

AGENCY	PERMIT #	SUBMITTED	STATUS
MARION COUNTY	32998	2025-04-04	IN REVIEW
SRRMMD	2041111-1	2025-04-04	IN REVIEW

DATE	REVISIONS	BY

MAJOR SITE PLAN

FOR

HIS HOUSE FOR HER

LEGAL DESCRIPTION

TRACT H, SILVER SPRINGS SHORES UNIT NO. 9, AS PER PLAT THEREOF RECORDED IN PLAT BOOK J, PAGE(S) 83 THROUGH 89, PUBLIC RECORDS OF MARION COUNTY, FLORIDA

SITE DATA

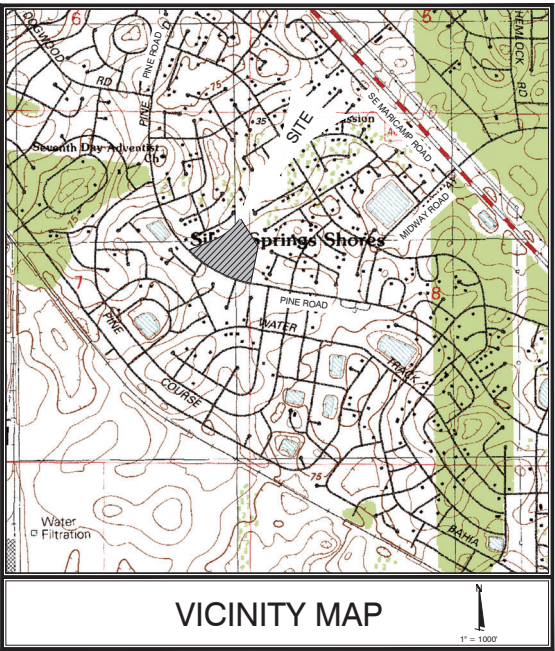
RESIDENTIAL AREA	= 198,188 SQ. FT. (4.55 AC.) 45.14%
RETENTION POND AREA	= 24,829 SQ. FT. (0.57 AC.) 5.69%
TOTAL IMPERVIOUS AREA	= 223,027 SQ. FT. (5.12 AC.) 50.79%
OPEN AREA	= 216,037 SQ. FT. (4.99 AC.) 49.21%
PROPERTY AREA	= 439,064 SQ. FT. (10.09 AC.) 100%

TRAFFIC IMPACT SUMMARY

LAND USE	INTENSITY	DAILY TRIPS	AM PEAK HOUR OF ADJACENT STREET TRAFFIC			PM PEAK HOUR OF ADJACENT STREET TRAFFIC		
			TOTAL	IN	OUT	TOTAL	IN	OUT
CONGREGATE CARE FACILITY	5 UNITS	11	2	1	1	3	2	1

NOTE 1: TRIP GENERATION WAS DERIVED USING THE ITE TRIP GENERATION MANUAL (11TH ED).
CONGREGATE CARE FACILITY (ITE LUC 283)

INDEPENDENT VARIABLE X = NUMBER OF UNITS



VICINITY MAP

SUBJECT LIES WITHIN THE PRIMARY SPRINGS PROTECTION ZONE
SECTION 7 & 8; TOWNSHIP 16 SOUTH; RANGE 23 EAST
MARION COUNTY, FLORIDA
VERTICAL DATUM - NAVD 1988
PARCEL ID: 9009-0000-05
FLU: HIGH RESIDENTIAL
FEMA FLOOD ZONE: X

SHEET INDEX

Sheet Number	Sheet Title
01	COVER
02	GENERAL NOTES
03	AERIAL
04	DEMOLITION PLAN
05	SITE PLAN
06	GRADING PLAN
EC-1	EROSION CONTROL PLAN

NOTE:
1. NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.

AREAS FOR TOTAL SITE (BASED ON FOOTPRINT, NOT INTERIOR SQ. FOOTAGE)	
PROPOSED BUILDINGS	= 13,760 SQ. FT. (0.31 AC.) 3.08%
EXISTING BUILDINGS	= 8,776 SQ. FT. (0.20 AC.) 1.98%
PROPOSED CONCRETE	= 1,726 SQ. FT. (0.04 AC.) 0.39%
PROPOSED ASPHALT	= 6,185 SQ. FT. (0.14 AC.) 1.15%
TOTAL IMPERVIOUS AREA	= 30,353 SQ. FT. (0.69 AC.) 6.93%
OPEN AREA	= 439,064 SQ. FT. (10.09 AC.) 99.99%
PROJECT AREA	= 384,060 SQ. FT. (8.77 AC.) 87.47%

LICENSED DESIGN PROFESSIONAL CERTIFICATION:
I, RENE ARNETT, HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS WAIVED.

OWNERS CERTIFICATION:
I, RENE ARNETT, HEREBY CERTIFY THAT I, MY SUCCESSORS, AND AGENTS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

PROJECT TEAM

OWNER/DEVELOPER:
HIS HOUSE FOR HER, INC.
1471 PINE RD
OCALA, FL 34472
RENEE ARNETT, FOUNDER
(352) 547-4817

SURVEYOR
CLYMER FARNER BARLEY SURVEYING, LLC
7413 ALFORD AVENUE
MIDDLETON, FL 34762
JAMES H. BLAIR, PSM
FL REG. NO. 69617
(352) 748-3126

ENGINEER

CLYMER FARNER BARLEY, INC.
7413 ALFORD AVENUE
MIDDLETON, FL 34762
TYLER D. COUNTS, P.E.
FL LIC. NO. 99025
(352) 748-3126

UTILITY CONTACTS

WATER AND SEWER:
WATER: EXISTING WELL
SEWER: EXISTING SEPTIC TANK

GAS:
TECO - PEOPLE'S GAS
310 SW 33RD AVE
OCALA, FL 34474
SEBASTIAN LEON
(813) 228-1259

SOLID WASTE COLLECTION:
MARION COUNTY APPROVED FRANCHISE

POWER:
DUKE ENERGY
4359 SE MARICAMP RD
OCALA, FL 34480
STACI BERTRAND
(800) 700-8744

TELEPHONE / CABLE:
CENTURYLINK
2826 NW 35TH STREET
OCALA, FL 34475
(352) 326-1722



PAVING, GRADING & DRAINAGE MATERIAL SPECIFICATIONS:

1. SITE PAVING AND DRAINAGE MATERIALS AND CONSTRUCTION SHALL CONFORM TO FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. LATEST EDITIONS, INsofar as they APPLY TO THIS PROJECT HEREIN, AND ANY CONFLICTS BETWEEN THESE SPECIFICATIONS AND SPECIFICATIONS, WHERE SUCH SPECIFICATIONS DIFFER, THE MORE STRINGENT SHALL APPLY, SUBJECT TO DETERMINATION OF THE ENGINEER.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SURVEY MONUMENTATION. DISTURBED MONUMENTATION SHALL BE RESTORED BY A FLORIDA-LICENSED LAND SURVEYOR SELECTED BY THE OWNER AT CONTRACTOR'S EXPENSE.
3. DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO ENSURE AGAINST POLLUTING OR OTHERWISE DISRUPTING TO SUCH AN EXTENT AS TO CAUSE AN INCONVENIENCE TO THE EXISTING ONSTREET AND OFFSTREET DRAINAGE SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL PERMIT REQUIREMENTS RELATED TO SUCH MEASURES. ANY MEASURES SHOWN OR DETAILED IN THESE PLANS SHALL BE CONSIDERED MINIMUMS AND SHALL NOT ALLEViate CONTRACTOR FROM THE RESPONSIBILITY TO IMPLEMENT ANY MEASURES NECESSARY TO AVOID PROTECTION.
4. THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY HAS AUTHORIZED THE STATE OF FLORIDA TO ADMINISTER THE NATIONAL POLLUTANTS DISCHARGE ELIMINATION SYSTEM (NPDES). CONTRACTOR IS ADVISED THAT OPERATORS ARE REQUIRED TO FILE WITH DEP, A NOTICE OF INTENT TO USE THE GENERAL PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES THAT DISCHARGE ONE OR MORE ACRES OF LAND. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SUBMIT THE NOTICE OF INTENT (NOI) TO DEP WITH A COPY TO THE OWNER AND THE ENGINEER AT LEAST 48 HOURS BEFORE INITIATING CONSTRUCTION.
5. CONTRACTOR SHALL PROVIDE ACCURATE AS-BUILT DIMENSIONS AND ELEVATIONS OF THE STORMWATER MANAGEMENT AREAS AFTER FINAL GRADING AND PRIOR TO GRASSING THE SLOPES. CONTRACTOR MUST OBTAIN ENGINEER'S APPROVAL PRIOR TO GRASSING. IF ANY MODIFICATIONS ARE NEEDED, ADDITIONAL AS-BUILT MEASUREMENTS WILL BE FURNISHED.
6. GEOTECHNICAL SERVICES HAVE BEEN PROVIDED DIRECTLY TO THE OWNER, BARNER BAILEY, INC. (CBI). CBI ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS, COMPLETENESS, OR ACCURACY OF GEOTECHNICAL INFORMATION.
7. ELEVATIONS OF GRASSED AREAS ARE GIVEN AT FINISHED GRADE (TOP OF SOO OR SEEDED SURFACE).
8. ALL DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS INDICATED OTHERWISE.
9. PIPE LENGTHS SHOWN REPRESENT DISTANCES BETWEEN CENTERLINES OF DRAINAGE STRUCTURE AND FROM INVERTS OF ENDWALLS AND/OR PIPE ENDS. BIDDERS SHALL ADJUST FOR PIPE LENGTHS WHEN BIDDING PIPE ENDS.
10. ALL OFF SITE DISTURBED AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION, OR BETTER.
11. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND DISPOSING OF ALL WASTE MATERIALS CONSISTENT WITH ALL RULES AND REGULATIONS APPLICABLE TO THE SPECIFIC MATERIAL FOUND.
12. CONTRACTOR SHALL INSTRUCT THE GEOTECHNICAL TESTING LABORATORY PERFORMING CONSTRUCTION TESTING TO PROVIDE CBI WITH COPIES OF ALL SITE-WORK TEST REPORTS AS THEY ARE GENERATED. RECOMMENDATIONS OF GEOTECHNICAL REPORTS BY CBI IN NO WAY OBLIGATES CBI TO ANY COMMENT, COMMENTS OR ACTIONS REGARDING THE WORK.
13. DURING CONSTRUCTION, THE GEOTECHNICAL ENGINEER PERFORMING TESTING SHALL MONITOR GROUNDWATER CONDITIONS AND PROVIDE RECOMMENDATIONS FOR ADDITIONAL ROADWAY UNDERDRAINS AS NEEDED. ENGINEER SHALL BE NOTIFIED OF ANY SUCH RECOMMENDATIONS.
14. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD STAKE AND PROTECT CONSERVATION AREA LIMITS. OWNER RESERVES THE RIGHT TO CHECK THE STAKING AND PROTECTIONS AND REQUIRE IT TO BE REINSTALLED IF NECESSARY. PROTECTIONS SHALL REMAIN IN PLACE UNTIL ADJACENT CONSTRUCTION IS COMPLETE.
15. NO WATER VALVE BOXES, METERS, PORTIONS OF MANHOLES, OR OTHER APPURTENANCES RELATING TO ANY UNDERGROUND UTILITIES SHALL BE LOCATED IN ANY PORTION OF ANY TYPE OF CURB. ADVISE ENGINEER IMMEDIATELY UPON DISCOVERY OF A POTENTIAL CONFLICT.
16. CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENTS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE A SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. SHOULD AREAS OF POOR DRAINAGE BE OBSERVED, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PLACEMENT OF CURBS OR PAVEMENT, SO THAT RECOMMENDATIONS FOR CORRECTION MAY BE MADE.
17. CONTRACTOR SHALL COORDINATE WITH ENGINEER FOR PRE-FOUR INSPECTION PRIOR TO ANY SIDEWALK AND/OR RAMP CONCRETE POURS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL RAMP TEXTURED SURFACES AND SIDEWALK LONGITUDINAL AND CROSS SLOPES ARE IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL A.D.A. STANDARDS.
18. ALL DISTURBED PUBLIC AND PRIVATE RIGHTS OF WAY SHALL BE RESTORED, SO THAT SHALL BE REPLACED FROM BACK OF CURB OR EDGE OF PAVEMENT TO RIGHT-OF-WAY AND ALL AREAS SHALL MATCH OR EXCEED PRE-CONSTRUCTION CONDITIONS.
19. CONTRACTOR SHALL NOT COMPACT, STABILIZE, OR CONSTRUCT BASE COURSE WITHIN LANDSCAPE ISLANDS, TRACTS, OR MEDANS, WHERE SUCH TREATMENT DOES OCCUR. IT SHALL BE REMOVED AND REPLACED WITH SUITABLE PLANTING SOILS ACCEPTABLE TO OWNERS LANDSCAPE ARCHITECT.
20. CONTRACTOR SHALL REMOVE ALL UNSUITABLE SOILS IN CONSTRUCTION AREAS AND AREAS TO BE FILLED. REFER TO GEOTECHNICAL REPORT FOR REQUIREMENTS.
21. ENGINEER RESERVES THE RIGHT TO WITHHOLD APPROVALS FOR PAYMENT FOR ANY ROADWORK WHICH HAS NOT BEEN TESTED BY A FLORIDA-REGISTERED GEOTECHNICAL ENGINEER AND REPORTED TO CONFORM TO PROJECT SPECIFICATIONS.
22. SITE CONTRACTOR SHALL GRADE ANY UTILITY EASEMENTS, AS SHOWN OR NOTED ON THE FLAT OR CONSTITUTE ETC. DRAININGS, ADJACENT TO THE RIGHT-OF-WAY LINE TO FINAL DESIGN GRADE.
23. CONTRACTOR SHALL STABILIZE AND PROTECT ALL FILL AND WETTED END SECTION, FILLLED END SECTION, ETC. STRUCTURES THROUGHOUT THE PROJECT UNTIL THE POND SLOPES ARE STABILIZED AND ACCEPTED BY OWNER.
24. CONTRACTOR/BIDDER SHALL OBSERVE OFFICE ROADWAYS FOR FRICTION COURSE REMOVAL AND RESTORATION REQUIREMENTS AND FOR LEVELLING COURSE REQUIREMENTS WHICH SHALL BE INCLUDED IN THE BID AND IN THE CONTRACT.
25. OVER-EXCAVATION OF RETENTION BASINS SHALL NOT BE ALLOWED UNLESS SPECIFICALLY AUTHORIZED BY ENGINEER/OWNER. SHOULD UNAUTHORIZED OVER-EXCAVATION OCCUR, IT SHALL BE BACKFILLED, RE-EXCAVATED, RE-DOCKED, AND/OR RESEDED AS REQUIRED BY OWNER AT CONTRACTOR'S EXPENSE TO OWNERS SPECIFICATIONS.
26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION A GEOTECHNICAL CONSULTANT TO PROVIDE FIELD PERMEABILITY TESTS TO ENSURE THE STORMWATER POND WILL FUNCTION AS DESIGNED AND MEET THE DESIRED INFILTRATION RATES. THE REPORT SHALL BE FORWARDED TO THE OWNER AND THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL PRIOR TO THE COMPLETION OF THE POND CONSTRUCTION.
27. SEE GEOTECHNICAL REPORT PROVIDED TO OWNER FOR FOUNDATION UNDERCUTTING AND BACKFILL SPECIFICATIONS IN AND AROUND BUILDING.

