



SUBMITTAL SUMMARY REPORT 32898

PLAN NAME:	PINE VILLAGE MANUFACTURED HOME PARK	LOCATION:	10195 SE 36TH AVE ALL UNITS BELLEVIEW,
APPLICATION DATE:	05/27/2025	PARCEL:	3726-011-001
DESCRIPTION:			

CONTACTS	NAME	COMPANY
Applicant	Lee Clymer	Clymer Farney Barley, Inc.
Applicant	Lee Clymer	Clymer Farney Barley, Inc.
Engineer of Record	Lee Clymer	Clymer Farney Barley, Inc.
Engineer of Record	Lee Clymer	Clymer Farney Barley, Inc.

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.2	05/01/2026	05/08/2026	05/20/2026	Approved
OCE: Plan Review (DR) v.1	09/16/2025	09/23/2025	11/13/2025	Requires Re-submit

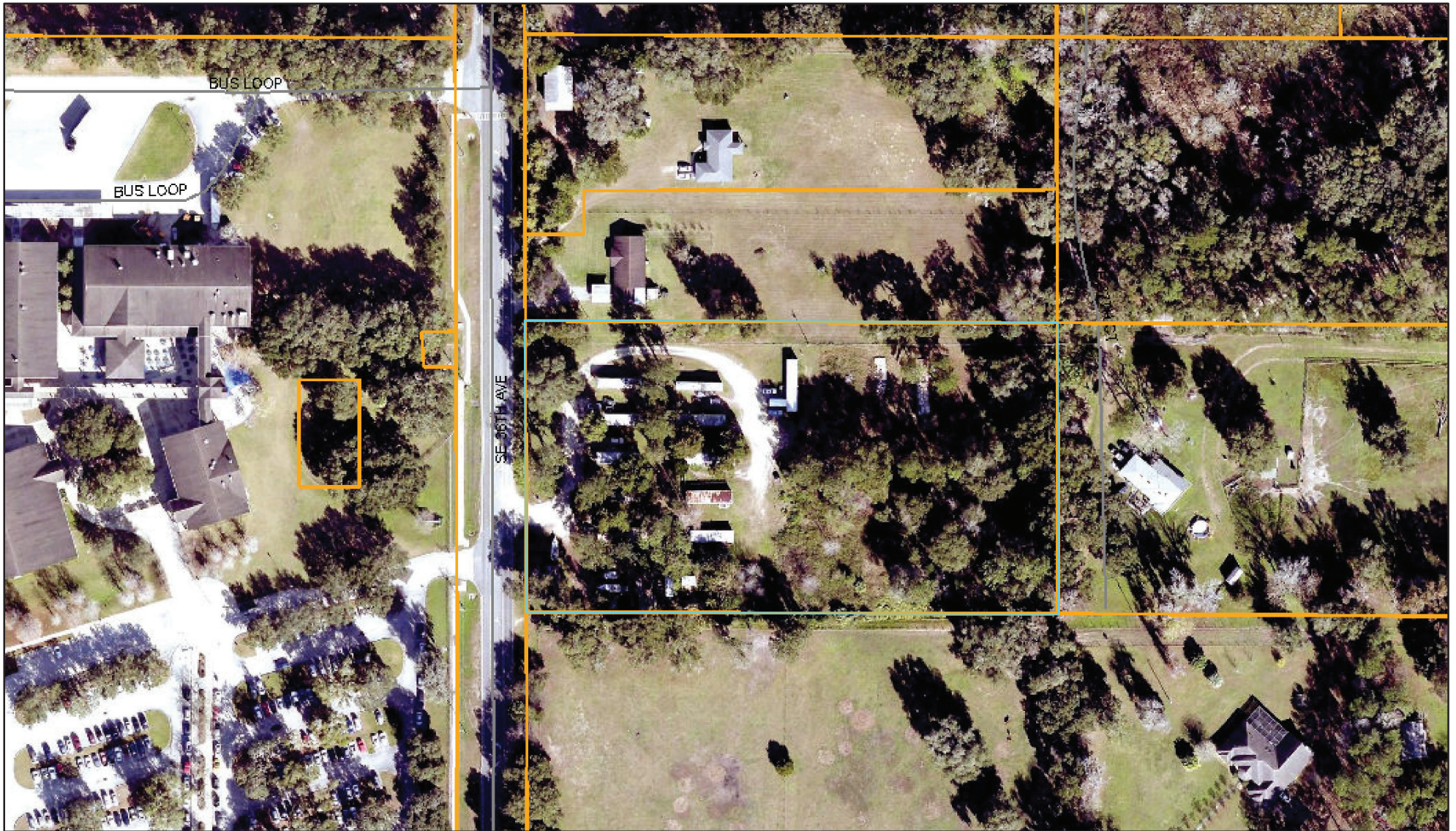
SUBMITTAL DETAILS

OCE: Plan Review (DR) v.2	ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
	911 Management (DR) (911 Management)	Kristie Wright	05/08/2026	05/11/2026	Approved
	Environmental Health (Plans) (Environmental Health)	Evan Searcy	05/08/2026	05/18/2026	Approved
<i>Comments</i>	Operating Permit Required Need update to mobile home park permit 42-54-2419258. Need new application with increased spaces. Need site plan, utilities plans, letters from utility approving increase. Lots are 38' x 68' = 2584sqft Lots will only be for singlewide mobile homes. Please contact Rebecca.Roy@FLHealth.gov to update your mobile home park permit. Protect existing well during all phases of construction and demolition.				
	Fire Marshal (Plans) (Fire)	Jonathan Kenning	05/08/2026	05/01/2026	Approved
	Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Jared Rivera	05/08/2026	05/08/2026	Informational
<i>Corrections</i>	2.12/4.2 - Lot setback (Resolved) - [INFO] Setbacks indicated for "lots" meet LDC standards for new MH parks after 1992. Staff recognizes that all buildings meet 25' front setback, 25' side setback, and 15' rear setback required by P-MH zoning; For clarity, please indicate MINIMUM REQUIRED setbacks in any future submittals of site plan sheet 5.				
<i>Corrections</i>	2.12.24 - Landscape requirements/6.8.6 - Buffering (Resolved) - [INFO] Waiver for PVC fence in lieu of wall for required Type D buffers along north, east, and south approved by DRC. Defer plantings/garbage collection area screening to Landscaping. [INITIAL] Please provide all required descriptions and illustrations for each proposed buffer. Site plan sheet 05 indicates 20 ft buffer while landscaping plan indicates modified 20-30ft Type A buffer? A waiver will be required for any deviation from required buffers. If wall is utilized, please provide detail drawing of garbage collection area meeting screening requirements in LDC Sec. 6.8.9.A				
<i>Corrections</i>	2.12.4/6.11.8 - Parking (Resolved) - [5/8/26] Acknowledge and dimensions indicated on cover sheet. [9/22/25] Parking calculations for single-phase project provided. Please note that, if installed in the future, one-car garage or carport and driveway combination shall count as two off-street parking spaces provided the driveway measures a minimum of 25 feet in length between the face of the garage or carport door and the sidewalk, or 30 feet to the curb line. [INITIAL] Per section 2.12.4.L the front page of the plan should contain a data block listing number of required and provided parking spaces.				
<i>Corrections</i>	4.4 - Show proposed signs to meet LDC Sec 4.4 (Resolved) - [INFO] Sign indicated on site/landscaping plans. Please note that signs will require separate sign permit.				
<i>Corrections</i>	2.12.5/1.8.2.D - Traffic Concurrence Evaluation? (Resolved) - [INFO] Please coordinate with OCE regarding any improvements to be made as required by traffic impact analysis.				
<i>Corrections</i>	2.12.4.L & Article 5 - Overlay zones (Resolved) - [INFO] (1) FEMA Flood Zone X; (2) Primary Springs Protection Zone; (3) No ESOZ				
<i>Corrections</i>	3.2.3/6.6/5.2.5 - RESIDENTIAL - Min/Max Density (Resolved) - [INFO] Min. 19 DUs; Max: 37 DUs				
<i>Corrections</i>	2.12.16/6.5 - EALS or Exemption provided (Resolved) - [INFO] Staff previously forwarded EALS to FWC for review. Refer to LDC Sec. 6.6 for requirements and design standards if the site contains open water, wetland, listed species, native habitat vegetation, and/or natural open space. If any listed species are observed/potentially located on site, coordinate with FWC and get required permits. Habitat preservation/mitigation plan shall be submitted to County for records at later stage.				

SUBMITTAL SUMMARY REPORT (32898)

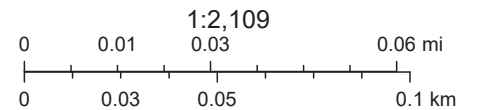
ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Jared Rivera	05/08/2026	05/08/2026	Informational
<i>Corrections</i>	Additional Growth Services Comments (Resolved) - [5/8/26] "Lots" shown on site plan; no accessories indicated to be allowed within site; minimum "lot" setbacks provided. [INITIAL] Although this property has a manufactured home park that has existed before 1992, the site will be cleared; thus, the new park will need to meet current-day standards. Consistent with the diagramed setbacks for Manufactured Home Parks after 1992 figure in LDC Sec. 4.2.14, please delineate "lots" for each manufactured home. If necessary, please provide setbacks for primary/accessory structures on typical lot drawing. "Lot" boundaries may be within buffer width/setbacks; however, all structures will need to be outside such areas. Please acknowledge on cover sheet, site plan sheets, and landscaping sheets.			
<i>Corrections</i>	2.12.23 - Building lot typicals (Resolved) - [INFO] "Lot" boundaries and typical setbacks provided in lieu of separate lot typical			
<i>Corrections</i>	2.12.20 - Phases of development (Resolved) - [INFO] Single phase indicated			
<i>Corrections</i>	2.12.27 - Location & screening of outside storage (Resolved) - [INFO] No outdoor storage			
<i>Comments</i>	For any questions related to this Planning/Zoning review, please contact jared.rivera@marionfl.org or 352-438-2687.			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	05/08/2026	05/05/2026	Approved
<i>Comments</i>	Info - Tree mitigation letter of intent to pay into mitigation fund to be received prior to DRC approval			
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	05/08/2026	05/05/2026	Approved
OCE Property Management (Plans) (Office of the County Engineer)	Delenie Roman	05/08/2026	05/08/2026	Informational
<i>Comments</i>	<p>Checked Sunbiz/Map. IF APPLICABLE: Sec. 2.18.1.I - Show connections to other phases. Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc. Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public." Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]." Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate: 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities." 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]." - DR 5/8/26</p>			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	05/08/2026	05/04/2026	Informational
<i>Comments</i>	Please provide a copy of the NPDES permit or NOI prior to construction.			
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	05/08/2026	05/06/2026	Approved
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	05/08/2026	05/04/2026	Approved
Utilities (OCE Plans) (Utilities)	Heather Proctor	05/08/2026	05/05/2026	Approved
<i>Comments</i>	Project is located within the City of Belleview Utility service area, and will be served by the City for water and wastewater services. FDEP permits for water and wastewater have been obtained.			

ArcGIS Web Map1



5/20/2026, 4:34:20 PM

- Marion County
- Streets
- Aerial 2024
- Parcels
- Green: Band_2
- Blue: Band_3
- Red: Band_1



Marion County BOCC, Marion County Property Appraiser

AGENCY	PERMIT #	SUBMITTED	STATUS
MARION COUNTY	5/30/2025		
CITY OF BELLEVUE UTILITIES	5/30/2025		
FDEP 10/2 GENERAL	5/30/2025		
FDEP WATER	5/30/2025		
FDEP SEWER	5/30/2025		

DATE	REVISIONS	BY
9/12/2025	MARION COUNTY F&I #1	KFM
5/15/2026	MARION COUNTY F&I #2	KFM

APPROVED WAIVERS	LD CODE	WAIVER CONDITIONS	APPROVAL DATE
DRIVEWAY ACCESS	6.11.5	N/A	8/18/2025
SEWER	9.12.1(2)(2)	FEE IN LIEU OF DAMNEDITION	8/18/2025
TYPES OF STORMWATER MANAGEMENT FACILITIES	6.13.3.D(2)	3' BERM IN CUT CONDITION ONLY	9/29/2025
CURRENT BOUNDARY AND TOPOGRAPHIC SURVEY	2.12.6	N/A	9/29/2025
BUFFERS	6.8.6.K(4)	PVC FENCE IN LIEU OF BUFFER WALL	10/13/2025

SITE DATA

- PROJECT AREA = 4.733 AC (206,162 SQ. FT.)
- ZONING: MANUFACTURED HOUSING PARK (M-H)
- ZONING REQUIREMENTS:
 - MINIMUM LOT AREA = UNPLATTED, N/A
 - MINIMUM LOT WIDTH = UNPLATTED, N/A
 - MINIMUM FRONT SETBACK = 25 FEET
 - MINIMUM REAR SETBACK = 15 FEET
 - MINIMUM SIDE SETBACK = 5 FEET
 - MINIMUM BUILDING HEIGHT = 8 FEET
 - MAXIMUM BUILDING HEIGHT = 40 FEET
 - MAXIMUM FLOOR RATIO = N/A
- PARKING DATA:
 - REQUIRED PARKING = 2 PARKING SPACES PER MANUFACTURED HOME WITH 2 OR 3 BEDROOMS
 - 2 PARKING SPACES X 38 MANUFACTURED HOMES = 72 PARKING SPACES
 - EACH PARKING SPACE SHALL MEASURE: AT A MINIMUM, 9 FEET WIDE BY 18 FEET LONG.
 - ALL PROPOSED MANUFACTURED HOMES EXCLUDING UNIT 38, HAVE A DRIVEWAY MEASURING 10 FEET WIDE BY 40 FEET LONG ALLOWING ACCURATE ROOM FOR TWO VEHICLES. UNIT 38 PROVIDES 2 PARKING SPACES MEASURING 9 FEET WIDE BY 18 FEET LONG.

