

December 4, 2024

PROJECT NAME: HERITAGE OAKS

PROJECT NUMBER: 2023080054

APPLICATION: IMPROVEMENT PLAN #30516

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Copy of District Permit (County Interest)  
STATUS OF REVIEW: INFO  
REMARKS: Please provide a copy of the District permit prior to construction.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI  
STATUS OF REVIEW: INFO  
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 3 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: Additional Development Review Comments  
STATUS OF REVIEW: INFO  
REMARKS: Establishment of an MSBU is required prior to final plat approval. Contact the MSTU Department at (352)438-2650 to create an MSBU or obtain a waiver from BCC via DRC.
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 6.12.9.F - Public dedications shall be pre-approved by DRC. If an MSBU is established as the maintenance and operation entity, roads and stormwater facilities can be platted as public  
STATUS OF REVIEW: INFO  
REMARKS:
- 5 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 6.3.1.F(1) - A copy of the documents demonstrating the establishment of a corresponding MSBU, CDD, or other State recognized special district responsible for the maintenance and operation of the dedicated improvements  
STATUS OF REVIEW: INFO  
REMARKS:
- 6 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.K - List of approved waivers, conditions, date of approval  
STATUS OF REVIEW: INFO  
REMARKS: 5/20/24-add waivers if requested in future
- 7 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.18.2.B - Improvement Plan fee of \$1,200.00 + (\$10.00 x per lot)  
STATUS OF REVIEW: INFO  
REMARKS: 5/20/24-fee due with resubmittal
- 8 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.15.3 - Fire Protection/Fire Flow Capacity  
STATUS OF REVIEW: INFO  
REMARKS: defer to MCFR - water provided by MCU

- 9 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.9.B - Bill of Sale  
STATUS OF REVIEW: INFO  
REMARKS:
- 10 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.8.A - Completion and Closeout - PLAN NOTE: As-builts  
STATUS OF REVIEW: INFO  
REMARKS: Allow up to 5 working days for as-built review before pursuing completed Bill of Sale or DEP Clearances.
- 11 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.5.C - All issued permits related to this project shall be submitted to MCU (DOT, ROW, misc)  
STATUS OF REVIEW: INFO  
REMARKS:
- 12 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH  
REVIEW ITEM: Additional Health comments  
STATUS OF REVIEW: INFO  
REMARKS: n/a
- 13 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 4.4.4 - Provision for subdivision signs  
STATUS OF REVIEW: INFO  
REMARKS: Will there be any signs?
- 14 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 6.4.4.A - Project is consistent with preliminary plat  
STATUS OF REVIEW: INFO  
REMARKS: Preliminary Plat is still pending approval.
- 15 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW  
REVIEW ITEM: Improvement Plan  
STATUS OF REVIEW: INFO  
REMARKS: IF APPLICABLE:  
Sec. 2.18.1.I - Show connections to other phases.  
Sec.2.19.2.H – Legal Documents  
Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.  
Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)  
For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."  
Sec. 6.3.1.B.2 – Required Right of Way Dedication  
For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."  
Sec. 6.3.1.D.3 - Cross Access Easements



For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

16 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 2.12.4.L(9)(b) - Data Block (Impervious Area)

STATUS OF REVIEW: NO

REMARKS: (1) Please provide data block on the cover sheet detailing the existing and proposed impervious & pervious area in SF, ac, and %. Please include any offsite drainage to your site in the data block. (2) Please include how much impervious area has been accounted for per lot.

17 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 2.12.8 - Topographical Contours

STATUS OF REVIEW: NO

REMARKS: LDC requires the survey to be less than 12 months old. Please provide an updated survey.

18 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 2.12.9/10 - Proposed Drainage Right-of-Way/Easements

STATUS OF REVIEW: NO

REMARKS: (1) Please label D.E. between lots 160-161. (2) The typical lot detail will need to be updated to show a 10' D.E. on the back side of the lot. Or D.E. will need to be added for all pipes that run along the back side of the proposed lots.

19 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.7 - Geotechnical Criteria

STATUS OF REVIEW: NO

REMARKS: Please label all soil borings used in the horizontal perm and vertical perm average on the master drainage plan.

