

November 3, 2025

PROJECT NAME: SW HWY 200 MATTRESS WAREHOUSE

PROJECT NUMBER: 2025030012

APPLICATION: MAJOR SITE PLAN #32568

1 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval

STATUS OF REVIEW: INFO

REMARKS: 3/13/25-add waivers if requested in future

2 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: Additional Development Review Comments

STATUS OF REVIEW: INFO

REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

3 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.2.A(1) - Public water service area/provider

STATUS OF REVIEW: INFO

REMARKS: Marion County Utilities (MCU) Service Area – MCU will provide water service from the existing 12-inch water main located along SW Highway 200.

4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.2.A(1) - Public sewer service area/provider

STATUS OF REVIEW: INFO

REMARKS: Marion County Utilities (MCU) Service Area – MCU will provide wastewater service to the site via connection to the Corta Commons lift station, which discharges into the existing 4-inch sewer force main along SW Highway 200.

5 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REVIEW ITEM: Additional Health comments

STATUS OF REVIEW: INFO

REMARKS: Central Sewer/ Central Water

6 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.4.L(6) - Gross/wetland/floodplain acreage listed?

STATUS OF REVIEW: INFO

REMARKS: None listed on this site.

7 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.4.L(5)/5.4 - [Applicable Springs Protection Zone Listed?]

STATUS OF REVIEW: INFO

REMARKS:

8 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.6 - Buffers

STATUS OF REVIEW: INFO

REMARKS: 1. Due to site constraints, south buffer arrangement is acknowledged, please be aware that buffer plantings shall be maintained in perpetuity.

9 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.9.5 - Irrigation system installation

STATUS OF REVIEW: INFO

REMARKS: Irrigation systems shall only be installed by installation professionals meeting the licensing requirements under Section 6.9.10, except those being installed by property owners on their own single-family residence or owner/occupied duplex. Irrigation systems shall be constructed in accordance with the Florida Irrigation Society's (FIS) Standards and Specifications for Turf and Landscape Irrigation Systems as updated.

10 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: Checked Project Map and SunBiz -EMW 8.18.25//10.27.25

IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

AR 32568

DEVELOPMENT REVIEW PLAN APPLICATION

Date: March 4, 2025

A. PROJECT INFORMATION:

Project Name: SW Hwy 200 Mattress Warehouse

Parcel Number(s): 3501-200-016 & 3501-200-017

Section 24 & 25 Township 16S Range 20E Land Use vacant Zoning Classification B-2

Commercial ☒ Residential ☐ Industrial ☐ Institutional ☐ Mixed Use ☐ Other ☐

Type of Plan: MAJOR SITE PLAN

Property Acreage 0.83 Acres Number of Lots 1 Miles of Roads N/A

Location of Property with Crossroads State Road 200, SW100th st (Approx 1,200-ft south of intersection)

Additional information regarding this submittal: _____

B. CONTACT INFORMATION *(Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.)*



Engineer:

Firm Name: MJ Stokes Consulting, LLC Contact Name: John J Stoeckel

Mailing Address: PO Box 22821 City: Tampa State: FL Zip Code: 33622

Phone # 813.724.4199 Alternate Phone # 607.725.3269

Email(s) for contact via ePlans: jjs@mjstokesconsulting.com



Surveyor:

Firm Name: Thomas M. Ventre Prof. Land Surveyor, Inc. Contact Name: Thomas M. Ventre

Mailing Address: 3661 SE 56th Street City: Ocala State: FL Zip Code: 34470

Phone # 352.629.1696 Alternate Phone # _____

Email(s) for contact via ePlans: tmvpls@aol.com

Property Owner:

Owner: Edward J O'Hanrahan Contact Name: Edward J O'Hanrahan

Mailing Address: 12062 W Marlin Ct City: Homosassa State: FL Zip Code: 34448

Phone # _____ Alternate Phone # _____

Email address: eohanra332@aol.com

Developer:

Developer: Edward J O'Hanrahan Contact Name: Edward J O'Hanrahan

Mailing Address: 12062 W Marlin Ct City: Homosassa State: FL Zip Code: 34448

Phone # _____ Alternate Phone # _____

Email address: eohanra332@aol.com

Revised 6/2021

GENERAL NOTES:

1. BOUNDARY INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "BOUNDARY SURVEY FOR EDWARD J. O'HANRAHAN", PREPARED BY THOMAS M. VENTRE PROF. LAND SURVEYOR, INC. DATED FEBRUARY 11, 2015.
2. TOPOGRAPHIC AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "ALTAPRIS LAND TITLE SURVEY LOCATED IN SECTIONS 24 & 35, TOWNSHIP 15 SOUTH, RANGE 30 EAST, MARION COUNTY, FLORIDA", PREPARED BY CHW PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2023.
3. THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.

DEMOLITION NOTES:

1. ENGINEER IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
2. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO THE ENGINEER IN WRITING PRIOR TO INITIATION OF SITE ACTIVITY.
3. PRIOR TO STARTING ANY DEMOLITION CONTRACTOR SHALL:
 - A. OBTAIN A SHORING PERMIT ONE CALL LOCATION CERTIFICATION PRIOR TO ANY EXCAVATION OR DEMOLITION.
 - B. OBTAIN COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
 - C. NOTULING THE REQUIRED SLOPE EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
 - D. LOCATE ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE.
 - E. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
 - F. FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND BEING RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT.
 - G. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
 - H. A COMPLETE INSPECTION OF CONTAMINANTS BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDING AND/OR STRUCTURES TO BE REMOVED. SAME SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ANY ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOIL, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS THE SOLE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
4. THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE FIRM TO THE PRE-DEMOLITION CONDITION.
5. IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH INSTRUCTION BY OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
6. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL" AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS-OF-WAY.
7. CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AGENCY.
8. DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE SERVED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
9. USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE DEMOLITION" CONDITION.
10. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PREVENT THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
11. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
12. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTES) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.
13. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
14. ALL EXISTING UTILITIES BEING REMOVED SHALL BE DONE SO BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
15. THERE ARE NO KNOWN WATER COURSES, WATER BODIES, FLOODPLAINS, WETLANDS, OR HISTORICAL AND ARCHAEOLOGICAL RESOURCES WITHIN PROJECT LIMITS.
16. CONTRACTOR MUST PROVIDE A Dewatering Plan, IF APPLICABLE, TO THE LOCAL ENGINEERING INSPECTIONS DEPARTMENT FOR REVIEW PRIOR TO IMPLEMENTATION.
17. CONTRACTOR IS REQUIRED TO OBTAIN A DEMOLITION PERMIT FROM THE LOCAL AUTHORITY, AS APPLICABLE, PRIOR TO COMMENCING DEMOLITION. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE PERMIT AND APPLICABLE CODES/ORDINANCES.

EROSION CONTROL NOTES:

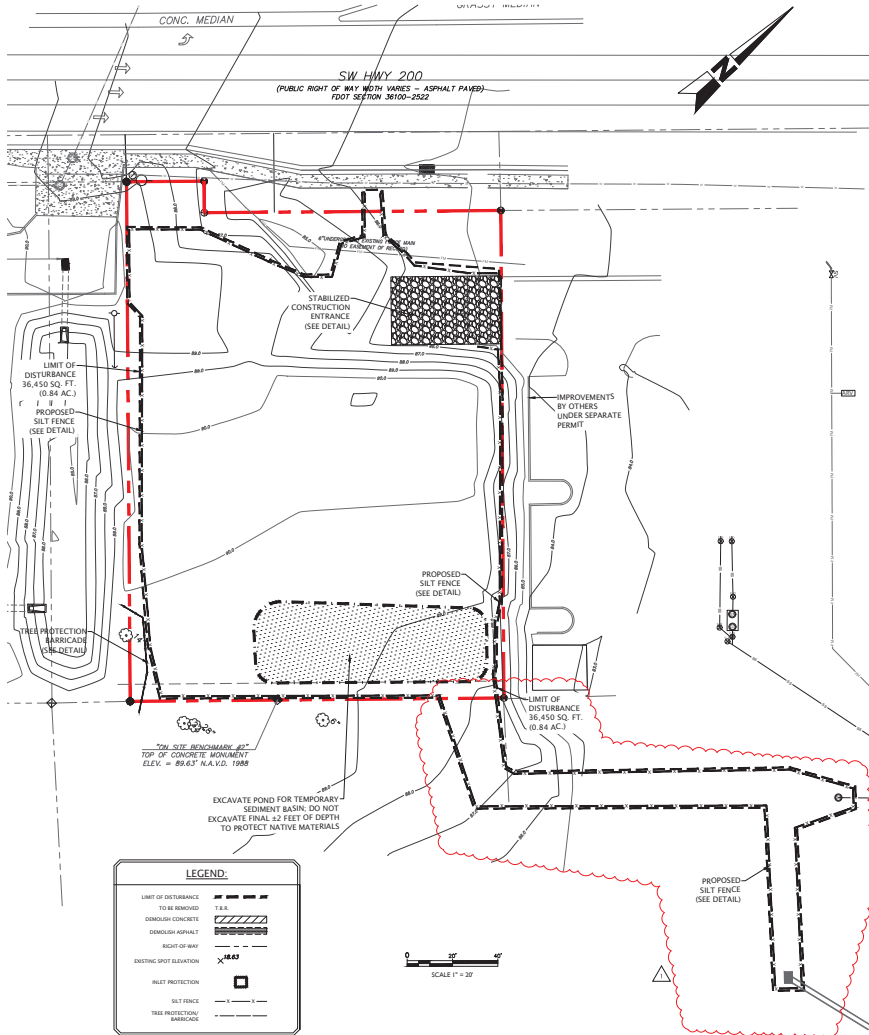
1. TO PREVENT SEDIMENTARY RINOFF DURING CONSTRUCTION, STAGED HAYBALES, STAKED SILT FENCE OR INLET DEBRIS CONTROL MEASURES ARE TO BE PLACED AT STORM INLETS, OUTFALL LOCATIONS AND ADJACENT PROPERTY LINES AS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SEDIMENTATION BARRIERS IN A WORKING MANNER FOR THE DURATION OF CONSTRUCTION AND SHOULD BE CHECKED DAILY. SEDIMENT ACCUMULATIONS GREATER THAN THE LESSER OF 8 INCHES OR ONE-THIRD OF THE DEPTH OF THE SEDIMENTATION BARRIER SHALL BE IMMEDIATELY REMOVED AND REPLACED IN UPLAND AREAS. IN ADDITION TO UNPERFECT EROSION CONTROL LOCATIONS, THE CONTRACTOR SHALL PERFORM DAILY SITE INSPECTIONS FOR POTENTIAL EROSION PROBLEMS. IF PROBLEMS OCCUR, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPROPRIATE EROSION CONTROL IMMEDIATELY. STORMWATER TREATMENT FACILITIES INCLUDING OUTFALLS ARE TO BE CONSTRUCTED EARLY IN SITE DEVELOPMENT, WITH NO OFF-SITE UNTREATED RUN-OFF OCCURRING DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING TEMPORARY EROSION CONTROL DEVICES FOLLOWING COMPLETION OF ALL CONSTRUCTION AND FINAL STABILIZATION.
2. THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR APPLYING TO UTILIZE THE PERMIT CONSTRUCTION EROSION PERMIT (COPY FOR THIS PROJECT). THE CONTRACTOR/OWNER IS REQUIRED TO SUBMIT A COMPLETED NOTICE OF INTENT (NFI) FORM TO DFP A MINIMUM OF FIVE (5) DAYS PRIOR TO COMMENCING WORK. ONCE THE PERMIT IS ISSUED, A COPY OF THE PERMIT SHOULD BE SUBMITTED TO THE JURISDICTION HAVING AUTHORITY FOR RECORD PURPOSES.
3. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN PLACE UNTIL THE SITE HAS BEEN STABILIZED AND REVEGETATED.
4. CONSTRUCTION METHOD AND MATERIALS TO BE IN ACCORDANCE WITH SECTION 10-6 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION SPECIFICATIONS. JOINTS OF THE EROSION FABRIC MUST BE OVERLAPPED AND PROPERLY CONNECTED TO PREVENT ANY OPENING FROM OCCURRING.
5. SILT FENCE MAY ALSO REPRESENT CONSTRUCTION LIMITS BARRIERS. THEY SHALL BE ERRECTED PRIOR TO INITIATION OF SITE CLEARING OPERATIONS NEAR WETLANDS, BUFFER AREAS AND ANY OTHER AREAS SHOWN AS PRESERVED OR PROTECTED FROM CONSTRUCTION ACTIVITIES. FAILURE TO INSTALL AND MAINTAIN BARRIERS MAY BE CAUSE FOR FINES.
6. ALL DISTURBED AREAS OFFSITE AND/OR OUTSIDE THE PROTECTED PERIMETER SHALL BE SODDED IMMEDIATELY UPON COMPLETION OF WORK.

EARTHWORK & FILL NOTES:

1. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
2. ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
3. TOPSOIL, REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL DISTURBED AREAS.
4. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
5. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCRAPPED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
6. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSISTENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
7. ALL FILL SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 6 INCHES IN THICKNESS.
8. FILL MATERIAL SHALL BE FREE OF BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
9. SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
10. FILL SHALL NOT BE PLACED ON SATURATED SURFACES.

CONCRETE WASHOUT NOTES:

1. ASSIGNED CONCRETE WASHOUT AREAS ARE REQUIRED ON ALL CONSTRUCTION SITES INVOLVING CONCRETE AND STUCCO USE.
2. THE CONTRACTOR SHALL REQUIRE ALL CONCRETE DRIVERS TO UTILIZE THE CONCRETE WASHOUTS ON-SITE.
3. WASHOUT FACILITIES SHALL BE LOCATED AT LEAST 100 FEET AWAY FROM STORM INLETS, CUTTERS, OPEN DITCHES, AND WATER COURSES.
4. APPROPRIATE STONE SHOULD COVER PATHS TO CONCRETE WASHOUT (SEE ACCESS DETAILS).
5. CONCRETE WASHOUT AREAS SHALL BE IDENTIFIED BY POSTING SIGNS ON-SITE.
6. CONCRETE WASHOUTS ARE TO BE INSPECTED DAILY BY THE CONTRACTOR FOR LEAKS OR TARS IN PLASTIC LINING.
7. REMOVE AND DISPOSE OF ALL MATERIAL WHEN THE WASHOUT HAS BEEN FILLED TO 75% CAPACITY.
8. ONCE THE MATERIAL HAS BEEN CLEANED OUT OF THE CONCRETE WASHOUT FACILITY, THE FACILITY MUST BE PROTECTED FOR REPAIR, RECONSTRUCTION OR REPLACEMENT. ALL PLASTIC LINING SHALL BE REMOVED AND REPLACED.
9. OPTIONS INCLUDE AN ON-SITE PIT AND LINE WITH 10 MIL PLASTIC SHEETING OR CREATE AN ABOVE-GROUND STRUCTURE FROM STAIN STEEL OR SANDWICH WITH 10 MIL PLASTIC LINING.
10. PRE-FABRICATED CONCRETE WASHOUTS MAY BE USED PROVIDED THEY MEET THE ABOVE MINIMUM REQUIREMENTS.