PROVIDED PARKING = 72 PARKING SPACES

AREAS FOR TOTAL SITE (BASED ON FOOTPRINT, NOT INTERIOR SQ. FOOTAGE)

PROPOSED ASPHALT	= 27,220 SQ. FT. (6.62 AC.) 13.11%	
PROPOSED CONCRETE	= 24,637 SQ. FT. (6.12 AC.) 12.84%	
PROPOSED BUILDINGS	= 27,144 SQ. FT. (6.62 AC.) 13.11%	
TOTAL PROPOSED IMPERVIOUS AREA	= 78,999 SQ. FT. (17.97 AC.) 39.24%	
OPEN AREA	= 127,165 SQ. FT. (2.92 AC.) 14.73%	
PROPERTY AREA	= 206,162 SQ. FT. (4.73 AC.) 100%	
TOTAL CONTRIBUTING OFFSITE IMPERVIOUS AREA	= 5,297 SF (0.12 AC.) 01.54%	
TOTAL CONTRIBUTING OFFSITE OPEN AREA	= 333,709 SF (7.66 AC.) 68.46%	
PRE-DEVELOPMENT BASIN COEFF. GA.	= 338,928 SF (7.78 AC.) 100%	

TOTAL EXISTING IMPERVIOUS AREA = 18,487 SQ. FT. (0.42 AC.) 8.88%
 OPEN AREA = 187,695 SQ. FT. (4.31 AC.) 91.12%
 PROPERTY AREA = 206,182 SQ. FT. (4.73 AC.) 100%

- THE IMPERVIOUS AREA ALLOTTED TO EACH MANUFACTURED HOME IS 200 SQ. FEET PLUS A DRIVEWAY, TOTALING 1,368 SQ. FEET. NO ACCESSORY STRUCTURES ARE PERMITTED.
- ALL PROPOSED DEVELOPMENT WILL BE COMPLETED IN A SINGLE PHASE.
- THIS SITE LIES WITHIN THE PRIMARY SPRINGS PROTECTION ZONE.
- PER FIRM MAP 1206307200, DATED 08-28-2008, THIS SITE IS CONSIDERED TO BE IN ZONE "X".
- PARCEL ID: 3726-01-001
- NO OUTSIDE STORAGE AREAS ARE PROPOSED.
- THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCE APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE RESULTING PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCE DETERMINATION AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCE REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, MAJOR SITE PLAN.

NOTE:

NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.

LICENSED DESIGN PROFESSIONAL CERTIFICATION:

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS WAIVED.

OWNER'S CERTIFICATION:

I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND AGENTS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

PROJECT TEAM

OWNER / APPLICANT
 MARK A. MARTIN, PRESIDENT
 MARK MARTIN LLC
 10195 SE 36TH AVE UNIT #1
 BELLEVUE, FL 34420
 (852) 203-0058

ENGINEER
 CLYMER FARNER BARLEY, INC.
 406 E. SILVER SPRINGS BLVD, STE 200
 OCALA, FLORIDA 34470
 BEAU CLYMER, PE
 FL. LIC. NO. 90663
 (352) 748-9126

LANDSCAPE ARCHITECT

MICHAEL PAPE & ASSOCIATES
 2301 SE 17TH STREET
 OCALA, FLORIDA 34471
 SUZANNE STANCIU
 (352) 351-3500

SURVEYOR

CLYMER FARNER BARLEY SURVEYING, LLC
 7413 ALFORD AVENUE
 MIDDLETON, FL 34762
 JAMES H. BLAIR
 FL. LIC. NO. 69817
 (352) 913-2360

UTILITY CONTACTS

WATER AND WASTE WATER UTILITIES
 MARION COUNTY UTILITIES
 11800 SE U.S. HIGHWAY 441
 BELLEVUE, FL 34420
 (352) 307-6000

SOLID WASTE COLLECTION
 MARION COUNTY APPROVED FRANCHISE

ELECTRIC POWER UTILITIES

SUMTER ELECTRIC COOPERATIVE, INC. (SECO)
 P.O. BOX 301
 SUMTERVILLE, FL 33585
 (852) 793-3801; EXT. 1330



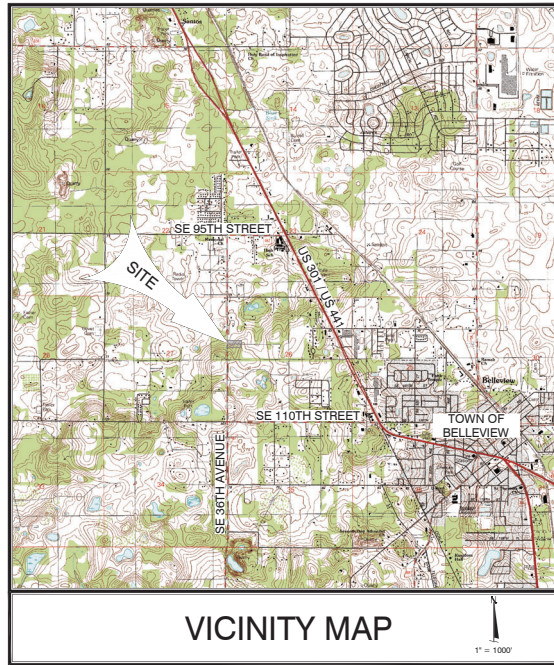
MAJOR SITE PLAN

FOR

PINE VILLAGE

MANUFACTURED HOME PARK

9-1-1 REQUIRES RESUBMIT



SECTION 26; TOWNSHIP 16 SOUTH; RANGE 22 EAST
 MARION COUNTY, FLORIDA
 VERTICAL DATUM - NAVD 1988



This item has been digitally signed and sealed by Beau J. Clymer on the date adjacent to the seal. Signature must be verified on any electronic copies.

Digitally signed by
 Beau J Clymer
 Date: 2026.05.01
 11:09:52-04'00'

Sheet List Table

Sheet Number	Sheet Title
01	COVER SHEET
02	GENERAL NOTES
03	AERIAL
04	DEMOLITION PLAN
05	SITE PLAN
06	GRADING PLAN
07	DRAINAGE PLAN
08	POND PV-1 SECTION AND DETAIL
09	WATER DISTRIBUTION PLAN
10	SANITARY SEWER PLAN
11	UTILITY DETAILS
12	UTILITY DETAILS
13	EROSION CONTROL PLAN

TRAFFIC IMPACT SUMMARY

LAND USE	INTENSITY	DAILY TRIPS	AM PEAK HOUR			PM PEAK HOUR		
			TOTAL	IN	OUT	TOTAL	IN	OUT
MOBILE HOME PARK	36 UNITS	330	34	9	25	36	22	14

NOTE 1: TRIP GENERATION WAS DERIVED USING THE ITE TRIP GENERATION MANUAL (11TH ED.),
MOBILE HOME PARK (ITE LUC 240)

INDEPENDENT VARIABLE X = NUMBER OF UNITS
 L_(H) = 0.75 L_(U) + 3.11
 T = 0.290X + 23.84 (25% IN, 75% OUT)
 T = 0.52(X) + 17.09 (61% IN, 39% OUT)



CLYMER FARNER BARLEY, INC.
 7413 ALFORD AVE, MIDDLETON, FL 34762
 (352) 748-9126

GENERAL NOTES:

- 1. THESE GENERAL NOTES APPLY TO ALL WORK IN THIS SET OF DRAWINGS
2. THE APPLICANT (MARK MARTIN LLC) WILL OWN AND MAINTAIN THE IMPROVEMENTS ON SAID PARCEL PER LEGAL DESCRIPTION
3. THE STANDARD DETAILS FOR THIS PROJECT SHALL BE FOUND IN:
- MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) (LATEST EDITION)
- FOOT STANDARD PLANS FOR ROAD CONSTRUCTION
- MARION COUNTY STANDARD WATER AND SEWER DETAILS
- MARION COUNTY LAND DEVELOPMENT REGULATIONS
- MARION COUNTY STANDARD SPECIFICATIONS
4. ALL SIGNAGE, PAVEMENT MARKINGS, AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH FHWA (MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS) AND LOCAL REGULATORY SIGNS (STOP, ETC.) SHALL BE IN PLACE PRIOR TO FINAL INSPECTION OF PAVING IMPROVEMENTS.
5. CONTRACTOR SHALL REVIEW ALL PERMITS PRIOR TO CONSTRUCTION FOR ANY CHANGES TO THE DESIGN INCLUDED THEREIN. NOTIFY ENGINEER/OWNER OF ANY REQUIRED CHANGES PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR(S) SHALL ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL ABIDE BY ALL CONDITIONS CONTAINED THEREIN. PERMITS INCLUDED (BUT NOT NECESSARILY LIMITED TO ARE:
- COUNTY
- CITY
- WATER MANAGEMENT DISTRICT ENVIRONMENTAL RESOURCE PERMIT (ERP)
- FLOOD WATER AND SEWER
- LOCAL UNDERGROUND UTILITIES
- FDEP NPDES STORMWATER
7. ALL MATERIALS, MACHINERY, AND VEHICLES SHALL BE STORED ON SITE IN AN ORDERLY ORGANIZED FASHION.
8. CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS, INCLUDING BUT NOT LIMITED TO WATER, SEWER, POWER, TELEPHONE, GAS AND CABLE TV COMPANIES.
9. PRIOR TO COMMENCEMENT, CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER WITH CONSTRUCTION SCHEDULE FOR VARIOUS SITE WORK ELEMENTS.
10. CONTRACTOR SHALL FURNISH THE ENGINEER/OWNER WITH ACCURATE SURVEY RECORD DRAWINGS SHOWING AS-CONSTRUCTED HORIZONTAL AND VERTICAL DIMENSIONS OF THE WORK. ALL INFORMATION WHICH IS UNCHANGED AND CURRENT SHALL BE NOTED BY CHECKING OFF OR CIRCLING. ALL REVISED INFORMATION SHALL BE CROSSED THROUGH AND NEW DATA ADDED.
11. AT THE BEGINNING OF CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES CRITICAL TO COMPLETING THE PROJECT (INCLUDING WATER, SEWER, POWER, TELEPHONE, GAS, AND CABLE TV) AND SHALL EVALUATE POTENTIAL CONFLICTS. ALL SUCH CONFLICTS SHALL BE REPORTED TO ENGINEER/OWNER IMMEDIATELY UPON DISCOVERY.
12. THE LOCATIONS OF EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY, PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS FOR FIELD LOCATIONS AND FOR ANY RELOCATIONS OF THE VARIOUS EXISTING UTILITIES WITH THE UTILITY OWNERS, WHICH SHALL BE DONE IN A TIMELY FASHION TO MINIMIZE THE IMPACT ON THE CONSTRUCTION SCHEDULE. ANY DELAY OR INCONVENIENCE CAUSED BY THE RELOCATION OF THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
13. ANY DIFFERING SITE CONDITION FROM THAT WHICH IS REPRESENTED HEREIN, WHETHER ABOVE, ON, OR BELOW THE SURFACE OF THE GROUND, SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER AND OWNER IN WRITING PRIOR TO CONSTRUCTION IN THE AREA IMPACTED BY THE CONFLICT. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO DIFFERING SITE CONDITIONS WILL BE ALLOWED IF THE CONTRACTOR FAILS TO PROVIDE THE REQUIRED WRITTEN NOTIFICATION OF SUCH CONDITIONS FOR REVIEW BY THE ENGINEER AND OWNER.
14. ALL RECOMMENDATIONS AND REQUIREMENTS OF INSPECTION PERSONNEL OTHER THAN OWNERS SHALL BE REPORTED TO ENGINEER/OWNER PRIOR TO IMPLEMENTATION. COMPENSATION WILL NOT BE ALLOWED FOR WORK WHICH IS NOT AUTHORIZED BY ENGINEER/OWNER.
15. ALL WORK SHALL BE OPEN TO AND SUBJECT TO INSPECTION BY AUTHORIZED PERSONNEL OF THE LOCAL JURISDICTION, OWNER, INVOLVED UTILITY COMPANIES, PROJECT ENGINEER AND REGULATORY AGENCIES.
16. CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE INFORMATION PROVIDED IN THESE PLANS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLETELY STAKE AND CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL AND VERTICAL, PRIOR TO THE INSTALLATION OF ANY IMPROVEMENT.
17. CONTRACTOR SHALL CONFIRM COMPATIBILITY OF PIPE SIZES AND INVERTS DURING SHOP DRAWING AND MATERIALS ORDERING PHASE OF PROJECT AND ADVISE ENGINEER OF ANY DISCREPANCIES.
18. NO EXISTING MATERIAL SHALL BE USED IN NEW CONSTRUCTION UNLESS APPROVED DURING THE SHOP DRAWING APPROVAL PROCESS.
19. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ENGINEER APPROVAL PRIOR TO PROCUREMENT OF MATERIALS.
20. CONTRACTOR TO SUBMIT COPIES OF ALL TESTING REPORTS TO THE OWNER AND ENGINEER FOR ACCEPTANCE AND CERTIFICATIONS.
21. CONTRACTOR TO PRESERVE ALL MONITORING WELLS IDENTIFIED ON SITE.
22. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING PROPER TRAFFIC MAINTENANCE AND CONTROLS IN ACCORDANCE WITH REGULATORY STANDARDS, WHERE A TRAFFIC MAINTENANCE PLAN REQUIRED IT SHALL BE PREPARED BY AN FOOT CERTIFIED DESIGNER AND SUBMITTED BY CONTRACTOR FOR APPROVAL BY OWNER, ENGINEER, AND CITY OR COUNTY.
23. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE PROJECT SITE DURING CONSTRUCTION, TO PREVENT TRESPASSING OF UNAUTHORIZED PEDESTRIANS AND/OR VEHICLES IN ALL WORK AREAS. THE CONTRACTOR SHALL POST SIGNS, CONSTRUCT BARRIERS, OR IMPLEMENT OTHER METHODS NECESSARY TO CONTROL ACCESS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR TRESPASSING ON THE CONSTRUCTION SITE OR DAMAGES TO ANY WORK RELATED THERETO.
24. CONTRACTOR SHALL PROTECT ALL ADJACENT WETLANDS, WATERBODIES, AND PROPERTIES FROM DAMAGE BY SEDIMENTATION OR OTHER POTENTIAL CONSTRUCTION RELATED CAUSES.
25. CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES WHICH ARE TO BE SAVED. WHETHER SHOWN IN THE PLANS OR DESIGNATED IN THE FIELD. CONTRACTOR SHALL TAKE CARE TO FAMILIAR WITH AND CONFORM WITH ALL TREE PROTECTION/PRESERVATION PROVISIONS OF THE CONTRACT DOCUMENTS AND LOCAL GOVERNMENT.
26. ALL FOOT DESIGN INDICES ARE HEREBY INCORPORATED AS PLAN REFERENCES HEREIN. CONTRACTOR IS RESPONSIBLE FOR OBTAINING COMPLETE COPIES OF ALL APPLICABLE INDEX DRAWINGS AND CONSTRUCTING ALL WORKS IN CONFORMANCE WITH THE FOOT DESIGN STANDARDS, LATEST EDITION.

