



## SUBMITTAL SUMMARY REPORT MajorSite-000632-2026

<b>PLAN NAME:</b> Calesa Market District	<b>LOCATION:</b> 0
<b>APPLICATION DATE:</b> 04/15/2026	<b>PARCEL:</b> 35300-000-45
<b>DESCRIPTION:</b> Calesa Market District - Construction of a shopping center with associated driveway access, parking, utilities and stormwater conveyance and retention system.	

CONTACTS	NAME	COMPANY
Applicant	Kimley Horn	KIMLEY-HORN AND ASSOCIATES, INC
Applicant	Kimley Horn	KIMLEY-HORN AND ASSOCIATES, INC
Engineer of Record	Stewart Hill	Kimley-Horn and Associates, Inc.

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.1	04/16/2026	04/30/2026	05/05/2026	Requires Re-submit
OCE: Plan Review (DR) v.2				Not Received

### SUBMITTAL DETAILS

#### OCE: Plan Review (DR) v.1

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Kristie Wright	04/30/2026	04/23/2026	Approved
Environmental Health (Plans) (Environmental Health)	Evan Searcy	04/30/2026	05/01/2026	Approved
Fire Marshal (Plans) (Fire)	Roxanna Coleman	04/30/2026	04/16/2026	Requires Re-submit
<i>Comments</i>	1) Site plans shall note on the plans if a new hydrant is installed shall be installed, tested, and painted per NFPA 291, by a third party contractor and witnessed by a Marion County Fire Inspector. 2) Please include the following comment reference to the In Building Public Safety Minimum Radio Signal Strength Requirements: "Building shall comply with the In Building Public Safety Minimum Radio Signal Strength requirements per NFPA 1 Chapter 11.10.1. The location will need to hire an independent firm to test the strength of the signal and if deemed necessary add equipment which allows the building to meet the minimum policies. The building must have a passing radio test prior to calling for the final fire inspection of the building. Any installation of equipment must be done under a permit and be approved by the office of the fire marshal."			
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Kathleen Brugnoli	04/30/2026	04/21/2026	Requires Re-submit
<i>Corrections</i>	2.12 - Zoning Classification-adjacent properties ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> Zoning classification of adjacent parcel is missing/incorrect. Please correct. - 2.12 - Zoning Classification-adjacent properties: Show existing zoning classification on the adjacent properties.			
<i>Corrections</i>	2.12 - Land Use Designation-adjacent properties ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> Land use designation of adjacent parcel is missing/incorrect. Please correct. - 2.12 - Land Use Designation-adjacent properties: Show existing land use designation on the adjacent properties.			
<i>Corrections</i>	2.12.24 - Landscape requirements/6.8.6 - Buffering ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> Please provide all required locations, descriptions, and illustrations for each proposed buffer on the master site plan. - Please provide all required locations, descriptions, and illustrations for each proposed buffer on the master site plan.			
<i>Corrections</i>	2.12.27 - Location & screening of outside storage ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> Please provide details for screening/buffering of dumpster areas. - Please provide details for screening/buffering of dumpster areas.			
<i>Corrections</i>	6.5 & 6.6 - Habitat Preservation/Mitigation ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> If any listed species are observed/potentially located on site, coordinate with FWC and get required permits. Habitat preservation/mitigation plan shall be submitted to County for records at later stage. - If any listed species are observed/potentially located on site, coordinate with FWC and get required permits. Habitat preservation/mitigation plan shall be submitted to County for records at later stage.			
<i>Corrections</i>	2.12.16/6.5 - EALS or Exemption provided ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> Please include transect map with EALS. - Please include transect map with EALS.			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	04/30/2026	04/17/2026	Requires Re-submit
<i>Comments</i>	Please submit Tree Preservation Plan, signed and sealed Landscape, Irrigation and Site Lighting plans			
OCE Design (Plans) (Office of the County Engineer)	William Poole	04/30/2026	04/21/2026	Approved

# SUBMITTAL SUMMARY REPORT (MajorSite-000632-2026)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)	Delenie Roman	04/30/2026	04/28/2026	Requires Re-submit
<i>Comments</i>				
<p>Property Owner certification does not match property appraiser's information. Please updated Owner's Certification or in the alternative show new ownership documentation. Please ensure that signer's authority documents are uploaded at time of correction.</p> <p>Road Project Map checked. Map shows Parcel next to Road Project C16 SW 38th/40th St - In Progress And a portion also alongside Road Project C20 SW 80th Ave - Segment 1 - In Progress - DR 4/28/26</p> <p>IF APPLICABLE: Sec. 2.18.1.I - Show connections to other phases. Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc. Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public." Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]." Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate: 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."  2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."  3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."</p>				
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	04/30/2026	04/27/2026	Requires Re-submit
<i>Corrections</i>				
6.10 - Karst Topography and High Recharge Areas ( <b>Not Resolved</b> ) - Please provide a signed and sealed karst analysis				
<i>Corrections</i>				
6.13.2.A(11)(a) - Construction Entrance ( <b>Not Resolved</b> ) - Please identify the location of the construction entrance				
<i>Corrections</i>				
Additional Stormwater comments ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> (1) Please provide a copy of the NPDES permit or NOI as well as district permit prior to construction. (2) If you have questions or would like to discuss the stormwater review comments, please contact Alexander Turnipseed at (352) 671-8376 or at alexander.turnipseed@marionfl.org. - Additional Stormwater comments				
<i>Corrections</i>				
7.1.3.B. - Drainage Construction Specifications ( <b>Not Resolved</b> ) - LDC requires the use of RCP pipe for stormwater conveyance piping. To pursue using an alternative material, the engineer needs to submit a request identifying the alternative material type requested, verification that the material is included on the FDOT Approved Products List, and the site specific installation meets install criteria such as depth of cover and UV protection for pipe ends. County will review the request and provide feedback.				
<i>Corrections</i>				
6.13.2.B(8) - Calculation & Plan Consistency ( <b>Not Resolved</b> ) - Info: This item will be reviewed upon resubmittal				
<i>Corrections</i>				
6.13.12 - Operation and Maintenance ( <b>Not Resolved</b> ) - 6.13.12 - Operation and Maintenance: Provide an O&M manual detailing the steps for operating and maintaining the proposed private system of DRAs, pipes, inlets, swales, etc. Manual shall be signed by Owner and owner's certification statement shall be on the manual. Owner's certification statement: "I hereby certify that I, my successors, and assigns shall perpetually operate and maintain the stormwater management and associated elements in accordance with the specifications shown herein and on the approved plan".				
<i>Corrections</i>				
2.12.4.L(9)(b) - Data Block (Impervious Area) ( <b>Not Resolved</b> ) - 2.12.4.L(9)(b) - Data Block (Impervious Area): Provide existing and proposed gross impervious area in SF, ac, and percentage in the data block on the cover sheet. Include any offsite drainage to your site in the data block.				
<i>Corrections</i>				
Final signed and sealed hard copy signature page ( <b>Not Resolved</b> ) - After all stormwater comments are resolved, please upload a scanned copy of the digitally signed and sealed certification page of the stormwater report. Alternatively, a hard copy can be submitted. If you choose to submit a hard copy, you only need to submit the certification page of the report. A full report is not necessary. However, full reports are accepted if desired.				

# SUBMITTAL SUMMARY REPORT (MajorSite-000632-2026)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	04/30/2026	04/28/2026	Approved
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	04/30/2026	04/20/2026	Informational
<i>Comments</i>	The access on SW 80th Avenue needs to be coordinated with the widening plans. Please confirm that this coordination is underway.			
Utilities (OCE Plans) (Utilities)	Heather Proctor	04/30/2026	04/29/2026	Approved
<i>Corrections</i>	6.14.2.A(1) - Letter from utility provider ( <b>Resolved</b> ) - <b>Corrective Action:</b> Bay Laurel Center Community Development District (BLCCDD) has provided a letter stating they have the capacity and availability to serve this project. - 6.14.2.A(1) - Letter from utility provider: Letter of availability and capacity from service area's utility provider, including map of water and sewer mains with distances shown to determine if connection is required.			
<i>Comments</i>	Project will be served Bay Laurel Center Community Development District for water and wastewater. Letter of availability and capacity has been received.			



# Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

## DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 5/21/2026 Parcel Number(s): 35300-000-45 Permit Number: \_\_\_\_\_

### A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Calesa Market District Commercial  Residential   
Subdivision Name (if applicable): \_\_\_\_\_  
Unit \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_ Tract \_\_\_\_\_

### B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): On Top of the World Communities, LLC  
Signature: \_\_\_\_\_  
Mailing Address: 8445 SW 80th St Rd City: Ocala  
State: FL Zip Code: 33481 Phone # 352-387-7480  
Email address: ld\_permits@otowfl.com

### C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Kimley-Horn and Associates, Inc. Contact Name: Stewart Hill  
Mailing Address: 1700 SE 17th Street, Suite 200 City: Ocala  
State: FL Zip Code: 34471 Phone # 352-438-3000  
Email address: ocala.permits@kimley-horn.com

### D. WAIVER INFORMATION:

Section & Title of Code (be specific): 6.8.8 Building Landscaping  
Reason/Justification for Request (be specific): Waiver request to not provide building landscaping. Building architecture and facade will be non-monotonous.  
\_\_\_\_\_  
\_\_\_\_\_

### DEVELOPMENT REVIEW USE:

Received By: \_\_\_\_\_ Date Processed: \_\_\_\_\_ Project # \_\_\_\_\_ AR # \_\_\_\_\_

ZONING USE: Parcel of record: Yes  No  Eligible to apply for Family Division: Yes  No   
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ P.O.M. \_\_\_\_\_ Land Use: \_\_\_\_\_ Plat Vacation Required: Yes  No   
Date Reviewed: \_\_\_\_\_ Verified by (print & initial): \_\_\_\_\_



**Marion County  
Board of County Commissioners**

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**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Section & Title of Code (be specific) 6.8.7 Parking Island Landscaping 6.8.7 Parking Island Landscaping

Reason/Justification for Request (be specific): Waiver request to utilize understory trees at the frontage row of parking islands.

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Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_

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Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_

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Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_

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Section & Title of Code (be specific) \_\_\_\_\_

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Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_

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Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_

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### GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER OBSTACLES MATERIAL.
3. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL UTILITIES UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FROWN DR. THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES WORK FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHO MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOUR MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. A LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THE LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY VISIT TO NOTIFY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
7. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
8. ALL COPIES OF COMPACT, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OR RECORDS DIRECTLY FROM THE TESTING AGENCY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY (SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS). THE SURVEY SHALL BE SUBMITTED TO THE SURVEYING AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
10. THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTORS BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.
11. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
12. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WILL BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.

### DEMOLITION NOTES

1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC. LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL IMPROVEMENTS ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE IDENTIFIED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
3. THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN FOR DEMOLITION PRACTICES FOR EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.

### PAVING, GRADING AND DRAINAGE NOTES

1. ALL PAVING, CONSTRUCTION, MATERIALS AND WORKMANSHIP WITHIN COUNTY'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FOOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SOODED.
3. TRAFFIC CONTROL ON ALL FOOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DEPARTMENT AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE PROJECT MANUAL SPECIFICATIONS REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STRAND WILL ESTABLISH OR ADEQUATE STABILIZATION OCCURS.
5. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
6. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 6" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
7. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 6" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
8. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOW.
9. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
10. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
11. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR FOOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
12. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SOODED OR SEEDED AS SPECIFIED IN THE PLANS FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL WHERE GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTH AREAS WILL BE SOODED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
13. ALL CUT OR FILL SLOPES SHALL BE (HORIZONTAL) (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER FEASIBLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
15. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS IN CHAPTER 17-50, FLORIDA ADMINISTRATIVE CODE.
16. SOO, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING AND AT ANY OTHER TIME AS NECESSARY TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
17. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EMBEDED AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT SHALL BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.
18. THE CONTRACTOR SHALL INSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT CONTACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
19. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

### WATER AND SEWER UTILITY NOTES

1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDING WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
3. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATER TIGHT PLUG. WHEN WORK IS NOT IN PROGRESS, THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND CONTAIN NO OIL, GREASE, WIPES, CLEAN AND DRY PAPER. THE PIPE SHALL BE CLEANED INTO THE TRENCH. VALVES SHALL BE PLUMB AND THE PIPE SHALL BE INSTALLED INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING SHALL BE DONE IN A FIRST CLASS WORKMANSHIP MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY DI. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
4. ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING SHALL BE DONE IN A FIRST CLASS WORKMANSHIP MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY DI. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
5. WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BURNED ON SITE.
6. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
7. UNDERGROUND LINES SHALL BE SURVEYED BY A PROFESSIONAL LAND SURVEYOR BEFORE BACK FILLING.
8. CONTRACTOR SHALL PERFORM AT HIS OWN EXPENSE. ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION, THESE TESTS MAY INCLUDE, BUT NOT BE LIMITED TO, INFLUSTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANHOLE TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER AND JURISDICTIONAL AGENCY AS REQUIRED.
9. BAY LAUREL, CENTER CDD WILL OWN AND MAINTAIN THE WATER AND SEWER MAINS DAMAGED TO THE LANDSCAPE, LANDSCAPE OR RESTORATION WILL BE THE SOLE RESPONSIBILITY OF THE OWNER IN THE EVENT OF ANY MAIN REPAIR.