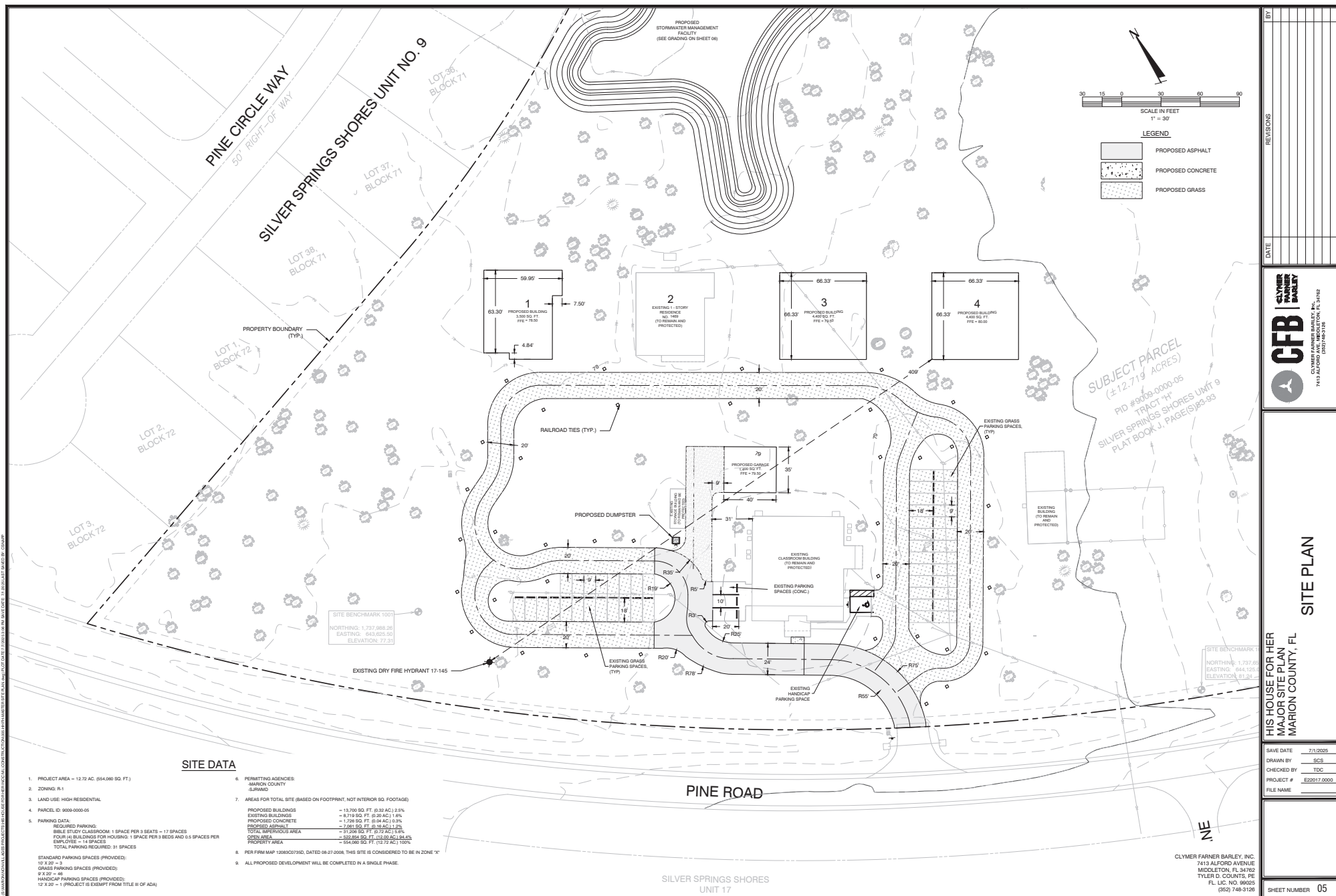
1. ACCESSIBLE PARKING SPACE SHALL BE LOCATED ON AN ACCESSIBLE ROUTE NO LESS THAN 44" WIDE SO THAT USERS WILL NOT BE COMPELLED TO WALK OR WHEEL BEHIND PARKED VEHICLES EXCEPT BEHIND HIS OR HER OWN VEHICLE. §506.1-1 AND §502.3. FACBS AND §53.5041.
2. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SERVING A PARTICULAR BUILDING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE FROM THE ACCESSIBLE (H/C) PARKING TO AN ACCESSIBLE ENTRANCE. §503.3.1, FACBS AND §53.5041 (b)(8).
3. ACCESSIBLE PARKING SPACES SHALL BE 12' WIDE, AND OUTLINES WITH BLUE PAINT. §502.2 AND §502.3. FACBS.
4. ACCESS AISLES REQUIRED ADJACENT TO PARKING SPACES SHALL BE 5' WIDE WITH DIAGONAL STRIPING. §502.3. FACBS.
5. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL (NOT TO EXCEED 1/4%); ON A STABLE, FIRM AND SLIP RESISTANT SURFACE. RE: §502.1-1 AND §502.3. FACBS.
6. ACCESSIBLE PARKING SIGNS SHALL BE FOOT PROTECTED AND SHALL READ "PARKING BY DISABLED PERMIT ONLY" AND SHALL INDICATE A \$200 FINE FOR ILLEGAL USE. INSTALL SIGNS A MINIMUM 60" (INCHES) FROM THE GROUND TO THE BOTTOM OF THE SIGNS). RE: §502.6. FACBS AND §53.5041.
7. CURB RAMPS SHALL NOT EXCEED 1:12 SLOPE, AND CURB RAMP RAMPES SHALL NOT EXCEED 1:10 SLOPE. CURB RAMPS SHALL BE FLARED TO A MINIMUM OF 48" WIDE TO PROVIDE ADEQUATE PARKING SPACES, ACCESS AISLES, OR VEHICULAR TRAFFIC LANES. THE COUNTER SIDE OF ADJACENT RAMP SURFACES AND GUTTERS SHALL NOT EXCEED 1:20. RE: §405.2, §406.2 AND 5.5. FACBS.
8. A LANDING WITH A MINIMUM CLEAR LENGTH OF 36" SHALL BE LOCATED AT THE TOP SIDE OF EACH CURB RAMP WITH A CLEAR WIDTH AT LEAST AS WIDE AS THE CURB RAMP, (EXCLUDING FLARED SIDES) LEADING TO IT. EXCEPTION: FOR ALTERATIONS, WHERE THERE IS NO LANDING, CURB RAMP FLARES SHALL BE PROVIDED, AND SHALL NOT BE STEEPER THAN 1:12 SLOPE. RE: §406. FACBS.
9. A LANDING WITH A RISE GREATER THAN 1/2" SHALL PROVIDE EDGE PROTECTION COMPLYING WITH §405.9. FACBS. RAMPS SHALL HAVE A 6" MIN LEVEL LANDINGS AT THE TOP AND BOTTOM. RE: §405.7, §406.9.
10. ALL RAMPS WITH A RISE GREATER THAN 3" SHALL HAVE HANDRAILS ON BOTH SIDES WITH 12" HORIZONTAL EXTENSIONS AT THE TOP AND BOTTOM OF THE RAMP. RE: §101.09 FBCS (14) (BUILDING CODE - BUILDING) AND §50.10 "EIN" FACBS.
11. ACCESSIBLE ROUTES TO "MAIN ENTRY" FROM AN ACCESSIBLE PARKING SPACE IF FROM THE "PUBLIC" SIDE SHALL NOT EXCEED 1:20 SLOPE (UNLESS RAMPS AND HANDRAILS ARE PROVIDED) WITH CROSS SLOPE NOT IN EXCESS OF 1:48. RE: §405.2 AND §403. FACBS.
12. CONNECT BUILDINGS WITH THE SAME SITE WITH AN ACCESSIBLE ROUTE WHICH SHALL NOT EXCEED 1:20 SLOPES (UNLESS RAMPS AND HANDRAILS ARE PROVIDED) AND A MAXIMUM CROSS SLOPE OF 1:48. RE: §406. FACBS.
* EXCEPTION: AN ACCESSIBLE ROUTE SHALL NOT BE REQUIRED BETWEEN ACCESSIBLE BUILDINGS OR FACILITIES. ACCESSIBLE ELEMENTS AND ACCESSIBLE SPACES IF THE ONLY MEANS OF ACCESS BETWEEN THEM IS A VEHICULAR WAY NOT PROVIDING PEDESTRIAN ACCESS. RE: §206.2.2, FACBS.