- 27. CONTRACTOR SHALL APPLY FOR A RIGHT-OF-WAY UTILIZATION PERMIT, AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE SCHEDULED START DATE. FOR ANY WORK TO BE DONE WITHIN THE CITY'S RIGHT-OF-WAY.
28. NO VERTI-PACK COMPACTORS PROPOSED.
29. NO ROLL OFF COMPACTORS PROPOSED.
30. NO FREESTANDING COMMERCIAL SIGN PROPOSED.

PAVING, GRADING & DRAINAGE NOTES:

- 1. SITE PAVING AND DRAINAGE MATERIALS AND CONSTRUCTION SHALL CONFORM TO FOOT STANDARD SPECIFICATIONS FOR ROAD AND DRIVE CONSTRUCTION, LATEST EDITIONS, UNLESS AS THEY APPLY TO THESE DESIGNS HEREIN, AND THE LOCAL JURISDICTION REGULATIONS AND SPECIFICATIONS. WHERE SUCH SPECIFICATIONS DIFFER, THE MORE STRINGENT SHALL APPLY, SUBJECT TO DETERMINATION OF THE ENGINEER.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SURVEY MONUMENTATION, DISTURBED MONUMENTATION SHALL BE RESTORED BY A FLORIDA-LICENSED LAND SURVEYOR SELECTED BY THE OWNER AT CONTRACTOR'S EXPENSE.
3. DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO ENSURE AGAINST POLLUTING, SILTING, OR DISTURBING TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO THE EXISTING ONSITE AND OFFSITE DRAINAGE SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL PERMIT REQUIREMENTS RELATED TO SUCH MEASURES. ANY MEASURES SHOWN OR DETAILED IN THESE DRAWINGS SHALL BE CONSIDERED MINIMUMS AND SHALL NOT ALLEVIATE CONTRACTOR FROM THE RESPONSIBILITY TO IMPLEMENT ANY MEASURES NECESSARY TO PROVIDE PROTECTION.
4. THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY HAS AUTHORIZED THE STATE OF FLORIDA TO ADMINISTER THE NATIONAL POLLUTANTS DISCHARGE ELIMINATION SYSTEM (NPDES). CONTRACTOR IS ADVISED THAT OPERATORS ARE REQUIRED TO FILE WITH FDEP, A NOTICE OF INTENT TO USE THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES THAT DISTURB ONE OR MORE ACRES OF LAND. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SUBMIT THE NOTICE OF INTENT (NOI) TO FDEP WITH A COPY TO THE OWNER AND THE ENGINEER AT LEAST 48 HOURS BEFORE INITIATING CONSTRUCTION.
5. CONTRACTOR SHALL PROVIDE ACCURATE AS-BUILT DIMENSIONS AND ELEVATIONS OF THE STORMWATER UNDERDRAINAGE CONDITIONS AND PROVIDE RECOMMENDATIONS FOR ADDITIONAL ROADWAY UNDERDRAINS MUST OBTAIN ENGINEERS APPROVAL PRIOR TO GRASSING. IF ANY MODIFICATIONS ARE NEEDED, ADDITIONAL AS-BUILTS MUST BE FURNISHED.
6. GEOTECHNICAL SERVICES HAVE BEEN PROVIDED DIRECTLY TO THE OWNER. GEOTECHNICAL RECOMMENDATIONS ARE NOT THE RESPONSIBILITY OF CLYMER FARNER BARLEY, INC. (CFB). CFB ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS, COMPLETENESS, OR ACCURACY OF GEOTECHNICAL INFORMATION.
7. ELEVATIONS OF GRASSED AREAS ARE GIVEN AT FINISHED GRADE (TOP OF SOO OR SEEDED SURFACE).
8. ALL DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS INDICATED OTHERWISE.
9. PIPE LENGTHS SHOWN REPRESENT DISTANCES BETWEEN CENTERLINES OF DRAINAGE STRUCTURE AND FROM INVERTS OF ENDWALLS AND/OR PIPE ENDS. BIDDERS SHALL ADJUST FOR PIPE LENGTHS WHEN BIDDING PIPE ENDS.
10. ALL OFF-SITE DISTURBED AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION, OR BETTER.
11. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND DISPOSING OF ALL WASTE MATERIALS CONSISTENT WITH ALL RULES AND REGULATIONS APPLICABLE TO THE SPECIFIC MATERIAL FOUND.
12. CONTRACTOR SHALL INSTRUCT THE GEOTECHNICAL TESTING LABORATORY PERFORMING CONSTRUCTION TESTING TO PROVIDE CFB WITH COPIES OF ALL SITE-WORK TEST REPORTS AS THEY ARE GENERATED. RECEIPT OF COPIES OF GEOTECHNICAL REPORTS BY CFB IN NO WAY OBLIGATES CFB TO ANY REVIEW, COMMENTS OR ACTIONS REGARDING THE WORK.
13. DURING CONSTRUCTION, THE GEOTECHNICAL ENGINEER PERFORMING TESTING SHALL MONITOR GROUNDWATER CONDITIONS AND PROVIDE RECOMMENDATIONS FOR ADDITIONAL ROADWAY UNDERDRAINS AS NEEDED. ENGINEER SHALL BE NOTIFIED OF ANY SUCH RECOMMENDATIONS.
14. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD STAKE AND PROTECT CONSERVATION AREA LIMITS. OWNER RESERVES THE RIGHT TO CHECK THE STAKING AND PROTECTIONS AND REQUIRE IT TO BE RELOCATED IF NECESSARY. PROTECTIONS SHALL REMAIN IN PLACE UNTIL ADJACENT CONSTRUCTION IS COMPLETE.
15. NO WATER VALVE BOXES, METERS, PORTIONS OF MANHOLES, OR OTHER APPURTENANCES RELATING TO ANY UNDERGROUND UTILITIES SHALL BE LOCATED IN ANY PORTION OF ANY TYPE OF CURB. ADVISE ENGINEER IMMEDIATELY UPON DISCOVERY OF A POTENTIAL CONFLICT.
16. CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENTS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE A SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. SHOULD AREAS OF POOR DRAINAGE BE OBSERVED, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PLACEMENT OF CURBS OR PAVEMENT, SO THAT RECOMMENDATIONS FOR CORRECTION MAY BE MADE.
17. CONTRACTOR SHALL COORDINATE WITH ENGINEER FOR PRE-PUR INSPECTION PRIOR TO ANY SIDEWALK AND/OR RAMP CONCRETE POURS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL RAMP TEXTURED SURFACES AND SIDEWALK LONGITUDINAL AND CROSS SLOPES ARE IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL A.D.A. STANDARDS.
18. ALL DISTURBED PUBLIC AND PRIVATE RIGHTS OF WAY SHALL BE RESTORED. SOO SHALL BE REPLACED FROM BACK OF CURB OR EDGE OF PAVEMENT TO RIGHT-OF-WAY AND ALL AREAS SHALL MATCH OR EXCEED PRE-CONSTRUCTION CONDITIONS.
19. CONTRACTOR SHALL NOT COMPACT, STABILIZE, OR CONSTRUCT BASE COURSE WITHIN LANDSCAPE ISLANDS, TRACTS, OR MEDIANS, WHERE SUCH TREATMENT DOES OCCUR. IT SHALL BE REMOVED AND REPLACED WITH SUITABLE PLANTING SOILS ACCEPTABLE TO OWNERS LANDSCAPE ARCHITECT.
20. CONTRACTOR SHALL REMOVE ALL UNSUITABLE SOILS IN CONSTRUCTION AREAS AND AREAS TO BE FILLED. REFER TO GEOTECHNICAL REPORT FOR REQUIREMENTS.
21. ENGINEER RESERVES THE RIGHT TO WITHHOLD APPROVALS FOR PAYMENT FOR ANY ROADWORK WHICH HAS NOT BEEN TESTED BY A FLORIDA REGISTERED GEOTECHNICAL ENGINEER AND REPORTED TO CONFORM TO PROJECT SPECIFICATIONS.
22. SITE CONTRACTOR SHALL GRADE ANY UTILITY EASEMENTS, AS SHOWN OR NOTED ON THE PLAT OR CONSTRUCTION DRAWINGS, ADJACENT TO THE RIGHT-OF-WAY LINE TO FINAL DESIGN GRADE.
23. CONTRACTOR SHALL STABILIZE AND PROTECT ALL END WALL MITERED END SECTION, FLARED END SECTION, ETC. STRUCTURES THROUGHOUT THE PROJECT UNTIL THE POND SLOPES ARE STABILIZED AND ACCEPTED BY OWNER.
24. CONTRACTOR/BIDDER SHALL OBSERVE OFFSITE ROADWAYS FOR FRICTION CURSE REMOVAL AND RESTORATION REQUIREMENTS AND FOR LEVEEING CURSE REQUIREMENTS WHICH SHALL BE INCLUDED IN THE BID AND IN THE WORK.
25. OVER EXCAVATION OF RETENTION BASINS SHALL NOT BE ALLOWED UNLESS SPECIFICALLY AUTHORIZED BY ENGINEER/OWNER. SHOULD UNAUTHORIZED OVER EXCAVATION OCCUR, IT SHALL BE BACKFILLED, REGRADED, RESEDED, AND/OR RESEEDED AS REQUIRED BY OWNER AT CONTRACTOR'S EXPENSE TO OWNERS SPECIFICATIONS.

