

September 5, 2025

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: INFO
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 3/14/25-add waivers if requested in future
- 5 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
- 6 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: Central Sewer/Central Water
- 7 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.3 - Landscape design standards
STATUS OF REVIEW: INFO
REMARKS: 1.Sweet Viburnum next to building may get to large, consider alternative. 2. Top of tree rootball should be 1-2" above finish grade
- 8 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.10 - General planting requirements (specifications)
STATUS OF REVIEW: INFO
REMARKS: Walter's Viburnum should be the full size variety, not the dwarf variety

9 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.4.L(1) - Parcel number

STATUS OF REVIEW: INFO

REMARKS: PID#21521-001002 does not exist any longer. Please remove from cover sheet. Leave the 21521-001-02 parcel on cover sheet.

This item is left as info to expedite the application's approval.

10 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: Verified owner with Sunbiz and check project list. 3/13/25 HR

IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

Feel free to contact us at (352) 671-8686 or DevelopmentReview@marionfl.org with questions.

Sincerely,

Your Development Review Team
Office of the County Engineer



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

AR 32597

DEVELOPMENT REVIEW PLAN APPLICATION

Date: 3-11-2025

A. PROJECT INFORMATION:

Project Name: Champion Vision Ocala

Parcel Number(s): 21521-001-02

Section 03 Township 15S Range 21E Land Use Com Zoning Classification B-2

Commercial ☒ Residential ☐ Industrial ☐ Institutional ☐ Mixed Use ☐ Other ☐

Type of Plan: MAJOR SITE PLAN

Property Acreage 1.09 Number of Lots N/A Miles of Roads N/A

Location of Property with Crossroads 1900 ft west of NW 44th Ave on south side of US 27

Additional information regarding this submittal: Construct one (1) medical vision office in an existing commercial subdivision with a master stormwater system

B. CONTACT INFORMATION *(Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.)*



Engineer:

Firm Name: Menadier Engineering, LLC Contact Name: William Menadier, PE

Mailing Address: 13800 Tech City Circle, Suite D302 City: Alachua State: FL Zip Code: 32616

Phone # 386-347-5133 Alternate Phone #

Email(s) for contact via ePlans: wmenadier@menadier.com



Surveyor:

Firm Name: Contact Name:

Mailing Address: City: State: Zip Code:

Phone # Alternate Phone #

Email(s) for contact via ePlans:

Property Owner:

Owner: Robinson Real Estate Building, LLC Contact Name: Dr. Robinson

Mailing Address: 2677 SW 87th Drive City: Gainesville State: FL Zip Code: 32608

Phone # Alternate Phone #

Email address:

Developer:

Developer: Contact Name:

Mailing Address: City: State: Zip Code:

Phone # Alternate Phone #

Email address:

Revised 6/2021

A MARION COUNTY MAJOR SITE PLAN FOR CHAMPION VISION OCALA

PREPARED FOR:
CHESHIRE CONSTRUCTION DEVELOPMENT, INC.

STORMWATER OPERATION/MAINTENANCE PLAN

AFTER EACH RAINFALL EVENT

1. PAVEMENT AREAS - CLEAN/RESURF DEBRIS AND DIRT FROM PAVEMENT AREAS.
2. SEDIMENT IN RETENTION/DETENTION AREAS - REMOVED IMMEDIATELY.
3. DEBRIS IN RETENTION/DETENTION AREAS - ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED IMMEDIATELY.
4. YARD MESH CATCH BASINS, ETC. - ALL DEBRIS AND FOREIGN MATERIALS SHALL BE REMOVED IMMEDIATELY.

PERIODIC POND/SYSTEM MAINTENANCE

1. CLEANING/SWEEPING OF PAVEMENT AREAS SHALL BE ACCOMPLISHED WEEKLY OR AS REQUIRED.
2. INSPECT POND PERIODICALLY FOR ACCUMULATION OF TRASH AND DEBRIS AND REMOVE IT UPON DISCOVERY.
3. MOWING AND LANDSCAPING MAINTENANCE SHOULD BE DONE ON A MONTHLY BASIS DURING THE ACTIVE GROWING SEASON FOR THIS AREA. INSPECT AND MAINTAIN AS REQUIRED DURING THE GROWING SEASON.
4. WEEDS OR UNDESIRABLE GROWTH SHALL BE REMOVED UPON DISCOVERY.
5. CATCH BASINS SHALL BE RESURF AS NECESSARY (IF ANY).
6. THE OWNER SHALL RE-GRADE AND RE-STABILIZE SWALE/RETENTION/DETENTION AREAS AS REQUIRED TO MAINTAIN THE APPROVED DESIGN, CROSS-SECTION LINER AND GRADE.
7. REMOVE SEDIMENT FROM POND WHEN ACCUMULATION REACHES FOUR (4) INCHES. MEASURE ACCUMULATION ONCE A YEAR.

INSPECTIONS

1. A MAINTENANCE INSPECTION MUST BE PERFORMED AT MINIMUM EVERY FIFTH YEAR BY A REGISTERED PROFESSIONAL.
2. THE MAINTENANCE INSPECTION MUST BE DOCUMENTED ON THE FDEP AND/OR WATER MANAGEMENT DISTRICT STANDARD INSPECTION FORM (2.330.3111).
3. THE INSPECTION MUST BE SIGNED, SEALED AND DATED BY THE REGISTERED PROFESSIONAL AND SUBMITTED TO EITHER THE FDEP OR WATER MANAGEMENT DISTRICT WITHIN 30 DAYS OF THE INSPECTION.
4. THE INSPECTION MUST BE CONDUCTED USING THE PLANS, CALCULATIONS AND SPECIFICATIONS APPROVED BY THE FDEP AND/OR WATER MANAGEMENT DISTRICT.
5. THERE MUST BE AN INSPECTION COMPLETED BY A REGISTERED PROFESSIONAL ONE YEAR AFTER THE CONVERSION INTO OPERATION.

MAINTENANCE PRACTICE AND SCHEDULE INSTRUCTIONS

MAINTENANCE RESPONSIBILITIES:

THIS PROJECT HAS BEEN DESIGNED TO PROVIDE SUITABLE REMOVAL OF STORM WATER FROM THE PROJECT USE AREA. THE PREVIOUSLY PERMITTED RETENTION BASIN WAS SIZED TO MEET BOTH LOCAL AND STATE REQUIREMENTS. TO ASSURE PROPER FUNCTIONING OF THE FACILITIES AFTER COMPLETION OF CONSTRUCTION, THE FOLLOWING RECOMMENDATIONS ARE SUGGESTED:

1. **ASPHALT PAVEMENT**
 - A. AFTER COMPLETION OF CONSTRUCTION, THE INSIDE EDGES OF ALL TURNING RADI SHALL BE MONITORED TO ASSURE NO POTHOLES, ETC. OCCUR BEHIND THE CURBING.
 - B. ALL PAVEMENT SHALL BE MONITORED TO ASSURE NO FAILURES OCCUR. IF A HOLE DEVELOPS, CUT A SQUARE EDGE AROUND FAILURE AND REPAIR WITH FULL DEPTH OF ASPHALT.
 - C. ASPHALT PAVEMENT SHALL BE CLOSELY MONITORED TO ASSURE NO FUEL SPILLAGE OCCURS THAT WOULD DESTROY BOTH PAVEMENT AND ALSO GRASS IN THE RETENTION BASIN. IF A SPILL OCCURS, FLOOD IMMEDIATELY WITH LARGE VOLUMES OF WATER.
 - D. REPAIR ANY BROKEN CURBING IMMEDIATELY.

2. CULVERTS

- A. ALL CULVERTS MUST BE MAINTAINED TO ASSURE COMPLETE FULL VOLUME. IF THE POND BECOMES OVERFLOWED OR SEDIMENT BUILDS UP IN THE CULVERTS, REPAIR AND/OR CLEAN IMMEDIATELY.
- B. ALL DRAINAGE CULVERTS MUST BE INSPECTED QUARTERLY AND CLEANED TO ASSURE FULL VOLUME CAPACITY.

3. GRATE INLETS

- A. MAKE SURE GRATES ARE NOT CLOGGED WITH DEBRIS AFTER EACH RAINSTORM.
- B. MAKE QUARTERLY CHECKS OF INTERIOR OF CONCRETE INLET AND REMOVE ANY SEDIMENT BUILDUP THAT OCCURRED.
- C. ANY BROKEN GRATES OVER THE INLETS MUST BE REPLACED IMMEDIATELY.

PARKING CALCULATIONS

MEDICAL CENTER SPACES REQUIRED:

1 SPACE / 250 S.F.
(1 SPACE / 250 S.F.) x 3,288 S.F. = 14 SPACES

TOTAL PARKING REQUIRED: 14 SPACES

PARKING SPACES PROVIDED: 23 SPACES

HANDICAP PARKING REQUIRED:

1 SPACE/25 SPACES
(1 SPACE / 25 SPACES) x 23 SPACES = 1 SPACE

HANDICAP PARKING PROVIDED: 1 SPACE

TRAFFIC STATEMENT:

PROPOSED DEVELOPMENT

MEDICAL-DENTAL OFFICE BLDG (ITE CODE 720)
PER 1,000 S.F.:

3,288 S.F. / 1,000 S.F. = 3.29

WEEKDAY

FITTED CURVE EQUATION: $T = 42.97(\sqrt{X}) - 108.01$

42.97(3.29) - 108.01 = 34 VTPO

TRIP DISTRIBUTION: 50% ENTER / 50% EXIT

ENTERING: 17 VTPO

EXITING: 17 VTPO

A.M. PEAK HOUR (7 am - 9 am)

FITTED CURVE EQUATION: $LH(T) = 0.90LH(X) + 1.34$

0.90LH(3.29) + 1.34 = 12 VTPO

TRIP DISTRIBUTION: 79% ENTER / 21% EXIT

ENTERING: 10 VTPO

EXITING: 2 VTPO

P.M. PEAK HOUR (4 pm - 6 pm)

FITTED CURVE EQUATION: $T = 4.07(X) - 3.17$

4.07(3.29) - 3.17 = 11 VTPO

TRIP DISTRIBUTION: 30% ENTER / 70% EXIT

ENTERING: 4 VTPO

EXITING: 7 VTPO

OPEN SPACE / STORMWATER DATA CALCULATIONS:

AREA OWNED: 47,462 S.F. (1.09 ACRES)

EXISTING ASPHALT DRIVE 5,953 S.F.

CONCRETE 564 S.F.

IMPERVIOUS AREA 3,288 S.F.

BUILDINGS 1,186 S.F.

CONCRETE 1,186 S.F.

ASPHALT PAVMT. 1,186 S.F.

TOTAL 12,141 S.F.

TOTAL IMPERVIOUS AREA - 12,141 S.F. (25.6%)

OPEN SPACE REQUIRED - 7,119 S.F. (15.0%)

TOTAL OPEN SPACE PROVIDED - 35,321 S.F. (74.4%)

INTERIOR LANDSCAPE CALCULATIONS:

REQUIRED:

10% OF PARKING AREA

0.10 x 10,508 S.F. = 1,051 S.F.

PLUS

1 S.F./50 S.F. OF OTHER PAVED SURFACES

(1 S.F. / 50 S.F.) x 1,186 S.F. = 24 S.F.

TOTAL INTERIOR LANDSCAPING REQUIRED: 1,075 S.F.

PROVIDED:

A - 365 S.F.

B - 360 S.F.

C - 485 S.F.

TOTAL PROVIDED: 1,210 S.F.

(SEE SHEET C003 FOR LANDSCAPE ISLAND LOCATIONS)

SITE



SECTION 3, TOWNSHIP 15 S, RANGE 21 E

LOCATION SKETCH

DRAINAGE SUMMARY:

THIS PROJECT IS LOCATED ON LOT 2 OF THE 27 WEST COMMERCIAL CENTER SUBDIVISION. LOT 2 WAS ALLOCATED A MAXIMUM FUTURE IMPERVIOUS AREA OF 40,342.5 S.F. (85% OF LOT AREA). THE MINIMUM OPEN SPACE REQUIREMENT IS 7,119.3 S.F. (15% OF LOT AREA). THE PROPOSED DEVELOPMENT WILL INCLUDE A TOTAL IMPERVIOUS AREA OF 12,141 S.F. (25.6%). THEREFORE, STORMWATER CAPACITY IS AVAILABLE IN THE PREVIOUSLY PERMITTED CENTRAL STORMWATER BASIN.

