

AGENCY	PERMIT #	SUBMITTED	STATUS
MARION COUNTY	32998	2025-04-04	IN REVIEW
SJRWMD	2341111-1	2025-04-04	IN REVIEW

DATE	REVISIONS	BY

# MAJOR SITE PLAN

## FOR

### HIS HOUSE FOR HER

#### LEGAL DESCRIPTION

TRACT H, SILVER SPRINGS SHORES UNIT NO. 9, AS PER PLAT THEREOF RECORDED IN PLAT BOOK J, PAGE(S) 63  
THROUGH 93, PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

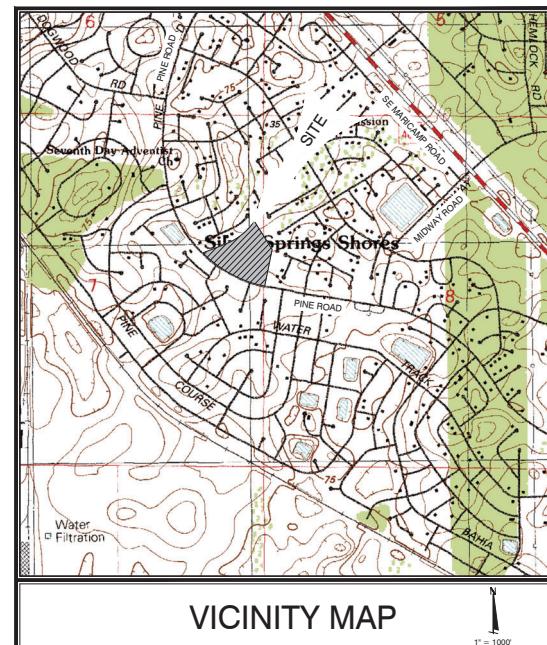
#### SITE DATA

RESIDENTIAL AREA = 186,198 SQ. FT. (4.65 AC) 45.14%  
NON-RESIDENTIAL AREA = 28,829 SQ. FT. (0.57 AC) 5.62%  
TOTAL IMPERVIOUS AREA = 223,027 SQ. FT. (5.12 AC) 50.79%  
OPEN AREA = 216,057 SQ. FT. (4.99 AC) 49.21%  
PROPERTY AREA = 439,084 SQ. FT. (10.08 AC) 100%

#### TRAFFIC IMPACT SUMMARY

LAND USE	INTENSITY	AM PEAK HOUR OF ADJACENT STREET TRAFFIC			PM PEAK HOUR OF ADJACENT STREET TRAFFIC		
		DAILY TRIPS	TOTAL	IN	OUT	TOTAL	IN
CONGREGATE CARE FACILITY	5 UNITS	11	2	1	1	3	2

NOTE 1: TRIP GENERATION WAS DERIVED USING THE ITE TRIP GENERATION MANUAL (11TH ED).  
CONGREGATE CARE FACILITY (ITE LUC 281)  
INDEPENDENT VARIABLE X = NUMBER OF UNITS



#### SHEET INDEX

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EC-1	EROSION CONTROL PLAN

NOTE  
1. NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.

AREA FOR TOTAL SITE (BASED ON FOOTPRINT, NOT INTERIOR SQ. FOOTAGE)  
PROPOSED BUILDINGS = 13,700 SQ. FT. (0.31 AC) 2.3%  
EXISTING BUILDINGS = 8,719 SQ. FT. (0.20 AC) 1.6%  
PROPOSED CONCRETE = 1,726 SQ. FT. (0.04 AC) 0.9%  
PROPOSED CONCRETE = 1,135 SQ. FT. (0.00 AC) 0.1%  
TOTAL IMPERVIOUS AREA = 30,309 SQ. FT. (0.69 AC) 15.3%  
OPEN AREA = 29,980 SQ. FT. (0.68 AC) 14.5%  
PROJECT AREA = 164,069 SQ. FT. (12.72 AC) 100.0%

LICENSED DESIGN PROFESSIONAL CERTIFICATION:

I, CLYMER FARNER BARLEY SURVEYING, LLC, CERTIFY THAT MY PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE DESIGN STANDARDS AND MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS WAIVED.

OWNER'S CERTIFICATION:

I, RENEE ARNETT, FOUNDER OF HIS HOUSE FOR HER, CERTIFY THAT MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.



## GENERAL NOTES:

- THESE GENERAL NOTES APPLY TO ALL WORK IN THIS SET OF DRAWINGS
- THE APPLICANT (HIS HOUSE FOR HER, INC.) WILL OWN AND MAINTAIN THE IMPROVEMENTS ON SAID PARCEL PER LEGAL DESCRIPTION
- THIS PARCEL IS LOCATED WITHIN "MARION COUNTY"
- THE STANDARD DETAILS FOR THIS PROJECT SHALL BE FOUND IN:
  - THE FLORIDA OPERATIONAL TRAFFIC CONTROL DEVICES (MUTCD) (LATEST EDITION)
  - FDOT STANDARD PLANS FOR ROAD CONSTRUCTION
  - MARION COUNTY LAND DEVELOPMENT REGULATIONS
  - MARION COUNTY STANDARD SPECIFICATIONS
- ALL SIGNAGE, PAVEMENT MARKING, AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH FHWA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AND LOCAL REGULATORY SIGNALS (STOP, ETC.) SHALL BE IN PLACE PRIOR TO FINAL INSPECTION OF PAVING IMPROVEMENTS.
- CONTRACTOR SHALL REVIEW ALL PERMITS PRIOR TO CONSTRUCTION FOR ANY CHANGES TO THE DESIGN INCLUDED THEREIN. NOTIFY ENGINEER/OWNER OF ANY REQUIRED CHANGES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL ABIDE BY ALL CONDITIONS CONTAINED THEREIN. PERMITS INCLUDED (BUT NOT NECESSARILY LIMITED TO) ARE:
  - MARION COUNTY
  - WATER MANAGEMENT DISTRICT ENVIRONMENTAL RESOURCE PERMIT (ERP)
  - FDEP WATER AND SEWER
  - LOCAL UNDERGROUND UTILITIES
  - FDEP NPDES STORMWATER
- ALL MATERIALS, MACHINERY, AND VEHICLES SHALL BE STORED ON-SITE IN AN ORDERLY ORGANIZED FASHION.
- CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS, INCLUDING BUT NOT LIMITED TO WATER, SEWER, POWER, TELEPHONE, GAS, AND CABLE TO VENDORS.
- PRIOR TO COMMENCEMENT, CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER WITH CONSTRUCTION SCHEDULE FOR VARIOUS SITE WORK ELEMENTS.
- CONTRACTOR SHALL FURNISH THE ENGINEER/OWNER WITH ACCURATE SURVEY RECORD DRAWINGS SHOWING AS-CONSTRUCTED HORIZONTAL AND VERTICAL DIMENSIONINGS OF THE WORK. ALL INFORMATION WHICH IS UNCHANGED AND CURRENT SHALL BE NOTED BY CHECKING OFF OR CIRCLING. ALL REVISED INFORMATION SHALL BE CROSSED THROUGH AND NEW DATA ADDED.
- AT THE BEGINNING OF CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES CRITICAL TO COMPLETING THE PROJECT (INCLUDING WATER, SEWER, POWER, TELEPHONE, GAS, AND CABLE TV) AND SHALL EVALUATE POTENTIAL CONFLICTS. ALL SUCH CONFLICTS SHALL BE REPORTED TO ENGINEER/OWNER IMMEDIATELY UPON DISCOVERY.
- THE LOCATIONS OF EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. ENGINEER/OWNER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION SHOWN AND THE CONTRACTOR'S RESPONSIBILITY IS TO MAKE ARRANGEMENTS FOR FIELD LOCATIONS AND FOR ANY RELOCATIONS OF THE VARIOUS EXISTING UTILITIES WHICH THE UTILITY OWNERS, WHICH SHALL BE DONE IN A TIMELY FASHION TO MINIMIZE THE IMPACT ON THE CONSTRUCTION SCHEDULE. ANY DELAY OR INCONVENIENCE CAUSED BY THE RELOCATION OF THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- ANY DIFFERING SITE CONDITION FROM THAT WHICH IS REPRESENTED HEREIN, WHETHER ABOVE, ON, OR BELOW THE SURFACE, SHALL NOT SHIFT THE IMMEDIATE ATTENTION OF THE ENGINEER/OWNER IN WORKING PROBLEMS CONSTRUCTION IN AN AREA IMPACTED BY THE CONFLICT. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO OFFERING SITE CONDITIONS WILL BE ALLOWED IF THE CONTRACTOR FAILS TO PROVIDE THE REQUIRED WRITTEN NOTIFICATION OF SUCH CONDITIONS FOR REVIEW BY THE ENGINEER AND OWNER.
- ALL RECOMMENDATIONS AND REQUIREMENTS OF INSPECTION PERSONNEL OTHER THAN OWNERS SHALL BE REPORTED TO ENGINEER/OWNER PRIOR TO IMPLEMENTATION. COMPENSATION WILL NOT BE ALLOWED FOR WORK WHICH IS NOT AUTHORIZED BY ENGINEER/OWNER.
- ALL WORK SHALL BE OPEN TO AND SUBJECT TO INSPECTION BY AUTHORIZED PERSONNEL OF THE LOCAL JURISDICTION, OWNER, INVOLVED UTILITY COMPANIES, PROJECT ENGINEER AND REGULATORY AGENCIES.
- CONTRACTOR SHALL MAKE ALL IMPROVEMENTS USING THE INFORMATION PROVIDED IN THESE PLANS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLETELY STAKE AND CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL AND VERTICAL, PRIOR TO THE INSTALLATION OF ANY IMPROVEMENT.
- CONTRACTOR SHALL CONFIRM COMPATIBILITY OF PIPE SLOPES AND INVERTS DURING SHOP DRAWING AND MATERIALS ORDERING PHASE OF PROJECT AND ADVISE ENGINEER OF ANY DISCREPANCIES.
- NO EXISTING MATERIAL SHALL BE USED IN NEW CONSTRUCTION UNLESS APPROVED DURING THE SHOP DRAWING APPROVAL PROCESS.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ENGINEER APPROVAL PRIOR TO PROCUREMENT OF MATERIALS.
- CONTRACTOR TO SUBMIT COPIES OF ALL TESTING REPORTS TO THE OWNER AND ENGINEER FOR ACCEPTANCE AND CERTIFICATIONS.
- CONTRACTOR TO PRESERVE ALL MONITORING WELLS IDENTIFIED ON SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING PROPER TRAFFIC MAINTENANCE AND CONTROLS IN ACCORDANCE WITH REGULATORY STANDARDS. WHERE A TRAFFIC MAINTENANCE PLAN REQUIRED IT SHALL BE PREPARED BY AN FDOT CERTIFIED DESIGNER AND SUBMITTED BY CONTRACTOR FOR APPROVAL BY OWNER, ENGINEER, AND CITY OR COUNTY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE PROJECT SITE DURING CONSTRUCTION, TO PREVENT TRESPASSING UNAUTHORIZED PEDESTRIANS AND/OR VEHICLES IN ALL WORK AREAS. THE CONTRACTOR SHALL SET SIGNS, CONSTRUCT BARRIERS, OR IMPLEMENT OTHER METHODS NECESSARY TO CONTROL ACCESS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR TRESPASSING ON THE CONSTRUCTION SITE OR DAMAGES TO ANY WORK RELATED THERETO.
- CONTRACTOR SHALL PROTECT ALL ADJACENT WETLANDS, WATERBODIES, AND PROPERTIES FROM DAMAGE BY SEDIMENTATION OR OTHER POTENTIAL CONSTRUCTION RELATED CAUSES.
- CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES WHICH ARE TO BE SAVED, WHETHER SHOWN IN THE PLANS OR DESIGNATED IN THE FIELD. CONTRACTOR SHALL BECOME FAMILIAR WITH AND CONFORM WITH ALL TREE PROTECTION/PRESERVATION PROVISIONS OF THE CONTRACT DOCUMENTS AND LOCAL GOVERNMENT.
- ALL FOOT DESIGN INDICES ARE HERIBLY INCORPORATED AS PLAN REFERENCES HEREIN. CONTRACTOR IS RESPONSIBLE FOR OBTAINING COMPLETE COPIES OF ALL APPLICABLE INDEX DRAWINGS AND CONSTRUCTING ALL WORKS IN CONFORMANCE WITH THE FOOT DESIGN STANDARDS, LATEST EDITION.

