITIES ACT	ORB	OFFICIAL RECORDS BOOK
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
ARCH	ARCHITECT		
ARV	AIR RELEASE VALVE		
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS		
AWWA	AMERICAN WATER WORKS ASSOCIATION		
		<b>P</b>	
		PAVT	PAVEMENT POINT OF CURVATURE
		PC	POINT OF COMPOUND CURVE
		PERF	PERFORATED
		PROP	PROPOSED
		PT	POINT OF TANGENCY
		PVC	POLYVINYL CHLORIDE
		PVI	POINT OF VERTICAL INTERSECTION
		<b>R</b>	
		R	RADIUS
		RCP	REINFORCED CONCRETE PIPE
		RPM	RAISED REFLECTIVE PAVEMENT MARKER
		RPZ	REDUCED PRESSURE ZONE
		RT	RIGHT
		RWM	RECLAIMED WATER MAIN
		R/W	RIGHT-OF-WAY
		<b>S</b>	
		S	SOUTH
		SAN	SANITARY
		SHWE	SEASONAL HIGH WATER ELEVATION
		SL	SLOPE
		SP	SUPERPAVE
		SR	STATE ROAD
		SS	SANITARY SEWER
		ST	STORM
		STA	STATION
		STD	STANDARD
		<b>T</b>	
		TCE	TEMPORARY CONSTRUCTION EASEMENT
		TEMP	TEMPORARY
		TOB	TOP OF BANK
		TV	TELEVISION
		TW	TOP OF WALL
		TYP	TYPICAL
		<b>U</b>	
		USF	UNITED STATES FOUNDRY
		USGS	UNITED STATES GEOLOGICAL SURVEY
		UTIL	UTILITY
		<b>V</b>	
		V	VERTICAL
		VC	VERTICAL CURVE
		VCP	VITRIFIED CLAY PIPE
		<b>W</b>	
		W	WEST
		W	WATER
		W/	WITH
		WM	WATER MAIN
		WW	WASTEWATER
		WWF	WELDED WIRE FABRIC
		<b>F</b>	
FAC	FLORIDA ADMINISTRATIVE CODE		
FBR	FLORIDA BEARING RATIO		
FC	FRICTION COURSE		
FDEP	FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION		
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION		
FFE	FINISHED FLOOR ELEVATION		
FH	FIRE HYDRANT		
FHWA	FLORIDA HIGHWAY ADMINISTRATION		
FIG	FIGURE		
FM	FORCE MAIN		
FOC	FACE OF CURB		
FS	FLORIDA STATUTES		
FT	FEET		
		<b>G</b>	
GALV	GALVANIZED		
GM	GAS MAIN		
GV	GATE VALVE		
		<b>H</b>	
HDPE	HIGH DENSITY POLYETHYLENE		
HP	HIGH POINT		
		<b>I</b>	
ID	IDENTIFICATION		
INV	INVERT		
INV EL	INVERT ELEVATION		
IP	IRON PIPE		
		<b>K</b>	
K	VERTICAL CURVE RATE OF CHANGE		
		<b>L</b>	
L	LENGTH		
LA	LANDSCAPE ARCHITECT		
LBR	LIMEROCK BEARING RATIO		
LDR	LAND DEVELOPMENT REGULATION		
LF	LINEAR FEET		
LP	LOW POINT		
LT	LEFT		
		<b>M</b>	
MAX	MAXIMUM		
ME	MATCH EXISTING		
MH	MANHOLE		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES		

NOTES:  
1. THIS LEGEND IS ALL INCLUSIVE AND MAY INCLUDE ITEMS NOT A PART OF THIS PLAN SET.

2. SYMBOLS SHOWN ON THIS SHEET ARE FOR ILLUSTRATIVE PURPOSES ONLY. UNLESS NOTED OTHERWISE, SYMBOLS IN THESE PLANS MAY NOT BE REPRESENTATIVE OF SIZE.

## SIGNAGE

SIGNS ARE PER FDOT SPECIFICATIONS OR PER MUTCD. SIGN POSTS AND INSTALLATION SHALL BE PER FDOT INDEX NO. 700-010. SIGN PLACEMENT SHALL BE PER FDOT INDEX NO. 700-101.



FTP-20-06 (12" X 18") PER FDOT INDEX NO. 700-102



R1-1 "STOP" - SEE PLANS FOR SIZE

## SITE INFORMATION

---	EX. PROPERTY LINE
---	LANDSCAPE BUFFER LINE
---	BUILDING SETBACK LINE
---	WETLAND LIMITS LINE
---	WETLAND SETBACK LINE
---	CENTER LINE
---	EASEMENT LINE
---	RIGHT-OF-WAY LINE
SF --- SF	SILT FENCE LINE
TB --- TB	TREE BARRICADE LINE
---	EX. STRUCTURE OR BUILDING
---	PROPOSED BUILDING
---	PROPOSED ASPHALTIC PAVEMENT
---	PROPOSED CONCRETE PAVEMENT
---	PROPOSED DETECTABLE WARNING SURFACE
---	DIRECTIONAL TRAFFIC ARROW PER FDOT INDEX NO. 17346
---	WATERSHED DIVIDE
---	EX. ELEVATION CONTOUR
---	PROPOSED CONTOUR
---	EX. SPOT ELEVATION
---	PROPOSED SPOT ELEVATION
---	DIRECTION OF SURFACE DRAINAGE FLOW
---	PROPOSED SWALE LINE
---	EX. FENCE
---	PROPOSED FENCE
---	EX. TREE (SIZE & TYPE)
---	EX. TREE (TREE ID)
---	EX. TREE TO BE REMOVED (SIZE & TYPE)
---	EX. TREE TO BE REMOVED (TREE ID)
---	PROJECT BENCHMARK

## STORMWATER

THE PROPOSED STORMWATER STRUCTURES DEPICTED BELOW ARE DRAWN PER FDOT SPECIFICATIONS AND TO SCALE WHEN SHOWN ON THE PLAN SHEETS.

---	EX. GRAVITY STORMWATER MAIN
---	PROPOSED GRAVITY STORMWATER MAIN (PIPE LENGTHS ARE FROM N-E LOCATION OF A STRUCTURE TO N-E LOCATION OF A STRUCTURE)
---	EX. STORMWATER MANHOLE
---	PROPOSED 48" DIA. STORMWATER MANHOLE PER FDOT INDEX NO. 425-001 AND 425-010
---	PROPOSED CIRCULAR AREA DRAIN
---	PROPOSED SQUARE AREA DRAIN
---	PROPOSED TYPE 1 CURB INLET TOP PER FDOT INDEX NO. 425-020 (SEE PLANS FOR BOTTOM SPECIFICATION)
---	PROPOSED TYPE 2 CURB INLET TOP PER FDOT INDEX NO. 425-020 (SEE PLANS FOR BOTTOM SPECIFICATION)
---	PROPOSED TYPE 3 CURB INLET TOP PER FDOT INDEX NO. 425-020 (SEE PLANS FOR BOTTOM SPECIFICATION)
---	PROPOSED TYPE 4 CURB INLET TOP PER FDOT INDEX NO. 425-020 (SEE PLANS FOR BOTTOM SPECIFICATION)
---	PROPOSED TYPE 5 CURB INLET TOP PER FDOT INDEX NO. 425-021 (SEE PLANS FOR BOTTOM SPECIFICATION)
---	PROPOSED TYPE 6 CURB INLET TOP PER FDOT INDEX NO. 425-021 (SEE PLANS FOR BOTTOM SPECIFICATION)
---	PROPOSED TYPE 9 CURB INLET TOP PER FDOT INDEX NO. 425-024 (SEE PLANS FOR BOTTOM SPECIFICATION)
---	PROPOSED TYPE 'C' DITCH BOTTOM INLET TOP PER FDOT INDEX NO. 425-052 (SEE PLANS FOR GRATE MATERIAL AND BOTTOM SPECIFICATION)
---	PROPOSED TYPE 'D' DITCH BOTTOM INLET TOP PER FDOT INDEX NO. 425-052 (SEE PLANS FOR GRATE MATERIAL AND BOTTOM SPECIFICATION)
---	PROPOSED TYPE 'E' DITCH BOTTOM INLET TOP PER FDOT INDEX NO. 425-052 (SEE PLANS FOR GRATE MATERIAL AND BOTTOM SPECIFICATION)
---	PROPOSED TYPE 'F' DITCH BOTTOM INLET TOP WITH STEEL GRATE PER FDOT INDEX NO. 425-053 (SEE PLANS FOR BOTTOM SPECIFICATION)
---	PROPOSED TYPE 'G' DITCH BOTTOM INLET TOP WITH STEEL GRATE PER FDOT INDEX NO. 425-053 (SEE PLANS FOR BOTTOM SPECIFICATION)
---	PROPOSED TYPE 'H' DITCH BOTTOM INLET TOP PER FDOT INDEX NO. 425-052 (SEE PLANS FOR GRATE MATERIAL AND BOTTOM SPECIFICATION)
---	PROPOSED TYPE 'J' DITCH BOTTOM INLET TOP WITH STEEL GRATE PER FDOT INDEX NO. 425-054 (SEE PLANS FOR BOTTOM SPECIFICATION)
---	PROPOSED U-TYPE CONCRETE ENDWALLS WITH GRATES PER FDOT INDEX NO. 430-010 (SEE PLANS FOR SIZE)
---	PROPOSED FLARED END SECTION PER FDOT INDEX NO. 430-020 (SEE PLANS FOR SIZE)
---	PROPOSED CROSS DRAIN MITERED END SECTION PER FDOT INDEX NO. 430-021 (SEE PLANS FOR SIZE)
---	PROPOSED SIDE DRAIN MITERED END SECTION PER FDOT INDEX NO. 430-022 (SEE PLANS FOR SIZE)
S-10	PROPOSED STORMWATER STRUCTURE ID TAG

## POTABLE AND RECLAIMED WATER

---	EX. POTABLE WATER MAIN
---	PROPOSED POTABLE WATER MAIN
---	EX. RECLAIMED WATER MAIN
---	PROPOSED RECLAIMED WATER MAIN
---	11.25' BEND W/ MECHANICALLY RESTRAINED JOINTS (POTABLE AND RCW)
---	22.5' BEND W/ MECHANICALLY RESTRAINED JOINTS (POTABLE AND RCW)
---	45' BEND W/ MECHANICALLY RESTRAINED JOINTS (POTABLE AND RCW)
---	90' BEND W/ MECHANICALLY RESTRAINED JOINTS (POTABLE AND RCW)
---	TEE (POTABLE AND RCW)
---	CROSS (POTABLE AND RCW)
---	BLOWOFF ASSEMBLY (POTABLE AND RCW)
---	REDUCER (POTABLE AND RCW)
---	EX. GATE VALVE AND BOX (POTABLE AND RCW)
---	PROPOSED GATE VALVE AND BOX (POTABLE AND RCW)
---	EX. AIR RELEASE VALVE (POTABLE AND RCW)
---	PROPOSED AIR RELEASE VALVE (POTABLE AND RCW)
---	EX. FIRE HYDRANT ASSEMBLY
---	PROPOSED FIRE HYDRANT ASSEMBLY
---	PROPOSED SAMPLE POINT
---	EX. WATER METER (POTABLE AND RCW)
---	PROPOSED POTABLE WATER METER
---	PROPOSED POTABLE WATER BACK FLOW PREVENTER
---	PROPOSED RECLAIMED WATER METER
---	EX. WATER WELL
---	EX. HOSE BIB (POTABLE AND RECLAIMED)
---	PROPOSED HOSE BIB (POTABLE AND RECLAIMED)
---	PROPOSED FITTING ID TAG (POTABLE AND RECLAIMED)

## WASTEWATER

---	EX. GRAVITY WASTEWATER MAIN
---	PROPOSED GRAVITY WASTEWATER MAIN (PIPE LENGTHS ARE FROM N-E LOCATION OF A STRUCTURE TO N-E LOCATION OF A STRUCTURE)
---	EX. WASTEWATER FORCE MAIN
---	PROPOSED WASTEWATER FORCE MAIN
---	EX. WASTEWATER MANHOLE
---	PROPOSED WASTEWATER MANHOLE
---	EX. WASTEWATER CLEANOUT
---	PROPOSED WASTEWATER CLEANOUT
---	PROPOSED WASTEWATER GREASE TRAP
---	PROPOSED WASTEWATER MANHOLE ID 11.25' BEND W/ MECHANICALLY RESTRAINED JOINTS (WW FORCE MAIN)
---	22.5' BEND W/ MECHANICALLY RESTRAINED JOINTS (WW FORCE MAIN)
---	45' BEND W/ MECHANICALLY RESTRAINED JOINTS (WW FORCE MAIN)
---	90' BEND W/ MECHANICALLY RESTRAINED JOINTS (WW FORCE MAIN)
---	WYE W/ MECHANICALLY RESTRAINED JOINTS (WW FORCE MAIN)
---	EX. PLUG VALVE AND BOX (WW FORCE MAIN)
---	PROPOSED PLUG VALVE AND BOX (WW FORCE MAIN)
---	EX. AIR RELEASE VALVE (WW FORCE MAIN)
---	PROPOSED AIR RELEASE VALVE (WW FORCE MAIN)

## MISCELLANEOUS UTILITIES

THE PROPOSED UTILITIES BELOW ARE DESIGN BY OTHERS AND ARE DEPICTED FOR COORDINATION PURPOSES ONLY. REFER TO PLANS BY OTHERS FOR EXACT LOCATIONS, DIMENSION, AND DETAILS.

---	PROPOSED AT&T LINE
---	EX. BURIED CABLE LINE
---	PROPOSED BURIED CABLE LINE
---	EX. BURIED TELEPHONE LINE
---	PROPOSED TELEPHONE LINE
---	EX. CABLE TELEVISION LINE
---	PROPOSED CABLE/TELEVISION LINE
---	EX. FIBER OPTIC LINE
---	EX. UNDERGROUND TELEPHONE LINE
---	EX. TELEPHONE PEDESTAL
---	EX. TELEVISION/CABLE PEDESTAL
---	EX. CHILLED WATER MAIN
---	PROPOSED CHILLED WATER MAIN
---	EX. FIRE MAIN
---	PROPOSED FIRE MAIN
---	EX. IRRIGATION LINE
---	PROPOSED IRRIGATION LINE
---	EX. STEAM LINE
---	PROPOSED STEAM LINE
---	PROPOSED CLAY ELECTRIC LINE
---	EX. ELECTRIC LINE
---	PROPOSED ELECTRIC LINE
---	EX. ENERGY LINE
---	PROPOSED PRIVATE LIGHTING LINE
---	EX. OVERHEAD WIRE LINE
---	EX. UNDERGROUND ELECTRIC LINE
---	EX. LIGHT
---	EX. UTILITY POLE
---	EX. UTILITY POLE
---	EX. WOOD POWER POLE
---	EX. GUY ANCHOR
---	PROPOSED TRANSFORMER
---	EX. GAS LINE
---	PROPOSED GAS LINE
---	EX. GAS MARKER
---	EX. GAS MARKER

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Professional Consultants

SCALE: N/A  
VERTICAL SCALE ON ORIGINAL DRAWING: 1" = 10'  
HORIZONTAL SCALE ON THIS SHEET: ADJUST SCALES ACCORDINGLY.

CITY: SCHERER CONSTRUCTION OF N. FLORIDA  
PROJECT: CAMRUS USA SUMMERFIELD  
SHEET TITLE: LEGEND

DATE: 02/16/21  
PROJECT: CAMRUS USA SUMMERFIELD  
SHEET TITLE: LEGEND

PROJECT NUMBER: 20-0127

DANIEL H. YOUNG

FL PE NO. 70780

SHEET NO. **C003**

**I. INTRODUCTION**

THIS DOCUMENT WAS PREPARED IN ORDER TO ILLUSTRATE COMPLIANCE WITH CHAPTER 62-621.300 (4) OF THE FLORIDA ADMINISTRATIVE CODE, WHICH PERTAINS TO THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. THE ADMINISTRATIVE CODE GRANTS THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) THE AUTHORITY TO REGULATE POINT SOURCE DISCHARGE OF STORMWATER FROM CONSTRUCTION SITES. THIS DOCUMENT ESTABLISHES A STORMWATER POLLUTION PREVENTION PLAN FOR THE SITE USING STANDARD PRACTICE AND BEST MANAGEMENT PRACTICES (BMPs) AND IS ORGANIZED TO CORRESPOND TO 62-621.300(4)(a) GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES FDEP FORM 62-621.300(4)(b) IS TO BE SUBMITTED IN CONJUNCTION WITH THIS DOCUMENT. CONTRACTORS MUST FILL IN THE ACTIVITIES SEQUENCE (SECTION II, B. BELOW) AND SIGN THIS SHEET (REFER TO SIGNATURE TABLE THIS SHEET) AND RETAIN THIS SHEET AND ALL FOLLOWING SWPPP SHEETS ON SITE. ALTERNATIVELY, CONTRACTOR(S) MAY PREPARE AND SIGN THEIR OWN SWPP PLAN MEETING THE REQUIREMENTS. IF THE SITE OR CONTRACTOR ACTIVITIES REQUIRE ANY BMPs THAT ARE NOT DESCRIBED ON THIS SHEET, THE CONTRACTOR MUST PREPARE AN ALTERNATIVE OR ADDITIONAL SWPPP DOCUMENT CONTAINING THE NECESSARY BMPs.

**II. SITE DESCRIPTION**

COUNTY: MARION COUNTY, FLORIDA
SECTION, TOWNSHIP, RANGE: SECTION 35, TOWNSHIP 17 SOUTH, RANGE 23 EAST
COUNTY PARCEL NO.: 6200-102-003
STREET ADDRESS: BETWEEN US HWY 441 & SE 109TH TERRACE, WEST OF US HWY 441 & SE 175TH PL INTERSECTION
PROJECT AREA: ±1.12 ACRES
SITE LOCATION MAP: SEE COVER SHEET OF CONSTRUCTION DRAWINGS

**A. NATURE OF CONSTRUCTION ACTIVITY**

THE PROPOSED DEVELOPMENT IS THE CONSTRUCTION OF ±4,345 S.F. OF FREESTANDING CREDIT UNION AND ASSOCIATED PAVEMENT FOR DRIVEWAYS AND PARKING, SIDEWALKS, AND UTILITIES. THE PROJECT SITE IS LOCATED BETWEEN US HWY 441 & SE 109TH TERRACE, WEST OF US HWY 441 & SE 175TH PL INTERSECTION, SUMMERFIELD, FLORIDA. THE PROJECT SITE TOTAL AREA IS APPROXIMATELY 1.12 ACRES.

**B. SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES - CONTRACTOR MUST FILL IN DAYS**

FROM \_\_\_\_ TO \_\_\_\_ PRIOR TO CONSTRUCTION, SILT FENCING AND TREE PROTECTION FENCING SHALL BE INSTALLED AND ALL EXISTING STORM DRAINAGE SWALE AND INLETS SHALL BE PROTECTED IN ACCORDANCE WITH THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWER MANUAL, DATED JULY 2013, AND THESE PLANS.
FROM \_\_\_\_ TO \_\_\_\_ THE CONSTRUCTION SERVICE ENTRANCE SHALL BE STABILIZED TO MINIMIZE THE CREATION OF DUST AND OFF-SITE TRACKING OF SEDIMENTS.
FROM \_\_\_\_ TO \_\_\_\_ THE PORTION OF THE SITE THAT IS TREATED BY THE STORMWATER MANAGEMENT FACILITY(S) SHALL BE CLEARED AND GRUBBED.
FROM \_\_\_\_ TO \_\_\_\_ THE PERMANENT ROADWAYS/DRIVEWAYS SHALL BE ROUGHLY GRADED.
FROM \_\_\_\_ TO \_\_\_\_ THE UNDERGROUND UTILITIES INFRASTRUCTURE AND STORMWATER PIPING SYSTEM SHALL BE INSTALLED. ANY DE-WATERING (PUMPED) SHALL BE DIVERTED TO THE ASSOCIATED STORMWATER MANAGEMENT FACILITY(S).
FROM \_\_\_\_ TO \_\_\_\_ THE PERMANENT ROADWAY/DRIVEWAY SUBGRADE SHALL BE COMPACTED, A LIMEROCK BASE SHALL BE ESTABLISHED, AND THEN FOLLOWED BY AN OVERLAY OF ASPHALT.
FROM \_\_\_\_ TO \_\_\_\_ UPON SIGNIFICANT COMPLETION OF CONSTRUCTION, THE STORMWATER PIPING SYSTEM SHALL BE FLUSHED OUT TO REMOVE ACCUMULATED DEBRIS AND SEDIMENT.
FROM \_\_\_\_ TO \_\_\_\_ ALL REMAINING DISTURBED AREAS WITHIN THE CONSTRUCTION AREA SHALL BE COMPLETELY GRASSED AND/OR LANDSCAPED ACCORDING TO THESE PLANS. TURF ESTABLISHMENT SHALL BE PERFORMED PER STANDARD SPECIFICATIONS SECTION 570. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS.

**C. SITE DEVELOPMENT DATA:**

TOTAL PROJECT SITE AREA: ±1.12 ACRES
TOTAL SITE AREA TO BE DISTURBED: ±1.00 ACRES
TOTAL IMPERVIOUS AREA (AS SHOWN IN CONSTRUCTION DRAWINGS): .59 ACRES
TOTAL DETENTION VOLUME: 0.00 ACRE-FOOT
TOTAL OPEN AREA: ±.53 ACRES

**D. SOIL CONDITIONS AND STORMWATER QUALITY**

THE NRCS DATA FOR THE SITE REVEALS THAT THE SITE SOILS ARE COMPRISED OF APOPKA SAND AND CANDLER SAND. APOPKA SAND AND CANDLER SAND ARE CLASSIFIED AS HYDROLOGIC SOIL GROUP A.

THE PROJECT SITE IS LOCATED WITHIN THE EXISTING STONECREST MASTER STORMWATER SYSTEM, WHICH PROVIDES FULL WATER QUALITY TREATMENT AND QUANTITY ATTENUATION FOR UP TO 80% IMPERVIOUS COVERAGE. THE PROPOSED IMPROVEMENTS REMAIN BELOW THIS THRESHOLD. THE STORMWATER POLLUTION PREVENTION PLAN (C005) DEPICTS THE PROJECT SITE LIMITS.

**E. SITE MAP**

PLEASE SEE THE STORMWATER POLLUTION PREVENTION PLAN (C005) FOR DETAILS.

**F. STORMWATER OUTFALL LOCATION AND RECEIVING WATER BODY**

THE STORMWATER OUTFALL STRUCTURE IS LOCATED AT THE EAST PORTION OF THE PROJECT (28°58'05.5" N, 81°58'18.1" W) AND THE ASSOCIATED RECEIVING WATER BODY IS THE MARION COUNTY MS4.

**III. CONTROLS TO REDUCE POLLUTION**

AS OUTLINED IN THE ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT (SJRWMD) PERMIT, ALL CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN A MANNER AS TO NOT VIOLATE STATE WATER QUALITY STANDARDS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES REQUIRED TO RETAIN SEDIMENT ON-SITE. IF SITE CONDITIONS ARE SUCH THAT ADDITIONAL CONTROL MEASURES ARE REQUIRED OTHER THAN WHAT IS SPECIFIED IN THE EROSION AND SEDIMENTATION CONTROL PLAN, THEN THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL BEST MANAGEMENT PRACTICES. THESE MEASURES MUST BE INSPECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE AND UNTIL AS DIRECTED BY THESE PLANS. THE STORMWATER POLLUTION PREVENTION PLAN (C005) AND SECTION IV BELOW PROVIDE DETAILS ON THE SPECIFIC CONTROL MEASURES TO REDUCE STORMWATER POLLUTION.

**IV. EROSION AND SEDIMENT CONTROLS**

**A. STABILIZATION PRACTICES**

EXISTING TREES AND NATURAL VEGETATION TO REMAIN ON-SITE SHALL BE PROTECTED BY TREE BARRICADE FENCING AS DEPICTED ON THE STORMWATER POLLUTION PREVENTION PLAN (C005). TYPE III SILT FENCING SHALL PROTECT ALL DRAINAGE STRUCTURES AND SHALL BUFFER AREAS WITH POTENTIAL TO CONTRIBUTE OFF-SITE RUNOFF AND AS SPECIFICALLY DEPICTED ON THE STORMWATER POLLUTION PREVENTION PLAN (C005). STABILIZATION MEASURES SHALL BE INITIATED FOR EROSION AND SEDIMENT CONTROL ON DISTURBED AREAS AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS, IN PORTIONS OF THE SITE WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED. AS SPECIFIED IN SECTION II.B. ABOVE, UPON COMPLETION OF CONSTRUCTION, ALL STORMWATER MANAGEMENT FACILITIES SHALL BE SCRAPPED CLEAN OF ACCUMULATED SEDIMENT AFTER THE COMPLETION OF CONSTRUCTION. ALL TURF ESTABLISHMENT SHALL BE PERFORMED MEETING THE REQUIREMENTS OF SECTION 570 OF THE STANDARD SPECIFICATIONS. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO FINAL RELEASE.