INDEX

SHEET NO. CONTENTS

C001	COVER SHEET
C002	DEMOLITION & EROSION CONTROL PLAN
C003	LAYOUT PLAN
C004	GRADING & DRAINAGE PLAN
C005	UTILITY PLAN
D001	CONSTRUCTION DETAILS
D002	UTILITY NOTES
D003	UTILITY DETAILS
L001	LANDSCAPE PLAN
L002	IRRIGATION PLAN
L003	LANDSCAPE DETAILS
P001	PHOTOMETRIC PLAN
S001	BOUNDARY & TOPOGRAPHIC SURVEY

CONCURRENCY NOTE:

THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE RESULTING PROPERTY(IES) ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.



PROJECT NUMBER: 2025-01-022

STATEMENT OF PROPOSED USE:

THIS PROJECT WILL SUPPORT A 3,822 S.F. MEDICAL OFFICE WITH PAVED PARKING AND TWO ACCESS DRIVES ON LOT 2 OF THE 27 WEST COMMERCIAL CENTER. LOT 2 WAS ALLOCATED IMPERVIOUS AREA CAPACITY IN THE CENTRAL STORMWATER MANAGEMENT FACILITY.

SITE DATA:

PROJECT NAME: CHAMPION VISION OCALA

CONTACT: DR. MARC ROBINSON
352-448-3632

OWNER: ROBINSON REAL ESTATE BUILDING, LLC
2677 SW 8TH DRIVE
GAINESVILLE, FL 32608

PROJECT ADDRESS: TBD NW BLITCHTON ROAD
OCALA, FL

TOTAL PARCEL AREA: 47,462 S.F. (1.09 ACRES)

LAND USE / ZONING: COM / B-2

PARCEL NO.: 21521-001-02
21521-001-002

BUILDING HEIGHT:

ALLOWED: 50 FT

PROPOSED: <50 FT

FLOOR AREA RATIO:

ALLOWED: 100%

PROVIDED:

ALL BUILDINGS - 3,288 S.F.
F.A.R. = 3,288 / 47,462 = 0.069 = 6.9%

BUILDING SETBACKS ALLOWED:

FRONT - 40 FT

SIDE - 10 FT

REAR - 25 FT

BUILDING SETBACKS PROVIDED:

FRONT - 40 FT

SIDE - 15 FT

REAR - 150 FT

PROPOSED USE: EYE DOCTOR'S OFFICE

PROPERTY LIES WITHIN FLOOD ZONES 'X' PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 12083C0504E DATED APRIL 18, 2017.

PROPERTY LIES WITHIN THE SECONDARY SPRINGS PROTECTION ZONE.

PROJECT WATER AND SEWER DEMANDS:

SANITARY SEWER DEMAND

MEDICAL OFFICES
PER PRACTITIONER (DOCTOR)
300 GPD / DOCTOR x 2 DOCTORS = 600 GPD
PLUS
EMPLOYEES
18 GPD / EMPLOYEE x 6 EMPLOYEES = 108 GPD
TOTAL SEWER DEMAND - 708 GPD

WATER DEMAND - 1,200 + SEWER DEMAND

1,200 + 708 GPD = 890 GPD

IRRIGATION DEMAND

IRRIGATION PROVIDED BY ON-SITE IRRIGATION WELL
IRRIGATION WELL SHALL HAVE A BACKFLOW PREVENTOR

GENERAL NOTES:

1. ALL AREAS DISTURBED BY CONSTRUCTION OF THIS PROJECT WHICH ARE NOT OTHERWISE PAVED SHALL BE IMMEDIATELY SODDED FOLLOWING FINAL GRADING. ALLOW FOR THICKNESS OF SOD WITH A 2-INCH UNDERCUT. SOD SHALL BE ARGENTARIY BAHIA UNLESS OTHERWISE NOTED ON LANDSCAPE PLAN, AND SHALL BE REGULARLY WATERED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION DURATION.
2. ALL CONCRETE SHALL BE 3000 p.s.i. - 28 DAY STRENGTH UNLESS OTHERWISE NOTED.
3. TO PREVENT EROSION DURING CONSTRUCTION, SILT FENCING SHALL BE INSTALLED AS INDICATED ON THE DEMOLITION & EROSION CONTROL PLAN AND MAINTAINED UNTIL THE COMPLETION OF ALL SITE CONSTRUCTION.
4. ALL STRIPING SHALL BE 6" WIDE TRAFFIC PAINT, UNLESS OTHERWISE INDICATED, APPLIED WITH DOUBLE COAT AT A MINIMUM OF 24 HOURS AFTER IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND FOOT DESIGN STANDARDS, LATEST EDITIONS. HANDICAPPED MARKINGS AND HANDICAPPED SIGNS SHALL CONFORM WITH FDOT'S FTP-20-06 AND FTP-22-06 AND STANDARD PLANS 711-001.
5. ALL TRAFFIC CONTROL DEVICES SHALL BE PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
6. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE FROM THE INTERNAL CONSTRUCTION ENTRANCE SHOWN ON THE DEMOLITION & EROSION CONTROL PLAN.
7. SITE LIGHTING SHALL BE SHIELDED TO PREVENT GLARE ON THE ADJOINING PROPERTIES AND ROADWAY. A SITE LIGHTING PLAN, PREPARED BY THE ARCHITECT, SHALL BE SUBMITTED TO MARION COUNTY FOR REVIEW AND APPROVAL.
8. ALL STORMWATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION OF IMPERVIOUS AREAS.
9. THIS PROJECT SHALL BE SERVED WATER AND SEWER BY CITY OF OCALA UTILITIES.
10. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE, AS APPLICABLE.
11. TRAFFIC SIGNS SHALL BE INSTALLED ON 2" ROUND ALUMINUM POSTS, 14 FT IN LENGTH. ALL SIGNS SHALL MEET MARION COUNTY LAND DEVELOPMENT REGULATIONS.
12. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION AND BURIAL DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
13. ALL STOP BARS SHALL BE 24" WIDE WHITE LEAD FREE THERMOPLASTIC.
14. LANDSCAPE INSTALLATION PROFESSIONALS PERFORMING WORK FOR HIRE WITHIN THE UNINCORPORATED AREAS OF MARION COUNTY SHALL BE LANDSCAPE CONTRACTORS LICENSED BY THE MARION COUNTY BUILDING DEPARTMENT, UNLESS OTHERWISE LICENSED BY THE STATE OF FLORIDA.
15. NO REVISIONS TO THE WORK SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.

MARION COUNTY OWNER'S CERTIFICATE:

I HEREBY CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

DR. MARC ROBINSON DATE
ROBINSON REAL ESTATE BUILDING, LLC

ENGINEER'S CERTIFICATE:

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS WAIVED.

WILLIAM A. MENADIER
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 74581

William A. Menadier, P.E. www.williammenadier.com	REVISIONS
8-18-2025	DATE
	REVISIONS

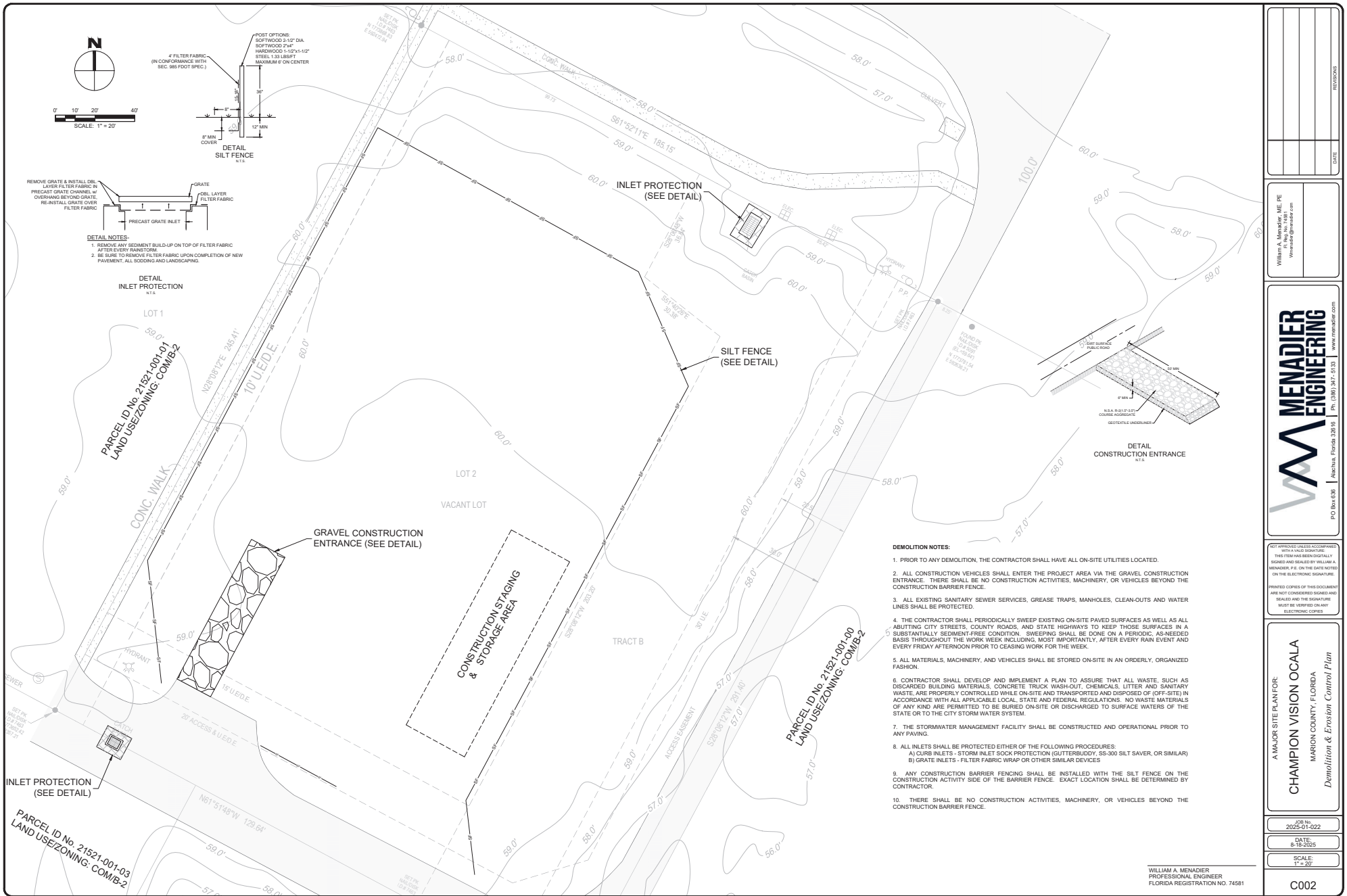
WAM MENADIER ENGINEERING
Alachua, Florida 32018
Ph: (386) 347-5133
www.wmenadier.com
PO Box 656

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THIS SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

A MAJOR SITE PLAN FOR:
CHAMPION VISION OCALA
MARION COUNTY, FLORIDA
Cover Sheet

DATE 2025-01-022
DATE 8-18-2025
SCALE 1" = 1'

C001



DATE	05/18/2025
REVISIONS	

William A. Menadier, M.E. P.E.
P. Eng. No. 74581
www.menadier.com

MENADIER ENGINEERING

PO Box 6308 | Marietta, Florida 32015 | Ph: (386) 342-5133 | www.menadier.com

NOT APPROVED UNLESS ACCOMPANIED BY A SEAL AND SIGNATURE. THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILLIAM A. MENADIER, P.E. ON THE DATE NOTED ON THE ELECTRONIC SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

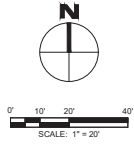
A MAJOR SITE PLAN FOR:
CHAMPION VISION, OCALA
MARION COUNTY, FLORIDA
Demolition & Erosion Control Plan

JOB No.
2025-01-022

DATE
05-18-2025

SCALE
1" = 20'

C002



WILLIAM A. MENADIER
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 74581

A MAJOR SITE PLAN FOR:
CHAMPION VISION OCALA
MARION COUNTY, FLORIDA
Grading & Drainage Plan

JOB NO.
2025-01-022
DATE
01-15-2025
SCALE
1" = 20'