## PAVING, GRADING & DRAINAGE NOTES:

- SITE PAVING AND DRAINAGE MATERIALS AND CONSTRUCTION SHALL CONFORM TO FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, INsofar AS THEY APPLY TO THESE DESIGNS HEREIN, AND THE LOCAL JURISDICTION REGULATIONS AND SPECIFICATIONS. WHERE SUCH SPECIFICATIONS DIFFER, THE MORE STRINGENT SHALL APPLY, SUBJECT TO DETERMINATION OF THE ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SURVEY MONUMENTATION. DISTURBED MONUMENTATION SHALL BE RESTORED BY A FLORIDA-LICENSED LAND SURVEYOR SELECTED BY THE OWNER AT CONTRACTOR'S EXPENSE.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO ENSURE AGAINST POLLUTING, SILTING, OR DISTURBING TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO THE EXISTING ON SITE AND OFF SITE DRAINAGE SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL PERMIT REQUIREMENTS RELATED TO SUCH MEASURES. ANY MEASURES SHOWN OR DETAILED IN THESE DRAWINGS ARE FOR CONSTRUCTION AND SHALL NOT PREVENT CONTRACTOR FROM THE RESPONSIBILITY TO IMPLEMENT ANY MEASURES NECESSARY TO PROVIDE PROTECTION.
- THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY HAS AUTHORIZED THE STATE OF FLORIDA TO ADMINISTER THE NATIONAL POLLUTANTS DISCHARGE ELIMINATION SYSTEM (NPDES). CONTRACTOR OR ADVISED THAT OPERATORS ARE REQUIRED TO FILE FDEP A NOTICE OF INTENT TO USE THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES THAT DISTURB ONE OR MORE ACRES OF LAND. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SUBMIT THE NOTICE OF INTENT (NOI) TO FDEP WITH A COPY TO THE OWNER AND THE ENGINEER AT LEAST 48 HOURS BEFORE INITIATING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE ACCURATE AS-BUILT DIMENSIONS AND ELEVATIONS OF THE STORMWATER MANAGEMENT AREAS AFTER FINAL GRADING AND PRIOR TO GRASSING THE SLOPES. CONTRACTOR MUST OBTAIN ENGINEER'S APPROVAL PRIOR TO GRASSING. IF ANY MODIFICATIONS ARE NEEDED, ADDITIONAL AS-BUILTS MUST BE FURNISHED.
- GEOTECHNICAL SERVICES HAVE BEEN PROVIDED DIRECTLY TO THE OWNER. GEOTECHNICAL RECOMMENDATIONS ARE NOT THE RESPONSIBILITY OF CLYMER FARNER BARLEY, INC. (CFB). CFB ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS, COMPLETENESS, OR ACCURACY OF GEOTECHNICAL INFORMATION.
- ELEVATIONS OF GRADED AREAS ARE GIVEN AT FINISHED GRADE (TOP OF SOIL OR SEALED SURFACE).
- ALL DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS INDICATED OTHERWISE.
- PIPE LENGTHS SHOWN REPRESENT DISTANCES BETWEEN CENTERLINES OF DRAINAGE STRUCTURE AND FROM INVERTS OF ENDWALLS AND/OR PIPE ENDS. BIDDERS SHALL ADJUST FOR PIPE LENGTHS WHEN BIDING PIPE ENDS.
- ALL OFF-SITE DISTURBED AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION, OR BETTER.
- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND DISPOSING OF ALL WASTE MATERIALS CONSISTENT WITH ALL RULES AND REGULATIONS APPLICABLE TO THE SPECIFIC MATERIAL FOUND.
- CONTRACTOR SHALL INSTRUCT THE GEOTECHNICAL TESTING LABORATORY PERFORMING CONSTRUCTION TESTING TO PROVIDE CFB WITH COPIES OF ALL SITE WORK TEST REPORTS AS THEY ARE GENERATED. RECEIPT OF COPIES OF GEOTECHNICAL REPORTS BY CFB IN NO WAY OBLIGATES CFB TO ANY REVIEW, COMMENTS OR ACTIONS REGARDING THE WORK.
- DURING CONSTRUCTION, THE GEOTECHNICAL ENGINEER PERFORMING TESTING SHALL MONITOR GROUNDWATER CONDITIONS AND PROVIDE RECOMMENDATIONS FOR ADDITIONAL ROADWAY UNDERDRAINS AS NEEDED. ENGINEER SHALL BE NOTIFIED OF ANY SUCH RECOMMENDATIONS.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD STAKE AND PROTECT CONSERVATION AREA LIMITS. OWNER RESERVES THE RIGHT TO CHECK THE STAKING AND PROTECTIONS AND REQUIRE IT TO BE RELOCATED IF NECESSARY. PROTECTIONS SHALL REMAIN IN PLACE UNTIL ADJACENT CONSTRUCTION IS COMPLETE.
- NO WATER VALVE BOXES, METERS, PORTIONS OF MANHOLES, OR OTHER APPURTENANCES RELATING TO ANY UNDERGROUND UTILITIES SHALL BE LOCATED IN ANY PORTION OF ANY TYPE OF CURB. ADVISE ENGINEER IMMEDIATELY UPON DISCOVERY OF A POTENTIAL CONFLICT.
- CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENTS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE A SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. SHOULD AREAS OF POOR DRAINAGE BE OBSERVED, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PLACEMENT OF CURBS OR PAVEMENT, SO THAT RECOMMENDATIONS FOR CORRECTION MAY BE MADE.
- CONTRACTOR SHALL COORDINATE WITH ENGINEER FOR PRE-POUR INSPECTION PRIOR TO ANY SIDEWALK AND/OR RAMP CONCRETE POURS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL RAMP TEXTURED SURFACES AND SIDEWALK LONGITUDINAL AND CROSS SLOPES ARE IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL A.D.A. STANDARDS.
- ALL DISTURBED PUBLIC AND PRIVATE RIGHTS OF WAY SHALL BE RESTORED. SOIL SHALL BE REPLACED FROM BACK OF CURB OR EDGE OF PAVEMENT TO RIGHT-OF-WAY AND ALL AREAS SHALL MATCH OR EXCEED PRECONSTRUCTION CONDITIONS.
- CONTRACTOR SHALL NOT COMPACT, STABILIZE, OR CONSTRUCT BASE COURSE WITHIN LANDSCAPE ISLANDS, TRACTS, OR MEDANS, WHERE SUCH TREATMENT DOES OCCUR, IT SHALL BE REMOVED AND REPLACED WITH SUITABLE PLANTING SOLS ACCEPTABLE TO OWNERS LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL REMOVE ALL UNSUITABLE SOLS IN CONSTRUCTION AREAS AND AREAS TO BE FILLED. REFER TO GEOTECHNICAL REPORT FOR REQUIREMENTS.
- ENGINEER RESERVES THE RIGHT TO WITHHOLD APPROVALS FOR PAYMENT FOR ANY ROADWORK WHICH HAS NOT BEEN TESTED BY A FLORIDA-REGISTERED GEOTECHNICAL ENGINEER AND REPORTED TO CONFORM TO PROJECT SPECIFICATIONS.
- SITE CONTRACTOR SHALL GRADE ANY UTILITY EASEMENTS, AS SHOWN OR NOTED ON THE PLAT OR CONSTRUCTION DRAWINGS, ADJACENT TO THE RIGHT-OF-WAY LINE TO FINAL DESIGN GRADE.
- CONTRACTOR SHALL STABILIZE AND PROTECT ALL END WALL, MITERED END SECTION, FLARED END SECTION, ETC. STRUCTURES THROUGHOUT THE PROJECT UNTIL THE POND SLOPES ARE STABILIZED AND ACCEPTED BY OWNER.
- CONTRACTOR/BIDDER SHALL OBSERVE OFFSITE ROADWAYS FOR FRICTION COURSE REMOVAL AND RESTORATION REQUIREMENTS AND FOR LEVELING COURSE REQUIREMENTS WHICH SHALL BE INCLUDED IN THE BID AND IN THE WORK.
- OVER-EXCAVATION OF RETENTION BASINS SHALL NOT BE ALLOWED UNLESS SPECIFICALLY AUTHORIZED BY ENGINEER/OWNER. SHOULD UNAUTHORIZED OVER-EXCAVATION OCCUR, IT SHALL BE BACKFILLED, REGRADED, RESODDED, AND/OR RESEEDED AS REQUIRED BY OWNER AT CONTRACTOR'S EXPENSE TO OWNER'S SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION A GEOTECHNICAL CONSULTANT TO PROVIDE FLOOR PERMEABILITY TESTS TO ENSURE THE STORMWATER PONDS WILL FUNCTION AS DESIGNED AND MEET DESIRED INfiltrATION RATES. THE REPORT SHALL BE FORWARDED TO THE OWNER AND THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE COMPLETION OF THE POND CONSTRUCTION.
- SEE GEOTECHNICAL REPORT PROVIDED TO OWNER FOR FOUNDATION UNDERCUTTING AND BACKFILL SPECIFICATIONS IN AND AROUND BUILDING.

## PAVING, GRADING & DRAINAGE MATERIAL SPECIFICATIONS:

- STORM DRAINS SHALL BE CONSTRUCTED WITH FDOT APPROVED MATERIALS. PIPE JOINTS SHALL BE WRAPPED PER FOOT INDEX 430-001.
- ALL STORM STRUCTURES SHALL BE IN CONFORMANCE WITH FDOT STANDARD INDEX DRAWINGS. GRATES SHALL BE CAST IRON UNLESS OTHERWISE SPECIFIED OR APPROVED.

- ALL TYPE 'P' STRUCTURE BOTTOMS SHALL BE ROUND UNLESS OTHERWISE SPECIFIED AND SHALL HAVE A 4 FT. DIAMETER.
- ALL TYPE 'J' STRUCTURE BOTTOMS SHALL BE ROUND UNLESS OTHERWISE SPECIFIED AND SHALL HAVE AN 8 FT. DIAMETER.

- ANY WELLS ENCOUNTERED DURING CONSTRUCTION NOT IDENTIFIED IN THIS PLAN WILL BE ABANDONED BY A FLORIDA LICENSED WATER WELL CONTRACTOR IN ACCORDANCE WITH RULE 40D-3.531(2), F.A.C.
- PROTECTED WILDLIFE SHALL BE RELOCATED IN ACCORDANCE WITH THE FLORIDA WILDLIFE CONSERVATION COMMISSION PRIOR TO DEVELOPMENT.

- CONTRACTOR SHALL COORDINATE WITH ENGINEER FOR INSPECTION OF STORM SEWERS PRIOR TO PAVING. CONTRACTOR SHALL PROVIDE EQUIPMENT FOR LAMPING INSPECTION BY ENGINEER. FURTHER PERTINENT WITH MANDRELS OR VIDEO TAPING OF PIPES MAY BE REQUIRED BY ENGINEER.