### EROSION CONTROL NOTES

1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPOSED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDING SPECIFICATIONS OF THE SWPPP PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEMS GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THE CONTENTS.
3. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE, TO THE PERMITTING AGENCY OR OWNER.
5. EROSION CONTROL PLAN MUST CLEARLY DELINEATE ALL STATE WATER PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS THAT MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. CONTRACTOR SHALL DENSIFY ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILER, AND TOOL FACILITIES.
8. ALL WASH WATER CONCRETE TRUCKS, WHEEL CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE OBTAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO OBTAIN AND CLEAN UP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. REBBER, TYRES, GARAGE LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
11. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN, SHALL BE INSTALLED AS SOON AS PRACTICABLE.

### EROSION CONTROL NOTES (CONT.)

13. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.
14. THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD. THEN THE FILLING PROGRAM MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
15. ALL MATERIALS (SPILLED, DISPOSED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAIN) MUST BE REMOVED AS SOON AS POSSIBLE.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
17. ON-SITE OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES, STOCKPILE AND BORROW SHALL BE PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
18. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
19. ALL SEEDS AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 961 OF THE STANDARD SPECIFICATIONS.
20. ALL CONSTRUCTION SHALL BE ESTABLISHED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACK FILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

### MAINTENANCE

1. ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 15-2 RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETEIORATION.
2. ALL SEEDS AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 961 OF THE STANDARD SPECIFICATIONS.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITION. ALL TREES, SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50 CUBIC YARDS / ACRE.
7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.



### EROSION CONTROL NOTES (CONT.)

13. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.
14. THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD. THEN THE FILLING PROGRAM MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
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16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
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20. ALL CONSTRUCTION SHALL BE ESTABLISHED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACK FILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

### Kinley Horn

10000 STATE STREET SUITE 1000 JACKSONVILLE, FLORIDA 32216  
904.963.1000  
WWW.KINLEYHORN.COM

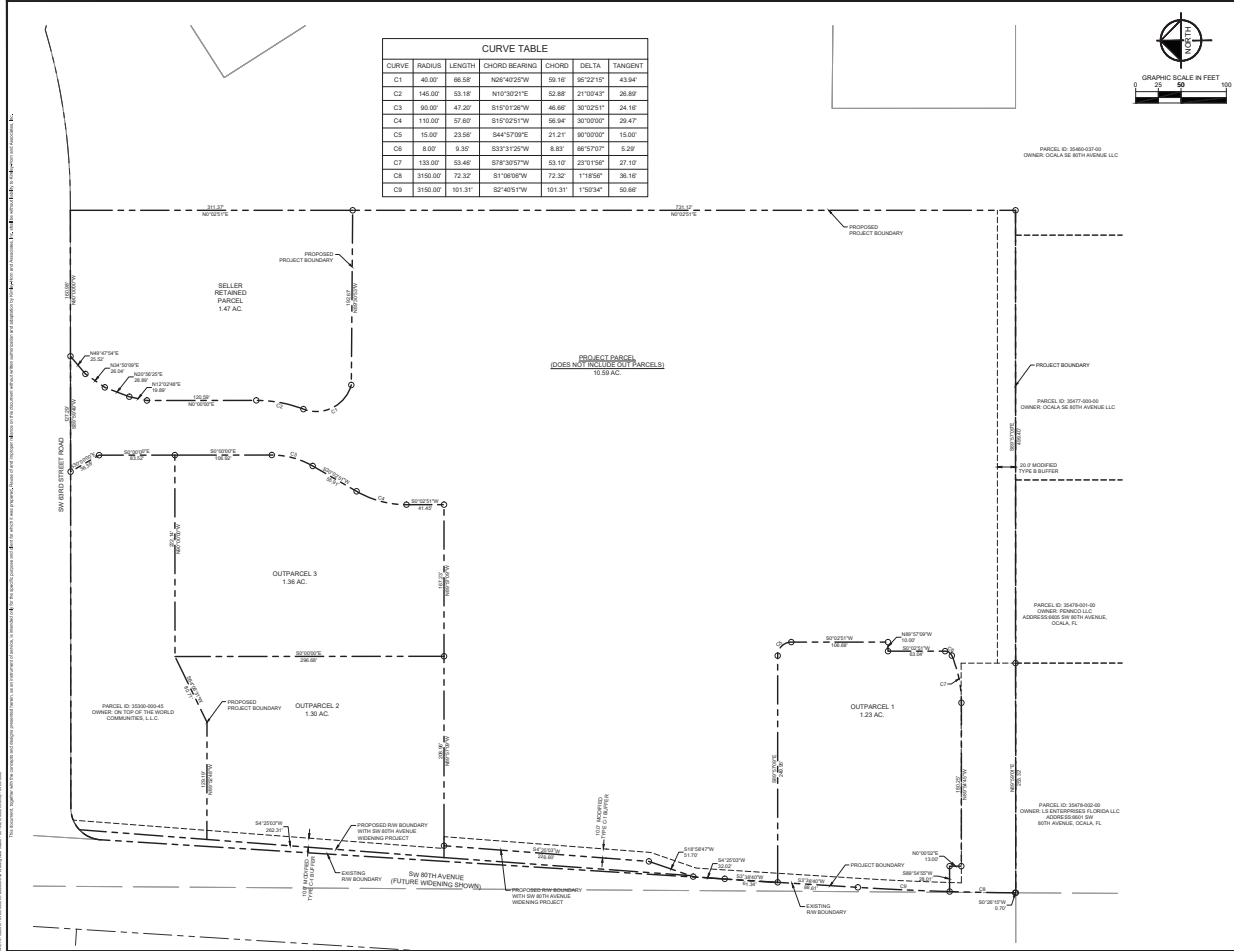
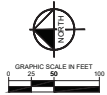
### GENERAL NOTES

CALESA MARKET DISTRICT PREPARED FOR SEMBLER FLORIDA, INC. MAHON COUNTY FLORIDA

DATE: 11/15/2023  
DRAWN: J. HARRIS  
PROJECT: C01.01

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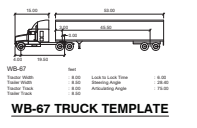
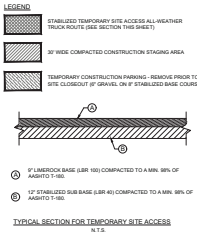
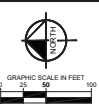
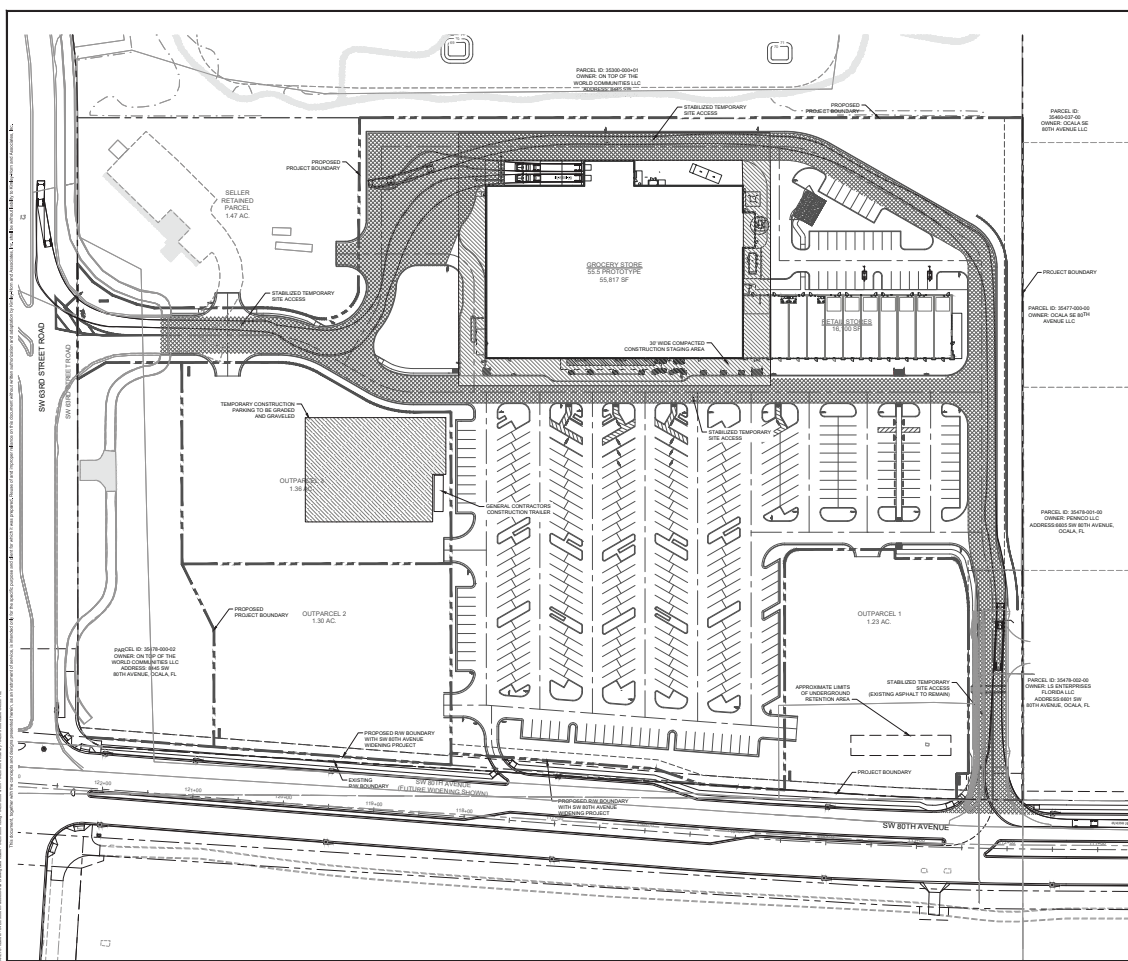
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	40.00'	88.58'	N26°40'23"W	59.16'	95°22'13"	43.94'
C2	145.00'	55.18'	N10°10'52"E	52.88'	21°10'42"	28.89'
C3	50.00'	42.33'	S15°12'26"W	48.50'	30°15'51"	24.16'
C4	110.00'	57.69'	S15°12'21"W	96.94'	30°10'00"	30.47'
C5	15.00'	23.56'	S44°51'09"E	21.21'	90°10'00"	15.00'
C6	8.00'	9.30'	S33°31'25"W	8.83'	66°57'03"	5.29'
C7	133.00'	53.48'	S78°30'57"W	53.10'	23°11'56"	27.12'
C8	3150.00'	72.32'	S1°10'18"W	72.32'	1°18'56"	36.16'
C9	3150.00'	101.31'	S2°40'51"W	101.31'	1°50'34"	50.66'



<p>CALL 3 BUSINESS DAYS BEFORE 10:15 AM ET TELEPHONE DIAL #11</p> <p><b>Kinley Home</b> 10000 WILBIRD STREET, SUITE 100, BOCA RATON, FL 33433 WWW.KINLEYHOME.COM</p>	<p>DATE: _____</p> <p>REVISION: _____</p>
<p><b>PRELIMINARY PLAT</b></p>	
<p><b>CALESA MARKET DISTRICT</b> PREPARED FOR <b>SEMBLER FLORIDA, INC.</b> MARION COUNTY, FLORIDA</p>	
<p>SHEET NUMBER <b>C01.02</b></p>	



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NO.	DATE	REVISION
1	03/11/2023	ISSUE FOR CONSTRUCTION