**B. STRUCTURE PRACTICES**

AS DEPICTED IN THE STORMWATER POLLUTION PREVENTION PLAN (C005), THE PROJECT WILL DISCHARGE TO AN EXISTING STORMWATER MANAGEMENT FACILITY VIA STORM PIPE CONVEYANCE SYSTEM. TO PREVENT EROSION DURING CONSTRUCTION, TYPE III SILT FENCING WILL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLANS. ALL EXISTING AND PROPOSED STORM DRAINS AND DRAINAGE SWALES SHALL BE PROTECTED ACCORDING TO THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWER MANUAL, DATED JULY 2013 OR PER DETAILS PROVIDED ON SHEET C005 UNTIL CONSTRUCTION IS COMPLETE. THE STORM PIPE CONVEYANCE SYSTEM SHALL BE FLUSHED OUT TO REMOVE ALL ACCUMULATED DEBRIS AND SEDIMENT UPON COMPLETION OF CONSTRUCTION.

**C. DRAINAGE LOCATIONS THAT SERVE AREAS WITH LESS THAN 10 DISTURBED ACRES**

AS SPECIFIED IN THE "SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES," THE SMF(S) WILL BE CONSTRUCTED PRIOR TO CLEARING AND GRUBBING OUTSIDE OF THE SMF(S) AREAS AND CONSTRUCTION OF THE PERMANENT PAVED AREAS. THE TOTAL CONTRIBUTING DRAINAGE AREA TO THE STORMWATER MANAGEMENT SYSTEM IS APPROXIMATELY 1.12 ACRES AND WILL CONSIST OF APPROXIMATELY 1.00 ACRES OF DISTURBED CONSTRUCTION AREA. THEREFORE, NO ADDITIONAL SEDIMENT TRAP BASINS ARE NECESSARY TO PROVIDE SEDIMENT STORAGE ON-SITE DURING CONSTRUCTION. AS SHOWN ON THE STORMWATER POLLUTION PREVENTION PLAN (C005), THE EXISTING STORMWATER MANAGEMENT SYSTEM WILL PREVENT OFF-SITE EROSION DURING CONSTRUCTION. SILT FENCES OR EQUIVALENT SEDIMENT CONTROLS SHALL BE INSTALLED AT SIDE SLOPE AND DOWN SLOPE BOUNDARIES, INLET LOCATION, OUTLET LOCATIONS, AND OTHER LOCATIONS AS SHOWN ON THE STORMWATER POLLUTION PREVENTION PLAN, AS REQUIRED. BY COMPLETION OF CONSTRUCTION, THE SIDE SLOPES, SWALES, AND ALL DISTURBED AREAS SHALL BE STABILIZED WITH GRASS AND LANDSCAPING AS SPECIFIED ON THE CONSTRUCTION DRAWINGS.

**D. DRAINAGE LOCATIONS THAT SERVE AREAS WITH MORE THAN 10 DISTURBED ACRES**

NOT APPLICABLE, SEE SECTION C, ABOVE.

**V. STORMWATER MANAGEMENT**

**A. BEST MANAGEMENT PRACTICES**

THE EXISTING STORMWATER MANAGEMENT SYSTEM SHALL BE MAINTAINED IN ACCORDANCE WITH THE SPECIFIED STORMWATER MAINTENANCE NOTES IN THE EXISTING CONSTRUCTION DRAWINGS AND/OR RESPECTIVE MAINTENANCE REPORTS. SPECIFICALLY, THE EXISTING SMF(S) SHALL BE MOWED REGULARLY IN THE SPECIFIED AREAS. STORM PIPES AND STRUCTURES WILL BE INSPECTED SEMI-ANNUALLY AND CLEANED ANNUALLY. SMF(S) SIDE SLOPES SHALL BE MAINTAINED TO PREVENT EROSION, AND LANDSCAPING AND GRASS THAT PREVENTS EROSION SHALL BE MAINTAINED. ADDITIONALLY, REMEDIAL ACTIONS SHALL BE TAKEN SHOULD THE SMF(S) NOT PERFORM AS DESIGNED.

**B. VEGETATED SWALES**

WHEN VEGETATED SWALES ARE UTILIZED, SILT FENCING OR EQUIVALENT SEDIMENT CONTROLS SHALL BE INSTALLED AT ADEQUATE INTERVALS TO COLLECT SEDIMENT ALONG THE SWALE. THE SEDIMENT SHALL BE REMOVED WHEN SEDIMENT REACHES ONE-THIRD OF THE HEIGHT OF THE SILT FENCING. SEE THE STORMWATER POLLUTION PREVENTION PLAN (C005) FOR DETAILS AND LOCATIONS, AS REQUIRED.

**C. VELOCITY DISSIPATION DEVICES AT DISCHARGE POINTS**

WHEN DISCHARGE POINTS ARE NOT LOCATED UNDER WATER, RIP RAP PADS HAVE BEEN PROVIDED AT LOCATIONS WHERE NECESSARY DUE TO ANTICIPATED DISCHARGE VELOCITIES. PLEASE SEE THE CONSTRUCTION PLANS FOR DETAILS AND LOCATIONS, AS NEEDED.

**VI. CONTROLS FOR OTHER POTENTIAL POLLUTANTS**

**A. WASTE DISPOSAL**

THE CONTRACTOR SHALL PROVIDE LITTER COLLECTION CONTAINERS WITHIN THE PROJECT BOUNDARIES DURING CONSTRUCTION. CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIALS AND CONSTRUCTION DEBRIS IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.

**B. DUST CONTROL**

TO PREVENT OFF-SITE VEHICULAR TRACKING OF SEDIMENTS AND DUST GENERATION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE ESTABLISHED BY THE SITE CONTRACTOR. PLEASE SEE THE STORMWATER POLLUTION PREVENTION PLAN (C005) FOR DETAILS AND LOCATIONS.

**C. EXISTING VERSUS PROPOSED POTABLE AND SANITARY SEWER SYSTEMS**

IF TEMPORARY SANITARY SYSTEMS ARE UTILIZED DURING CONSTRUCTION, THE CONTRACTOR SHALL PROPERLY CONTROL AND DISCHARGE ANY SANITARY WASTE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.

**D. FERTILIZER & PESTICIDES**

THE USE OF FERTILIZERS, HERBICIDES, AND PESTICIDES ON THE PROJECT SITE, WILL BE DIRECTED BY THE LANDSCAPE PLAN AND THE FDOT STANDARD SPECIFICATIONS SECTION 570, TO SUPPORT THE GROWTH OF THE PROPOSED VEGETATION. ESTABLISHING THIS VEGETATION WILL AID IN THE STABILIZATION OF THE PROJECT SITE AND REDUCE EROSION. APPLICATION RATES FOR THE FERTILIZERS, HERBICIDES, AND PESTICIDES SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS TO GUARD AGAINST OVER-USE, WHICH CAN LEAD TO VIOLATIONS OF STATE WATER QUALITY STANDARDS.

**E. TOXIC MATERIAL**

THE CONSTRUCTION SITE WILL BE IN FULL COMPLIANCE WITH STATE AND FEDERAL REQUIREMENTS. A PLASTIC MAT, TAR PAPER, OR OTHER IMPERVIOUS MATERIAL SHALL BE PLACED UNDER AREAS WHERE TOXIC LIQUIDS ARE TO BE OPENED AND STORED.

**F. HAZARDOUS MATERIALS**

ALL HAZARDOUS MATERIALS SHALL BE STORED IN A SECURE LOCATION, UNDER COVER, AND IN APPROPRIATE TIGHTLY SEALED CONTAINERS WHEN NOT IN USE. ALL PRODUCTS SHALL BE STORED IN AND USED FROM THE ORIGINAL CONTAINER WITH THE ORIGINAL PRODUCT LABEL. CONTAINERS MUST BE STORED IN A MANNER TO PROTECT THEM FROM THE ELEMENTS AND INCIDENTAL DAMAGE. THE MINIMUM PRACTICAL QUANTITY OF ALL SUCH MATERIALS SHALL BE KEPT ON THE JOB SITE AND SCHEDULED FOR DELIVERY AS CLOSE TO TIME OF USE AS PRACTICAL.

ALL PRODUCTS SHALL BE USED IN STRICT COMPLIANCE WITH THE INSTRUCTIONS ON THE PRODUCT LABEL.

SUFFICIENT EQUIPMENT AND/OR MATERIALS SHALL BE KEPT ON-SITE TO CONTAIN AND CLEAN UP SPILLS OF HAZARDOUS MATERIALS IN THE AREAS WHERE THESE MATERIALS ARE STORED OR USED. SPILL CONTROL AND CONTAINMENT KIT SUPPLIES SHALL BE OF SUFFICIENT QUANTITIES AND APPROPRIATE CONTENT TO CONTAIN A SPILL FROM THE LARGEST ANTICIPATED PIECE OF EQUIPMENT AND FROM THE LARGEST ANTICIPATED QUANTITIES OF PRODUCTS STORED ON THE SITE AT ANY GIVEN TIME.

CONTRACTOR TO CONTAIN AND CLEAN UP ANY SPILLS IMMEDIATELY AFTER THEY OCCUR. ANY SPILLS OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF REPORTABLE QUANTITIES AS DEFINED BY EPA, STATE, OR LOCAL AGENCY REGULATIONS SHALL BE REPORTED TO THE APPROPRIATE AGENCIES IN THE REQUIRED TIME FRAMES. THE CONTRACTOR SHALL PROVIDE A WRITTEN NOTICE TO THE OWNER IMMEDIATELY UPON IDENTIFICATION OF ANY SPILL.

ALL EXCESS, USED, OR SPILLED PRODUCTS, INCLUDING CONTAMINATED SOIL, SHALL BE DISPOSED OF BY THE CONTRACTOR IN STRICT COMPLIANCE WITH INSTRUCTIONS ON THE PRODUCT LABEL AND ALL APPLICABLE REGULATIONS.

**VII. APPROVED STATE AND LOCAL PLANS**

THE CONSTRUCTION DRAWINGS FOR THE PROJECT WERE APPROVED AND PERMITTED BY THE FOLLOWING AGENCIES:
\* MARION COUNTY \* ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT
\* FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

**VIII. CONSTRUCTION ACTIVITY DISCHARGES**

IN ACCORDANCE WITH THIS PLAN, THERE ARE NO ANTICIPATED DISCHARGES OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.

**IX. CHANGES TO THE POLLUTION PREVENTION PLAN**

THIS STORMWATER POLLUTION PREVENTION PLAN SHALL BE AMENDED TO REFLECT ANY APPLICABLE CHANGE IN A STATE, REGIONAL, OR LOCAL PERMIT FOR WHICH THE PERMITTEE RECEIVES WRITTEN NOTICE. WHEN WRITTEN NOTICE IS RECEIVED, THE PERMITTEE SHALL PROVIDE A RE-CERTIFICATION OF THIS POLLUTION PREVENTION PLAN WHICH HAS BEEN REVISED TO ADDRESS SUCH CHANGES. AMENDMENTS TO THE PLAN SHALL BE PREPARED, SIGNED, DATED, AND KEPT AS ATTACHMENTS TO THE ORIGINAL PLAN.

**X. ALTERNATIVE PERMIT REQUIREMENTS**

NO ALTERNATIVE PERMIT REQUIREMENTS ARE REQUESTED.

**XI. MAINTENANCE**

THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE, INSPECTION SCHEDULE, AND REPAIRS OUTLINED IN THIS PLAN. MAINTENANCE SHALL CONTINUE THROUGHOUT THE PROJECT UNTIL WORK IS COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER CONSTRUCTION IS COMPLETE. IN ADDITION TO THE TIMES MENTIONED IN THE PREVIOUS SECTIONS, THE CONTRACTOR SHALL INITIATE ANY REPAIRS WITHIN 24 HOURS OF BEING REPORTED. IN THE EVENT THAT THE SMF(S) DO NOT PERFORM PROPERLY OR IF A SINKHOLE DEVELOPS, THE PROJECT ENGINEER SHALL BE NOTIFIED TO ASSIST IN COORDINATING REMEDIAL ACTION. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM SILT FENCING WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE SILT FENCE. UPON FINAL COMPLETION OF CONSTRUCTION AND ACCEPTANCE BY BOTH THE CITY AND OWNER, THE OPERATION AND MAINTENANCE ENTITY WILL BE "CAMPUS USA CREDIT UNION".

**XII. INSPECTIONS**

THE CONTRACTOR SHALL INSPECT ALL POINTS OF POTENTIAL DISCHARGE FROM THE PROJECT SITE FOR ALL DISTURBED AREAS ON THE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.50 INCHES OR GREATER. FOR POINTS OF DISCHARGE INTO SURFACE WATERS OF THE STATE OR AN MS4, A QUALIFIED INSPECTOR (PROVIDED BY THE OPERATOR) SHALL PERFORM THE REQUIRED INSPECTIONS. THE CONTRACTOR SHALL INSTALL A RAIN GAUGE AT THE SITE TO MONITOR AND DOCUMENT RAINFALL EVENTS 0.50 INCHES OR GREATER. LOCATIONS WHERE THE SITE IS COMPLETELY CONSTRUCTED AND STABILIZED, SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE A MONTH. ALL INSPECTIONS SHALL BE RECORDED ON THE CONSTRUCTION INSPECTION FORM. THE CONTRACTOR MAY USE THEIR OWN FORM (MEETING FDEP SWPPP REQUIREMENTS) OR A SAMPLE FORM FROM FDEP. A SAMPLE CONSTRUCTION FORM IS AVAILABLE AT: "HTTPS://FLORIDADEP.GOV/WATER/STORMWATER/DOCUMENTS/CONSTRUCTION-SWPPP". MORE SPECIFICALLY, THE INSPECTION SHALL ENSURE THE FOLLOWING CATEGORIES.

**A. DISTURBED AREAS**

ALL DISTURBED AREAS AND AREAS USED FOR MATERIAL STORAGE SHALL BE INSPECTED FOR POLLUTANTS ENTERING THE STORMWATER SYSTEM. THE STORMWATER MANAGEMENT SYSTEM AND EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE INSPECTED TO ENSURE THEY ARE OPERATING CORRECTLY. LOCATIONS WHERE VEHICLES ENTER AND EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.

**B. MAINTENANCE PERFORMANCE**

BASED ON THE RESULTS OF THE INSPECTION, ALL MAINTENANCE OPERATIONS NEEDED TO ASSURE PROPER COMPLIANCE WITH THIS PLAN SHALL BE DONE IN A TIMELY MANNER, BUT IN NO CASE LATER THAN 7 DAYS FOLLOWING THE INSPECTION.

**C. REPORTING REQUIREMENTS**

ALL INSPECTIONS SHALL BE RECORDED ON THE CONSTRUCTION INSPECTION FORM. THIS FORM IS CREATED TO SUMMARIZE THE SCOPE OF THE INSPECTION, THE NAME(S) AND QUALIFICATION OF THE INSPECTOR(S), THE DATE OF INSPECTION, RAINFALL DATA, OBSERVATIONS, THE ACTIONS TAKEN TO CORRECT INCIDENTS OF NON-COMPLIANCE WITH THE PROVISIONS OF THIS PLAN. IF NO INCIDENTS OF NON-COMPLIANTS ARE OBSERVED, THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY IS IN COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND THE ASSOCIATED PERMIT.

**XIII. NON-STORMWATER DISCHARGES**

IN ADDITION TO STORMWATER RUNOFF, THIS PLAN APPLIES TO RUNOFF FROM IRRIGATION OPERATIONS AND CONSTRUCTION PRACTICES. THIS PLAN DOES NOT PERTAIN TO DISCHARGES FROM FIRE FIGHTING ACTIVITIES.

**XIV. CONTRACTORS CERTIFICATION**

THE CONTRACTORS OR SUB-CONTRACTORS SHALL PHOTOCOPY AND COMPLETE THE FORM ON THIS PAGE. IT SHALL BE PROVIDED TO THE OWNER AND KEPT ON FILE PURSUANT TO SECTION XV REGARDING PROJECT RECORDS.

**XV. RETENTION OF RECORDS**

THE PERMITTEE SHALL RETAIN COPIES OF STORMWATER POLLUTION PREVENTION PLANS AND ALL REPORTS REQUIRED BY THIS PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT, FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED.

THE PERMITTEE SHALL RETAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN AND ALL REPORTS, RECORDS, AND DOCUMENTATION REQUIRED BY THIS PERMIT AT THE CONSTRUCTION SITE, OR AN APPROPRIATE ALTERNATIVE LOCATION AS SPECIFIED IN THE NOTICE OF INTENT, FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

**XVI. NOTICE OF TERMINATION**

NOTICE OF TERMINATION:

- 1. WHERE A SITE HAS BEEN FINALLY STABILIZED AND ALL STORMWATER DISCHARGES AUTHORIZED BY THIS PERMIT ARE ELIMINATED, THE PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION (DEP FORM 62-621.300(6)), SIGNED IN ACCORDANCE WITH PART VII.C OF DEP DOCUMENT NO. 62-621.300(4)(a), WITHIN 14 DAYS OF FINAL STABILIZATION OF THE SITE TO TERMINATE COVERAGE UNDER THIS PERMIT.
2. ELIMINATION OF STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY MEANS THAT ALL DISTURBED SOILS AT THE SITE HAVE BEEN FINALLY STABILIZED AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR WILL BE REMOVED AT AN APPROPRIATE TIME, OR THAT ALL STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE SITE THAT ARE AUTHORIZED BY THIS GENERIC PERMIT HAVE OTHERWISE BEEN ELIMINATED.
3. FOR CONSTRUCTION ACTIVITIES WHERE THE OPERATOR CHANGES, THE EXISTING OPERATOR SHALL FILE AN N.O.T. IN ACCORDANCE WITH THIS PART WITHIN 14 DAYS OF RELINQUISHING CONTROL OF THE PROJECT TO A NEW OPERATOR.

THE PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE FOLLOWING ADDRESS:

NPDES STORMWATER NOTICES CENTER, MS# 2510
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
2600 BLAIR STONE ROAD
TALLAHASSEE, FLORIDA 32399-2400

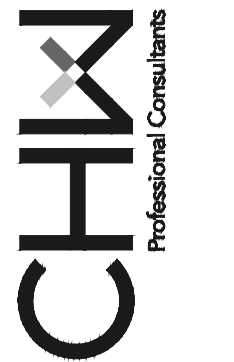
PROJECTS THAT DISCHARGED STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY TO A MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4) SHALL SUBMIT A COPY OF THE N.O.T. TO THE OPERATOR OF THE MS4.

Contractor/Subcontractor Certification Statement
Stormwater Pollution Prevention Plan
Site Name: Campus USA Summerfield
Site Location: Between US HWY 441 & SE 109th Terrace, West of US HWY 441 & SE 175TH PL Intersection
Marion County, Florida
THE CONTRACTOR(S) OR SUB-CONTRACTOR(S) RESPONSIBLE FOR COMPLYING WITH THIS STORMWATER POLLUTION PREVENTION PLAN SHALL SIGN THE CERTIFICATION STATEMENT BELOW. MULTIPLE COPIES OF THIS CERTIFICATION STATEMENT MAY BE NECESSARY DEPENDING ON THE NUMBER OF SUB-CONTRACTORS ASSOCIATED WITH THE PROJECT.
I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

Table with 5 columns: DATE, RESPONSIBLE INDIVIDUAL'S NAME, RESPONSIBLE INDIVIDUAL'S SIGNATURE, TITLE, COMPANY NAME, ADDRESS, AND PHONE NUMBER.

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Plot Date: Sat 12/02/2021 1:55pm
Title: Stormwater Pollution Prevention Plan

101 NE 1st Avenue
Ocala, Florida 34470
(352) 414-4621
www.ch2m-hill.com
est. 1968
FLORIDA
CA-5075



Professional Consultants
CH2M HILL
Professional Consultants

SCALE: N/A
VERTICAL SCALE ON ORIGINAL DRAWING: 1" = 10'
HORIZONTAL SCALE ON ORIGINAL DRAWING: 1" = 100'

REVISIONS:
DATE: 02/16/21
DESCRIPTION: MARION COUNTY, SHWMD & FDOT

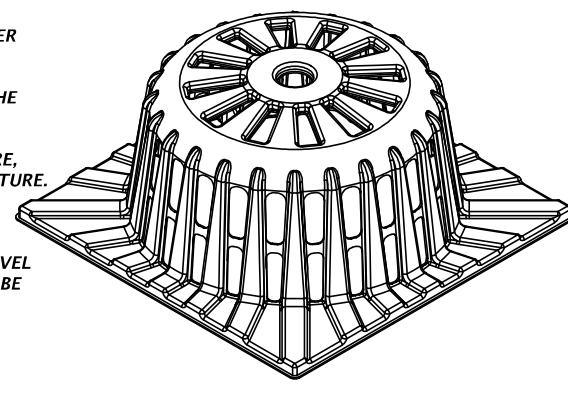
CITY: SCHERER CONSTRUCTION OF N. FLORIDA
PROJECT: CAMPUS USA SUMMERFIELD
SHEET TITLE: STORMWATER POLLUTION PREVENTION PLAN

DESIGNER: T.E. COWART
CHECKER: C. MCHENNETT, E.L.
QUALITY CONTROL: D.H. YOUNG, P.E.
PROJECT NUMBER: 20-0127

DANIEL H. YOUNG

TYPICAL INSTALLATION SEQUENCE FOR SILT SAVER FRAME AND FILTER

1. EXCAVATE APPROXIMATELY 4" TO 6" BELOW THE TOP OF THE INLET STRUCTURE.
2. PLACE THE FRAME ONTO THE INLET STRUCTURE, ENSURING PROPER SEATING OF FRAME TO STRUCTURE.
3. SLIDE THE FILTER OVER THE FRAME.
4. FILL THE FILTER POCKETS WITH SOIL, #57 GRAVEL OR EQUIVALENT. THE FILTER POCKETS SHOULD BE COMPLETELY FILLED TO ENSURE A GOOD SEAL BETWEEN THE GROUND AND INLET STRUCTURE.
5. BACK FILL AROUND THE FRAME AND FILTER ASSEMBLY IS NOT REQUIRED TO COMPLETE INSTALLATION; HOWEVER, BACK FILLING MAY BE NECESSARY TO COMPLETE EXCAVATION REQUIREMENTS FOR THE SITE.



**SILT-SAVER DETAIL**

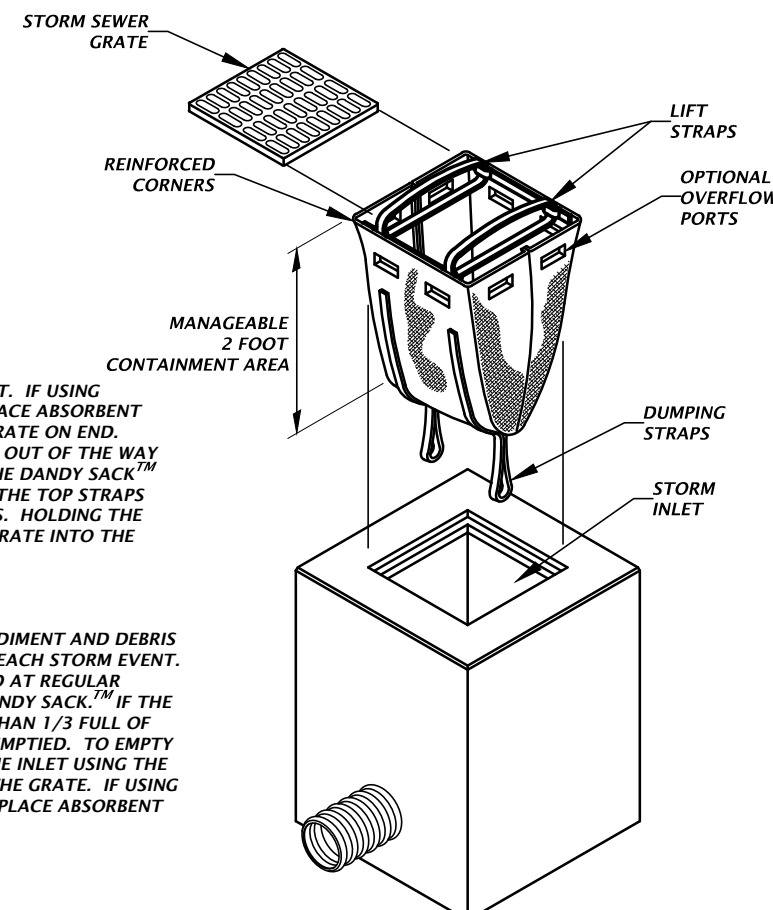
**INSTALLATION:**

REMOVE THE GRATE FROM INLET. IF USING OPTIONAL OIL ABSORBENTS, PLACE ABSORBENT PILLOW IN UNIT. STAND THE GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE DANDY SACK™ SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

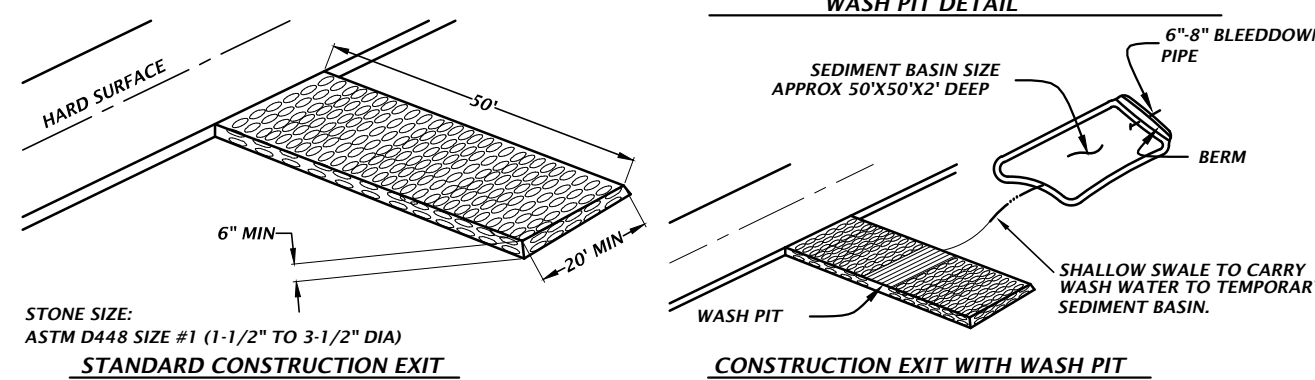
**MAINTENANCE:**

REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DANDY SACK™. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL OIL ABSORBENTS, REPLACE ABSORBENT WHEN NEAR SATURATION.