- PAVING MATERIALS SHALL CONFORM WITH FDOT STANDARD SPECIFICATIONS LATEST EDITION.

- UNDERDRAIN SHALL BE HEAVY-DUTY CORRUGATED POLYETHYLENE PIPE WITH FACTORY INSTALLED FABRIC AS MANUFACTURED BY ADVANCE DRAINAGE SYSTEMS (ADS), OR APPROVED EQUAL.

- UNDERDRAIN DISCHARGE PIPE SHALL BE PVC PER ASTM D3034 SDR 35 WITH ELASTOMERIC JOINTS, NON-PERFORATED.

- FILL PLACEMENT AND SPECIFICATIONS SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECTS GEOTECHNICAL CONSULTANT.

- CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE FROM SUBGRADE THROUGH FINAL LIFT OF ASPHALT. STRUCTURE BASES SHALL BE FABRICATED IN ACCORDANCE WITH FDOT STANDARD INDEX 425-00. TEMPORARY DRAINS FOR SUBGRADE AND BASE, AS NOTED IN THE INDEX, WILL BE CONSIDERED INCIDENTAL TO THE PRICE OF THE STRUCTURE.

- SOIL TESTING RESULTS SHALL BE PROVIDED FOR THE PAVEMENT CONSTRUCTION. AFTER PLACEMENT AND FIELD COMPACTION, THE WEARING SURFACE SHALL BE CORED TO EVALUATION MATERIAL THICKNESS AND TO PERFORM LABORATORY DENSITIES. THE LOCATION AND NUMBER OF SAMPLE CORES SHALL BE DETERMINED BY THE GEOTECHNICAL CONSULTANT. THE TESTING REPORT SHALL DENOTE THE TEST LOCATIONS.

## STORMWATER NOTES:

- STORMWATER RETENTION/DETENTION SYSTEMS SHALL NOT BE CONSTRUCTED WITHIN 100' OF AN EXISTING PUBLIC WATER SUPPLY WELL, AND NOT CONSTRUCTED WITHIN 75' OF AN EXISTING PRIVATE DRINKING WATER WELL.

## AMERICANS WITH DISABILITIES ACT NOTES:

THE CONTRACTOR & OWNER WILL BE HELD ACCOUNTABLE DURING THE CONSTRUCTION FOR ALL SITE IMPROVEMENTS. COMPATIBILITY WITH SECTION 803.803 FLORIDA STATUTES (FS), AND THE 5TH EDITION (2020) FLORIDA ACCESSIBILITY CODES FOR BUILDING CONSTRUCTION (FACBC), IS MANDATORY. IF INCORRECT AT FINAL INSPECTION, CONTRACTOR WILL BE REQUIRED TO MODIFY CONSTRUCTION TO COMPLY WITH FS AND FACBC. THE FOLLOWING ITEMS TAKE PRECEDENCE AND SUPERSEDE OTHER SITE DETAILS ON DRAWINGS:

- ACCESSIBLE PARKING SPACE SHALL BE LOCATED ON AN ACCESSIBLE ROUTE NO LESS THAN 44' WIDE SO THAT USERS WILL NOT BE COMPELLED TO WALK OR WHEEL BEHIND PARKED VEHICLES EXCEPT BEHIND HIS OR HER OWN VEHICLE. §208.1 AND §502.3, FACBC AND FS 553.041.

- ACCESSIBLE PARKING SPACES AND ACCESS AISLES SERVING A PARTICULAR BUILDING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE FROM THE ACCESSIBLE (H/C) PARKING TO AN ACCESSIBLE ENTRANCE. §208.1, FACBC AND FS 553.5041 (B)(6).

- ACCESSIBLE PARKING SPACES SHALL BE 12' WIDE, AND OUTLINES WITH BLUE PAINT. §502.2 AND §502.6, FACBC.

- ACCESS AISLES REQUIRED ADJACENT TO PARKING SPACES SHALL BE 8' WIDE WITH DIAGONAL STRIPING. §502.6, FACBC

- PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL (NOT TO EXCEED 1:48) ON A STABLE, FIRM AND SLOP RESISTANT SURFACE. RE: §502.1 AND §502.3, FACBC

- ACCESSIBLE PARKING SIGNS SHALL BE FOOT APPROVED AND SHALL READ PARKING FOR DISABLED PERMIT ONLY AND SHALL INDICATE A \$250 FINE FOR ILLEGAL USE. INSTALL SIGNS A MINIMUM 60" (INCHES) FROM THE GROUND TO THE BOTTOM OF THE SIGN(S). RE: §502.6, FACBC AND FS 553.5041.

- CURB RAMPS SHALL NOT EXCEED 1:12 SLOPE, AND CURB RAMP FLARES SHALL NOT EXCEED 1:10 SLOPE. CURB RAMPS AND FLARED SIDES SHALL NOT ENCRATCUP ON PARKING SPACES, ACCESS AISLES, OR VEHICULAR TRAFFIC LANES. THE COUNTER SLOPES OF ADJACENT ROAD SURFACES AND GUTTERS SHALL NOT EXCEED 1:20. RE: §405.2, §406.2 AND §405.19, FACBC

- A LANDING WITH A MINIMUM CLEAR LENGTH OF 36" SHALL BE LOCATED AT THE TOP SIDE OF EACH CURB RAMP WITH A CLEAR WIDTH AT LEAST AS WIDE AS THE CURB RAMP. (EXCLUDING FLARED SIDES) LEADING TO IT. EXCEPTION: FOR ALTERATIONS, WHERE THERE IS NO LANDING, CURB RAMP FLARES SHALL BE PROVIDED, AND SHALL NOT BE STEEPER THAN 1:12 SLOPE. RE: §406, FACBC

- ALL RAMPS WITH A RISE GREATER THAN 8" SHALL PROVIDE EDGE PROTECTION COMPLYING WITH §405.9 FACBC. RAMPS SHALL HAVE A 60" MIN LEVEL LANDINGS AT THE TOP AND BOTTOM. RE: §405.7, FACBC

- ALL RAMPS WITH A RISE GREATER THAN 8" SHALL HAVE HANDRAILS ON BOTH SIDES WITH 12" HORIZONTAL EXTENSIONS AT THE TOP AND BOTTOM OF THE RAMP. RE: §1010.9 FBC 8 (FLORIDA BUILDING CODE - BUILDING AND §605.10 FACBC

- ACCESSIBLE ROUTES TO "MAIN ENTRY" FROM AN ACCESSIBLE PARKING SPACE, AND FROM THE "PUBLIC WAY", SHALL NOT EXCEED 1:20 SLOPE (UNLESS RAMPS AND HANDRAILS ARE PROVIDED) WITH CROSS SLOPE NOT IN EXCESS OF 1:48. RE: §206, §402 AND §403, FACBC

- CONNECT BUILDINGS WITHIN THE SAME SITE WITH AN ACCESSIBLE ROUTE WHICH SHALL NOT EXCEED 1:20 SLOPES UNLESS RAMPS AND HANDRAILS ARE PROVIDED, AND A MAXIMUM CROSS SLOPE OF 1:48. RE: §206, FACBC.

\* EXCEPION: AN ACCESSIBLE ROUTE SHALL NOT BE REQUIRED BETWEEN ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES IF THE ONLY MEANS OF ACCESS BETWEEN THEM IS A VEHICULAR WAY NOT PROVIDING PEDESTRIAN ACCESS. RE: §206.2, FACBC



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HIS HOUSE FOR HER  
MAJOR SITE PLAN  
MARION COUNTY, FL  
GENERAL NOTES