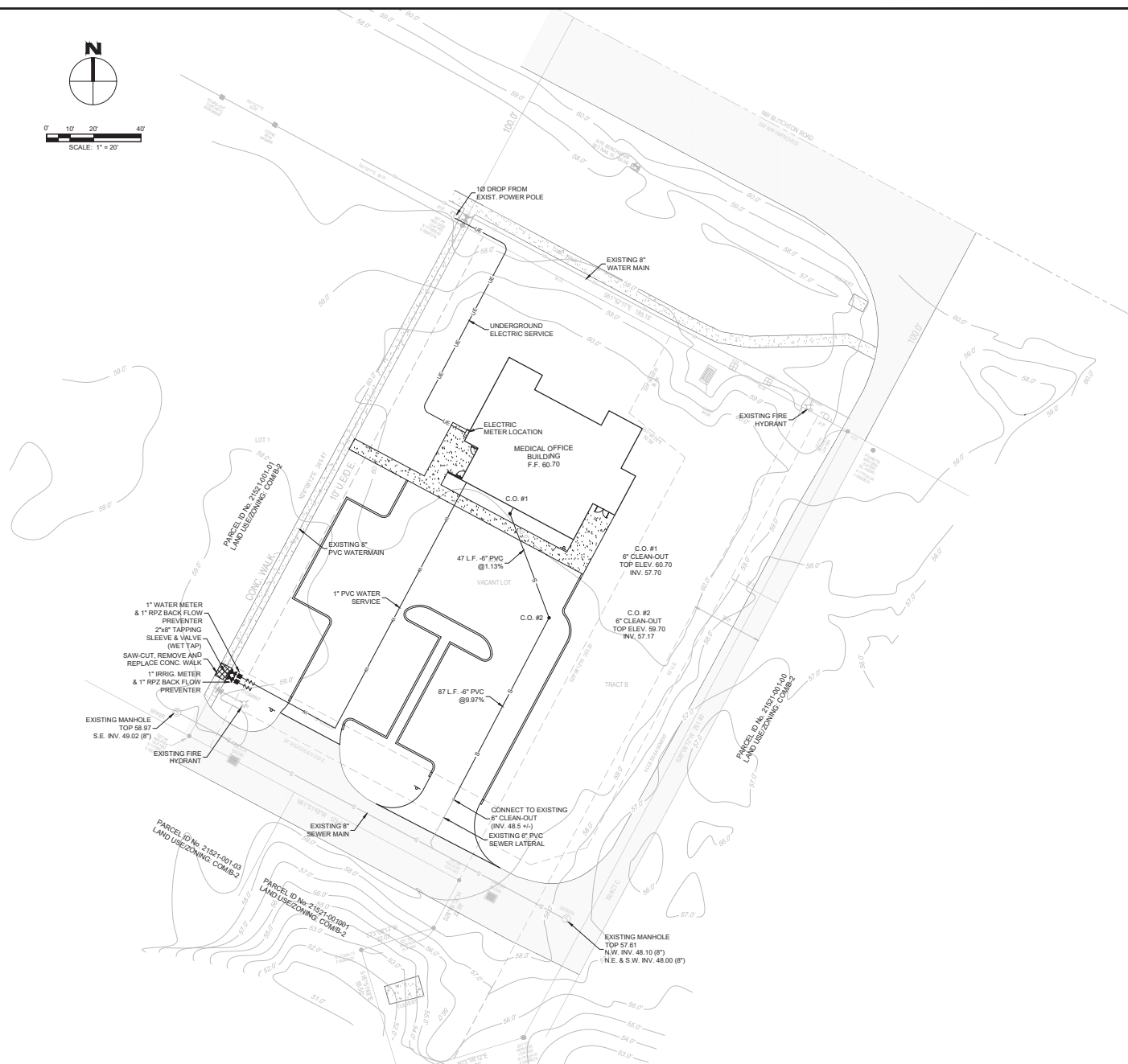
C004

NOT APPROVED UNLESS ACCOMPANIED BY A SEAL SIGNATURE
THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY WILLIAM A.
MENADIER, P.E. ON THE DATE NOTED
ON THE ELECTRONIC SIGNATURE
PRINTED COPIES OF THIS DOCUMENT
ARE NOT CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE
MUST BE VERIFIED ON ANY
ELECTRONIC COPIES

MENADIER
ENGINEERING
P.O. Box 835
Auburn, Florida 32836
Ph: (407) 527-1333
www.menadier.com

William A. Menadier, ME, PE
P.E. Reg. No. 74581
Wmenadier@gmail.com

DATE	REVISIONS



WILLIAM A. MENADIER
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 74581

JOB No.
2025-01-022

DATE:
8-18-2025

SCALE:
1" = 20'

William A. Menadier, ME, PE
FL Reg. No. 74981
Wmenadier@menadier.com

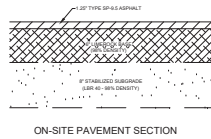
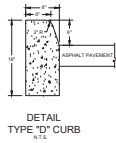
MENADIER
ENGINEERING

PO Box 636
Alachua, Florida 32016
Ph. (386) 347-6133
www.menadier.com

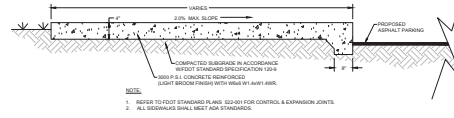
NOT APPROVED UNLESS ACCOMPANIED
WITH A VALID SIGNATURE:
THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY WILLIAM A.
MENADIER, P.E. ON THE DATE NOTED
ON THE ELECTRONIC SIGNATURE.

PRINTED COPIES OF THIS DOCUMENT
ARE NOT CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE
MUST BE VERIFIED ON ANY

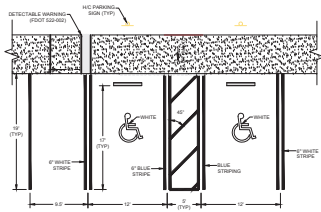
DATE	REVISIONS



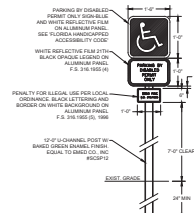
NOTES:
1. 12" UNDERDOOR BASE (12" LIFT) @ 90% DENSITY OVER COMPACTED SUBGRADE MAY BE SUBSTITUTED FOR STRIPED SUBGRADE.
2. THERE SHALL BE NO UNSURFABLE INTERLOCKS WITHIN 24" BELOW THE UNDERDOOR BASE.



DETAIL CONCRETE SIDEWALK
N.T.S.



DETAIL HANDICAP STRIPING AND PARKING PERPENDICULAR PARKING
N.T.S.



DETAIL PARKING FOR THE DISABLED SIGN
N.T.S.

WILLIAM A. MENADIER
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 74581

A MAJOR SITE PLAN FOR:
CHAMPION VISION OCALA
MARION COUNTY, FLORIDA
Construction Details

JOB NO.
2025-01-022
DATE
8-18-2025
SCALE
1"=10'

D001

WILLIAM A. MENADIER, ME, PE
P.E. Reg. No. 74581
www.menadier.com
MENADIER ENGINEERING
P.O. Box 608 | Alachua, Florida 32010 | Ph. (352) 347-5133 | www.menadier.com

NOT APPROVED UNLESS ACCOMPANIED BY A VALID SIGNATURE.
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILLIAM A. MENADIER, P.E. ON THE DATE NOTED ON THE ELECTRONIC SIGNATURE.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

GENERAL UTILITY NOTES:

1. ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF MARION COUNTY STANDARD SPECIFICATIONS FOR WATER AND SANITARY SEWER CONSTRUCTION MANUAL.
2. COUNTY WILL MAINTAIN ALL WATER MAINS TWO INCH (2") IN DIAMETER AND ABOVE TO THE POINT OF METERING AND DOUBLE DETECTOR CHECK ASSEMBLY LOCATION.
3. ALL NEW BACKFLOW PREVENTORS ARE TO BE INSTALLED "BY CONTRACTOR" AND MAINTAINED "BY OWNER." BACKFLOW PREVENTER IS TO BE INSTALLED ON THE CUSTOMER SIDE OF THE WATER METER BOX AT A MINIMUM OF 18 INCHES FROM FINAL GRADE TO BOTTOM OF THE BACKFLOW.
4. THE WATER METER BOX ASSEMBLY SHALL BE INSTALLED BY THE CONTRACTOR AND THE METER INSTALLED BY THE COUNTY.
5. ALL ELBOWS, CAPS, VALVES AND TEES SHALL BE ANCHORED WITH THRUST BLOCKS.
6. A VALVE TIE SHEET SHALL BE SUBMITTED TO THE COUNTY WATER & SEWER DEPARTMENT FOR ALL VALVES 2" OR LARGER.
8. ALL GRAVITY SEWER LINES SHALL MEET THE REQUIREMENTS OF ASTM 3034 WITH A DR OF 26 AND GREEN IN COLOR.
10. ALL SEWER SERVICES AND CLEAN-OUTS SHALL BE MAINTAINED "BY OWNER."
11. ALL SANITARY SEWER CLEAN-OUTS WITHIN THE PAVEMENT SHALL HAVE TRAFFIC BEARING LIDS.
12. ALL EXISTING OR PROPOSED WATER SEWER OR REUSE APPURTENANCES AFFECTED BY THE DEVELOPMENT OF THIS SITE ARE TO BE RAISED TO THE FINAL GRADE PRIOR TO ISSUANCE OF THE C.O.
13. AS-BUILTS, MEETING THE MARION COUNTY WATER AND SEWER CONSTRUCTION MANUAL REQUIREMENTS ARE TO BE SUPPLIED TO THE COUNTY PRIOR TO ISSUANCE OF THE C.O.
14. PROPOSED ELECTRIC SERVICE AND TRANSFORMER SHALL BE PROVIDED BY OCALA ELECTRIC UTILITY.

UTILITY SEPARATION NOTES:

THE SEPARATION NOTES SHALL INCLUDE THE MINIMUM VERTICAL AND HORIZONTAL SEPARATION BETWEEN POTABLE WATER AND SANITARY SEWER MAINS TO COMPLY WITH RULES 62-604.400(2)(G)-(I), F.A.C. AND 62-604.400 (3), F.A.C. AS NOTED BELOW.

NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART II of CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER, NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.

AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART II of CHAPTER 62-610, F.A.C. AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III of CHAPTER 62-610, F.A.C.

POTABLE WATER SYSTEM NOTES:

1. ALL WATER MAIN PIPE FITTINGS AND APPURTENANCES SHALL BE INSTALLED TO COMPLY WITH MARION COUNTY STANDARD SPECIFICATIONS.
2. ALL WATER SERVICE LINES, VALVES AND METERS SHALL BE INSTALLED TO COMPLY WITH MARION COUNTY STANDARD SPECIFICATIONS.
3. ALL DIP PIPE SHALL BE CLASS 50 OR HIGHER, DUCTILE IRON PIPE, 4" TO 24", SHALL BE MANUFACTURED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA C151A/21.51. PIPE SHALL BE FURNISHED IN 18 OR 20 FOOT SECTIONS, PIPE THICKNESS SHALL BE CLASS 50, UNLESS OTHERWISE SPECIFIED.
4. ALL WATER SYSTEM CONSTRUCTION, UP TO AND INCLUDING POINT OF METERING AND BACK FLOW PREVENTION (IF REQUIRED), SHALL BE BUILT ACCORDING TO THE MARION COUNTY STANDARD SPECIFICATIONS.
5. CONTRACTOR TO INSTALL TEMPORARY BLOW-OFFS, AT THE END(S) OF PROPOSED WATER MAINS AND SERVICE LATERALS TO BUILDING(S), TO ASSURE ADEQUATE FLUSHING AND DISINFECTION/CHLORINATION.
6. ALL WATER MAINS SHALL BE STERILIZED IN ACCORDANCE WITH THE APPLICABLE SECTION OF THE LATEST AWWA SPECIFICATION C651 AND MARION COUNTY STANDARD SPECIFICATIONS.
7. ALL PVC WATER MAIN, 4" TO 8" DIAMETER PIPING, SHALL CONFORM TO ASTM D2241 AND ASTM 1784. PIPE SHALL BE AWWA C-200 DR-18. JOINTS SHALL BE RUBBER GASKETED PUSH-ON CONFORMING TO ASTM D1869.
8. POTABLE WATER MAINS SHALL BE PVC SDR 21 (200 PSI) FOR PIPES LESS THAN 4" DIAMETER. SCHEDULE 40 AND SCHEDULE 80 PIPING MATERIAL ARE ALSO ACCEPTABLE FOR PIPE SIZES LESS THAN 4" DIAMETER. THE ABOVE TYPE INSTALLATIONS MUST BEAR THE NSF STAMP FOR COMPATIBILITY WITH POTABLE WATER USE.
9. ALL POLYVINYL CHLORIDE PIPE SHALL BE LAID WITH AN INSULATED 12 GAUGE A.W.G. SOLID STRAND COPPER WIRE WOUND AROUND THE PIPE FORMING ONE COMPLETE SPIRAL PER JOINT OF PIPE. THIS WIRE IS TO BE CONTINUOUS WITH SPLICES MADE ONLY BY METHODS APPROVED BY THE ENGINEER. THIS WIRE IS TO BE SECURED TO ALL VALVES, TEES, AND ELBOWS.
10. ALL POTABLE WATER WORK SHALL CONFORM WITH APPLICABLE MARION COUNTY STANDARD SPECIFICATIONS.
11. ALL F.D.E.P. PERMITS SHALL BE SUBMITTED PRIOR TO ANY CONSTRUCTION AND AN F.D.E.P. CLEARANCE IS REQUIRED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
12. AS-BUILT DRAWINGS MEETING THE MARION COUNTY WATER AND SEWER MANUAL REQUIREMENTS, OR EQUIVALENT, ARE TO BE SUPPLIED TO THE ENGINEER OF RECORD PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
13. ANY NEWLY INSTALLED FIRE HYDRANTS ARE TO BE FACTORY PAINTED RED. THE FIRE HYDRANT CAPS AND BONNET SHALL BE PAINTED THE APPROPRIATE SO COLOR BASED ON THE FIRE FLOW TEST RESULTS AND WILL BE REQUIRED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
14. ALL ON-SITE PRIVATE FIRE HYDRANT ASSEMBLIES SHALL BE FACTORY PAINTED YELLOW.
15. ALL MAINS AND WATER SERVICES 2" OR ABOVE SHALL HAVE GATE VALVES INSTALLED. EACH VALVE IS REQUIRED TO HAVE A VALVE TIE SHEET SUPPLIED WITH THE AS-BUILTS.

POTABLE WATER TESTING AND INSPECTION:

1. ALL COMPONENTS OF THE WATER SYSTEM, INCLUDING FITTINGS, HYDRANTS, CONNECTIONS, AND VALVES SHALL REMAIN UNCOVERED UNTIL PROPERLY PRESSURE TESTED AND ACCEPTED BY THE ENGINEER OF RECORD. PRESSURE TESTS SHALL BE IN ACCORDANCE WITH MARION COUNTY STANDARD SPECIFICATIONS. CONTRACTOR SHALL NOTIFY THE OWNER'S ENGINEER AND APPLICABLE AGENCY INSPECTORS TWO (2) FULL BUSINESS DAYS IN ADVANCE OF PERFORMING TESTS.
2. CONTRACTOR SHALL PERFORM CHLORINATION AND BACTERIOLOGICAL SAMPLING, AND OBTAIN CLEARANCE OF DOMESTIC AND FIRE LINE WATER SYSTEM(S). COPIES OF ALL BACTERIOLOGICAL TEST RESULTS ARE TO BE SUBMITTED TO THE ENGINEER OF RECORD FOR CERTIFICATION PURPOSES.
3. ALL WATER MAINS SHALL BE PRESSURE TESTED IN ACCORDANCE WITH AWWA MANUAL M23, CONCERNING HYDROSTATIC TESTING OF PVC PIPING. OFF-SITE UTILITY HYDROSTATIC TESTING SHALL BE WITNESSED BY THE UTILITY OWNERS REPRESENTATIVE.

SANITARY SYSTEM:

1. ALL PVC PIPE SHALL BE SOLD W/ALL POLYVINYL CHLORIDE PIPE AND COMPLY WITH ASTM D 3034 AND ALL APPLICABLE ASTM DOCUMENTS AS COVERED IN SECTION No. 2 OF ASTM D 3034. MAIN LINES SHALL BE A MINIMUM OF 8" DIAMETER. COMMERCIAL SERVICE LATERALS SHALL BE A MINIMUM 6" DIAMETER AND RESIDENTIAL SERVICES SHALL BE 4" DIAMETER MINIMUM.
2. ALL GRAVITY SEWERS MUST BE SDR 26 PVC. ELASTOMERIC GASKET JOINTS SHALL BE UTILIZED FOR PVC PIPE, AND SHALL COMPLY WITH ASTM F477, ASTM D3034 & ASTM F679. JOINTS SHALL COMPLY WITH ASTM D3312.
3. ALL SLOPES FOR GRAVITY SEWER MAINS AND SERVICE CONNECTIONS SHALL COMPLY WITH THE FOLLOWING MINIMUM GRADES:
4" @ 2.00%
6" @ 1.04%
8" @ 0.40%
10" @ 0.30%
4. ALL SANITARY SEWER WORK SHALL CONFORM WITH APPLICABLE MARION COUNTY UTILITIES STANDARD SPECIFICATIONS.
5. PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING PROPOSED FACILITIES TO EXISTING LINES OR APPURTENANCES, THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION(S) OF EXISTING CONNECTION POINT(S) AND NOTIFY THE ENGINEER OF RECORD OF ANY CONFLICTS OR DISCREPANCIES.
6. SANITARY SEWER MAINS SHALL HAVE SUITABLE MAGNETIC LOCATOR TAPE(S) BURIED AT LEAST 18 INCHES ABOVE THE MAIN LINES.
7. EXISTING MANHOLES SHALL BE COATED OR LINED AND NEW MANHOLES SHALL BE LINED TO RESIST CORROSION FROM A SANITARY SEWER ENVIRONMENT. COATINGS OR LINERS SHALL BE APPLIED IN STRICT ACCORDANCE WITH THE COATING OR LINER MANUFACTURER'S RECOMMENDATIONS.
8. ALL F.D.E.P. PERMITS SHALL BE SUBMITTED PRIOR TO ANY CONSTRUCTION AND AN F.D.E.P. CLEARANCE IS REQUIRED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
9. AS-BUILT DRAWINGS MEETING THE MARION COUNTY WATER AND SEWER MANUAL REQUIREMENTS, OR EQUIVALENT, ARE TO BE SUPPLIED TO THE ENGINEER OF RECORD PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

SANITARY TESTING AND INSPECTION:

1. ALL GRAVITY SEWER PIPING SHALL BE SUBJECT TO VISUAL INSPECTION BY THE ENGINEER OF RECORD AND APPLICABLE MUNICIPALITY/AGENCY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48-HOURS IN ADVANCE TO SCHEDULE INSPECTION(S). THE CONTRACTOR SHALL BE RESPONSIBLE FOR COSTS ASSOCIATED WITH A TELEVISED INSPECTION (TV) OF THE PROPOSED GRAVITY SEWER LINE CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE COPIES OF THE TV INSPECTION TAPE TO THE ENGINEER, THE OWNER, AND MARION COUNTY (IF REQUIRED).
2. THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON ALL GRAVITY SEWERS IN ACCORDANCE WITH MARION COUNTY UTILITIES DEPARTMENT STANDARDS AND SPECIFICATIONS. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF RECORD AND SUBMITTED TO THE PERMITTING AGENCY'S UTILITY DEPARTMENT FOR APPROVAL. THE SCHEDULING, COORDINATION AND NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.
3. LEAKAGE TESTS ARE SPECIFIED TO MEET THE FOLLOWING REQUIREMENTS:
A. THE LEAKAGE INFILTRATION OR EXFILTRATION DOES NOT EXCEED 200 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE SYSTEM.
B. INFILTRATION OR EXFILTRATION TESTS BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF TWO (2) FEET.
C. AIR TESTS, AS A MINIMUM, CONFORM TO THE TEST PROCEDURE DESCRIBED IN ASTM C-828 FOR CLAY PIPE, ASTM C-564 FOR CONCRETE PIPE, ASTM F-1417 FOR PLASTIC PIPE, AND FOR OTHER MATERIALS APPROPRIATE TEST PROCEDURES.
4. CONTRACTOR SHALL PERFORM APPROPRIATE DEFLECTION TESTS FOR ALL FLEXIBLE PIPE. TESTING IS REQUIRED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS TO PERMIT STABILIZATION OF THE SOIL-PIPE SYSTEM. TESTING SHALL BE THE FOLLOWING REQUIREMENTS:
A. NO PIPE SHALL EXCEED A DEFLECTION OF 5.0%.
B. USING A RIGID BALL OR MANHOLE FOR THE DEFLECTION TEST WITH A DIAMETER NOT LESS THAN 95% OF THE BASE INSIDE DIAMETER OR AVERAGE INSIDE DIAMETER OF THE PIPE, DEPENDING ON WHICH IS SPECIFIED IN THE ASTM SPECIFICATION, INCLUDING THE APPENDIX, TO WHICH THE PIPE IS MANUFACTURED.
C. PERFORMING THE TEST WITHOUT MECHANICAL PULLING DEVICES.
5. CONTRACTOR SHALL INSPECT AND TEST MANHOLES FOR WATER TIGHTNESS OR DAMAGE PRIOR TO PLACING INTO SERVICE. AIR TESTING, IF SPECIFIED FOR CONCRETE SEWER MANHOLES, SHALL CONFORM TO THE TEST PROCEDURES DESCRIBED IN ASTM C-1244.

WILLIAM A. MENADIER
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 74581

DATE	
SCALE	

William A. Menadier, M.E. P.E.
P. Eng. No. 74581
www.menadier.com

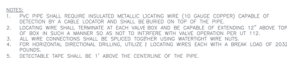
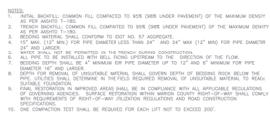
MENADIER ENGINEERING
P.O. Box 608 | Maricopa, Florida 32065 | Ph. (386) 347 - 5133 | www.menadier.com

NOT APPROVED UNLESS ACCOMPANIED BY A SEAL OR SIGNATURE.
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILLIAM A. MENADIER, P.E. ON THE DATE NOTED ON THE ELECTRONIC SIGNATURE.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

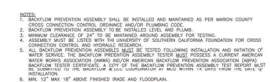
A MAJOR SITE PLAN FOR:
CHAMPION VISION OCALA
MARION COUNTY, FLORIDA
Utility Notes