CALL 2 BUSINESS DAYS BEFORE 10:00 AM 7 DAYS BEFORE 10:00 AM DIAL 811

**Kimley-Horn**

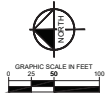
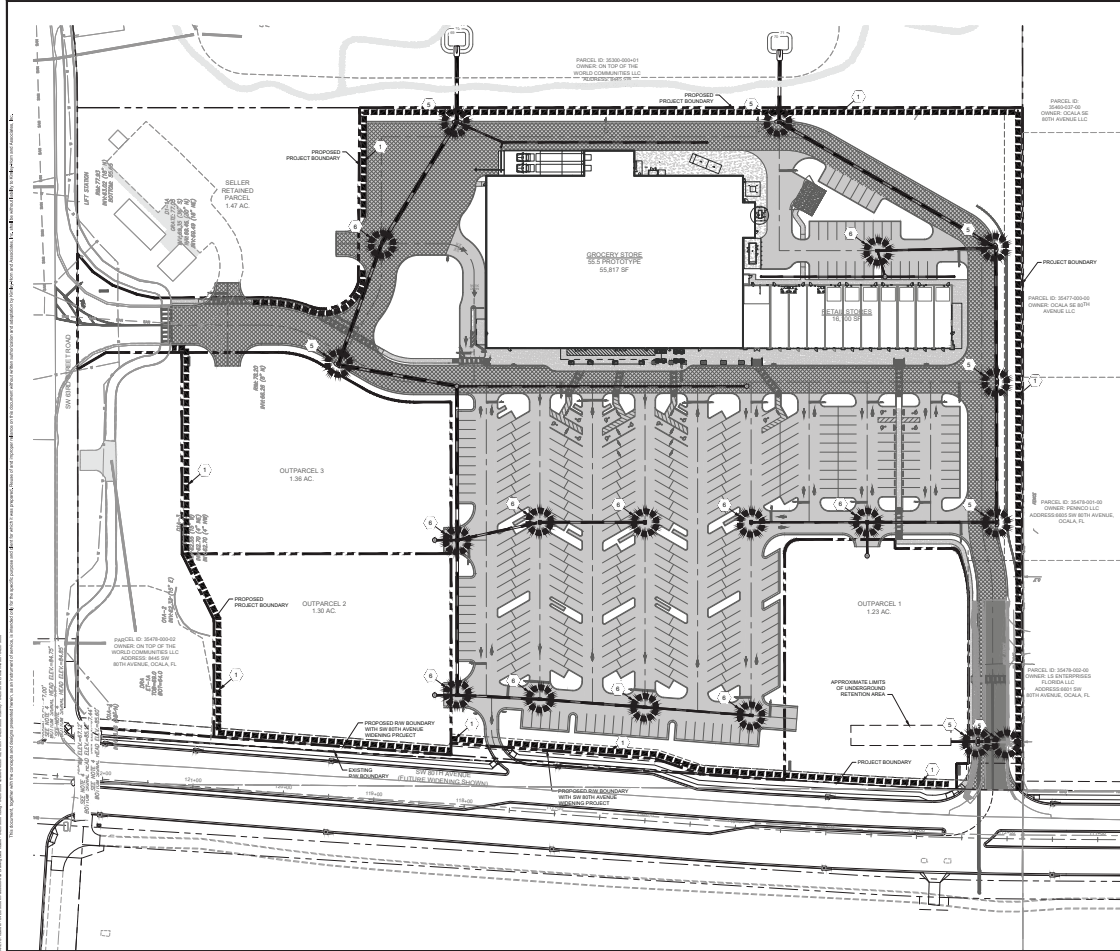
10000 W. BOYD AVENUE, SUITE 200  
DADE COUNTY, FLORIDA 33157  
TEL: 305.444.1111  
WWW.KIMLEY-HORN.COM

PROJECT: CALESA MARKET DISTRICT  
OWNER: SEMBLER FLORIDA, INC.  
DATE: 03/11/2023  
SCALE: AS SHOWN

**CALESA MARKET DISTRICT  
PREPARED FOR  
SEMBLER FLORIDA, INC.**

DADE COUNTY  
FLORIDA  
PROJECT NO. C03.00  
DATE: 03/11/2023

MAJOR SITE PLANS



LEGEND  
 SILT FENCE  
 SEDIMENT BASIN  
 SEE SHEET CD-02 FOR DETAILS

**NOTES**

CONTRACTOR SHALL DEVELOP AND IMPLEMENT A PLAN TO ASSURE THAT ALL WASTE, SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHWATER, CHEMICALS, LITTER AND SANITARY WASTE, ARE PROPERLY CONTROLLED WHILE ON-SITE AND TRANSPORTED AND DEPOSITED OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. NO WASTE MATERIALS OF ANY KIND ARE PERMITTED TO BE BURIED ON-SITE OR DISCHARGED TO SURFACE WATERS OF THE STATE OR TO THE COUNTY STORM WATER SYSTEM.

CONTRACTOR SHALL PERIODICALLY SWEEP EXISTING ON-SITE PAVED SURFACES AS WELL AS ALL ADJACENT CITY STREETS, COUNTY ROADS AND STATE HIGHWAYS (AS APPROPRIATE FOR THE PARTICULAR PROJECT) TO KEEP THESE SURFACES AS SUBSTANTIALLY SEDIMENT-FREE AS POSSIBLE. SWEEPING SHALL BE DONE ON A REGULAR, ASSESSED-BASED THROUGHOUT THE WORK WEEK INCLUDING, MOST IMPORTANTLY, AFTER EVERY RAIN EVENT AND EVERY FRIDAY AFTERNOON PRIOR TO CLEARING WORK FOR THE WEEK.



**Kimley-Horn**  
 CONSULTING ENGINEERS  
 10000 W. BAYVIEW BLVD., SUITE 1000  
 MIAMI, FL 33147  
 TEL: 305.444.1111  
 FAX: 305.444.1112  
 WWW.KIMLEY-HORN.COM

LICENSING INFORMATION  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 79410  
 EXPIRES 12/31/2024

**EROSION CONTROL PLAN**

CALESA MARKET DISTRICT  
 PREPARED FOR  
 SEMBLER FLORIDA, INC.  
 TAMPA, FLORIDA

DATE: 04.00

NO.	DATE	REVISION
1	04.00	ISSUE FOR CONSTRUCTION

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**TIMING OF SEDIMENT CONTROL PRACTICES:**

SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL THROUGHOUT EARTH-DISTURBING ACTIVITY.

SETTLING FACILITIES, PERIMETER CONTROLS, AND OTHER PRACTICES INTENDED TO TRAP SEDIMENT SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRADING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UPSLOPE DEVELOPMENT AREA IS RE-STABILIZED.

**STABILIZATION OF NON STRUCTURAL PRACTICES:**

CONTROL PRACTICES SHALL PRESERVE EXISTING VEGETATION WHERE ATTAINABLE AND DISTURBED AREAS SHALL BE RE-VEGETATED AS SOON AS PRACTICAL AFTER GRADING OR CONSTRUCTION.

DEMUDED AREAS SHALL HAVE SOIL STABILIZATION APPLIED WITHIN FOURTEEN DAYS IF THEY ARE TO REMAIN DORMANT FOR MORE THAN FORTY-FIVE DAYS. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DEMUDED AREAS WITHIN FOURTEEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE, AND SHALL ALSO BE APPLIED WITHIN SEVEN DAYS TO DEMUDED AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN FORTY-FIVE DAYS.

**SEDIMENT BARRIERS:**

SHEET FLOW RUNOFF FROM DEMUDED AREAS SHALL BE INTERCEPTED BY SEDIMENT BARRIERS.

SEDIMENT BARRIERS SUCH AS SEDIMENT FENCE OR DIVERSIONS TO SETTling FACILITIES SHALL PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SEDIMENT TRANSPORTED BY SHEET FLOW.

**INLET PROTECTION:**

ALL STORM SEWER INLETS WHICH ACCEPT WATER RUNOFF FROM THE DEVELOPMENT AREA SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER WILL NOT ENTER THE STORM SYSTEM WITHOUT FIRST BEING PONDED AND FILTERED.

**MAINTENANCE:**

TEMPORARY EROSION CONTROL FEATURES SHALL BE ACCEPTABLY MAINTAINED AND SHALL BE REMOVED OR REPLACED WHEN DIRECTED BY THE ENGINEER AT NO COST TO THE OWNER. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS.

**STOCKPILES:**

ALL SOIL STOCKPILES SHALL BE PROTECTED FROM EROSION BY PERIMETER CONTROL DEVICES SUCH AS STRAW BALE DICES OR FILTER FABRIC FENCES. THESE PERIMETER CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.

**PERMANENT VEGETATION:**

PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL GROUND COVER IS ACHIEVED WHICH, IN THE OPINION OF THE ENGINEER, PROVIDES ADEQUATE COVER AND IS MATURE ENOUGH TO CONTROL SOIL EROSION SATISFACTORILY AND TO SURVIVE ADVERSE WEATHER CONDITIONS.

**CONSTRUCTION ACCESS ROUTES:**

MEASURES SHALL BE TAKEN TO PREVENT SOIL TRANSPORT ONTO SURFACES OR PUBLIC ROADS WHERE RUNOFF IS NOT CHECKED.

**INSPECTION SCHEDULE:**

- DIVERSION SHALE AND STRUCTURAL PROTECTION - INSPECT EVERY 7 DAYS OR AFTER EACH RAINFALL PRODUING RUNOFF. REPAIR AS REQUIRED.
- INLET PROTECTION - INSPECT FOR SEDIMENT ACCUMULATION AFTER EACH RAINFALL AND DAILY DURING CONTINUED RAINFALL. REPAIR OR REPLACE WHEN WATER FLOW IS RESTRICTED BY SEDIMENT.
- VEGETATIVE PLANTING - INSPECT AFTER SPROUTING OCCURS AND REPLANT BARE AREAS. INSPECT ESTABLISHED COVER EVERY 15 DAYS FOR DAMAGE. REPLANT AS REQUIRED. MAINTAIN ESTABLISHED COVER AT MAXIMUM 8" HEIGHT. IRRIGATE AS REQUIRED DURING DRY PERIODS TO MAINTAIN LIVE VEGETATION.

- INSTALL SEDIMENT CONTROL MEASURES
- PERFORM DEMOLITION ACTIVITIES.
- STABILIZE SITE WITH TEMPORARY VEGETATION AS NEEDED.
- PERFORM IRRIGATION AND UNDERGROUND UTILITY CONSTRUCTION ACTIVITIES.
- CONSTRUCT NEW TRAILS AND INSTALL LANDSCAPING.
- PERFORM FINAL GRADING.
- INSTALL PERMANENT VEGETATION.
- PERFORM CONTINUING MAINTENANCE THROUGHOUT ALL CONSTRUCTION OPERATIONS.

NOTE: THE SEQUENCE OF CONSTRUCTION SHOWN ABOVE IS A GENERAL OVERVIEW AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IMMEDIATELY PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND ALL OTHER APPLICABLE LAWS.

**DITCH BARRIERS:**

BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE, ORIENTED PERPENDICULAR TO THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ADJUTING ONE ANOTHER.

THE REMAINING STEPS FOR INSTALLING A STRAW BALE BARRIER FOR SHEET FLOW APPLICATIONS APPLY HERE. WITH THE FOLLOWING ADDITION, THE STRAW BALES SHALL BE INSTALLED SUCH THAT UNDERCUTTING BENEATH THE BALES IS MINIMIZED BY THE USE OF ROCK CHECK DAMS PLACED ADJACENT TO THE STRAW BALES.

THE BARRIER SHALL BE EXTENDED TO SUCH A LENGTH THAT THE BOTTOMS OF THE END BALES ARE HIGHER ELEVATION THAN THE TOP OF THE LOWEST MIDDLE BALE TO ASSURE THAT SEDIMENT-LADEN RUNOFF WILL FLOW EITHER THROUGH OR OVER THE BARRIER BUT NOT AROUND IT.

**MAINTENANCE:**

STRAW BALES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES.

NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE STRAW BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

**SEDIMENT FENCE:**

THIS SEDIMENT BARRIER UTILIZES STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS. IT IS DESIGNED FOR SITUATIONS IN WHICH ONLY SHEET OR OVERLAND FLOWS ARE EXPECTED.

- THE HEIGHT OF A SEDIMENT FENCE SHALL NOT EXCEED 36-INCHES (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE).
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPUN TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED.
- POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET.
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
- WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1/4" LONG. THE WIRE OR HDG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND KINKS OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
- WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSURE POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF ITEM # 6 APPLYING.
- THE TRENCH SHALL BE BACKFILLED AND SOIL COMPACTED OVER THE FILTER FABRIC.
- SEDIMENT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

SEDIMENT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SHOULD THE FABRIC ON A SEDIMENT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SEDIMENT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED, AND SEEDED.

**ADDITIONAL MEASURES:**

THIS PLAN AND NARRATIVE REPRESENTS THE MINIMUM AMOUNT OF EROSION AND SEDIMENT CONTROL MEASURES. IN THE OPINION OF THE ENGINEER, THAT MAY BE NECESSARY UNDER FAVORABLE WEATHER CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL MEASURES OR PRACTICES THAT MAY BE NECESSARY TO CONTROL EROSION, TURBID DISCHARGE, FUGITIVE PARTICULATES, ETC. TO FULLY COMPLY WITH ALL GOVERNMENTAL RULES AND/OR PERMIT REQUIREMENTS.

**EROSION AND SEDIMENT CONTROL NARRATIVE**

PLAN DESIGNER: KIMLEY-HORN AND ASSOCIATES INC.  
1705 SE 17TH STREET, SUITE 200  
Ocala, FLORIDA 32611  
PHONE: (352) 438-3000

OWNER: SEMBLER FLORIDA, INC.  
DEVELOPER: 5858 CENTRAL AVENUE  
ST. PETERSBURG, FL 33707

ADJACENT AREAS: NORTH: SW 63RD STREET ROAD (RIGHT OF WAY)  
SOUTH: COMMERCIAL  
EAST: DRA ET-1  
WEST: SW 80TH AVENUE (RIGHT OF WAY)

EROSION CONTROL MEASURE: EROSION AND SITE RUNOFF WILL BE CONTROLLED BY THE USE OF SEDIMENT FENCE AND STABILIZED VEGETATION WHERE NEEDED.