MJ STOKES CONSULTING

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FLORIDA LICENSE REGISTRY NO. 1444

REVISIONS

NO.	DATE	DESCRIPTION
1	02/23/24	ISSUED FOR COUNTY STATE COMMENT
2	02/23/24	ISSUED FOR COUNTY STATE COMMENT
3	02/23/24	ISSUED FOR COUNTY STATE COMMENT
4	02/23/24	ISSUED FOR COUNTY STATE COMMENT
5	02/23/24	ISSUED FOR COUNTY STATE COMMENT
6	02/23/24	ISSUED FOR COUNTY STATE COMMENT
7	02/23/24	ISSUED FOR COUNTY STATE COMMENT
8	02/23/24	ISSUED FOR COUNTY STATE COMMENT
9	02/23/24	ISSUED FOR COUNTY STATE COMMENT
10	02/23/24	ISSUED FOR COUNTY STATE COMMENT

Shunshine

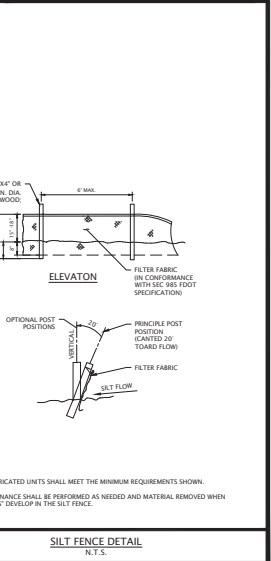
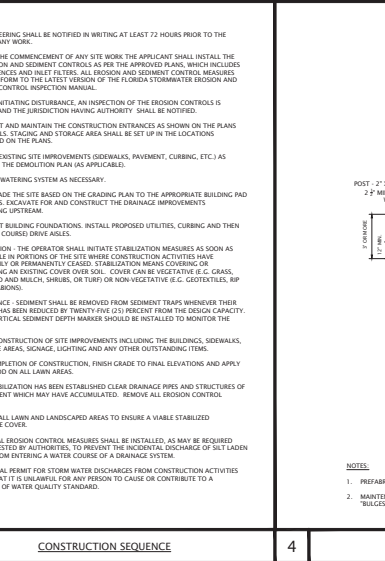
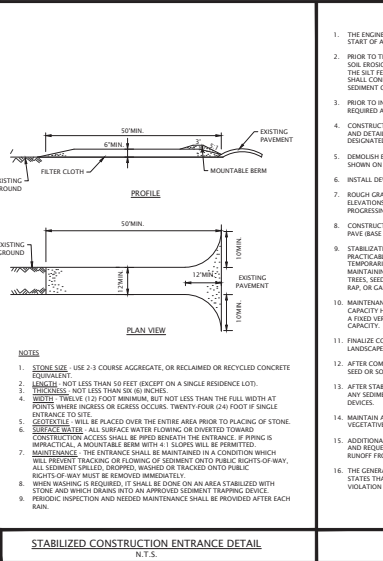
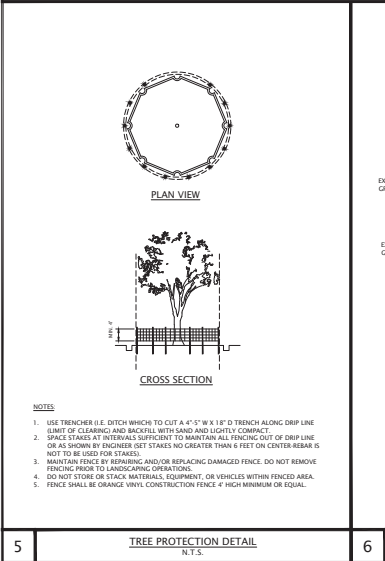
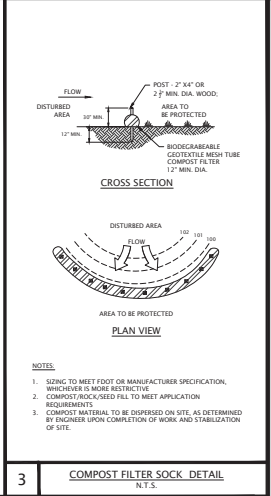
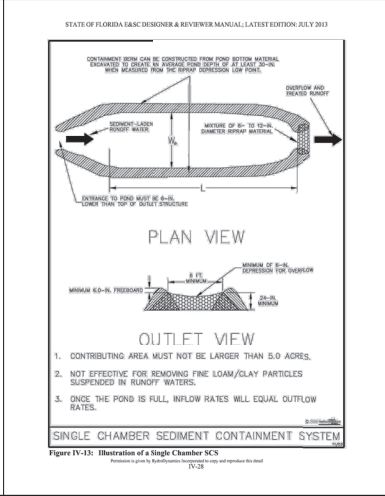
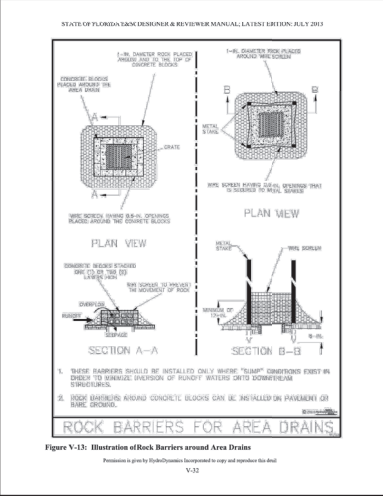
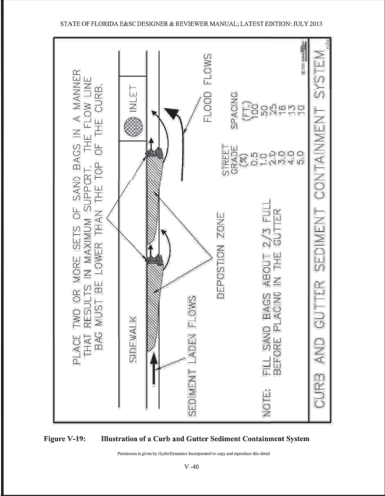
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive responder codes before you dig!

JOHN J. STOECKEL
FLORIDA PROFESSIONAL ENGINEER
LICENSE NO. 80750

PROJECT NAME:
MAJOR SITE PLAN
MATTRESS WAREHOUSE
FOR
EDWARD O'HANRAHAN
MARION COUNTY, FLORIDA

SHEET TITLE
DEMOLITION &
EROSION CONTROL PLAN

PROJECT NO.: 24-0801
CHECKED BY: JST
VERTICAL DATUM: NAVD 1988
DATE: 03/04/25
SHEET NUMBER
C-102



MJ STOKES CONSULTING
P.O. BOX 12821
TAMPA, FL 33612
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FLORIDA BUSINESS REGISTRY NO. 14448

Revisions Table:

NO.	DATE	DESCRIPTION
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Shine
Call 811 or visit shine@11.com two full business days before digging to have buried facilities located and marked.
Check positive responder codes before you dig!

JOHN J. STOECKEL
FLORIDA PROFESSIONAL ENGINEER
LICENSE NO. 80750

PROJECT NAME:
MAJOR SITE PLAN
MATTRESS WAREHOUSE
FOR
EDWARD O'HANRAHAN
MARION COUNTY, FLORIDA

SHEET TITLE:
EROSION & SEDIMENT CONTROL DETAILS

PROJECT NO.: 14-091
CHECKED BY: JST
VERTICAL DATUM: NAVD 1988
DATE: 8/30/23
SHEET NUMBER: C-103

OWNER/APPLICANT:

OHANRAHAN EDWARD J JR
12062 W MARION CT
HOLDSGASSA FL 34448

PARCEL INFORMATION:

• PARCEL ID: 3501-200-017
• SITE AREA: 40.81 ACRES (PER PROJECT BOUNDARY SURVEY)
• PHYSICAL ADDRESS: PENDING
• ZONING: COMMUNITY BUSINESS (B-2)
• FUTURE LAND USE (PLUM): COMMERCIAL (D - 8 DU/AC; FAR 1.0)
• EXISTING USE: VACANT
• PROPOSED USE: RETAIL
• LANDSCAPE BUFFERS: 15-FT "TYPE C" FRONT YARD, AND 20-FT "TYPE B" REAR YARD, FURTHER IN ACCORDANCE WITH MARION COUNTY DEVELOPMENT CODE SECTION 8.8.6.

GENERAL NOTES:

- BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "BOUNDARY SURVEY FOR EDWARD J. OHANRAHAN", PREPARED BY THOMAS M. VENTRE PROF. LAND SURVEYOR, INC. DATED FEBRUARY 11, 2025, LAST REVISED JUNE 16, 2025.
- THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
- ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 120160, MAP PANEL NUMBER 1208C08ABE, EFFECTIVE DATE APRIL 19, 2017, THE SUBJECT PARCEL APPEARS TO FALL WITHIN SPECIAL FLOOD HAZARD ZONE "X".
- SUBSURFACE INFORMATION SHOWN HEREON IS TAKEN FROM A REPORT ENTITLED "GEO-TECHNICAL SITE EVALUATION PROPOSED RETAIL DEVELOPMENT", PARCEL NO. 3501-200-016, STATE ROAD 200, OCALA, FLORIDA, PREPARED BY GEO-TECHNOLOGIES, INC. (GEO-TECH) DATED DECEMBER 16, 2024.



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FLORIDA BUSINESS REGISTRY NO. 1444

REVISIONS

NO.	DATE	DESCRIPTION
01	06/11/25	MARION COUNTY STAFF COMMENTS
02	06/11/25	MARION COUNTY STAFF COMMENTS
03	06/11/25	MARION COUNTY STAFF COMMENTS
04	06/11/25	MARION COUNTY STAFF COMMENTS
05	06/11/25	MARION COUNTY STAFF COMMENTS
06	06/11/25	MARION COUNTY STAFF COMMENTS
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10	06/11/25	MARION COUNTY STAFF COMMENTS
11	06/11/25	MARION COUNTY STAFF COMMENTS
12	06/11/25	MARION COUNTY STAFF COMMENTS
13	06/11/25	MARION COUNTY STAFF COMMENTS
14	06/11/25	MARION COUNTY STAFF COMMENTS
15	06/11/25	MARION COUNTY STAFF COMMENTS
16	06/11/25	MARION COUNTY STAFF COMMENTS
17	06/11/25	MARION COUNTY STAFF COMMENTS
18	06/11/25	MARION COUNTY STAFF COMMENTS
19	06/11/25	MARION COUNTY STAFF COMMENTS
20	06/11/25	MARION COUNTY STAFF COMMENTS

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Check positive responder codes before you dig!

JOHN J. STOECKEL
FLORIDA PROFESSIONAL ENGINEER
LICENSE NO. 8978

PROJECT NAME:
MAJOR SITE PLAN
MATTRESS WAREHOUSE
FOR
EDWARD OHANRAHAN
MARION COUNTY, FLORIDA

SHEET TITLE
OVERALL SITE PLAN
W/ AERIAL

PROJECT NO.: 24-0901
CHECKED BY: JST
VERTICAL DATUM: NAVD 1988
DATE: 03/04/25
SHEET NUMBER:
C-104

OWNER/APPLICANT:

EDWARD J OHANRAHAN
12062 W MARLIN CT
HOMOSASSA FL 34448

PARCEL INFORMATION:

- PARCEL ID: 3501-200-017
- SITE AREA: ±0.83 ACRES (PER PROJECT BOUNDARY SURVEY)
- PHYSICAL ADDRESS: PENDING
- ZONING: COMMUNITY BUSINESS (B-2)
- FUTURE LAND USE (PLUM): COMMERCIAL (D) - FLOOD, PAR 1.0
- EXISTING USE: VACANT
- PROPOSED USE: RETAIL
- LANDSCAPE BUFFERS: 15 FT TYPE "C" FRONT YARD, AND 20 FT TYPE "B" REAR YARD, FURTHER IN ACCORDANCE WITH MARION COUNTY DEVELOPMENT CODE SECTION 8.8.6.

LEGAL DESCRIPTION:

LOT 16, KINGSLAND COUNTY ESTATES
THAT PART OF TRACT 8, KINGSLAND COUNTY ESTATES UNIT 1, LYING IN SECTIONS 24 AND 25, TOWNSHIP 16 SOUTH, RANGE 20 EAST, AS RECORDED IN PLAT BOOK 1, PAGES 1 THROUGH 6, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, LYING WITHIN THE FOLLOWING BOUNDARIES, TO WIT:
COMMENCE AT THE NORTHEAST CORNER OF SAID TRACT 8, SAID POINT BEING THE POINT OF INTERSECTION OF THE SOUTHEASTLY RIGHT OF WAY LINE OF STATE ROAD 200 AND THE SOUTHWESTERLY RIGHT OF WAY LINE OF KINGSLAND COUNTY DRIVE, RUN THENCE SOUTH 41°34'12"W, ALONG SAID RIGHT OF WAY LINE OF STATE ROAD 200, BEING ALSO THE WESTERLY BOUNDARY OF SAID TRACT 8, A DISTANCE OF 1,300.84 FEET TO THE POINT OF BEGINNING, CONTINUE THENCE SOUTH 41°34'12"W, ALONG SAID RIGHT OF WAY LINE AND SAID BOUNDARY A DISTANCE OF 130.81 FEET, THENCE LEAVING SAID RIGHT OF WAY LINE AND SAID BOUNDARY RUN SOUTH 48°25'48"W, A DISTANCE OF 250 FEET TO A POINT, THENCE NORTH 41°34'12"E, A DISTANCE OF 150 FEET TO A POINT, THENCE NORTH 48°25'48"W, A DISTANCE OF 250 FEET TO A POINT OF INTERSECTION WITH AFORESAID RIGHT OF WAY LINE AND BOUNDARY AND THE POINT OF BEGINNING, NOW KNOWN AS LOT 3, WENDY 200 SUBDIVISION, AS PER PLAT THEREOF FILED IN PLAT BOOK 4, PAGE 73 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

AND

LOT 1, KINK KINC SUBDIVISION
LOT 1, KINK KINC SUBDIVISION, ACCORDING TO PLAT THEREOF RECORDED IN PLAT BOOK V, PAGE 98, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

LESS AND EXCEPT COMMENCE AT THE SOUTHWEST CORNER OF LOT 3, WENDY200, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 4, PAGE 73 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, THENCE SOUTH 48°25'48"W, 150 FEET TO THE SOUTHWEST CORNER OF SAID LOT 3, THENCE NORTH 48°25'48"W, 250 FEET TO THE WEST BOUNDARY OF SAID LOT 3, THENCE SOUTH 41°34'12"W, ALONG SAID WEST BOUNDARY 35 FEET TO THE POINT OF BEGINNING.

ALSO LESS AND EXCEPT THE NORTHWESTERLY 20.93 FEET OF LOT 3, WENDY 200 SUBDIVISION, FOR ADDITIONAL ROAD RIGHT OF WAY OF STATE ROAD 200.