DATE 6/27/2025  
DRAWN BY SGS  
CHECKED BY TDC  
PROJECT # E22017-0000  
FILE NAME

Sheet Number 02

REVISIONS  
DATE  
BY

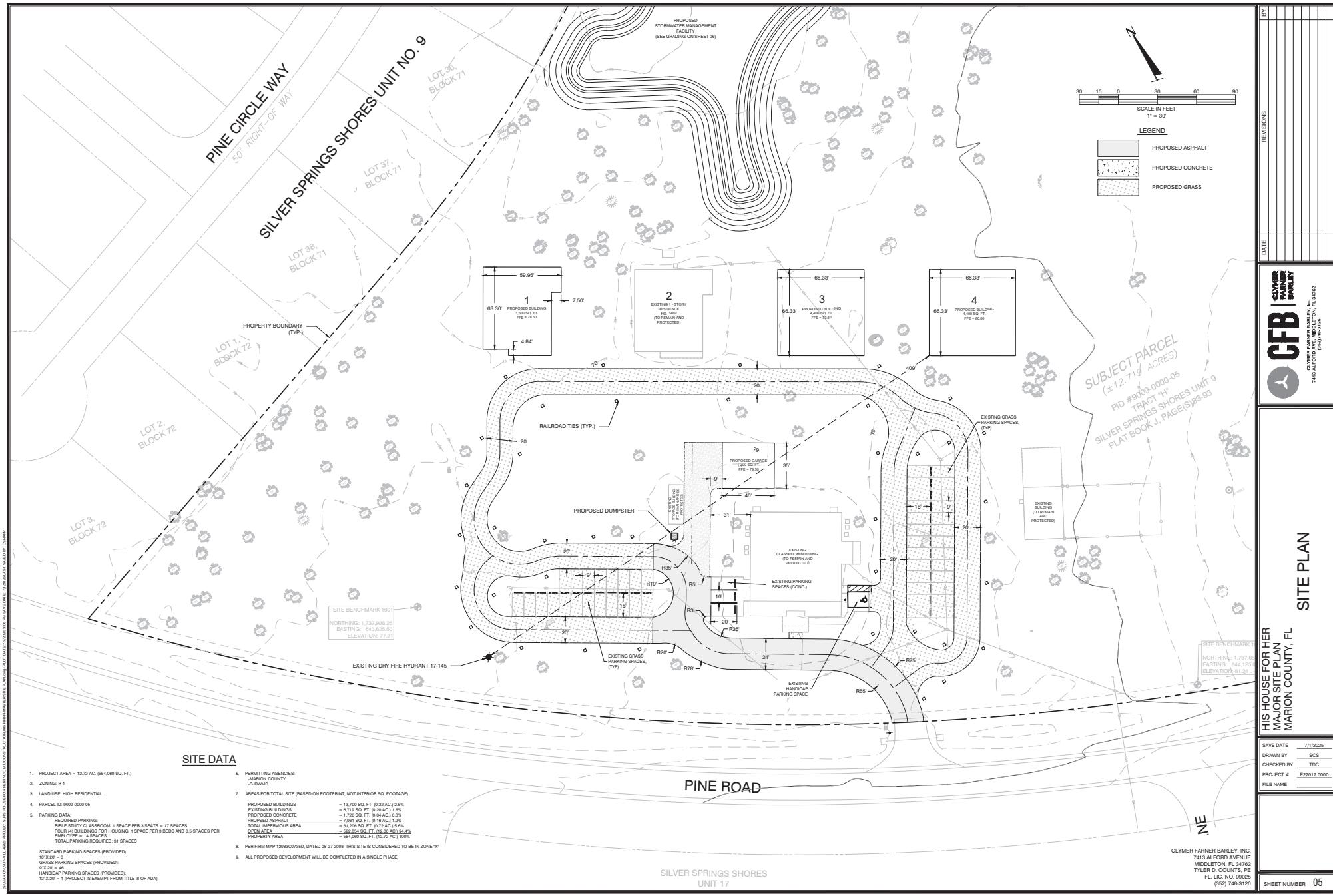


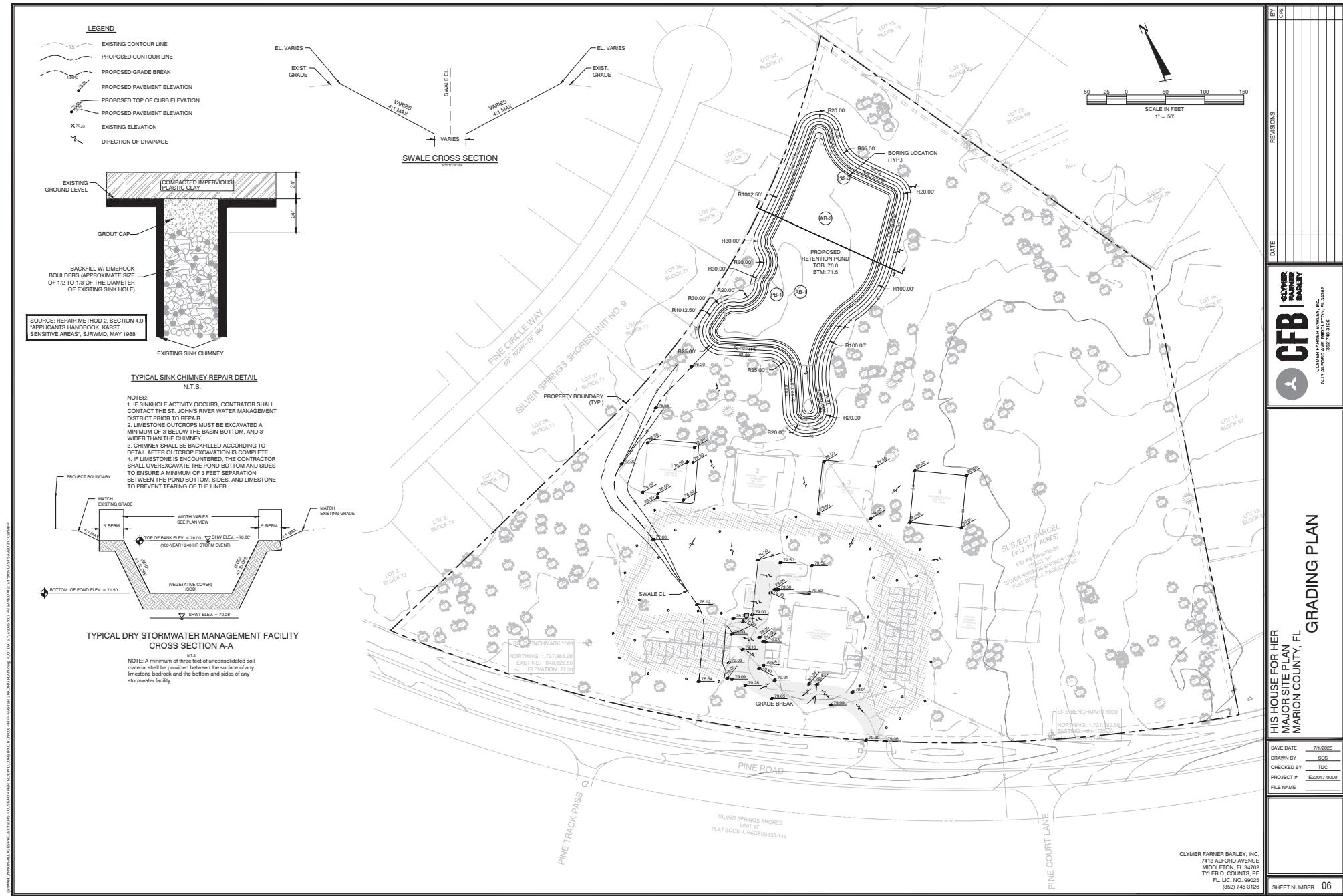
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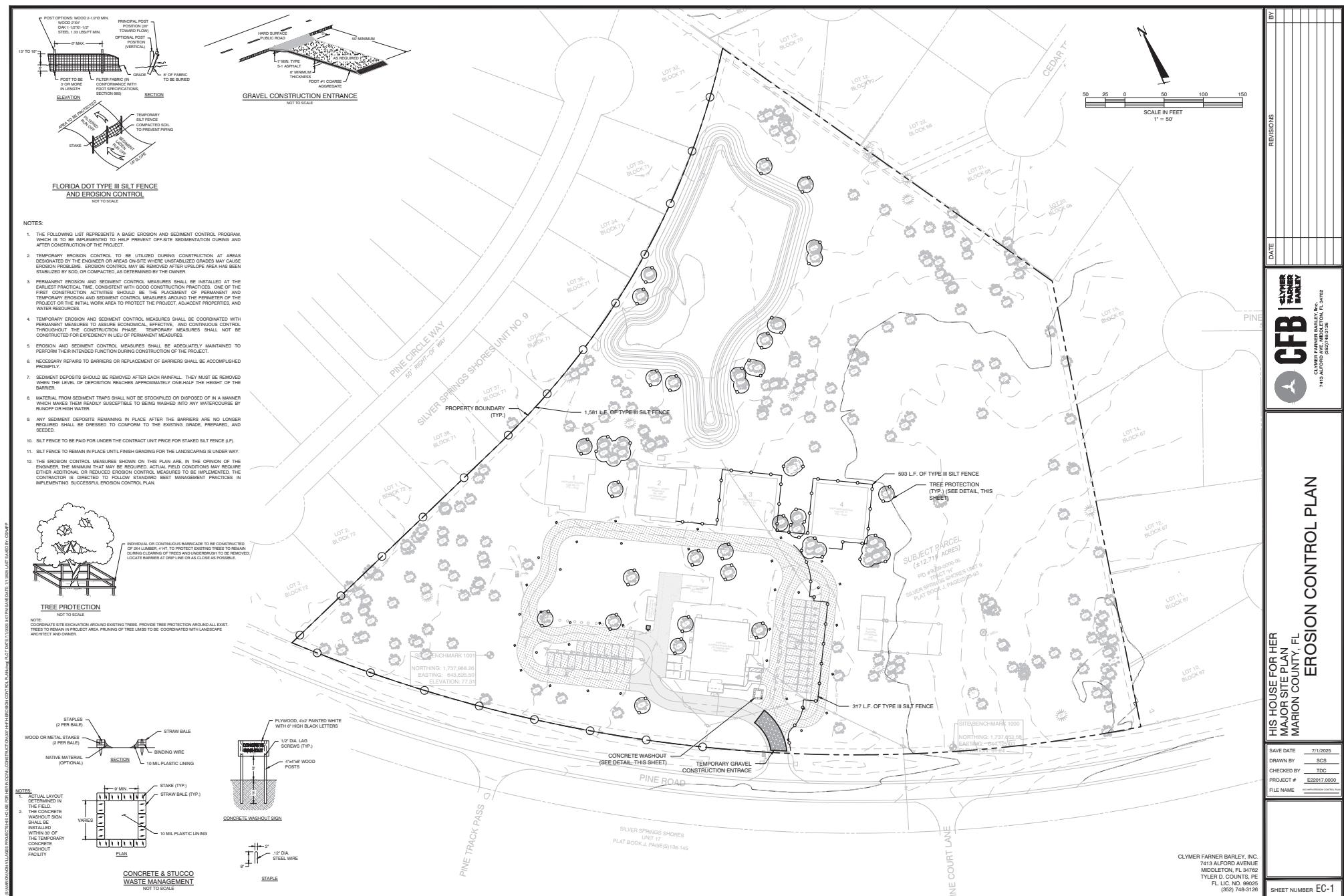


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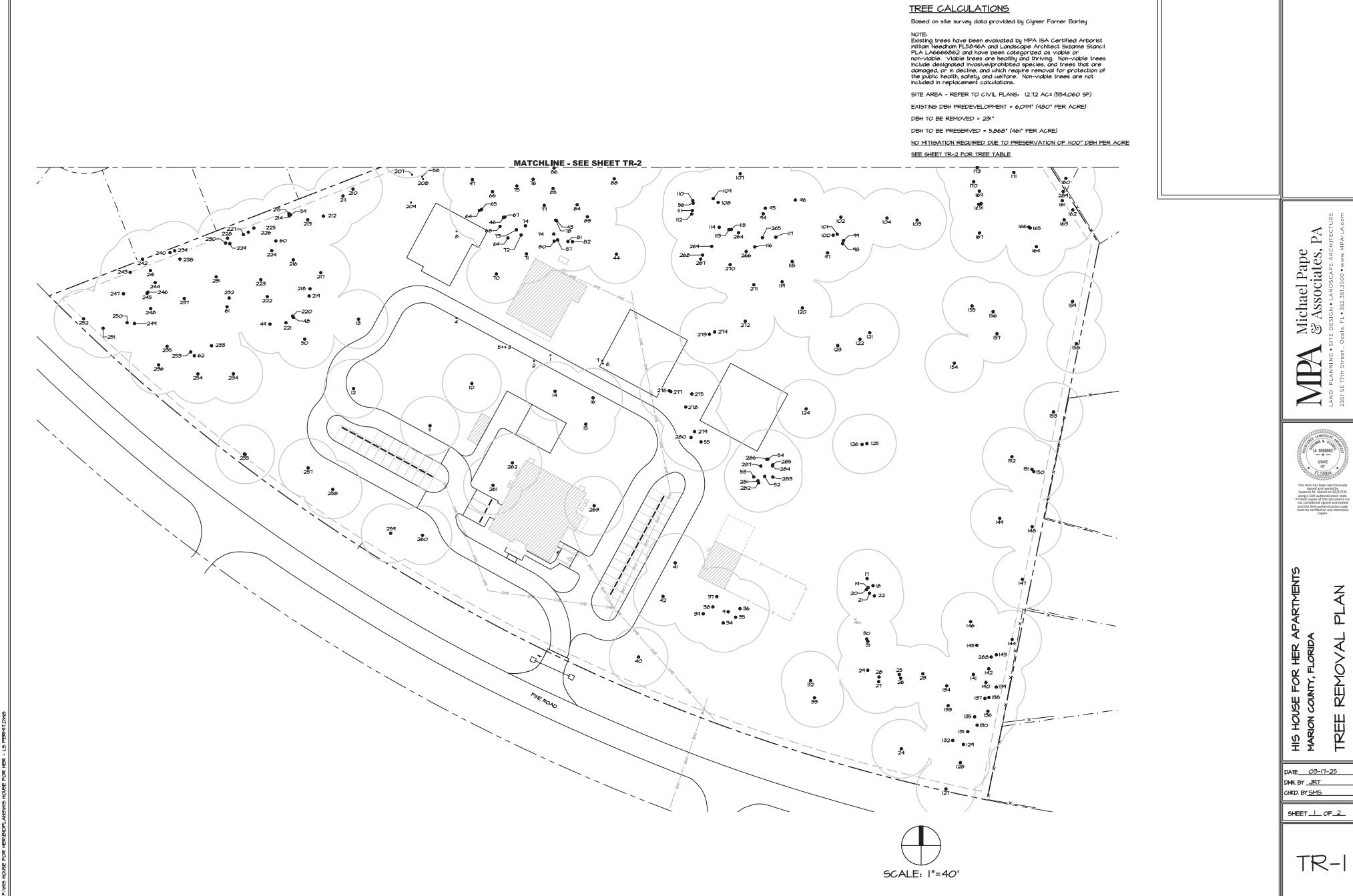