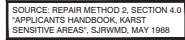
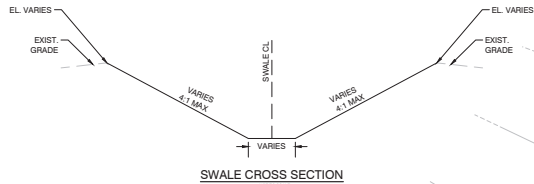


 **CFB** | **CLYMER FARNER BARILEY**

CLYMER FARNER BARILEY, P.C.
7413 ALFORD AVE., MIDDLETON, FL 34762
(352) 746-3126

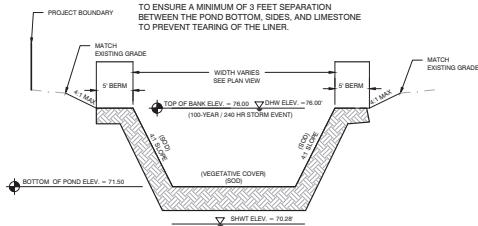
SHEET NUMBER 02





NOTES:

- 1. IF SINKHOLE ACTIVITY OCCURS, CONTRACTOR SHALL CONTACT THE ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT PRIOR TO REPAIR.**
- 2. LIMESTONE OUTCROPS MUST BE EXCAVATED A MINIMUM OF 3' BELOW THE BASIN BOTTOM, AND 3' WIDER THAN THE CHIMNEY.**
- 3. CHIMNEY SHALL BE BACKFILLED ACCORDING TO DETAIL AFTER OUTCROP EXCAVATION IS COMPLETE.**
- 4. IF LIMESTONE IS ENCOUNTERED, THE CONTRACTOR SHALL OVEREXCAVATE THE POND BOTTOM AND SIDES TO ENSURE A MINIMUM OF 3 FEET SEPARATION BETWEEN THE POND BOTTOM, SIDES, AND LIMESTONE TO PREVENT TEARING OF THE LINER.**



NOTE: A minimum of three feet of unconsolidated soil material shall be provided between the surface of any limestone bedrock and the bottom and sides of any stormwater facility

[illegible]

CFB | **CLYMER
FARNER
BARLEY**



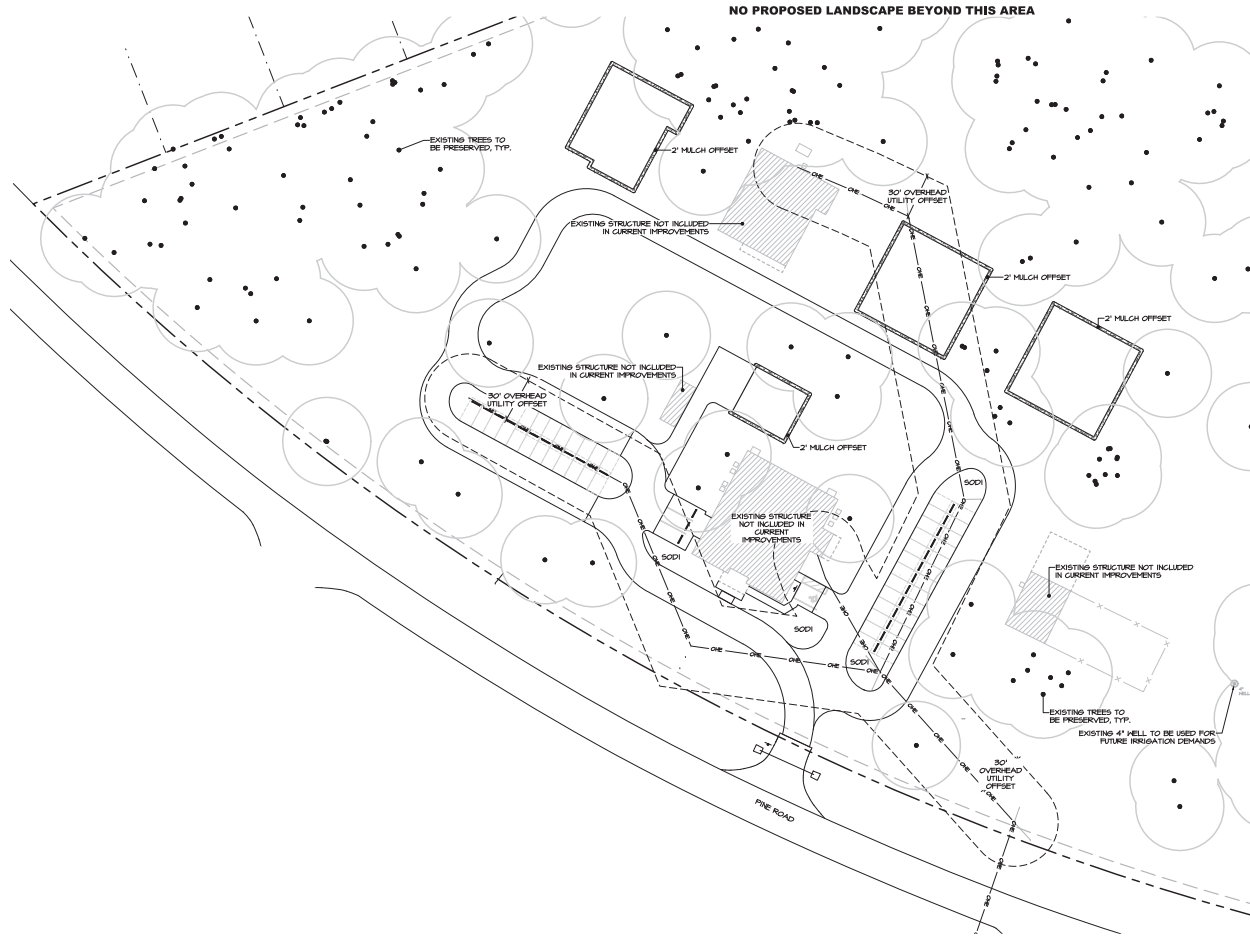
CLYMER FARNNER BARLEY, INC.
7413 ALFORD AVE., MIDDLETON, FL 34762
(352) 748-3126

HIS HOUSE FOR HER MAJOR SITE PLAN MARION COUNTY, FL GRADING PLAN

SAVE DATE	7/1/2025
DRAWN BY	SCS
CHECKED BY	TDC
PROJECT #	E22017.0000
FILE NAME	

SHEET NUMBER 06

CLYMER FARNER BARLEY, INC.
7413 ALFORD AVENUE
MIDDLETON, FL 34782
TYLER D. COUNTS, PE
FL. LIC. NO. 99025
(352) 748-3126



LANDSCAPE CALCULATIONS

LAND USE: DRI (DEVELOPMENT OF REGIONAL IMPACT)

SITE/PROJECT AREA - REFER TO CIVIL PLANS: 12.12 AC (354,060 SF)

LANDSCAPE AREA: 11.14 AC (455,434 SF) (B7M) SEE DIAGRAM SHEET L-1

THIS SITE IS NOT LOCATED WITHIN THE URBAN GROWN BOUNDARY.
THIS SITE IS LOCATED WITHIN THE PRIMARY SILVER SPRINGS PROTECTION ZONE.

TREE REMOVAL/PRESERVATION

NO TREE MITIGATION REQUIRED - SEE TREE REMOVAL PLAN

SHADE TREE REQUIREMENT

SHADE TREES REQUIRED: 12.12 AC (354,060 SF) / 3,000 SF = 119

EXISTING SHADE TREES TO REMAIN: 276

TOTAL SHADE TREES PROVIDED: 276

LANDSCAPE BUFFER REQUIREMENTS

NORTH BOUNDARY - NO BUFFER PROPOSED

EAST BOUNDARY - NO BUFFER PROPOSED

WEST BOUNDARY - NO BUFFER PROPOSED

SOUTH BOUNDARY - NO BUFFER PROPOSED

MARION COUNTY LANDSCAPE REQUIREMENTS:

- Upon completion of the installation, the contractor shall request an inspection by the design professional. A Landscape and Irrigation As-Built Certification shall be signed and sealed by the design professional and submitted to the County Landscape Architect prior to the issuance of a Certificate of Occupancy per Section 6.8.12 of the LDR.
- Landscape maintenance shall be in accordance with Section 6.8.15 of the LDR:
 - All landscape areas shall be maintained in accordance with the Florida-Friendly Best Management Practices for Protection of Water Resources by the Green Industries, UF/IFAS and FDEP.
 - Trees or palms shall not be severely pruned or shaped. The natural growth habit of a tree or palm shall be considered during the design phase to avoid maintenance conflicts.
 - Trees or palms which are dyed or braided shall have such dyeing or braiding removed once sufficient root growth has enabled the tree or palm to support itself. Damaging trees with girdling devices shall be considered a violation of this code. Damaged trees shall be replaced at the expense of the owner.
 - The alteration of any required and approved landscape area without obtaining prior written approval from the County is prohibited. The expansion of drought tolerant landscaping including the replacement of planted areas with turfgrass, or replacing dying or diseased plants with similar plant material is excluded.
 - Buffers and screening plantings shall provide healthy appearance year round and be maintained at the required minimum heights.
- Landscape installation and maintenance shall be in accordance with Section 6.8.15 of the LDR.
 - Landscape installation professionals performing work for hire within the unincorporated areas of Marion County shall be landscape contractors licensed by the Marion County Building Department, unless otherwise licensed by the State of Florida.
 - Landscape maintenance professionals performing work for hire within the unincorporated areas of Marion County shall possess current GI-BMP Certificate of Completion.
 - Any person providing services for hire regarding any aspect of landscape maintenance that includes the application of fertilizer or pesticide shall meet the applicable state and County licensing and certification requirements included herein.
- An irrigation plan shall be provided prior to issuance of a development order or building permit. All irrigation systems, including temporary, shall comply with the design standards of the Marion County Land Development Code Division 4, Sec 6.4, and all other state and local statutes that apply. Irrigation design and plans by others.

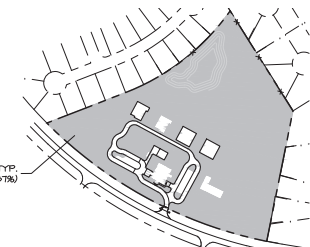
PLANT SCHEDULE

Note: Plant quantities are provided as a guide only. The contractor shall confirm total quantities as reflected by the plan. All sizes given are minimum unless otherwise noted. Every component of spec shall be met.

Qty	Qty	Plant Name	Size and Spacing	Maintenance
MULCH		Pine Straw - (MULCH)	3" depth	Refresh annually or as needed
SODI		Argentine Bahia Paspalum notatum Argentine - (SODI)	Pallet	Unirrigated

IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO PROVIDE TEMPORARY IRRIGATION TO UNIRRIGATED BAHIA INSTALLED AS PART OF THIS CONTRACT, UNTIL ESTABLISHMENT OR TURNOVER, WHICHEVER OCCURS EARLIER.