SITE CONTACT: SEMBLER FLORIDA, INC.  
5858 CENTRAL AVENUE  
ST. PETERSBURG, FL 33707

**POLLUTION PREVENTION:**

THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PROGRAM IS REGULATED THROUGH THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP). IF YOUR CONSTRUCTION ACTIVITY MEETS THE FOLLOWING CRITERIA:

- CONTRIBUTES STORM WATER DISCHARGE TO SURFACE WATERS OF THE STATE OR INTO A MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4) AND/OR
- DISTURBS ONE OR MORE ACRES OF LAND INCLUDING LESS THAN ONE ACRE IF ACTIVITY IS PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE THAT WILL MEET OR EXCEED A ONE ACRE THRESHOLD. DISTURBANCE INCLUDES CLEARING, GRADING AND EXCAVATING. THEN YOU WILL BE REQUIRED TO SUBMIT A NOTICE OF INTENT (NOI) AND PREPARE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP). FOR MORE INFORMATION PLEASE VISIT FDEP'S WEBSITE AT WWW.FDEP.STATE.FL.US/WATER/STORMWATER/PNPDES.

DATE: 11/11/2014

REVISION:

NO. 1

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NO. 98

NO. 99

NO. 100

**Kimley-Horn**

1705 SE 17TH STREET, SUITE 200  
OCALA, FLORIDA 32611  
PHONE: (352) 438-3000  
WWW.KIMLEY-HORN.COM

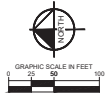
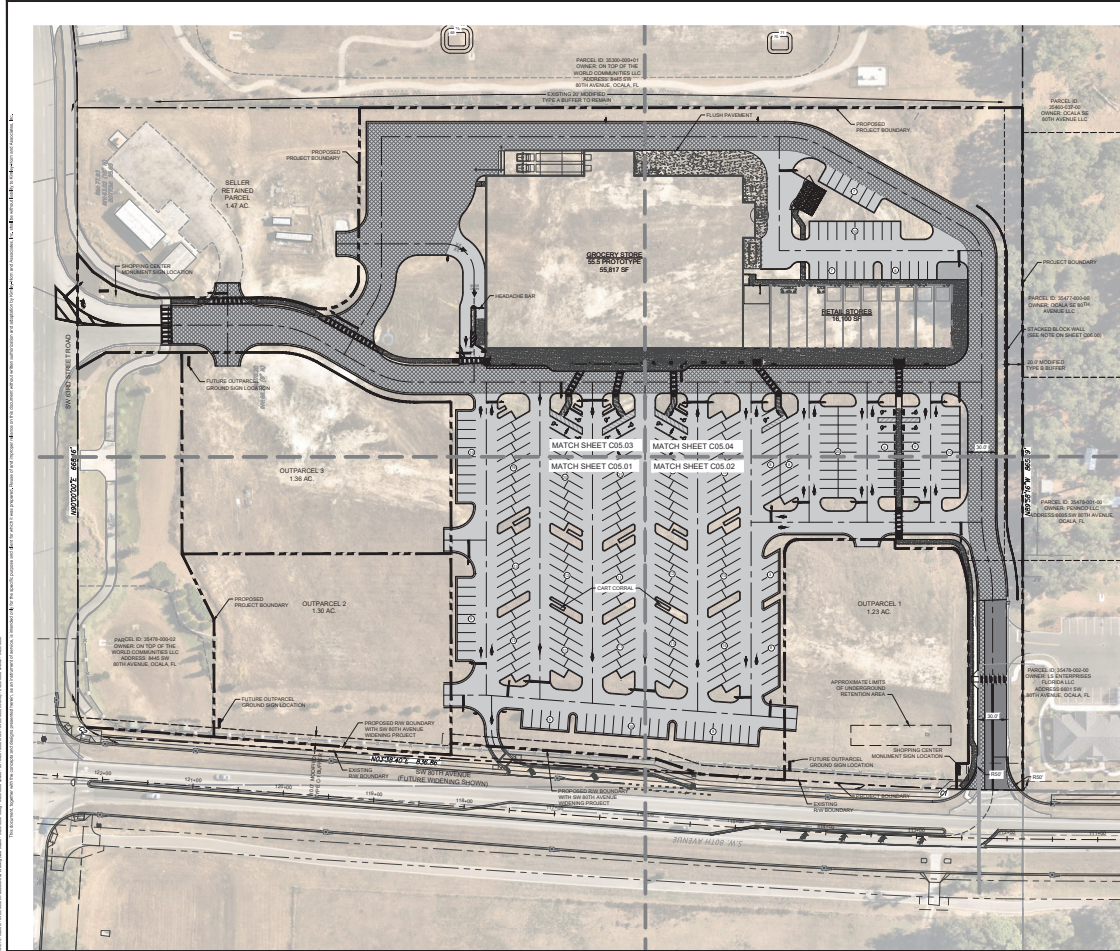
**CALESA MARKET DISTRICT**

PREPARED FOR  
SEMBLER FLORIDA, INC.  
MARION COUNTY  
FLORIDA

**EROSION CONTROL NOTES**

SHEET NUMBER  
**C04.01**





**PAVEMENT LEGEND**

- STANDARD DUTY PAVEMENT (SEE DETAILS SHEET C05.01)
- HEAVY DUTY PAVEMENT (SEE DETAILS SHEET C05.01)
- 5" TYPE SP-8 OVERLAY
- CONCRETE PAVEMENT (SEE DETAILS SHEET C05.01)
- CONCRETE SIDEWALK (SEE DETAILS SHEET C05.01)

**SITE DATA TABLE**

PARCEL IDENTIFICATION NUMBER	303600-00
PROJECT BOUNDARY	14.48 ACRES
FLOOD ZONE	0
FORM NAME	T020000001
LAND USE	OFFICE SQUARE WORKS V.P.R.
SETBACK REQUIREMENT PER CALIF. TYPING PLAN	
REAR (ADJACENT TYPE C) BUFFER	15 FEET
FRONT (TYPE C) BUFFER	5 FEET
LEFT (ADJACENT TYPE C) BUFFER	20 FEET
RIGHT (ADJACENT TYPE C) BUFFER	20 FEET
BUILDING SETBACK REQUIREMENT	15 FEET
MINIMUM SIDE STREET SETBACK	15 FEET
MINIMUM SIDE SETBACK	5 FEET
MINIMUM BUILDING HEIGHT	15 FEET
MINIMUM BUILDING HEIGHT	8 STORY
CONCRETE FLOOR AREA	13,800 SF
CURRENT TOTAL BUILDING AREA	18,200 SF
CURRENT FLOOR AREA RATIO	0.19
MAXIMUM FLOOR AREA RATIO	1.00
PARKING REQUIRED TO SAT. OF SHOPPING CENTER	
TOTAL SPACES REQUIRED (PER 100 SF)	120
STANDARD SPACES PROVIDED	38
UNACCESSIBLE SPACES REQUIRED	8
UNACCESSIBLE SPACES PROVIDED	14
TOTAL SPACES PROVIDED	52

**SURFACE DATA TABLE**

SHOPPING CENTER	327,000 SF (7.30 AC)
OUTPARCEL 1 (TOTAL IMPERVIOUS)	16,000 SF (0.37 AC)
OUTPARCEL 2 (TOTAL IMPERVIOUS)	47,000 SF (1.08 AC)
OUTPARCEL 3 (TOTAL IMPERVIOUS)	47,000 SF (1.08 AC)
TOTAL IMPERVIOUS AREA	337,000 SF (7.73 AC)
TOTAL IMPERVIOUS AREA PERCENTAGE	77.2%
TOTAL PERMEABLE	96,000 SF (2.19 AC)
TOTAL GREENSPACE PERCENTAGE	22.8%

**NOTES**

- ALL ON-SITE PAVEMENT MARKINGS ARE TO BE PAINTED USING NON-SLIP PAINT.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL COUNTY REGULATIONS AND ORDINANCES OF CALIFORNIA.
- PRIOR TO CONSTRUCTION WITHIN ANY EXISTING PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE APPLICABLE JURISDICTION.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS, DIMENSIONS OF CURBWORK, SIGN-FRAMING, SIGNMOUNT SET LOCATIONS, SIGN COLOR, FINISHES, SIGNING DIMENSIONS AND EXACT SIGNALING UTILITY ENTRANCE LOCATIONS.
- SITE BOUNDARY, TOPOGRAPHY, AND SIGN INFORMATION PER SURVEY DATED AUGUST 5, 2014, IS TO BE USED FOR ALL CONSTRUCTION.
- REFER TO ARCH. PLANS FOR Pylon AND/OR MONUMENT SIGNS.
- REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- MAXIMUM SIGNING HEIGHT ON SIDEWALKS SHALL NOT EXCEED 6'0" (6'0").
- MAXIMUM SIGNING HEIGHT ON SIDEWALKS SHALL NOT EXCEED 10'0" (10'0").
- MAXIMUM SIGNING HEIGHT ON SIDEWALKS SHALL NOT EXCEED 15'0" (15'0").
- MAXIMUM SIGNING HEIGHT ON SIDEWALKS SHALL NOT EXCEED 15'0" (15'0") IN ANY SITUATION.
- EXPOSED AGGREGATE DETECTABLE SURFACE MATERIAL SHALL BE SELECTED WITH CARE TO AVOID THE USE OF MATERIALS THAT ARE REACTIVE TO CORROSION OR THAT CAUSE STAINING FROM A GRADE CHANGE. SUCH MATERIALS SHALL BE APPLIED TO THE SURFACE OF SIDEWALKS, SIGN-FRAMING, SIGNMOUNT SET LOCATIONS, AND SIGNING UTILITY ENTRANCE LOCATIONS.
- SIGNAGE GENERATOR MUST NOT BE LOCATED WITHIN 10'0" OF A RESIDENTIAL WALKWAY UNLESS THE SIGNAGE GENERATOR IS A SIGNAGE GENERATOR.

**CALESA MARKET DISTRICT**  
PREPARED FOR  
**SEMBLER FLORIDA, INC.**  
MARKER COUNTY  
FLORIDA

DATE: 08/11/2014  
TIME: 10:00 AM  
PROJECT: CALESA MARKET DISTRICT  
SHEET: C05.00

**MASTER SITE PLAN**

DATE: 08/11/2014  
TIME: 10:00 AM  
PROJECT: CALESA MARKET DISTRICT  
SHEET: C05.00

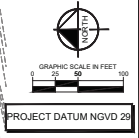
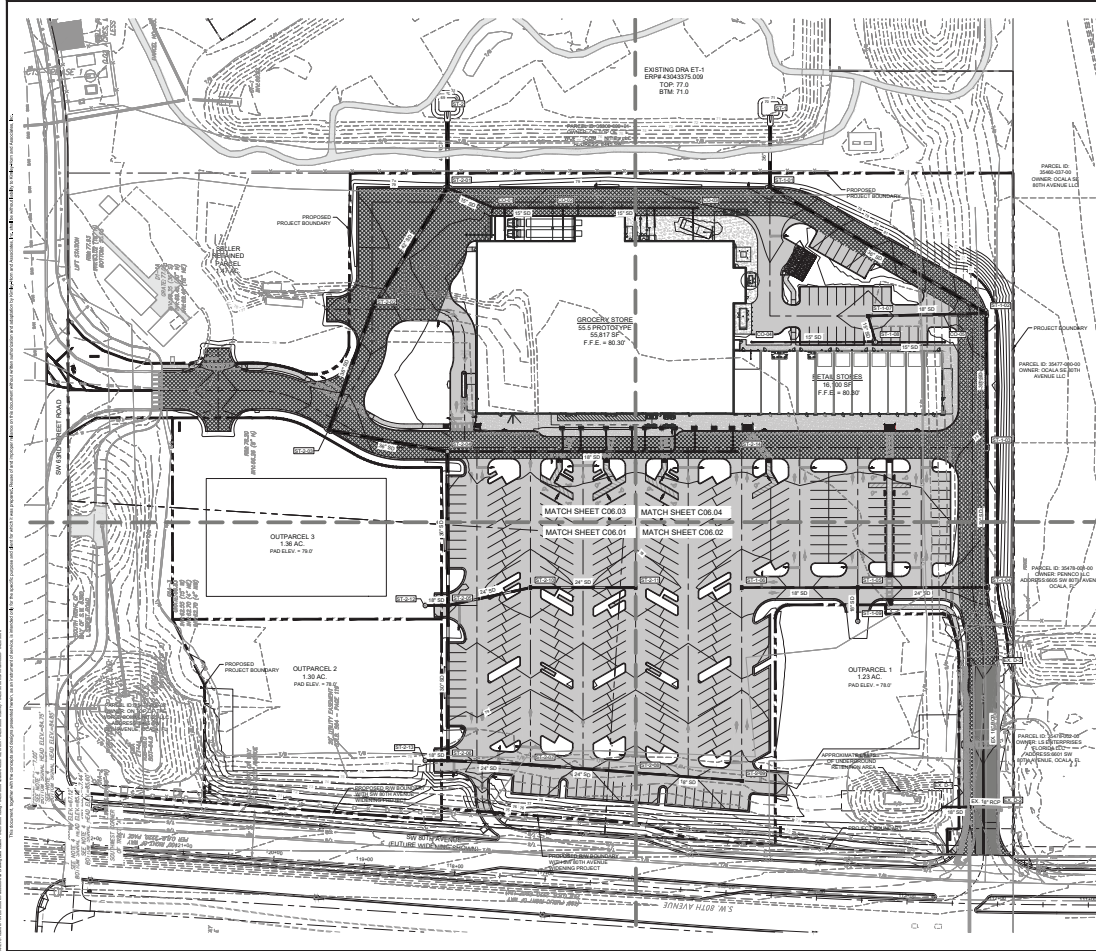
**CALESA MARKET DISTRICT**  
PREPARED FOR  
**SEMBLER FLORIDA, INC.**  
MARKER COUNTY  
FLORIDA