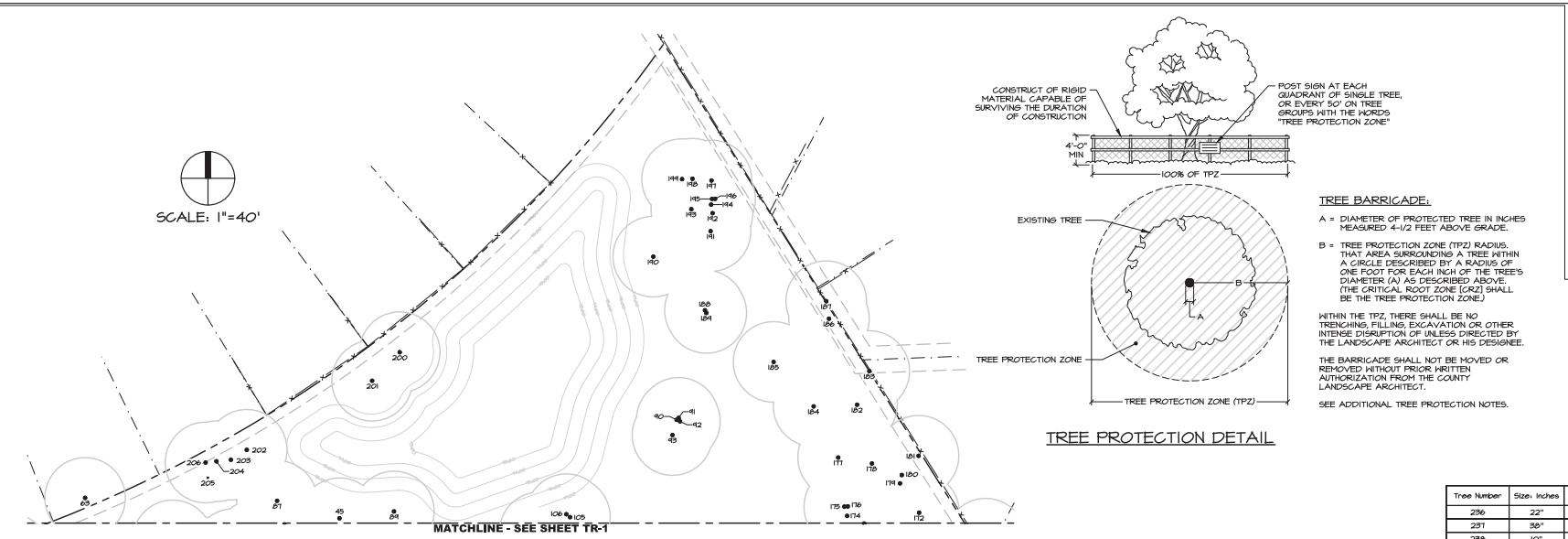






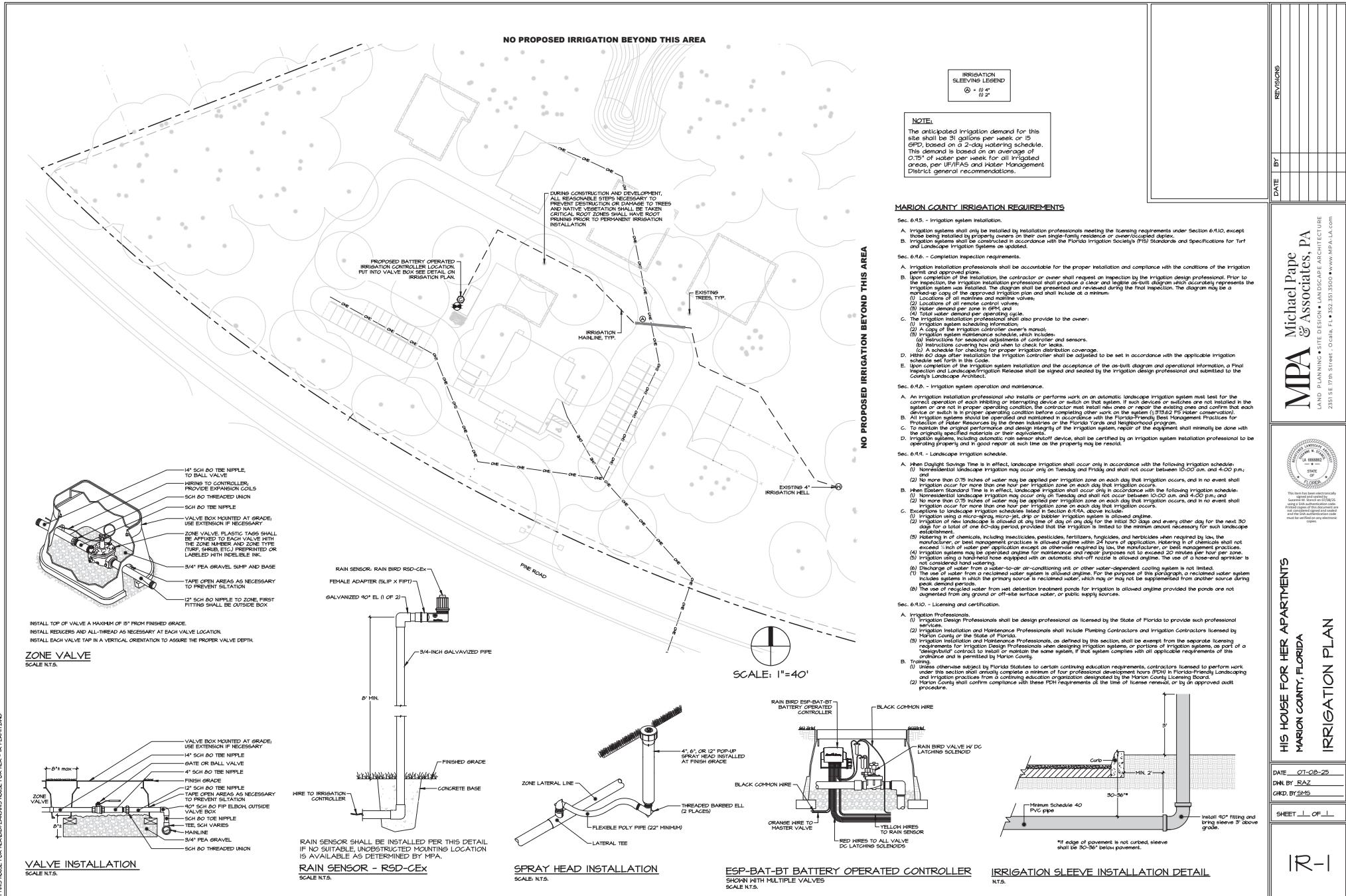


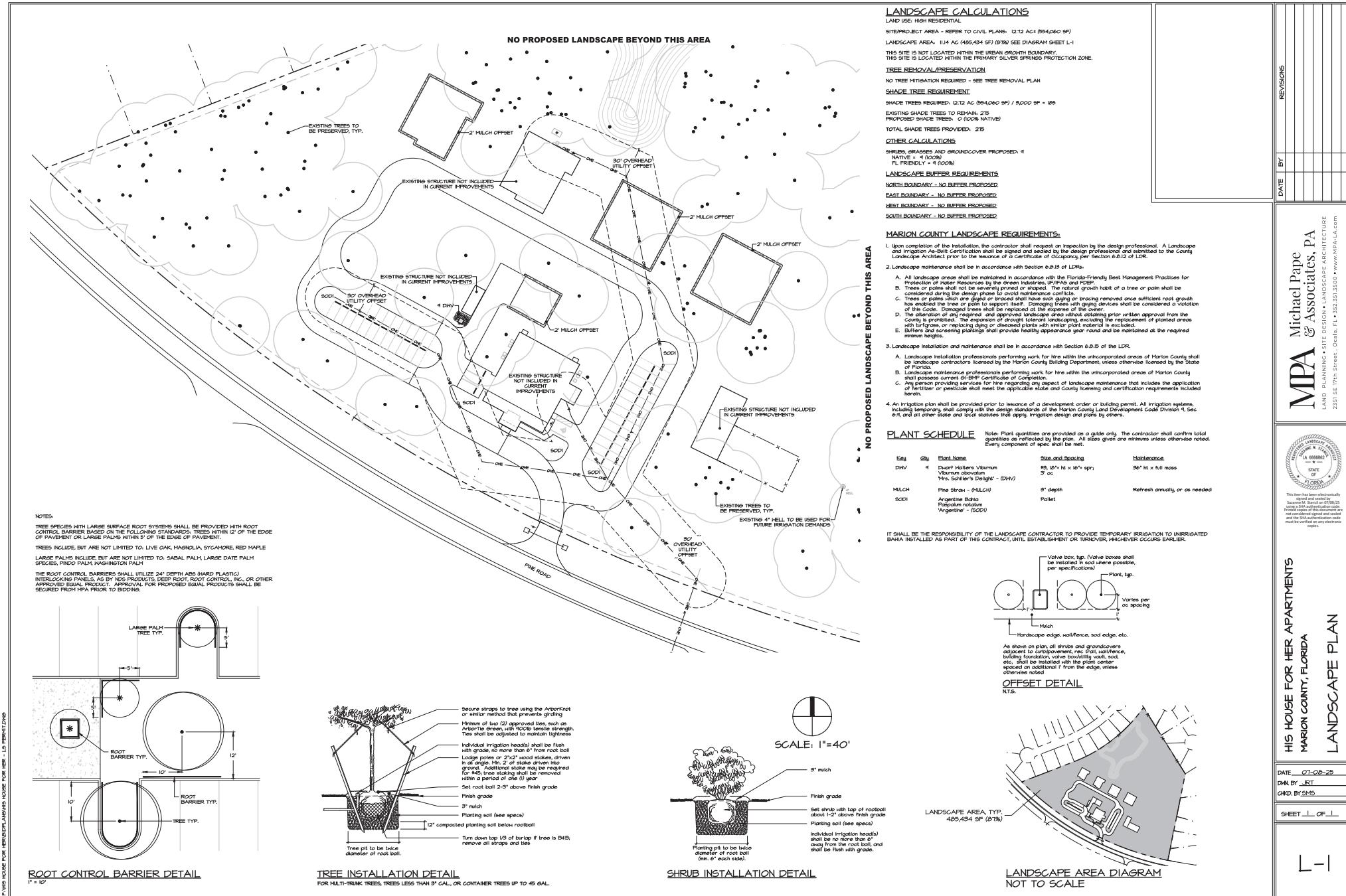


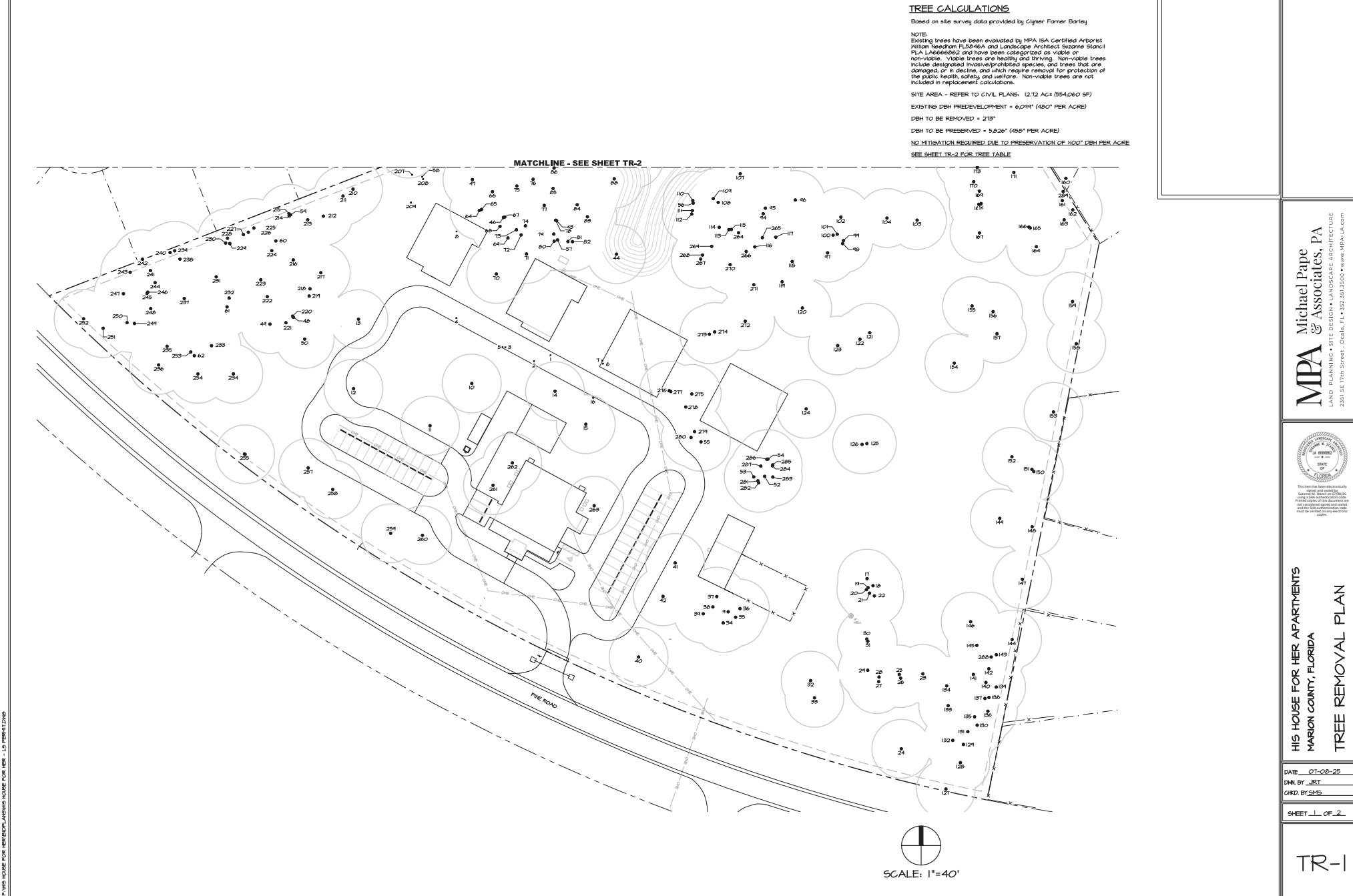


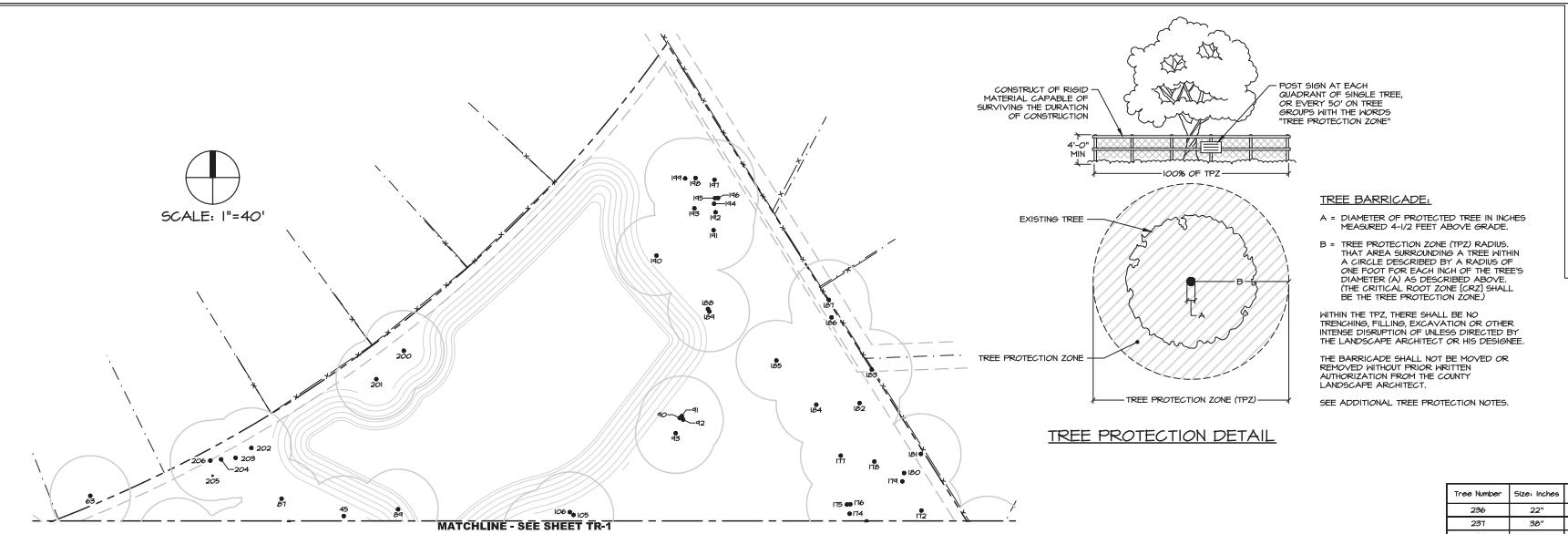
Tree Number	Size: Inches	Tree Type	V/N/V	Preserve/Remove
1	25"	LIVE OAK	V	REMOVE
2	12"	LIVE OAK	V	REMOVE
3	18"	LIVE OAK	V	REMOVE
4	22"	LIVE OAK	V	REMOVE
5	20"	LIVE OAK	V	REMOVE
6	12"	LIVE OAK	V	REMOVE
7	11"	LIVE OAK	V	REMOVE
8	24"	LIVE OAK	V	REMOVE
9	24"	LIVE OAK	V	PRESERVE
10	30"	LIVE OAK	V	PRESERVE
11	44"	LIVE OAK	V	PRESERVE
12	36"	LIVE OAK	V	PRESERVE
13	36"	LIVE OAK	V	PRESERVE
14	18"	LIVE OAK	V	PRESERVE
15	72"	LIVE OAK	V	PRESERVE
16	42"	LIVE OAK	V	PRESERVE
17	22"	LIVE OAK	V	PRESERVE
18	20"	LIVE OAK	V	PRESERVE
19	12"	LIVE OAK	V	PRESERVE