PAVING, GRADING & DRAINAGE MATERIAL SPECIFICATIONS:

- 1. STORM DRAINS SHALL BE CONSTRUCTED WITH FOOT-APPROVED MATERIALS. PIPE JOINTS SHALL BE WRAPPED PER FOOT INDEX 430-01.
2. ALL STORM STRUCTURES SHALL BE IN CONFORMANCE WITH FOOT STANDARD INDEX DRAWINGS. GRATES SHALL BE CAST IRON UNLESS OTHERWISE SPECIFIED OR APPROVED.
3. ALL FOOT TYPE P STRUCTURE BOTTOMS SHALL BE ROUND UNLESS OTHERWISE SPECIFIED AND SHALL HAVE A 4 FT. DIAMETER.
4. ALL FOOT TYPE P STRUCTURE BOTTOMS SHALL BE ROUND UNLESS OTHERWISE SPECIFIED AND SHALL HAVE AN 8 FT. DIAMETER
5. ALL CONCRETE WORK SHALL BE 3,000 PSI MINIMUM, UNLESS OTHERWISE SPECIFIED.
6. HDPE PIPE (WHERE SPECIFIED) SHALL BE INSTALLED BY A CERTIFIED HDPE CONTRACTOR.
7. CONTRACTOR SHALL COORDINATE WITH ENGINEER FOR INSPECTION OF STORM SEWERS PRIOR TO PAVING. CONTRACTOR SHALL PROVIDE EQUIPMENT FOR LAMPING INSPECTION BY ENGINEER. FURTHER TESTING WITH MANDELS OR VIDEO TAPING OF PIPES MAY BE REQUIRED BY ENGINEER.
8. PAVING MATERIALS SHALL CONFORM WITH FOOT STANDARD SPECIFICATIONS LATEST EDITION.
9. UNDERDRAIN SHALL BE HEAVY DUTY CORRUGATED POLYETHYLENE PIPE WITH FACTORY INSTALLED FABRIC AS MANUFACTURED BY ADVANCE DRAINAGE SYSTEMS (ADS), OR APPROVED EQUIV.
10. UNDERDRAIN DISCHARGE PIPE SHALL BE PVC PER ASTM D3034 SDR 35 WITH ELASTOMERIC JOINTS, NON-PERFORATED.
11. FILL PLACEMENT AND SPECIFICATIONS SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECTS GEOTECHNICAL CONSULTANT.
12. CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE FROM SUBGRADE THROUGH FINAL LIFT OF ASPHALT. STRUCTURE BASES SHALL BE FABRICATED IN ACCORDANCE WITH FOOT STANDARD INDEX 425-00. TEMPORARY DRAINS FOR SUBGRADE AND BASE, AS NOTED IN THE INDEX, WILL BE CONSIDERED INCIDENTAL TO THE PRICE OF THE STRUCTURE.
13. SOIL TESTING RESULTS SHALL BE PROVIDED FOR THE PAVEMENT CONSTRUCTION. AFTER PLACEMENT AND FIELD COMPACTION, THE WEARING SURFACE SHALL BE CORED TO EVALUATION MATERIAL THICKNESS AND TO PERFORM LABORATORY DENSITIES. THE LOCATION AND NUMBER OF SAMPLE CORES SHALL BE DETERMINED BY THE GEOTECHNICAL CONSULTANT. THE TESTING REPORT SHALL DENOTE THE TEST LOCATIONS.
14. ALL GRATES SHALL BE CAST IRON UNLESS OTHERWISE SPECIFIED.

HORIZONTAL/VERTICAL GEOMETRY NOTES:

- 1. ELEVATIONS SHOWN HEREIN ARE PURSUANT TO THE NORTH AMERICAN VERTICAL DATUM OF 1988. THE ORIGINATING BENCHMARK FOR THE ELEVATIONS DEPICTED HEREIN IS NATIONAL GEODETIC SURVEY BENCHMARK Y982, SAID POINT HAVING AN ELEVATION OF 94.82 FEET.
2. BEARINGS SHOWN HEREIN ARE BASED ON GRID NORTH AS ESTABLISHED BY THE NATIONAL OCEAN SERVICE (NOS) THROUGH ITS PROGRAM OFFICE NATIONAL GEODETIC SURVEY (NGS). AS A REFERENCE FOR THIS SURVEY, THE WEST RIGHT-OF-WAY LINE OF SE 30TH AVENUE HAS A BEARING OF NORTH 00°07'28" WEST.
3. COORDINATES SHOWN HEREIN ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM (NAD) OF 1983 WITH 2011 ADJUSTMENT.

LEGAL DESCRIPTION:

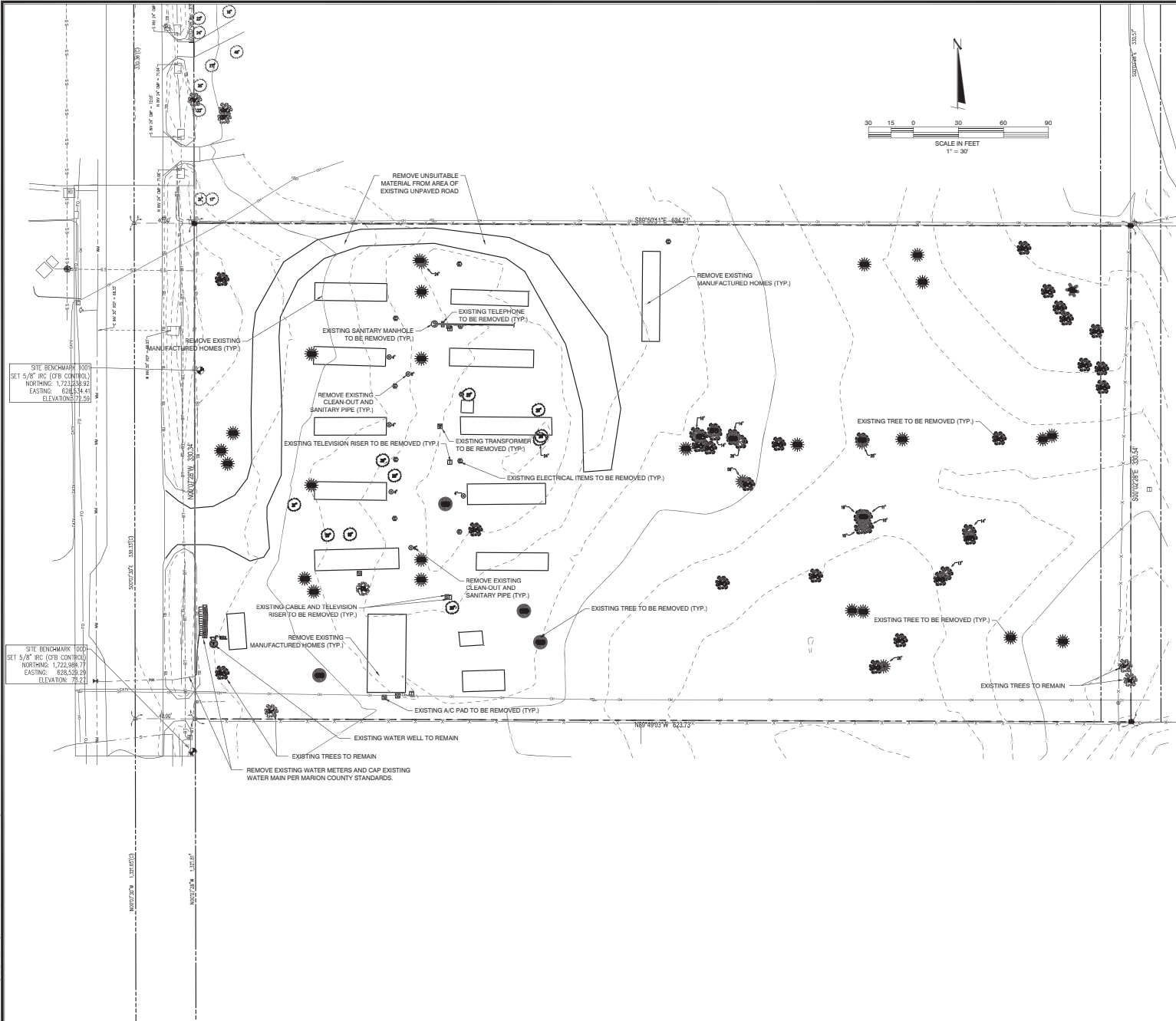
SOUTH 1/2 OF LOT 11, BECKETT PLANTATION, AS PER PLAT THEREOF RECORDED IN PLAT BOOK A, PAGES 44, 49 AND 86, PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

AMERICANS WITH DISABILITIES ACT NOTING:

- 1. ACCESSIBLE PARKING SPACE SHALL BE LOCATED ON AN ACCESSIBLE ROUTE NO LESS THAN 44" WIDE SO THAT USERS WILL NOT BE COMPELLED TO WALK OR WHEEL BEHIND PARKED VEHICLES EXCEPT BEHIND HIS OR HER OWN VEHICLE. §208.1.1, FACBC AND §502.3, FACBC AND FS 553.5041.
2. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SERVING A PARTICULAR BUILDING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE FROM THE ACCESSIBLE (HV) PARKING TO AN ACCESSIBLE ENTRANCE. §208.3.1, FACBC AND FS 553.5041 (5)(B).
3. ACCESSIBLE PARKING SPACES SHALL BE 12' WIDE, AND OUTLINES WITH BLUE PAINT. §502.2 AND §502.6, FACBC.
4. ACCESS AISLES REQUIRED ADJACENT TO PARKING SPACES SHALL BE 5' WIDE WITH DIAGONAL STRIPING. §502, FACBC
5. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL, NOT TO EXCEED 1:40 ON A STABLE, FIRM AND SLIP RESISTANT SURFACE. RE: §302.1 AND §502.3, FACBC
6. ACCESSIBLE PARKING SIGNS SHALL BE FOOT APPROVED AND SHALL READ "PARKING BY DISABLED PERMIT ONLY" AND SHALL INDICATE A \$250 FINE FOR ILLEGAL USE. INSTALL SIGNS A MINIMUM 60" (INCHES) FROM THE GROUND TO THE BOTTOM OF THE SIGN(S). RE: §502.6, FACBC AND FS 553.5041.
7. CURB RAMPS SHALL NOT EXCEED 1:12 SLOPE, AND CURB RAMP FLARES SHALL NOT EXCEED 1:10 SLOPE. CURB RAMPS AND FLARED SIDES SHALL NOT ENROACH UPON PARKING SPACES, ACCESS AISLES, OR VEHICULAR TRAFFIC LANES. THE COUNTER SLOPE OF ADJACENT ROAD SURFACES AND GUTTERS SHALL NOT EXCEED 1:20. RE: §405.2, §406.2 AND §5, FACBC
8. A LANDING WITH A MINIMUM CLEAR LENGTH OF 36" SHALL BE LOCATED AT THE TOP SIDE OF EACH CURB RAMP WITH A CLEAR WIDTH AT LEAST AS WIDE AS THE CURB RAMP, (EXCLUDING FLARED SIDES) LEADING TO IT. EXCEPTION: FOR ALTERATIONS, WHERE THERE IS NO LANDING, CURB RAMP FLARES SHALL BE PROVIDED, AND SHALL NOT BE STEEPER THAN 1:12 SLOPE. RE: §406, FACBC
9. ALL RAMPS WITH A RISE GREATER THAN 0" SHALL PROVIDE EDGE PROTECTION COMPLYING WITH §405.9 FACBC. RAMPS SHALL HAVE A 60" MIN LEVEL LANDINGS AT THE TOP AND BOTTOM. RE: §405.7, FACBC
10. ALL RAMPS WITH A RISE GREATER THAN 0" SHALL HAVE HANDRAILS ON BOTH SIDES WITH 12" HORIZONTAL EXTENSIONS AT THE TOP AND BOTTOM OF THE RAMP. RE: §1010.9 FBC & (FLORIDA BUILDING CODE - BUILDING) AND §605.10 FACBC
11. ACCESSIBLE ROUTES TO "MAIN ENTRY" FROM AN ACCESSIBLE PARKING SPACE, AND FROM THE "PUBLIC WAY", SHALL NOT EXCEED 1:20 SLOPE (UNLESS RAMPS AND HANDRAILS ARE PROVIDED) WITH CROSS SLOPE NOT IN EXCESS OF 1:48. RE: §206, §402 AND §403, FACBC.
12. CONNECT BUILDINGS WITHIN THE SAME SITE WITH AN ACCESSIBLE ROUTE WHICH SHALL NOT EXCEED 1:20 SLOPES (UNLESS RAMPS AND HANDRAILS ARE PROVIDED) AND A MAXIMUM CROSS SLOPE OF 1:48. RE: §206, FACBC.
EXCEPTION: AN ACCESSIBLE ROUTE SHALL NOT BE REQUIRED BETWEEN ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES IF THE ONLY MEANS OF ACCESS BETWEEN THEM IS A VEHICULAR WAY NOT PROVIDING PEDESTRIAN ACCESS. RE: §206.2.2, FACBC

REVISIONS table with columns for DATE, REVISION, and DRAWING NUMBER. Includes CFB logo and contact information for CLYMER FARNER BARLEY, INC.