ZONING TABLE:

	REQUIRED	PROPOSED OVERALL
MINIMUM LOT SIZE	N/A	±0.827 ACRES
FRONT BUILDING SETBACK (FT)	40'	64.9'
SIDE YARD SETBACK (FT)	10'	23.5'
REAR YARD SETBACK (FT)	25'	74.6'
MINIMUM LOT WIDTH (FT)	N/A	165.2'
BUILDING HEIGHT (FT)	50'	4.50'
MAX IMPERVIOUS SURFACE RATIO (ISR)	N/A	55.5% (19,986/SF, 0.41)
MAXIMUM FLOOR AREA RATIO (FAR)	1.0	8.125 (4,500/SF, 0.41)

PARKING SCHEDULE

PARKING REQUIRED:

RETAIL - REQUIRED 1.0 SPACES PER 300 SQ. FT. GFA

• 4,500 SQ. FT. • 1.0 SPACES PER 300 SQ. FT. • 15 SPACES

HANDICAP SPACES REQUIRED = 1 SPACE (1-2% TOTAL SPACES)

TOTAL SPACES REQUIRED = 15 SPACES (INCLUDE 1 HANDICAP SPACE)

PARKING PROVIDED:

REGULAR SPACES = 15

HANDICAP SPACES = 1

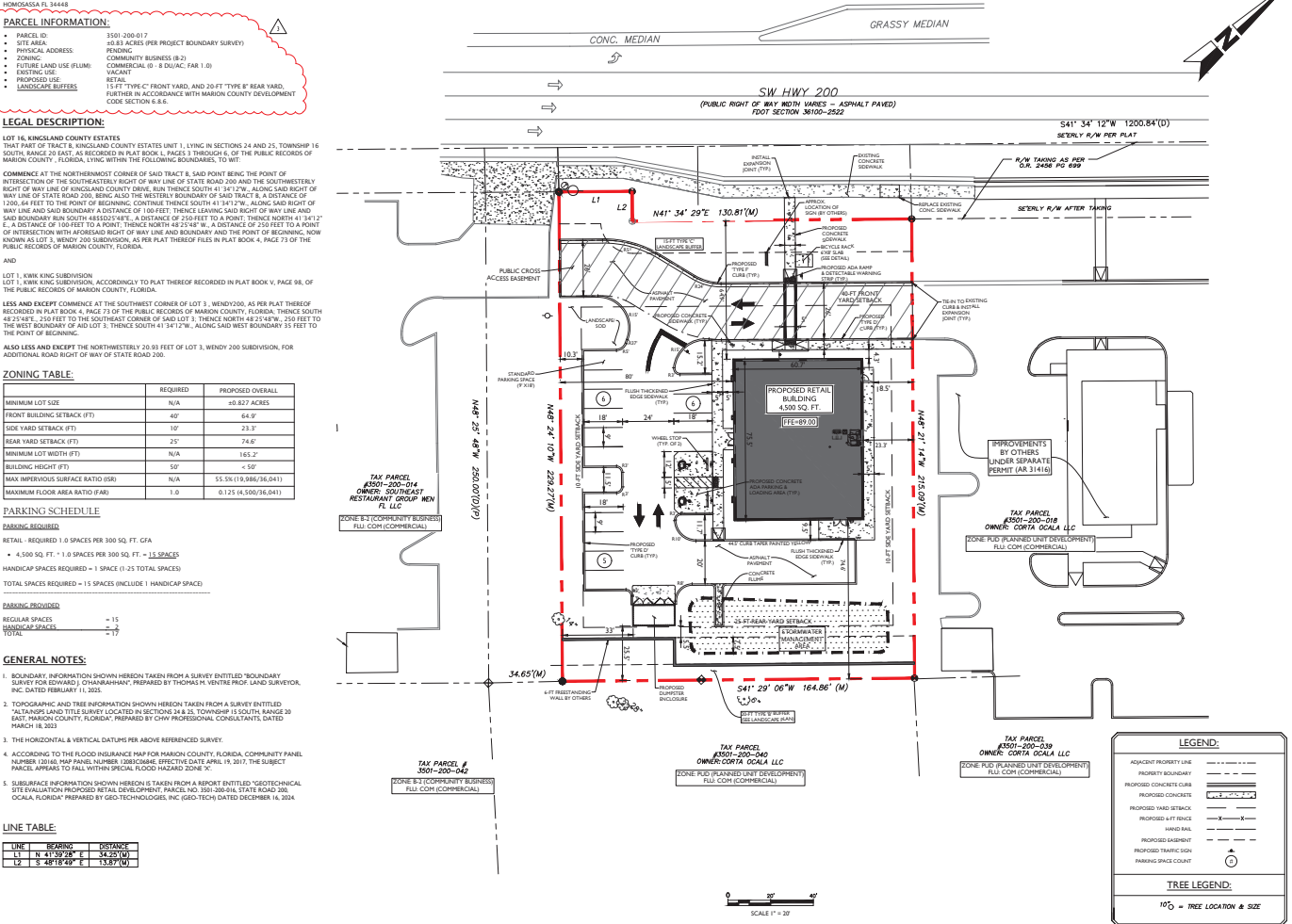
TOTAL = 16

GENERAL NOTES:

- BOUNDARY INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "BOUNDARY SURVEY FOR EDWARD J. OHANRAHAN, PREPARED BY THOMAS H. VENTRE, P.E., LAND SURVEYOR, INC. DATED FEBRUARY 11, 2023.
- TOPOGRAPHIC AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "ALTITUDE AND TREE SURVEY LOCATED IN SECTIONS 24 & 25, TOWNSHIP 16 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA," PREPARED BY CHW PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2023.
- THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
- ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 13010, MAP PANEL NUMBER 130100000, EFFECTIVE DATE APRIL 19, 2017, THE SUBJECT PARCEL APPEARS TO FALL WITHIN SPECIAL FLOOD HAZARD ZONE "X".
- SUBSURFACE INFORMATION SHOWN HEREON IS TAKEN FROM A REPORT ENTITLED "GEO-TECHNICAL SITE EVALUATION PROPOSED RETAIL DEVELOPMENT, PARCEL NO. 3501-200-017, STATE ROAD 200, OCALA, FLORIDA" PREPARED BY GEO-TECHNOLOGIES, INC. (GEO-TECH) DATED DECEMBER 14, 2024.

LINE TABLE:

LINE	BEARING	DISTANCE
L1	N 41°34'12" E	130.81 (M)
L2	S 48°25'48" W	250.00 (M)



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FLORIDA LICENSE #CE0001404

NO.	DATE	DESCRIPTION
01	10/11/23	MARION COUNTY STAFF COMMENTS
02	10/23/23	MARION COUNTY STAFF COMMENTS & DRAINAGE REVISION
03	10/23/23	MARION COUNTY STAFF COMMENTS
04	10/23/23	MARION COUNTY STAFF COMMENTS
05	10/23/23	MARION COUNTY STAFF COMMENTS
06	10/23/23	MARION COUNTY STAFF COMMENTS
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20	10/23/23	MARION COUNTY STAFF COMMENTS

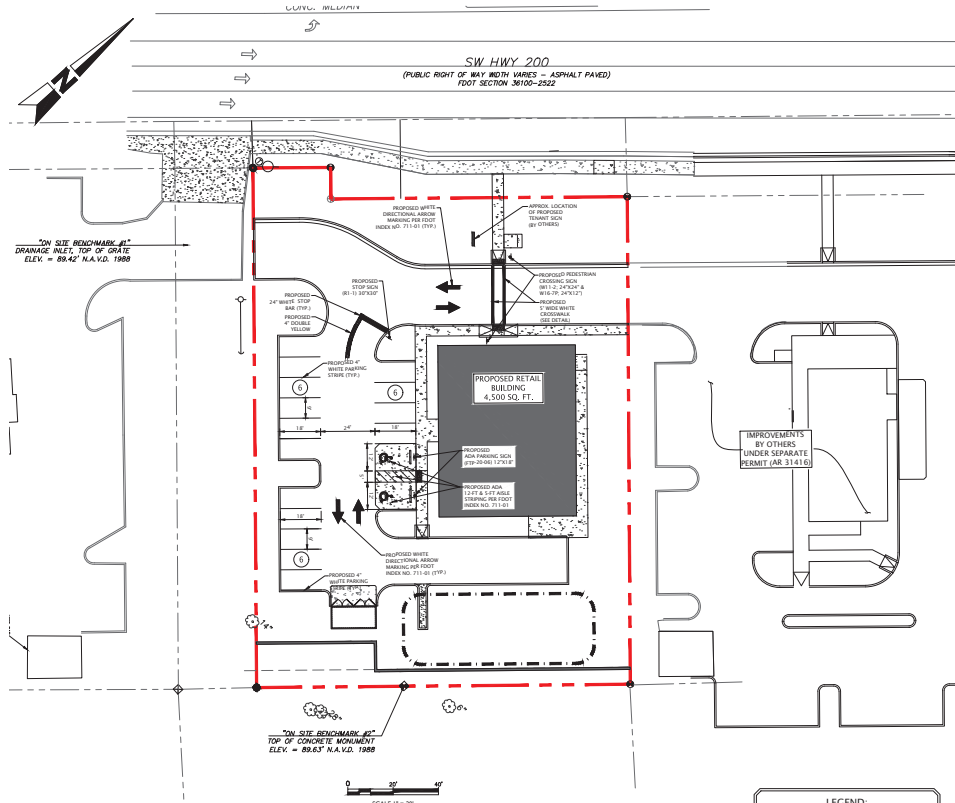
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JOHN J. STOECKEL
FLORIDA PROFESSIONAL ENGINEER
LICENSE #001878
PROJECT NAME:
MAJOR SITE PLAN
MATTRESS WAREHOUSE
FOR
EDWARD OHANRAHAN

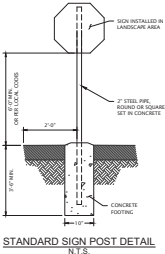
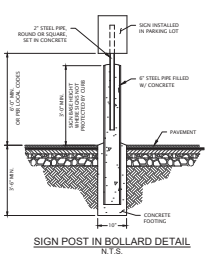
MARION COUNTY, FLORIDA
SHEET TITLE
DIMENSION & LAYOUT PLAN

PROJECT NO.: 24-0901
CHECKED BY: JST
VERTICAL DATUM: NAVD 1988
DATE: 09/04/23
SHEET NUMBER
C-104A

- GENERAL NOTES:**
- BOUNDARY, TOPOGRAPHIC AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "BOUNDARY SURVEY FOR EDWARD J. OHANRAHAN", PREPARED BY THOMAS M. VENTRE, PROF. LAND SURVEYOR, INC., DATED FEBRUARY 11, 2025, LAST REVISED JUNE 10, 2025.
 - THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.



SIGN LEGEND
(SEE MUTCD FOR SPECIFICATIONS, SIGNS SHOWN FOR REFERENCE ONLY)



LEGEND:

ADJACENT PROPERTY LINE
PROPERTY BOUNDARY
EXISTING FENCE
PROPOSED CONCRETE
PROPOSED VARD STRUCK
EXISTING SPOT ELEVATION
PROPOSED SPOT ELEVATION
PROPOSED CONTOUR

TREE LEGEND:

1\"/>

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813.744.1999
INFO@MJSTOKESCONSULTING.COM
FLORIDA BUSINESS REGISTRY NO. 14448

NO.	DATE	DESCRIPTION
1	02/11/25	ISSUED FOR COUNTY STATE COMMENT & DRAINAGE REVISION
2	06/10/25	BY

Sunshine

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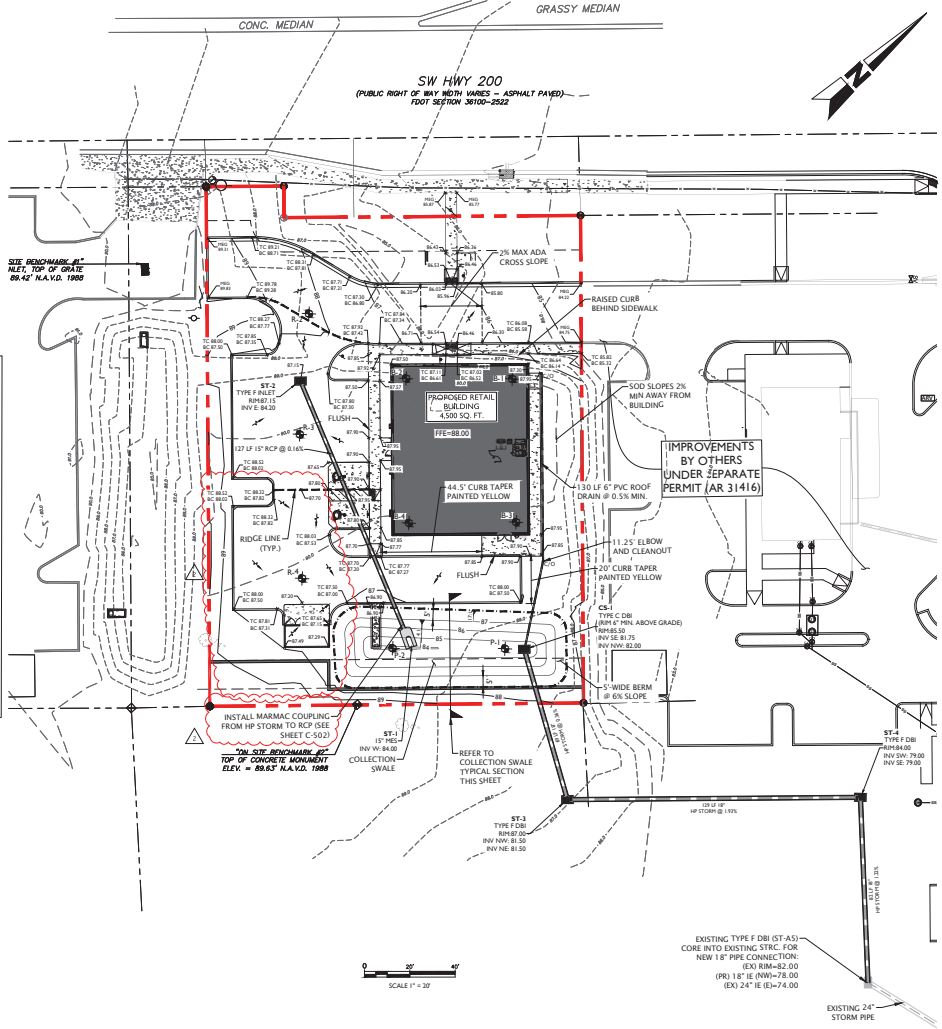
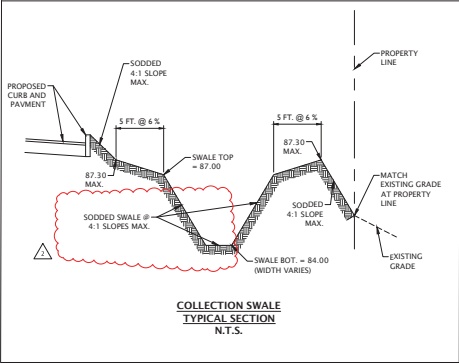
JOHN J. STOECKEL
FLORIDA PROFESSIONAL ENGINEER
LICENSE NO. 85758

PROJECT NAME:
**MAJOR SITE PLAN
MATTRESS WAREHOUSE**
FOR
EDWARD OHANRAHAN
MARION COUNTY, FLORIDA

SHEET TITLE:
**OVERALL SIGNING &
MARKING PLAN**

PROJECT NO.: 24-0901
CHECKED BY: JS
VERTICAL DATUM: NAVD 1988
DATE: 03/04/25
SHEET NUMBER:
C-104B

- GENERAL NOTES:**
- BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "BOUNDARY SURVEY FOR EDWARD J. OHANRAHAN", PREPARED BY THOMAS M. VENTRE PROF. LAND SURVEYOR, INC. DATED FEBRUARY 11, 2025, LAST REVISED JUNE 19, 2025.
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 - ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 120140, MAP PANEL NUMBER 12083064E, EFFECTIVE DATE APRIL 19, 2017, THE SUBJECT PARCEL APPEARS TO FALL WITHIN SPECIAL FLOOD HAZARD ZONE X.
 - SUBSURFACE INFORMATION SHOWN HEREON IS TAKEN FROM A REPORT ENTITLED "GEO-TECHNICAL SITE EVALUATION FOR PROPOSED RETAIL DEVELOPMENT", PARCEL NO. 3551-200-016, STATE ROAD 200, OCALA, FLORIDA, PREPARED BY GEO-TECHNOLOGIES, INC. GSO TECH DATED DECEMBER 16, 2024.
 - ALL CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS AND PERMIT CONDITIONS FROM LOCAL, STATE, AND FEDERAL AGENCIES, AS APPLICABLE. THE CONTRACTOR SHALL KEEP A COPY OF ALL PERMITS AND APPROVED CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES. ALL APPLICABLE PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.