**DANDY SACK DETAIL**



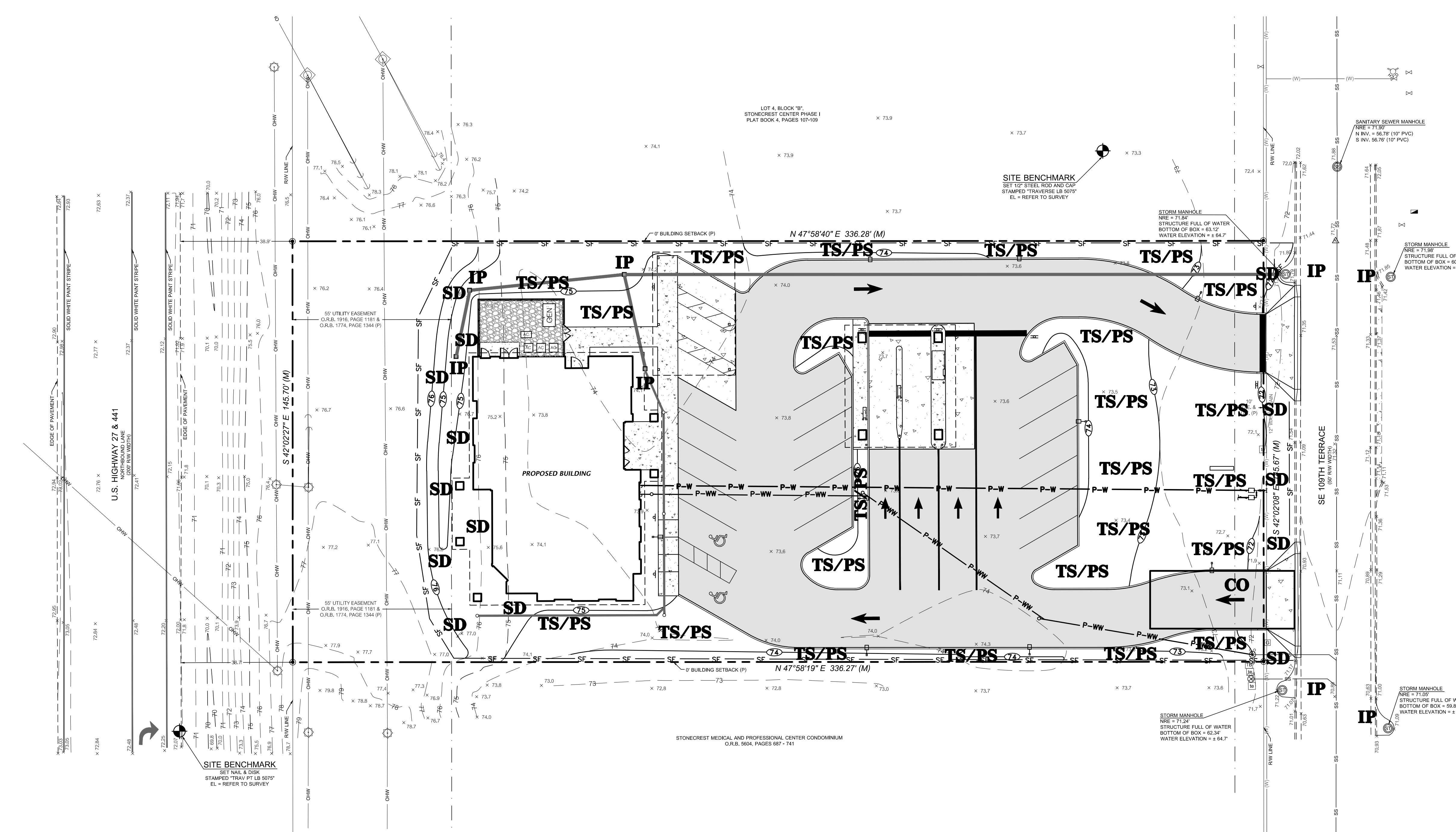
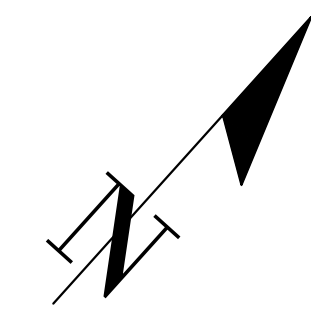
NOTE:  
1. CONSTRUCTION EXIT INSTALLATION SHALL REMOVE MUD/SOILS FROM TIRES TO PREVENT TRACKING ONTO PUBLIC ROADS.  
2. TOP DRESSING WITH 2" STONE MAY BE REQ'D AS DETERMINED BY THE USE AND FUNCTION OF THE SYSTEM.  
3. THE WASH PIT SHOULD BE INSTALLED IF THE STANDARD CONSTRUCTION EXIT DOES NOT SUFFICIENTLY REMOVE SOILS AND WASHING IS REQ'D.



**TEMPORARY CONSTRUCTION EXIT DETAIL**

**STORMWATER POLLUTION PREVENTION LEGEND**

- TS = TEMPORARY SEEDING
- PS = PERMANENT SEEDING
- ML = MULCHING
- SD = SOD STABILIZATION
- SF = SILT BARRIER
- TB = TREE BARRIER
- IP = INLET PROTECTION
- OP = OUTLET PROTECTION
- CO = CONSTRUCTION ENTRANCE/EXIT



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 Horizontal Scale on Original Drawing: 1"=20'  
 Scales: ACCORDINGLY.

101 NE 1st Avenue Ocala, Florida 34470 (352) 414-4621 www.chw-inc.com <b>CHW</b> Professional Consultants est. 1988 FLORIDA CA-5075	
PROJECT NO.: 20-0127	SHEET TITLE: STORMWATER POLLUTION PREVENTION PLAN
DESIGNER: D.H. YOUNG, P.E.	CHECKER: C. MENHENNETT, E.I.
PROJECT ADDRESS: 02/16/21 MARION COUNTY, SIRMWD & FOOT	CLIENT: SCHERER CONSTRUCTION OF N. FLORIDA
PROJECT NUMBER: 20-0127	PROJECT NAME: CAMRUS USA SUMMERFIELD
SHEET NO.: C005	FL PE No.: 20780

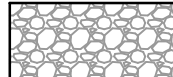

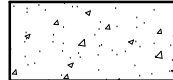


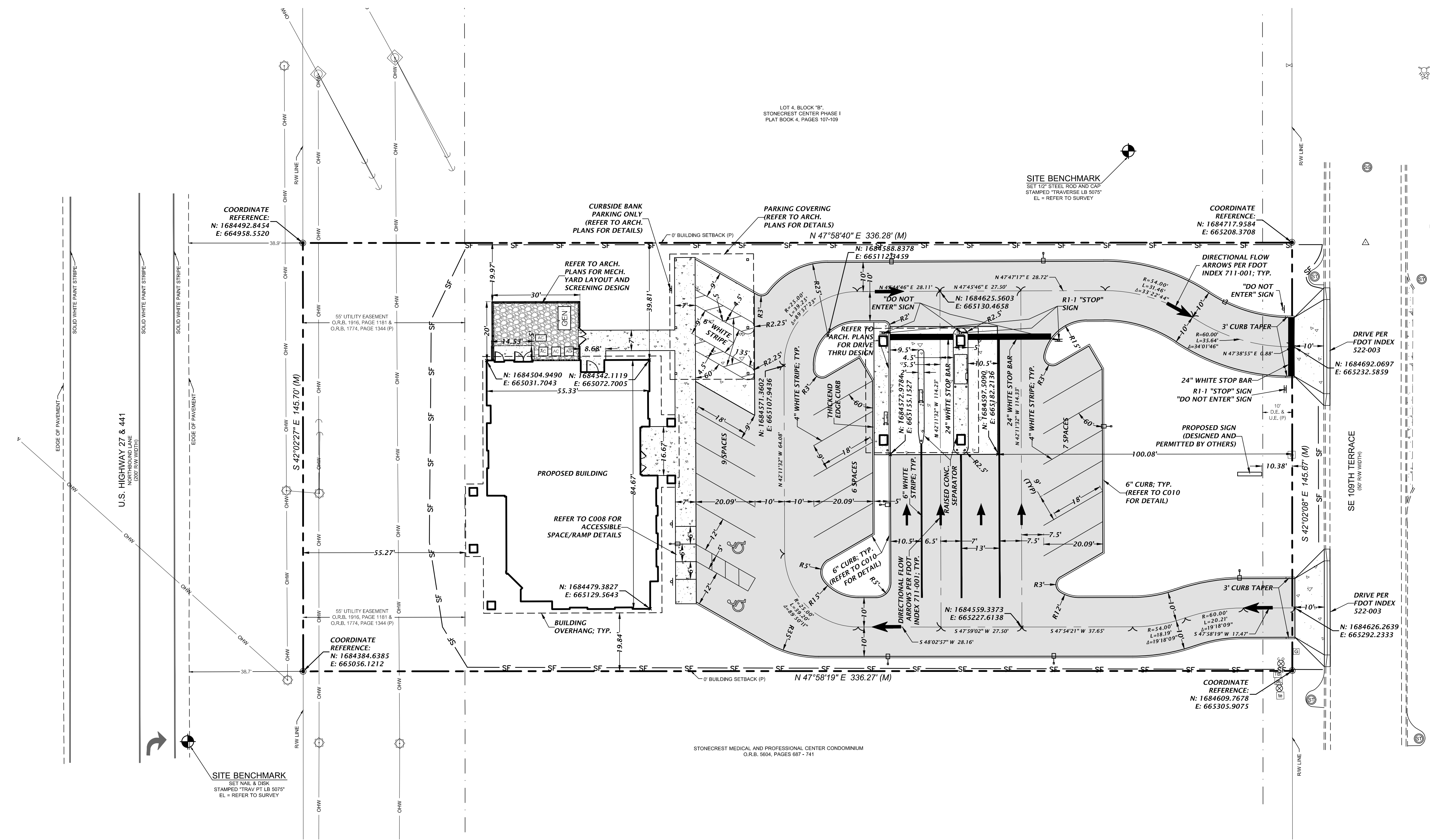
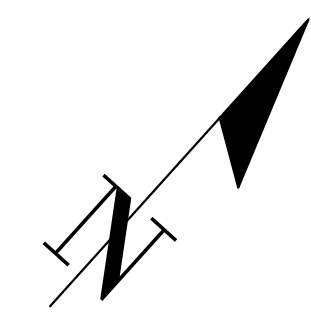
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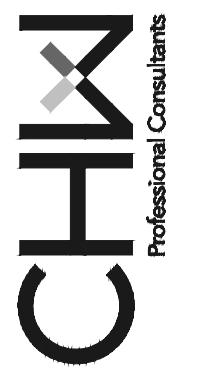
**NOTES:**

- SEE SURVEY FOR BENCHMARK ELEVATIONS, LOCATIONS, AND DESCRIPTIONS.
- CONTRACTOR SHALL REPAIR/RESTORE ANY DISTURBED AREAS TO EXISTING CONDITIONS OR BETTER.
- ALL ELEMENTS THAT ARE PLACES OF PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES ON THE SITE (INCLUDING ACCESSIBLE ROUTES AND PARKING) SHALL MEET THE REQUIREMENTS OF "FLORIDA AMERICANS WITH DISABILITIES IMPLEMENTATION ACT", ADA STANDARDS FOR ACCESSIBLE DESIGN, FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION AND THE FAIR HOUSING ACT, WHERE APPLICABLE.
- STOP SIGN SUPPORT MUST BE 2"x2" SQUARE POST, 14 FT, 14 GAUGE, 4 LBS/FT.

**LEGEND**

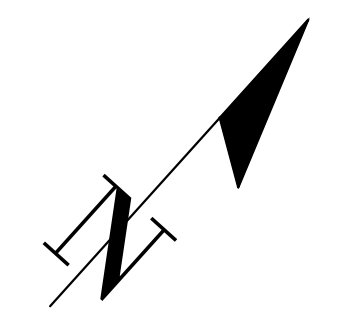
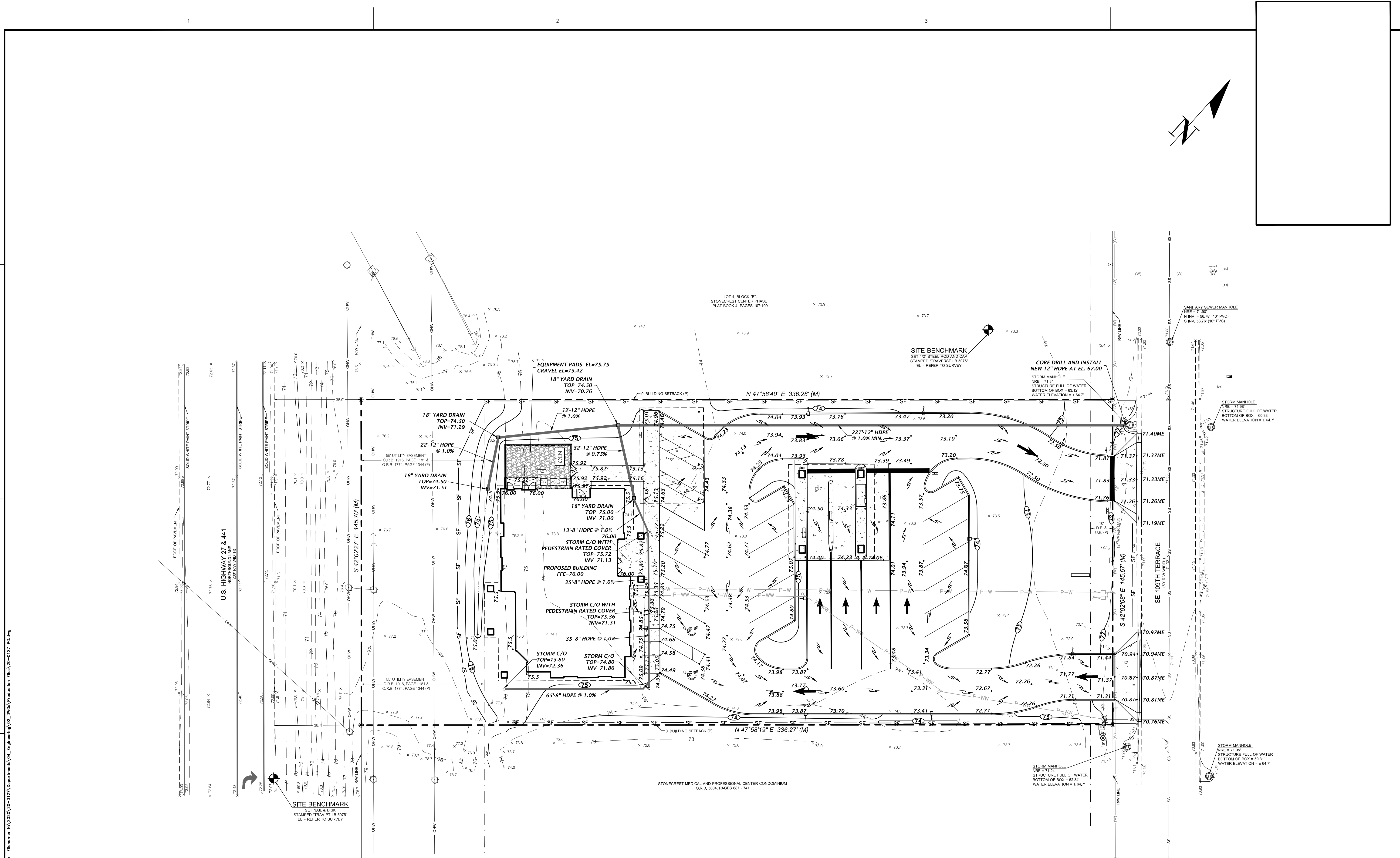
-  MECHANICAL YARD GRAVEL (REFER TO C010 FOR DETAIL)
-  ASPHALT PAVEMENT (REFER TO C010 FOR DETAIL)
-  CONCRETE SIDEWALK (REFER TO C010 FOR DETAIL)



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SCALE: 1"=20' VERTICAL SCALE ON ORIGINAL DRAWING HORIZONTAL SCALE ON THIS SHEET, ADJUST SCALES ACCORDINGLY.	
PROJECT ADDRESS: 1774 S.W. 11th Street, Ocala, FL 34476 PROJECT NUMBER: 20-0127	
COUNTY: SCHERER CONSTRUCTION OF N. FLORIDA PROJECT: 02/16/21 MARION COUNTY, SRWMD & FDOT	PROJECT: CAMPUS USA SUMMERFIELD SHEET TITLE: DETAILED HORIZONTAL CONTROL AND SITE PLAN
DESIGNER: E. COWART CHECKER: C. MENHENNETT, E.L. QUALITY CONTROL: D.H. YOUNG, P.E. PROJECT NUMBER: 20-0127	SHEET NO.: 20-0127
DANIEL H. YOUNG	
FL PE No. 70780 SHEET NO. <b>C007</b>	

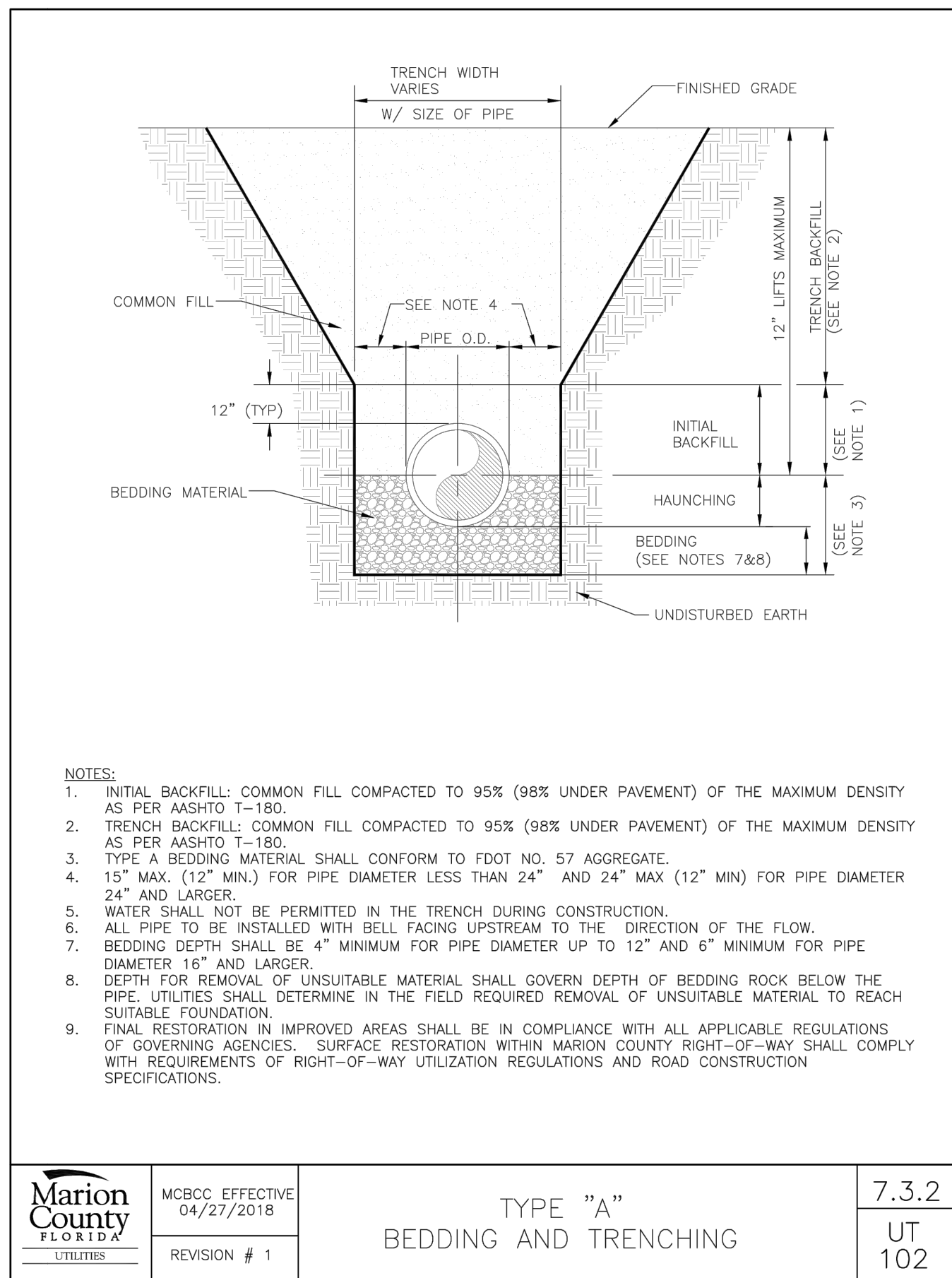


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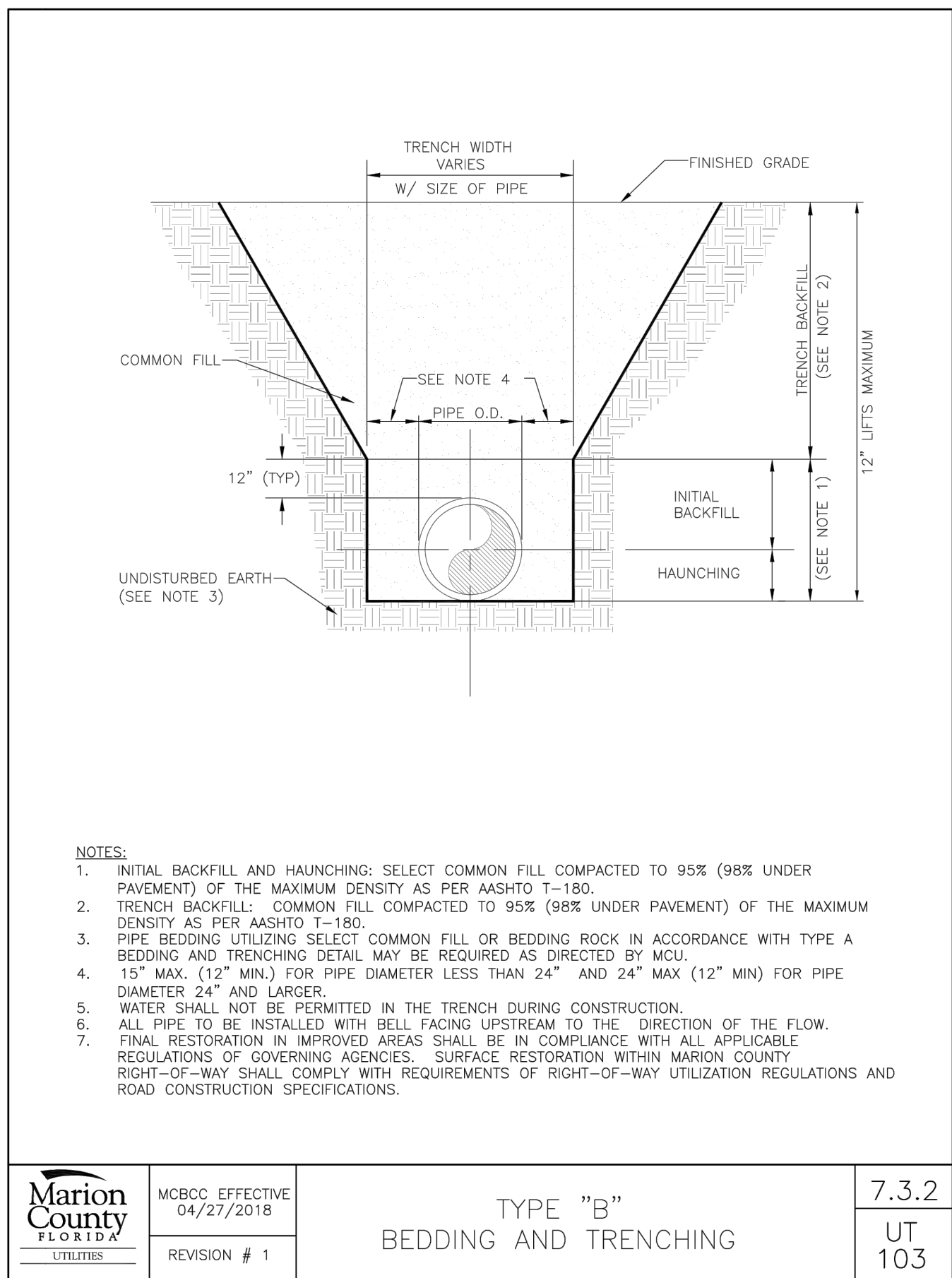