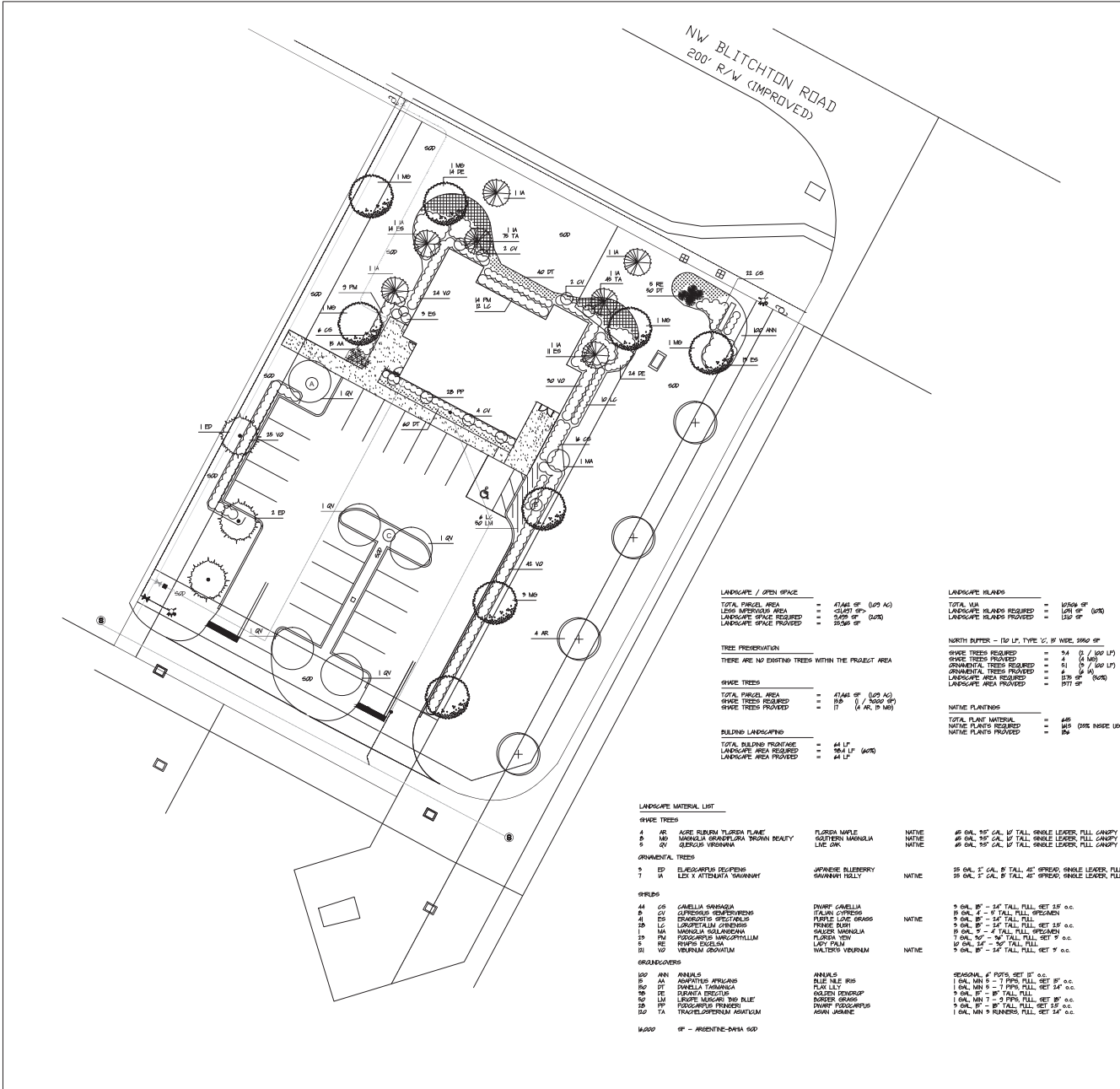
JOB NO.	2025-01-022
DATE	01-15-2025
SCALE	1" = 10'

D002



<p>NOTES:</p> <ol style="list-style-type: none"> 1. FOR ALL WELLS 6" DEEP OR DEEPER, PVC PIPE EXTENSIONS SHALL BE USED IN WELLS BOX INSTALLATION. 	<p>NOTES:</p> <ol style="list-style-type: none"> 1. BRONZE (OR STAINLESS STEEL) IDENTIFICATION DISC SHALL BE REQUIRED FOR ALL VALVES, EXCEPT FORWARD VALVES. 2. LOCATING WELLS SHALL TERMINATE AT EACH VALVE BOX AND BE CAPABLE OF EXTENDING 12" ABOVE TOP OF BOX IN SUCH A MANNER SO AS NOT TO INTERFERE WITH VALVE OPERATION. 	<p>CONDITION 2 (SUFFICIENT REPAIRATION AVAILABLE, SUFFICIENT COVER NOT AVAILABLE)</p> <p>NOTES:</p> <ol style="list-style-type: none"> 1. PIPING SHALL BE DUCTILE IRON WHEN CROSSING UNDER SANITARY SEWER OR STORMWATER UTILITIES. 2. IF NOT DIP, CONCRETE AND GASKING PER FSEP.
---	--	--





LANDSCAPE NOTES

1. ALL MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER.
2. ALL LANDSCAPE AREAS SHALL BE MULCHED WITH 2" - 3" OF CYPRESS #1 MULCH.
3. MULCH SHALL NOT BE INSTALLED ON TOP OF THE ROOT BALLS OF ANY GRADE OR ORNAMENTAL TREES.
4. ALL MATERIAL INSTALLED SHALL MEET THE SUB GRADERS AND STANDARDS FOR LANDSCAPE INSTALLATION.
5. CERTIFICATION IS REQUIRED FROM THE NURSERY AND/OR THE LANDSCAPE CONTRACTOR THAT THE TREE ROOT BALL HAS BEEN SHAVED FOR GRADERS AND STANDARDS.
6. ALL TREES MUST BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE.
7. ALL NEW TREES MUST BE GUDED OR STAKED AS DETAIL.
8. THERE ARE NO EXISTING TREES WITHIN THE PROJECT AREA.
9. THE LANDSCAPE ARCHITECT SHALL REVIEW WITH THE CONTRACTOR ALL LANDSCAPING THAT IS TO BE DONE AND SHALL IDENTIFY THE SCOPE OF WORK.
10. PLACEMENT OF ALL LANDSCAPE MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
11. ALL LANDSCAPE MATERIAL MUST BE INSTALLED WITH NATIVE PEAT AND SLOW-RELEASE NITROGEN FERTILIZER.
12. ALL MATERIAL SHALL BE GUARANTEED FOR 30 DAYS FROM THE DATE OF ACCEPTANCE.
13. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING IN ALL TREES AND REMAINING AIR-POCKETS.
14. DURING THE ESTABLISHMENT PERIOD (FIRST 30 DAYS) THE LANDSCAPE CONTRACTOR SHALL APPLY A MINIMUM OF 40 - 60 GPD TO ALL NEW TREES.
15. LANDSCAPE CONTRACTOR MUST LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION.
16. NO PLANTINGS OR OTHER OBSTRUCTIONS MAY BE WITHIN THE 5' VEGGULAR OVERHANG AREA.
17. ALL NEW GSD SHALL BE ARGENTINE-DANIA INSTALLED WITH NO GAPS OR OVERLAPS.
18. ALL JOINTS SHALL BE GARNED AND GSD ROLLED PRIOR TO ACCEPTANCE.
19. ALL JOINTS / MESH BARRIERS MUST BE COMPLETELY REMOVED PRIOR TO ACCEPTANCE.
20. ALL GSD EDGES SHALL BE SHOVEL-CUT AND ROLLED FOR MAINTENANCE.
21. PLANTING SOIL USED FOR THE BUILDING PLANTINGS AND BACKFILLING OF THE LANDSCAPE ISLANDS, ETC., MUST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION.
22. ALL SOIL SHALL BE NEEDLE-TECH, CONTAIN NO STONES, ROCKS, OR OTHER FOREIGN OBJECTS, AND SHALL BE A MIXTURE OF 40% SAND, 50% LOAM, AND 10% TOP-SOIL.
23. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL PLANT MATERIAL, ROOTS, SOIL, AND OTHER LANDSCAPE ITEMS REMOVED FROM THIS SITE.
24. THE LANDSCAPE CONTRACTOR MUST PROVIDE AN AS-BUILT OF THE IRRIGATION SYSTEM TO THE LANDSCAPE ARCHITECT PRIOR TO REQUESTING ANY INSPECTIONS AND/OR APPROVALS.
25. THE CONTRACTOR SHALL KEEP THE SITE CLEAN OF ALL DEBRIS, DEBRIS, DIRT, ETC., AND ENSURE THAT THAT DRAINAGE SYSTEM REMAINS CLEAR AND THAT PREVENTION WORK IS NOT BLOCKED.
26. DO NOT PLANT NEW TREES TOO DEEP UNDER THE TRUNK PLANE AND SET THIS AT OR ABOVE THE SURROUNDING SOIL LEVEL.
27. REMOVE ANY TREE WRAP FROM AROUND THE TRUNK OF NEW TREES TO BE INSTALLED.
28. ALL NEW TREES AND SHRUBS MUST MEET THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z603).
29. LANDSCAPE ARCHITECT MAY REQUIRE REMOVAL OF NEW TREES AFTER INSTALLATION IF IT IS DETERMINED THAT THE TREES NEED A SINGLE DOMINANT LEADER ESTABLISHED OR QUARTER BRANCHES REMOVED.
30. ALL PLANT MATERIAL MUST MEET ALL OF THE SIZE SPECIFICATIONS, NOT JUST THE CONTAINER SIZE.
31. HAVING THE LANDSCAPE ARCHITECT APPROVAL OF PLANT PLACEMENT IS ESSENTIAL FOR ACCEPTANCE.
32. ALL SIZE SPECIFICATIONS SHOWN ON THE MATERIAL LIST ARE FOR THE HEIGHT OF THE MATERIAL, UNLESS OTHERWISE NOTED. MEASUREMENT SHALL BE AS PER THE CURRENT INDUSTRY GRADERS AND STANDARDS.

MARION COUNTY NOTES

1. TREE PROTECTION SHALL CONTINUE DURING THE COURSE OF CONSTRUCTION. ALL REQUIREMENTS OUTLINED IN SECTION 475 E SHALL BE COMPLIED WITH BY ALL CONTRACTORS OPERATING ON SITE.
2. ALL REQUIREMENTS OUTLINED IN SECTION 475 SHALL BE COMPLIED WITH FOR ANY REPLACEMENT TREES REQUIRED ON THIS SITE BY THIS CONSTRUCTION.
3. THE PRELIMINARY AND FINAL INSPECTIONS AS OUTLINED IN SECTION 475 SHALL BE COMPLIED WITH. NO CERTIFICATE OF OCCUPANCY OR CERTIFICATION OF COMPLETION SHALL BE ISSUED UNTIL THESE INSPECTIONS HAVE BEEN COMPLETED AND APPROVAL GRANTED.
4. NOTES HAVE BEEN SHOWN REMOVALS (REMOVE (R)), ALSO, TREE PROTECTION (475 E), MAINTENANCE (475 E), FERTILIZER USE (475 E), AND WATERING (475 E).
5. ALL REQUIREMENTS OUTLINED IN SECTION 475 REMOVALS (REMOVE) AND OTHER LANDSCAPE CHANGES SHALL BE COMPLIED WITH BY THE OWNER AND/OR OTHER LANDSCAPE PROFESSIONALS.
6. UPON COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL. A LANDSCAPE AND PROTECTION AS-BUILT CERTIFICATION SHALL BE REVIEWED AND REALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
7. ALL REQUIREMENTS OUTLINED IN SECTION 475 REMOVALS (REMOVE) AND MAINTENANCE SHALL BE COMPLIED WITH BY THE OWNER AND/OR OTHER MAINTENANCE PROFESSIONALS.
8. ALL REQUIREMENTS OUTLINED IN SECTION 475 REMOVALS (REMOVE) AND MAINTENANCE SHALL BE COMPLIED WITH.
9. ANY PERSON PROVIDING LANDSCAPE INSTALLATION SERVICES FOR HIRE SHALL MEET THE LICENSING AND CERTIFICATION REQUIREMENTS UNDER SECTION 475.
10. ALL PLANTINGS SHALL BE INSTALLED ACCORDING TO BEST MANAGEMENT PRACTICES.
11. TREES AND PALMS SHALL BE PROPERLY PLANTED AND GUDED OR STAKED.
12. ALL PLANTINGS SHALL BE PROPERLY WATERED DURING INSTALLATION AND THROUGH THE ESTABLISHMENT PERIOD FOR HEALTHY GROWTH AS RECOMMENDED BY U/PA.
13. INSTALLATION SHALL MEAN REMOVAL, IN PERPETUITY, AND REPLACEMENT IF NECESSARY OF ALL MATERIALS DEAD AND/OR DYING PLANT MATERIAL SHALL BE REPLACED BY THE OWNER WITHIN 30 DAYS OF NOTIFICATION BY THE COUNTY.

SCALE 1" = 20'



Richard A. Kesselring

Digitally signed by Richard A. Kesselring

Date: 2025.05.14

11:17:09 -04'00'

RICHARD A. KESSELLING, JR., P.L.A., A.S.L.A.

LANDSCAPE ARCHITECT, STATE OF FLORIDA #858

DATE	2 / 25	ARCHITECT	RAK	BY
DRAWING NO.		NEW NAME		
NO.	1	DATE	9/23	
DESCRIPTION				

DRAWN BY:	RAK	DATE:	2 / 25
SCALE:	1" = 20'	DRAWING NO.:	
JOB NO.:		NEW NAME:	
		FR.	PIC.