GENERAL NOTES section with a large 'A' symbol and text: PINE VILLAGE MANUFACTURED HOME PARK MAJOR SITE PLAN MARION COUNTY, FLORIDA. Includes a save date stamp and a disclaimer: 'This area has been digitally signed and sealed by Ryan J. Clymer on the date adjacent to the seal. Signature must be verified on any electronic copies.'



GENERAL DEMOLITION SPECIFICATIONS:

1. CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSE WILL BE MAINTAINED BY OWNER AS FAR AS PRACTICAL.
2. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
3. OBTAIN, PURCHASE, OR OTHERWISE REMOVE, COLLECT, AND DISPOSE OF CHEMICALS, GASES, EXPLOSIVES, ACIDS, FLAMMABLES OR OTHER DANGEROUS MATERIALS BEFORE PROCEEDING WITH DEMOLITION OPERATIONS ACCORDING TO APPLICABLE CODES OR REGULATIONS. EMPLOY A LICENSED LICENSED EXTERMINATOR TO TREAT BUILDINGS AND TO CONTROL, REMOVE AND REMOVE BEFORE AND DURING DEMOLITION OPERATIONS.
4. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER PASSAGE OCCURED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AND SIGNS OR OBSTRUCTED TRAFFIC WAIVER AS REQUIRED BY GOVERNING REGULATIONS. PROVIDE ALTERNATE ROUTES AND SIGNAGE FOR SIGNALS ON ADJOINING ROADS. DURING THE DEMOLITION AND RECONSTRUCTION OF THE SITE.
5. DO NOT CREATE HAZARDOUS OR UNSUITABLE CONDITIONS, SUCH AS ICE, FLOODING, AND POLLUTION, WHEN USING WATER, REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT STREETS AND AREAS.
6. REMOVE DEBRIS FROM ELEVATED PORTIONS OF BUILDING BY CHUTE, HOIST, OR OTHER DEVICE THAT WILL CONVEY DEBRIS TO GRADE LEVEL.
7. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.
8. DO NOT BURN DEMOLISHED MATERIALS.

GENERAL DEMOLITION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO THE EXISTING STRUCTURES PRIOR TO DEMOLITION OF THE BUILDINGS. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES.
2. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRIVEWAYS, STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNBLOCKED TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE, COMPACTED FILL MATERIAL PER THE SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS INVOLVED AND IS RESPONSIBLE FOR REMOVING AND DUMPING THE DEBRIS IN AN APPROVED, LAWFUL MANNER.
4. ALL EXISTING UTILITIES ARE TO BE REMOVED, TERMINATED AND CAPPED AT THE RIGHT-OF-WAY. ALL EXISTING METERS, VALVES, ETC. ARE TO BE REMOVED UNLESS OTHERWISE NOTED ON THE PLANS.
5. ALL EXISTING SERVICE LINES FOR TELEPHONE, ELECTRIC, SEWER, AND CABLE TV SERVICES ARE TO BE REMOVED TO EXISTING TRUNK LINES UNLESS OTHERWISE NOTED ON THE PLANS.
6. ALL AREAS WHERE PAVEMENT, STRUCTURE SLABS, FOUNDATIONS, UTILITIES, CONDUITS AND/OR UTILITY STRUCTURES HAVE BEEN REMOVED SHALL BE BACKFILLED WITH SELECT BACKFILL MATERIAL. ALL SELECT BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED PER THE REQUIREMENTS OF SPECIFICATIONS AND THE OWNER'S GEOTECHNICAL ENGINEER. ALL EXISTING FENCES, SIGNAL, POWER POLES, AND LIGHT POLES LOCATED ON-SITE SHALL BE DEMOLISHED AND REMOVED UNLESS OTHERWISE NOTED.
7. EXISTING CARE IN PLACE SEPTIC TANKS IF FOUND ON-SITE SHALL BE PLUMBED BY A LICENSED CONTRACTOR. THE SEPTIC TANK SHALL THEN BE REMOVED AND THE AREA BACKFILLED PER THE PROJECT SPECIFICATIONS UNLESS OTHERWISE NOTED. ALL WORK SHALL BE IN ACCORDANCE WITH HEALTH DEPARTMENT REQUIREMENTS.
8. THE CONTRACTOR IS RESPONSIBLE FOR WALKING SITE AND DETERMINING EXTENTS OF DEMOLITION WORK PRIOR TO BID DATE.
9. PRIOR TO ANY WORK ON-SITE, THE CONTRACTOR SHALL CONTACT THE ONE CALL SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY REMOVALS WHETHER LOCATED BY THE ONE CALL SYSTEM OR NOT.
10. CONTRACTOR SHALL COORDINATE REMOVAL OF EXISTING ELECTRICAL SERVICES ON-SITE WITH THE POWER COMPANY. POWER COMPANY IS RESPONSIBLE FOR THE DISCONNECTION AND REMOVAL OF EXISTING SERVICES UNLESS OTHERWISE NOTED.
11. LIMITS OF PAVEMENT SHOWN TO BE REMOVED ARE APPROXIMATE AND FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY THE LIMITS OF PAVEMENT TO DETERMINE THE EXTENT OF THE EXISTING PAVEMENT TO BE REMOVED.
12. IF NOT SHOWN ON THE DEMOLITION DRAWINGS, THE CONTRACTOR SHALL REMOVE ALL EXISTING MATERIALS AS NECESSARY TO COMPLETE ALL NEW WORK AS REQUIRED BY OTHER PORTIONS OF THE CONTRACT DOCUMENTS.
13. DEMOLITION PROFITS FOR ALL DEMOLISHED MATERIALS SHALL BE FIRST GIVEN TO THE OWNER. ANY MATERIALS NOT RETAINED BY THE OWNER SHALL BE REMOVED FROM THE SITE AND DISPOSED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
14. THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS IN THE REMOVAL/DEMOLITION OF HAZARDOUS MATERIALS.
15. THE CONTRACTOR IS RESPONSIBLE TO VERIFY EXISTING UTILITIES PRIOR TO DEMOLITION & EXCAVATION.
16. CONTRACTOR IS RESPONSIBLE FOR ALL REGISTRATIONS, PERMITS AND FEES REQUIRED TO REMOVE & PROPERLY DISPOSE OF ALL DEMOLITION MATERIALS.
17. DEMO CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVALS AND NOTIFICATIONS TO ALL LOCAL, STATE AND FEDERAL AUTHORITIES.
18. REFER TO SURVEY FOR LIMITS AND BOUNDARY OF PROPERTY.

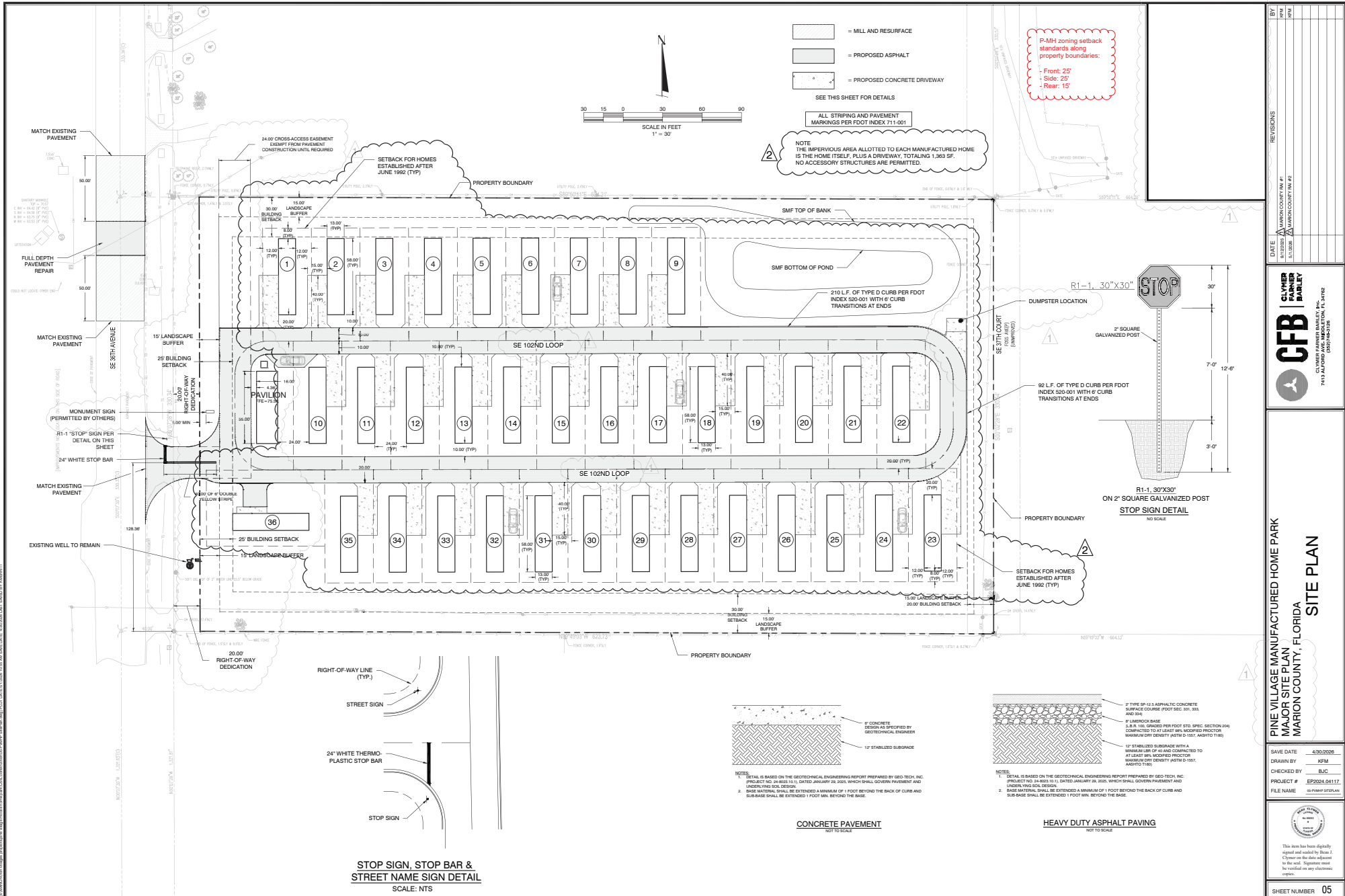
DATE	BY	REVISIONS
01/20/2024	MARK COUNTY, FL #1	

CFB
 CLYMER FARMER BARLEY INC.
 7413 ALFORD AVE. WILMINGTON, FL 32792
 (904) 833-1111

**PINE VILLAGE MANUFACTURED HOME PARK
 MAJOR SITE PLAN
 MARION COUNTY, FLORIDA
 DEMOLITION PLAN**

DATE	4-30-2024
DRAWN BY	KFM
CHECKED BY	BMC
PROJECT #	EP2024.04.117
FILE NAME	14-PIN04.DWG

This area has been digitally signed and sealed by Sean J. Clymer on the date adjacent to the seal. Signatures must be verified on any electronic copies.