LEGEND:

ADJACENT PROPERTY LINE	---
PROPERTY BOUNDARY	---
PROPOSED CONCRETE	---
PROPOSED DRIVEWAY	---
EXISTING SPOT ELEVATION	12.34
PROPOSED SPOT ELEVATION	12.34
ADJACENT PROPERTY	---
PROPOSED SPOT ELEVATION	12.34
PROPOSED CONTOUR	---
BORING TEST LOCATION	BT-1
AUGER TEST LOCATION	AT-1
DRAIN INLET	---
SURFACE FLOW ARROW	---
DRAINAGE DIVIDE LINE	---
STORM SEWER DRAINAGE PIPE	---

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FLORIDA SURVEY LICENSE NO. 14448

NO.	DATE	DESCRIPTION
1	06/19/2025	ISSUED FOR PERMIT
2	06/19/2025	REVISIONS

John J. Stoeckel
FLORIDA PROFESSIONAL ENGINEER
LICENSE NO. 80750

MAJOR SITE PLAN
MATTRESS WAREHOUSE
FOR
EDWARD OHANRAHAN
MARION COUNTY, FLORIDA

GRADING & DRAINAGE PLAN

PROJECT NO.: 24-0901
CHECKED BY: JST
VERTICAL DATUM: NAVD 1988
DATE: 03/04/25
SHEET NUMBER: C-105

GENERAL NOTES:

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- THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS AND PERMIT CONDITIONS FROM LOCAL, STATE, AND FEDERAL AGENCIES, AS APPLICABLE. THE CONTRACTOR SHALL KEEP A COPY OF ALL PERMITS AND APPROVED CONSTRUCTION DOCUMENTS ON-SITE, AT ALL TIMES. ALL APPLICABLE PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM, TELEPHONE, CABLE, FIBER OPTIC, CABLE, ETC. WITHIN THE LIMITS OF DISBURSE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL OF THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR BORING ALL DAMAGE TO ANY EXISTING UTILITIES WHICH OCCUR DURING CONSTRUCTION, AT NO COST TO THE OWNER AND AT CONTRACTOR'S SOLE COST AND RISK. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES WHICH OCCUR DURING CONSTRUCTION.
- THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFACE POINTS CROSSINGS WITH EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO CONFIRM EXACT DEPTH, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
- DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE, IN ANY RESPECT, FROM THE INFORMATION CONTAINED IN THESE PLANS. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE SET PLANS WHICH THE CONTRACTOR MUST FURNISH TO PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF WORK.

- AS BUILT, ANY UTILITIES WHICH WILL BE DEDICATED TO MCUI POST-CONSTRUCTION SHALL BE SHOWN ON AS-BUILTS IN ACCORDANCE WITH LATEST LSC REV 4/1/23.
- ANY UTILITIES WHICH WILL BE DEDICATED TO MCUI POST-CONSTRUCTION SHALL BE IDENTIFIED ON PLAN.
- ANY ASSETS TO BE CONVEYED TO MCUI (MAINS, SERVICES, APPURTENANCES) SHALL BE DONE THROUGH BILL OF SALE PROCESS PRIOR TO MCUI SIGNING OUT OF CLEARANCES.
- MCUI PERSONNEL ARE TO INSPECT ANY WORK PERFORMED ON OR AROUND EXISTING MCUI INFRASTRUCTURE. A PRE-CONSTRUCTION MEETING IS REQUIRED TO BE HELD A MINIMUM OF 48 HOURS PRIOR TO START OF ANY CONSTRUCTION. IF THE PRE-CONSTRUCTION MEETING IS NOT COMPLETED, ANY WORK MAY BE HALTED TO SCHEDULE. CONTACT MCUI'S CONTROL ROOM OFFICER AT 352-307-6165.
- KNOX BOX TO BE INSTALLED ON BUILDINGS WITH A FIRE ALARM AND/OR SPRINKLER SYSTEM.
- BUILDING SHALL COMPLY WITH THE IN-BUILDING PUBLIC SAFETY MINIMUM BUILDING SIGNAL STRENGTH REQUIREMENTS PER NFPA 1 CHAPTER 11.10.1. THE LOCATION WILL NEED TO HIRE AN INDEPENDENT FIRM TO TEST THE STRENGTH OF THE SIGNAL AND, IF DEEMED NECESSARY AND EQUIPMENT WHICH ALLOWS THE BUILDING TO MEET THE MINIMUM POLICES, THE BUILDING MUST HAVE A PASSING RADIO TEST PRIOR TO CALLING FOR THE FINAL FIRE INSPECTION OF THE BUILDING. ANY INSTALLATION OF EQUIPMENT MUST BE DONE UNDER A PERMIT AND BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
- SITE PLANS SHALL NOTE ON THE PLANS IF A NEW HYDRANT IS INSTALLED. IT SHALL BE INSTALLED, TESTED, AND MAINTAINED PER NFPA 291, BY A THIRD PARTY CONTRACTOR AND WITNESSED BY A MARION COUNTY FIRE INSPECTOR. FIRE HYDRANT LOCATIONS SHALL BE INDICATED BY PLACEMENT OF A BLUE REFLECTOR IN THE MIDDLE OF THE ROADWAY LANE CLOSEST TO THE HYDRANT.
- ALL FACILITIES CONSTRUCTED ON THE DEVELOPER'S PROPERTY PRIOR TO INTERCONNECTION WITH MCUI EXISTING OR PROPOSED FACILITIES SHALL CONVEY SUCH COMPONENT PARTS TO MCUI BY BILL OF SALE IN A FORM SATISFACTORY TO THE COUNTY ATTORNEY, WITH THE FOLLOWING:
 - FACILITIES PROPOSED TO BE TRANSFERRED TO MCUI ARE FREE OF ALL DEBTS AND ENCUMBRANCES.
 - MCUI HAS APPROVED THE CONSTRUCTION OF SUCH FACILITIES AND ACCEPTED THE TESTS TO DETERMINE THAT SUCH CONSTRUCTION IS IN ACCORDANCE WITH THE CRITERIA ESTABLISHED BY THE MCUI.
 - THE BOARD HAS EVIDENCED ITS ACCEPTANCE OF SUCH FACILITIES FOR MCUI'S OWNERSHIP, OPERATION, AND MAINTENANCE, AND
 - THE DEVELOPER SHALL MAINTAIN ACCURATE COST RECORDS ESTABLISHING THE CONSTRUCTION COSTS OF ALL UTILITY FACILITIES CONSTRUCTED AND PROPOSED TO BE TRANSFERRED. SUCH COST INFORMATION SHALL BE FURNISHED WITH THE BILL OF SALE AND SHALL BE A PREREQUISITE FOR ACCEPTANCE.
- COPY OF ALL RELATED PERMIT APPLICATIONS AND ISSUED PERMITS SHALL BE SUBMITTED TO THE DEVELOPMENT REVIEW FOR MARION COUNTY UTILITIES DEPARTMENT.

MARION COUNTY NOTES:

- BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "BOUNDARY SURVEY FOR EDWARD J. OHANRAHAN" PREPARED BY THOMAS M. VENTRE PROF. LAND SURVEYOR, INC. DATED FEBRUARY 11, 2025, LAST REVISED JUNE 10, 2025.
- TOPOGRAPHIC AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "ALFAMPA LAND TITLE SURVEY LOCATED IN SECTIONS 24 & 25, TOWNSHIP 15 SOUTH, RANGE 30 EAST, MARION COUNTY, FLORIDA" PREPARED BY CHM PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2023.
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- THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFACE POINTS CROSSINGS WITH EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO CONFIRM EXACT DEPTH, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
- DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE, IN ANY RESPECT, FROM THE INFORMATION CONTAINED IN THESE PLANS. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE SET PLANS WHICH THE CONTRACTOR MUST FURNISH TO PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF WORK.

IRRIGATION SYSTEM INFORMATION

BELOW IS THE IRRIGATED AREA WITHIN THE SUBJECT PROPERTY BEING DEVELOPED:
TOTAL AREA TO BE IRRIGATED = 19,986 SQ. FT.

DESIGN WASTEWATER FLOWS

AVERAGE DAILY FLOWS (LSD)
1 BATHROOM + 200 CAL. BATHROOM = 200 GALLONS PER DAY (GPD)
200 CAL. GAY/BATHROOM PER 645-6.008, TABLE 1)
DEAR BULKHEAD FLOWS (PSD)
200 CRE X 3.3 = 660 GALLONS PER DAY (GPD)

FIRE FLOW DATA

TEST DATE: APRIL 3, 2024 - TEST PERFORMED BY COB FIRE PROTECTION AND WITNESSED BY MARION COUNTY UTILITIES.
FLOW HYDRANT LOCATION: #3225 @ 8530 SW SR 200 & 4358 @ WENDYS 8470 SW SR 200
STATIC HYDRANT LOCATION: #3234 (NE OF PROJECT SITE AT HWY 200)
HYDRANT FLOW: 1,250 GPM @ 55.5 PSI
STATIC PRESSURE: 55 PSI
RESIDUAL PRESSURE: 50 PSI
AVAILABLE FLOW @ 20 PSI: 3,575 GPM (CALCULATED BY MJ STOKES CONSULTING)

NEEDED FIRE FLOW (NFF) CALCULATIONS

NOTE: SHALL BE VERIFIED UPON FINAL BUILDING DESIGN

These calculations are for a one-story commercial building. The entire building is combustible construction, building construction specifics provided by architect are listed below for reference:
Class of construction: TYPE V-B - UNPROTECTED - COMBUSTIBLE

Exterior Area: 6,500 SF
Based on Type V (000) construction. Per NFPA 18.4 Fire Flow Requirements, the fire flow area is based on the total square footage of the building. The total is equal to 4,500 SF.
Per Table 18.4.5.2.1, the fire flow requirement for 4,500 SF is 1,750 gpm for 2-hour duration.

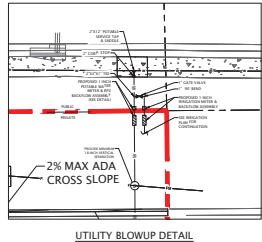
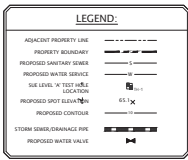
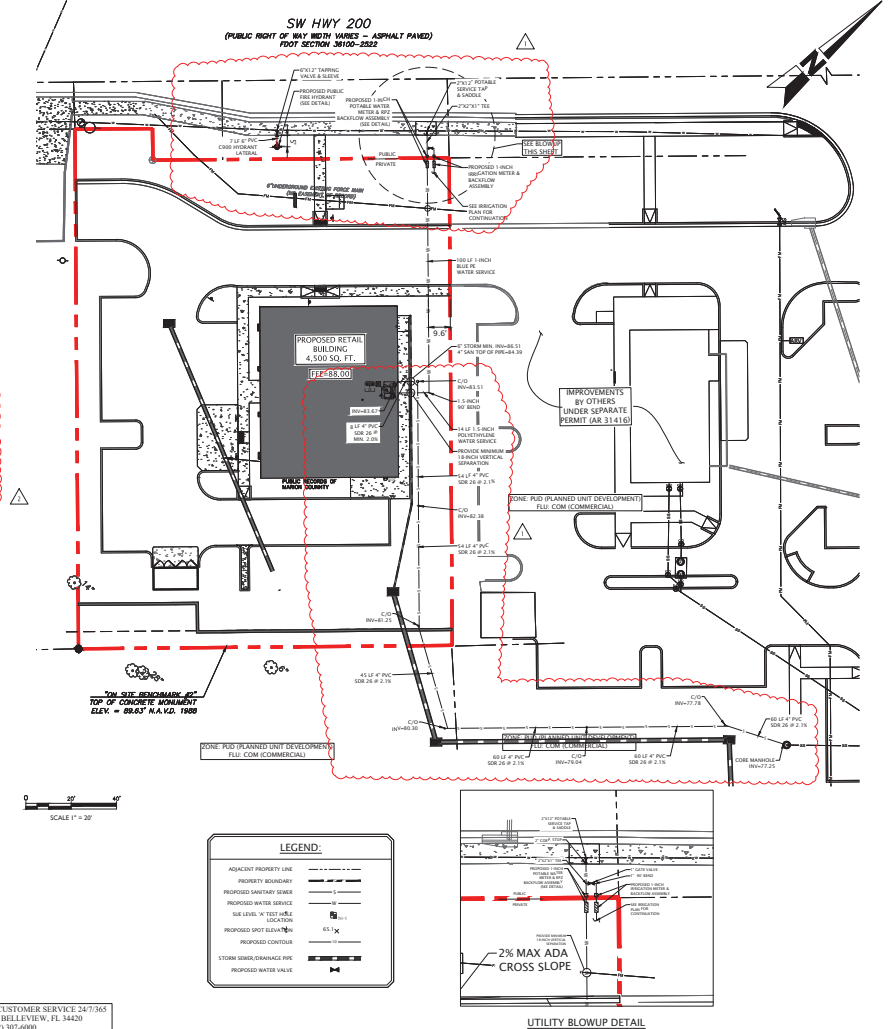
NFPA 18.4 states that the required fire flow can be reduced by 75% if the building has automatic sprinklers.

1,750 GPM	X	0%	=	425 GPM	(fire flow credit)
1,750 GPM	-	0 GPM	=	1,325 GPM	(Sprinkler)

According to NFPA 18.4.5.3.2, a reduction in required fire flow of 75 percent shall be permitted when the building is protected throughout by an approved automatic sprinkler system. The resulting fire flow shall not be less than 1,000 gpm (1.00 L/min).