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<p><b>CHW</b> Professional Consultants</p>	
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<p>REVISIONS:</p>	
<p>CITY: SCHERER CONSTRUCTION OF N. FLORIDA</p>	<p>PROJECT: CAMRUS USA SUMMERFIELD</p>
<p>DESIGNER: E.E. COWART</p>	<p>PROJECT NUMBER: 20-0127</p>
<p>CHECKER: C. MENHENNETT, E.L.</p>	<p>DRAWN BY: D.H. YOUNG, P.E.</p>
<p>DANIEL H. YOUNG DETAILED GRADING AND DRAINAGE PLAN</p>	
<p>FL PE No. 20780 SHEET NO. <b>C009</b></p>	

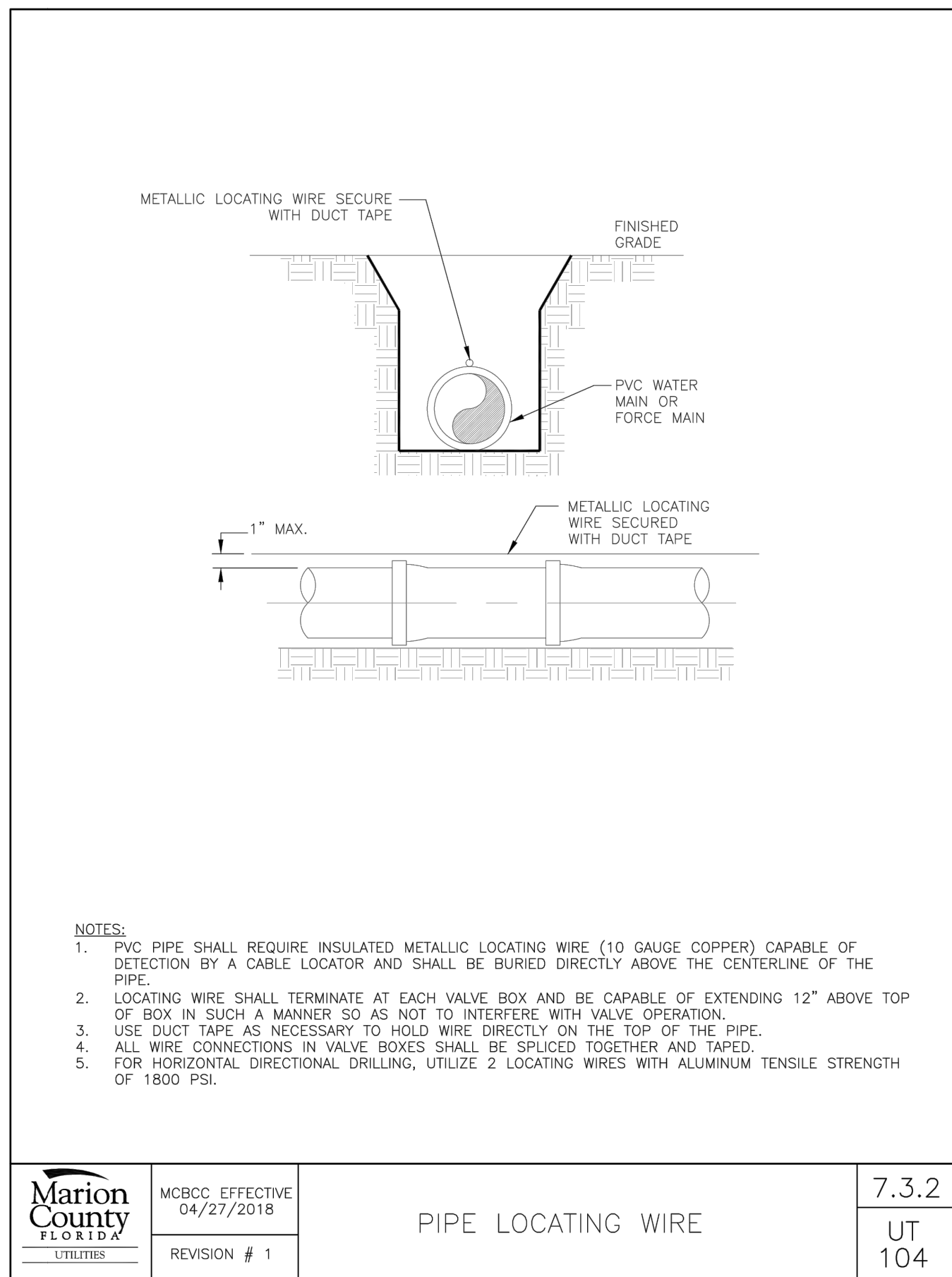




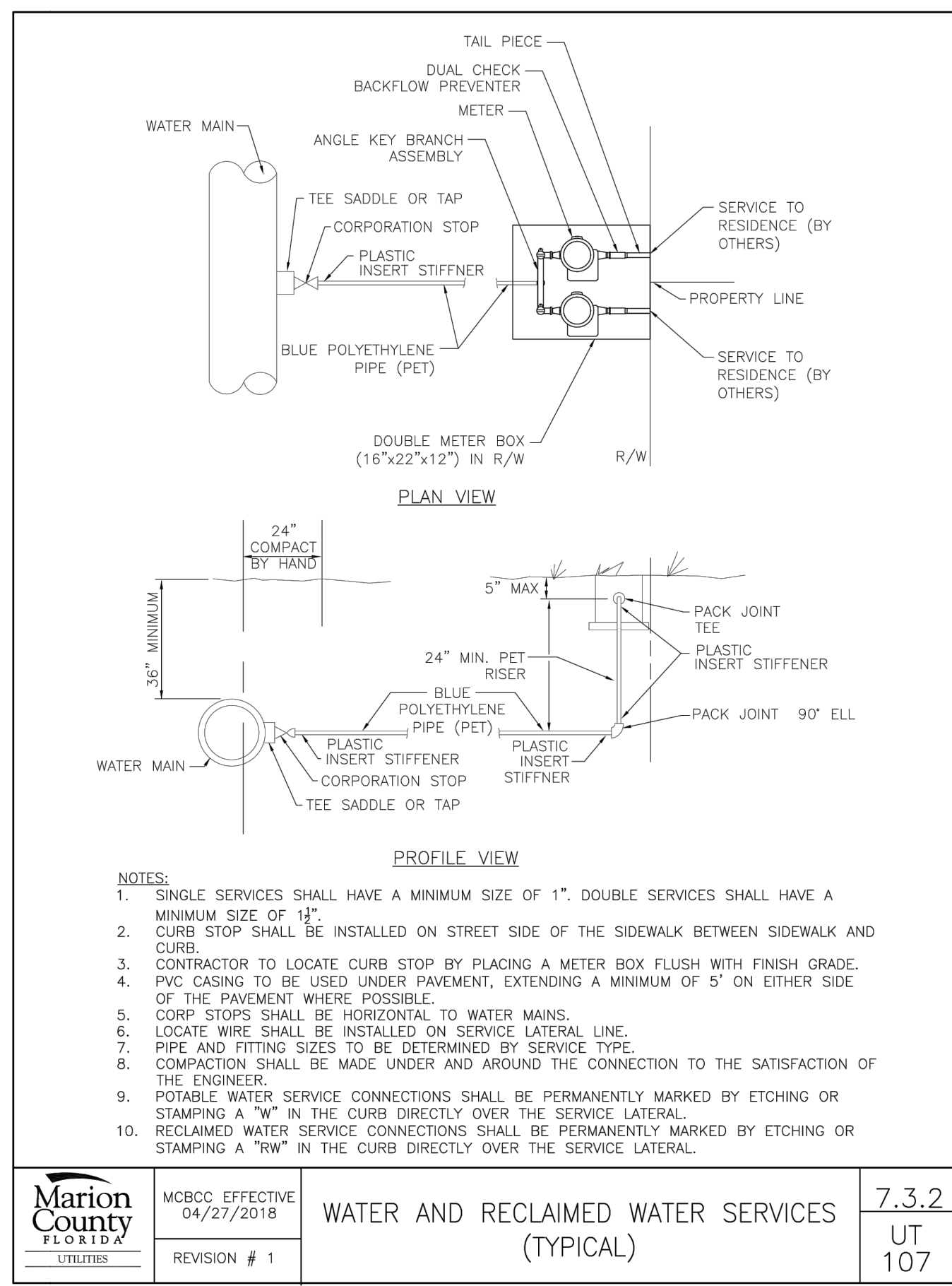
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	REVISION # 1		UT 102



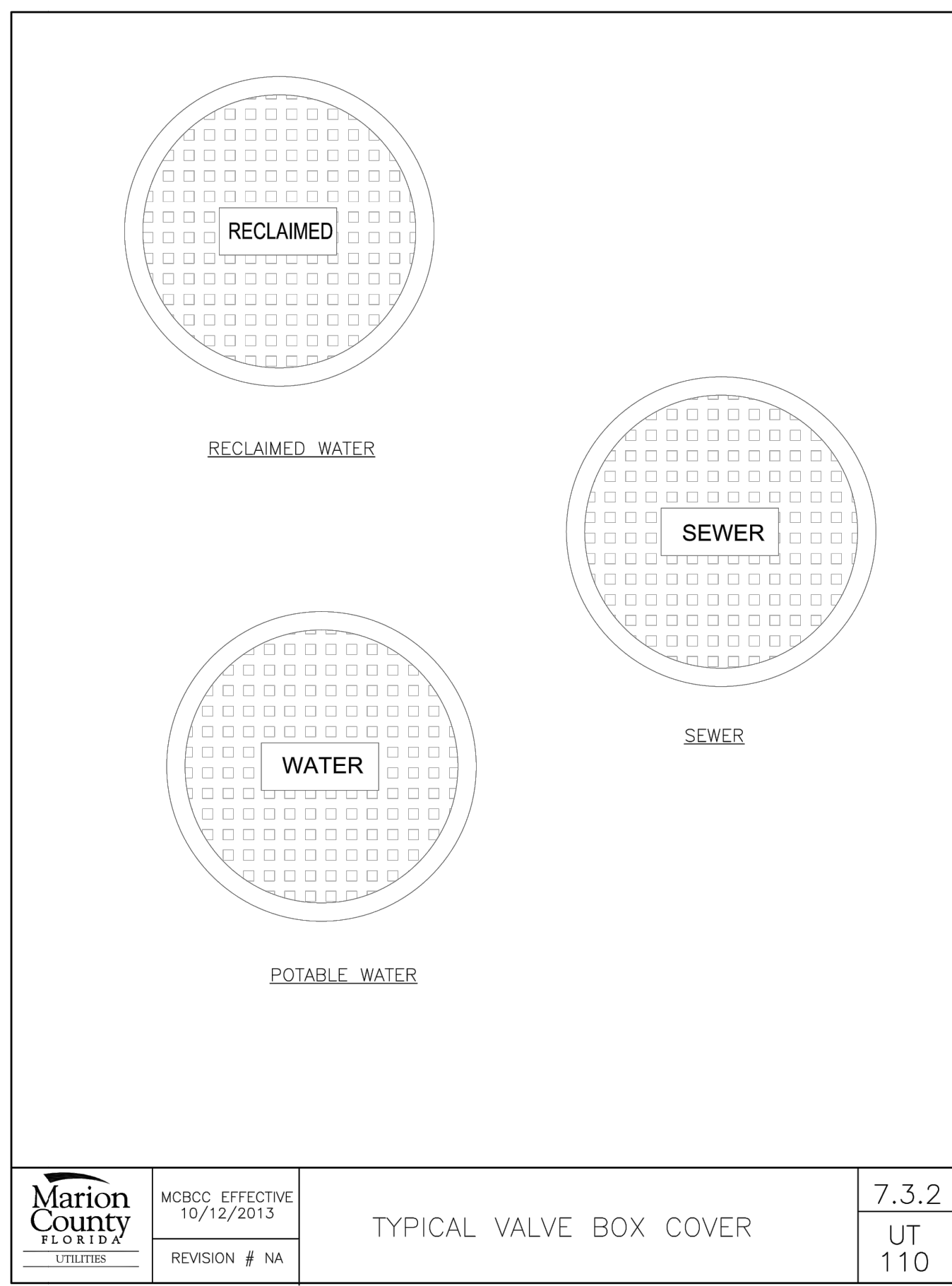
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	REVISION # 1		UT 103



	MCBCC EFFECTIVE 04/27/2018	<b>PIPE LOCATING WIRE</b>	7.3.2
	REVISION # 1		UT 104



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	REVISION # 1		UT 107

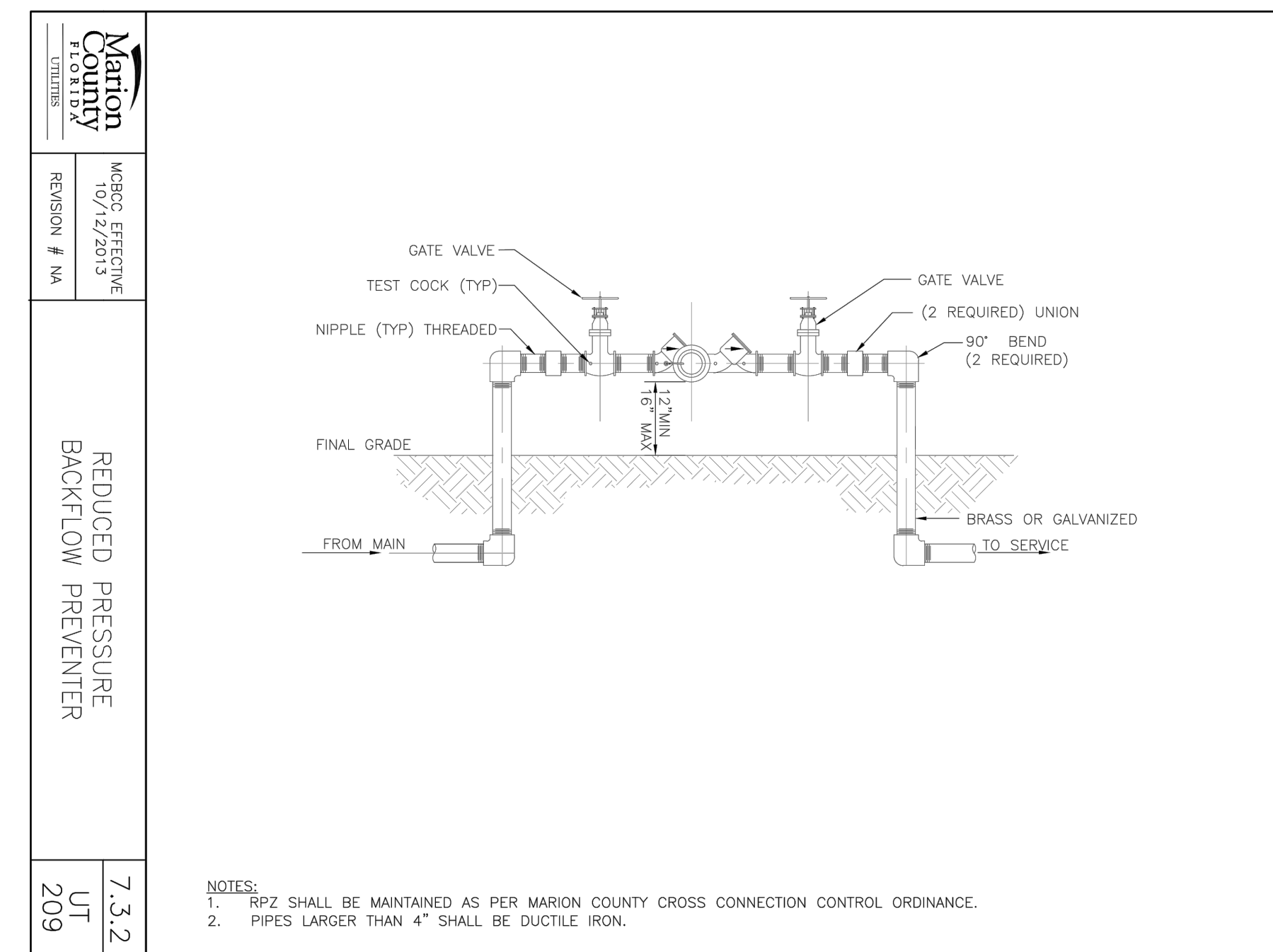
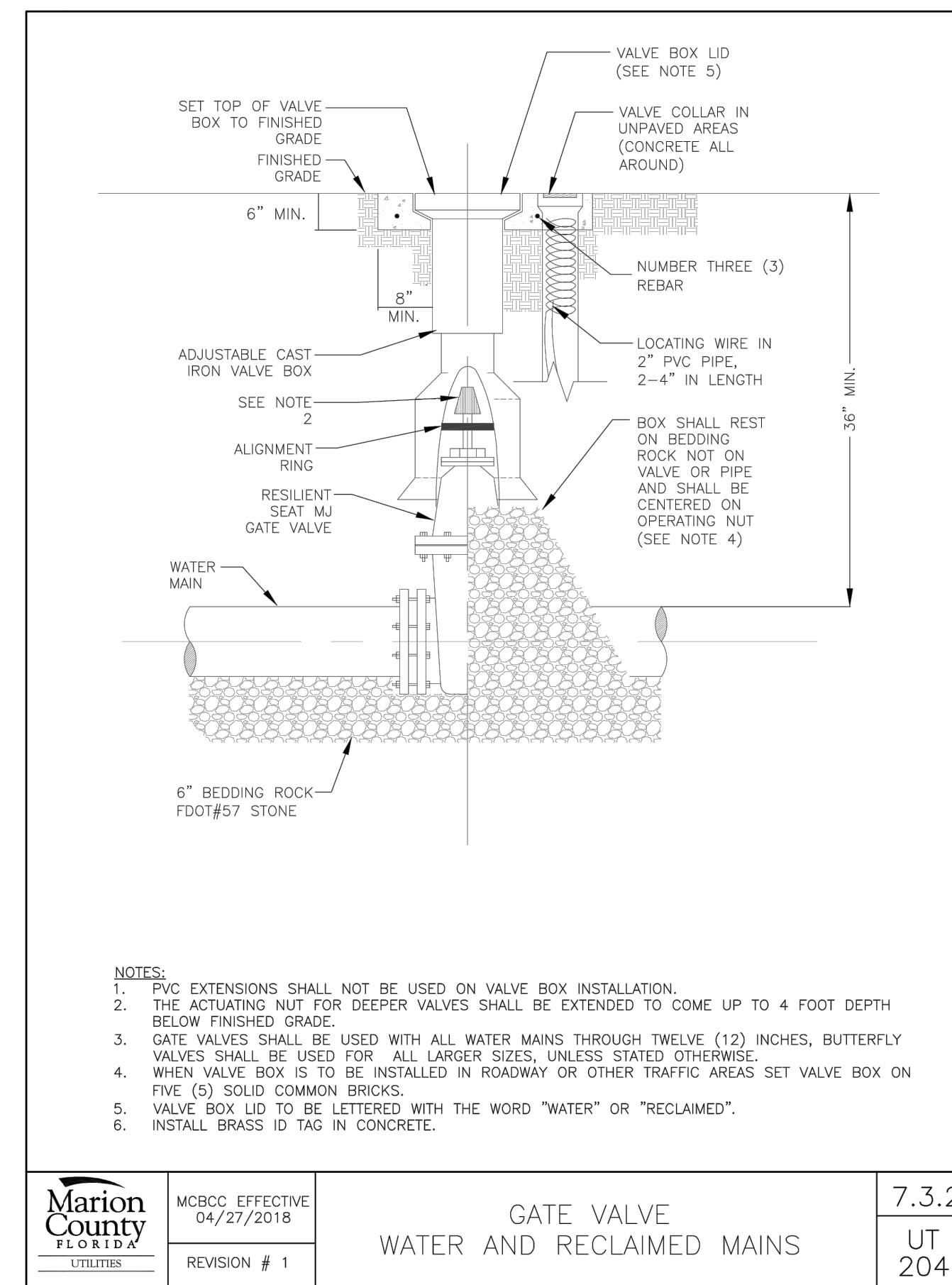
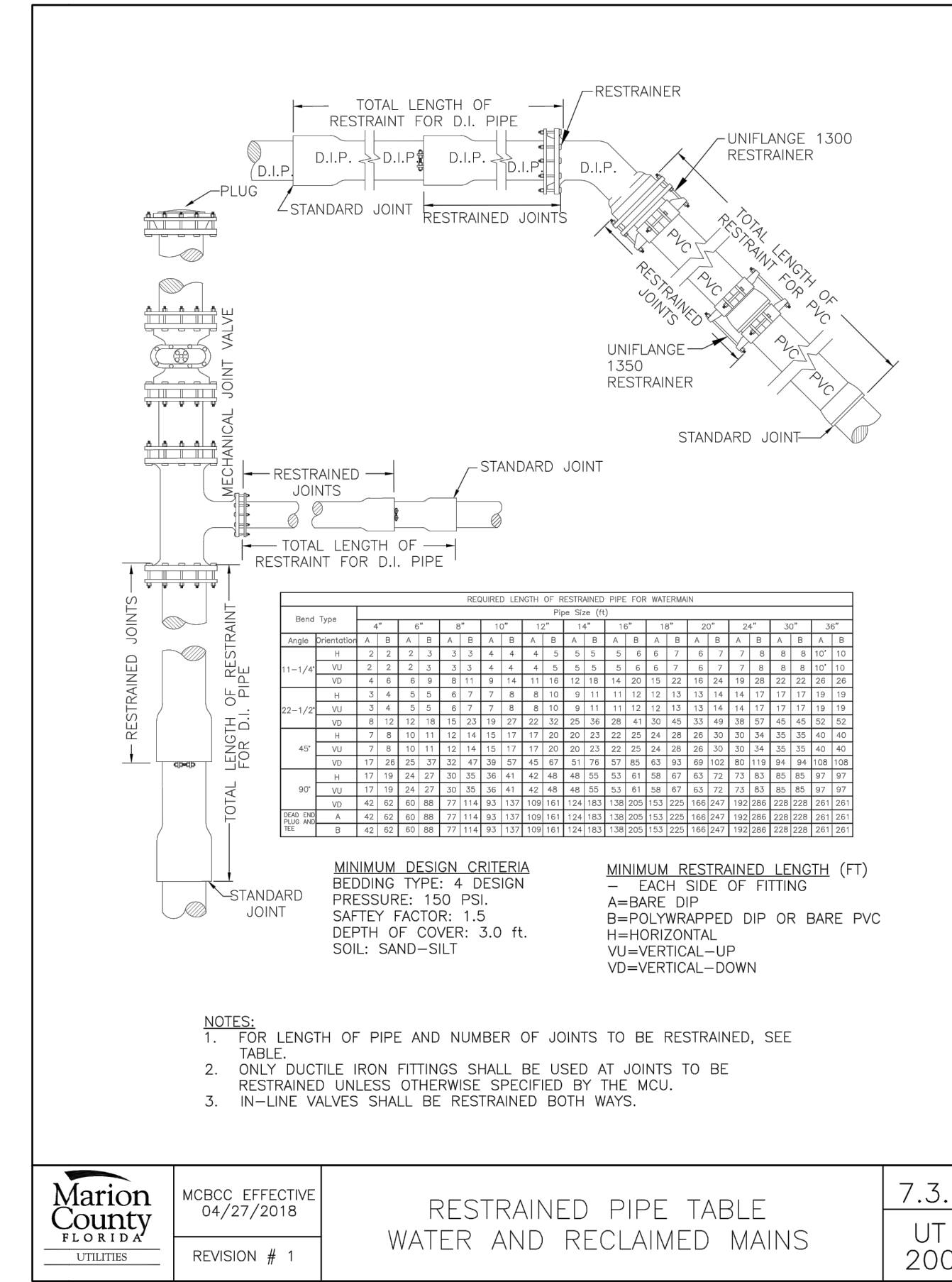
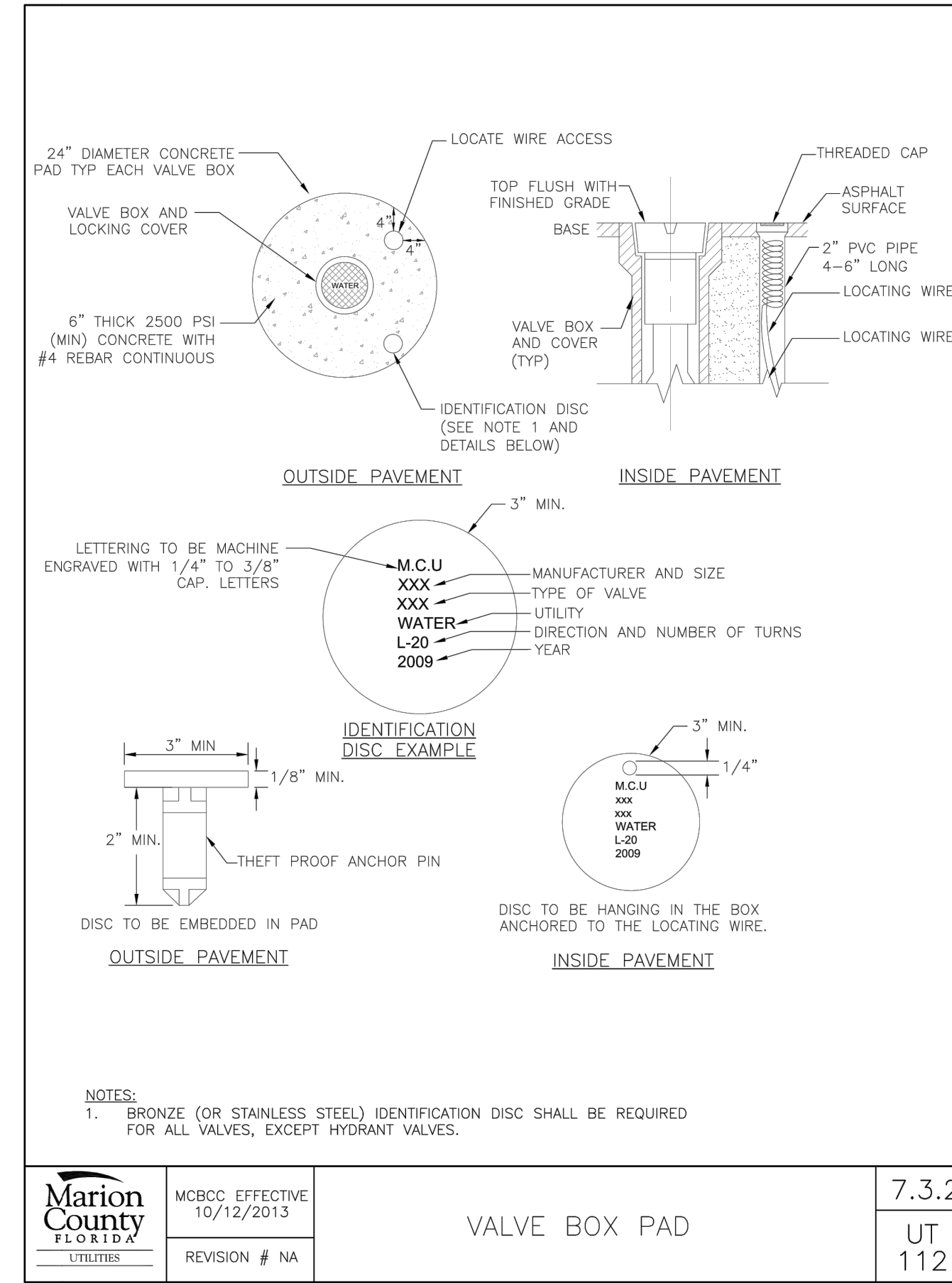
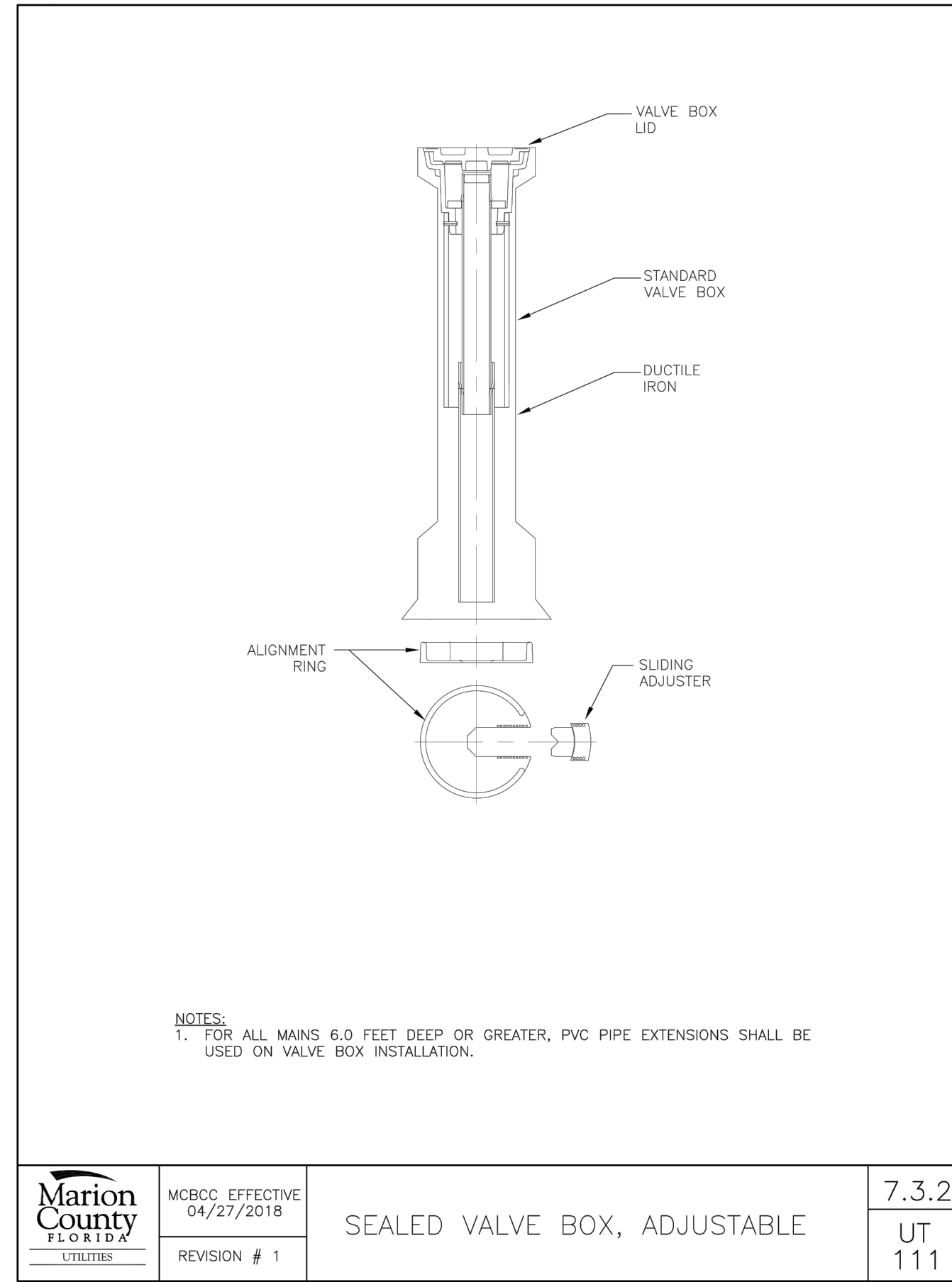