DATE	BY	REVISIONS
8/1/2024	MARK COUNTY TM #1	
8/1/2024	MARK COUNTY TM #2	

CLYMER FARMER BARLEY

CFB

CLYMER FARMER BARLEY, INC.
7413 ALFORD AVE. APT. 100
ORLANDO, FL 32758

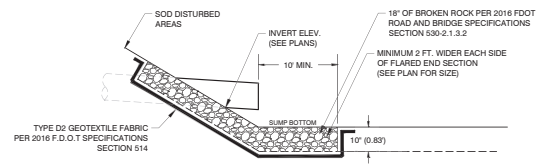
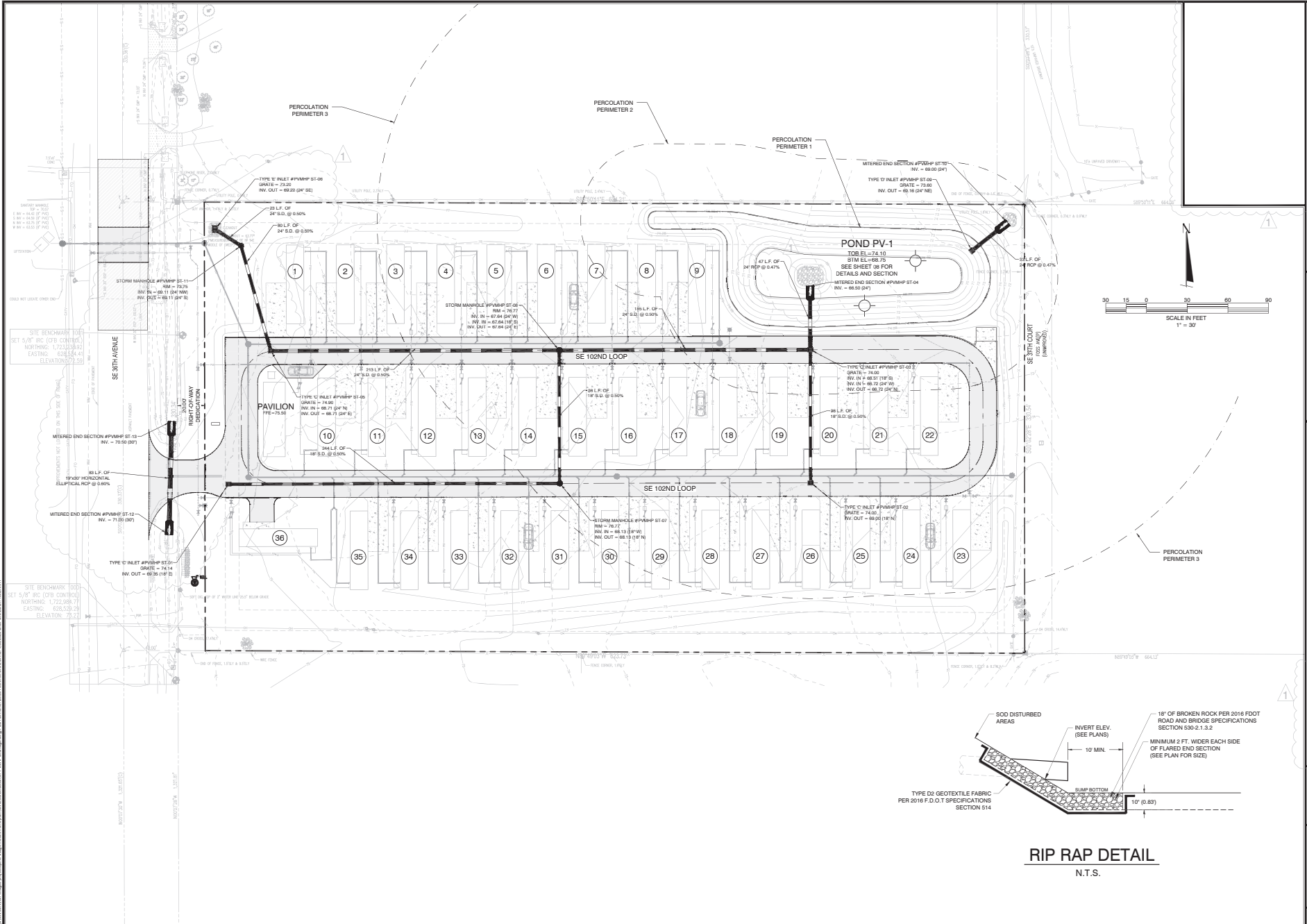
PINE VILLAGE MANUFACTURED HOME PARK
MAJOR SITE PLAN
MARION COUNTY, FLORIDA

SITE PLAN

SAVE DATE	4/30/2024
DRAWN BY	RFM
CHECKED BY	JAC
PROJECT #	SP2024.04117
FILE NAME	SP-PMP-SITEPLAN

This area has been digitally signed and sealed by Ryan J. Clymer on the date adjacent to the seal. Signatures must be verified on any electronic copies.

SHEET NUMBER 05



RIP RAP DETAIL
N.T.S.

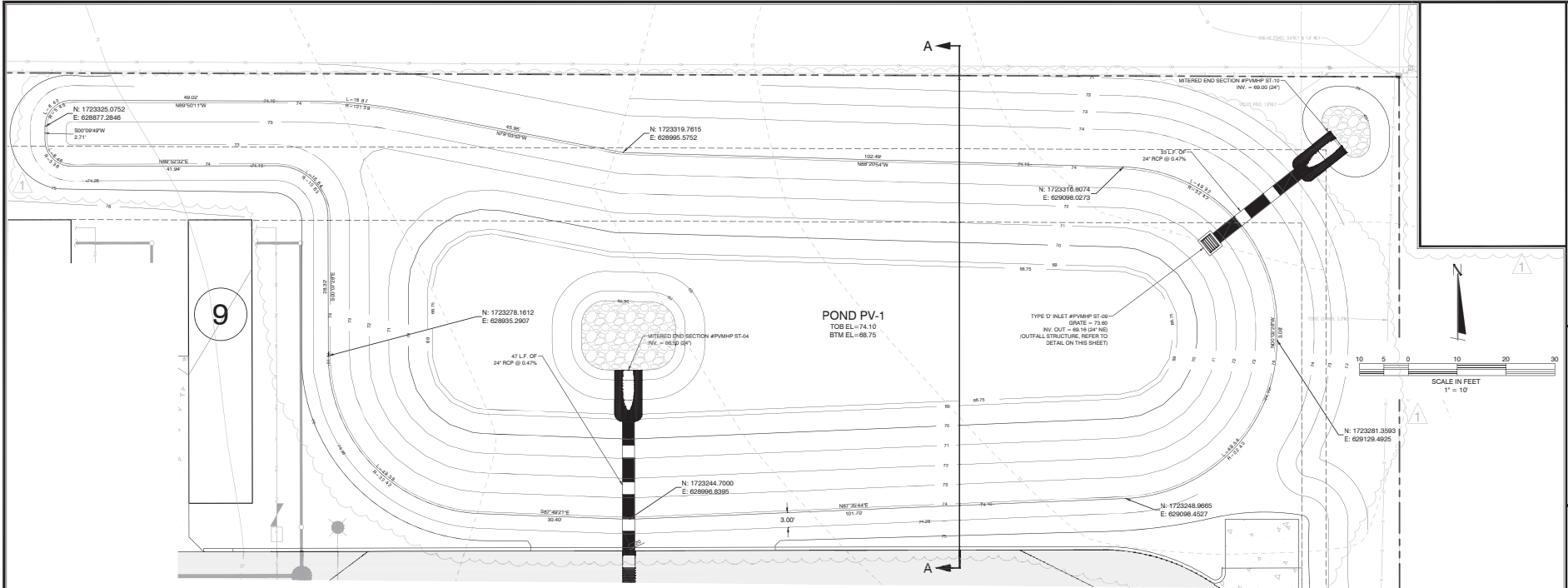
DATE	REVISIONS
8/1/2024	ADDED COUNTY IN #1

CFB
 CLYMER FARMER BARLEY
 ENGINEERS
 7413 ALFORD AVENUE, APOPKA, FL 34756
 (407) 885-1100

**PINE VILLAGE MANUFACTURED HOME PARK
 MAJOR SITE PLAN
 MARION COUNTY, FLORIDA
 DRAINAGE PLAN**

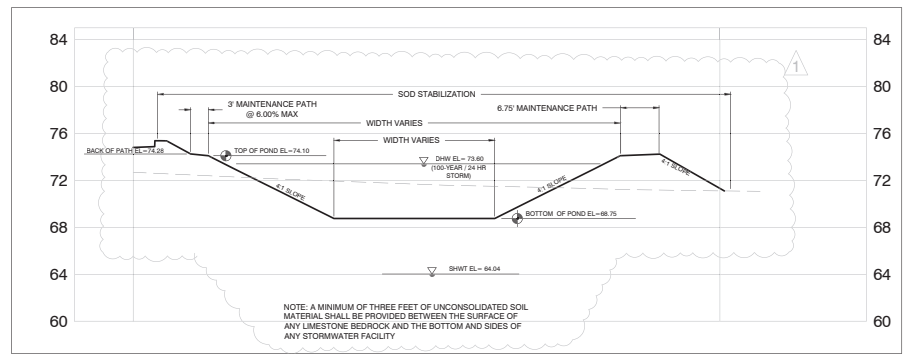
SAVE DATE	4/30/2024
DRAWN BY	KFM
CHECKED BY	BAC
PROJECT #	25024.01117
FILE NAME	01PMP.DWG

This area has been digitally signed and sealed by Ryan J. Clymer on the date adjacent to the seal. Signatures must be verified on any electronic copies.

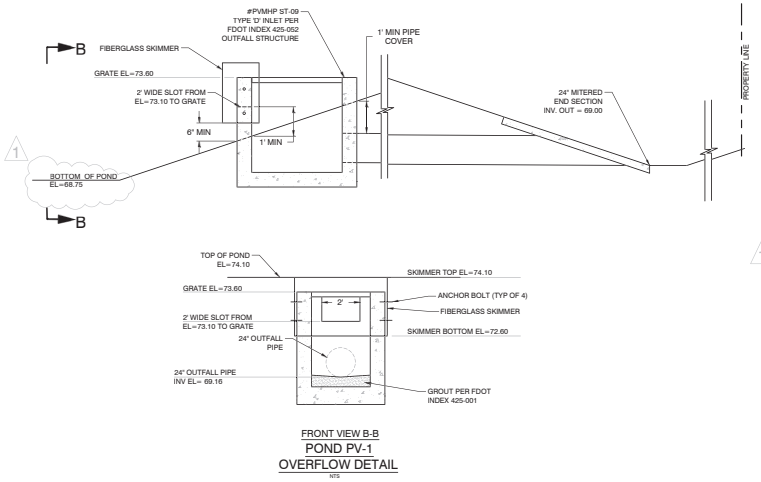


NOTES:

1. POND DESIGN CALCULATIONS ASSUMED IN-SITU SOILS 10.46 FEET BELOW THE POND BOTTOM AND POND BANKS. THE WEIGHTED AVERAGE VERTICAL PERMEABILITY RATE OF 4.86 FEET/DAY AND WEIGHTED AVERAGE HORIZONTAL PERMEABILITY RATE OF 8.88 FEET/DAY WERE UTILIZED AS DESIGN PARAMETERS PER THE PERMEABILITY RATES SPECIFIED IN THE GEOTECHNICAL ENGINEERING REPORTS PREPARED BY GEO TECH, INC. (PROJECT NO. 24-8023.10.1), DATED JANUARY 29, 2025, (PROJECT NO. 24-8023.10.1 SUPPLEMENTAL A) DATED FEBRUARY 25, 2025, AND (PROJECT NO. 24-8023.10.1 SUPPLEMENTAL B) DATED MARCH 19, 2025. REFERENCE THE PINE VILLAGE MHP PV-1 PERCOLATION WEIGHTED AVERAGE PERCOLATION CALCULATIONS IN THE CURRENT SIGNED & SEALED DRAINAGE REPORT PREPARED BY CLYMER FARMER BARLEY, INC.
2. AS-BUILT INFORMATION SHALL INCLUDE CERTIFIED CONFIRMATION FROM GEOTECHNICAL ENGINEER THAT POST PROJECT CONDITIONS CONFORM WITH DESIGN PARAMETERS.