Fire Flow Required = 1,325 GPM
Available Fire Flow at 20 PSI = 3,575 GPM
Building is protected

MARION COUNTY UTILITIES, CUSTOMER SERVICE 24/7/365
ADDRESS: 11800 US-441, BELLEVUE, FL 34420
PHONE: (352) 307-6000



MJ STOKES CONSULTING

P.O. BOX 12821
TALLAHASSEE, FL 32312
813.744.1199

INFO@MJSTOKESCONSULTING.COM
FLORIDA BUSINESS REGISTRY F03 1444

REVISIONS

NO.	DATE	DESCRIPTION
1	02/23/24	ISSUED FOR PERMIT
2	03/14/24	ISSUED FOR PERMIT
3	03/14/24	ISSUED FOR PERMIT
4	03/14/24	ISSUED FOR PERMIT
5	03/14/24	ISSUED FOR PERMIT
6	03/14/24	ISSUED FOR PERMIT
7	03/14/24	ISSUED FOR PERMIT
8	03/14/24	ISSUED FOR PERMIT
9	03/14/24	ISSUED FOR PERMIT
10	03/14/24	ISSUED FOR PERMIT
11	03/14/24	ISSUED FOR PERMIT
12	03/14/24	ISSUED FOR PERMIT
13	03/14/24	ISSUED FOR PERMIT
14	03/14/24	ISSUED FOR PERMIT
15	03/14/24	ISSUED FOR PERMIT
16	03/14/24	ISSUED FOR PERMIT
17	03/14/24	ISSUED FOR PERMIT
18	03/14/24	ISSUED FOR PERMIT
19	03/14/24	ISSUED FOR PERMIT
20	03/14/24	ISSUED FOR PERMIT

JOHN J. STOECKEL
FLORIDA PROFESSIONAL ENGINEER
LICENSE NO. 80750

PROJECT NAME
MAJOR SITE PLAN
MATTRESS WAREHOUSE
FOR
EDWARD OHANRAHAN
MARION COUNTY, FLORIDA

SHEET TITLE
UTILITY PLAN

PROJECT NO.: 24-0801
CHECKED BY: JST
VERTICAL DATUM: NAVD 1988
DATE: 03/04/25
SHEET NUMBER
C-106

BOUNDARY TOPOGRAPHY AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY DATED FEBRUARY 11, 2021, BY THE FIRM OF

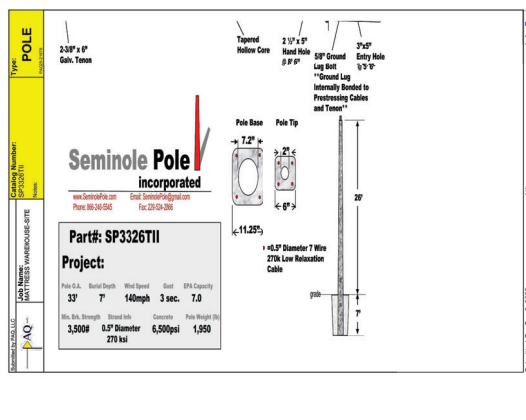
THOMAS M. VENTRE PRO. LAND SURVEY, INC. DATED FEBRUARY 11, 2021. LATEST ALREADY
JUNE 10, 2025.

THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.

3. BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS
SHOWN HEREON ARE BASED ON THE INFORMATION PROVIDED AND THE ENGINEER DOES NOT
DETERMINE THE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS

4. THIS LIGHTING PLAN REPRESENTS LUMINATION LEVELS CALCULATED FROM LABORATORY
TESTING OF THE LUMINAIRES. THE CALCULATED LUMINATION LEVELS ARE BASED ON THE
ENGINEERING SOCIETY (IES) APPROVED METHODS. ACTUAL PERFORMANCE OF ANY
LUMINAIRE MANUFACTURED AFTER THE DATE OF THIS PLAN MAY VARY FROM THE
TOLERANCE IN LAMPS, LEVELS AND OTHER VARIABLE FIELD CONDITIONS. CALCULATIONS DO
NOT TAKE INTO ACCOUNT THE EFFECTS OF AIR POLLUTION, CLIMATE, LANDSCAPE, OR ANY OTHER
ARCHITECTURAL ELEMENTS UNLESS NOTED. FUTURE NOMECLATURE NOTED DOES NOT
IMPLY THAT THE LUMINAIRE IS A FUTURE TYPE OR THAT THE LUMINAIRE IS A FUTURE
EVALUATION PURPOSE ONLY AND SHOULD NOT BE USED AS A CONSTRUCTION DOCUMENT

5. THE IES NO LONGER USES THE CUTOFF CLASSIFICATION FOR LIGHT FIXTURES. THE
IES CLASSIFIES LED FIXTURES WITH THE BUG-RATE WHICH REFERS TO THE
BACKLASH UPLIGHT SYSTEM. AN UPLIGHT OF "10" MOST CLOSELY MATCHES THE OLD
FLD



Label	ColType	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z
ALL CALC POINTS @ GRADE			1.14	9.8	0.0	N/A	N/A	0
25' FROM SOUTH EDGE OF PROPERTY			0.03	0.2	0.0	N/A	N/A	N/A
PAVED AREA			4.53	9.8	1.3	3.68	7.54	

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLF	Av. Lum. Lumens	Av. Watts	B/G Rating
	2	A	Single	MR16-LD-30-9L-3-50-700R-L	20"	0.950	17740	200	83-105-02
				MR16-LD-30-9L-4-50-700R-L		0.950	19940	200	81-105-02



TAMPA, FL 33622
813.724.4199
FO@MISTOKESCONSULTING.COM
FLORIDA BUSINESS REGISTRY NO. 34448

REVISIONS			
REV	DATE	DISCUSSION	BY
03	9/11/25	REVISED PER COUNTY STAFF COMMENTS	J5
02	7/25/25	REVISED PER COUNTY STAFF COMMENTS	J5
01	6/22/25	REVISED PER COUNTY STAFF COMMENTS & DRAINAGE REGION	J5
01			J5

Sunshine811

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

JOHN J. STOECKEL
FLORIDA PROFESSIONAL ENGINEER
LICENSE NO. 80758

PROJECT NAME:
MAJOR SITE PLAN
MATTRESS WAREHOUSE

FOR

EDWARD O'HANRAHAN

MARION COUNTY, FLORIDA

SHEET TITLE _____

EXTERIOR LIGHTING PHOTOMETRIC

PHOTOMETRIC PLAN

PROJECT NO: 24-5901

CHECKED BY: jjs

DATE: 03/04/25

C-301 Δ

C-201 $\triangle_3$

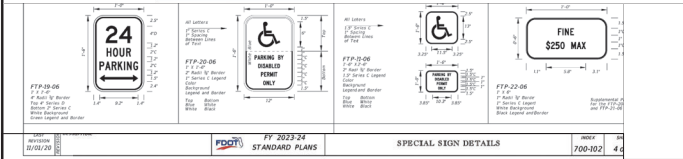
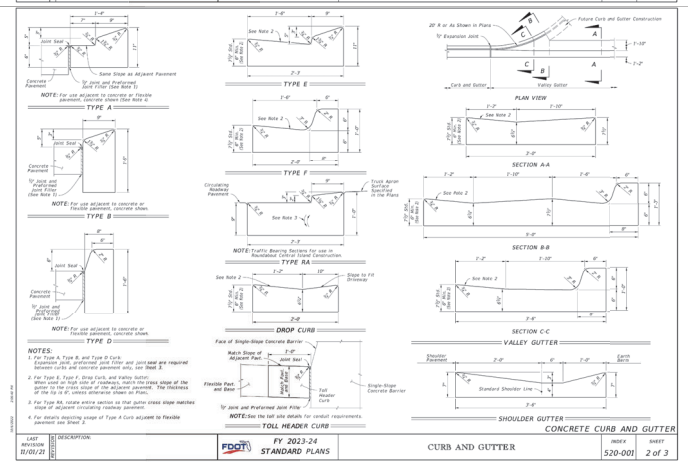
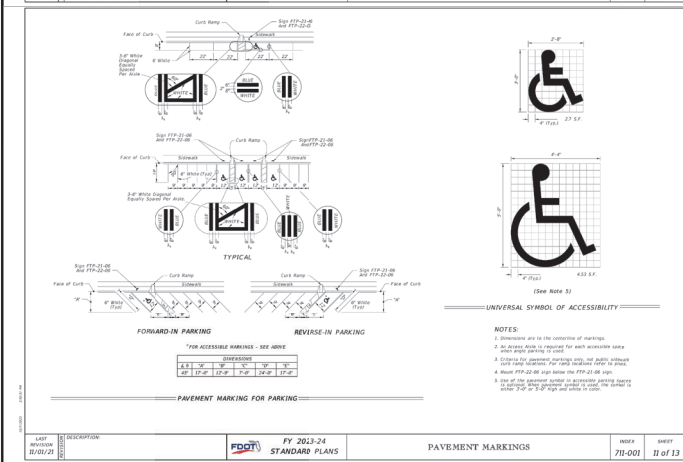
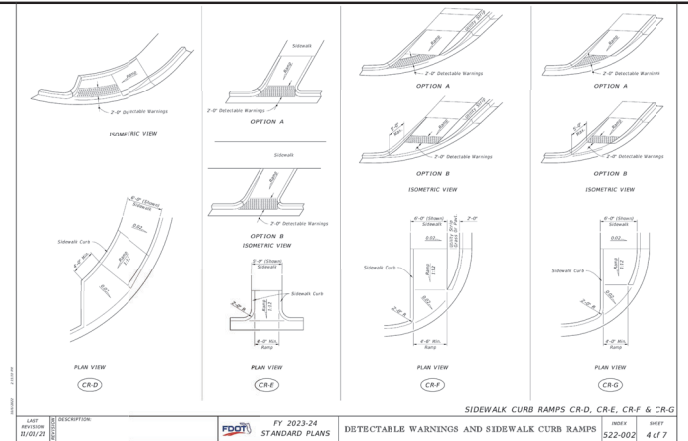
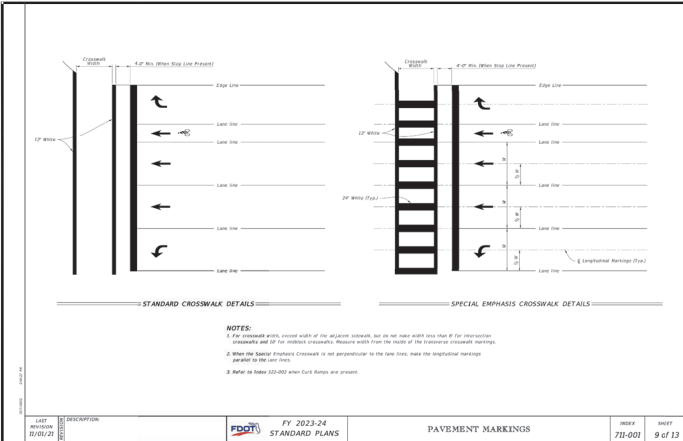
[illegible]

Technical Drawing Details:

- Front View:** Shows a rectangular light fixture with a width of 100 mm and a height of 100 mm. The mounting bracket has a width of 100 mm and a height of 100 mm. The mounting hole diameter is 100 mm.
- Side View:** Shows the light fixture with a height of 100 mm and a mounting bracket with a height of 100 mm. The mounting hole diameter is 100 mm.
- Technical Specifications Table:**

Specification	Value
Material	Aluminum
Weight	0.15 kg
Power	10 W
Voltage	12 V
Current	0.83 A
Beam Angle	60°
Mounting	Bracket
Mounting Hole	100 mm
Mounting Bracket	100 mm
Mounting Hole	100 mm
Mounting Bracket	100 mm
Mounting Hole	100 mm
Mounting Bracket	100 mm

[illegible]



MJ STOKES CONSULTING

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813.744.4499
INFO@MJSTOKESCONSULTING.COM
FLORIDA BUSINESS REGISTRY NO. 1444

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive responder codes before you dig!

JOHN J. STOECKEL
FLORIDA PROFESSIONAL ENGINEER
LICENSE NO. 80750

PROJECT NAME:
**MAJOR SITE PLAN
MATTRESS WAREHOUSE**

FOR
EDWARD OHANRAHAN

MARION COUNTY, FLORIDA

SHEET TITLE
**CONSTRUCTION
DETAILS**

PROJECT NO.: 14-0901
CHECKED BY: JS
VERTICAL DATUM: NAVD 1988
DATE: 03/04/23
SHEET NUMBER:
C-501





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 Check positive response codes before you dig!

JOHN J. STOECKEL

FLORENCE PROFESSIONAL ENGINEER

LICENSE NO. 30738

PROJECT NAME:

MAJOR SITE PLAN

MATRESS WAREHOUSE

FOR

EDWARD OZHANRAHAN

NARION COUNTY, FLORIDA

SHEET TITLE

CONSTRUCTION DETAILS

PROJECT NO. 14961

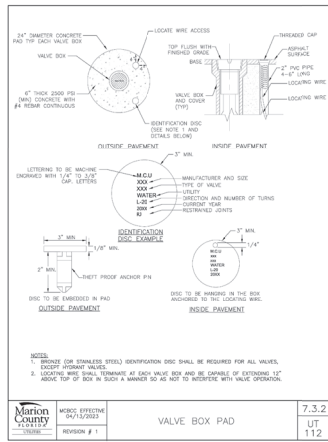
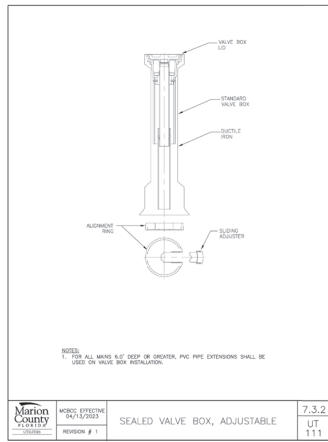
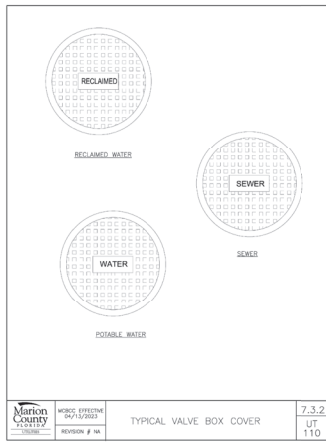
CHECKED BY: JF