	MCBCC EFFECTIVE 10/12/2013	<b>TYPICAL VALVE BOX COVER</b>	7.3.2
	REVISION # NA		UT 110

A  
B  
C  
D

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REVISIONS	02/16/21 MARION COUNTY, SIBWIND & FOOT SCHERER CONSTRUCTION OF N. FLORIDA PROJECT: CAMRUS USA SUMMERFIELD SHEET TITLE: CONSTRUCTION DETAILS PROJECT NUMBER: 20-0127		
DESIGNER	T.E. COWART T. COVARE C. MENHENNETT, E.I. D.H. YOUNG, P.E.	QUALITY CONTROL D.H. YOUNG, P.E.	PROJECT NUMBER 20-0127
CITY	SCHERER CONSTRUCTION OF N. FLORIDA CAMRUS USA SUMMERFIELD		
FL PE No.	20780		
SHEET No.	C011		



101 NE 1st Avenue  
Ocala, Florida 34470  
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est. 1986 FLORIDA  
CA-5075

**CHW**  
Professional Consultants

SCALE: N/A  
VERTICAL SCALE ON ORIGINAL DRAWING: 1" = 10'  
HORIZONTAL SCALE ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

REVISIONS:  
DATE: 02/16/21  
BY: MARION COUNTY, SIRMWD & FOOT  
PROJECT: SCHERER CONSTRUCTION OF N. FLORIDA  
PROJECT: CAMRUS USA SUMMERFIELD  
SHEET TITLE: CONSTRUCTION DETAILS

DESIGNED BY: E.E. COWART  
CHECKED BY: C. MENHENNETT, E.I.  
QUALITY CONTROL: D.H. YOUNG, P.E.  
PROJECT NUMBER: 20-0127

DANIEL H. YOUNG

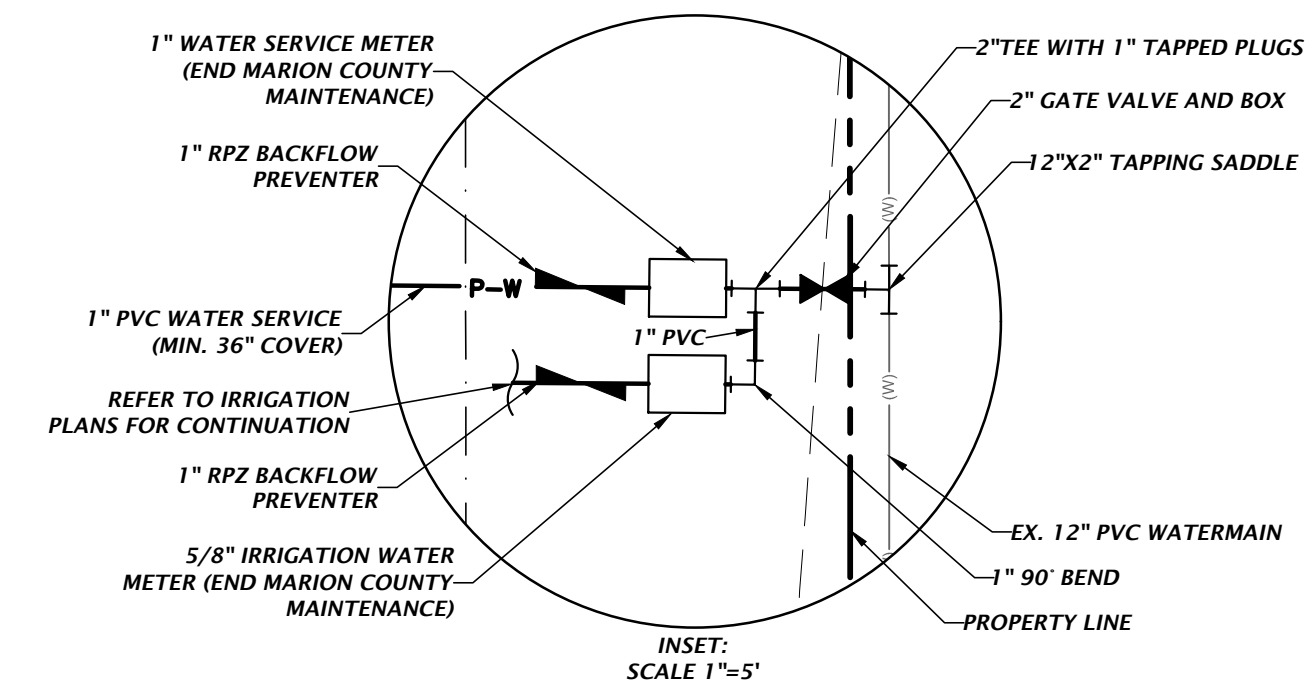
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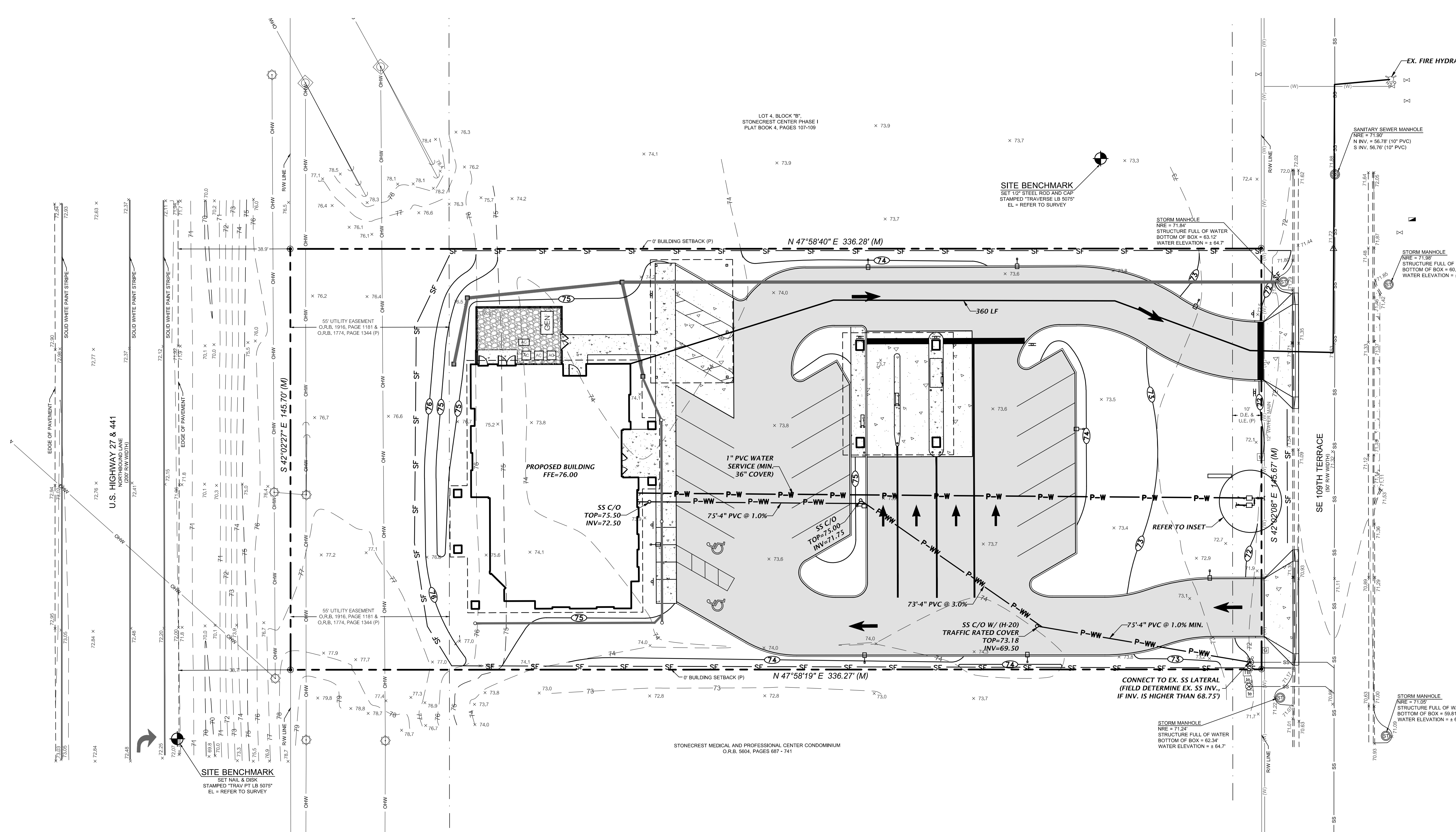
FIXTURE TYPE	NO. PROPOSED	UNITS	FIXTURE
LAVATORY (1.5" MIN. TRAP)	2	X 1	= 2
DRINKING FOUNTAIN	2	X 0.5	= 1
SERVICE SINK, 3" DRAIN	1	X 5	= 5
WATER CLOSET, PUBLIC INSTALLATION	2	X 4	= 8
<b>TOTAL</b>			<b>= 16</b>

ERC CALCULATION	
TOTAL ERC VALUE (WATER) = 16 FIXTURE UNITS X 35/350 = 1.6 ERC	
TOTAL ERC VALUE (WASTEWATER) = 16 FIXTURE UNITS X 30/300 = 1.6 ERC	



ALL WATER AND SEWER SHALL BE INSTALLED IN ACCORDANCE WITH MARION COUNTY UTILITY STANDARDS



Title: Thomas; Plot Date: Feb 16, 2021 12:09pm; Filename: N:\2020\20-0127\Uncorrelated\02\_DWG\Production\Files\20-0127\_M5.dwg

101 NE 1st Avenue  
Ocala, Florida 34470  
(352) 414-4621  
www.chw-inc.com  
est. 1986 FLORIDA  
CA-5075

**CHW**  
Professional Consultants

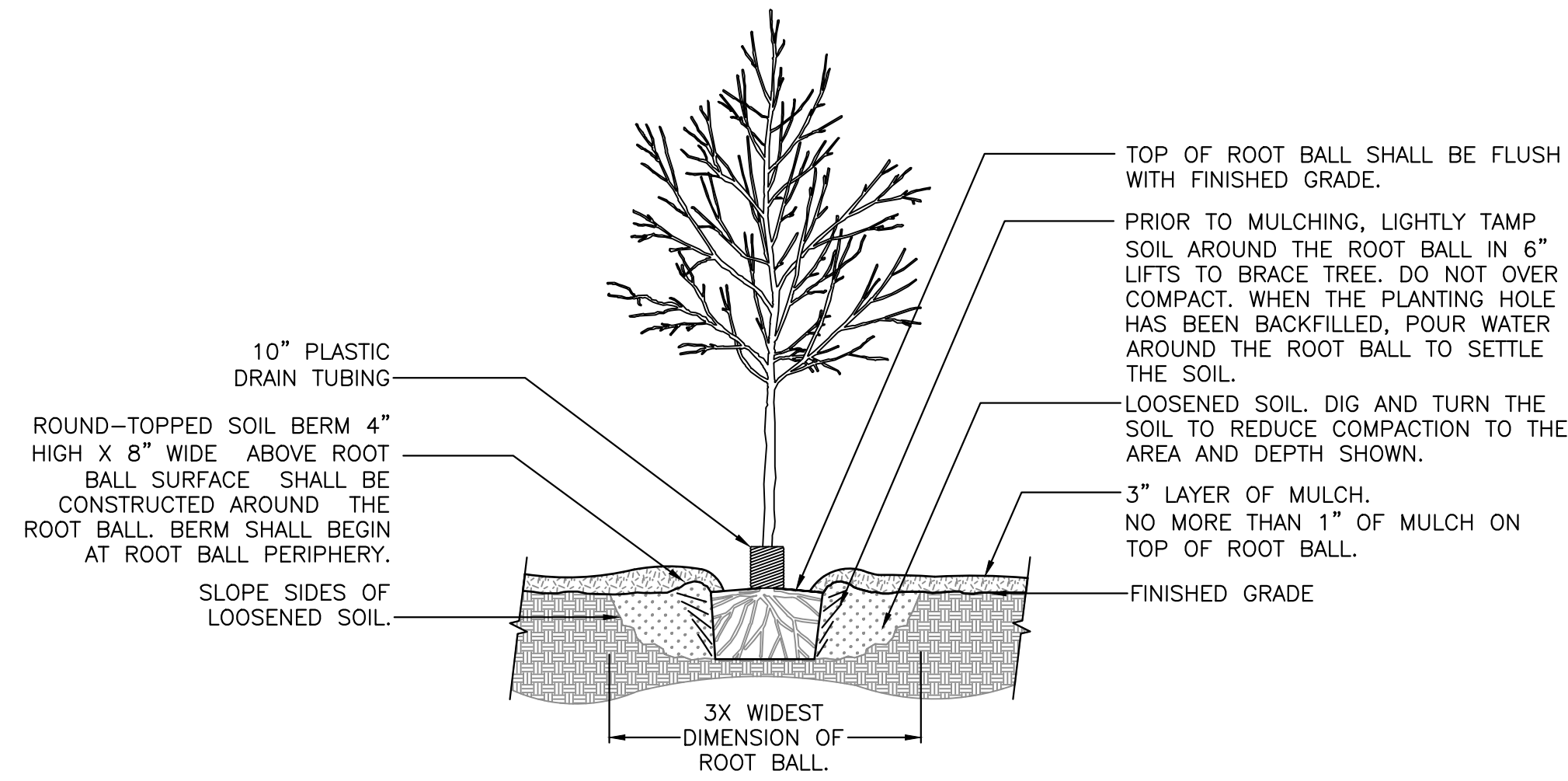
VERTICAL SCALE  
ORIGINAL DRAWING  
0  
HORIZONTAL SCALE  
THIS SHEET, ADJUST  
SCALES ACCORDINGLY.

SCALE: 1"=20'  
VERTICAL SCALE  
ORIGINAL DRAWING  
0  
HORIZONTAL SCALE  
THIS SHEET, ADJUST  
SCALES ACCORDINGLY.

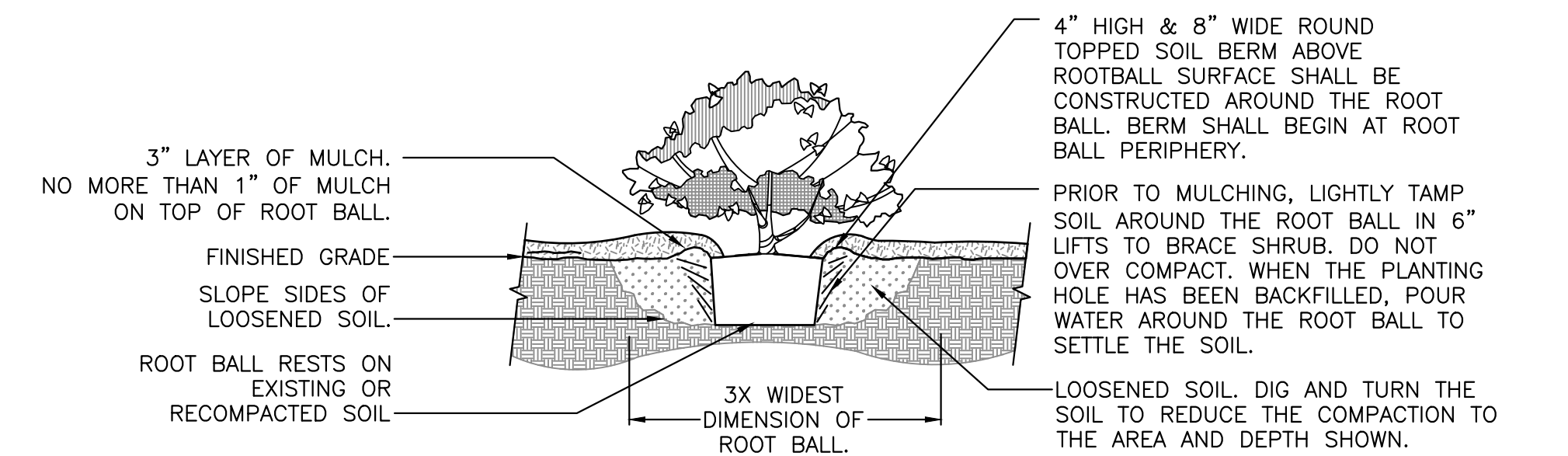
CITY: SCHERER CONSTRUCTION OF N. FLORIDA  
PROJECT: CAMPUS USA SUMMERFIELD  
SHEET TITLE: DETAILED UTILITY PLAN  
PROJECT NUMBER: 20-0127

DESIGNER: E.E. COWART  
CHECKER: C. MENHENNETT, E.L.  
QUALITY CONTROL: D.H. YOUNG, P.E.  
PROJECT NUMBER: 20-0127

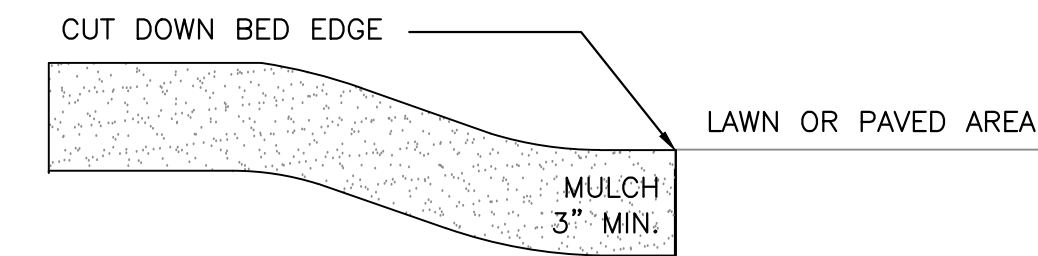
DANIEL H. YOUNG  
FL PE No. 20780  
SHEET No.  
**C013**



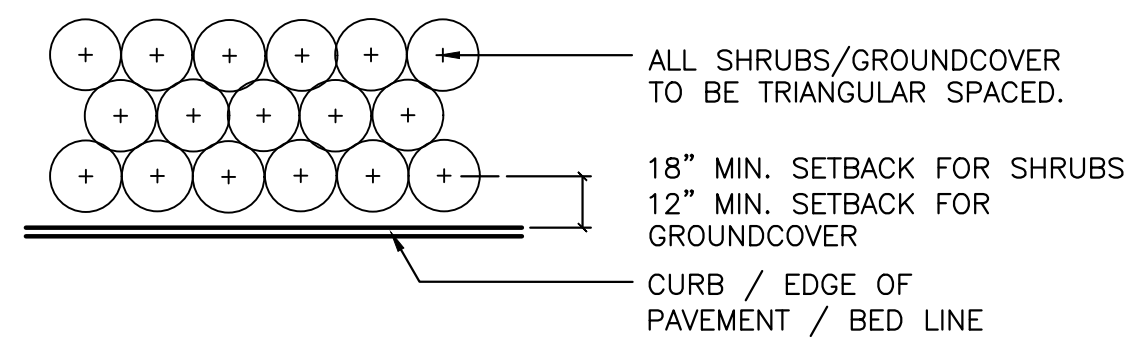
1 TREE PLANTING DETAIL  
SCALE: N.T.S.