LANDSCAPE AREA, TYP.
455,434 SF (B7M)



LANDSCAPE AREA DIAGRAM
NOT TO SCALE

REVISIONS

DATE BY

Michael Pape
& Associates, PA
MPA
LAND PLANNING • SITE DESIGN • LANDSCAPE ARCHITECTURE
2351 SE 17th Street, Ocala, FL 34471-3500 • www.MPA-LA.com



HIS HOUSE FOR HER APARTMENTS
MARION COUNTY, FLORIDA
LANDSCAPE PLAN

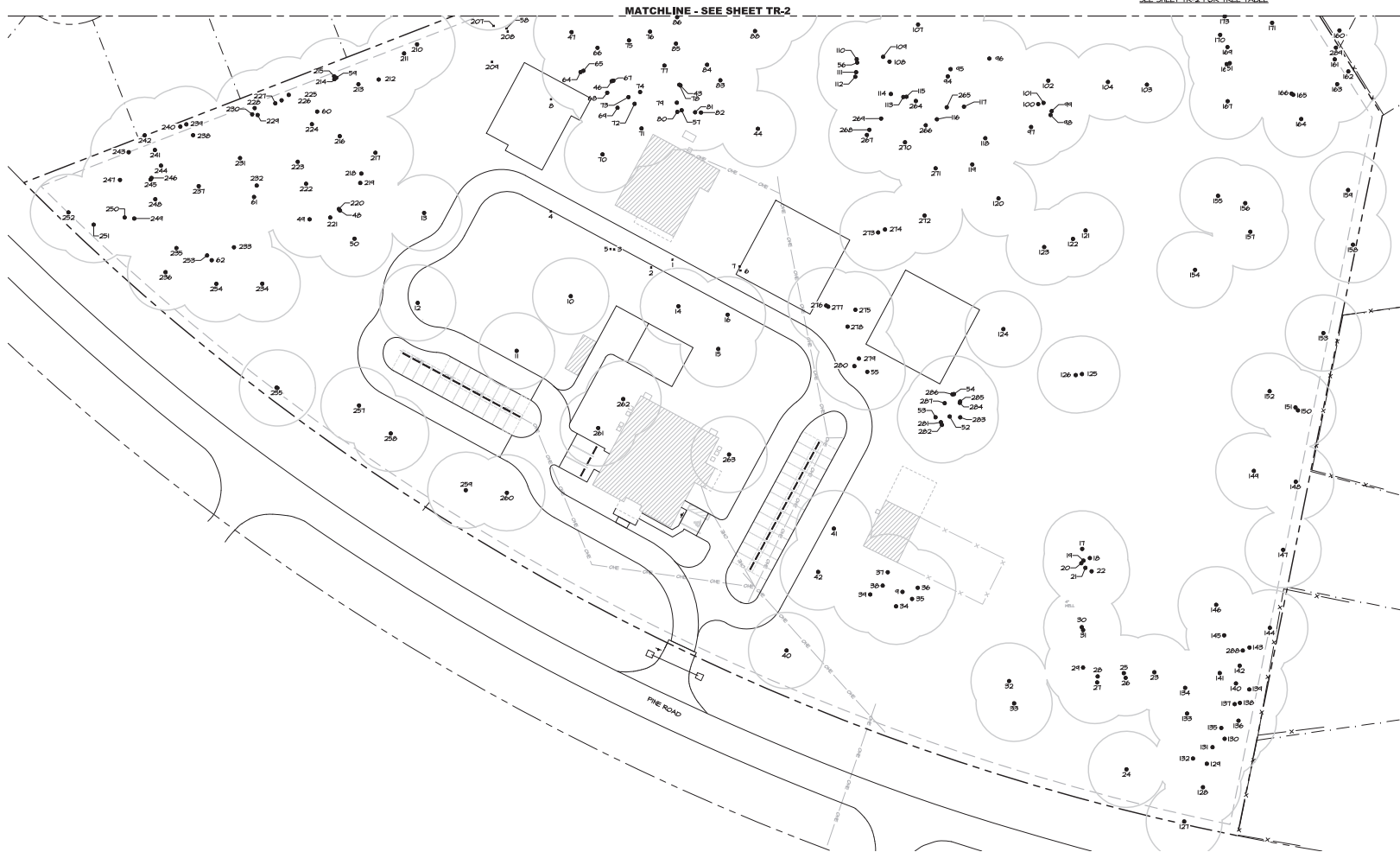
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SHEET 1 OF 1

L-1



MATCHLINE - SEE SHEET TR-2

TREE CALCULATIONS

Based on site survey data provided by Clymer Farmer Bailey

NOTE:
Existing trees have been evaluated by MPA ISA Certified Arborist William Neasham FL3046A and Landscape Architect Suzanne Stancil FLA14666662 and have been categorized as viable or non-viable. Viable trees are healthy and thriving. Non-viable trees include designated invasive/prohibited species, and trees that are damaged, or in decline, and which require removal for protection of the public health, safety, and welfare. Non-viable trees are not included in replacement calculations.

SITE AREA - REFER TO CIVIL PLANS: 12.12 AC (854,060 SF)

EXISTING DBH PREDEVELOPMENT = 6,091" (480" PER ACRE)

DBH TO BE REMOVED = 231"

DBH TO BE PRESERVED = 5,860" (461" PER ACRE)

NO MITIGATION REQUIRED DUE TO PRESERVATION OF 100" DBH PER ACRE

SEE SHEET TR-2 FOR TREE TABLE



SCALE: 1"=40'

MPA Michael Pape & Associates, PA
LAND PLANNING • SITE DESIGN • LANDSCAPE ARCHITECTURE
2331 SE 17th Street, Ocala, FL • 352.351.3500 • www.MPA-LA.com



FIVE HOUSE FOR HER APARTMENTS
MARION COUNTY, FLORIDA
TREE REMOVAL PLAN

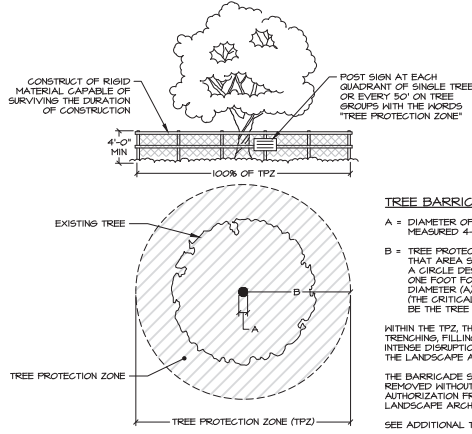
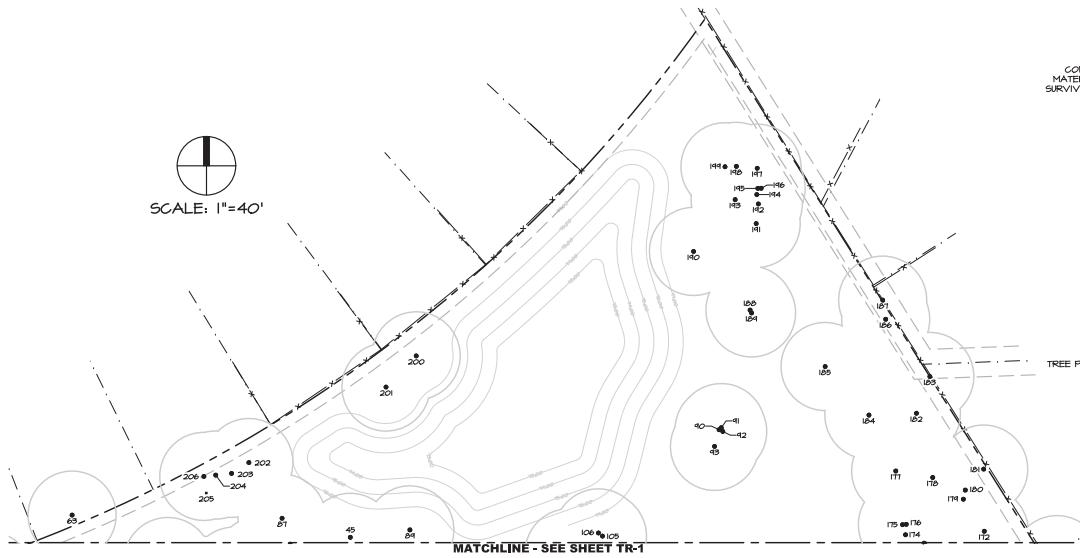
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SHEET 1 OF 2

TR-1



TREE PROTECTION DETAIL

Tree Number	Size: Inches	Tree Type	V/N	Preserve/Remove
1	25"	LIVE OAK	V	REMOVE
2	12"	LIVE OAK	V	REMOVE
3	19"	LIVE OAK	V	REMOVE
4	22"	LIVE OAK	V	REMOVE
5	20"	LIVE OAK	V	REMOVE
6	12"	LIVE OAK	V	REMOVE
7	17"	LIVE OAK	V	REMOVE
8	24"	LIVE OAK	V	REMOVE
9	24"	LIVE OAK	V	PRESERVE
10	36"	LIVE OAK	V	PRESERVE
11	44"	LIVE OAK	V	PRESERVE
12	36"	LIVE OAK	V	PRESERVE
13	36"	LIVE OAK	V	PRESERVE
14	16"	LIVE OAK	V	PRESERVE
15	72"	LIVE OAK	V	PRESERVE
16	42"	LIVE OAK	V	PRESERVE
17	22"	LIVE OAK	V	PRESERVE
18	20"	LIVE OAK	V	PRESERVE
19	12"	LIVE OAK	V	PRESERVE
20	24"	LIVE OAK	V	PRESERVE
21	12"	LIVE OAK	V	PRESERVE
22	8"	LIVE OAK	V	PRESERVE
23	30"	LIVE OAK	V	PRESERVE
24	20"	PINE	V	PRESERVE
25	19"	LIVE OAK	V	PRESERVE
26	12"	LIVE OAK	V	PRESERVE
27	11"	LIVE OAK	V	PRESERVE
28	20"	LIVE OAK	V	PRESERVE
29	24"	LIVE OAK	V	PRESERVE
30	12"	LIVE OAK	V	PRESERVE
31	24"	LIVE OAK	V	PRESERVE
32	22"	CHERRY	V	PRESERVE
33	22"	LIVE OAK	V	PRESERVE
34	12"	LIVE OAK	V	PRESERVE
35	12"	LIVE OAK	V	PRESERVE
36	10"	LIVE OAK	V	PRESERVE
37	16"	LIVE OAK	V	PRESERVE
38	26"	PINE	V	PRESERVE
39	16"	LIVE OAK	V	PRESERVE
40	24"	LIVE OAK	V	PRESERVE
41	30"	LIVE OAK	V	PRESERVE
42	20"	LIVE OAK	V	PRESERVE
43	19"	LIVE OAK	V	PRESERVE
44	19"	LIVE OAK	V	PRESERVE
45	19"	LIVE OAK	V	PRESERVE
46	24"	LIVE OAK	V	PRESERVE
47	24"	LIVE OAK	V	PRESERVE

Tree Number	Size: Inches	Tree Type	V/N	Preserve/Remove
48	36"	LIVE OAK	V	PRESERVE
49	36"	LIVE OAK	V	PRESERVE
50	36"	LIVE OAK	V	PRESERVE
51	21"	LIVE OAK	V	PRESERVE
52	10"	LIVE OAK	V	PRESERVE
53	14"	LIVE OAK	V	PRESERVE
54	12"	LIVE OAK	V	PRESERVE
55	34"	LIVE OAK	V	PRESERVE
56	10"	LIVE OAK	V	PRESERVE
57	18"	LIVE OAK	V	PRESERVE
58	12"	LIVE OAK	V	REMOVE
59	16"	LIVE OAK	V	PRESERVE
60	12"	LIVE OAK	V	PRESERVE
61	14"	PINE	V	PRESERVE
62	12"	LIVE OAK	V	PRESERVE
63	19"	LIVE OAK	V	PRESERVE
64	12"	LIVE OAK	V	PRESERVE
65	24"	LIVE OAK	V	PRESERVE
66	15"	LIVE OAK	V	PRESERVE
67	28"	LIVE OAK	V	PRESERVE
68	20"	LIVE OAK	V	PRESERVE
69	10"	LIVE OAK	V	PRESERVE
70	24"	LIVE OAK	V	PRESERVE
71	24"	LIVE OAK	V	PRESERVE
72	28"	LIVE OAK	V	PRESERVE
73	19"	LIVE OAK	V	PRESERVE
74	16"	LIVE OAK	V	PRESERVE
75	28"	LIVE OAK	V	PRESERVE
76	22"	LIVE OAK	V	PRESERVE
77	21"	PINE	V	PRESERVE
78	18"	LIVE OAK	V	PRESERVE
79	14"	LIVE OAK	V	PRESERVE
80	18"	LIVE OAK	V	PRESERVE
81	24"	LIVE OAK	V	PRESERVE
82	12"	LIVE OAK	V	PRESERVE
83	20"	LIVE OAK	V	PRESERVE
84	20"	LIVE OAK	V	PRESERVE
85	19"	LIVE OAK	V	PRESERVE
86	16"	LIVE OAK	V	PRESERVE
87	12"	LIVE OAK	V	PRESERVE
88	25"	LIVE OAK	V	PRESERVE
89	16"	LIVE OAK	V	PRESERVE
90	34"	LIVE OAK	V	PRESERVE
91	24"	LIVE OAK	V	PRESERVE
92	20"	LIVE OAK	V	PRESERVE
93	48"	LIVE OAK	V	PRESERVE
94	39"	LIVE OAK	V	PRESERVE