VERTICAL DATUM: NAVD 83

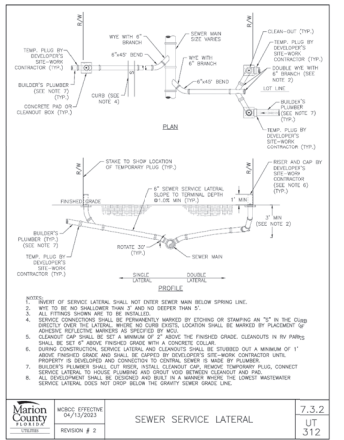
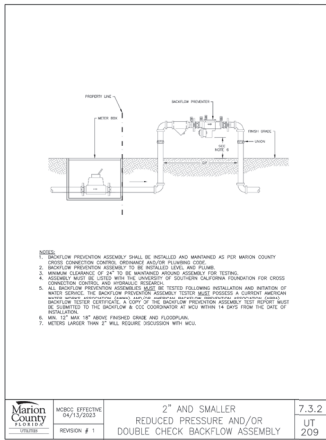
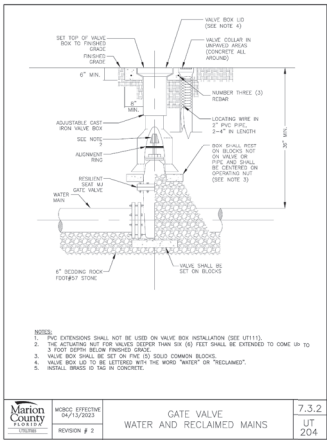
DATE: 03/04/23

SHEET NUMBER

C-502



		P.O. BOX 12821 TAMPA, FL 33612 813.744.1199		INFO@MJSTOKESCONSULTING.COM FLORIDA PUBLIC REGISTRY #13448	
REVISIONS					
		Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.			
		Check positive response codes before you dig!			
JOHN J. STOECKEL FLORIDA PROFESSIONAL ENGINEER LICENSE NO. 36735		PROJECT NAME:			
		MAJOR SITE PLAN MATTRESS WAREHOUSE FOR EDWARD OHANRAHAN			
MARION COUNTY, FLORIDA		SHEET TITLE			
		MARION COUNTY UTILITY DETAILS			
PROJECT NO: 14-3961 CHECKED BY: _____ DESIGN DATE: 03/04/23 SHEET NUMBER: _____		PROJECT NO: 14-3961 CHECKED BY: _____ DESIGN DATE: 03/04/23 SHEET NUMBER: _____			
		PROJECT NO: 14-3961 CHECKED BY: _____ DESIGN DATE: 03/04/23 SHEET NUMBER: _____			



MJ STOKES CONSULTING

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TAMPA, FL 33612
813.744.1199
INFO@MJSTOKESCONSULTING.COM
FLORIDA BUSINESS REGISTRY NO. 1444

REV	DATE	DESCRIPTION
1	10/1/2013	ISSUED FOR CONSTRUCTION
2	10/1/2013	ISSUED FOR CONSTRUCTION
3	10/1/2013	ISSUED FOR CONSTRUCTION
4	10/1/2013	ISSUED FOR CONSTRUCTION
5	10/1/2013	ISSUED FOR CONSTRUCTION
6	10/1/2013	ISSUED FOR CONSTRUCTION
7	10/1/2013	ISSUED FOR CONSTRUCTION
8	10/1/2013	ISSUED FOR CONSTRUCTION
9	10/1/2013	ISSUED FOR CONSTRUCTION
10	10/1/2013	ISSUED FOR CONSTRUCTION

Call 811 or visit sunshine811.com two two full business days before digging to have buried facilities located and marked.
Check positive responder codes before you dig!

JOHN J. STOECKEL
FLORIDA PROFESSIONAL ENGINEER
LICENSE NO. 85758

PROJECT NAME:
**MAJOR SITE PLAN
MATTRESS WAREHOUSE**
FOR
EDWARD OHANRAHAN
MARION COUNTY, FLORIDA

SHEET TITLE:
**MARION COUNTY
UTILITY DETAILS**

PROJECT NO.: 14-0901
CHECKED BY: JT
VERTICAL DATUM: NAVD 1988
DATE: 8/30/2013
SHEET NUMBER:
C-506



NOT TO SCALE

TREE CALCULATIONS	
PRE-DEVELOPMENT PROTECTED TREE INCHES PER ACRE:	379/0.826 AC. = 313 INCHES PER ACRE
POST DEVELOPMENT PROTECTED TREE INCHES PER ACRE:	84/0.826 AC. = 101.7 INCHES PER ACRE
TOTAL PROTECTED TREE INCHES REMOVED: 359'	
TOTAL PROTECTED TREE INCHES TO BE PRESERVED: 0'	
TOTAL TREE INCHES PROVIDED FOR REPLANT REQUIREMENTS: 84'	
TOTAL DEFICIT OF TREE INCHES ON SITE: 0'	



REVISIONS:
5/30/25 COUNTY REVIEW COMMENTS
5/25 COUNTY REVIEW COMMENTS
7/11/25 COUNTY REVIEW COMMENTS

DRAWN BY: JAZ
DATE: 3/28/25
25002
FREE REMOVAL AND
PRESERVATION PLAN
LS1

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GENERAL IRRIGATION NOTES

- The Contractor shall provide a key schedule irrigation system as shown on the Plans. Irrigation heads shall provide 100% coverage of the area to be irrigated.
- The source of water for the irrigation system shall be: 1" POTABLE WATER METEOR.
- The Contractor shall verify the capability of the water source to deliver a minimum pressure of 100 PSI and volume of 17 GPM to operate the irrigation system as designed. In the event of discrepancies contact the Landscape Architect prior to installation.
- All questions concerning the Plans, Details or Specifications shall be directed to the Landscape Architect, (772) 345-1800.
- All necessary permits (including Right of Way Permit) are to be provided by the installing contractor for work shown on the Plans.
- All components of the proposed irrigation system shall meet the federal, state and local codes, regulations and ordinances concerning irrigation construction. In an effort to create graphic clarity, irrigation mainline, lateral line, valves and other components of the irrigation system may be shown in plan view or in elevation buildings on the Plans. These components are to be installed in appropriate landscape areas to carry out the intent of the Plans.
- The Contractor shall be responsible for verification and protection of all underground and overhead utilities.
- The Contractor shall review the Landscape Plans prior to installing the irrigation system. Coordinate installation of pipes, valves and other equipment with the installation location of trees and shrubs.
- As-Built drawings are to be provided by the Contractor. Drawings shall be Owner furnished base plans in hard copy or electronic versions. Contractor shall note all deviations from the Irrigation Plans as noted in Section 02 8423 of the Specifications. Mainline is to be installed with a minimum of 18" depth of cover, and lateral lines are to be installed with a minimum of 12" depth of cover.
- Bleeding is to be provided by the Contractor (unless otherwise specifically stated in the Specifications or Bid Documents).
- The Contractor shall provide operating maintenance instructions and operation manuals to the Owner prior to acceptance of the project.
- Owner shall provide 115 Volt power to the controller location. Electrical connection from power source to control clock is to be provided by the Contractor (unless otherwise specifically stated in the Specifications or Bid Documents). Contractor shall coordinate installation location of control clock with Owner or Owner's Representative.
- When the irrigation system Source is a proposed well, the well and pump locations shall be coordinated with the Owner or Owner's Representative prior to installation. The Owner shall provide power to the pump location. Contractor shall coordinate voltage and phase of installed power with the local electrical utility and the Owner prior to ordering of the pump. Contractor shall coordinate pump ordering tag time with the irrigation and landscape work schedules to ensure timely supply of water to the project site.
- Contractor shall install an inline 120VAC-15A lightning surge protector between the power source and the controller. Ground each controller to a 6" x 8" copper clad ground rod with AWG #4 bare solid copper wire. A proper ground shall have 10 ohms or less resistance to earth. Use of multiple ground rods may be necessary to achieve the desired resistance reading.
- Contractor shall label location and head type for each zone in the irrigation system on the inside of the controller door. Suggested zone set time shall be indicated. All zone valves shall have permanent (plastic or metal) tags attached to the valve corresponding to the number of the zone on the controller.

- Control Clock shall be programmed to include a watering schedule that provides 1" of water per week during the months April to November and provides 1" of water every two weeks during the months December to March. The zone set time shall be adjusted for the local watering restrictions as Program "a" Program "B" shall be set and the water distribution period watering schedule in cooperation with the Landscape Contractor.
- The set should device shall be installed to meet local codes. Contractor shall locate device so that obstructions do not alter the accurate monitoring of rainfall at the project site. As wiring to the device shall be installed in 1/2" PVC electrical conduit.
- 12" pop-up spray (or rotor) heads shall be installed in all groundcover beds and mowed areas of the site, including 24 inch height.
- 6" pop-up spray heads shall be installed in all turf areas. Rotor heads in turf areas to be 1/2" pop-up with the exception of Hunter PGP Series 475.
- All Hunter PGP and PGP Rotor and Spray heads shall have heavy walled PVC IPS pipe for the connection between lateral line and each head. Provide adequate space for wiring head adjustment. All Hunter 120 Rotor heads shall have rigid PVC wiring pipe. See Details for Rotor Head and 12" pop-up head adjustment.
- The Contractor shall adjust all heads to provide optimum coverage and minimize overwatering and prevent runoff. Heads shall be installed in areas where watering is required to prevent runoff from heads.
- Valve boxes shall be installed to accommodate installation and maintenance of zone valves. The valve box shall have a 3" deep layer of 1/2" diameter gravel or a ramp installed 2" below the bottom of the valve. Valve boxes shall be installed so that the top of the box is minimum 18" above finished grade and not parallel to the surrounding grade.
- All 24 inch rotors shall be UL Listed, single arm, Type UP 4000 psi control valve. Common wires to be white, AWG #12 or larger wire. Hot wires to be red, AWG #14 or larger wire. Spare wires to be any color wire except green, red or white, AWG #14 or larger wire.
- All valves to be 24 inch control wiring shall be made with King Technology (King®) approved safety connectors.
- Shut-off valves shall only be installed in hedges or areas adjoining existing walls, walls or objects and not extend more than 6" above the height of the shrub. In no case shall lines be installed directly adjacent to roads, sidewalks or other vehicular access ways. If lines are to be used in hedges adjoining parking areas without concrete wheel stops, they must be placed a minimum of 30 inches away from the edge of pavement to protect the user from damage by vehicular overhang. All lines are to be painted black.
- Mainline piping shall have thrust blocks sized and placed in accordance with the pipe manufacturer's recommendations. Thrust blocks shall be installed at all changes in direction, reduction in pipe size, and end caps on the Mainline.
- Irrigation Systems designed with Recirculatory Water for the Source shall include pipe marking caps for all valve boxes, valves, quick couplers, hose bibs and spray or rotor heads. Marked PEXB-PED-D zone valves with marking available shall be used on all systems connected to Recirculatory Water.
- Upon completion of the installation, the contractor shall request an inspection by the design professional. A Landscape and Irrigation As-Built Certification shall be signed and sealed by the design professional and submitted to the County Landscape Architect prior to the issuance of a Certificate of Occupancy.

IRRIGATION LEGEND

SYMBOL	SPECIFICATION
	HUNTER ROTOR, RAIN SENSOR
	HUNTER PGP, RAIN SENSOR
	WATER SOURCE, PROPOSED 1" POTABLE WATER METEOR
	BACKFLOW PREVENTION DEVICE
	HUNTER IVC 24 VOLT REMOTE CONTROL VALVE FILTER BENTON ON WELL WATER SYSTEMS (SEE IRRIGATION ZONE TAG FOR VALVE SIZE)
	1" RAINBIRD IVCZ-101 COM PEXB-PSD VALVE WITH 150 MESH BASKET FILTERS
	POINT OF CONNECTION - PVC TO DRIP TUBING
	MAINLINE 2" SCHEDULE 40 PVC
	LATERAL LINE MINIMUM 160 PSI PVC MINIMUM PPE SIZE TO BE 3/4"
	RAIN BIRD #750-DA-12 IN-LINE PRESSURE COMPENSATING DRIP TUBING (1.5 GPM/100' TUBING)
	SLEEVING - SCHEDULE 40 PVC (TWO NOMINAL SIZES LARGER THAN PIPE TO BE SLEEVED)

6" POP-UP SPRAY HEADS WITH PLASTIC RISER

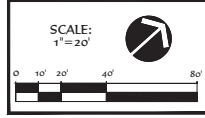
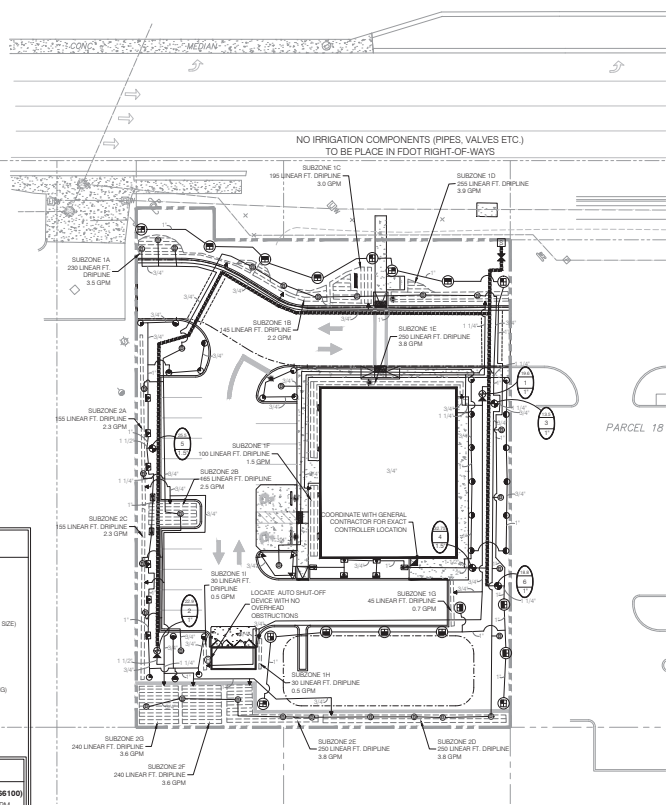
SYMBOL	MODEL #
	Hunter PROS-06 8F - 0.97 GPM
	Hunter PROS-06 8H - 0.47 GPM
	Hunter PROS-06 8D - 0.24 GPM
	Hunter PROS-06 10F - 1.59 GPM
	Hunter PROS-06 10H - 0.88 GPM
	Hunter PROS-06 10D - 0.42 GPM
	Hunter PROS-06 12F - 2.70 GPM
	Hunter PROS-06 12H - 1.30 GPM
	Hunter PROS-06 12D - 0.67 GPM
	Hunter PROS-06 15F - 3.75 GPM
	Hunter PROS-06 15H - 1.86 GPM
	Hunter PROS-06 15D - 0.97 GPM
	Hunter PROS-06 ES-515 - .65 GPM
	Hunter PROS-06 SS-530 - 1.30 GPM
	Hunter PROS-06 SS-918 - 1.72 GPM
	Hunter PGP-30 Bubble - 0.5 GPM