20	24"	LIVE OAK	V	PRESERVE
21	12"	LIVE OAK	V	PRESERVE
22	15"	LIVE OAK	V	PRESERVE
23	30"	LIVE OAK	V	PRESERVE
24	20"	PINE	V	PRESERVE
25	13"	LIVE OAK	V	PRESERVE
26	12"	LIVE OAK	V	PRESERVE
27	11"	LIVE OAK	V	PRESERVE
28	20"	LIVE OAK	V	PRESERVE
29	24"	LIVE OAK	V	PRESERVE
30	12"	LIVE OAK	V	PRESERVE
31	24"	LIVE OAK	V	PRESERVE
32	22"	CHERRY	V	PRESERVE
33	22"	LIVE OAK	V	PRESERVE
34	12"	LIVE OAK	V	PRESERVE
35	12"	LIVE OAK	V	PRESERVE
36	10"	LIVE OAK	V	PRESERVE
37	15"	LIVE OAK	V	PRESERVE
38	26"	PINE	V	PRESERVE
39	15"	LIVE OAK	V	PRESERVE
40	24"	LIVE OAK	V	PRESERVE
41	30"	LIVE OAK	V	PRESERVE
42	20"	LIVE OAK	V	PRESERVE
43	19"	LIVE OAK	V	PRESERVE
44	19"	LIVE OAK	V	PRESERVE
45	19"	LIVE OAK	V	PRESERVE
46	24"	LIVE OAK	V	PRESERVE
47	24"	LIVE OAK	V	PRESERVE