Tree Number	Size: Inches	Tree Type	V/N	Preserve/Remove
95	18"	LIVE OAK	V	PRESERVE
96	16"	LIVE OAK	V	PRESERVE
97	18"	LIVE OAK	V	PRESERVE
98	22"	LIVE OAK	V	PRESERVE
99	12"	LIVE OAK	V	PRESERVE
100	10"	LIVE OAK	V	PRESERVE
101	23"	LIVE OAK	V	PRESERVE
102	18"	LIVE OAK	V	PRESERVE
103	24"	LIVE OAK	V	PRESERVE
104	14"	LIVE OAK	V	PRESERVE
105	22"	LIVE OAK	V	PRESERVE
106	16"	LIVE OAK	V	PRESERVE
107	32"	LIVE OAK	V	PRESERVE
108	16"	LIVE OAK	V	PRESERVE
109	10"	LIVE OAK	V	PRESERVE
110	22"	LIVE OAK	V	PRESERVE
111	10"	LIVE OAK	V	PRESERVE
112	14"	LIVE OAK	V	PRESERVE
113	10"	LIVE OAK	V	PRESERVE
114	10"	LIVE OAK	V	PRESERVE
115	10"	LIVE OAK	V	PRESERVE
116	11"	LIVE OAK	V	PRESERVE
117	19"	LIVE OAK	V	PRESERVE
118	20"	LIVE OAK	V	PRESERVE
119	21"	LIVE OAK	V	PRESERVE
120	20"	LIVE OAK	V	PRESERVE
121	32"	LIVE OAK	V	PRESERVE
122	20"	LIVE OAK	V	PRESERVE
123	42"	LIVE OAK	V	PRESERVE
124	22"	LIVE OAK	V	PRESERVE
125	17"	LIVE OAK	V	PRESERVE
126	14"	LIVE OAK	V	PRESERVE
127	30"	LIVE OAK	V	PRESERVE
128	50"	LIVE OAK	V	PRESERVE
129	48"	LIVE OAK	V	PRESERVE
130	12"	LIVE OAK	V	PRESERVE
131	14"	LIVE OAK	V	PRESERVE
132	21"	LIVE OAK	V	PRESERVE
133	22"	LIVE OAK	V	PRESERVE
134	12"	LIVE OAK	V	PRESERVE
135	16"	LIVE OAK	V	PRESERVE
136	18"	PALM	V	PRESERVE
137	10"	LIVE OAK	V	PRESERVE
138	17"	LIVE OAK	V	PRESERVE
139	15"	LIVE OAK	V	PRESERVE
140	19"	LIVE OAK	V	PRESERVE
141	30"	LIVE OAK	V	PRESERVE

Tree Number	Size: Inches	Tree Type	V/N	Preserve/Remove
142	15"	LIVE OAK	V	PRESERVE
143	15"	LIVE OAK	V	PRESERVE
144	44"	LIVE OAK	V	PRESERVE
145	20"	LIVE OAK	V	PRESERVE
146	15"	LIVE OAK	V	PRESERVE
147	30"	LIVE OAK	V	PRESERVE
148	18"	PINE	V	PRESERVE
149	31"	LIVE OAK	V	PRESERVE
150	18"	LIVE OAK	V	PRESERVE
151	12"	LIVE OAK	V	PRESERVE
152	36"	LIVE OAK	V	PRESERVE
153	12"	LIVE OAK	V	PRESERVE
154	34"	LIVE OAK	V	PRESERVE
155	38"	LIVE OAK	V	PRESERVE
156	40"	LIVE OAK	V	PRESERVE
157	39"	LIVE OAK	V	PRESERVE
158	22"	LIVE OAK	V	PRESERVE
159	15"	LIVE OAK	V	PRESERVE
160	24"	LIVE OAK	V	PRESERVE
161	17"	LIVE OAK	V	PRESERVE
162	39"	LIVE OAK	V	PRESERVE
163	48"	LIVE OAK	V	PRESERVE
164	17"	LIVE OAK	V	PRESERVE
165	19"	LIVE OAK	V	PRESERVE
166	15"	LIVE OAK	V	PRESERVE
167	15"	LIVE OAK	V	PRESERVE
168	15"	LIVE OAK	V	PRESERVE
169	46"	LIVE OAK	V	PRESERVE
170	10"	LIVE OAK	V	PRESERVE
171	15"	LIVE OAK	V	PRESERVE
172	36"	LIVE OAK	V	PRESERVE
173	26"	LIVE OAK	V	PRESERVE
174	19"	LIVE OAK	V	PRESERVE
175	19"	LIVE OAK	V	PRESERVE
176	19"	LIVE OAK	V	PRESERVE
177	15"	LIVE OAK	V	PRESERVE
178	10"	LIVE OAK	V	PRESERVE
179	24"	LIVE OAK	V	PRESERVE
180	39"	LIVE OAK	V	PRESERVE
181	24"	LIVE OAK	V	PRESERVE
182	17"	PINE	V	PRESERVE
183	10"	PINE	V	PRESERVE
184	56"	LIVE OAK	V	PRESERVE
185	14"	LIVE OAK	V	PRESERVE
186	30"	PINE	V	PRESERVE
187	17"	PINE	V	PRESERVE
188	19"	LIVE OAK	V	PRESERVE

Tree Number	Size: Inches	Tree Type	V/N	Preserve/Remove
189	24"	LIVE OAK	V	PRESERVE
190	36"	LIVE OAK	V	PRESERVE
191	15"	LIVE OAK	V	PRESERVE
192	18"	LIVE OAK	V	PRESERVE
193	44"	LIVE OAK	V	PRESERVE
194	14"	LIVE OAK	V	PRESERVE
195	14"	LIVE OAK	V	PRESERVE
196	17"	LIVE OAK	V	PRESERVE
197	20"	LIVE OAK	V	PRESERVE
198	10"	LIVE OAK	V	PRESERVE
199	17"	LIVE OAK	V	PRESERVE
200	11"	WATER OAK	V	PRESERVE
201	26"	LIVE OAK	V	PRESERVE
202	18"	LIVE OAK	V	PRESERVE
203	27"	LIVE OAK	V	PRESERVE
204	10"	LIVE OAK	V	PRESERVE
205	17"	LIVE OAK	V	REMOVE
206	23"	PINE	V	PRESERVE
207	28"	LIVE OAK	V	REMOVE
208	14"	LIVE OAK	V	REMOVE
209	10"	LIVE OAK	V	REMOVE
210	16"	LIVE OAK	V	PRESERVE
211	21"	LIVE OAK	V	PRESERVE
212	22"	LIVE OAK	V	PRESERVE
213	28"	LIVE OAK	V	PRESERVE
214	18"	LIVE OAK	V	PRESERVE
215	14"	LIVE OAK	V	PRESERVE
216	20"	LIVE OAK	V	PRESERVE
217	24"	LIVE OAK	V	PRESERVE
218	23"	LIVE OAK	V	PRESERVE
219	24"	LIVE OAK	V	PRESERVE
220	46"	LIVE OAK	V	PRESERVE
221	11"	LIVE OAK	V	PRESERVE
222	20"	LIVE OAK	V	PRESERVE
223	25"	LIVE OAK	V	PRESERVE
224	18"	LIVE OAK	V	PRESERVE
225	18"	LIVE OAK	V	PRESERVE
226	20"	LIVE OAK	V	PRESERVE
227	15"	LIVE OAK	V	PRESERVE
228	10"	LIVE OAK	V	PRESERVE
229	19"	LIVE OAK	V	PRESERVE
230	10"	LIVE OAK	V	PRESERVE
231	23"	LIVE OAK	V	PRESERVE
232	15"	LIVE OAK	V	PRESERVE
233	21"	LIVE OAK	V	PRESERVE
234	12"	LIVE OAK	V	PRESERVE
235	18"	LIVE OAK	V	PRESERVE

Tree Number	Size: inches	Tree Type	V/N	Preserve/Remove
236	22"	LIVE OAK	V	PRESERVE
237	38"	LIVE OAK	V	PRESERVE
238	10"	LIVE OAK	V	PRESERVE
239	17"	LIVE OAK	V	PRESERVE
240	14"	LIVE OAK	V	PRESERVE
241	20"	LIVE OAK	V	PRESERVE
242	30"	LIVE OAK	V	PRESERVE
243	12"	LIVE OAK	V	PRESERVE
244	18"	LIVE OAK	V	PRESERVE
245	10"	LIVE OAK	V	PRESERVE
246	10"	LIVE OAK	V	PRESERVE
247	14"	LIVE OAK	V	PRESERVE
248	25"	LIVE OAK	V	PRESERVE
249	15"	LIVE OAK	V	PRESERVE
250	36"	LIVE OAK	V	PRESERVE
251	14"	LIVE OAK	V	PRESERVE
252	30"	LIVE OAK	V	PRESERVE
253	17"	LIVE OAK	V	PRESERVE
254	28"	LIVE OAK	V	PRESERVE
255	18"	LIVE OAK	V	PRESERVE
256	32"	LIVE OAK	V	PRESERVE
257	23"	LIVE OAK	V	PRESERVE
258	24"	LIVE OAK	V	PRESERVE
259	17"	LIVE OAK	V	PRESERVE
260	48"	LIVE OAK	V	PRESERVE
261	18"	LIVE OAK	V	PRESERVE
262	20"	LIVE OAK	V	PRESERVE
263	14"	LIVE OAK	V	PRESERVE
264	15"	LIVE OAK	V	PRESERVE
265	15"	LIVE OAK	V	PRESERVE
266	23"	PINE	V	PRESERVE
267	14"	LIVE OAK	V	PRESERVE
268	14"	LIVE OAK	V	PRESERVE
269	26"	LIVE OAK	V	PRESERVE
270	24"	LIVE OAK	V	PRESERVE
271	26"	LIVE OAK	V	PRESERVE
272	23"	LIVE OAK	V	PRESERVE
273	12"	CHERRY	V	PRESERVE
274	12"	CHERRY	V	PRESERVE
275	20"	WATER OAK	V	PRESERVE
276	12"	WATER OAK	V	PRESERVE
277	10"	WATER OAK	V	PRESERVE
278	38"	LIVE OAK	V	PRESERVE
279	30"	LIVE OAK	V	PRESERVE
280	12"	LIVE OAK	V	PRESERVE
281	10"	LIVE OAK	V	PRESERVE
282	24"	LIVE OAK	V	PRESERVE
283	16"	LIVE OAK	V	PRESERVE
284	11"	LIVE OAK	V	PRESERVE
285	13"	LIVE OAK	V	PRESERVE
286	14"	LIVE OAK	V	PRESERVE
287	11"	LIVE OAK	V	PRESERVE
288	11"	LIVE OAK	V	PRESERVE
289	17"	LIVE OAK	V	PRESERVE

NO PROPOSED IRRIGATION BEYOND THIS AREA

IRRIGATION SLEEVING LEGEND
 (1) 1/2" (2) 3/4" (3) 1"

NOTE:
 The anticipated irrigation demand for this site shall be 31 gallons per week or 15 GPD, based on a 2-day watering schedule. This demand is based on an average of 0.75" of water per week for all irrigated areas, per UF/IFAS and Water Management District general recommendations.

MARION COUNTY IRRIGATION REQUIREMENTS

Sec. 6.4.5. - Irrigation system installation.

- Irrigation systems shall only be installed by installation professionals meeting the licensing requirements under Section 6.4.10, except those being installed by property owners on their own single-family residence or owner/occupied duplex.
- Irrigation systems shall be constructed in accordance with the Florida Landscape Irrigation Society's (FLIS) Standards and Specifications for Turf and Landscape Irrigation Systems as updated.