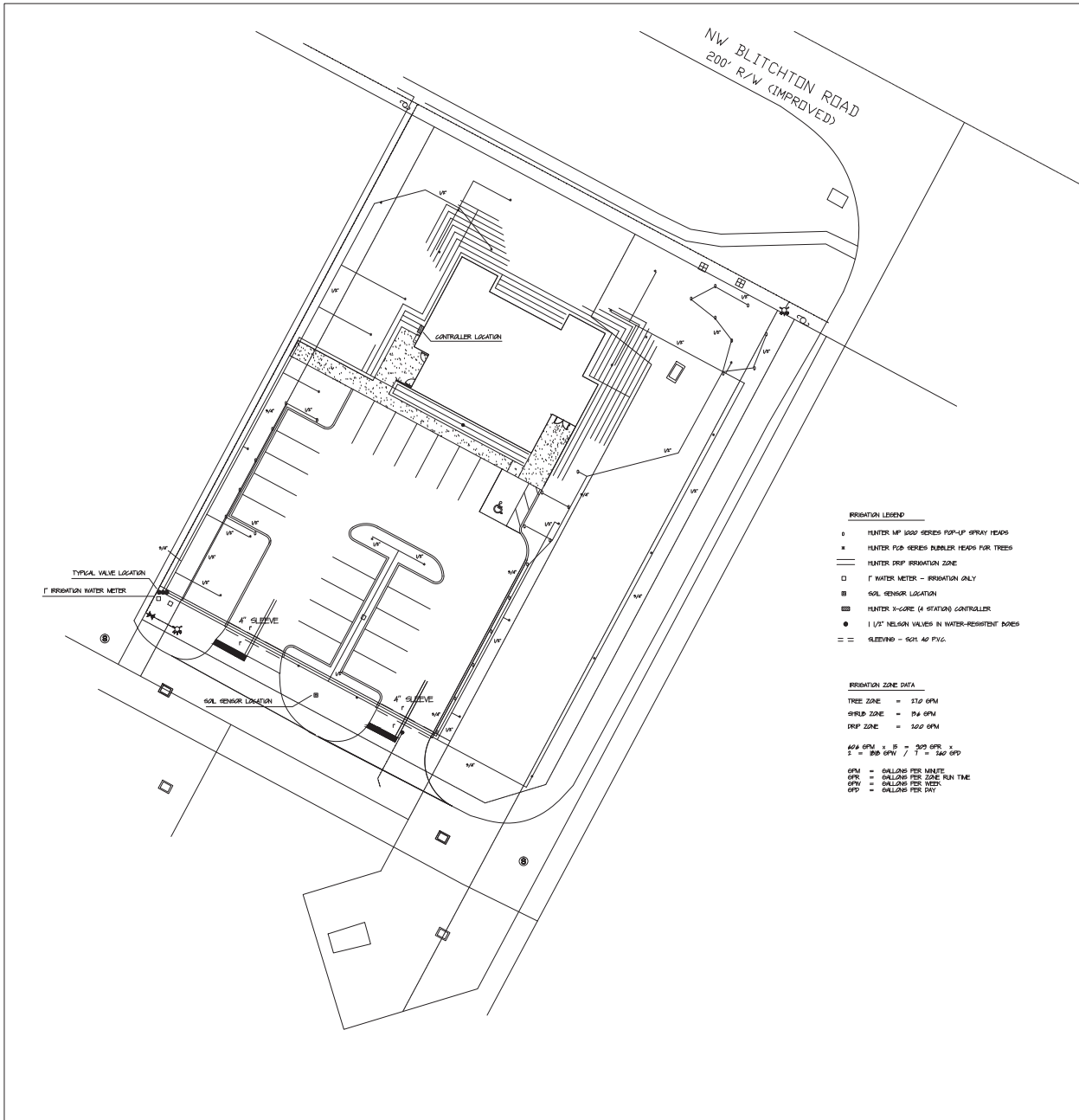
ENVIRONMENTAL DESIGN
ANDY KESSELLING, JR., P.L.A., A.S.L.A.
1117 17th Avenue South, Suite 100
Naples, FL 34104-1117
LANDSCAPE ARCHITECT, STATE OF FLORIDA #858

ENVIRONMENTAL DESIGN
ANDY KESSELLING, JR., P.L.A., A.S.L.A.
1117 17th Avenue South, Suite 100
Naples, FL 34104-1117
LANDSCAPE ARCHITECT, STATE OF FLORIDA #858

EDK

LANDSCAPE PLAN
CHAMPION VISION
MARION COUNTY
FLORIDA

SHEET 1222 of 1222



IRRIGATION LEGEND

- HUNTER MP 5000 SERIES POP-UP SPRAY HEADS
- HUNTER POP SERIES BUBBLER HEADS FOR TREES
- HUNTER DRIP IRRIGATION ZONE
- 1" WATER METER - IRRIGATION ONLY
- SOL SENSOR LOCATION
- HUNTER 3-CORE (4 STATION) CONTROLLER
- 1 1/2" NELSON VALVES IN WATER-RESISTANT BOXES
- == SLEEVING - 50% AS PVC

IRRIGATION ZONE DATA

- TREE ZONE = 15.0 GPM
- SHRUB ZONE = 19.4 GPM
- DRIP ZONE = 100.0 GPM

60% GPM x .5 = 30% GPM

5 = 100 GPM / 1" = 100 GPM

GPM = GALLONS PER MINUTE

GPM = GALLONS PER ZONE RUN TIME

GPM = GALLONS PER WEEK

GPM = GALLONS PER DAY

IRRIGATION NOTES

1. MAJOR CORRECTIONS MAY BE MADE IN THIS LAYOUT WITH APPROVAL BY THE LANDSCAPE ARCHITECT
2. ALL HEAD LOCATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION
3. HEADS SHALL BE 1/4, 1/2, OR FULL CIRCLE AS EACH LOCATION REQUIRES
4. SPRAYS PATTERNS SHALL BE SET TO MINIMIZE SPRAY ONTO ADJACENT WALKS, DRIVES, AND BUILDINGS
5. WATER SOURCE SHALL BE A NEW 1" WATER METER - IRRIGATION USE ONLY.
6. PRIOR TO ANY INSTALLATION, THE IRRIGATION CONTRACTOR SHALL INSPECT THE EXISTING SITE AND THE PROPOSED LAYOUT, AND PROVIDE VERIFICATION TO THE LANDSCAPE ARCHITECT THAT THE PROPOSED COMPONENTS ARE SUFFICIENT FOR THE SYSTEM AS DESIGNED. ANY MODIFICATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION.
7. THE CONTROLLER SHALL BE LOCATED IN THE GENERAL AREA SHOWN AND SHALL BE MAINTAINED AS APPROVED BY THE LANDSCAPE ARCHITECT IN A LOCKABLE CASE
8. THE OWNER WILL PROVIDE AN ELECTRICAL OUTLET IN THE CONTROLLER AREA
9. ALL VALVES SHALL BE INSTALLED IN WATER-RESISTANT BOXES
10. ALL SLEEVING MUST BE INSTALLED PRIOR TO THE UNDERLAYING OF THE PAVED AREAS
11. ALL SLEEVING SHALL BE 50% AS PVC AND INSTALLED A MINIMUM OF 8" DEEP
12. ALL FEEDER LINES SHALL BE INSTALLED A MINIMUM OF 8" DEEP
13. RAINFALL MONITORING DEVICE SHALL BE INSTALLED TO MINIMIZE IRRIGATION DURING SUFFICIENT RAINFALL (30% SERIES). IN ADDITION, AN ANGLE TYPED SENSOR WITH SOIL CONTROL MONITOR MUST BE INSTALLED AS LOCATED BY THE LANDSCAPE ARCHITECT FOR PROPER IRRIGATION ADJUSTMENTS
14. THE ENTIRE SYSTEM MUST BE OPERATIONAL, REVIEWED, AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
15. THE CONTRACTOR SHALL RETURN WITHIN THE FIRST 30 DAYS TO ADJUST THE SYSTEM AS NECESSARY AND DIRECTED BY THE LANDSCAPE ARCHITECT
16. ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR 1 YEAR FOR FINAL ACCEPTANCE
17. THE CONTRACTOR MUST PROVIDE AN AS-BUILT DRAWING TO THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
18. BACKFLOW PREVENTION DEVICE MUST BE INSTALLED AT THE METER LOCATION
19. SLEEVES MUST BE INSTALLED IN ALL AREAS WHERE IRRIGATION PIPING IS INSTALLED UNDER PAVEMENT
20. ZONES ARE DESIGNED TO FUNCTION AT 15 GPM AND 40 PSI AT THE VALVE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING AT ALL HEADS TO INSURE PROPER PRESSURE AND WATER QUANTITY FOR THE DESIGNED COVERAGE
21. CONTRACTOR SHALL CONSULT WITH BOTH OWNER AND THE LANDSCAPE ARCHITECT FOR THE TUNING OF THE SYSTEM, BASED ON CURRENT WATER RESTRICTIONS
22. SYSTEM DOES NOT PROVIDE WORK COVERAGE OF THE EXISTING PROJECT SITE. CONTRACTOR MUST ADJUST HEADS TO COVER THE NEW TREES AND SPRAYS AS DIRECTED BY THE LANDSCAPE ARCHITECT
23. ALL LINE LOCATIONS MUST BE ADJUSTED ON-SITE TO INSURE THAT THEY DO NOT INACT THE ROOT SYSTEMS OF THE PROPOSED TREES TO BE INSTALLED
24. ALL IRRIGATION HEADS SHALL BE LOW-VOLUME, MICRO-IRRIGATION TO MINIMIZE WATER CONSUMPTION
25. SET RUN TIMES FOR THE SYSTEM PER RECOMMENDATIONS BY FWS @ 60% EFFICIENCY/DESIGN
26. ON HEADS LOCATED BELOW THE VALVE LOCATIONS, INHUR CHECK VALVES ARE INSTALLED AT THE HEAD
27. ALL VALVES SHALL HAVE A FACTORY-INSTALLED FILTER SCREEN AND VERIFIED BY CONTRACTOR
28. VERIFY CONTROLLER SET-UP WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
29. ALL IRRIGATION INSTALLATION SHALL MEET 50% GRASS AND 50% TREES
30. NO IRRIGATION HEADS SHALL BE INSTALLED ON RUNWAYS UNLESS SPECIFICALLY NOTED AND DETAILED
31. ALL AS-BUILTS, MODIFICATIONS, ETC., MUST BE SUBMITTED PRIOR TO FINAL INSPECTION AND ACCEPTANCE
32. BUBBLERS AT ALL TREES AND PALMS SHALL BE SET AT THEIR PROPER LOCATIONS

MARION COUNTY NOTES

1. UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION AND THE ACCEPTANCE OF THE AS-BUILT DRAWING AND OPERATIONAL INFORMATION, A FINAL INSPECTION AND LANDSCAPE / IRRIGATION RELEASE SHALL BE SIGNED AND SEALED BY THE IRRIGATION DESIGN PROFESSIONAL AND SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT. ALL REQUIREMENTS OUTLINED IN SECTION 400A SHALL BE COMPLIED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS
2. ALL REQUIREMENTS IN SECTION 400B REGARDING SYSTEM INSTALLATION, SCHEDULING, OPERATION, AND MAINTENANCE SHALL BE COMPLIED WITH. SYSTEM SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH FLORIDA TREES BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN NEUTRITY OF THE FLORIDA YARDS AND RESOURCES PROGRAM
3. ALL REQUIREMENTS OUTLINED IN SECTION 400C REGARDING THE IRRIGATION SCHEDULING SHALL BE COMPLIED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS
4. ALL REQUIREMENTS OUTLINED IN SECTION 400D REGARDING LICENSING AND CERTIFICATION OF THE IRRIGATION INSTALLATION AND MAINTENANCE PROFESSIONALS SHALL BE COMPLIED WITH
5. NOTES HAVE BEEN SHOWN REGARDING ALTERNATE REQUIREMENTS (400A) WATERING INSTALLATION (400B) AND INSTALLATION LICENSING REQUIREMENTS (400C)

SCALE 1" = 20'

Richard A. Kesselring
Digitally signed by Richard A Kesselring
Date: 2025.05.14 11:18:37 -04'00'

RICHARD A. KESSELING, JR., P.L.A., ASLA
LANDSCAPE ARCHITECT, STATE OF FLORIDA #858

NO.	DATE	DESCRIPTION	BY
1	5/15	COUNTY COMMENTS	RAK

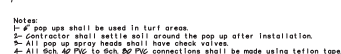
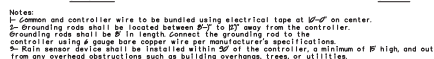
DATE: 2 / 15	DESIGNED BY: RAK	SCALE: 1" = 20'	JOB NO.:
APPROVED BY: RAK	APPROVED BY: RAK	APPROVED BY: RAK	APPROVED BY: RAK

ENVIRONMENTAL DESIGN
ANDY KESSELING, LANDSCAPE ARCHITECT
1000 S.E. 8TH STREET, SUITE 100
FORT LAUDERDALE, FL 33304
LANDSCAPE ARCHITECTURE, SITE PLANNING,
SOIL CONSTRUCTION, COMMERCIAL-RESIDENTIAL DESIGN

EDK

IRRIGATION PLAN
CHAMPION VISION
MARION COUNTY
FLORIDA

SHEET 1022 of 1022



WALL MOUNTED CONTROLLER

POP UP-SPRAY HEAD

Richard A Kesselring

RICHARD A KESSELING JR., PLA, ASLA
LANDSCAPE ARCHITECT, STATE OF FLORIDA #858

[illegible]

DRAWN BY:	RAK	DATE:	2 / 25
SCALE:	1" = 20'	DRAWING NO.:	
		NEW NAME:	
JOB NO.:		FR.	PG.