- PAVEMENT LEGEND**
- STANDARD DUTY PAVEMENT (SEE DETAIL SHEET - C06.01)
  - HEAVY DUTY PAVEMENT (SEE DETAIL SHEET - C06.01)
  - 1" TYPE SP-8 OVERLAY
  - CONCRETE PAVEMENT (SEE DETAIL SHEET - C06.01)
  - CONCRETE SIDEWALK (SEE DETAIL SHEET - C06.01)
- LEGEND**
- PROPOSED SPOT ELEVATION
  - STORM DRAINAGE STRUCTURE LABEL
  - PROPOSED DRAINAGE INLET
  - PROPOSED STORMWATER MANHOLE
  - PROPOSED CLEARDIRT
  - PROPOSED INTERIOR END SECTION (SEE NOTE 8)
  - PROPOSED ROOF DRAIN CONNECTION BY OTHERS
  - PROPOSED STORMPIPE
  - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - PROPOSED FLOW DIRECTION ARROWS
  - PROPOSED RIDGE
  - PROPOSED SLOPE

- NOTES:**
1. VERTICAL DATUM IS BASED ON FINISH OF IRON ROD WITH A PLASTIC CAP EXPOSED "FOOTCUST TRANSFER" APPROXIMATELY 1/2" IS MARKED WITH DATE ROAD 300 ON THE WEST SIDE OF W. WITH AVENUE. BENCHMARK IS LOCATED IN THE NORTHEAST CORNER OF THE WEST SECTION OF W. WITH AVENUE AND THE CORNER OF THE NORTHEAST CORNER OF THE WEST SECTION OF W. WITH AVENUE. M.C. ELEVATION = 88.27' (SEE PLAN SHEET C06.00)
  2. ALL JUNCTIONS ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED.
  3. MAXIMUM RUNNING SLOPE ON SIDEWALKS SHALL NOT EXCEED 2.00% (1:50).
  4. MAXIMUM SLOPE IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.00% (1:50) IN ANY DIRECTION.
  5. STORM PIPE MATERIAL SHALL BE 4" STORM, RIGID WALL WATER TIGHT TYPE, OR RCP AND CONFORM WITH THE LATEST EDITION OF THE ROOF DRAINAGE SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION, STORM PIPES WITH A REQUIRED SPECIFIC MATERIALS ARE NOTED ON THE PLAN.
  6. ROOF DRAIN CONNECTION SERVICE PIPES TO MAINTAIN 1/8" MINIMUM SLOPE, CONNECT TO MAIN STORM PIPE WITH WATER TIGHT, SEAL CONNECTION CONTRACTOR TO USE INERT A-TIE PRODUCT OR ENGINEER APPROVED EQUAL.
  7. ALL FINAL STORM DRAIN MATERIALS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND NOTED ON THE RECORD DRAWINGS.
  8. DISCHARGE INTO DRAINAGE RETENTION AREAS REQUIRES INSTALLATION OF CONCRETE INTERIOR END SECTION FOR FOOT RISES 18" OR 4" SLOPE. SEE SHEET - THROUGH - FOR ADDITION OF RCP RAFF DRAINAGE.
  9. ALL AREAS INTERFERED BY THE CONSTRUCTION OF THIS PROJECT SHALL BE RECONSTRUCTED TO ORIGINAL FINISH GRADE. SEE PLAN SECTION OF SOIL AND SEE 3" MAX ON LOCATIONS ALLOW FOR THICKNESS OF SOIL WITH A 3" MINIMUM. SOIL SHALL BE RECONSTRUCTED TO ORIGINAL FINISH GRADE. RECONSTRUCTED AREAS SHALL BE CONFORM TO THE LATEST EDITION OF THE ROOF DRAINAGE SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION, STORM PIPES WITH A REQUIRED SPECIFIC MATERIALS ARE NOTED ON THE PLAN.
  10. ALL EARTHWORK, INCLUDING ROCK REMOVAL WORK, IS BEING SPECIFIED AS REMOVAL AND FOR ANY REQUIRED SOIL REPORT OR EXPERT CONTRACTOR SHALL BE OBTAINED PRIOR TO THE START OF WORK. SEE REQUIREMENTS SUBMITTAL BID.
  11. RETAINING WALL DETAILS AND CALCULATIONS SHALL BE SUBMITTED TO THE MARION COUNTY BUILDING DEPARTMENT FOR SEPARATE APPROVAL PRIOR TO WALL CONSTRUCTION.
  12. FENCING REQUIRED ON ALL WALLS GREATER THAN 2' 0" IN HEIGHT. CONTRACTOR TO PROVIDE SHARP POINTS FOR TRENCH DRAIN WEED COLLECTION MATERIAL. MUST BE APPROVED BY THE ENGINEER OF RECORD.
  13. CONTRACTOR TO PROVIDE SHARP POINTS FOR TRENCH DRAIN WEED COLLECTION MATERIAL. MUST BE APPROVED BY THE ENGINEER OF RECORD.
  14. CONTRACTOR TO PROVIDE SHARP POINTS FOR TRENCH DRAIN WEED COLLECTION MATERIAL. MUST BE APPROVED BY THE ENGINEER OF RECORD.

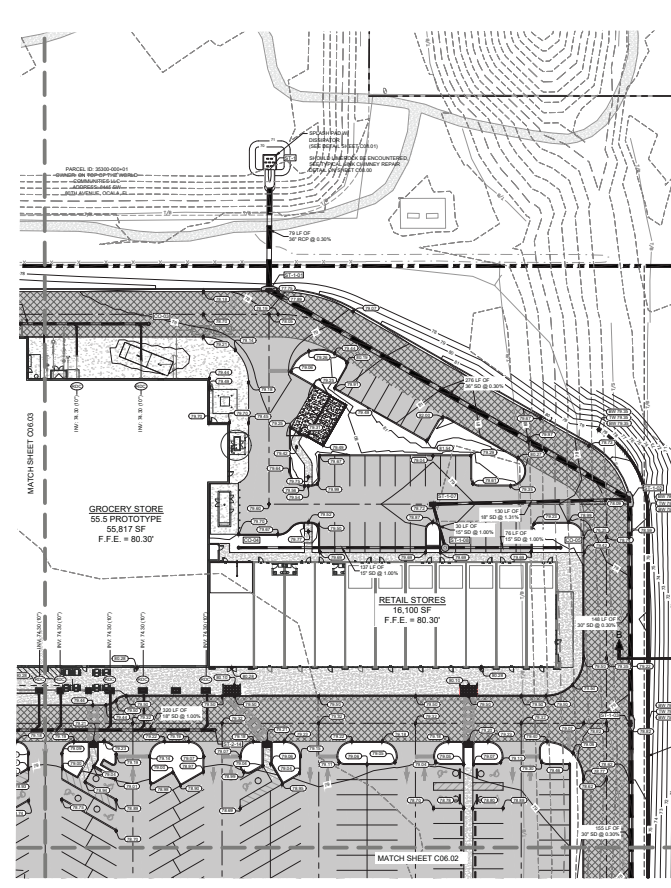
PROJECT NO. 2024-001 SHEET NO. C06.00 DATE: 10/20/2024	PROJECT NAME: MARKET DISTRICT LOCATION: SEMBLER FLORIDA, INC. COUNTY: MARION COUNTY, FLORIDA
PREPARED BY: [Name] CHECKED BY: [Name] DATE: 10/20/2024	PROJECT DATUM: NGVD 29 SCALE: AS SHOWN

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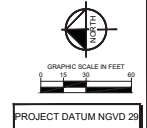








STRUCTURE TABLE	
STRUCTURE NAME	DETAILS
CD-03	CLEANOUT INV OUT 74.10 (1P SD)
CD-04	CLEANOUT INV OUT 74.07 (1P SD)
CD-05	CLEANOUT INV OUT 73.76 (1P SD)
ST-1	INTERIOR END SECTION INV IN 70.00 (2P RCP)
ST-1A1	80 CURB INLET RCP 18" 18" 18" (1P SD) INV IN 74.00 (1P SD) INV OUT 74.00 (1P SD)
ST-1A2	80 CURB INLET RCP 18" 18" 18" (1P SD) INV IN 74.00 (1P SD) INV OUT 74.00 (1P SD)
ST-1A3	80 CURB INLET RCP 18" 18" 18" (1P SD) INV IN 74.00 (1P SD) INV OUT 74.00 (1P SD)
ST-1A7	TYPE 3 MANHOLE PRECAST CONCRETE AND 400 GRADE 18" 18" 18" (1P SD) INV IN 74.00 (1P SD) INV OUT 74.00 (1P SD)
ST-1A8	TYPE 3 MANHOLE PRECAST CONCRETE AND 400 GRADE 18" 18" 18" (1P SD) INV IN 74.00 (1P SD) INV OUT 74.00 (1P SD)
ST-1A11	TYPE 3 MANHOLE PRECAST CONCRETE AND 400 GRADE 18" 18" 18" (1P SD) INV IN 74.00 (1P SD) INV OUT 74.00 (1P SD)



- NOTES:**
- VERTICAL DATUM IS BASED ON FINISH OF ROAD BLDG WITH A PLASTIC CAP STAMPED 'TWO-CENT TRANSFER' APPROXIMATELY 1/2" BEHIND CURB. ROAD IS ON THE WEST SIDE OF W. WITH AVENUE. BENCHMARK IS LOCATED IN THE NORTHEAST CORNER OF THE INTERSECTION OF W. WITH AVENUE AND THE CORNER OF THE BLDG. SEE DETAIL SHEET C-06-01 FOR BENCHMARK DATA. M.C. ELEVATION = 85.27' (SEE DETAIL SHEET C-06-01).
  - ALL JOBS ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED.
  - MAXIMUM RUNNING SLOPE ON SIDEWALKS SHALL NOT EXCEED 2.00% (1:50).
  - MAXIMUM CROSS SLOPE ON SIDEWALKS SHALL NOT EXCEED 2.00% (1:50).
  - MAXIMUM SLOPE IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.00% (1:50) IN ANY DIRECTION.
  - STORM PIPE MATERIAL SHALL BE 48" STORM. BODY WALL WATER TIGHT HOPE OR RCP AND CONFORM WITH THE LATEST EDITION OF THE ROOF DRAINAGE SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION. STORM PIPES WITH A REQUIRED SPECIFIC MATERIALS ARE NOTED ON THE PLAN.
  - ROOF DRAIN CONNECTION SERVICE PIPES TO MAINTAIN 1/8" MINIMUM SLOPE. CONNECT TO MAIN STORM PIPE WITH WATER TIGHT. SHALL CONNECTION CONTRACTOR TO USE INERT AS THE PRODUCT OR ENGINEER APPROVED EQUIV.
  - ALL FINAL STORM DRAIN MATERIALS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND NOTED ON THE RECORD DRAWINGS.
  - DISCHARGE INTO DRAINAGE RETENTION AREAS REQUIRES INSTALLATION OF CONCRETE INTERIOR END SECTION FOR FOOT WALKS 18" x 18" x 4" SLOPE. SEE SHEETS THROUGH FOR ACTION OF RCP RAMP DRAINAGE.
  - ALL AREAS DETERMINED BY THE CONTRACTOR TO BE PRODUCT WAREHOUSE NOT OTHERWISE PAVED OR NOTED ON THE PLAN SHALL BE HANDMADELY STRENGTHENED FOLLOWING FINISH GRADING. SEE PLAN FOR LOCATION OF SOG AND SOG SHALL BE LOCATED ALONG FOR THICKNESS OF SOG WITH A 3" RCP MANHOLE. SOG SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION PERIOD. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SOG THROUGHOUT THE CONSTRUCTION PERIOD.
  - ALL EXISTING, INCLUDING ROOF REPAIR WORK, IS BEING SPECIFIED AS UNDER CONTRACTOR TO PROVIDE ALL COSTS FOR ANY REQUIRED ROOF REPAIRS AND FOR ANY REQUIRED SOG SUPPORT OR EJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SOG THROUGHOUT THE CONSTRUCTION PERIOD.
  - RETAINMENT WALL DETAILS AND CALCULATIONS SHALL BE SUBMITTED TO THE MARION COUNTY BUILDING DEPARTMENT FOR SEPARATE APPROVAL PRIOR TO WALL CONSTRUCTION.
  - FENCING REQUIRED ON ALL WALLS GREATER THAN 2' 0" IN HEIGHT. CONTRACTOR TO COORDINATE WITH OWNER ON FENCING PRODUCT SELECTION. FENCING MATERIAL SHALL BE APPROVED BY THE ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR TRENCH DRAIN MEETING OWNER'S DESIGN MANUAL CRITERIA.