Sec. 6.4.6. - Completion inspection requirements.

- Irrigation installation professionals shall be accountable for the proper installation and compliance with the conditions of the irrigation permit and approved plans.
- Upon completion of the installation, the contractor or owner shall request an inspection by the irrigation design professional. Prior to the inspection, the irrigation installation professional shall produce a clear and legible as-built diagram which accurately represents the irrigation system as installed. The diagram shall be presented and reviewed during the final inspection. The diagram may be a marked-up copy of the approved irrigation plan and shall include at a minimum:
 - Locations of all mainlines and manifold valves.
 - Locations of all remote control valves.
 - Water demand per zone in GPM and
 - Total water demand per operating cycle.
- The irrigation installation professional shall also provide to the owner:
 - A copy of the irrigation controller owner's manual.
 - Irrigation system maintenance schedule, which includes:
 - Instructions for seasonal adjustments of controller and sensors.
 - Instructions concerning how and when to check for leaks.
 - A schedule for checking for proper irrigation distribution coverage.
- Within 60 days after installation the irrigation controller shall be adjusted to be set in accordance with the applicable irrigation schedule set forth in this Code.
- Upon completion of the irrigation system installation and the acceptance of the as-built diagram and operational information, a Final Inspection and Landscape Irrigation Release shall be signed and sealed by the irrigation design professional and submitted to the County's Landscape Division.

Sec. 6.4.8. - Irrigation system operation and maintenance.

- An irrigation installation professional who installs or performs work on an automatic landscape irrigation system must test for the correct operation of each installing or interrupting device or switch on that system. If such devices or switches are not installed in the system or are not in proper operating condition, the contractor must install new ones or repair the existing ones and confirm that each device or switch is in proper operating condition before completing other work on the system (1.03.62 F.S. water conservation).
- All irrigation systems shall be operated and maintained in accordance with the Florida-Friendly Best Management Practices for Protection of Water Resources by the Green Industries or the Florida Parks and Neighborhood Program.
- To maintain the original performance and water efficiency of the irrigation system, repair of the equipment shall initially be done with the originally specified materials or their equivalents.
- Irrigation systems, including automatic rain sensor shut-off device, shall be certified by an irrigation system installation professional to be operating properly and in good repair at such time as the property may be resold.

Sec. 6.4.9. - Landscape irrigation schedule.

- When Daylight Savings Time is in effect, landscape irrigation shall occur only in accordance with the following irrigation schedule:
 - Nonresidential landscape irrigation may occur only on Tuesday and Friday and shall not occur between 10:00 am and 4:00 p.m.; and
 - No more than 0.75 inches of water may be applied per irrigation zone on each day that irrigation occurs, and in no event shall irrigation occur for more than one hour per irrigation zone on each day that irrigation occurs.
- When Eastern Standard Time is in effect, landscape irrigation shall occur only in accordance with the following irrigation schedule:
 - Nonresidential landscape irrigation may occur only on Tuesday and Friday and shall not occur between 10:00 am and 4:00 p.m.; and
 - No more than 0.75 inches of water may be applied per irrigation zone on each day that irrigation occurs, and in no event shall irrigation occur for more than one hour per irrigation zone on each day that irrigation occurs.
- Exceptions to landscape irrigation schedule, listed in Section 6.4.9, above include:
 - Irrigation using a micro-spray, micro-jet, dry or battery operated system is allowed anytime.
 - Irrigation of new landscape is allowed at any time of day or any day for the initial 30 days and every other day for the next 30 days for a total of one 60-day period, provided that the irrigation is limited to the minimum amount necessary for such landscape establishment.
 - Holding in of chemicals, including insecticides, pesticides, fertilizers, fungicides, and herbicides when required by law, the manufacturer, or best management practices is allowed anytime within 24 hours of application, holding in of chemicals shall not exceed 1 inch of water per application except as otherwise required by law, the manufacturer, or best management practices.
 - Irrigation systems may be operated anytime for maintenance and repair purposes not to exceed 20 minutes per hour per zone.
 - Irrigation using a hand-held hose equipped with an automatic shut-off nozzle is allowed anytime. The use of a hose-end sprayer is not considered hand watering.
 - Discharge of water from a water-to-air or air-conditioning unit or other water-dependent cooling system is not limited.
 - The use of water from a reclaimed water system is allowed anytime. For the purpose of this paragraph a reclaimed water system includes systems in which the primary source is reclaimed water, which may or may not be supplemented from another source during peak demand periods.
 - The use of recycled water from wet detention treatment ponds for irrigation is allowed anytime provided the ponds are not augmented from any ground or off-site surface water, or public supply sources.

Sec. 6.4.10. - Licensing and certification.

- Irrigation Professionals.
 - Irrigation Design Professionals shall be design professionals as licensed by the State of Florida to provide such professional services.
 - Irrigation Installation and Maintenance Professionals shall include Plumbing Contractors and Irrigation Contractors licensed by Marion County or the State of Florida.
 - Irrigation Installation and Maintenance Professionals, as defined by this section, shall be exempt from the separate licensing requirements for Irrigation Design Professionals when designing irrigation systems, or portions of irrigation systems, as part of a "design/build" contract to install on the same system, if that system complies with all applicable requirements of this ordinance and is permitted by Marion County.
- Training.
 - Unless otherwise subject by Florida Statutes to certain continuing education requirements, contractors licensed to perform work under this section shall annually complete a minimum of four professional development hours (PDH) in Florida-Friendly Landscaping and irrigation practices from a continuing education organization designated by the Marion County Licensing Board.
 - Marion County shall confirm compliance with these PDH requirements at the time of license renewal, or by an approved audit procedure.

DATE	BY	REVISIONS

MPA Michael Pape & Associates, PA
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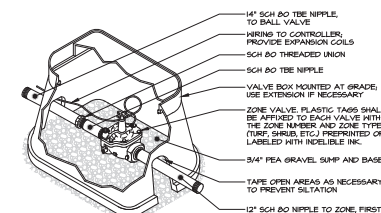
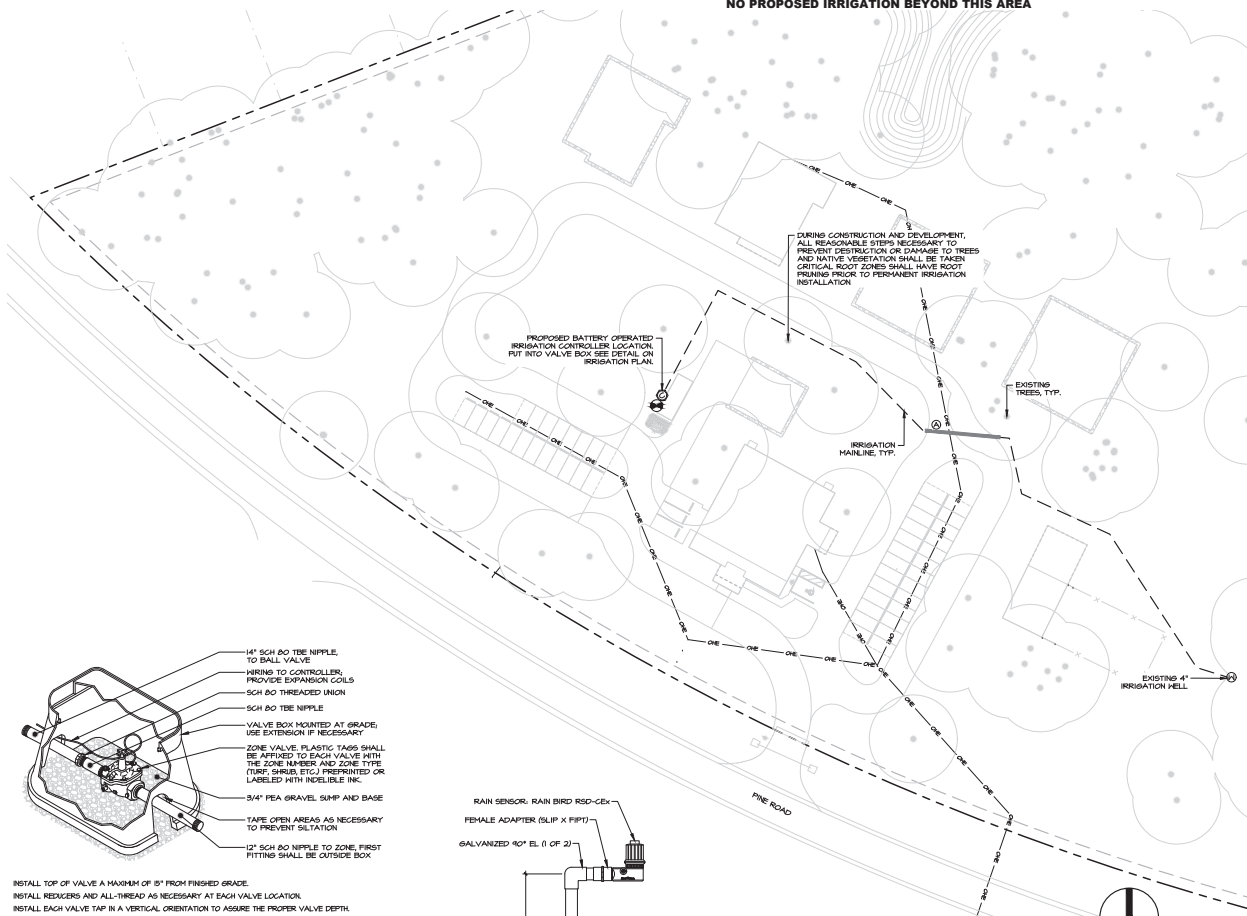


IRRIGATION PLAN
 HIS HOUSE FOR HER APARTMENTS
 MARION COUNTY, FLORIDA

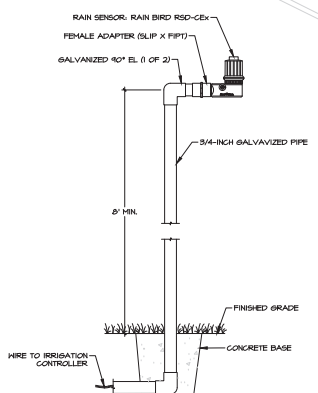
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 GRD BY: SWS

SHEET 1 OF 1

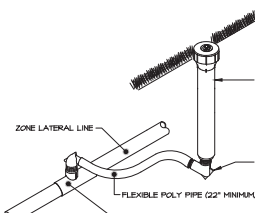
12-1



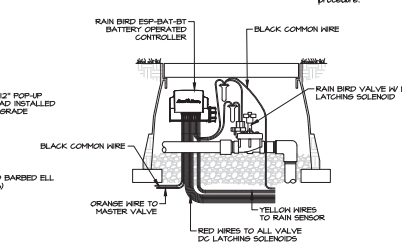
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 SCALE: N.T.S.