ENVIRONMENTAL DESIGN
RANDY KESSLER, LANDSCAPE ARCHITECT
P.O. BOX 5121
920 SE. 8th STREET
FOLLOA, FLORIDA 34478
(352) 622-8899

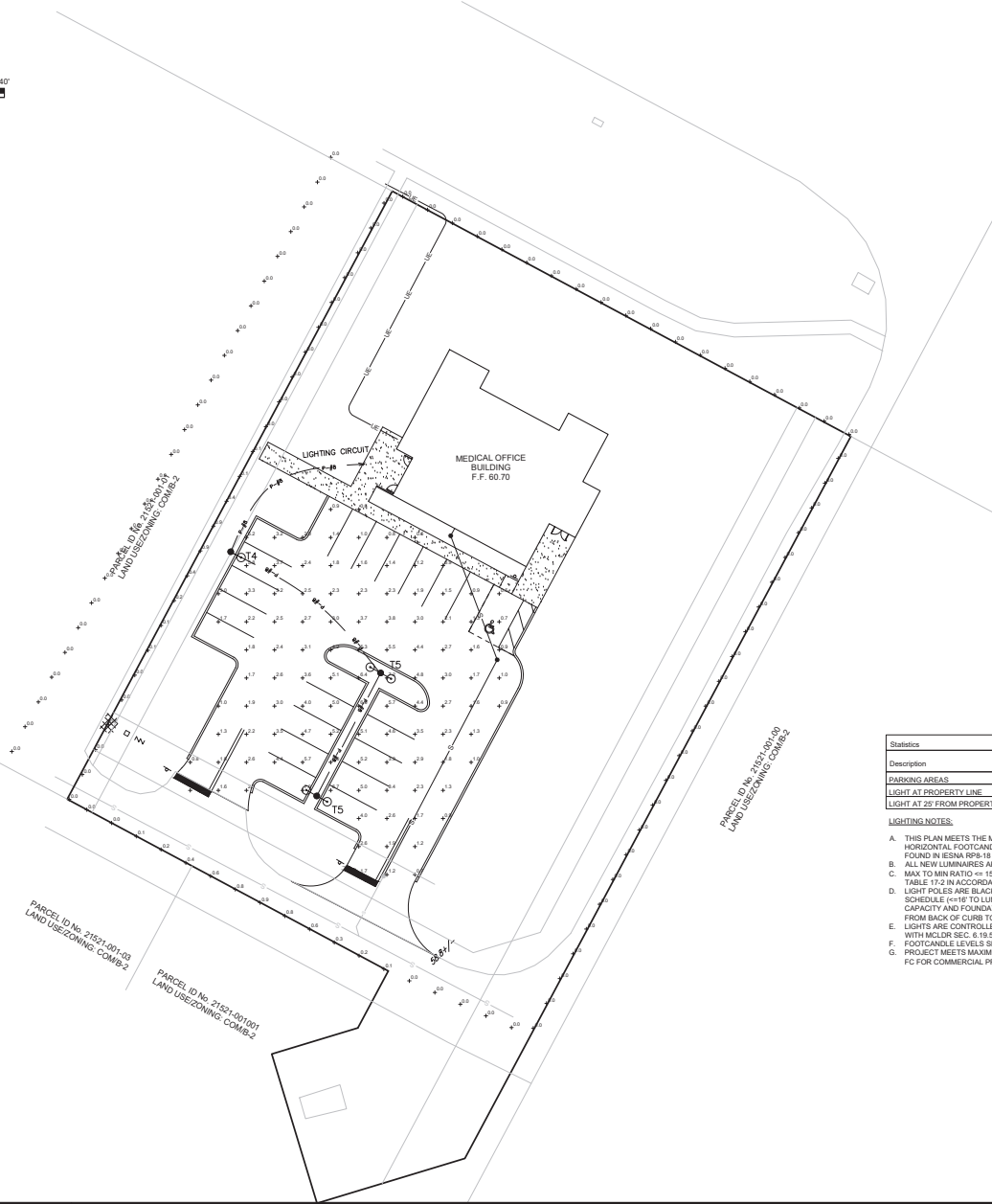


LANDSCAPE & IRRIGATION DETAILS
CHAMPION VISION
MARION COUNTY FLORIDA

SHEET 003 of 003



SCALE: 1" = 20'



Statistics							Applicable Code
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	
PARKING AREAS	+	2.8 fc	7.2 fc	0.5 fc	14.4:1	5.6:1	NOTES C
LIGHT AT PROPERTY LINE	+	N/A	0.9 fc	N/A	N/A	N/A	DESIGN TARGET <=1 FC
LIGHT AT 25' FROM PROPERTY LINE	+	N/A	0.0 fc	N/A	N/A	N/A	SEE NOTE H

- LIGHTING NOTES:**
- A. THIS PLAN MEETS THE MARION COUNTY LAND DEVELOPMENT REGULATIONS (MCLR) AND RECOMMENDED MAINTAINED HORIZONTAL FOOTCANDLE RECOMMENDATIONS OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) FOUND IN IESNA RP8-18 FOR PARKING LOT LIGHTING IN ACCORDANCE WITH MCLR SEC. 6.19.4.A.
- B. ALL NEW LUMINAIRES ARE FULL CUT-OFF MEETING MCLR SEC. 6.19.5.C.
- C. MAX TO MIN RATIO <= 15 AND MINIMUM ILLUMINATION >= 5 FC MAINTAINED FOR PARKING AREAS AS PER IESNA RP8-18 TABLE 17.2 IN ACCORDANCE WITH MCLR SEC. 6.19.4.A.
- D. LIGHT POLES ARE BLACK METAL (STEEL) MOUNTING HEIGHTS INCLUDING ABOVE GRADE AND ARE INCLUDED IN SCHEDULE 17-2 TO LUMINOUS OPENING MCLR SEC. 6.19.6.E (2). CONTRACTOR RESPONSIBILITY TO VERIFY POLE CAPACITY AND FOUNDATIONS MEET FLORIDA BUILDING CODE WIND LOAD REQUIREMENTS. POLES ARE INSTALLED 3' FROM BACK OF CURB TO FACE OF POLE OR 3' BACK OF SIDEWALK.
- E. LIGHTS ARE CONTROLLED BY PHOTOCELL AND TIMER. SEE BUILDING ELECTRICAL PLANS FOR DETAILS IN ACCORDANCE WITH MCLR SEC. 6.19.5.
- F. FOOTCANDLE LEVELS SHOWN ARE MAINTAINED VALUES.
- G. PROJECT MEETS MAXIMUM MAINTAINED FOOTCANDLES WITHIN 25' OF THE ADJOINING PROPERTY MUST BE LESS THAN 1 FC FOR COMMERCIAL PROPERTIES. (MCLR SEC. 6.19.6.B.)

This item has been digitally signed and sealed by William T. Stormant, PE, on the date indicated here.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Digitally signed by William T. Stormant
Date: 2025.05.29 17:52:45 -0400



WILLIAM T. STORMANT
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 44156

REVISION	DATE

WILLIAM T. STORMANT, PE
STORMANT ACCOUNT

WILLIAM T. STORMANT, PE
304 NW 173 Street | Alachua, Florida 32015 | Ph. (352) 665-1426 | stormantw@com.net

BY APPROVED USER SIGNATURE WITH A VALID SIGNATURE, THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY WILLIAM T. STORMANT ON THE DATE NOTED ON THE ELECTRONIC SIGNATURE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

A MAJOR SITE PLAN FOR
CHAMPION VISION OCALA
MARION COUNTY, FLORIDA
Pharmetric Plan

20%
424
DATE:
3-10-2025
SCALE:
1" = 20'



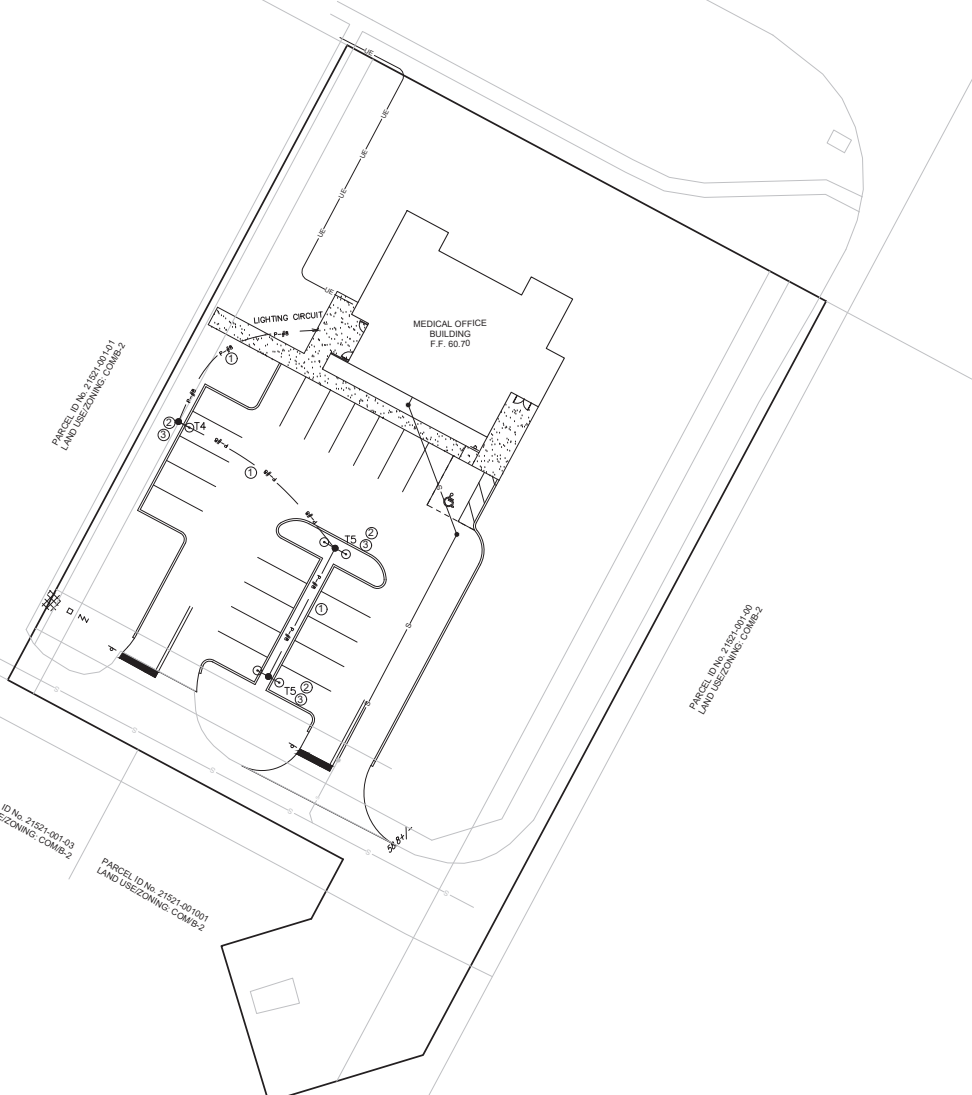
0' 10' 20' 40'
SCALE: 1" = 20'

PARCEL ID No. 21521-001-01
LAND USE/ZONING: COMB-2

PARCEL ID No. 21521-001-03
LAND USE/ZONING: COMB-2

PARCEL ID No. 21521-001-001
LAND USE/ZONING: COMB-2

PARCEL ID No. 21521-001-09
LAND USE/ZONING: COMB-2



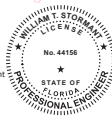
- CONSTRUCTION NOTES:
- 1 RUN 2-#8 AND #8 EGC CU FOR LIGHTING FEEDER CONDUCTORS IN 1" C.
 - 2 PROVIDE RULL BOXES ADJACENT TO EACH LIGHT POLE, WHERE NEEDED FOR PULLING DISTANCES AND WHERE REQUIRED BY CODE.
 - 3 INSTALL LIGHTS AND DIRECT BURIED POLES, TYPICAL.