2 SHRUB PLANTING DETAIL  
SCALE: N.T.S.



3 MULCH DETAIL  
SCALE: N.T.S.



NOTE: THE PERIMETER OF ALL CURVED PLANTING BEDS SHALL BE PLANTED WITH A ROW OF SHRUBS AS SHOWN IN THE PLANS AND AT THE SPACING SHOWN IN THE PLANT LIST. INTERIOR PORTIONS OF EACH BED SHALL BE PLANTED AT APPROPRIATE SPACING ACCORDING TO THIS PLANT SPACING DETAIL.

4 SHRUB PLANTING DETAIL  
SCALE: N.T.S.

**KNOW WHAT'S BELOW  
ALWAYS CALL 811  
BEFORE YOU DIG**  
It's fast, it's free, it's the law.  
Call 811 two business days before digging

BUFFER LANDSCAPE REQUIREMENTS [Section 6.8.6]

LOCATION	BUFFER LENGTH & TYPE	LANDSCAPE REQUIRED	LANDSCAPE PROVIDED
FRONT PERIMETER	145 L.F. BUFFER TYPE 'C'	15' WIDE LANDSCAPE STRIP W/O BUFFER WALL 2 SHADE TREES/100 LF 3 ORNAMENTAL TREES/100 LF 50% SHRUBS/GROUND COVER	3 SHADE TREES 4 ORNAMENTAL TREES 50% SHRUBS/GROUND COVER
REAR PERIMETER	145 L.F. BUFFER TYPE 'C'	15' WIDE LANDSCAPE STRIP W/O BUFFER WALL 2 SHADE TREES/100 LF 3 ORNAMENTAL TREES/100 LF 50% SHRUBS/GROUND COVER	3 SHADE TREES 4 ORNAMENTAL TREES 50% SHRUBS/GROUND COVER

TREE MITIGATION CALCULATIONS (LDC 6.7.9)	
CATEGORY	MITIGATION CALCULATIONS
REPLACEMENT OF TREES <30" DBH	<p><b>TREES 10"-19" DBH</b></p> <p>EXISTING TREES 10"-19" DBH:.....0" REPLACEMENT TREES REQUIRED (⊙ 1:2 INCH REPLACEMENT):.....0 TREES</p> <p><b>TREES 20"-29" DBH</b></p> <p>EXISTING TREES 20"-29" DBH:.....0" REPLACEMENT TREES REQUIRED (⊙ 1.5:2 INCH REPLACEMENT):.....0 TREES</p> <p>TOTAL INCHES REQUIRED.....0"</p>
REPLACEMENT OF TREES >30" DBH	<p><b>TREES 30"+ DBH IN FAIR OR BETTER CONDITION</b></p> <p>EXISTING TREES 30"+ DBH:.....0" REPLACEMENT TREES REQUIRED (⊙ 1:1 INCH REPLACEMENT):.....0 TREES</p> <p><b>TREES 30"+ DBH IN LESS THAN FAIR CONDITION</b></p> <p>EXISTING TREES 30"+ DBH:.....0" REPLACEMENT TREES REQUIRED (⊙ 1.5:2 INCH REPLACEMENT):.....0 TREES</p> <p>TOTAL INCHES REQUIRED.....0"</p>

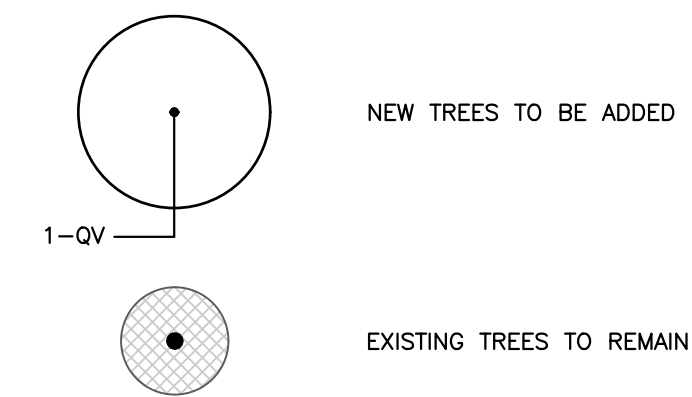
LANDSCAPE AREA REQUIREMENT (LDC 6.8.4)  
FOR NON-RESIDENTIAL DEVELOPMENT, AT LEAST 20 PERCENT OF THE LAND TO BE DEVELOPED SHALL BE LANDSCAPED.

TOTAL SITE AREA = 1.12 ACRES / 48,990 SF
LANDSCAPED AREA TOTAL PROPOSED LANDSCAPED AREA.....16,457 SF
16,457 SF/48,990 SF = 33.6%

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
INS	12	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	30 GAL, 7' HT, 3' SPR, 2" CAL
LIN	4	LAGERSTROEMIA INDICA 'NATCHEZ'	NATCHEZ GRAPE MYRTLE	30 GAL, 10' HT, 4' SPR, 2" CAL
LT	4	LIRIODENDRON TULIPIFERA	TULIP TREE	65 GAL., 13.5' HT., 5' SPR., 3.5" CAL.
QVB	6	QUERCUS VIRGINIANA 'BOARDWALK'	BOARDWALK LIVE OAK	65 GAL., 14.5' HT., 5.5' SPR., 3.5" CAL.
TD	3	TAXODIUM DISTICHUM	BALD CYPRESS	30 GAL, 12' HT, 42" SPR, 2" CAL
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
BX	77	BUXUS MICROPHYLLA	BOXWOOD	3 GAL, FULL
LL	72	LOROPETALUM CHINENSE 'PLUM'	PLUM LOROPETALUM	3 GAL., 24" HT. X 12" SPR.
VOS	190	VIBURNUM OBOVATUM 'MRS. SHILLER'S DELIGHT'	MRS. SHILLERS DELIGHT VIBURNUM	3 GAL., FULL
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
LEM	221	LIRIOPE MUSCARI 'EMERALD GODDESS'	EMERALD GODDESS LIRIOPE	1 GAL., FULL
MU	124	MUHLENBERGIA CAPILLARIS	PINK MUHLY	1 GAL., FULL
SOD/SEED		BOTANICAL NAME	COMMON NAME	SIZE
SOD		PASPALUM NOTATUM 'ARGENTINE'	BAHIA GRASS	WEED FREE AND SAND GROWN SOD

LEGEND



GENERAL NOTES

ALL ASPHALT, LIMESTONE, AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM PLANTING BEDS AND SOD AREAS PRIOR TO LANDSCAPE INSTALLATION. IF ENCOUNTERED DURING CONSTRUCTION OR INSTALLATION, THESE SHALL BE EXCAVATED AND REMOVED FROM THE SITE. PLANTING DEPTH OF SOIL IN SUCH AREAS SHOULD BE AT LEAST 3". IF FILL MUST BE ADDED, IT MUST BE FLORIDA CLEAN DEEP FILL (FREE OF WEED SEEDS) WITH pH 6.0 - 7.5.

ALL LANDSCAPED AREAS SHALL BE MULCHED WITH 3" THICKNESS OF MULCH. PINE BARK MULCH SHALL BE USED IN ALL AREAS.

NEW TREES OUTSIDE OF MULCHED LANDSCAPED BEDS WILL BE PROTECTED FROM MOWER AND STRING TRIMMER DAMAGE WITH 10" OF PLASTIC DRAIN TUBING.

LEADER SHOOTS AND MAIN STRUCTURAL LIMBS OF TREES SHALL NOT BE TOPPED OR PRUNED. TREES WILL BE STAKED AS NEEDED. GUYLINES WILL BE OF NON-SYNTHETIC BIODEGRADABLE MATERIAL.

REFER TO CIVIL PLANS FOR TREE BARRICADE DETAILS AND INFORMATION.

GRASSING

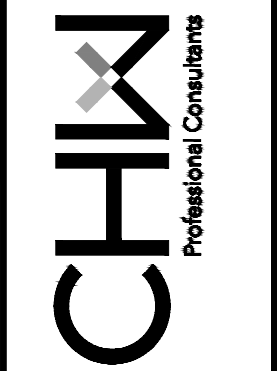
ALL DISTURBED AND UNPAVED AREAS TO BE GRASSED WITH SOD THAT IS FREE OF NOXIOUS WEEDS INCLUDING TROPICAL SODA APPLE OR SHALL BE SEEDED AND MULCHED. SEE CIVIL SITE PLANS FOR ADDITIONAL RELATED INFORMATION.

PLANT MATERIAL

ALL PLANT MATERIAL TO BE FLORIDA NO.1 OR BETTER, GRADED IN ACCORDANCE WITH THE STATE OF FLORIDA DEPARTMENT OF AGRICULTURE, DIVISION OF PLANT INDUSTRY'S 'GRADES AND STANDARDS FOR NURSERY PLANTS', CURRENT EDITION AT THE TIME PLANS ARE ISSUED. CALL LANDSCAPE ARCHITECT PRIOR TO PURCHASING ANY PLANT MATERIAL FOR AN ON SITE INSPECTION AND REVIEW OF LANDSCAPE PLAN.

PLANT QUANTITIES SHOWN ARE FOR PERMITTING PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM ALL QUANTITIES SHOWN ON THE PLAN.

11801 Research Drive  
Alachua, Florida 32615  
(352) 351-1976  
www.chw-inc.com



SCALE: N/A  
REFER TO SHEET 20-0127 FOR ORIGINAL DRAWING  
0 1" = 10' (SEE PLAN FOR THIS SHEET, ADJUST SCALES ACCORDINGLY)

CONSTRUCTION/REVISIONS

2/10/21 SUBMITTAL TO MARION COUNTY & SRWMD

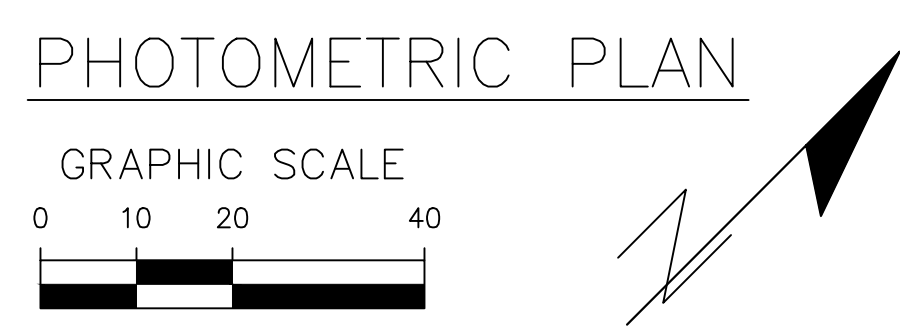
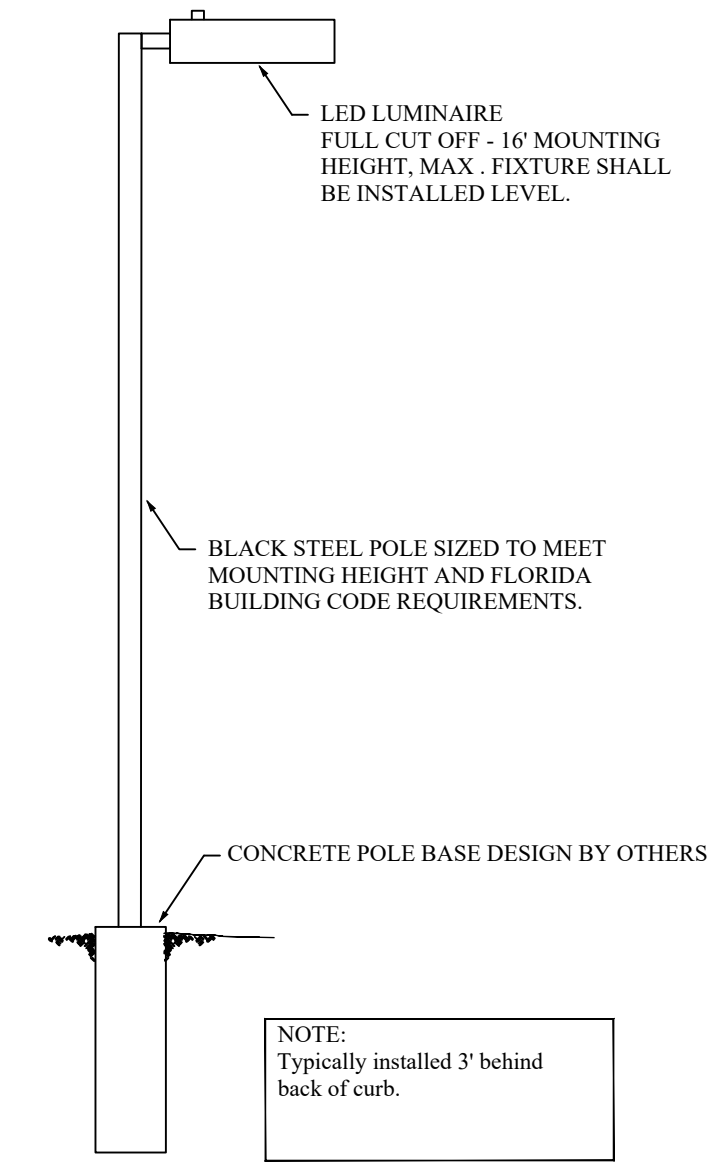
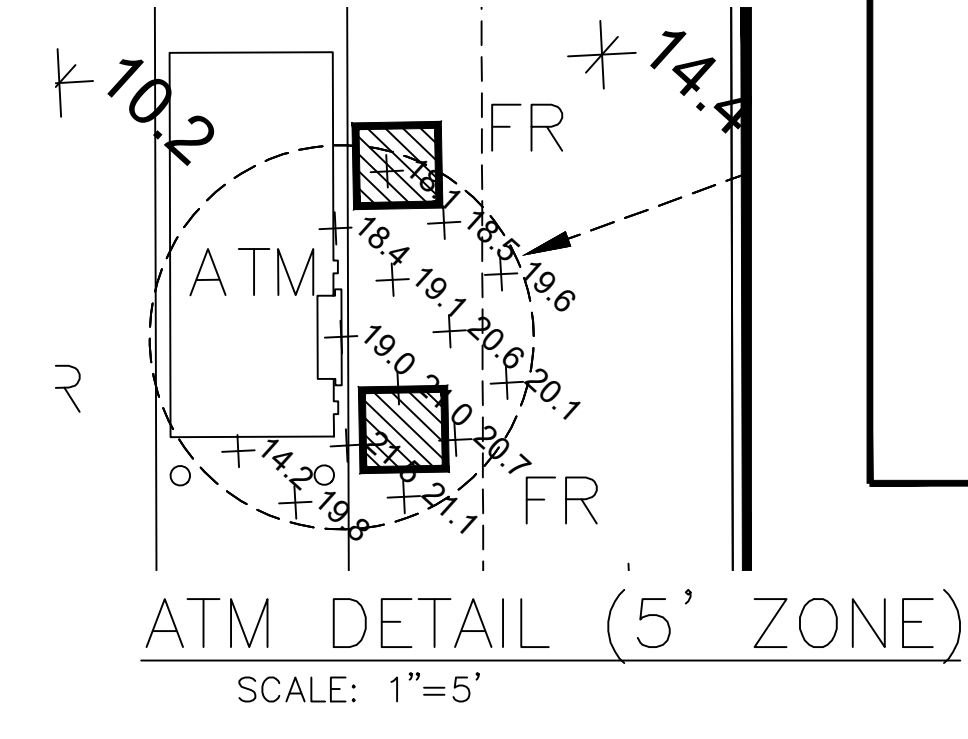
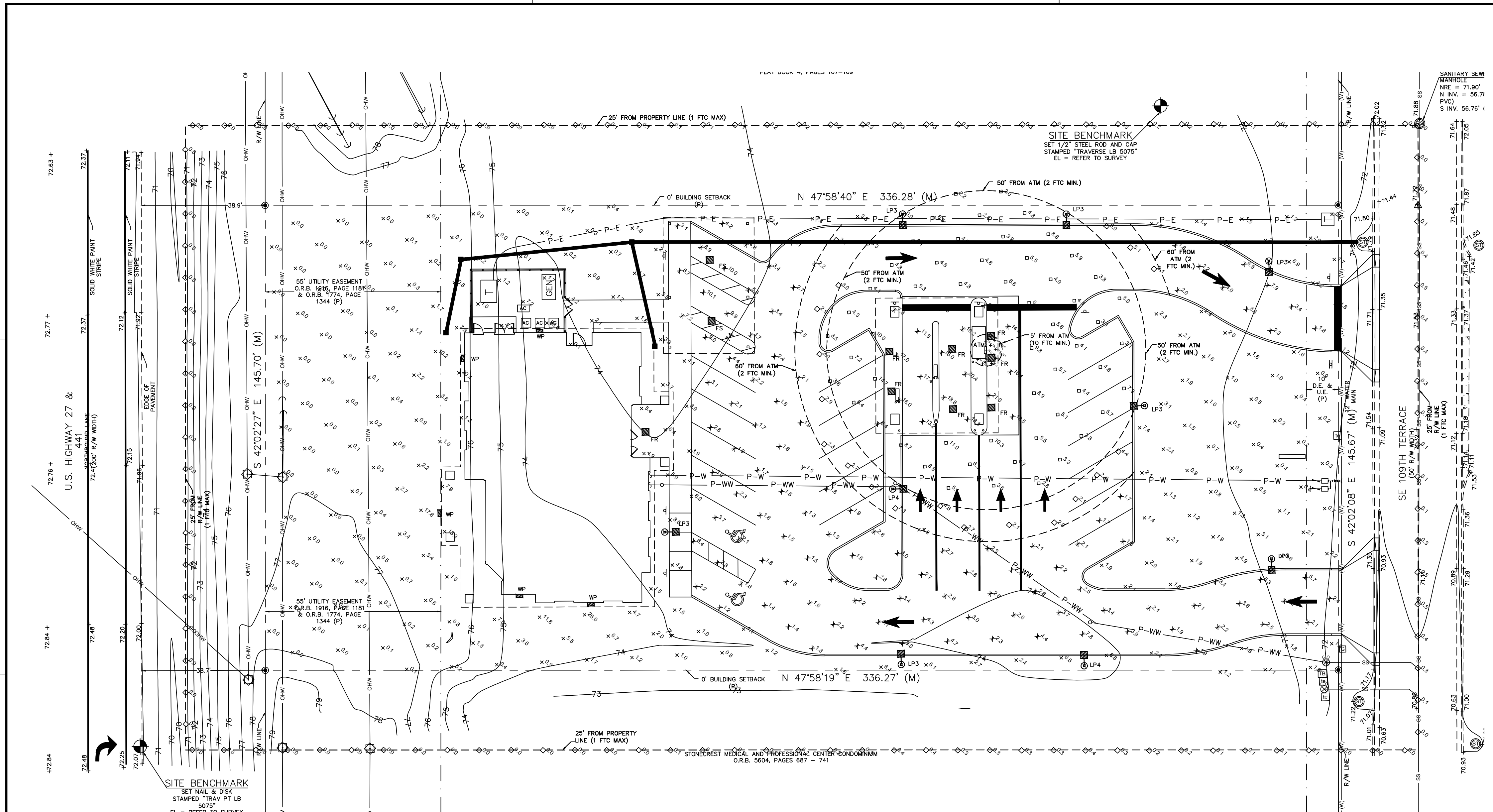
CLIENT: CAMPUS USA CREDIT UNION  
PROJECT: CAMPUS USA SUMMERFIELD  
SHEET TITLE: LANDSCAPE SCHEDULE, CALCULATIONS, & NOTES

DESIGNER: L. ROSARIO  
QUANTITY CONTROL: L. ROSARIO  
PROJECT NUMBER: C. TOLAR  
SHEET NUMBER: 20-0127

SHEET NO: LS-1

Title: hector For Date: Feb 13, 2021 4:05pm Filename: N:\2020\20-0127\Department\01\_dwg\01\_permitting\20-0127\_Design\_Base.dwg





Description	Avg	Max	Min	Max/Min	Avg/Min	Applicable Code
PAVING (NO ATM ZONES)	2.8 fc	9.0 fc	1.2 fc	7.5:1	2.3:1	IESNA R8-18 SEE NOTE G.
ATM FACE-5' ZONE	19.4fc	21.5fc	14.2fc	1.5:1	1.4:1	FL STATUE 655.962(1)a -min>=10
50' ZONE	7.8 fc	21.0fc	2.0 fc	10.5:1	3.9:1	FL STATUE 655.962(1)b -min>=2fc
60' ZONE (PAVED AREAS ONLY)	3.1 fc	7.3 fc	2.0 fc	3.7:1	1.6:1	FL STATUE 655.962(1)c -min>=2fc
DRIVE THROUGH (NO 5' ZONE)	14.3fc	21.0fc	7.3 fc	2.9:1	2.0:1	IES TABLE 34.2
UNDER SERVICE CANOPY	7.0 fc	10.1fc	3.1 fc	3.3:1	2.3:1	IES TABLE 34.2
ENTIRE SITE	N/A	21.5fc	0.0 fc	N/A	N/A	N/A
25' PARCEL LINE BOUNDARY	0.3 fc	1.8 fc	0.0 fc	N/A	N/A	<1 fc SEE NOTE I

- NOTES:
- ALL LUMINAIRES ARE FULL CUT-OFF AS PER MARION COUNTY STANDARDS (MCS) CHAPTER 6.19.
  - CANOPY LIGHTS (A) ARE INSTALLED UNDERNEATH THE SERVICE AND ATM CANOPY AT APPROXIMATELY 10' ABOVE FINISHED GRADE AND AT BUILDING ENTRANCE 12.6' ABOVE FINISHED GRADE.
  - THE MAXIMUM MOUNTING HEIGHT OF POLE MOUNTED FIXTURES IS 16' ABOVE FINISH GRADE AS PER MCS 6.19.6(2).
  - LIGHT POLES ARE BLACK STEEL WITH 16' MOUNTING HEIGHT WITH CONCRETE FOUNDATIONS THAT MUST MEET FLORIDA BUILDING CODE WIND LOAD REQUIREMENTS. FOUNDATION DESIGN BY OTHERS.
  - POLES ARE INSTALLED 3' FROM BACK OF CURB TO FACE OF POLE. COORDINATE WITH OTHER UTILITIES.
  - LIGHTS ARE CONTROLLED BY TIME CLOCK AND PHOTOCELL (INSTALLED AS PER BUILDING ELECTRICAL PLANS).
  - THE LIGHTING DESIGN MEETS THE SPECIFIC ILLUMINATION REQUIREMENTS FOR PARKING LOT LIGHTING AS PER MCS, IESNA R8-18 AND THE IES HANDBOOK 2011 TABLE 34.2. UNIFORMITY RATIOS DO NOT EXCEED 15:1 AND MINIMUM FOOT CANDLES EXCEED 1.0. NOTE PAVING STATISTIC DOES NOT INCLUDE ATM ZONES THAT ARE FOUND ELSEWHERE IN THE TABLE.
  - ATM LIGHTING ZONE REQUIREMENTS MEET FLORIDA STATUE 655.962.
  - LIGHT TRESPASS IS LESS THAN 1 FOOT CANDLE WITHIN 25' OF ADJOINING COMMERCIAL PROPERTY AS PER MCS 6.19.6.
  - WALL PACK FIXTURES (WP) ARE INSTALLED AT 9' TYPICAL ABOVE FINISH GRADE.