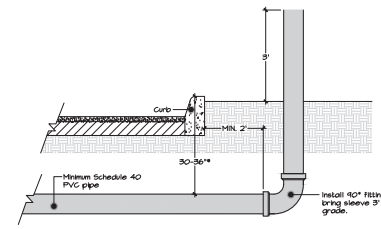
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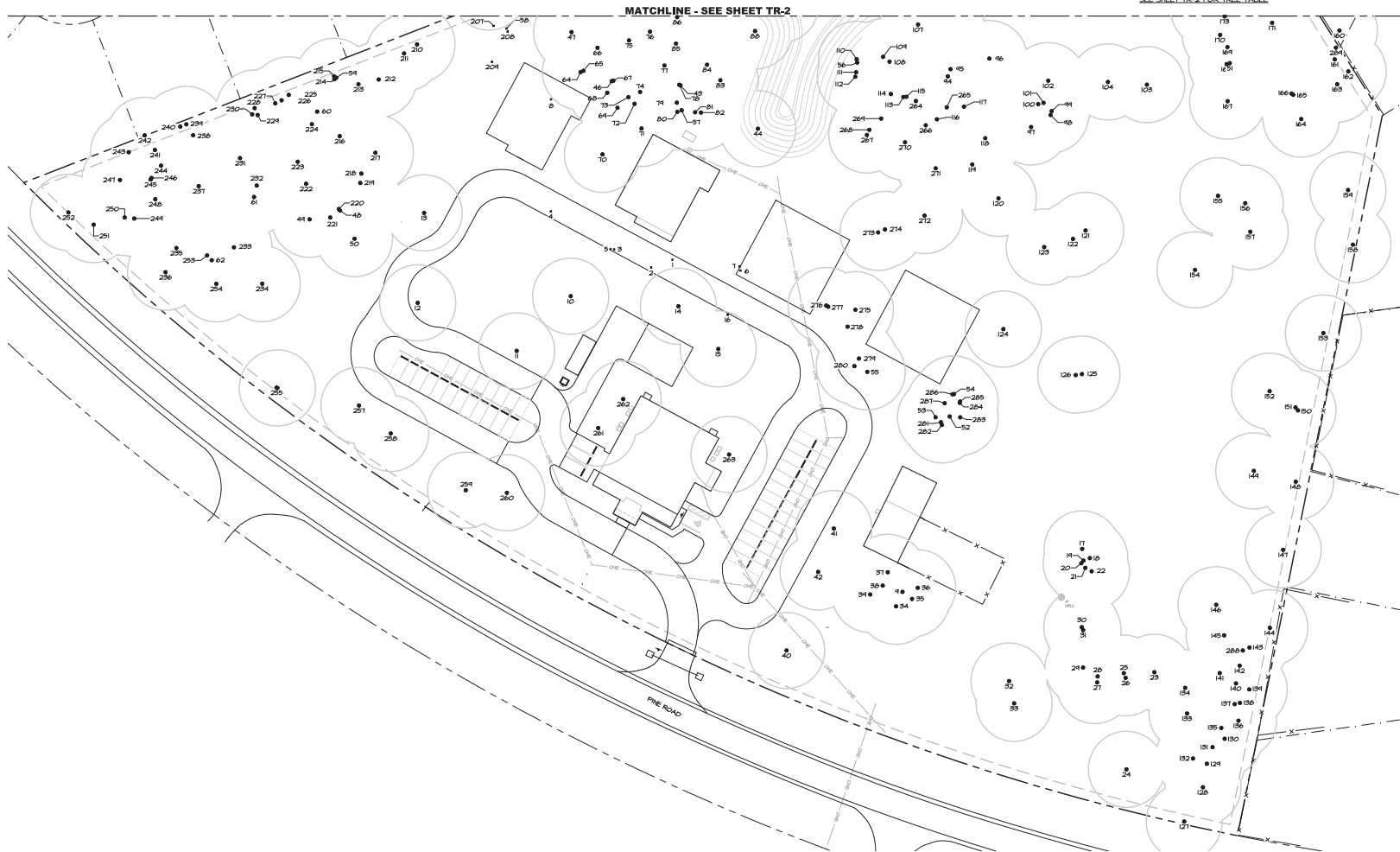
SPRAY HEAD INSTALLATION
 SCALE: N.T.S.



ESP-BAT-BT BATTERY OPERATED CONTROLLER
 SHOWN WITH MULTIPLE VALVES
 SCALE: N.T.S.



IRRIGATION SLEEVE INSTALLATION DETAIL
 N.T.S.



MATCHLINE - SEE SHEET TR-2

TREE CALCULATIONS

Based on site survey data provided by Clymer Farmer Bailey

NOTE:
Existing trees have been evaluated by MPA ISA Certified Arborist William Neasham FL3046A and Landscape Architect Suzanne Stancil FLA14666662 and have been categorized as viable or non-viable. Viable trees are healthy and thriving. Non-viable trees include designated invasive/prioritized species, and trees that are damaged, or in decline, and which require removal for protection of the public health, safety, and welfare. Non-viable trees are not included in replacement calculations.

SITE AREA - REFER TO CIVIL PLANS: 12.12 AC (854,060 SF)

EXISTING DBH PREDEVELOPMENT = 6,094" (480" PER ACRE)

DBH TO BE REMOVED = 273"

DBH TO BE PRESERVED = 5,826" (458" PER ACRE)

NO MITIGATION REQUIRED DUE TO PRESERVATION OF 100" DBH PER ACRE

SEE SHEET TR-2 FOR TREE TABLE



SCALE: 1"=40'

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FIVE HOUSE FOR HER APARTMENTS
MARION COUNTY, FLORIDA
TREE REMOVAL PLAN

DATE: 07-08-25

DRAWN BY: JET

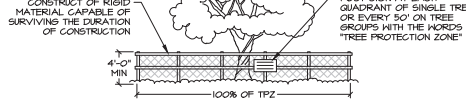
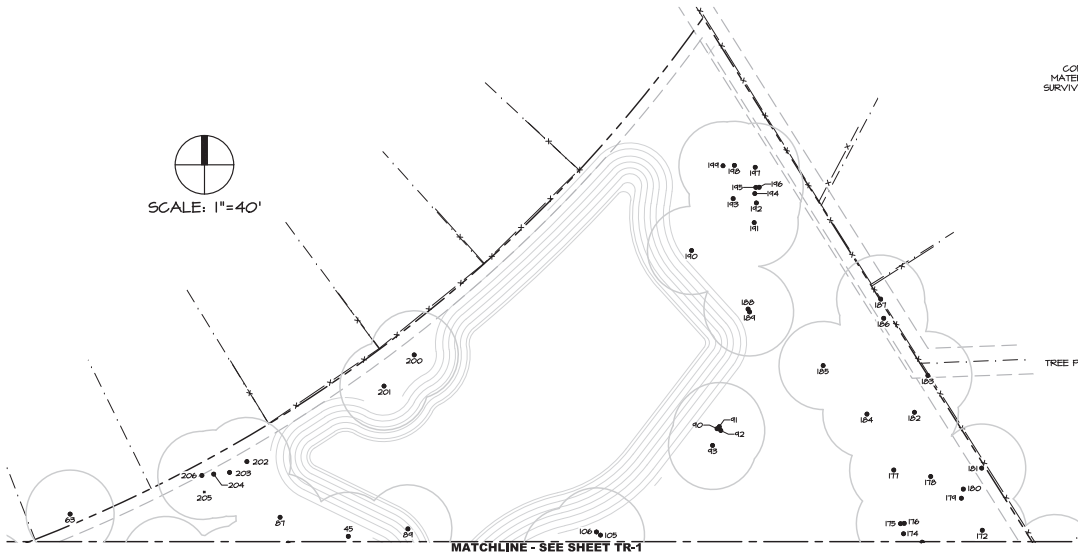
CHECKED BY: JET

SHEET 1 OF 2

TR-1



SCALE: 1"=40'



TREE BARRICADE:

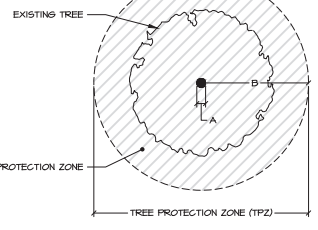
A = DIAMETER OF PROTECTED TREE IN INCHES MEASURED 4-1/2 FEET ABOVE GRADE.

B = TREE PROTECTION ZONE (TPZ) RADIUS. THAT AREA SURROUNDING A TREE WITHIN A CIRCLE DESCRIBED BY A RADIUS OF ONE FOOT FOR EACH INCH OF THE TREE'S DIAMETER (A) AS DESCRIBED ABOVE. (THE CRITICAL ROOT ZONE (CRZ) SHALL BE THE TREE PROTECTION ZONE.)

WITHIN THE TPZ, THERE SHALL BE NO TRENCING, FILLING, EXCAVATION OR OTHER INTENSE DISRUPTION OF UNLESS DIRECTED BY THE LANDSCAPE ARCHITECT OR HIS DESIGNEE.

THE BARRICADE SHALL NOT BE MOVED OR REMOVED WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE COUNTY LANDSCAPE ARCHITECT.

SEE ADDITIONAL TREE PROTECTION NOTES.



TREE PROTECTION DETAIL

Tree Number	Size: Inches	Tree Type	V/N	Preserve/Remove
1	25"	LIVE OAK	V	REMOVE
2	12"	LIVE OAK	V	REMOVE
3	19"	LIVE OAK	V	REMOVE
4	22"	LIVE OAK	V	REMOVE
5	20"	LIVE OAK	V	REMOVE
6	12"	LIVE OAK	V	REMOVE
7	17"	LIVE OAK	V	REMOVE
8	24"	LIVE OAK	V	REMOVE
9	24"	LIVE OAK	V	PRESERVE
10	36"	LIVE OAK	V	PRESERVE
11	44"	LIVE OAK	V	PRESERVE
12	36"	LIVE OAK	V	PRESERVE
13	36"	LIVE OAK	V	PRESERVE
14	16"	LIVE OAK	V	PRESERVE
15	72"	LIVE OAK	V	PRESERVE
16	42"	LIVE OAK	V	REMOVE
17	22"	LIVE OAK	V	PRESERVE
18	20"	LIVE OAK	V	PRESERVE
19	12"	LIVE OAK	V	PRESERVE
20	24"	LIVE OAK	V	PRESERVE
21	12"	LIVE OAK	V	PRESERVE
22	8"	LIVE OAK	V	PRESERVE
23	30"	LIVE OAK	V	PRESERVE
24	20"	PINE	V	PRESERVE
25	19"	LIVE OAK	V	PRESERVE
26	12"	LIVE OAK	V	PRESERVE
27	11"	LIVE OAK	V	PRESERVE
28	20"	LIVE OAK	V	PRESERVE
29	24"	LIVE OAK	V	PRESERVE
30	12"	LIVE OAK	V	PRESERVE
31	24"	LIVE OAK	V	PRESERVE
32	22"	CHERRY	V	PRESERVE
33	22"	LIVE OAK	V	PRESERVE
34	12"	LIVE OAK	V	PRESERVE
35	12"	LIVE OAK	V	PRESERVE
36	10"	LIVE OAK	V	PRESERVE
37	16"	LIVE OAK	V	PRESERVE
38	26"	PINE	V	PRESERVE
39	16"	LIVE OAK	V	PRESERVE
40	24"	LIVE OAK	V	PRESERVE
41	30"	LIVE OAK	V	PRESERVE
42	20"	LIVE OAK	V	PRESERVE
43	19"	LIVE OAK	V	PRESERVE
44	19"	LIVE OAK	V	PRESERVE
45	19"	LIVE OAK	V	PRESERVE
46	24"	LIVE OAK	V	PRESERVE
47	24"	LIVE OAK	V	PRESERVE

Tree Number	Size: Inches	Tree Type	V/N	Preserve/Remove
48	36"	LIVE OAK	V	PRESERVE
49	36"	LIVE OAK	V	PRESERVE
50	36"	LIVE OAK	V	PRESERVE
51	21"	LIVE OAK	V	PRESERVE
52	10"	LIVE OAK	V	PRESERVE
53	14"	LIVE OAK	V	PRESERVE
54	12"	LIVE OAK	V	PRESERVE
55	34"	LIVE OAK	V	PRESERVE
56	10"	LIVE OAK	V	PRESERVE
57	13"	LIVE OAK	V	PRESERVE
58	12"	LIVE OAK	V	REMOVE
59	16"	LIVE OAK	V	PRESERVE
60	12"	LIVE OAK	V	PRESERVE
61	14"	PINE	V	PRESERVE
62	12"	LIVE OAK	V	PRESERVE
63	19"	LIVE OAK	V	PRESERVE
64	12"	LIVE OAK	V	PRESERVE
65	24"	LIVE OAK	V	PRESERVE
66	15"	LIVE OAK	V	PRESERVE
67	28"	LIVE OAK	V	PRESERVE
68	20"	LIVE OAK	V	PRESERVE
69	10"	LIVE OAK	V	PRESERVE
70	24"	LIVE OAK	V	PRESERVE
71	24"	LIVE OAK	V	PRESERVE
72	28"	LIVE OAK	V	PRESERVE
73	19"	LIVE OAK	V	PRESERVE
74	16"	LIVE OAK	V	PRESERVE
75	28"	LIVE OAK	V	PRESERVE
76	22"	LIVE OAK	V	PRESERVE
77	21"	PINE	V	PRESERVE
78	19"	LIVE OAK	V	PRESERVE
79	14"	LIVE OAK	V	PRESERVE
80	19"	LIVE OAK	V	PRESERVE
81	24"	LIVE OAK	V	PRESERVE
82	12"	LIVE OAK	V	PRESERVE
83	20"	LIVE OAK	V	PRESERVE
84	20"	LIVE OAK	V	PRESERVE
85	19"	LIVE OAK	V	PRESERVE
86	16"	LIVE OAK	V	PRESERVE
87	12"	LIVE OAK	V	PRESERVE
88	25"	LIVE OAK	V	PRESERVE
89	16"	LIVE OAK	V	PRESERVE
90	34"	LIVE OAK	V	PRESERVE
91	24"	LIVE OAK	V	PRESERVE
92	20"	LIVE OAK	V	PRESERVE
93	48"	LIVE OAK	V	PRESERVE
94	39"	LIVE OAK	V	PRESERVE