This item has been digitally signed and sealed by William T. Stormant, PE, on the date indicated here.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

WILLIAM T. STORMANT
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 44156

Digitally signed by William T. Stormant
Date: 2025.09.20 17:44:07 -0500



A MAJOR SITE PLAN FOR:

CHAMPION VISION OCALA
MARION COUNTY, FLORIDA
Lighting Plan

DATE:
3-10-2025
SCALE:
1" = 20'

P2

WILLIAM T. STORMANT, PE
STORMANT@GMAIL.COM

WILLIAM T. STORMANT, PE

304 NW 173 Street | Altamira, Florida 32015 | Ph: (352) 665-1426 | stormant@com.net

DATE
REVISIONS

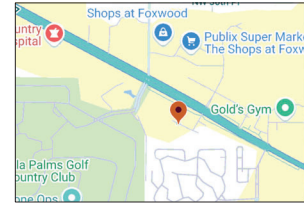
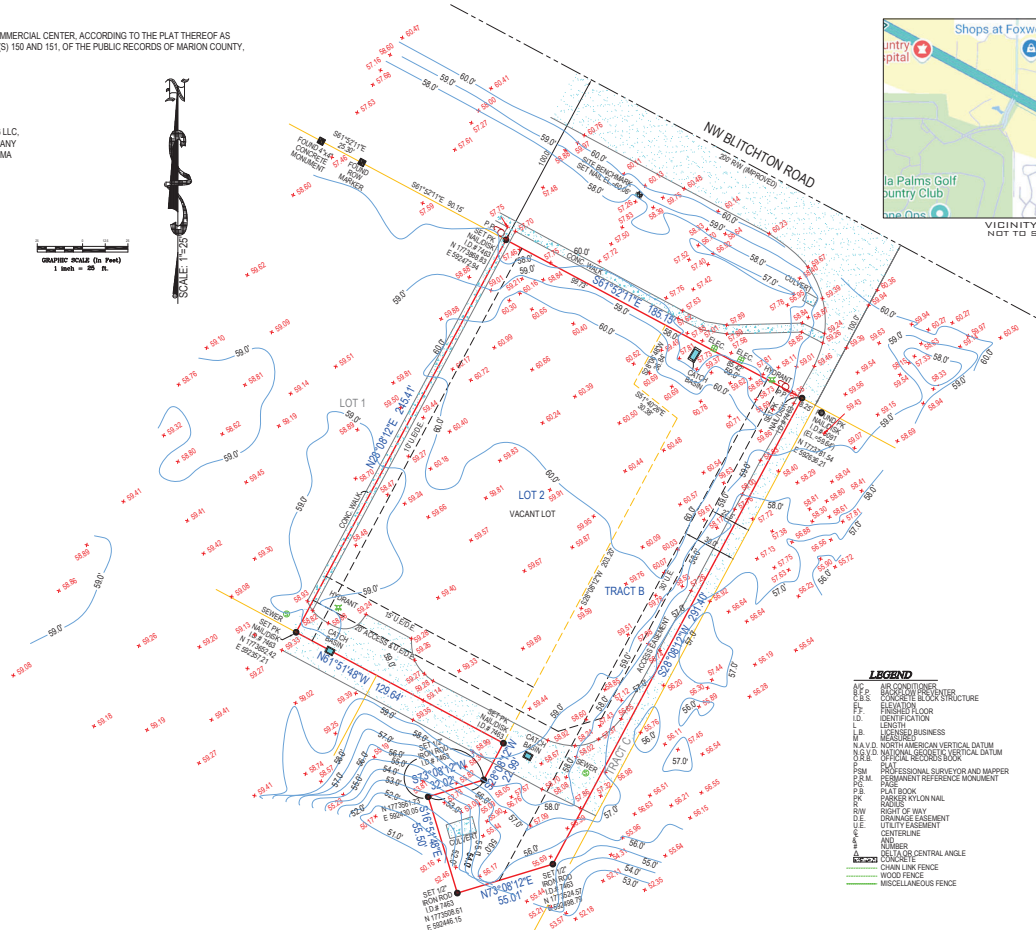
LEGAL DESCRIPTION:

LOTS 2 AND TRACT B, 27 WEST COMMERCIAL CENTER, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE(S) 150 AND 151, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

CERTIFIED TO:
-ROBINSON REAL ESTATE BUILDING LLC,
-A FLORIDA LIMITED LIABILITY COMPANY
-FLORIDA CREDIT UNION, ISAO/ATMA
-KLEIN & KLEIN, PLLC
-FIRST AMERICAN TITLE
INSURANCE COMPANY

Flood Zone: X
Community Number: 120160
Parcel: 1206300504
Suffix: E
Base Flood Elevation: N/A
FIRM Date: 04-19-2017
FIRM Effect/Rev Date: 04-19-2017

GRAPHIC SCALE (In Feet)
1 inch = 20 ft.



- LEGEND**
- 1. 1/4 SECTION CORNER
 - 2. 1/4 SECTION CORNER
 - 3. 1/4 SECTION CORNER
 - 4. 1/4 SECTION CORNER
 - 5. 1/4 SECTION CORNER
 - 6. 1/4 SECTION CORNER
 - 7. 1/4 SECTION CORNER
 - 8. 1/4 SECTION CORNER
 - 9. 1/4 SECTION CORNER
 - 10. 1/4 SECTION CORNER
 - 11. 1/4 SECTION CORNER
 - 12. 1/4 SECTION CORNER
 - 13. 1/4 SECTION CORNER
 - 14. 1/4 SECTION CORNER
 - 15. 1/4 SECTION CORNER
 - 16. 1/4 SECTION CORNER
 - 17. 1/4 SECTION CORNER
 - 18. 1/4 SECTION CORNER
 - 19. 1/4 SECTION CORNER
 - 20. 1/4 SECTION CORNER
 - 21. 1/4 SECTION CORNER
 - 22. 1/4 SECTION CORNER
 - 23. 1/4 SECTION CORNER
 - 24. 1/4 SECTION CORNER
 - 25. 1/4 SECTION CORNER
 - 26. 1/4 SECTION CORNER
 - 27. 1/4 SECTION CORNER
 - 28. 1/4 SECTION CORNER
 - 29. 1/4 SECTION CORNER
 - 30. 1/4 SECTION CORNER
 - 31. 1/4 SECTION CORNER
 - 32. 1/4 SECTION CORNER
 - 33. 1/4 SECTION CORNER
 - 34. 1/4 SECTION CORNER
 - 35. 1/4 SECTION CORNER
 - 36. 1/4 SECTION CORNER
 - 37. 1/4 SECTION CORNER
 - 38. 1/4 SECTION CORNER
 - 39. 1/4 SECTION CORNER
 - 40. 1/4 SECTION CORNER
 - 41. 1/4 SECTION CORNER
 - 42. 1/4 SECTION CORNER
 - 43. 1/4 SECTION CORNER
 - 44. 1/4 SECTION CORNER
 - 45. 1/4 SECTION CORNER
 - 46. 1/4 SECTION CORNER
 - 47. 1/4 SECTION CORNER
 - 48. 1/4 SECTION CORNER
 - 49. 1/4 SECTION CORNER
 - 50. 1/4 SECTION CORNER
 - 51. 1/4 SECTION CORNER
 - 52. 1/4 SECTION CORNER
 - 53. 1/4 SECTION CORNER
 - 54. 1/4 SECTION CORNER
 - 55. 1/4 SECTION CORNER
 - 56. 1/4 SECTION CORNER
 - 57. 1/4 SECTION CORNER
 - 58. 1/4 SECTION CORNER
 - 59. 1/4 SECTION CORNER
 - 60. 1/4 SECTION CORNER
 - 61. 1/4 SECTION CORNER
 - 62. 1/4 SECTION CORNER
 - 63. 1/4 SECTION CORNER
 - 64. 1/4 SECTION CORNER
 - 65. 1/4 SECTION CORNER
 - 66. 1/4 SECTION CORNER
 - 67. 1/4 SECTION CORNER
 - 68. 1/4 SECTION CORNER
 - 69. 1/4 SECTION CORNER
 - 70. 1/4 SECTION CORNER
 - 71. 1/4 SECTION CORNER
 - 72. 1/4 SECTION CORNER
 - 73. 1/4 SECTION CORNER
 - 74. 1/4 SECTION CORNER
 - 75. 1/4 SECTION CORNER
 - 76. 1/4 SECTION CORNER
 - 77. 1/4 SECTION CORNER
 - 78. 1/4 SECTION CORNER
 - 79. 1/4 SECTION CORNER
 - 80. 1/4 SECTION CORNER
 - 81. 1/4 SECTION CORNER
 - 82. 1/4 SECTION CORNER
 - 83. 1/4 SECTION CORNER
 - 84. 1/4 SECTION CORNER
 - 85. 1/4 SECTION CORNER
 - 86. 1/4 SECTION CORNER
 - 87. 1/4 SECTION CORNER
 - 88. 1/4 SECTION CORNER
 - 89. 1/4 SECTION CORNER
 - 90. 1/4 SECTION CORNER
 - 91. 1/4 SECTION CORNER
 - 92. 1/4 SECTION CORNER
 - 93. 1/4 SECTION CORNER
 - 94. 1/4 SECTION CORNER
 - 95. 1/4 SECTION CORNER
 - 96. 1/4 SECTION CORNER
 - 97. 1/4 SECTION CORNER
 - 98. 1/4 SECTION CORNER
 - 99. 1/4 SECTION CORNER
 - 100. 1/4 SECTION CORNER

- NOTES:**
1. LEGAL DESCRIPTION PROVIDED BY CLIENT
 2. NO SEARCH OF THE PUBLIC RECORD FOR THE PURPOSE OF ABSTRACTING TITLE WAS PERFORMED BY THIS OFFICE
 3. NO SUBSURFACE IMPROVEMENTS WERE LOCATED AS PART OF THIS SURVEY
 4. ALL ANGLES OR BEARINGS AND DISTANCES SHOWN HEREON ARE BOTH RECORDED AND MEASURED UNLESS OTHERWISE NOTED
 5. SOME FEATURES MAY NOT BE AT SCALE IN ORDER TO SHOW DETAIL
 6. THE BEARINGS SHOWN HEREON ARE BASED UPON THE NORTH PROPERTY LINE, HAVING A BEARING OF S 61° 52' 11.1 E.

DATE OF FIELD WORK: 01-21-2025
DATE OF MAP: 01-24-2025

- REVISIONS:**
1. ADDED CONTOUR LINES: 06-23-2025
 2. STATE PLANE COORDINATES & CONTOURS: 06-23-2025
 3. ADDED NEW CONTOUR LINE: 08-01-2025
 4. ADDED GRAPHIC SCALE: 08-06-2025

ORIGINATION BENCHMARK
NATIONAL GEODETIC SURVEY
BENCHMARK: E 1017
N.A.S.D. ELEVATION = 66.37

SURVEYORS CERTIFICATE
I HEREBY CERTIFY THAT THE BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND APPLICABLE ELEVATION SEAL OR A RAISED EMBOSSED SEAL AND SIGNATURE.

David G. Cutler
PROFESSIONAL SURVEYOR AND MAPPER #2022

BOUNDARY AND TOPOGRAPHICAL SURVEY OF
XXX AND XXX NW BLITCHTON RD
OCALA, FL 34482
PREPARED FOR:
MARC ROBINSON

Project: C-670561
Date: 07-25-2025
Scale: 1"=25'
Sheet: 1 of 1

6250N. MILITARY TRAIL
WEST PALM BEACH, FL 33407
PHONE: 561.648.0576
FAX: 561.648.0576
WWW.COMPASSSURVEYING.NET

COMPASS SURVEYING

LI #1760