CONTRACTOR'S SEAL AND SIGNATURE

PROJECT NO. 2024-001  
 SHEET NO. C06.04  
 DATE: 10/20/2024

OWNER'S SEAL AND SIGNATURE

PROJECT DATUM NGVD 29

DESIGNER'S SEAL AND SIGNATURE

PROJECT DATUM NGVD 29

CHECKER'S SEAL AND SIGNATURE

PROJECT DATUM NGVD 29

APPROVED FOR CONSTRUCTION

PROJECT DATUM NGVD 29

CONTRACTOR'S SEAL AND SIGNATURE

PROJECT DATUM NGVD 29

OWNER'S SEAL AND SIGNATURE

PROJECT DATUM NGVD 29

DESIGNER'S SEAL AND SIGNATURE

PROJECT DATUM NGVD 29

CHECKER'S SEAL AND SIGNATURE

PROJECT DATUM NGVD 29

APPROVED FOR CONSTRUCTION

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PROJECT DATUM NGVD 29

APPROVED FOR CONSTRUCTION

PROJECT DATUM NGVD 29

CONTRACTOR'S SEAL AND SIGNATURE

PROJECT DATUM NGVD 29

OWNER'S SEAL AND SIGNATURE

PROJECT DATUM NGVD 29

DESIGNER'S SEAL AND SIGNATURE

PROJECT DATUM NGVD 29

CHECKER'S SEAL AND SIGNATURE

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CONTRACTOR'S SEAL AND SIGNATURE

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APPROVED FOR CONSTRUCTION

PROJECT DATUM NGVD 29

CONTRACTOR'S SEAL AND SIGNATURE

PROJECT DATUM NGVD 29

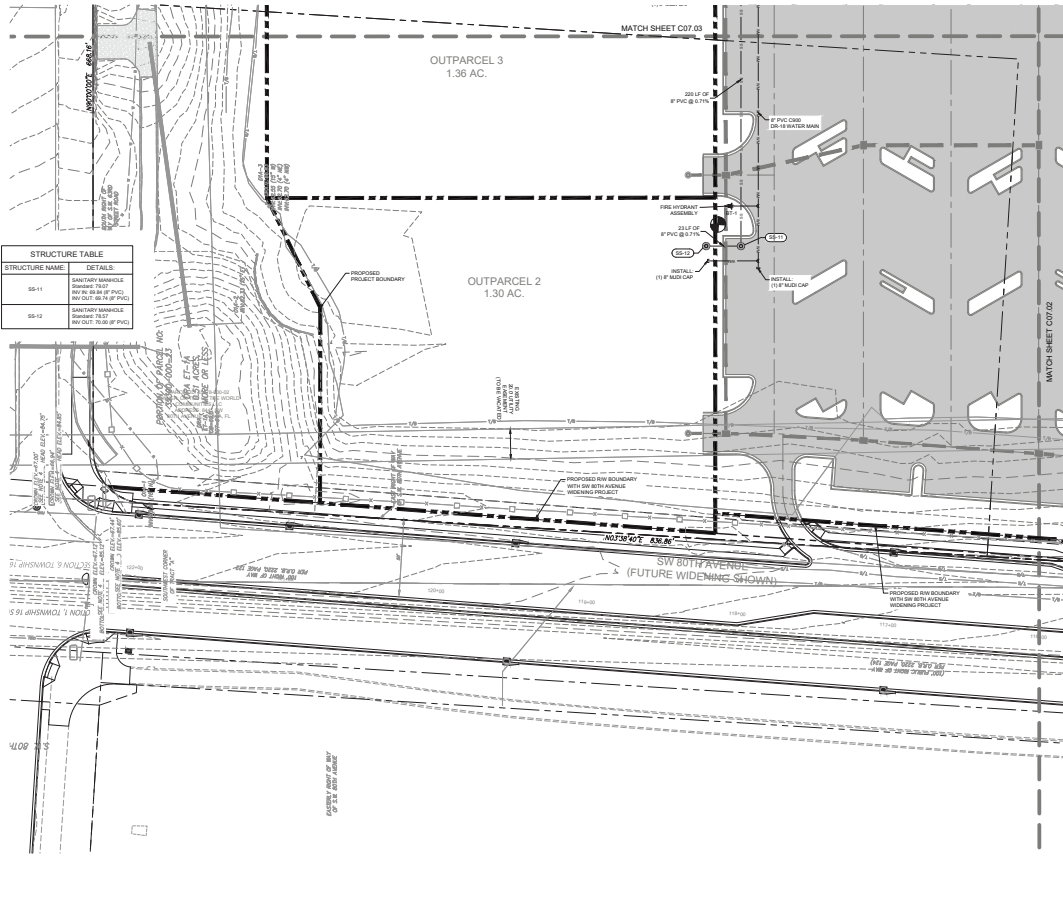
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PROJECT DATUM NGVD 29

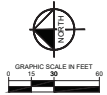
DESIGNER'S SEAL AND SIGNATURE

PROJECT DATUM NGVD 29





STRUCTURE TABLE	
STRUCTURE NAME	DETAILS
SS-11	SANITARY MANHOLE Standard: 78.52 (PVC) Min. Dia: 36.00 (PVC) Max. Dia: 36.00 (PVC)
SS-12	SANITARY MANHOLE Standard: 78.52 (PVC) Min. Dia: 36.00 (PVC)



**LEGEND**

- PROPOSED SANITARY SEWER PIPE
- PROPOSED FORCE MAIN
- PROPOSED FIRE PROTECTION WATERMAIN
- PROPOSED PRIMARY ELECTRIC CONDUIT
- PROPOSED GAS SERVICE
- PROPOSED SANITARY MANHOLE
- FIRE HYDRANT ASSEMBLY
- GATE VALVE
- VALVE
- BENDS
- FIRE LINE DOUBLE CHECK DETECTOR
- WATER METER AND REDUCED PRESSURE BACKFLOW PREVENTOR
- SALT SAMPLE POINT
- LIGHT POLE
- STORM STRUCTURE
- GROUND TRAP INTERCEPTOR
- FIRE HYDRANT ASSEMBLY

**NOTES**

1. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH THE HAWAII COUNTY LAND DEVELOPMENT CODE, ORDINANCES, AND REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE HAWAII COUNTY ENGINEERING DEPARTMENT.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER NOTIFICATION OF NEIGHBORS AND UTILITIES CONCERNING ANY CONSTRUCTION.
3. PROPOSED PORTABLE WATER SYSTEMS TO CONNECT TO THE EXISTING PORTABLE WATER SYSTEM. CONTRACTOR TO LOCATE AND MARK 'TIE-IN' LOCATIONS PRIOR TO CONSTRUCTION.
4. ALL PORTABLE WATER MAINS SHALL BE POLYETHYLENE GLYCOL (PE) UNLESS OTHERWISE NOTED.
5. ALL PORTABLE WATER MAINS SHALL BE 100 PSI PRESSURE RATING UNLESS OTHERWISE NOTED.
6. THE HAWAII COUNTY UTILITIES RESTRICTIONS PPS DETAILS 1718 AND 1719 SHALL APPLY TO ALL PORTABLE WATER MAINS.
7. ALL PORTABLE WATER MAINS SHALL BE 100 PSI PRESSURE RATING UNLESS OTHERWISE NOTED.
8. ALL PORTABLE WATER MAINS SHALL BE 100 PSI PRESSURE RATING UNLESS OTHERWISE NOTED.
9. ALL PORTABLE WATER MAINS SHALL BE 100 PSI PRESSURE RATING UNLESS OTHERWISE NOTED.
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19. ALL PORTABLE WATER MAINS SHALL BE 100 PSI PRESSURE RATING UNLESS OTHERWISE NOTED.
20. ALL PORTABLE WATER MAINS SHALL BE 100 PSI PRESSURE RATING UNLESS OTHERWISE NOTED.



**Kimley-Horn**  
INCORPORATED  
1000 KIMLEY-HORN DRIVE  
ANN ARBOR, MI 48106  
PH: 734.769.1200  
WWW.KIMLEY-HORN.COM

PROJECT NO. 19-001  
DATE: 08/20/2019  
DRAWN BY: J. HARRIS  
CHECKED BY: J. HARRIS  
SCALE: AS SHOWN  
PROJECT: CALESA MARKET DISTRICT  
SHEET NO. C07.01

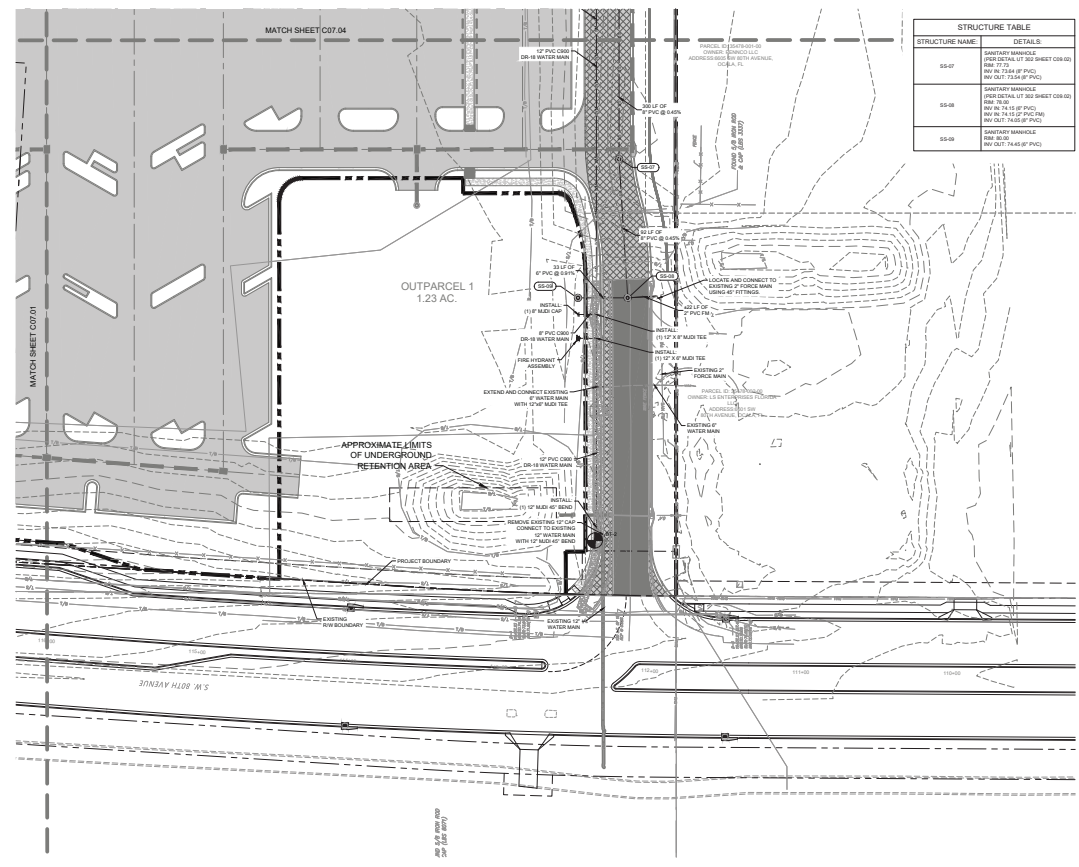
**UTILITY PLAN**

CALESA MARKET DISTRICT  
PREPARED FOR  
SEMBLER FLORIDA, INC.  
HAWAII COUNTY  
FLORIDA

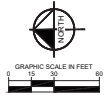
SHEET NUMBER  
**C07.01**

NO.	DATE	REVISION
1		ISSUE FOR CONSTRUCTION

MAJOR SITE PLANS



STRUCTURE TABLE	
STRUCTURE NAME	DETAILS
SS-07	SANITARY MANHOLE SEE DETAIL UT 301 SHEET C07.04 RIM 77.11' (PVC) RIM TO TOP OF PIPES RIM TO 77.11' (PVC) RIM TO 77.11' (PVC)
SS-08	SANITARY MANHOLE SEE DETAIL UT 301 SHEET C07.04 RIM 76.34' (PVC) RIM TO 76.34' (PVC) RIM TO 76.34' (PVC) RIM TO 76.34' (PVC)
SS-09	SANITARY MANHOLE RIM 80.00' RIM TO 74.68' (PVC)



**LEGEND**

- PROPOSED SANITARY SEWER PIPE
- PROPOSED FORCE MAIN
- PROPOSED WATER MAIN
- PROPOSED FIRE PROTECTION WATER MAIN
- PROPOSED PRIMARY ELECTRIC CONDUIT
- PROPOSED GAS SERVICE
- PROPOSED EXISTING PIPE
- PROPOSED SANITARY MANHOLE
- FIRE HYDRANT ASSEMBLY
- GATE VALVE
- VALVE
- BENDS
- FIRE LINE DOUBLE CHECK DETECTOR
- WATER METER AND REDUCED PRESSURE BACKFLOW PREVENTOR
- SACT SAMPLE POINT
- LIGHT POLE
- EXISTING STRUCTURE
- GROUND TRAP INTERCEPTOR

**NOTES**

1. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH THE HAWAII COUNTY LAND DEVELOPMENT CODE, LOCAL ORDINANCES, THE HAWAII COUNTY ENGINEERING DEPARTMENT, AND ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER NOTIFICATION OF NEIGHBORS AND OTHERS CONCERNED WITH THE CONSTRUCTION.
3. PROPOSED PORTABLE SYSTEMS TO BE CONNECTED TO THE EXISTING PORTABLE SYSTEM. CONTRACTOR TO LOCATE AND MARK THE LOCATION PRIOR TO CONSTRUCTION.
4. ALL PORTABLE WATER MAIN SHALL BE POLYETHYLENE GLYCOL (PE) UNLESS OTHERWISE NOTED.
5. ALL PORTABLE WATER MAIN SHALL BE 100 PSI PRESSURE RATING UNLESS OTHERWISE NOTED.
6. THE HAWAII COUNTY ENGINEERING DEPARTMENT SHALL REVIEW AND APPROVE ALL UTILITY CONSTRUCTION.
7. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HAWAII COUNTY ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS.
8. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HAWAII COUNTY ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS.
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20. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HAWAII COUNTY ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS.