Tree Number	Size: Inches	Tree Type	V/N	Preserve/Remove
95	18"	LIVE OAK	V	PRESERVE
96	16"	LIVE OAK	V	PRESERVE
97	16"	LIVE OAK	V	PRESERVE
98	22"	LIVE OAK	V	PRESERVE
99	12"	LIVE OAK	V	PRESERVE
100	10"	LIVE OAK	V	PRESERVE
101	23"	LIVE OAK	V	PRESERVE
102	16"	LIVE OAK	V	PRESERVE
103	24"	LIVE OAK	V	PRESERVE
104	14"	LIVE OAK	V	PRESERVE
105	22"	LIVE OAK	V	PRESERVE
106	16"	LIVE OAK	V	PRESERVE
107	32"	LIVE OAK	V	PRESERVE
108	16"	LIVE OAK	V	PRESERVE
109	10"	LIVE OAK	V	PRESERVE
110	22"	LIVE OAK	V	PRESERVE
111	10"	LIVE OAK	V	PRESERVE
112	14"	LIVE OAK	V	PRESERVE
113	10"	LIVE OAK	V	PRESERVE
114	10"	LIVE OAK	V	PRESERVE
115	10"	LIVE OAK	V	PRESERVE
116	11"	LIVE OAK	V	PRESERVE
117	19"	LIVE OAK	V	PRESERVE
118	20"	LIVE OAK	V	PRESERVE
119	21"	LIVE OAK	V	PRESERVE
120	20"	LIVE OAK	V	PRESERVE
121	32"	LIVE OAK	V	PRESERVE
122	20"	LIVE OAK	V	PRESERVE
123	42"	LIVE OAK	V	PRESERVE
124	22"	LIVE OAK	V	PRESERVE
125	17"	LIVE OAK	V	PRESERVE
126	14"	LIVE OAK	V	PRESERVE
127	30"	LIVE OAK	V	PRESERVE
128	50"	LIVE OAK	V	PRESERVE
129	48"	LIVE OAK	V	PRESERVE
130	12"	LIVE OAK	V	PRESERVE
131	14"	LIVE OAK	V	PRESERVE
132	21"	LIVE OAK	V	PRESERVE
133	22"	LIVE OAK	V	PRESERVE
134	12"	LIVE OAK	V	PRESERVE
135	16"	LIVE OAK	V	PRESERVE
136	16"	PALM	V	PRESERVE
137	10"	LIVE OAK	V	PRESERVE
138	17"	LIVE OAK	V	PRESERVE
139	15"	LIVE OAK	V	PRESERVE
140	19"	LIVE OAK	V	PRESERVE
141	30"	LIVE OAK	V	PRESERVE

Tree Number	Size: Inches	Tree Type	V/N	Preserve/Remove
142	15"	LIVE OAK	V	PRESERVE
143	15"	LIVE OAK	V	PRESERVE
144	44"	LIVE OAK	V	PRESERVE
145	20"	LIVE OAK	V	PRESERVE
146	15"	LIVE OAK	V	PRESERVE
147	30"	LIVE OAK	V	PRESERVE
148	18"	PINE	V	PRESERVE
149	31"	LIVE OAK	V	PRESERVE
150	18"	LIVE OAK	V	PRESERVE
151	12"	LIVE OAK	V	PRESERVE
152	36"	LIVE OAK	V	PRESERVE
153	12"	LIVE OAK	V	PRESERVE
154	34"	LIVE OAK	V	PRESERVE
155	36"	LIVE OAK	V	PRESERVE
156	40"	LIVE OAK	V	PRESERVE
157	39"	LIVE OAK	V	PRESERVE
158	22"	LIVE OAK	V	PRESERVE
159	15"	LIVE OAK	V	PRESERVE
160	24"	LIVE OAK	V	PRESERVE
161	17"	LIVE OAK	V	PRESERVE
162	39"	LIVE OAK	V	PRESERVE
163	48"	LIVE OAK	V	PRESERVE
164	17"	LIVE OAK	V	PRESERVE
165	19"	LIVE OAK	V	PRESERVE
166	15"	LIVE OAK	V	PRESERVE
167	15"	LIVE OAK	V	PRESERVE
168	15"	LIVE OAK	V	PRESERVE
169	46"	LIVE OAK	V	PRESERVE
170	10"	LIVE OAK	V	PRESERVE
171	15"	LIVE OAK	V	PRESERVE
172	36"	LIVE OAK	V	PRESERVE
173	26"	LIVE OAK	V	PRESERVE
174	19"	LIVE OAK	V	PRESERVE
175	19"	LIVE OAK	V	PRESERVE
176	19"	LIVE OAK	V	PRESERVE
177	19"	LIVE OAK	V	PRESERVE
178	10"	LIVE OAK	V	PRESERVE
179	24"	LIVE OAK	V	PRESERVE
180	39"	LIVE OAK	V	PRESERVE
181	24"	LIVE OAK	V	PRESERVE
182	17"	PINE	V	PRESERVE
183	10"	PINE	V	PRESERVE
184	56"	LIVE OAK	V	PRESERVE
185	14"	LIVE OAK	V	PRESERVE
186	30"	PINE	V	PRESERVE
187	17"	PINE	V	PRESERVE
188	19"	LIVE OAK	V	PRESERVE

Tree Number	Size: Inches	Tree Type	V/N	Preserve/Remove
189	24"	LIVE OAK	V	PRESERVE
190	36"	LIVE OAK	V	PRESERVE
191	15"	LIVE OAK	V	PRESERVE
192	18"	LIVE OAK	V	PRESERVE
193	44"	LIVE OAK	V	PRESERVE
194	14"	LIVE OAK	V	PRESERVE
195	14"	LIVE OAK	V	PRESERVE
196	17"	LIVE OAK	V	PRESERVE
197	20"	LIVE OAK	V	PRESERVE
198	10"	LIVE OAK	V	PRESERVE
199	17"	LIVE OAK	V	PRESERVE
200	11"	WATER OAK	V	PRESERVE
201	26"	LIVE OAK	V	PRESERVE
202	18"	LIVE OAK	V	PRESERVE
203	27"	LIVE OAK	V	PRESERVE
204	10"	LIVE OAK	V	PRESERVE
205	17"	LIVE OAK	V	REMOVE
206	23"	PINE	V	PRESERVE
207	28"	LIVE OAK	V	REMOVE
208	14"	LIVE OAK	V	REMOVE
209	10"	LIVE OAK	V	REMOVE
210	16"	LIVE OAK	V	PRESERVE
211	21"	LIVE OAK	V	PRESERVE
212	22"	LIVE OAK	V	PRESERVE
213	28"	LIVE OAK	V	PRESERVE
214	18"	LIVE OAK	V	PRESERVE
215	14"	LIVE OAK	V	PRESERVE
216	20"	LIVE OAK	V	PRESERVE
217	24"	LIVE OAK	V	PRESERVE
218	23"	LIVE OAK	V	PRESERVE
219	24"	LIVE OAK	V	PRESERVE
220	46"	LIVE OAK	V	PRESERVE
221	11"	LIVE OAK	V	PRESERVE
222	20"	LIVE OAK	V	PRESERVE
223	25"	LIVE OAK	V	PRESERVE
224	18"	LIVE OAK	V	PRESERVE
225	18"	LIVE OAK	V	PRESERVE
226	20"	LIVE OAK	V	PRESERVE
227	15"	LIVE OAK	V	PRESERVE
228	10"	LIVE OAK	V	PRESERVE
229	19"	LIVE OAK	V	PRESERVE
230	10"	LIVE OAK	V	PRESERVE
231	23"	LIVE OAK	V	PRESERVE
232	15"	LIVE OAK	V	PRESERVE
233	21"	LIVE OAK	V	PRESERVE
234	12"	LIVE OAK	V	PRESERVE
235	18"	LIVE OAK	V	PRESERVE

Tree Number	Size: Inches	Tree Type	V/N	Preserve/Remove
236	22"	LIVE OAK	V	PRESERVE
237	38"	LIVE OAK	V	PRESERVE
238	10"	LIVE OAK	V	PRESERVE
239	17"	LIVE OAK	V	PRESERVE
240	14"	LIVE OAK	V	PRESERVE
241	20"	LIVE OAK	V	PRESERVE
242	30"	LIVE OAK	V	PRESERVE
243	12"	LIVE OAK	V	PRESERVE
244	18"	LIVE OAK	V	PRESERVE
245	10"	LIVE OAK	V	PRESERVE
246	10"	LIVE OAK	V	PRESERVE
247	14"	LIVE OAK	V	PRESERVE
248	25"	LIVE OAK	V	PRESERVE
249	15"	LIVE OAK	V	PRESERVE
250	36"	LIVE OAK	V	PRESERVE
251	14"	LIVE OAK	V	PRESERVE
252	30"	LIVE OAK	V	PRESERVE
253	17"	LIVE OAK	V	PRESERVE
254	28"	LIVE OAK	V	PRESERVE
255	18"	LIVE OAK	V	PRESERVE
256	32"	LIVE OAK	V	PRESERVE
257	23"	LIVE OAK	V	PRESERVE
258	24"	LIVE OAK	V	PRESERVE
259	17"	LIVE OAK	V	PRESERVE
260	48"	LIVE OAK	V	PRESERVE
261	18"	LIVE OAK	V	PRESERVE
262	20"	LIVE OAK	V	PRESERVE
263	14"	LIVE OAK	V	PRESERVE
264	15"	LIVE OAK	V	PRESERVE
265	15"	LIVE OAK	V	PRESERVE
266	23"	PINE	V	PRESERVE
267	14"	LIVE OAK	V	PRESERVE
268	14"	LIVE OAK	V	PRESERVE
269	26"	LIVE OAK	V	PRESERVE
270	24"	LIVE OAK	V	PRESERVE
271	26"	LIVE OAK	V	PRESERVE
272	23"	LIVE OAK	V	PRESERVE
273	12"	CHERRY	V	PRESERVE
274	12"	CHERRY	V	PRESERVE
275	20"	WATER OAK	V	PRESERVE
276	12"	WATER OAK	V	PRESERVE
277	10"	WATER OAK	V	PRESERVE
278	38"	LIVE OAK	V	PRESERVE
279	30"	LIVE OAK	V	PRESERVE
280	12"	LIVE OAK	V	PRESERVE
281	10"	LIVE OAK	V	PRESERVE
282	24"	LIVE OAK	V	PRESERVE
283	16"	LIVE OAK	V	PRESERVE
284	11"	LIVE OAK	V	PRESERVE
285	13"	LIVE OAK	V	PRESERVE
286	14"	LIVE OAK	V	PRESERVE
287	11"	LIVE OAK	V	PRESERVE
288	11"	LIVE OAK	V	PRESERVE
289	17"	LIVE OAK	V	PRESERVE

THIS HOUSE FOR HER APARTMENTS
MARION COUNTY, FLORIDA
TREE REMOVAL PLAN

DATE: 07-0