Tree Number	Size: Inches	Tree Type	V/N/V	Preserve/Remove	
48	36"	LIVE OAK	V	PRESERVE	
49	36"	LIVE OAK	V	PRESERVE	
50	36"	LIVE OAK	V	PRESERVE	
51	21"	LIVE OAK	V	PRESERVE	
52	10"	LIVE OAK	V	PRESERVE	
53	11"	LIVE OAK	V	PRESERVE	
54	12"	LIVE OAK	V	PRESERVE	
55	34"	LIVE OAK	V	PRESERVE	
56	10"	LIVE OAK	V	PRESERVE	
57	13"	LIVE OAK	V	PRESERVE	
58	12"	LIVE OAK	V	REMOVE	
59	16"	LIVE OAK	V	PRESERVE	
60	12"	LIVE OAK	V	PRESERVE	
61	11"	PINE	V	PRESERVE	
62	12"	LIVE OAK	V	PRESERVE	
63	13"	LIVE OAK	V	PRESERVE	
64	12"	LIVE OAK	V	PRESERVE	
65	24"	LIVE OAK	V	PRESERVE	
66	15"	LIVE OAK	V	PRESERVE	
67	28"	LIVE OAK	V	PRESERVE	
68	20"	LIVE OAK	V	PRESERVE	
69	10"	LIVE OAK	V	PRESERVE	
70	24"	LIVE OAK	V	PRESERVE	
71	23"	LIVE OAK	V	PRESERVE	
72	10"	PINE	V	PRESERVE	
73	10"	LIVE OAK	V	PRESERVE	
74	14"	LIVE OAK	V	PRESERVE	
75	15"	LIVE OAK	V	PRESERVE	
76	12"	LIVE OAK	V	PRESERVE	
77	25"	LIVE OAK	V	PRESERVE	
78	12"	LIVE OAK	V	PRESERVE	
79	20"	LIVE OAK	V	PRESERVE	
80	20"	LIVE OAK	V	PRESERVE	
81	24"	LIVE OAK	V	PRESERVE	
82	12"	LIVE OAK	V	PRESERVE	
83	34"	LIVE OAK	V	PRESERVE	
84	20"	LIVE OAK	V	PRESERVE	
85	15"	LIVE OAK	V	PRESERVE	
86	26"	PINE	V	PRESERVE	
87	15"	LIVE OAK	V	PRESERVE	
88	16"	LIVE OAK	V	PRESERVE	
89	12"	LIVE OAK	V	PRESERVE	
90	25"	LIVE OAK	V	PRESERVE	
91	16"	LIVE OAK	V	PRESERVE	
92	12"	LIVE OAK	V	PRESERVE	
93	21"	LIVE OAK	V	PRESERVE	
94	22"	LIVE OAK	V	PRESERVE	
95	10"	LIVE OAK	V	PRESERVE	
96	12"	LIVE OAK	V	PRESERVE	
97	18"	LIVE OAK	V	PRESERVE	
98	22"	LIVE OAK	V	PRESERVE	
99	12"	LIVE OAK	V	PRESERVE	
100	10"	LIVE OAK	V	PRESERVE	
101	23"	LIVE OAK	V	PRESERVE	
102	15"	LIVE OAK	V	PRESERVE	
103	24"	LIVE OAK	V	PRESERVE	
104	14"	LIVE OAK	V	PRESERVE	
105	22"	LIVE OAK	V	PRESERVE	
106	16"	LIVE OAK	V	PRESERVE	
107	32"	LIVE OAK	V	PRESERVE	
108	16"	LIVE OAK	V	PRESERVE	
109	10"	LIVE OAK	V	PRESERVE	
110	22"	LIVE OAK	V	PRESERVE	
111	10"	LIVE OAK	V	PRESERVE	
112	14"	LIVE OAK	V	PRESERVE	
113	10"	LIVE OAK	V	PRESERVE	
114	10"	LIVE OAK	V	PRESERVE	
115	10"	LIVE OAK	V	PRESERVE	
116	11"	LIVE OAK	V	PRESERVE	
117	15"	LIVE OAK	V	PRESERVE	
118	22"	LIVE OAK	V	PRESERVE	
119	20"	LIVE OAK	V	PRESERVE	
120	20"	LIVE OAK	V	PRESERVE	
121	32"	LIVE OAK	V	PRESERVE	
122	20"	LIVE OAK	V	PRESERVE	
123	42"	LIVE OAK	V	PRESERVE	
124	22"	LIVE OAK	V	PRESERVE	
125	11"	LIVE OAK	V	PRESERVE	
126	14"	LIVE OAK	V	PRESERVE	
127	30"	LIVE OAK	V	PRESERVE	
128	50"	LIVE OAK	V	PRESERVE	
129	44"	LIVE OAK	V	PRESERVE	
130	12"	LIVE OAK	V	PRESERVE	
131	14"	LIVE OAK	V	PRESERVE	
132	21"	LIVE OAK	V	PRESERVE	
133	22"	LIVE OAK	V	PRESERVE	
134	11"	LIVE OAK	V	PRESERVE	
135	18"	LIVE OAK	V	PRESERVE	
136	28"	LIVE OAK	V	PRESERVE	
137	10"	LIVE OAK	V	PRESERVE	
138	22"	LIVE OAK	V	PRESERVE	
139	16"	LIVE OAK	V	PRESERVE	
140	12"	LIVE OAK	V	PRESERVE	
141	30"	LIVE OAK	V	PRESERVE	
142	10"	LIVE OAK	V	PRESERVE	
143	24"	LIVE OAK	V	PRESERVE	
144	17"	LIVE OAK	V	PRESERVE	
145	10"	LIVE OAK	V	PRESERVE	
146	18"	PALM	V	PRESERVE	
147	10"	LIVE OAK	V	PRESERVE	
148	17"	LIVE OAK	V	PRESERVE	
149	15"	LIVE OAK	V	PRESERVE	
150	15"	LIVE OAK	V	PRESERVE	
151	21"	LIVE OAK	V	PRESERVE	
152	18"	LIVE OAK	V	PRESERVE	
153	10"	PINE	V	PRESERVE	
154	56"	LIVE OAK	V	PRESERVE	
155	14"	LIVE OAK	V	PRESERVE	
156	30"	PINE	V	PRESERVE	
157	17"	LIVE OAK	V	PRESERVE	
158	22"	LIVE OAK	V	PRESERVE	
159	15"	LIVE OAK	V	PRESERVE	
160	24"	LIVE OAK	V	PRESERVE	
161	17"	LIVE OAK	V	PRESERVE	
162	35"	LIVE OAK	V	PRESERVE	
163	48"	LIVE OAK	V	PRESERVE	
164	17"	LIVE OAK	V	PRESERVE	
165	15"	LIVE OAK	V	PRESERVE	
166	15"	LIVE OAK	V	PRESERVE	
167	18"	LIVE OAK	V	PRESERVE	
168	15"	LIVE OAK	V	PRESERVE	
169	15"	LIVE OAK	V	PRESERVE	
170	48"	LIVE OAK	V	PRESERVE	
171	10"	LIVE OAK	V	PRESERVE	
172	21"	LIVE OAK	V	PRESERVE	
173	38"	LIVE OAK	V	PRESERVE	
174	26"	LIVE OAK	V	PRESERVE	
175	28"	LIVE OAK	V	PRESERVE	
176	18"	LIVE OAK	V	PRESERVE	
177	25"	LIVE OAK	V	PRESERVE	
178	20"	LIVE OAK	V	PRESERVE	
179	18"	LIVE OAK	V	PRESERVE	
180	24"	LIVE OAK	V	PRESERVE	
181	21"	LIVE OAK	V	PRESERVE	
182	24"	LIVE OAK	V	PRESERVE	
183	22"	LIVE OAK	V	PRESERVE	
184	12"	LIVE OAK	V	PRESERVE	
185	16"	LIVE OAK	V	PRESERVE	
186	18"	LIVE OAK	V	PRESERVE	
187	10"	LIVE OAK	V	PRESERVE	
188	17"	LIVE OAK	V	PRESERVE	
189	12"	LIVE OAK	V	PRESERVE	
190	15"	LIVE OAK	V	PRESERVE	
191	21"	LIVE OAK	V	PRESERVE	
192	17"	PINE	V	PRESERVE	
193	10"	LIVE OAK	V	PRESERVE	
194	23"	LIVE OAK	V	PRESERVE	
195	13"	LIVE OAK	V	PRESERVE	
196	20"	LIVE OAK	V	PRESERVE	
197	10"	LIVE OAK	V	PRESERVE	
198	18"	LIVE OAK	V	PRESERVE	
199	15"	LIVE OAK	V	PRESERVE	
200	14"	LIVE OAK	V	PRESERVE	
201	26"	LIVE OAK	V	PRESERVE	
202	18"	LIVE OAK	V	PRESERVE	
203	20"	LIVE OAK	V	PRESERVE	
204	10"	LIVE OAK	V	PRESERVE	
205	21"	LIVE OAK	V	PRESERVE	
206	17"	PINE	V	PRESERVE	
207	28"	LIVE OAK	V	PRESERVE	
208	14"	LIVE OAK	V	PRESERVE	
209	20"	LIVE OAK	V	PRESERVE	
210	10"	LIVE OAK	V	PRESERVE	
211	21"	LIVE OAK	V	PRESERVE	
212	22"	LIVE OAK	V	PRESERVE	
213	12"	CHERRY	V	PRESERVE	
214	12"	CHERRY	V	PRESERVE	
215	20"	LATER	OAK	V	PRESERVE
216	12"	LATER	OAK	V	PRESERVE
217	10"	LATER	OAK	V	PRESERVE
218	36"	LIVE	OAK	V	PRESERVE
219	30"	LIVE	OAK	V	PRESERVE
220	12"	LIVE	OAK	V	PRESERVE
221	11"	LIVE	OAK	V	PRESERVE
222	22"	LIVE	OAK	V	PRESERVE
223	25"	LIVE	OAK	V	PRESERVE
224	10"	LIVE	OAK	V	PRESERVE
225	18"	LIVE	OAK	V	PRESERVE
226	14"	LIVE	OAK	V	PRESERVE
227	15"	LIVE	OAK	V	PRESERVE
228	10"	LIVE	OAK	V	PRESERVE
229	13"	LIVE	OAK	V	PRESERVE
230	10"	LIVE	OAK	V	PRESERVE
231	23"	LIVE	OAK	V	PRESERVE
232	15"	LIVE	OAK	V	PRESERVE
233	21"	LIVE	OAK	V	PRESERVE
234	12"	LIVE	OAK	V	PRESERVE
235	16"	LIVE	OAK	V	PRESERVE
236	14"	LIVE	OAK	V	PRESERVE
237	11"	LIVE	OAK	V	PRESERVE
238	17"	LIVE	OAK	V	PRESERVE
239	12"	LIVE	OAK	V	PRESERVE
240	10"	LIVE	OAK	V	PRESERVE
241	14"	LIVE	OAK	V	PRESERVE
242	32"	LIVE	OAK	V	PRESERVE
243	12"	LIVE	OAK	V	PRESERVE
244	18"	LIVE	OAK	V	PRESERVE
245	10"	LIVE	OAK	V	PRESERVE
246	10"	LIVE	OAK	V	PRESERVE
247	14"	LIVE	OAK	V	PRESERVE
248	25"	LIVE	OAK	V	PRESERVE
249	14"	LIVE	OAK	V	PRESERVE
250	56"	LIVE	OAK	V	PRESERVE
251	14"	LIVE	OAK	V	PRESERVE
252	30"	LIVE	OAK	V	PRESERVE
253	17"	LIVE	OAK	V	PRESERVE
254	26"	LIVE	OAK	V	PRESERVE
255	15"	LIVE	OAK	V	PRESERVE
256	23"	PINE	V	PRESERVE	
257	14"	LIVE	OAK	V	PRESERVE
258	20"	LIVE	OAK	V	PRESERVE
259	16"	LIVE	OAK	V	PRESERVE
260	48"	LIVE	OAK	V	PRESERVE
261	18"	LIVE	OAK	V	PRESERVE
262	20"	LIVE	OAK	V	PRESERVE
263	14"	LIVE	OAK	V	PRESERVE
264	19"				









Tree Number	Size: Inches	Tree Type	V/N/V	Preserve/Remove
1	25"	LIVE OAK	V	REMOVE
2	12"	LIVE OAK	V	REMOVE
3	18"	LIVE OAK	V	REMOVE
4	22"	LIVE OAK	V	REMOVE
5	20"	LIVE OAK	V	REMOVE
6	12"	LIVE OAK	V	REMOVE
7	11"	LIVE OAK	V	REMOVE
8	24"	LIVE OAK	V	REMOVE
9	24"	LIVE OAK	V	PRESERVE
10	30"	LIVE OAK	V	PRESERVE
11	44"	LIVE OAK	V	PRESERVE
12	36"	LIVE OAK	V	PRESERVE
13	36"	LIVE OAK	V	PRESERVE
14	18"	LIVE OAK	V	PRESERVE
15	72"	LIVE OAK	V	PRESERVE
16	42"	LIVE OAK	V	REMOVE
17	22"	LIVE OAK	V	PRESERVE
18	20"	LIVE OAK	V	PRESERVE
19	12"	LIVE OAK	V	PRESERVE
20	24"	LIVE OAK	V	PRESERVE
21	12"	LIVE OAK	V	PRESERVE
22	15"	LIVE OAK	V	PRESERVE
23	30"	LIVE OAK	V	PRESERVE
24	20"	PINE	V	PRESERVE
25	13"	LIVE OAK	V	PRESERVE
26	12"	LIVE OAK	V	PRESERVE
27	11"	LIVE OAK	V	PRESERVE
28	20"	LIVE OAK	V	PRESERVE
29	24"	LIVE OAK	V	PRESERVE
30	12"	LIVE OAK	V	PRESERVE
31	24"	LIVE OAK	V	PRESERVE
32	22"	CHERRY	V	PRESERVE
33	22"	LIVE OAK	V	PRESERVE
34	12"	LIVE OAK	V	PRESERVE
35	12"	LIVE OAK	V	PRESERVE
36	10"	LIVE OAK	V	PRESERVE
37	15"	LIVE OAK	V	PRESERVE
38	26"	PINE	V	PRESERVE
39	15"	LIVE OAK	V	PRESERVE
40	24"	LIVE OAK	V	PRESERVE
41	30"	LIVE OAK	V	PRESERVE
42	20"	LIVE OAK	V	PRESERVE
43	19"	LIVE OAK	V	PRESERVE
44	19"	LIVE OAK	V	PRESERVE
45	19"	LIVE OAK	V	PRESERVE
46	24"	LIVE OAK	V	PRESERVE
47	24"	LIVE OAK	V	PRESERVE