SPRAY ZONES TO BE OPERATED AT 30 PSI

6" POP-UP ROTOR HEADS WITH STAINLESS STEEL RISER

SYMBOL	MODEL #
	18" O.C. SPACING WITH SHORT RADIUS NOZZLES (BLACK # 466100)
	Hunter 120-06 SS-365-2.05R 2.0 Short Radius Nozzle 2.00 GPM
	Hunter 120-06 SS-AD5-1.05R 1.0 Short Radius Nozzle 1.00 GPM
	Hunter 120-06 SS-AD5-0.55R 0.5 Short Radius Nozzle 0.50 GPM
	25" O.C. SPACING WITH SHORT RADIUS NOZZLES (BLACK # 466100)
	Hunter 120-06 SS-365-3.0 3.0 Short Radius Nozzle 3.0 GPM
	Hunter 120-06 SS-AD5-1.5 1.5 Short Radius Nozzle 1.5 GPM
	Hunter 120-06 SS-AD5-0.75 0.75 Short Radius Nozzle 0.75 GPM
	40" O.C. SPACING WITH STANDARD NOZZLES
	Hunter 120-06 SS-365-8.0 8.0 Nozzle 8.00 GPM
	Hunter 120-06 SS-AD5-4.0 4.0 Nozzle 4.25 GPM
	Hunter 120-06 SS-AD5-3.0 3.0 Nozzle 3.25 GPM
	Hunter 120-06 SS-AD5-1.5 1.5 Nozzle 1.65 GPM

ROTOR ZONES TO BE OPERATED AT 30 PSI



REVISEMENTS

1	2/20/15	COUNTY REVIEW COMMENTS
2	3/20/15	COUNTY REVIEW COMMENTS
3	4/20/15	COUNTY REVIEW COMMENTS

DESIGN BY: JAC

DATE: 2/20/15

25002

IRRIGATION PLAN

LS3

JACOB JIMENEZ, RIA
REG. NO. FL 1A 000015
LANDSCAPE ARCHITECT

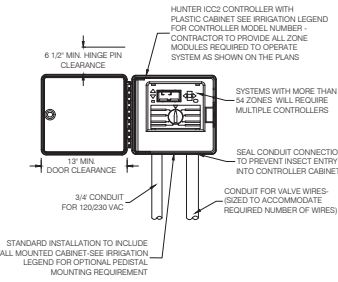
811 one call before you dig
call 811 or visit 811.org

SEAL OF THE STATE OF FLORIDA
LANDSCAPE ARCHITECT
JACOB JIMENEZ, RIA
REG. NO. FL 1A 000015

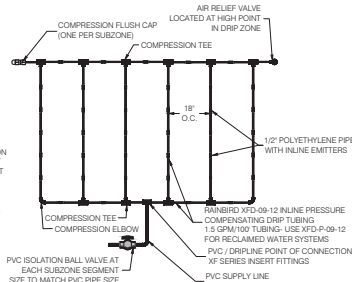
HEARTWOOD
BARK
INC.
3775 Broward Ave. #208
Fort Lauderdale, FL 33309
(772) 345-1800
www.heartwoodbark.com



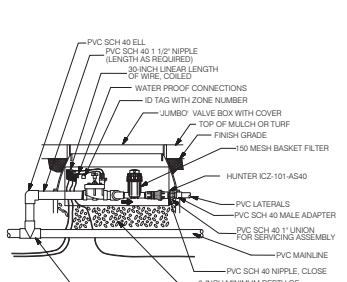
MATRESS WAREHOUSE
SW HIGHWAY 200
PARCEL ID: 3501-200-0168 3501-200-017
OCALA (MARION COUNTY), FLORIDA



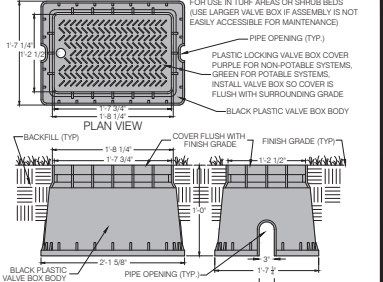
1 IRRIGATION CONTROLLER
LS4



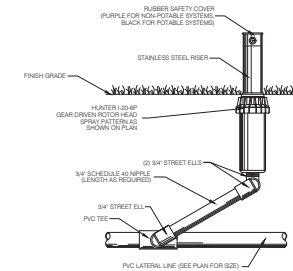
2 DRIP IRRIGATION TUBING LAYOUT
LS4



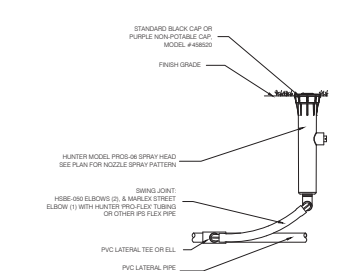
3 DRIP ZONE VALVE
LS4



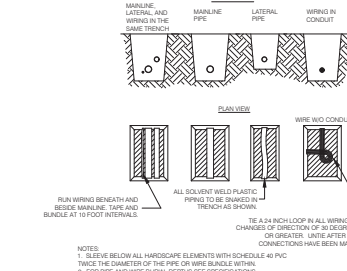
4 JUMBO VALVE BOX DETAIL (DRIP ZONES)
LS4



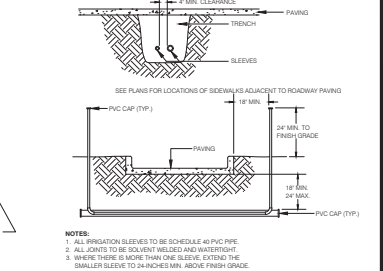
5 6\"/>



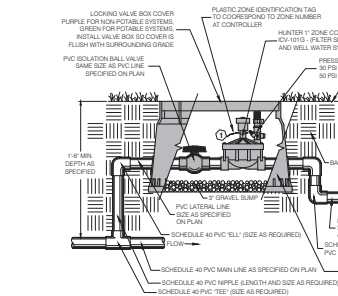
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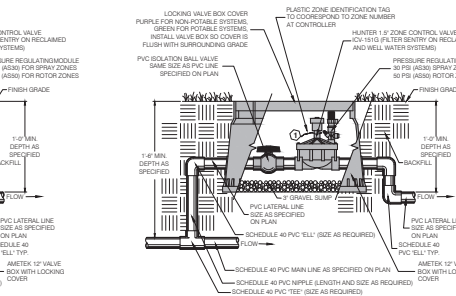
7 PIPE AND WIRE TRENCHING DETAIL
LS4



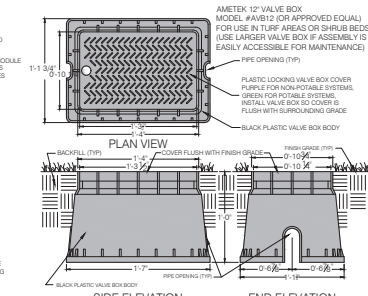
8 SLEEVING DETAIL
LS4



9 1\"/>



10 1 1/2\"/>



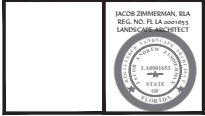
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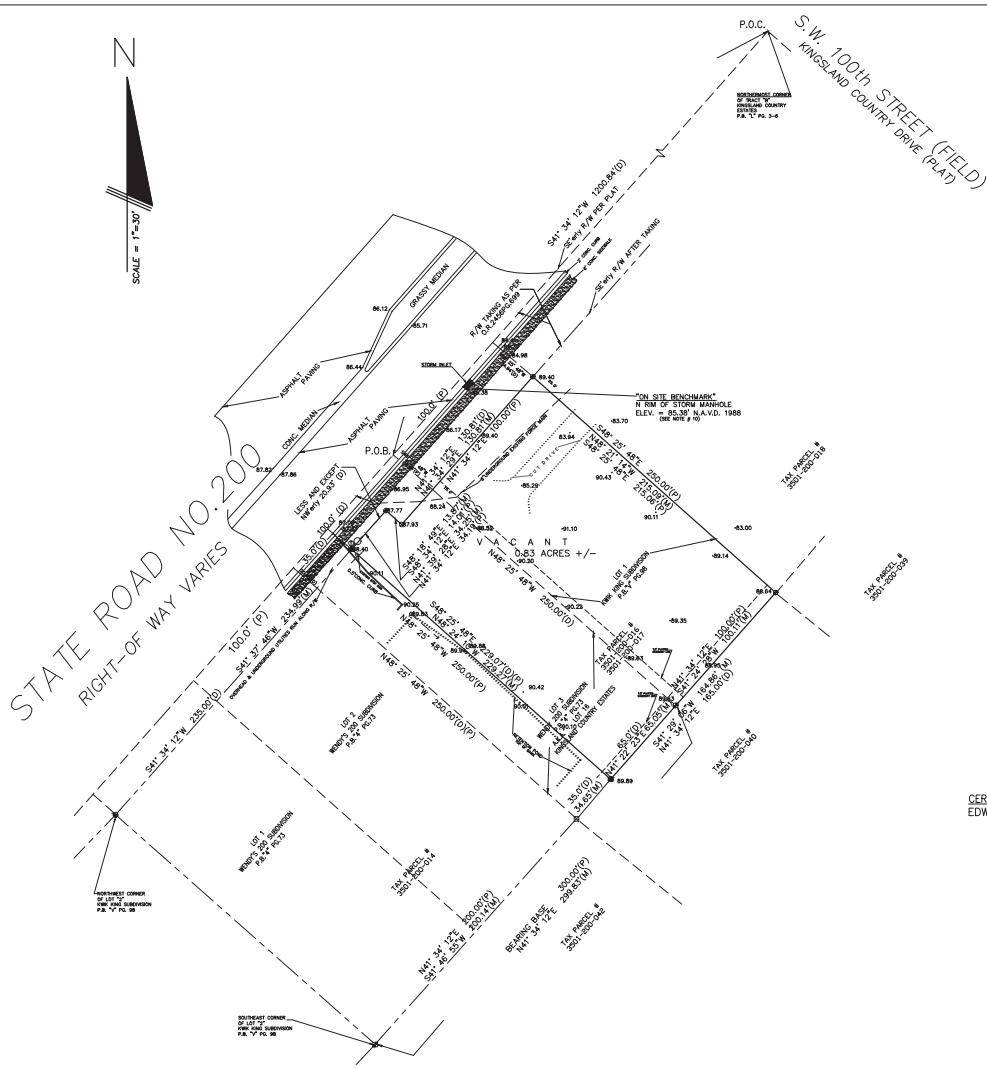
HEARTWOOD
BARK
INC.
13740 Elmwood Ave. #100
Aurora, NC 28004
(770) 371-1111



MATTRESS WAREHOUSE
200 SW HIGHWAY 200
PARCEL ID: 3501-200-0168 3501-200-017
OCALA (MARION COUNTY), FLORIDA

REVISIONS	
1	3/20/15 COUNTY REVIEW COMMENTS
2	8/20/15 COUNTY REVIEW COMMENTS
3	9/10/15 COUNTY REVIEW COMMENTS
4	
DESIGN BY: JAC	
DATE: 3/20/15	
25002	
IRRIGATION DETAILS	
LS4	





BOUNDARY SURVEY for
EDWARD J. O'HANRAHHAN

LEGAL DESCRIPTION:

[illegible]

AND

Lot 1, KWIK KING SUBDIVISION, according to plat thereof recorded in Plat Book V, Page 98, of the Public Records of Marion County, Florida.

LESS AND EXCEPT

Commence at the Southwest corner of Lot 3, WENDY200, as per plat thereof recorded in Plat Book 4, Page 73 of the Public Records of Marion County, Florida; thence South 48°25'48" E., 250 feet to the Southeast corner of said Lot 3; thence North 41°34'12" E., along the East boundary of Lot 3, 35 feet; thence North 48°25'48" W., 250 feet to the West boundary of said Lot 3; thence South 41°34'12" W., along said West boundary 35 feet to the Point of Beginning.

ALSO LESS AND EXCEPT the Northwesternly 20.93 feet of Lot 3, WENDY 200 SUBDIVISION, for additional road right of way of State Road 200.

- M= MOUNT E= EAST W= WEST S= SOUTH
 C= CONCRETE ST= STEEL H= HOLE
 1= 1" 2= 2" 3= 3" 4= 4" 5= 5" 6= 6"
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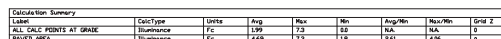
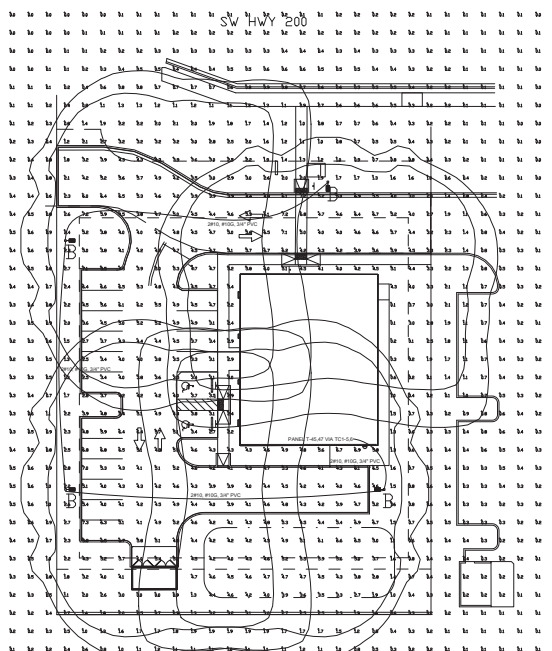
NOTES

- THIS IS A BOUNDARY SURVEY WITH MINOR ELEVATION DATA.
- 1) SURVEY BEARS ON EXISTING MONUMENTATION, RECORDS OF THIS COMPANY, AND PUBLIC RECORDS OF LAND COUNTY, FLORIDA.
- 2) LOCAL RECORDS OF PRESENT TRAIL FURNISH BY CLIENT.
- 4) MONUMENTS BEING IN DUBIOUS OR/ON PLAT AS FOUND.
- 5) UNDERGROUND IMPROVEMENTS, SEPTIC SYSTEM, AND UTILITIES, IF SHOWN HEREIN, ARE APPROXIMATED AND MUST BE CORROBORATED FOR ACCURACY. PROPERTY, AND/OR ANY UNDERGROUND FEATURES MAY EXIST WHICH WERE NOT LOCATED.
- 6) LINED TRAIL, DRAIN FIELDS AND/OR ANY OTHER POSSIBLE UNDERGROUND FEATURES MUST BE FIELD CHECKED FOR AN UNDERGROUND PROPERTY, AND/OR ANY OTHER POSSIBLE UNDERGROUND FEATURES.
- 7) UNLINED TRAIL, DRAIN FIELDS HAVE NOT BEEN APPRAISED FOR RIGHTS OF WAY, EASEMENTS AND/OR OTHER INSTRUMENTS OF RECORD.
- 8) NOT VALID WHEREIN THE SIGNATURE AND COMMISSION, PAGED SEAT, OF A FLORIDA LICENSED SURVEYOR AND IMPROPER OR ELECTRONIC SEAL, AUTHORIZED BY THIS SURVEYOR.
- 9) ELEVATIONS SHOWN HEREIN ARE BASED ON A CLOSED LEVEL LOOP FROM THE NATIONAL GEODESIC DATUM, DESIGNATION "78", RECORDED IN AN ADJACENT ELEVATION - 8321' - MAGD 1983.