Schedule

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	Lumen Multiple	LLF	Wattage	Distribution
FR	FR	8	Philips Gardco	SFCR-5W-48L-400-NW-G2-UNV-MGY	SLENDERFORM CANOPY, 48 LED'S, 4000K CCT, TYPE 5W OPTIC, RECESSED MOUNT	(3) LEDGNE 3 IP66 DRIVEN AT 400mA	1	SFC-5W-48L-400-NW-G2.IES	7183	0.9	0.97	59.6	V
FS	FS	2	Philips Gardco	SFC-5W-48L-400-NW-G2	SLENDERFORM CANOPY, 48 LED'S, 4000K CCT, TYPE 5W OPTIC, SURFACE MOUNT	(3) LEDGNE 3 IP66 DRIVEN AT 400mA	1	SFC-5W-48L-400-NW-G2.IES	7183	0.9	0.97	59.6	V
LP3	LP3	6	VISIONAIRE LIGHTING LLC	CON-2-L-T3-48LC-7-3K-UNV-BOAA6-FINISH	CONCOURSE Round Arm Mount FULL CUTOFF, 3000K CCT LUMINAIRE WITH TYPE 3 OPTIC, MOUNTED ON 16' MOUNTING HEIGHT STEEL POLE (SEE CUT SHEET)	(1(4)LED) ENGINE ARRAY(S) DRIVEN AT 700mA	1	CON-2-L-T3_48LC_5_3K-UNV_WM.IES	10690	1.0	0.90	81	III
LP4	LP4	3	VISIONAIRE LIGHTING LLC	CON-2-L-T4-48LC-7-3K-UNV-BOAA6-FINISH	CONCOURSE Round Arm Mount FULL CUTOFF, 3000K CCT LUMINAIRE WITH TYPE 3 OPTIC, MOUNTED ON 16' MOUNTING HEIGHT STEEL POLE (SEE CUT SHEET)	(1(4)LED) ENGINE ARRAY(S) DRIVEN AT 700mA	1	CON-2-L-T3_48LC_5_3K-UNV_WM.IES	10623	1.0	0.90	81	IV
WP	WP	5	TRULY GREEN SOLUTIONS	WPF-70W-40K-BA	FULL CUTOFF WALL PACK MOUNTED AT 9' ABOVE FINISHED GRADE	70W LED	1	WPF-70W-40K.IES	7336	0.9	0.97	70.4	V
POLE	POLE		UNITED LIGHTING STANDARDS	DRAWING RSA-6163-D1-BK	16' BLACK ROUND STEEL, CONCRETE PEDESTAL MOUNTED, POLE								

CLIENT: SCHERER CONSTRUCTION  
 PROJECT: CAMPUS USA SUMMERFIELD  
 SHEET TITLE: PHOTOMETRIC PLAN  
 SHEET NUMBER: 20-0127  
 DESIGNER: WTS  
 CHECKER: WTS  
 DATE: 7/16/2021  
 PROJECT LOCATION: 5304 NW 173RD STREET, ALACHUA, FL 32815  
 DRAWN BY: STORMANTW@COX.NET  
 SCALE: 1"=20'  
 REVISIONS: NONE  
 NOTES: THIS SHEET SHALL BE ADJUSTED TO FIT THE SHEET SIZE AND SCALE ACCORDINGLY.  
 SHEET NO.: P1

**CODE COMPLIANCE DATA**

**DESCRIPTION:** This project is for the construction of a new stand-alone single story building that will function as a Credit Union branch office with a single occupant, including a detached drive-through canopy with an ATM and teller stations, and two covered parking spaces for curb-side service. Construction consists of Insulated Concrete Forms (ICF) as load bearing exterior walls with brick veneer, pre-engineered wood truss roof framing with standing seam metal roof. A mechanical yard encloses HVAC equipment, generator, and transformer for the building. The drive-through is similar construction to match the building, the curb-side service canopy is a pre-engineered walkway cover.

**OCCUPANCY CLASSIFICATION:** Business - Group "B"

**FBC CONSTRUCTION TYPE:** Type V-B (any materials permitted by code, unprotected)

**FIRE RESISTANCE RATINGS:**

STRUCTURAL FRAME:	0 Hour Rated
BEARING WALLS:	0 Hour Rated
NON-BEARING WALLS & PARTITIONS:	(min 10 ft separation)
EXTERIOR -	0 Hour Rated
INTERIOR -	0 Hour Rated
CORRIDORS -	0 Hour Rated
FLOOR:	0 Hour Rated
ROOF:	0 Hour Rated
STAIR & SHAFT WALLS:	Not Applicable
OCCUPANCY SEPARATION:	Not Applicable

**FIRE SUPPRESSION:** SPRINKLERS: Building is NOT Sprinklered  
 HAZARD CLASSIFICATION: Moderate Hazard  
 FIRE EXTINGUISHERS: 75' Max Travel Distance  
 10 lb, Type ABC Extinguishers

**BUILDING HEIGHT & AREA (Type V-B / NS):**

	ALLOWABLE	ACTUAL PROVIDED
Stories	2 Stories	1 Story
Height	40 ft	23.5 ft
Area (Business)	9,000 sf	4,386 sf (building footprint) 5,594 sf (under roof) 1,197 sf (drive-through canopy) 1,216 sf (curbside canopy)

**OCCUPANT LOADS:**

BLDG	FUNCTION	OCC GROUP	BLDG AREA	OCC FACTOR	OCC LOAD
Credit Union	Offices	B	4,386 sf	100	44 Total Occupants

**EGRESS DISTANCES:**

	ALLOWABLE	ACTUAL PROVIDED
Travel Distance =	200 ft	80 ft
Common Path =	75 ft	30 ft
Dead End Corridor =	20 ft	16 ft

**EXITS:**

Number of Exits: 1 Exit Required (49 occupants or less) 2 Exits Provided  
 Exit Width: 9 in Minimum Required (44 x 0.2 in) 1 x 33 in + 1 x 45 in = 78 in Provided  
 Corridor Width: 36 in Min Req'd (less than 50 occupants) 38 in Minimum Provided

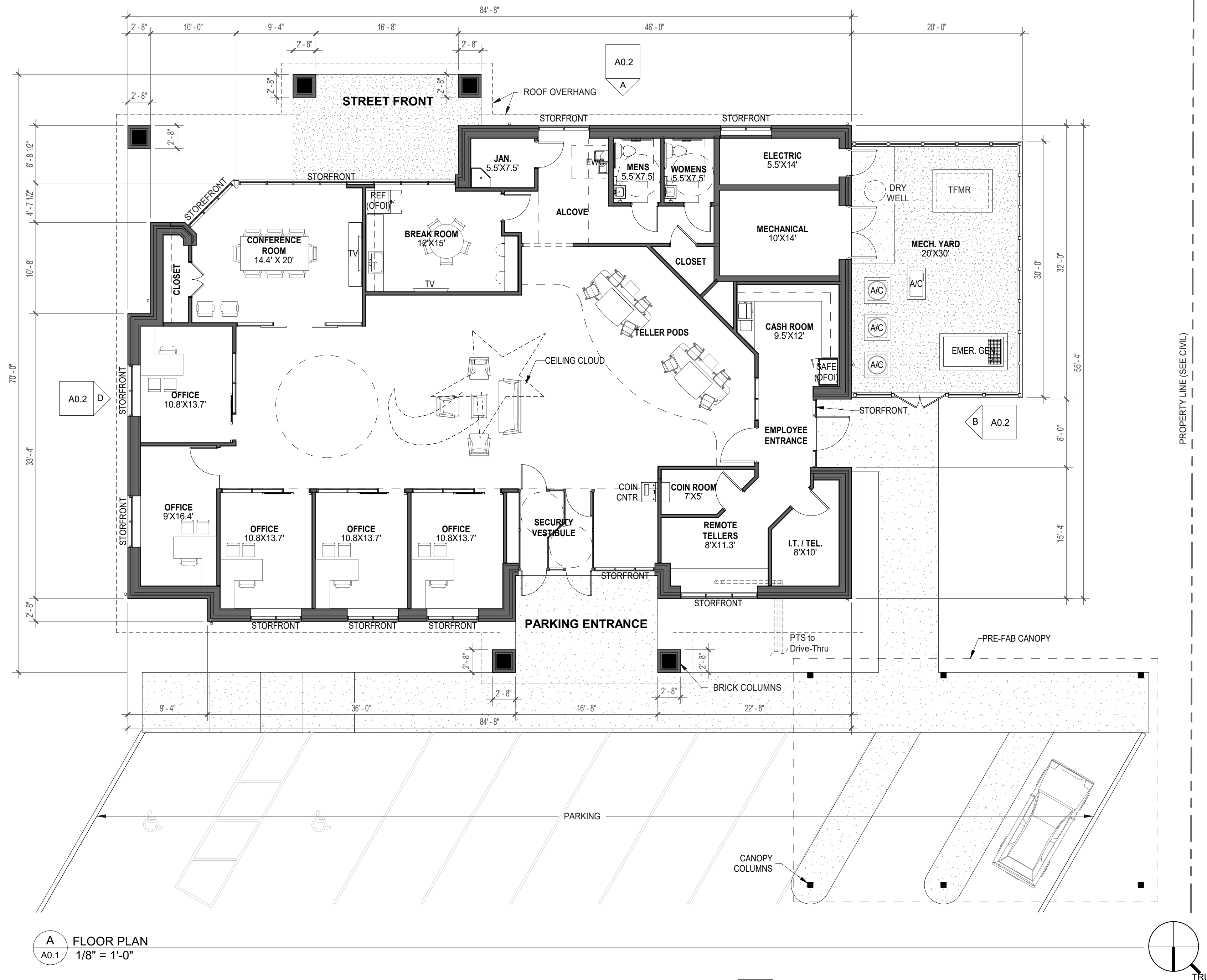
**PLUMBING FIXTURES:**

OCC	WC	LAV	DF	SERV SK
B	1 per 25	1 per 40	1 per 100	1
	2 provided	2 provided	2 provided	1 provided

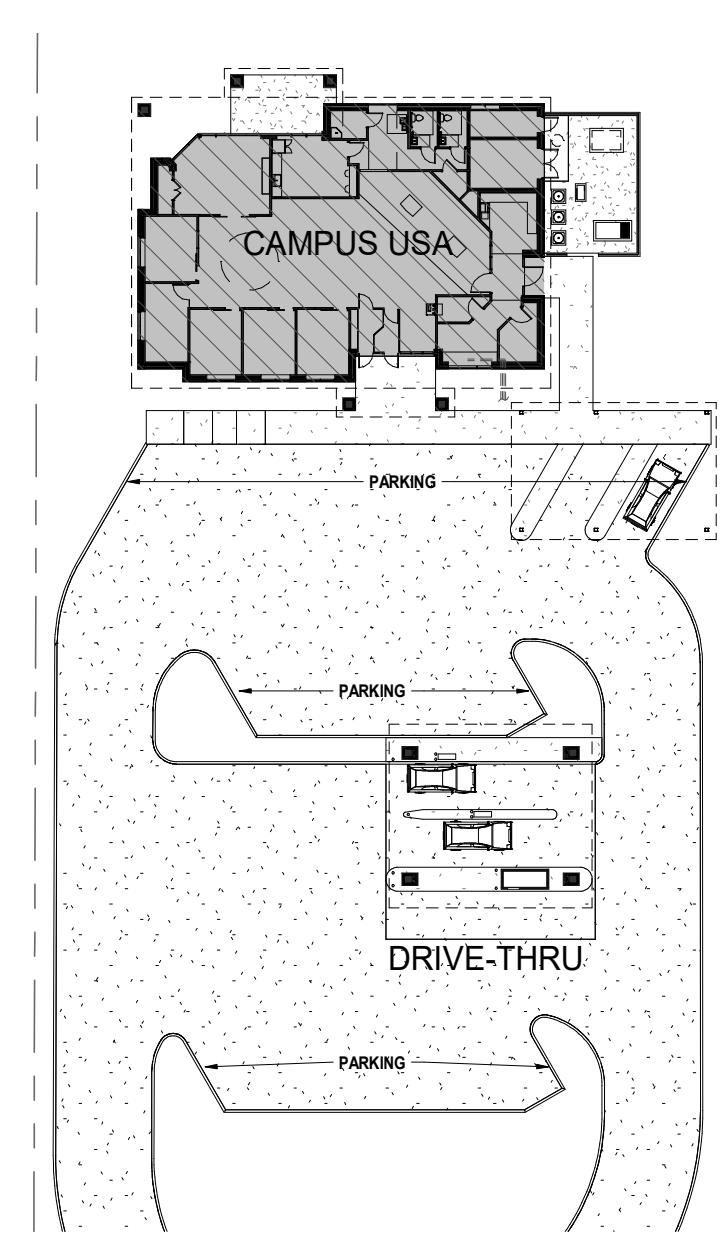
NOTE: All Restrooms, Fixtures, & Accessories are ADAAG Compliant, see Drawing A5.2 for Details

**APPLICABLE CODES:**

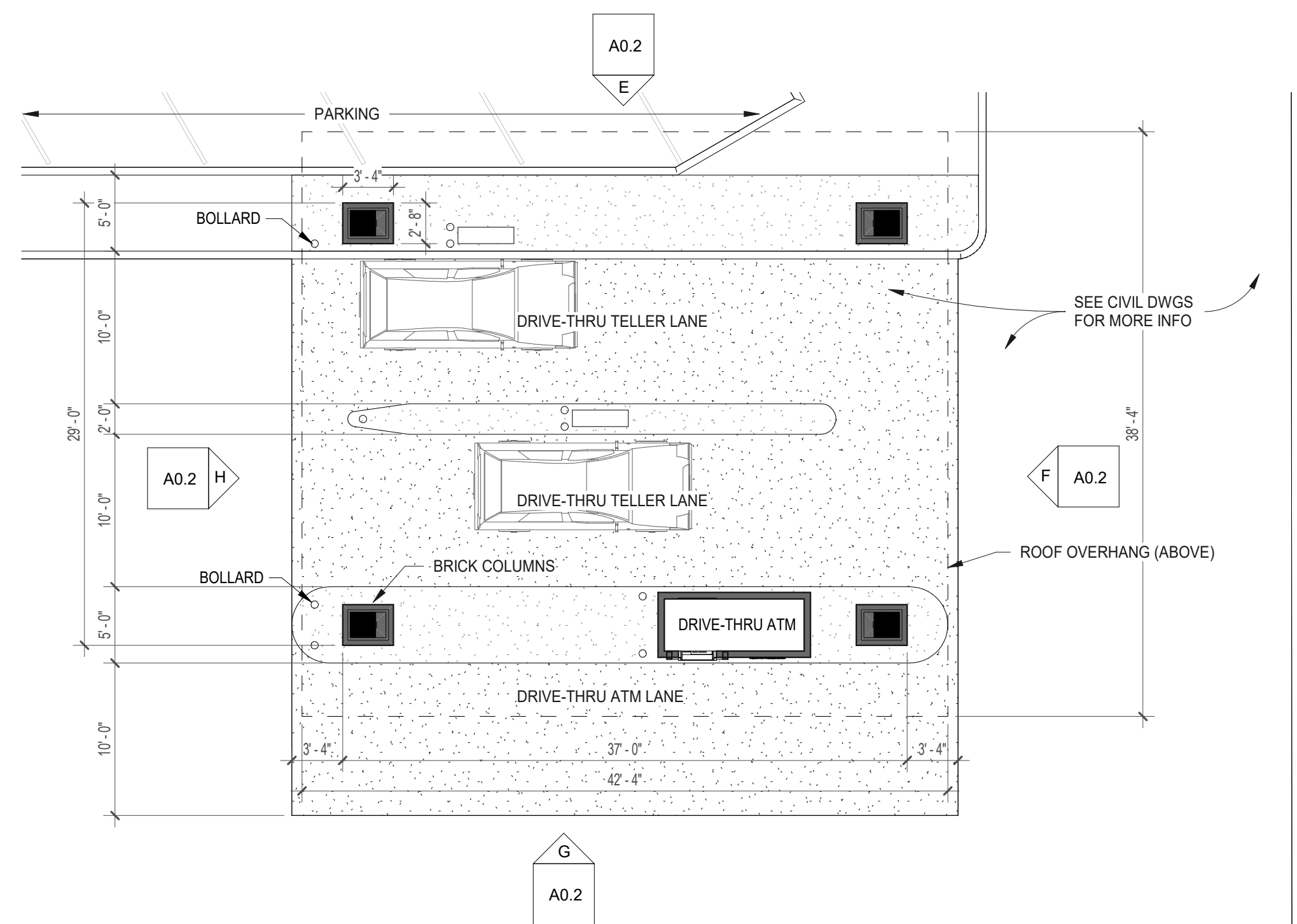
- Florida Building Code (FBC) – 2020 (7th Edition)
- Florida Accessibility Code for Building Construction – 2020 (7th Edition)
- Florida Fire Prevention Code – 2020 (7th Edition)
- Uniform Fire Code NFPA 1 – 2018 (with Florida Amendments)
- Life Safety Code (LSC), NFPA 101 – 2018 (with Florida Amendments)
- Florida Plumbing Code – 2020 (7th Edition)
- Florida Mechanical Code – 2020 (7th Edition)
- Florida Fuel-Gas Code – 2020 (7th Edition)
- Florida Energy Conservation Code – 2020 (7th Edition)
- National Electric Code, NFPA 70 – 2017



**A FLOOR PLAN**  
 A0.1 1/8" = 1'-0"



**KEY PLAN**  
 N.T.S.



**B FLOOR PLAN (DRIVE-THRU)**  
 A0.1 1/8" = 1'-0"



**FRONT VIEW (STREET SIDE)**  
 N.T.S.



**VIEW @ DRIVE-THRU**  
 N.T.S.

2504 NW 71st Place  
 Gainesville FL 32653  
 Tel: (352) 371-1417



**Campus USA Credit Union**  
**Summerfield Branch Office**  
 Marion County, FL

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REVISION:	DATE	NO.

ARCHITECT'S SEAL:

ROBERT S. TAYLOR, SR., ARCHITECT  
 FLORIDA REGISTRATION AR-0007526

DESCRIPTION:  
**Floor Plans**

JOB NO. 20-652A  
 DRAWN BY: JMR  
 DATE: 01-29-2021

**A0.1**

DESIGN PHASE: SITE SUBMITTAL

NO.	DATE	REVISION:

ARCHITECT'S SEAL:

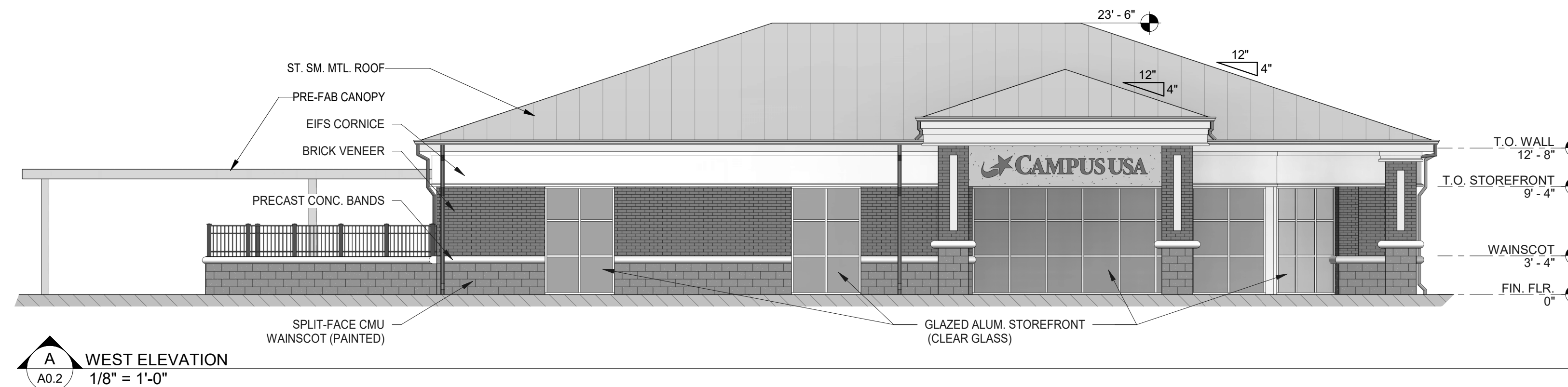
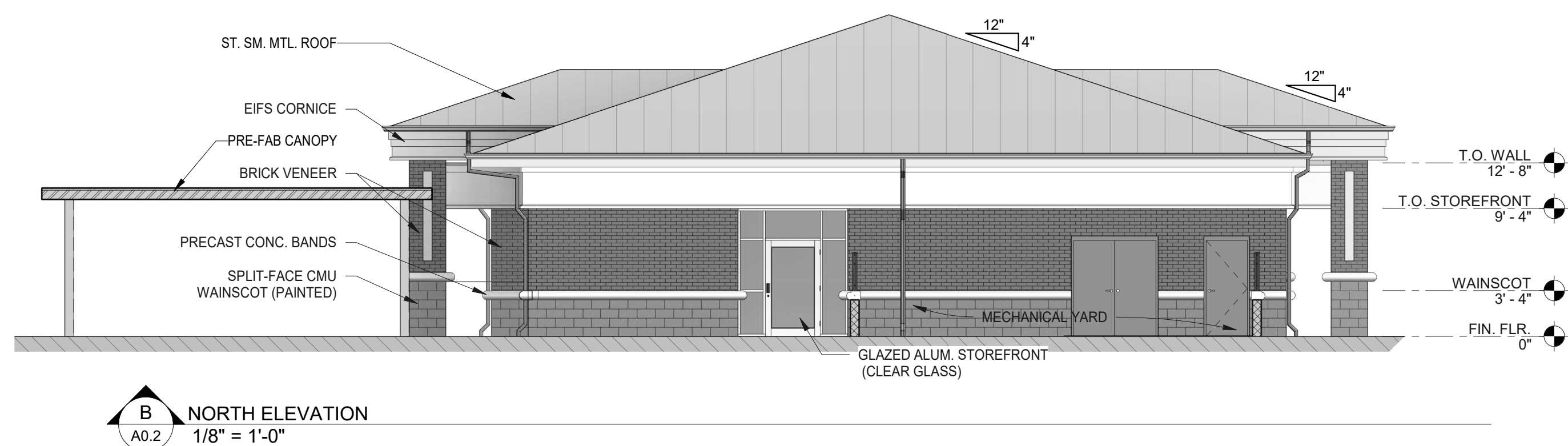
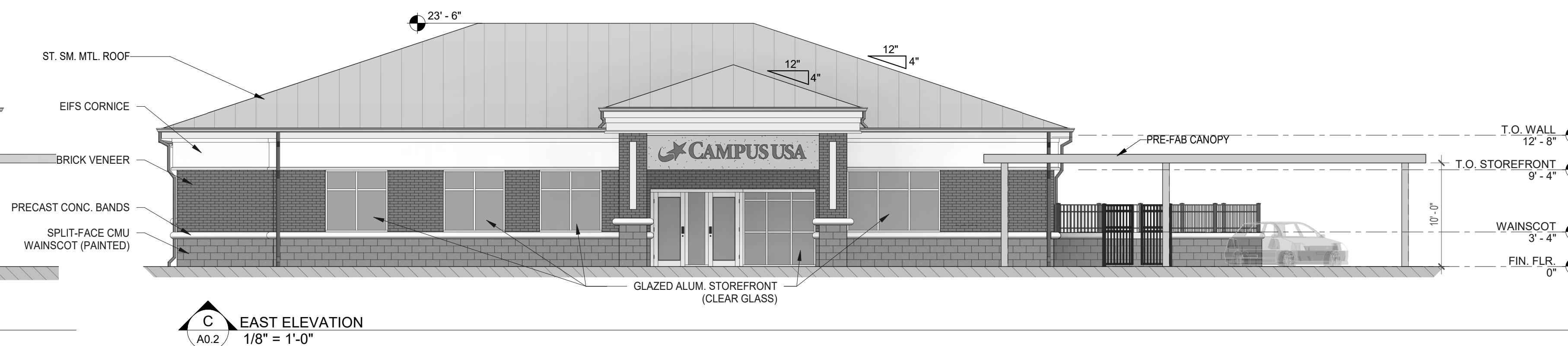
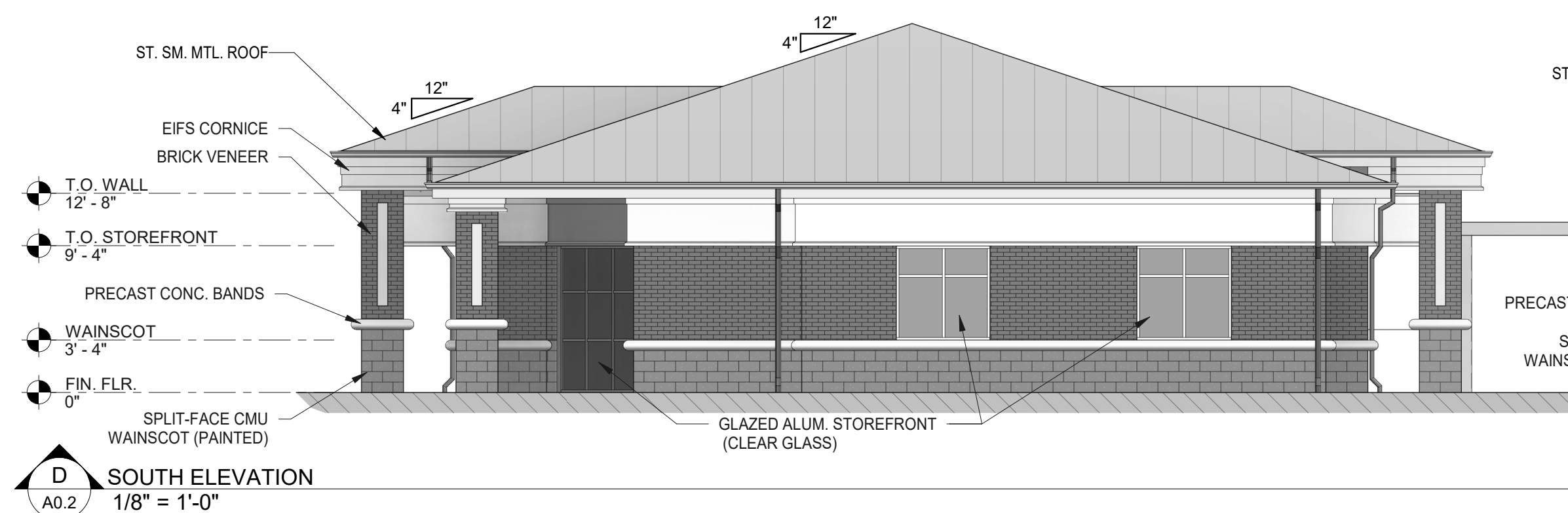
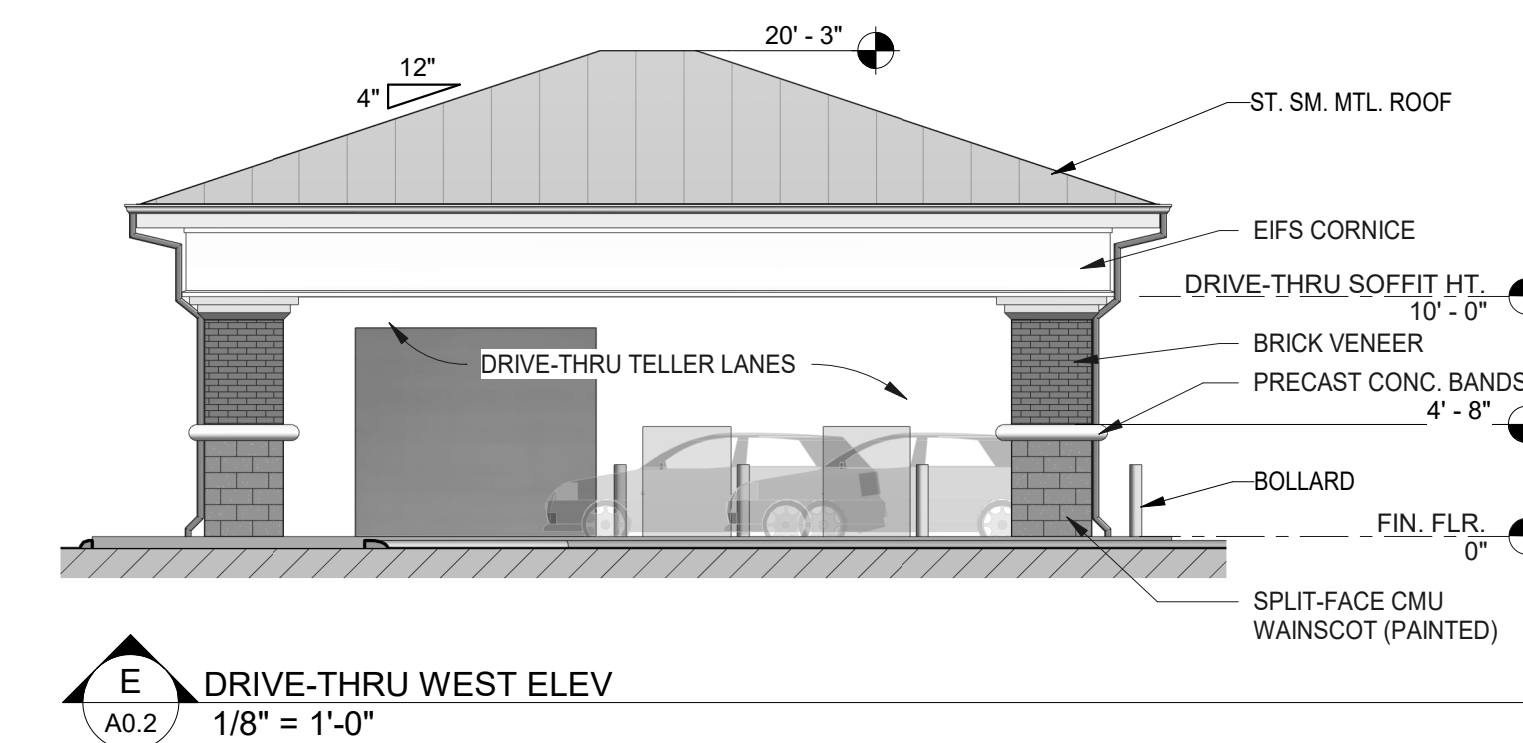
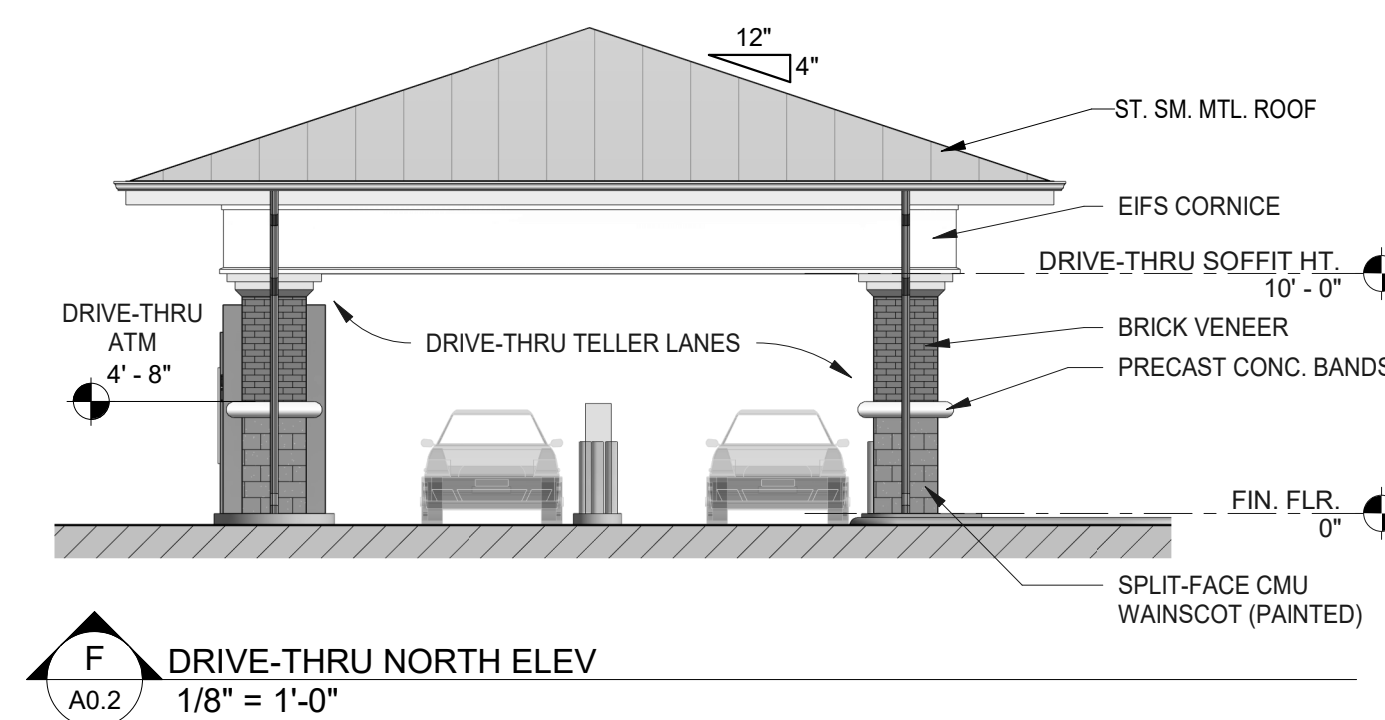
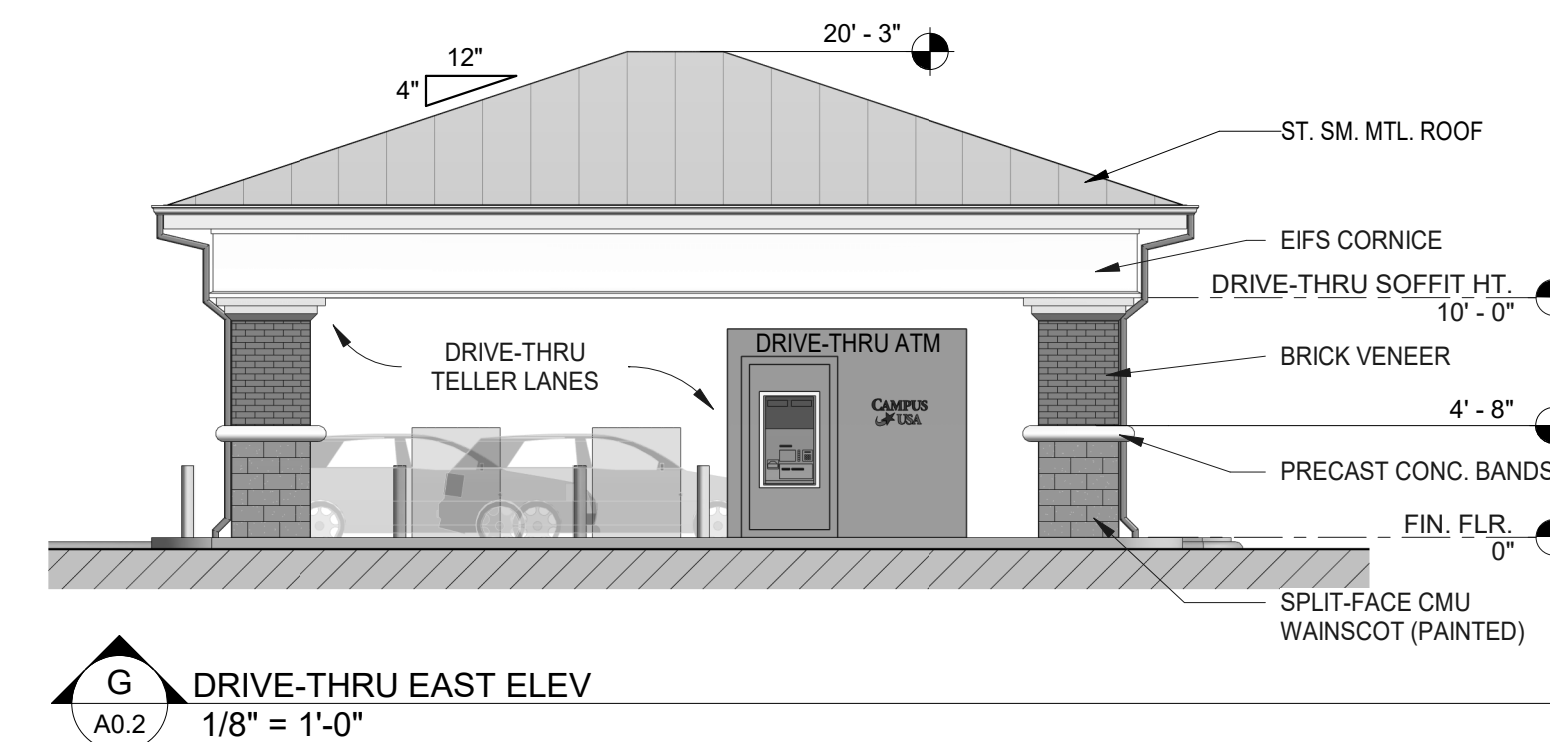
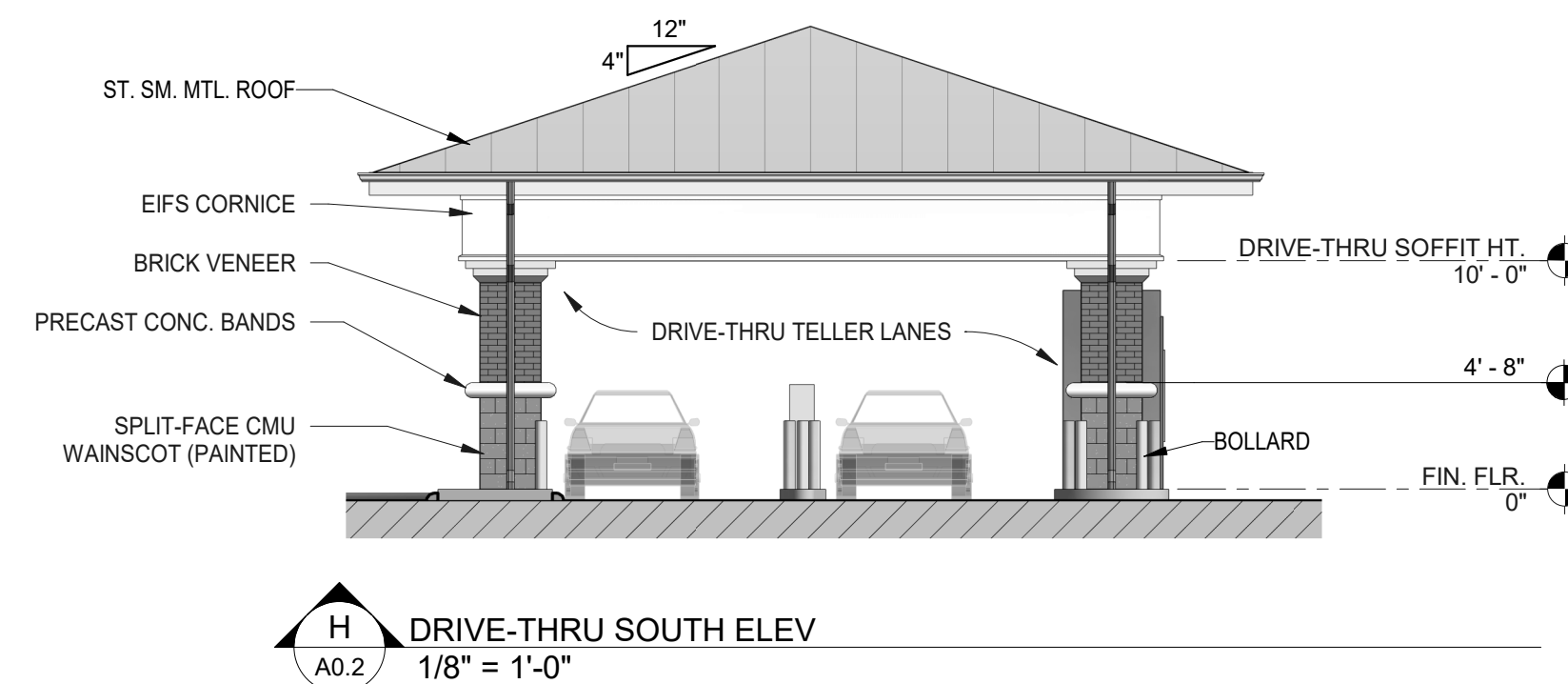
ROBERT S. TAYLOR, SR., ARCHITECT  
FLORIDA REGISTRATION AR-0007526

DESCRIPTION:  
Exterior Elevations

JOB NO. 20-652A  
DRAWN BY: JMR  
DATE: 01-29-2021

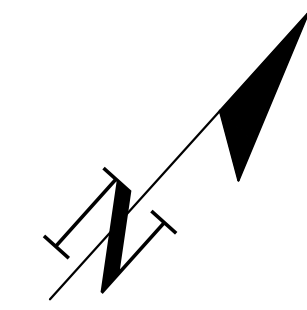
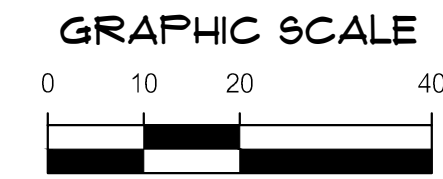
**A0.2**

DESIGN PHASE: SITE SUBMITTAL



# BOUNDARY & TOPOGRAPHIC SURVEY

LOCATED IN SECTION 35, TOWNSHIP 17 SOUTH, RANGE 23 EAST,  
MARION COUNTY, FLORIDA



**LEGAL DESCRIPTION:**

LOT 3, BLOCK B, STONECREST CENTER PHASE I, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 4, PAGES 107 THROUGH 109, PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

**SURVEYOR'S NOTES:**

- BEARINGS SHOWN HEREON ARE REFERRED TO A VALUE OF SOUTH 42°02'27" EAST FOR THE EASTERLY RIGHT OF WAY LINE OF U.S. HIGHWAY 27 & 441, SAID BEARING BEING IDENTICAL TO THE PLAT OF RECORD.
- NO UNDERGROUND INSTALLATION OF UTILITIES OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCRoACH.
- INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND OR OWNERSHIP WERE NOT FURNISHED TO THE SURVEYOR EXCEPT AS SHOWN. SEARCH OF THE PUBLIC RECORDS HAS NOT BEEN DONE BY THE SURVEYOR.
- INFORMATION FROM FEDERAL EMERGENCY MANAGEMENT AGENCY, (F.E.M.A.) FLOOD INSURANCE RATE MAP(S), SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCED DATE. MAP REVISIONS AND AMENDMENTS ARE PERIODICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.
- FENCES, SYMBOLS, MONUMENTATION AND UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES ONLY AND MAY NOT BE SHOWN TO SCALE.
- IN THE OPINION OF THIS SURVEYOR, THE PERIMETER LINES AS SHOWN HEREON REPRESENT THE LOCATION OF THE BOUNDARY LINES OF THE SUBJECT PARCEL IN RELATION TO THE DESCRIPTION OF RECORD AND THOSE EXISTING LAND CORNERS FOUND TO BE ACCEPTABLE BY THIS SURVEYOR.
- VERTICAL INFORMATION SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988). ELEVATIONS DERIVED FROM FLORIDA DEPARTMENT OF TRANSPORTATION POINT NAME 1102C084 WITH A PUBLISHED ELEVATION OF 78.27' NAVD 1988.
- ADDITIONAL POINTS MAY BE FOUND BY TURNING ON THE NODE\* AND Z-\* LAYERS IN THE SUPPLIED DIGITAL FILE.

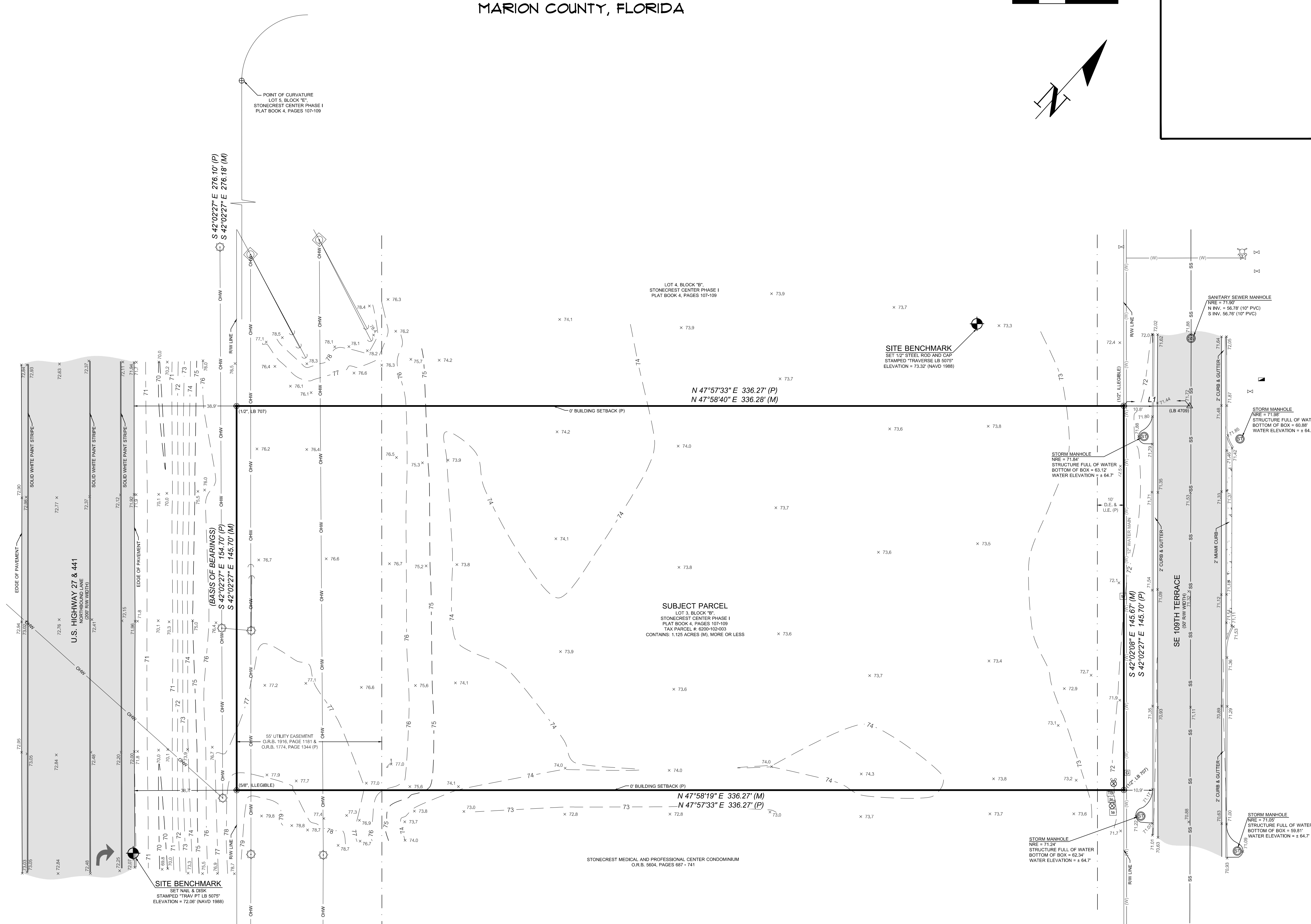
**LEGEND:**

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- (P) = DATA BASED ON PLAT OF RECORD  
(M) = DATA BASED ON FIELD MEASUREMENTS  
O.R.B. = OFFICIAL RECORDS BOOK  
RW = RIGHT OF WAY  
D.E. = DRAINAGE EASEMENT  
U.E. = UTILITY EASEMENT  
NIRE = NORTH RIM ELEVATION  
NAVD = NORTH AMERICAN VERTICAL DATUM  
X 71.5 = SPOT ELEVATION (IMPERVIOUS SURFACE)  
X 71.75 = SPOT ELEVATION (IMPERVIOUS SURFACE)  
INV = INVERT  
PVC = POLYVINYL CHLORIDE

LINE	DIRECTION	LENGTH
L1	N 48°05'32\"/>	24.99'

**FLOOD ZONE:**

THIS PROPERTY IS LOCATED IN FEDERAL FLOOD ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS INTERPOLATED FROM F.I.R.M. PANEL NO. 12083C0905D, EFFECTIVE DATE: AUGUST 28, 2008.



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**CHW**  
Professional Consultants

SCALE: 1" = 20'  
VERIFY SCALE ON ORIGINAL DRAWING  
DO NOT USE UNLESS THIS SHEET ADJUST SCALES ACCORDINGLY.

CAMPUS USA CREDIT UNION

DATE: 06/11/2020  
REVISION DATE: N/A  
PROJECT NUMBER: 20-0127  
FIELD BOOK & PAGE: 592 / 59

MARTIN D. DARDIS  
Professional Surveyor & Mapper Fla. License No. 5097

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Tech: nade Plot Date: Feb 15, 2021 11:53am Filename: N:\2020\20-0127\Department\01\_Survey\DWG\20-0127\_BOUNDARY & TOPO.dwg