**Kinley Hort**  
100% LOCAL OWNERSHIP  
100% LOCAL EMPLOYMENT  
100% LOCAL PRODUCTS

CALESA MARKET DISTRICT  
PREPARED FOR  
SEMFLORIDA, INC.  
HAWAII COUNTY, FLORIDA

UTILITY PLAN

CALESA MARKET DISTRICT  
PREPARED FOR  
SEMFLORIDA, INC.  
HAWAII COUNTY, FLORIDA

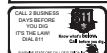
SHEET NUMBER  
C07.02

MAJOR SITE PLANS

NO.	DATE	REVISION
1		ISSUE FOR CONSTRUCTION

CALESA MARKET DISTRICT  
 PREPARED FOR  
 SEMFLORIDA, INC.  
 HAWAII COUNTY, FLORIDA  
 PROJECT NO. 2023-001  
 SHEET NO. C07.02  
 DATE: 10/20/23  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 APPROVED BY: [Name]

STRUCTURE NAME	DETAILS
EX-53	EXISTING MANHOLE RANGE TO GRADE RIM 10.14 RW 10.00 RY 10.00 RVD 10.00 (10.00' PVC) RVD 10.00 (10.00' PVC)
SS-01	SANITARY MANHOLE RIM 10.14 RW 10.00 RY 10.00 RVD 10.00 (10.00' PVC) RVD 10.00 (10.00' PVC)
SS-02	SANITARY MANHOLE RIM 10.14 RW 10.00 RY 10.00 RVD 10.00 (10.00' PVC) RVD 10.00 (10.00' PVC)
SS-03	SANITARY MANHOLE RIM 10.14 RW 10.00 RY 10.00 RVD 10.00 (10.00' PVC) RVD 10.00 (10.00' PVC)
SS-04	SANITARY MANHOLE RIM 10.14 RW 10.00 RY 10.00 RVD 10.00 (10.00' PVC) RVD 10.00 (10.00' PVC)
SS-05	SANITARY MANHOLE RIM 10.14 RW 10.00 RY 10.00 RVD 10.00 (10.00' PVC) RVD 10.00 (10.00' PVC)

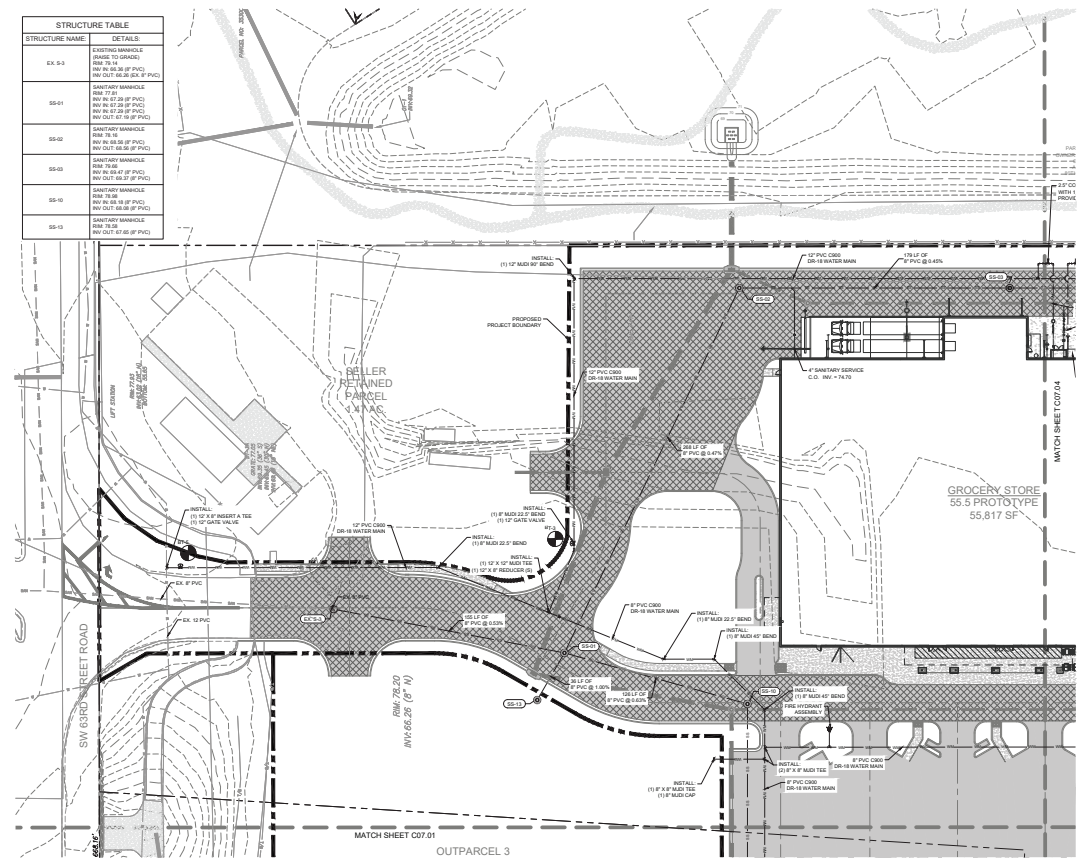


- LEGEND**
- PROPOSED SANITARY SERVICE PIPE
  - PROPOSED FORCE MAIN
  - PROPOSED WATERMAIN
  - PROPOSED FIRE PROTECTION WATERMAIN
  - PROPOSED PRIMARY ELECTRIC CONDUIT
  - PROPOSED GAS SERVICE
  - PROPOSED SANITARY MANHOLE
  - FIRE HYDRANT ASSEMBLY
  - GATE VALVE
  - VALVE
  - FIRE LINE DOUBLE CHECK DETECTOR
  - WATER METER AND REDUCED PRESSURE BACKFLOW PREVENTOR
  - SACT SAMPLE POINT
  - LIGHT POLE
  - EXISTING STRUCTURE
  - GREASE TRAP INTERCEPTOR
  - FIRE SACT SAMPLE POINT

SEE SHEETS C0708 TO C0710 FOR DETAILS

**NOTES**

1. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH THE HAWAII COUNTY LAND DEVELOPMENT CODE, LOCAL ORDINANCES, AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER NOTIFICATION OF ALL AFFECTED UTILITIES PRIOR TO CONSTRUCTION.
3. PROPOSED POTABLE WATER SYSTEMS TO CONNECT TO THE EXISTING POTABLE WATER SYSTEM. CONTRACTOR TO LOCATE AND MARK "T" AND LOCATIONS PRIOR TO CONSTRUCTION.
4. ALL POTABLE WATER MAINS SHALL BE POLYETHYLENE GLASS REINFORCED (PEGR) UNLESS OTHERWISE SPECIFIED.
5. ALL POTABLE WATER MAINS AND FITTINGS IN ACCORDANCE WITH HAWAII COUNTY UTILITIES REGULATIONS PIPES DETAIL 1710 AND UTILITY DETAIL C0701.
6. ALL FIRE PROTECTION WATER MAINS SHALL BE 100% GALVANIZED (GAL) UNLESS OTHERWISE SPECIFIED. ALL FITTINGS SHALL BE GALVANIZED (GAL) UNLESS OTHERWISE SPECIFIED.
7. ALL FIRE PROTECTION WATER MAINS SHALL BE 100% GALVANIZED (GAL) UNLESS OTHERWISE SPECIFIED. ALL FITTINGS SHALL BE GALVANIZED (GAL) UNLESS OTHERWISE SPECIFIED.
8. ALL WATER MAINS SHALL BE CONSTRUCTED PER HAWAII COUNTY UTILITIES DETAIL UT 201.
9. ALL WATER MAINS SHALL BE CONSTRUCTED PER HAWAII COUNTY UTILITIES DETAIL UT 201.
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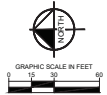
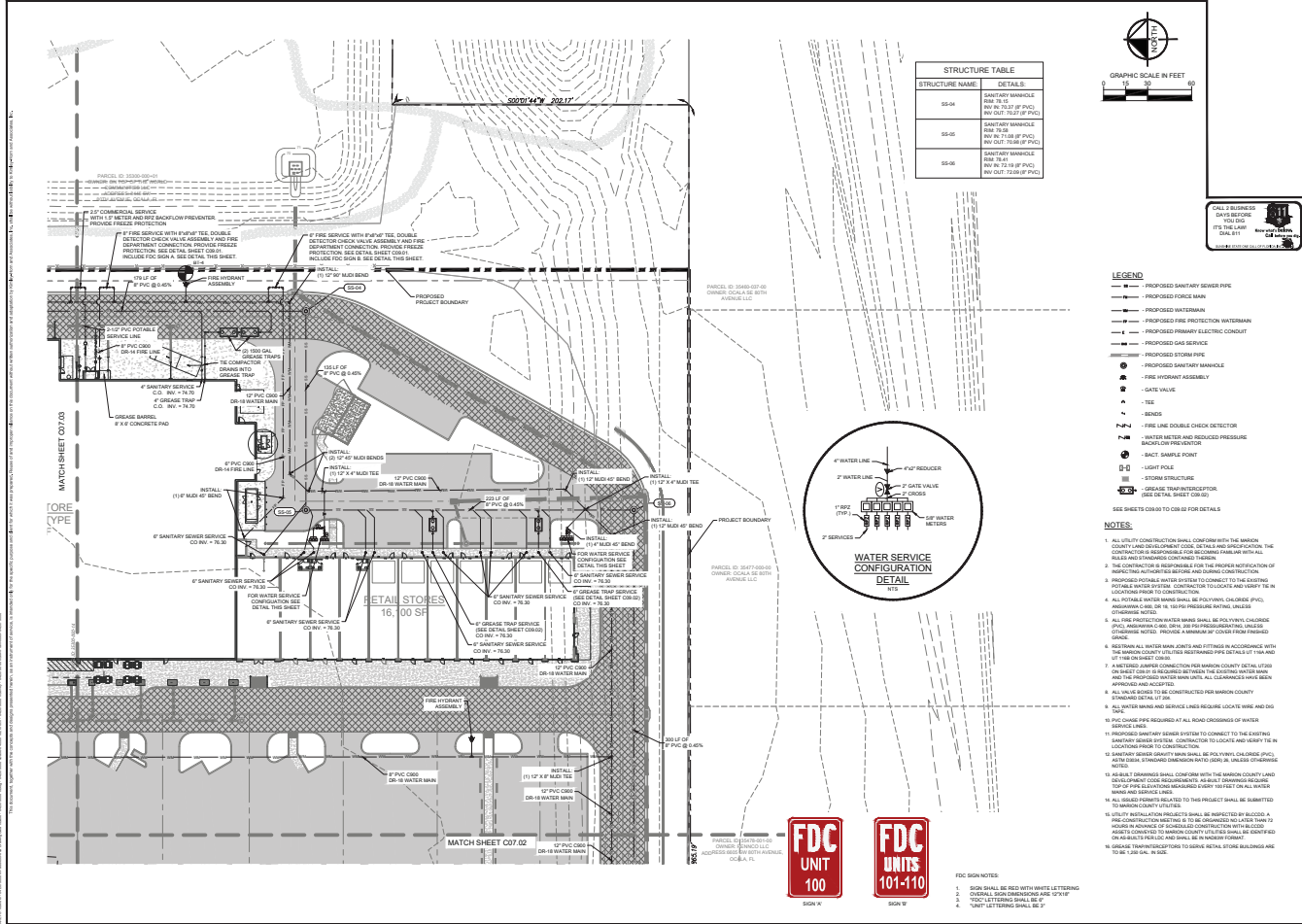


**UTILITY PLAN**

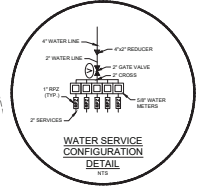
CALESA  
MARKET DISTRICT  
SEMBLER FLORIDA, INC.  
HAWAII COUNTY  
FLORIDA

SHEET NUMBER  
**C07.03**

MAJOR SITE PLANS



- LEGEND**
- PROPOSED SANITARY SEWER PIPE
  - PROPOSED FORCE MAIN
  - PROPOSED WATERMAIN
  - PROPOSED FIRE PROTECTION WATERMAIN
  - PROPOSED PRIMARY ELECTRIC CONDUIT
  - PROPOSED GAS SERVICE
  - PROPOSED FIRE SERVICE
  - PROPOSED SANITARY MANHOLE
  - FIRE HYDRANT ASSEMBLY
  - GATE VALVE
  - VALVE
  - BENDS
  - FIRE LINE DOUBLE CHECK DETECTOR
  - WATER METER AND REDUCED PRESSURE BACKFLOW PREVENTOR
  - SACT SAMPLE POINT
  - LIGHT POLE
  - STORM STRUCTURE
  - GREASE TRAP INTERCEPTOR
- SEE SHEETS 00-07 TO 00-15 FOR DETAILS