**STORMWATER MANAGEMENT FACILITY
SECTION A-A**
NTS



**FRONT VIEW B-B
POND PV-1
OVERFLOW DETAIL**

BASIN NAME	POND BOTTOM (FT.)	100YR 24 HR STAGE ELEVATION (FT.)	POND TOP (FT.)
PV-1	68.75	73.80	74.10

DATE	BY	REVISIONS
8/1/2025	CLYMER FARMER BARLEY	
8/1/2025	CLYMER FARMER BARLEY	

CLYMER FARMER BARLEY
CLYMER FARMER BARLEY, INC.
7413 ALFORD AVE. APT. 101
ORLANDO, FL 32708

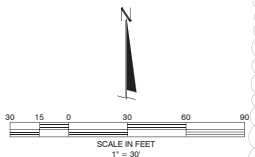
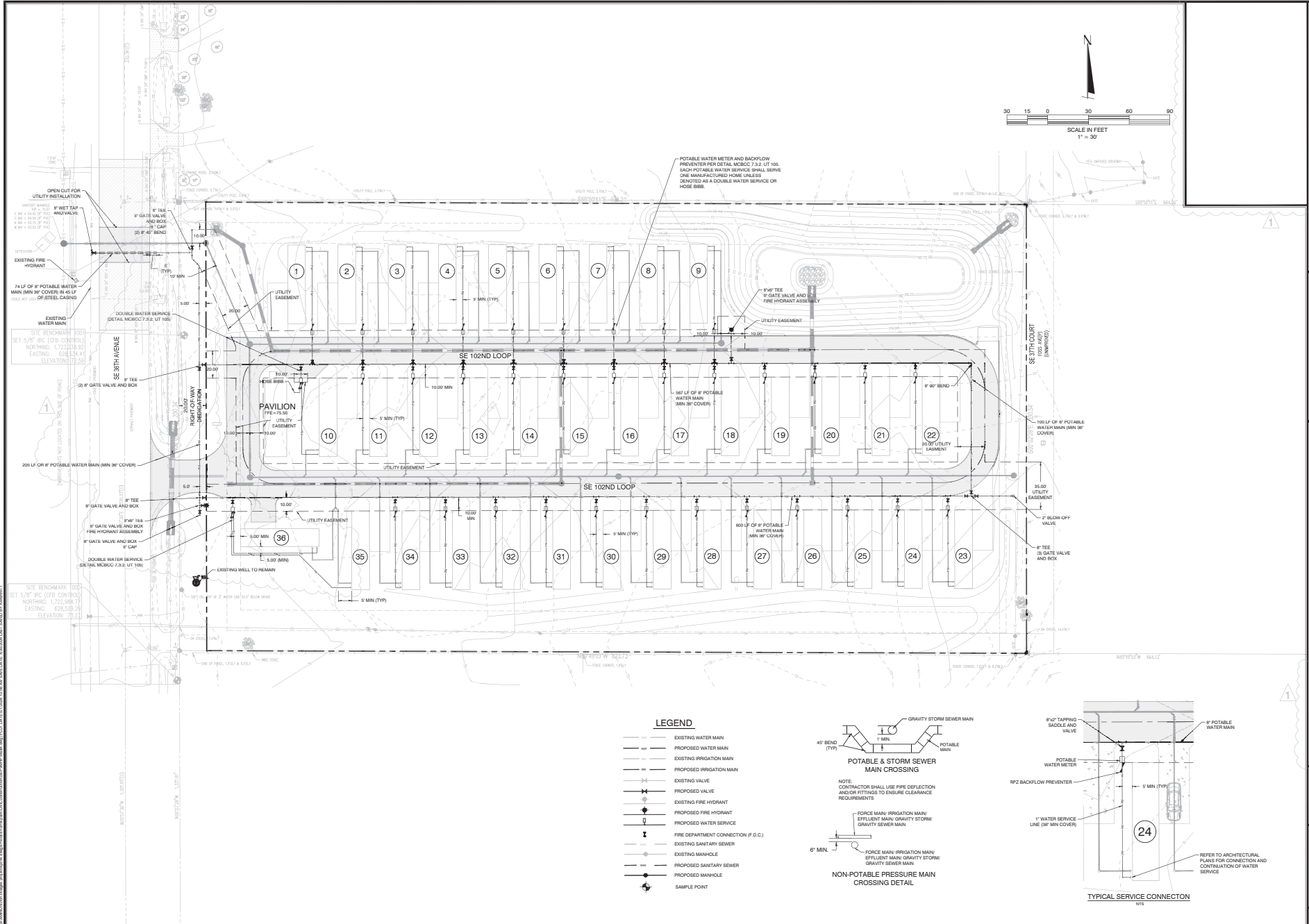
CFB

PINE VILLAGE MANUFACTURED HOME PARK
MAJOR SITE PLAN
MARION COUNTY, FLORIDA
POND PV-1 SECTION AND DETAIL

SAVE DATE: 8/1/2025
DRAWN BY: JRM
CHECKED BY: JMC
PROJECT #: 250204.04117
FILE NAME: 250204.dwg

This area has been digitally signed and sealed by Brian J. Clymer on the date adjacent to the seal. Signatures must be verified on any electronic copies.

SHEET NUMBER **08**

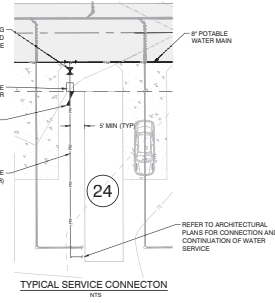
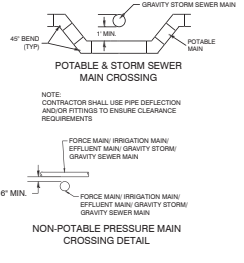


SITE BENCHMARK 1000
 SET 5.07' W/0" (DIR CONTROL)
 NORTHING: 1,221,535.92
 EASTING: 628,534.41
 ELEVATION: 79.22'

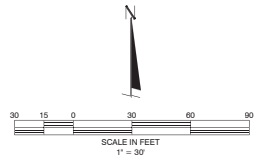
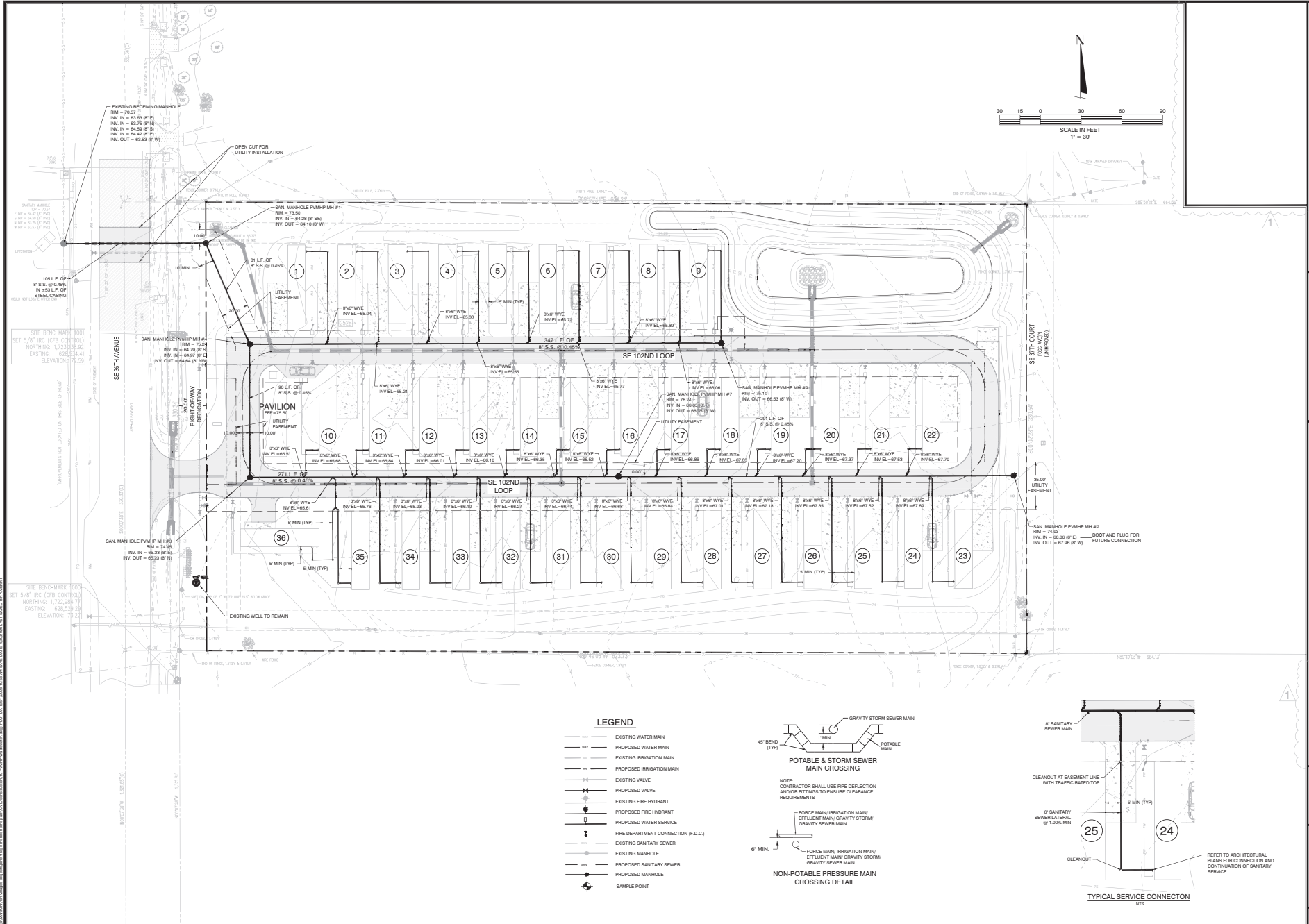
SITE BENCHMARK 1000
 SET 5.07' W/0" (DIR CONTROL)
 NORTHING: 1,222,986.77
 EASTING: 628,529.28
 ELEVATION: 79.22'

LEGEND

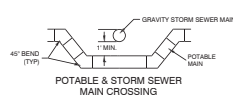
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- EXISTING IRRIGATION MAIN
- PROPOSED IRRIGATION MAIN
- EXISTING VALVE
- PROPOSED VALVE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED WATER SERVICE
- FIRE DEPARTMENT CONNECTION (F.D.C.)
- EXISTING SANITARY SEWER
- EXISTING MANHOLE
- PROPOSED SANITARY SEWER
- EXISTING MANHOLE
- SAMPLE POINT



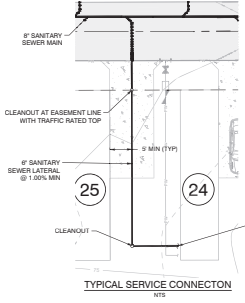
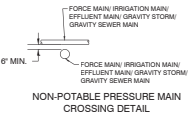
BY									
DATE	REVISIONS	DRAWN BY	CHECKED BY	PROJECT #	FILE NAME	SAVE DATE	DRAWN BY	CHECKED BY	PROJECT #
8/1/2024	MARION COUNTY, FL #1	CLYMER FARMER BARLEY	JAC	EP2024-04117	24-PWP-Water	4/30/2024	JAC	JAC	EP2024-04117
<p>PINE VILLAGE MANUFACTURED HOME PARK MAJOR SITE PLAN MARION COUNTY, FLORIDA WATER DISTRIBUTION PLAN</p>									
<p>CLYMER FARMER BARLEY, INC. 7413 ALFORD AVENUE, AUSTIN, TX 78728 (512) 835-8888</p>									
<p>REFER TO ARCHITECTURAL PLANS FOR CONNECTION AND CONTINUATION OF WATER SERVICE</p>									
<p>This area has been digitally signed and sealed by Brian J. Cliver on the date adjacent to the seal. Signatures must be verified on any electronic copies.</p>									
									SHEET NUMBER 09




- LEGEND**
- EXISTING WATER MAIN
 - PROPOSED WATER MAIN
 - EXISTING IRRIGATION MAIN
 - PROPOSED IRRIGATION MAIN
 - EXISTING VALVE
 - PROPOSED VALVE
 - EXISTING FIRE HYDRANT
 - PROPOSED FIRE HYDRANT
 - PROPOSED WATER SERVICE
 - FIRE DEPARTMENT CONNECTION (F.D.C.)
 - EXISTING SANITARY SEWER
 - EXISTING MANHOLE
 - PROPOSED SANITARY SEWER
 - PROPOSED MANHOLE
 - SAMPLE POINT