CERTIFY TO:
EDWARD J. O'HANRAHAN

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON MEETS THE STANDARDS PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

THOMAS VENTRE P.L.S. # 5245
THOMAS M. VENTRE PROF. LAND SURVEYOR, INC. L.R. # 7083
3661 SE 56th STREET CLIENT: C/O HANNAH
OCALA, FLORIDA 34470 DATE OF FIELD WORK: 01/30/25
tmvp@aol.com DRAWN BY: T.V.
(352) 629-1696 JOB NUMBER: 25-OHANRA



Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	Mounting Height	ULF	Ann. Lum. Lumens	Ann. Watts	BUS Rating
	4	R	Single	VLS R-54L-4F-50x7	24'	0.943	47900	303	93-10-05

SCALE 1"=20FT

Dimensions of drawings that have been scaled or converted from PDF files or scanned /submitted images are approximate

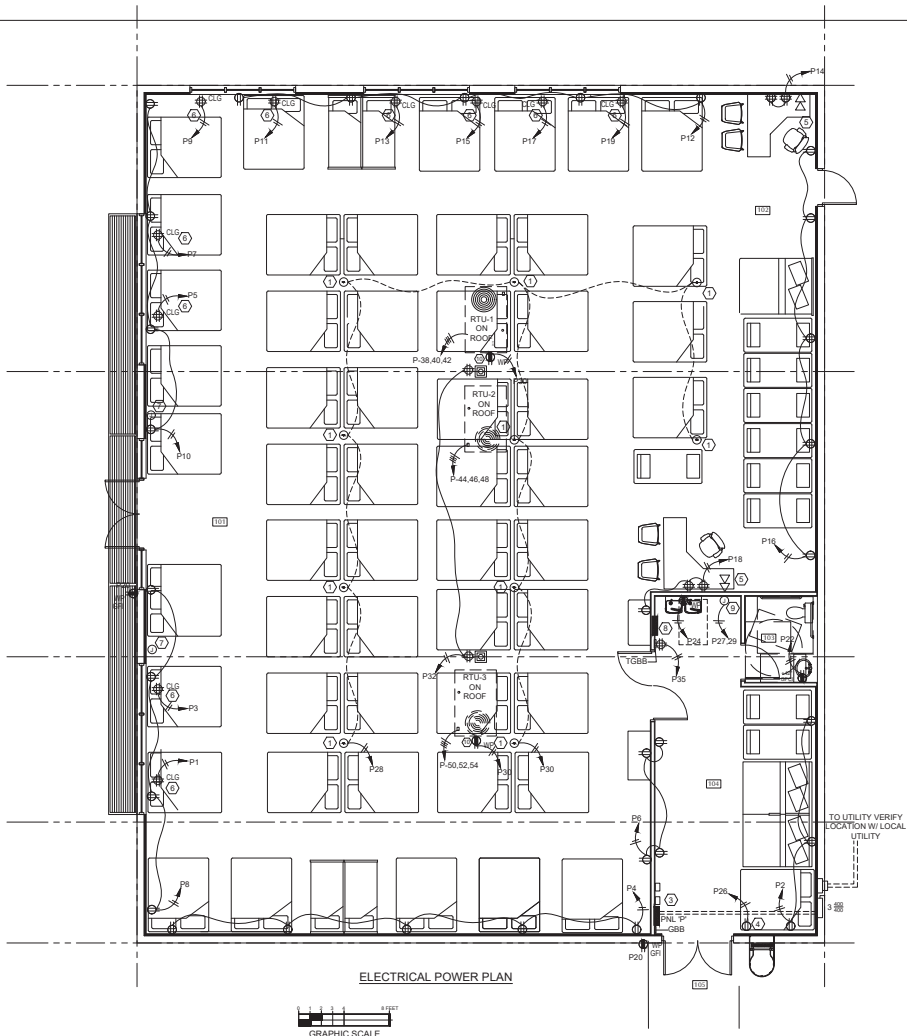
QUEST NUMBER

E002

1. FIXTURES SHALL HAVE 80 CRI (MIN.), UNLESS HIGHER CRI IS NOTED.
2. FIXTURES SHALL BE SUITABLE FOR CONNECTION TO 120V CIRCUITS, U.N.D.

$$C406.3 \text{ compliance} = 2673 / 4313 = 62\% < 90\%$$


E101



SHEET NOTES

A. LIGHTING BASED ON CURRENT TENANT AGREEMENT OF FUTURE AND 200 SQUARE FEET AREA FOR OVERHEAD LIGHTING IN MAIN CORRIDORS.

B. RECESSED ELECTRICAL BOXES LOCATED WITHIN FIVE (5) FEET OF THE CENTER OF EACH BATTERED WINDOW OR GLASS DOOR ON THE MAIN FLOOR. SEE AND RECORD OF THE BUILDING IN LOCATIONS TO BE CONNECTED TO THE INTERMATIC SYSTEM FOR ELECTRICAL TIES.

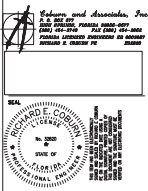
C. LANDSCAPE TO PROVIDE ACCESS TO REAR ACCESS CEILING/ROOF DECK TO ALLOW FOR DIRECT ACCESS TO SIGN FROM MAIN CONNECTION POINTS. ELECTRICAL SERVICE WIRING FROM LETTERS. THIS INCLUDES REAR ACCESS ROOF DECK THAT MAY HAVE BEEN CREATED BY FACADE. PROPERTY OWNER SUPPORT OR ROOF DECK.

KEYNOTES

1. RECESSED FLOOR RECEPTACLES. EXACT LOCATION TO BE VERIFIED WITH TENANT.

2. PANEL 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

DRAWING DATE: 20 APR 2025
DATE: 20 APR 2025
REVIEW: 20 APR 2025



David P. King, Jr.
ARCHITECT
1301 W. 4TH AVE
SUITE 400
MIAMI, FL 33135
(305) 571-1777

REGISTRATION:
STATE OF FLORIDA
STATE OF FLORIDA
PROJECT

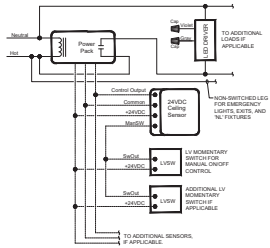
NEW
RETAIL FACILITY
FOR

**MATRESS
WAREHOUSE LLC**
PID: 3301-200-016 & 3301-200-017
CORTA COMMONS PLAZA
MARION COUNTY, FLORIDA

DRAWN BY: DPK
CHECKED BY: DPK
APPROVED BY: DPK
ARCHITECT'S PROJECT No.:

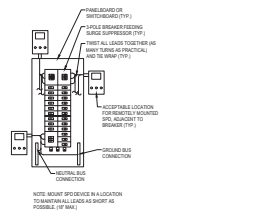
SHEET TITLE:
POWER PLAN

SHEET NUMBER:
E201



- SCHEMATIC NOTES:**
1. BASE OF SENSOR MODEL NUMBER (WATTESTOPPER).
 2. DUAL TECHNOLOGY (DSM) AND PASSIVE INFRARED CEILING SENSOR OF 300.
 3. 24VDC POWER PACK, RE-300.
 4. MONOMONITOR SWITCH L100-01.
 5. ISOLATE AND CAP W/ 100-01000V CONTROL LEADS IF PRESENT TO ACCOMPLISH 100V LIGHT OUTPUT (CONFORM WITH DRIVER MANUFACTURER'S WIRING DIAGRAM).
 6. CONSUMER SETTING FOR MANUAL ON/OFF OPERATION, EXCEPT RESPONSE, STAYS.
 7. LIGHT AND CONTROL SHALL BE SET FOR AUTO-ON/OFF OPERATION. SENSOR SHALL AUTOMATICALLY BE ENERGIZED UPON 10 MINUTE DELAY DETECTED IMMEDIATELY AFTER AN AUTO-OFF EVENT FOR MANUAL ON/OFF OPERATION.
 8. SET SENSOR "AUTO-OFF" TIME DELAY SETTING FOR 20 MINUTES.
 9. WIRE DEVICES AND FACTORIES, UNLESS DIRECTED OTHERWISE BY ARCHITECT OR OWNER.
 10. SEE PLAN FOR SWITCH AND SENSOR QUANTITIES.

TYPICAL NON-DIMMING CEILING SENSOR SCHEMATIC



REMOTE-MOUNT SPD DETAIL

- PROVIDE SIGNS ON NOTED EQUIPMENT.
- SIGNS SHALL BE MINIMUM 2" BLACK PHENOLIC SIGN WITH SOLID WHITE CORNER WITH (SCHEDULED LETTERING MINIMUM OF 3/8" INCH HEIGHT).
- SIGNS ON INTERIOR ITEMS MAY BE ATTACHED USING ADHESIVE. SIGNS ON EXTERIOR ITEMS SHALL BE ATTACHED USING WEATHERPROOF UV RESISTANT ADHESIVE.
- EXAMPLES ARE DISPLAYED BELOW:

VOLTAGE 120/240 1PH
PHASE A BLACK
PHASE B RED
NEUTRAL WHITE
GROUND GREEN
OTHER UNDESIGNED SYSTEMS
LISTED ON PANELS

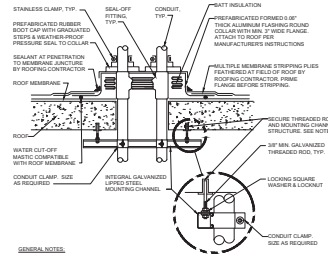
MAIN DISCONNECT
1 OF #
PANEL AAA

PROVIDE ON INSIDE FRONT COVER OF MAIN DISCONNECTS.

PROVIDE ON FRONT COVER OF EACH PANEL, WITH APPLICABLE INFORMATION ON LABEL, INCLUDING PANEL NAME, VOLTAGE, PHASE, WIRE, AND FEEDER SOURCE.

PROVIDE ON EACH MAIN DISCONNECT, FRONT COVER, WHERE AT THE QUANTITY OF MAIN DISCONNECTS.

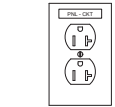
EXAMPLE NAMEPLATE DETAILS



GENERAL NOTES:

1. MAINTAIN A MINIMUM CLEARANCE OF 12" ON ALL SIDES OF ROOF PENETRATION FROM WALL CURBS AND OTHER PROJECTIONS TO INSURE PROPER FLASHING.
2. FLASHINGS OF ADJACENT FLASHINGS SHALL NOT BE CUT OR OVERLAPED.
3. VERIFY ROOF & STRUCTURAL SYSTEM ANCHORING METHOD OF THREADED ROD TO ROOF STRUCTURE SHALL BE SATISFACTORY FOR THE ROOF STRUCTURE ENCOUNTERED.
4. COORDINATE FLASHING INSTALLATION WITH ROOFING CONTRACTOR TO ENSURE PROPER METHOD & MATERIALS ARE USED TO WEATHER ROOF HANDBARS.
5. IF UTILITY IS SPECIFIED WITH THRU-UNIT CONNECTIONS, ROOF PENETRATION MAY NOT BE ROOF. RE-VERIFY WITH MECH CONTRACTOR.

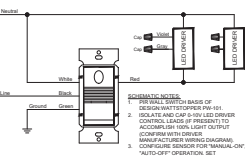
CONDUIT ROOF PENETRATION DETAIL



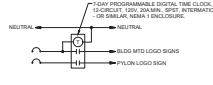
TYPICAL RECEPTACLE DETAIL

1. NEUTRAL CONDUCTORS SHALL BE CONNECTED INDEPENDENTLY OF THE DEVICE AND PIGTAILED TO THE DEVICE.
2. HOT CONDUCTORS SHALL BE CONNECTED INDEPENDENTLY OF THE DEVICE AND PIGTAILED TO THE DEVICE.
3. UNUSED SCREW TERMINALS ON DEVICE SHALL BE TIGHTENED PRIOR TO REGULATION INTO OUTLET BOX.
4. INSTALL SEPARATE GREEN INSULATED EQUIPMENT GROUNDING CONDUCTOR CONDUIT SHALL BE CONNECTED TO CONDUIT EQUIPMENT GROUNDING CONDUCTOR AND BONDED TO OUTLET BOX.

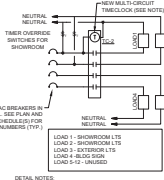
TYPICAL OUTLET WIRING DETAIL



TYPICAL PIR WALL SWITCH SCHEMATIC



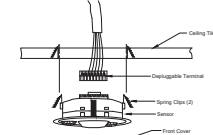
TC-1 CONTROL DIAGRAM



DETAIL NOTES:

1. NEW TIMELOCK SHALL BE DIGITAL TYPE, ASTRONOMIC, WITH 100% ON/OFF CONTACT, INDEPENDENTLY SWITCHED INTERNAL OVERCURE BUTTONS, 7 DAY (WEEK), 100% ON/OFF INPUT, BATTERY BACKUP, 100% ON/OFF OUTSIDE ENCLOSURE, BASE OF DESIGN, INTERMEDIATE WITH 100% ON/OFF.
2. CONTRACTOR SHALL SET CLOCK DATE & TIME AND ON/OFF TIMES PER LANDLORD'S DIRECTION.
3. CONTRACTOR SHALL LABEL TIMELOCK AND EACH ASSOCIATED OVERCURE BUTTON TO IDENTIFY CONTROLLED LOAD. LABELS SHALL NOT BE REMOVED WITHOUT PERMISSION.
4. CONTRACTOR SHALL PRINT OUT TIMELOCK LOAD ON/OFF SCHEDULES AND SHALL MOUNT A COPY INSIDE TIMELOCK PRINT COVER.

TC-1 CONTROL DIAGRAM



TYPICAL CEILING SENSOR MOUNTING

SHEET NOTES

A. OUTAGES AND EXACT CONFIGURATION OF SERVICE DIFFERENCE SHALL BE COORDINATED WITH PLANT COMPANY PRIOR TO CONSTRUCTION.

SHEET KEYNOTES

1. 100% 2-POLE, 50/60 HZ NEUTRAL SERVICE DIFFERENCE SHALL BE COORDINATED WITH PLANT COMPANY PRIOR TO CONSTRUCTION.
2. PROVIDE WEATHERHEADS, ANCHOR, AND REEBS IN ACCORDANCE WITH NEC AND STREET COMPANY REQUIREMENTS.
3. PROVIDE SELF-CONTAINED METER MOUNTED TO BEHIND FOR AREA SERVICES IN ACCORDANCE WITH NEC AND REQUIREMENTS.
4. BOND TO ALL OTHER EXISTING GROUNDING ELECTRODES PER NEC 250.

GENERAL CONTRACTOR

David P. King, Jr. ARCHITECT

1000 5th St NW
 Atlanta, GA 30309
 (404) 525-1234

REVISIONS:

NO.	DATE	DESCRIPTION
1	10/15/2024	ISSUED FOR PERMIT

PROJECT:

NEW RETAIL FACILITY FOR MATTRESS WAREHOUSE LLC

1001 200-016 & 1001 200-017
 CORTEA COMMONS PLAZA
 MARION COUNTY, FLORIDA

DESIGNED BY: DPK
CHECKED BY: DPK
APPROVED BY: DPK
ARCHITECT'S PROJECT NO.:

SHEET TITLE:

ELECTRICAL DETAILS

SHEET NUMBER:

E301