Tree Number	Size: Inches	Tree Type	V/N/V	Preserve/Remove
48	36"	LIVE OAK	V	PRESERVE
49	36"	LIVE OAK	V	PRESERVE
50	36"	LIVE OAK	V	PRESERVE
51	21"	LIVE OAK	V	PRESERVE
52	10"	LIVE OAK	V	PRESERVE
53	11"	LIVE OAK	V	PRESERVE
54	12"	LIVE OAK	V	PRESERVE
55	34"	LIVE OAK	V	PRESERVE
56	10"	LIVE OAK	V	PRESERVE
57	13"	LIVE OAK	V	PRESERVE
58	12"	LIVE OAK	V	REMOVE
59	16"	LIVE OAK	V	PRESERVE
60	12"	LIVE OAK	V	PRESERVE
61	11"	PINE	V	PRESERVE
62	12"	LIVE OAK	V	PRESERVE
63	13"	LIVE OAK	V	PRESERVE
64	12"	LIVE OAK	V	PRESERVE
65	24"	LIVE OAK	V	PRESERVE
66	15"	LIVE OAK	V	PRESERVE
67	28"	LIVE OAK	V	PRESERVE
68	20"	LIVE OAK	V	PRESERVE
69	10"	LIVE OAK	V	PRESERVE
70	24"	LIVE OAK	V	PRESERVE
71	23"	LIVE OAK	V	PRESERVE
72	10"	PINE	V	PRESERVE
73	10"	LIVE OAK	V	PRESERVE
74	14"	LIVE OAK	V	PRESERVE
75	15"	LIVE OAK	V	PRESERVE
76	12"	LIVE OAK	V	PRESERVE
77	24"	LIVE OAK	V	PRESERVE
78	12"	LIVE OAK	V	PRESERVE
79	20"	LIVE OAK	V	PRESERVE
80	24"	LIVE OAK	V	PRESERVE
81	14"	LIVE OAK	V	PRESERVE
82	12"	LIVE OAK	V	PRESERVE
83	25"	LIVE OAK	V	PRESERVE
84	16"	LIVE OAK	V	PRESERVE
85	15"	LIVE OAK	V	PRESERVE
86	18"	PALM	V	PRESERVE
87	10"	LIVE OAK	V	PRESERVE
88	17"	LIVE OAK	V	PRESERVE
89	15"	LIVE OAK	V	PRESERVE
90	15"	LIVE OAK	V	PRESERVE
91	24"	LIVE OAK	V	PRESERVE
92	20"	LIVE OAK	V	PRESERVE
93	48"	LIVE OAK	V	PRESERVE
94	35"	LIVE OAK	V	PRESERVE
95	18"	LIVE OAK	V	PRESERVE
96	12"	LIVE OAK	V	PRESERVE
97	21"	LIVE OAK	V	PRESERVE
98	22"	LIVE OAK	V	PRESERVE
99	10"	LIVE OAK	V	PRESERVE
100	12"	LIVE OAK	V	PRESERVE
101	23"	LIVE OAK	V	PRESERVE
102	15"	LIVE OAK	V	PRESERVE
103	24"	LIVE OAK	V	PRESERVE
104	14"	LIVE OAK	V	PRESERVE
105	22"	LIVE OAK	V	PRESERVE
106	16"	LIVE OAK	V	PRESERVE
107	32"	LIVE OAK	V	PRESERVE
108	16"	LIVE OAK	V	PRESERVE
109	10"	LIVE OAK	V	PRESERVE
110	22"	LIVE OAK	V	PRESERVE
111	10"	LIVE OAK	V	PRESERVE
112	21"	LIVE OAK	V	PRESERVE
113	10"	LIVE OAK	V	PRESERVE
114	14"	LIVE OAK	V	PRESERVE
115	10"	LIVE OAK	V	PRESERVE
116	11"	LIVE OAK	V	PRESERVE
117	15"	LIVE OAK	V	PRESERVE
118	22"	LIVE OAK	V	PRESERVE
119	14"	LIVE OAK	V	PRESERVE
120	20"	LIVE OAK	V	PRESERVE
121	32"	LIVE OAK	V	PRESERVE
122	20"	LIVE OAK	V	PRESERVE
123	42"	LIVE OAK	V	PRESERVE
124	22"	LIVE OAK	V	PRESERVE
125	11"	LIVE OAK	V	PRESERVE
126	11"	LIVE OAK	V	PRESERVE
127	30"	LIVE OAK	V	PRESERVE
128	50"	LIVE OAK	V	PRESERVE
129	44"	LIVE OAK	V	PRESERVE
130	12"	LIVE OAK	V	PRESERVE
131	14"	LIVE OAK	V	PRESERVE
132	21"	LIVE OAK	V	PRESERVE
133	22"	LIVE OAK	V	PRESERVE
134	20"	LIVE OAK	V	PRESERVE
135	15"	LIVE OAK	V	PRESERVE
136	10"	LIVE OAK	V	PRESERVE
137	15"	LIVE OAK	V	PRESERVE
138	26"	PINE	V	PRESERVE
139	15"	LIVE OAK	V	PRESERVE
140	16"	LIVE OAK	V	PRESERVE
141	12"	LIVE OAK	V	PRESERVE
142	25"	LIVE OAK	V	PRESERVE
143	16"	LIVE OAK	V	PRESERVE
144	15"	LIVE OAK	V	PRESERVE
145	16"	LIVE OAK	V	PRESERVE
146	18"	PALM	V	PRESERVE
147	10"	LIVE OAK	V	PRESERVE
148	17"	LIVE OAK	V	PRESERVE
149	12"	LIVE OAK	V	PRESERVE
150	21"	LIVE OAK	V	PRESERVE
151	10"	LIVE OAK	V	PRESERVE
152	36"	LIVE OAK	V	PRESERVE
153	12"	LIVE OAK	V	PRESERVE
154	54"	LIVE OAK	V	PRESERVE
155	38"	LIVE OAK	V	PRESERVE
156	40"	LIVE OAK	V	PRESERVE
157	35"	LIVE OAK	V	PRESERVE
158	22"	LIVE OAK	V	PRESERVE
159	15"	LIVE OAK	V	PRESERVE
160	24"	LIVE OAK	V	PRESERVE
161	17"	LIVE OAK	V	PRESERVE
162	35"	LIVE OAK	V	PRESERVE
163	48"	LIVE OAK	V	PRESERVE
164	17"	LIVE OAK	V	PRESERVE
165	15"	LIVE OAK	V	PRESERVE
166	15"	LIVE OAK	V	PRESERVE
167	18"	LIVE OAK	V	PRESERVE
168	15"	LIVE OAK	V	PRESERVE
169	14"	LIVE OAK	V	PRESERVE
170	48"	LIVE OAK	V	PRESERVE
171	10"	LIVE OAK	V	PRESERVE
172	21"	LIVE OAK	V	PRESERVE
173	38"	LIVE OAK	V	PRESERVE
174	26"	LIVE OAK	V	PRESERVE
175	15"	LIVE OAK	V	PRESERVE
176	22"	LIVE OAK	V	PRESERVE
177	15"	LIVE OAK	V	PRESERVE
178	18"	LIVE OAK	V	PRESERVE
179	10"	LIVE OAK	V	PRESERVE
180	20"	LIVE OAK	V	PRESERVE
181	15"	LIVE OAK	V	PRESERVE
182	21"	LIVE OAK	V	PRESERVE
183	22"	LIVE OAK	V	PRESERVE
184	12"	LIVE OAK	V	PRESERVE
185	17"	LIVE OAK	V	PRESERVE
186	18"	LIVE OAK	V	PRESERVE
187	10"	LIVE OAK	V	PRESERVE
188	17"	LIVE OAK	V	PRESERVE
189	12"	LIVE OAK	V	PRESERVE
190	35"	LIVE OAK	V	PRESERVE
191	15"	LIVE OAK	V	PRESERVE
192	17"	PINE	V	PRESERVE
193	10"	PINE	V	PRESERVE
194	10"	LIVE OAK	V	PRESERVE
195	16"	LIVE OAK	V	PRESERVE
196	15"	LIVE OAK	V	PRESERVE
197	10"	LIVE OAK	V	PRESERVE
198	17"	LIVE OAK	V	PRESERVE
199	15"	LIVE OAK	V	PRESERVE
200	10"	LIVE OAK	V	PRESERVE
201	26"	LIVE OAK	V	PRESERVE
202	18"	LIVE OAK	V	PRESERVE
203	23"	LIVE OAK	V	PRESERVE
204	10"	LIVE OAK	V	PRESERVE
205	21"	LIVE OAK	V	PRESERVE
206	17"	LIVE OAK	V	PRESERVE
207	28"	LIVE OAK	V	PRESERVE
208	14"	LIVE OAK	V	PRESERVE
209	20"	LIVE OAK	V	PRESERVE
210	17"	LIVE OAK	V	PRESERVE
211	21"	LIVE OAK	V	PRESERVE
212	23"	LIVE OAK	V	PRESERVE
213	12"	LIVE OAK	V	PRESERVE
214	24"	LIVE OAK	V	PRESERVE
215	28"	LIVE OAK	V	PRESERVE
216	14"	LIVE OAK	V	PRESERVE
217	26"	LIVE OAK	V	PRESERVE
218	14"	LIVE OAK	V	PRESERVE
219	24"	LIVE OAK	V	PRESERVE
220	46"	LIVE OAK	V	PRESERVE
221	11"	LIVE OAK	V	PRESERVE
222	22"	LIVE OAK	V	PRESERVE
223	25"	LIVE OAK	V	PRESERVE
224	20"	LIVE OAK	V	PRESERVE
225	18"	LIVE OAK	V	PRESERVE
226	24"	LIVE OAK	V	PRESERVE
227	15"	LIVE OAK	V	PRESERVE
228	10"	LIVE OAK	V	PRESERVE
229	13"	LIVE OAK	V	PRESERVE
230	10"	LIVE OAK	V	PRESERVE
231	23"	LIVE OAK	V	PRESERVE
232	15"	LIVE OAK	V	PRESERVE
233	21"	LIVE OAK	V	PRESERVE
234	12"	LIVE OAK	V	PRESERVE
235	16"	LIVE OAK	V	PRESERVE
236	11"	LIVE OAK	V	PRESERVE
237	17"	LIVE OAK	V	PRESERVE
238	14"	LIVE OAK	V	PRESERVE
239	10"	LIVE OAK	V	PRESERVE
240	17"	LIVE OAK	V	PRESERVE
241	14"	LIVE OAK	V	PRESERVE
242	20"	LIVE OAK	V	PRESERVE
243	12"	LIVE OAK	V	PRESERVE
244	16"	LIVE OAK	V	PRESERVE
245	10"	LIVE OAK	V	PRESERVE
246	10"	LIVE OAK	V	PRESERVE
247	14"	LIVE OAK	V	PRESERVE
248	25"	LIVE OAK	V	PRESERVE
249	14"	LIVE OAK	V	PRESERVE
250	24"	LIVE OAK	V	PRESERVE
251	14"	LIVE OAK	V	PRESERVE
252	30"	LIVE OAK	V	PRESERVE
253	17"	LIVE OAK	V	PRESERVE
254	26"	LIVE OAK	V	PRESERVE
255	15"	LIVE OAK	V	PRESERVE
256	23"	PINE	V	PRESERVE
257	14"	LIVE OAK	V	PRESERVE
258	20"	LIVE OAK	V	PRESERVE
259	16"	LIVE OAK	V	PRESERVE
260	18"	LIVE OAK	V	PRESERVE
261	16"	LIVE OAK	V	PRESERVE
262	20"	LIVE OAK	V	PRESERVE
263	14"	LIVE OAK	V	PRESERVE
264	19"	LIVE OAK	V	PRESERVE
265	15"	LIVE OAK	V	PRESERVE
266	23"	PINE	V	PRESERVE
267	14"	LIVE OAK	V	PRESERVE
268	14"	LIVE OAK	V	PRESERVE
269	26"	LIVE OAK	V	PRESERVE
270	24"	LIVE OAK	V	PRESERVE
271	10"	LIVE OAK	V	PRESERVE
272	26"	LIVE OAK	V	PRESERVE
273	16"	LIVE OAK	V	PRESERVE
274	23"	LIVE OAK	V	PRESERVE
275	12"	LIVE OAK	V	PRESERVE
276	17"	LIVE OAK		