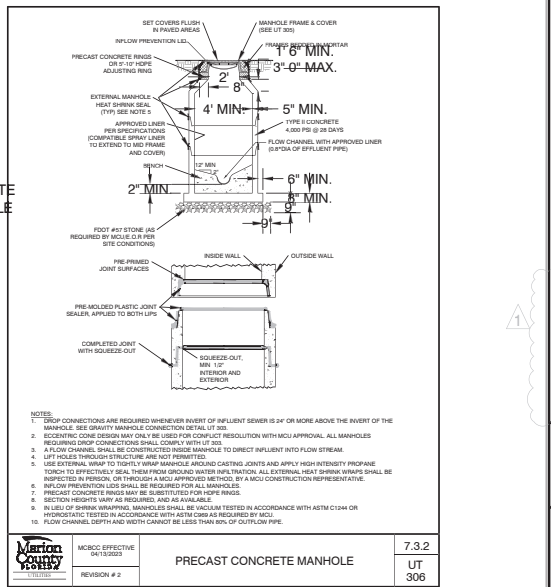
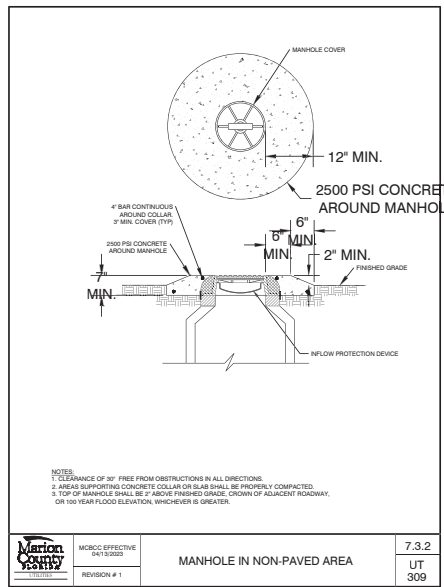
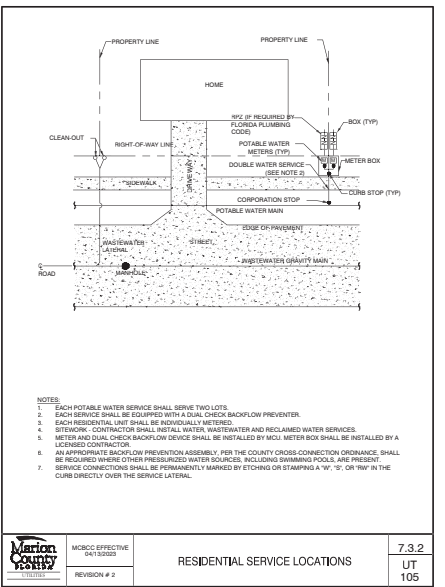
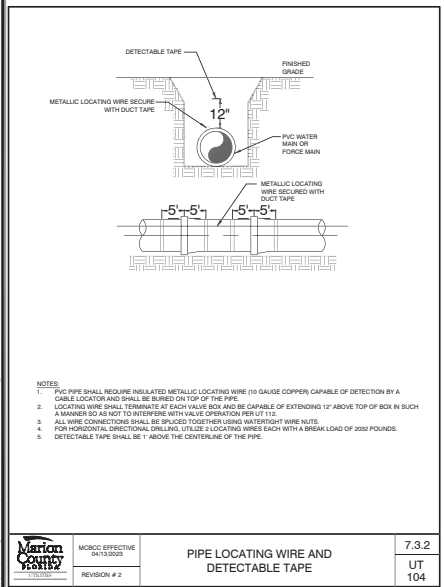
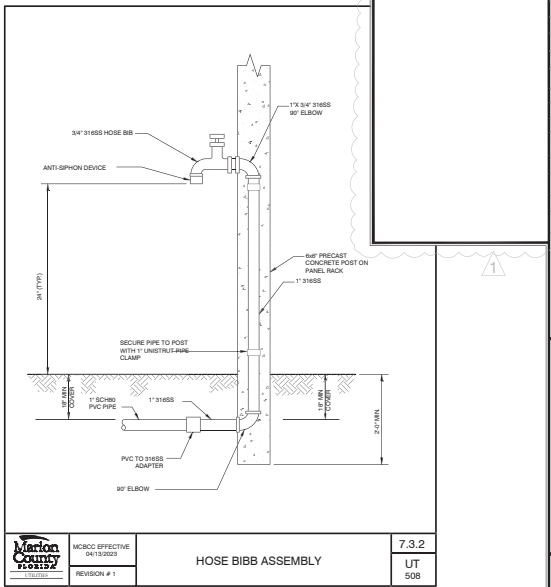
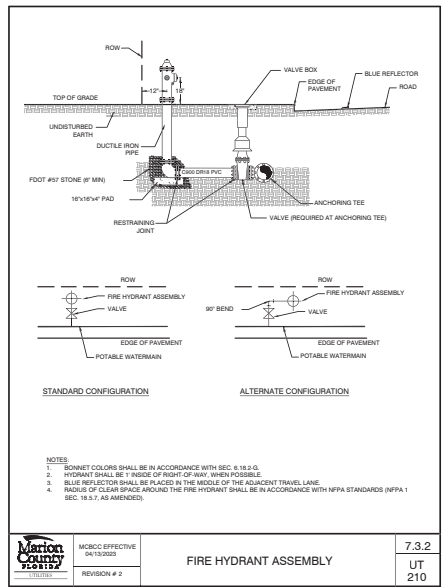
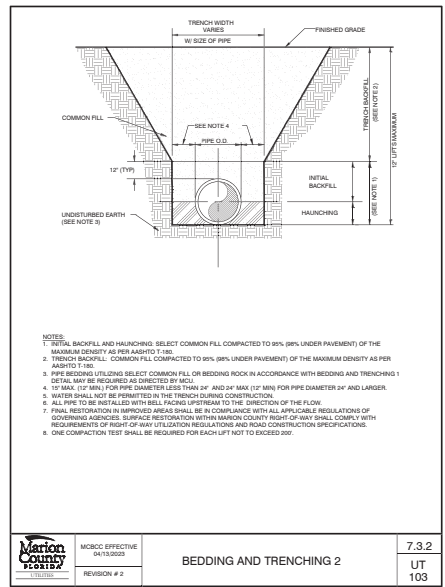
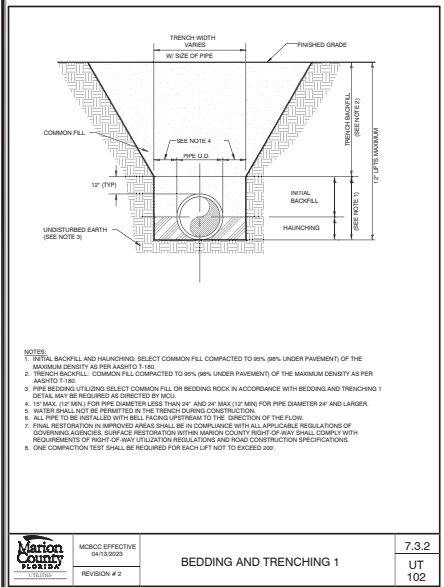


NOTE:
CONTRACTOR SHALL USE PIPE DEFLECTION
AND/OR FITTINGS TO ENSURE CLEARANCE
REQUIREMENTS



REFER TO ARCHITECTURAL
PLANS FOR CONNECTION AND
CONTINUATION OF SANITARY
SERVICE

DATE: 11/20/2008 BY: JRM CHECKED BY: JRM PROJECT #: 02008.00117 FILE NAME: 11/20/08 SANITARY	REVISIONS NO. DESCRIPTION 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36	PINE VILLAGE MANUFACTURED HOME PARK MAJOR SITE PLAN MARION COUNTY, FLORIDA SANITARY SEWER PLAN	CFB CLYMER FARMER BARILEY INC. 7413 ALFORD AVE. APT. 100 GAITHERSBURG, MD 20878 (301) 251-1000	SAVE DATE: 4/30/2008 DRAWN BY: JRM CHECKED BY: JRM PROJECT #: 02008.00117 FILE NAME: 11/20/08 SANITARY  This area has been digitally signed and sealed by Brian J. Claymer on the date indicated to the seal. Signatures must be verified on any electronic copies.
----------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------



	MCOCC EFFECTIVE 04/13/2023	BEDDING AND TRENCHING 1	7.3.2
	REVISION # 2		UT 102

	MCOCC EFFECTIVE 04/13/2023	BEDDING AND TRENCHING 2	7.3.2
	REVISION # 2		UT 103

	MCOCC EFFECTIVE 04/13/2023	FIRE HYDRANT ASSEMBLY	7.3.2
	REVISION # 2		UT 210

	MCOCC EFFECTIVE 04/13/2023	HOSE BIBB ASSEMBLY	7.3.2
	REVISION # 1		UT 508

	MCOCC EFFECTIVE 04/13/2023	PIPE LOCATING WIRE AND DETECTABLE TAPE	7.3.2
	REVISION # 2		UT 104

	MCOCC EFFECTIVE 04/13/2023	RESIDENTIAL SERVICE LOCATIONS	7.3.2
	REVISION # 2		UT 105

	MCOCC EFFECTIVE 04/13/2023	MANHOLE IN NON-PAVED AREA	7.3.2
	REVISION # 1		UT 309

	MCOCC EFFECTIVE 04/13/2023	PRECAST CONCRETE MANHOLE	7.3.2
	REVISION # 2		UT 308

BY: _____
DATE: _____
REVISIONS

NO.	DATE	DESCRIPTION

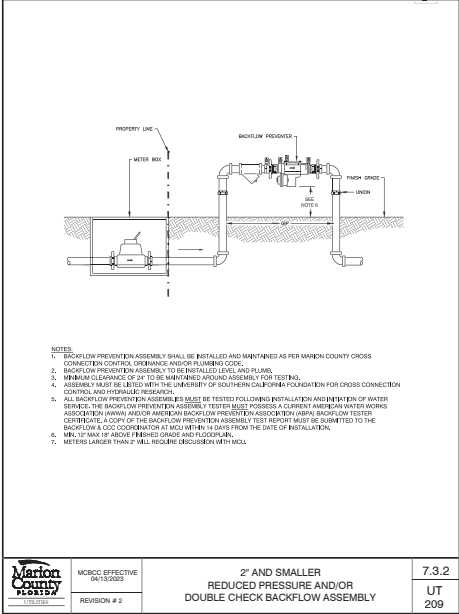
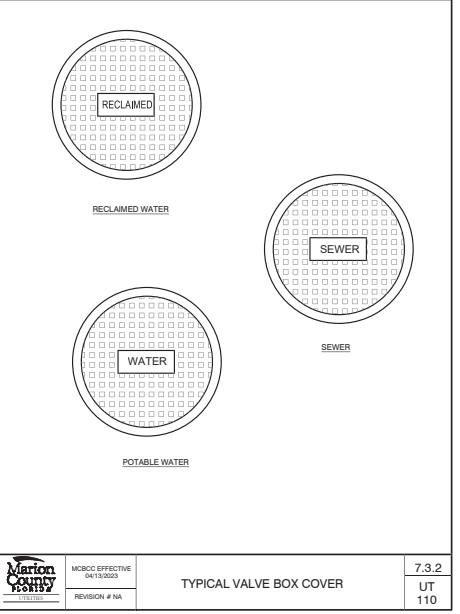
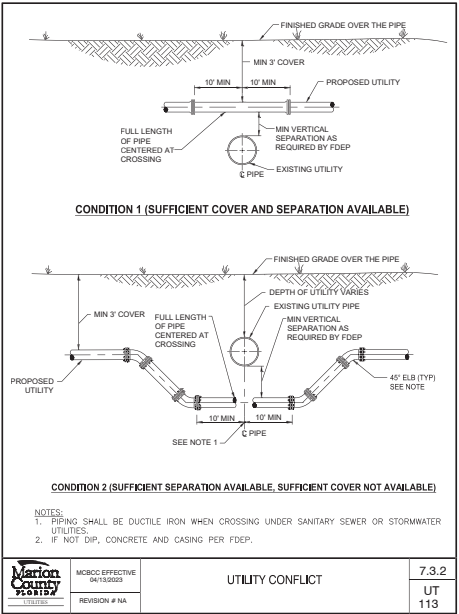
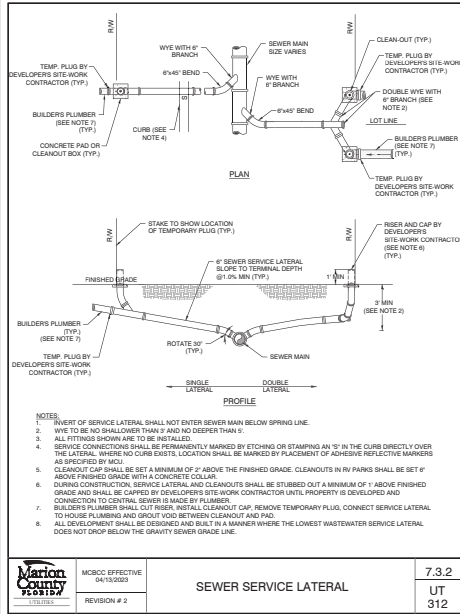
DATE: _____
BY: _____
MARION COUNTY, FL #1

CFB
CLYMER FARMER BARBER
INC.
CLYMER FARMER BARBER, INC.
7413 ALFORD AVE. SUITE 100
DAVIE, FL 33414

SAVE DATE: 4/30/2028
DRAWN BY: JFM
CHECKED BY: JMC
PROJECT #: E2024.04.117
FILE NAME: P-PAVED-24.6A

This area has been digitally signed and sealed by Sean J. Clymer on the date adjacent to the seal. Signatures must be verified on any electronic copies.

SHEET NUMBER 11



	MCBC EFFECTIVE 04/15/2023	SEWER SERVICE LATERAL	7.3.2
	REVISION # 2		UT 312

	MCBC EFFECTIVE 04/15/2023	UTILITY CONFLICT	7.3.2
	REVISION # NA		UT 113

	MCBC EFFECTIVE 04/15/2023	TYPICAL VALVE BOX COVER	7.3.2
	REVISION # NA		UT 110

	MCBC EFFECTIVE 04/15/2023	2" AND SMALLER REDUCED PRESSURE AND/OR DOUBLE CHECK BACKFLOW ASSEMBLY	7.3.2
	REVISION # 2		UT 209

DATE: 01/20/24 BY: RFB

REVISIONS

CFB

 CLYMER FARMER BARLEY, INC.

 7413 ALFORD AVE. MARION COUNTY, FL 32026

PINE VILLAGE MANUFACTURED HOME PARK

 MAJOR SITE PLAN

 MARION COUNTY, FLORIDA

 UTILITY DETAILS

SAVE DATE: 4/30/2024

 DRAWN BY: RFB

 CHECKED BY: BJC

 PROJECT #: EPP024.04.117

 FILE NAME: 11-PWP-024.6

This area has been digitally signed and sealed by Ryan J. Clifton on the date adjacent to the seal. Signature must be verified on any electronic copies.

SHEET NUMBER 12