- NOTES**
1. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH THE HAWKINS COUNTY LAND DEVELOPMENT CODE, ORDINANCES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER NOTIFICATION OF ALL UTILITIES AND ADEQUATE PROTECTION THEREOF.
  2. PROPOSED SANITARY SEWER SYSTEMS TO BE CONNECTED TO THE EXISTING PORTABLE SANITARY SYSTEM. CONSTRUCTION TO OCCUR AND TEST TO BE COMPLETED PRIOR TO CONSTRUCTION.
  3. ALL PORTABLE SANITARY SEWER SHALL BE POLYETHYLENE GLASS REINFORCED (PEGR) PIPE, 12" DIA. 100 PSI PRESSURE RATING UNLESS OTHERWISE NOTED.
  4. THE HAWKINS COUNTY HEALTH DEPARTMENT RESTRICTS PIPE DETAILS TO 18" AND UP TO 18" ON SHEET 00-01.
  5. ALL FIRE PROTECTION CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HAWKINS COUNTY HEALTH DEPARTMENT RESTRICTS PIPE DETAILS TO 18" AND UP TO 18" ON SHEET 00-01.
  6. ALL FIRE PROTECTION CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HAWKINS COUNTY HEALTH DEPARTMENT RESTRICTS PIPE DETAILS TO 18" AND UP TO 18" ON SHEET 00-01.
  7. ALL UTILITY SERVICE TO BE CONSTRUCTED PER HAWKINS COUNTY STANDARD DETAIL OF JOB.
  8. ALL WATER MAINS AND SERVICE LINES REQUIRE LOCATE WIRE AND DIG TIES.
  9. PVC CHASE PIPE REQUIRED AT ALL ROAD CROSSINGS OF WATER SERVICE LINES.
  10. PROPOSED SANITARY SEWER SYSTEM TO BE CONNECTED TO THE EXISTING PORTABLE SANITARY SYSTEM. CONSTRUCTION TO OCCUR AND TEST TO BE COMPLETED PRIOR TO CONSTRUCTION.
  11. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH THE HAWKINS COUNTY LAND DEVELOPMENT CODE, ORDINANCES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER NOTIFICATION OF ALL UTILITIES AND ADEQUATE PROTECTION THEREOF.
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  17. ALL WATER MAINS AND SERVICE LINES REQUIRE LOCATE WIRE AND DIG TIES.
  18. PVC CHASE PIPE REQUIRED AT ALL ROAD CROSSINGS OF WATER SERVICE LINES.
  19. PROPOSED SANITARY SEWER SYSTEM TO BE CONNECTED TO THE EXISTING PORTABLE SANITARY SYSTEM. CONSTRUCTION TO OCCUR AND TEST TO BE COMPLETED PRIOR TO CONSTRUCTION.
  20. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH THE HAWKINS COUNTY LAND DEVELOPMENT CODE, ORDINANCES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER NOTIFICATION OF ALL UTILITIES AND ADEQUATE PROTECTION THEREOF.

**FDC UNIT 100**

**FDC UNITS 101-110**

- FDC SIGN NOTES**
1. SIGN SHALL BE RED WITH WHITE LETTERING
  2. ORIGINAL SIGN DIMENSIONS ARE 10" WIDE
  3. "10" LETTERING SHALL BE 1/8" HIGH
  4. "UNIT" LETTERING SHALL BE 1/8" HIGH

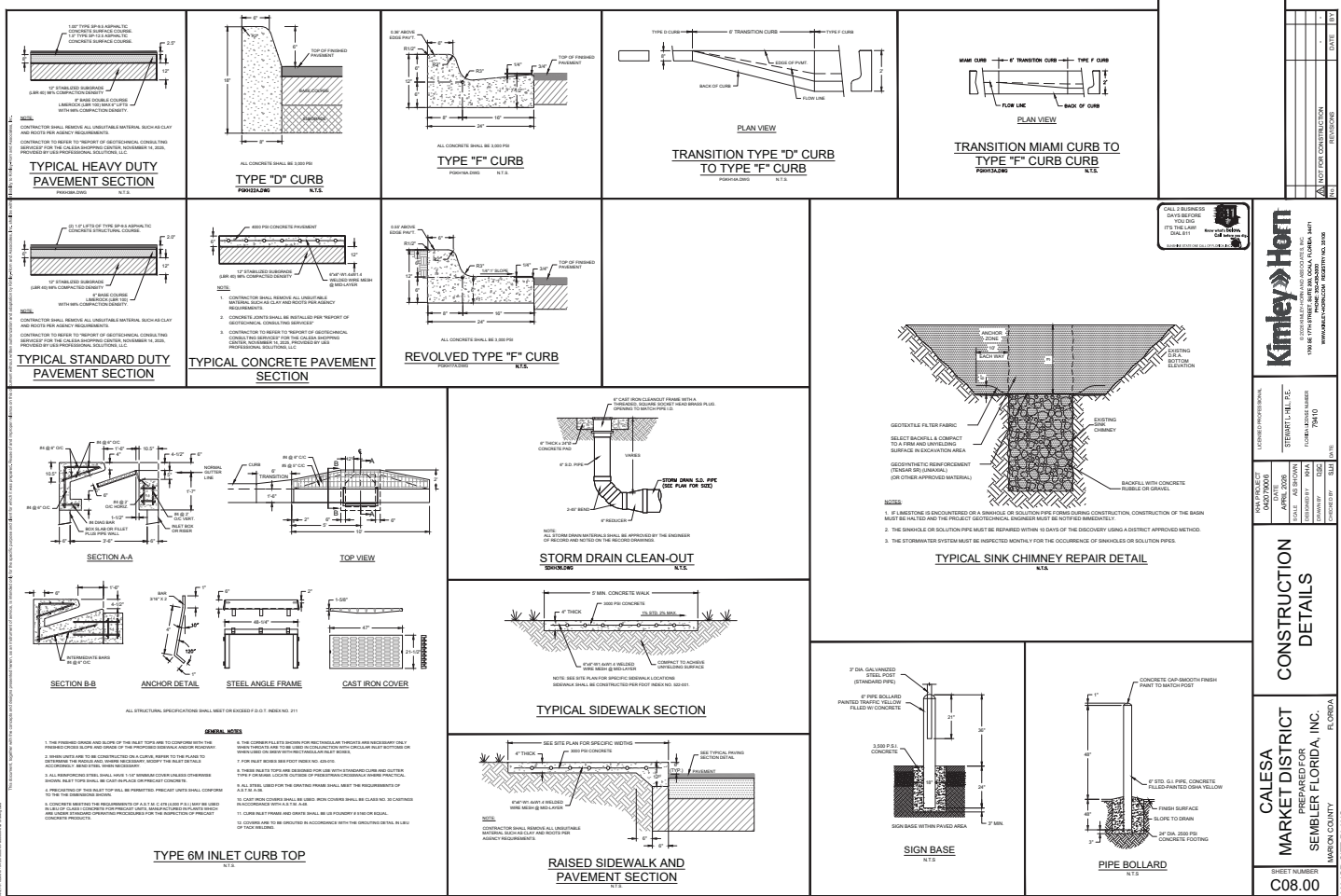


**Kinley Hort**  
 1015 S. W. 10th St.  
 Ft. Lauderdale, FL 33304  
 (954) 575-1111

**UTILITY PLAN**

**CALESA MARKET DISTRICT**  
 PREPARED FOR  
**SEMBLER FLORIDA, INC.**  
 HAWKINS COUNTY, FLORIDA

DATE: 07.04

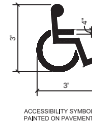
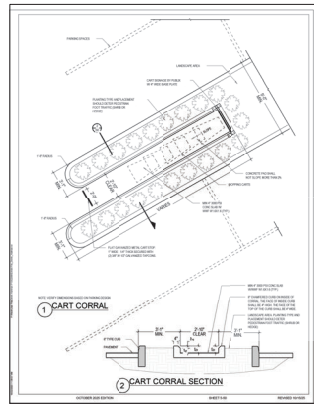
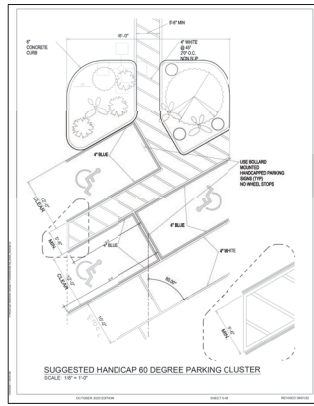
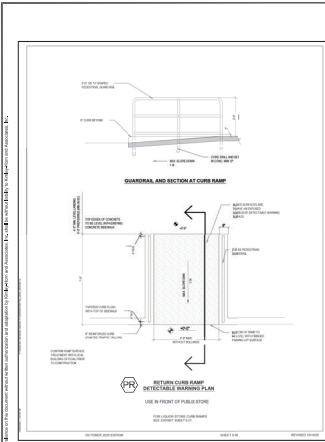


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 FAX: 305.444.1001  
 WWW.KIMLEY-HORN.COM

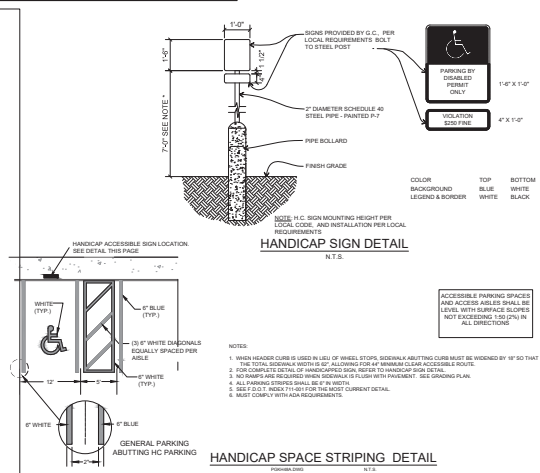
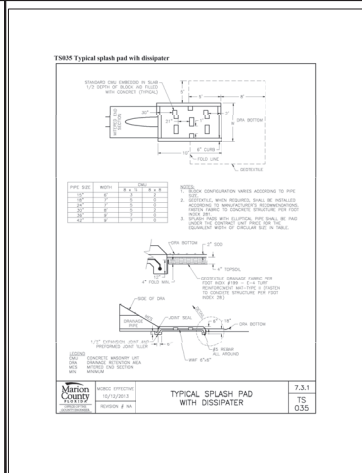
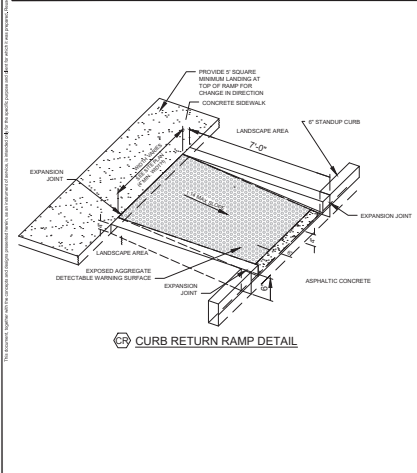
PROJECT NO. 0808000000  
 SHEET NO. C08.00  
 DATE: 08/11/10  
 REVISIONS:

CONSTRUCTION DETAILS

CALESA MARKET DISTRICT  
 PREPARED FOR  
 SEMBLER FLORIDA, INC.  
 MIAMI COUNTY  
 FLORIDA  
 SHEET NUMBER  
**C08.00**



PROPORTIONING GUIDE  
\*TO BE WRITTEN IN COLOR, UNLESS OTHERWISE SPECIFIED.  
**HANDICAP SYMBOL**  
N.T.S.



DATE: \_\_\_\_\_

REVISION: \_\_\_\_\_

CALL 3 BUSINESS DAYS BEFORE VOLTING FIELD LAMP DIAL #11

**Kimley-Horn**

ACCESSIBILITY SYMBOL PAINTED ON PAVEMENT

7" WHITE REFLECTIVE PAINT

PROPORTIONING GUIDE \*TO BE WRITTEN IN COLOR, UNLESS OTHERWISE SPECIFIED. **HANDICAP SYMBOL** N.T.S.

1/4" X 1/4" 4" X 1"

COLOR: BACKGROUND: BLUE; TOP: WHITE; BOTTOM: BLACK; LEGEND & BORDER: BLUE; WHITE; BLACK

ACCESSIBLE PARKING SPACES AND ACCESSIBLE AREAS SHALL BE LEVEL WITH SURFACE IS CURED NOT EXCEEDING 50 FT IN ALL DIRECTIONS

CONSTRUCTION DETAILS

CALESA MARKET DISTRICT PREPARED FOR SEMBLER FLORIDA, INC. MAHON COUNTY FLORIDA

SHEET NUMBER: C08.01