- 20 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.A(3) - Retention/Detention Area Design Parameters  
STATUS OF REVIEW: NO  
REMARKS: Please update the table underneath the pond cross-section to include the DHWL and SHWL.
- 21 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.3 - Type of Stormwater Facility Criteria  
STATUS OF REVIEW: NO  
REMARKS: Per LDC, the berm width needs to be 12 feet stabilized at six percent grade maximum around the entire perimeter of the DRA. The pond cross-section shows 5' min.
- 22 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.12.6 - Roadway Flooding Level of Service  
STATUS OF REVIEW: NO  
REMARKS: See comment under "Hydraulic Analysis"
- 23 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.8 - Stormwater Conveyance Criteria  
STATUS OF REVIEW: NO  
REMARKS: See comment under "Hydraulic Analysis"
- 24 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.B(5) - Hydraulic Analysis  
STATUS OF REVIEW: NO  
REMARKS: Please provide a hydraulic analysis. Was not provided in the stormwater report.
- 25 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.8.B(3) - Lane Spread Calculations  
STATUS OF REVIEW: NO  
REMARKS: See comment under "Hydraulic Analysis"
- 26 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.A(6) - Existing/Proposed Stormwater Pipes  
STATUS OF REVIEW: NO  
REMARKS: What material will the pipes be? Some are labeled as RCP and others are general with SD. Storm pipe is required to be RCP. To pursue using an alternative material, the engineer needs to submit a letter identifying the alternative material type requested, provide verification that the material is included on the FDOT Qualified Products List and provide a detailed explanation for why the alternative material is being requested. County will review the request and provide feedback.
- 27 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.10 Karst Topography and High Recharge Areas  
STATUS OF REVIEW: NO  
REMARKS: Please provide a signed and sealed karst analysis.
- 28 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.12 - Operation and Maintenance  
STATUS OF REVIEW: NO  
REMARKS: Please provide a signed O&M manual. The O&M manual will need to have the following certification on the cover: "I hereby certify that I, my successors, and assigns shall perpetually operate and maintain the stormwater management system and associated elements in accordance with the specifications shown herein and on the approved plans." This certification must be signed by the current property owner or

their authorized representative. We used the State of Florida Sunbiz website to verify agents/member/officers of business entities. If the owner is an out of state organization we will need to see articles of incorporation/organization to verify the authority of the individual signing the certifications. For property ownership, we use the Marion County Property Appraiser's website. If you need an example contact the stormwater department.

- 29 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.  
STATUS OF REVIEW: NO  
REMARKS: After all stormwater comments are resolved, please upload a scanned copy of the digitally signed and sealed certification page of the stormwater report to ePlans. Alternatively, a hard copy can be submitted. If you choose to submit a hard copy, you only need to submit the certification page of the report. A full report is not necessary. However, full reports are accepted if desired.
- 30 DEPARTMENT: ENGTRF - TRAFFIC REVIEW  
REVIEW ITEM: 6.11.5.C(4) - Driveway sight distance  
STATUS OF REVIEW: NO  
REMARKS: 6/17/24 - Show that the connections to SE 73rd Avenue meet FDOT sight distance criteria and provide a note on the plans stating such.
- 31 DEPARTMENT: ENGTRF - TRAFFIC REVIEW  
REVIEW ITEM: 6.12.2 - Right-of-way  
STATUS OF REVIEW: NO  
REMARKS: 6/17/24 - 1. A right-of-way dedication will be required on SE 73rd Avenue. 2. The internal road right-of-way is required to be 50' wide with 5' easements on each side.
- 32 DEPARTMENT: ENGTRF - TRAFFIC REVIEW  
REVIEW ITEM: 6.12.11 - Turn lanes  
STATUS OF REVIEW: NO  
REMARKS: 6/17/24 - 1. A right turn lane is required for the southern driveway. 2. The traffic study indicated the need for an offsite turn lane improvement which is subject to proportionate share. An agreement is needed to address the required proportionate share payment.  
This will need to be included on the improvement plans.
- 33 DEPARTMENT: ENGTRF - TRAFFIC REVIEW  
REVIEW ITEM: 6.12.12 - Sidewalks  
STATUS OF REVIEW: NO  
REMARKS: 6/17/24 - Sidewalk is required on SE 73rd Avenue.
- 34 DEPARTMENT: ENGTRF - TRAFFIC REVIEW  
REVIEW ITEM: Additional Traffic comments  
STATUS OF REVIEW: NO  
REMARKS: 6/17/24 - 1. The southern driveway needs to line up with the driveway for the church. This will reduce the spacing to the northern driveway which needs to be an emergency access. These comments were made on the concept plan for the PUD rezoning.
- 35 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.C - Name, address, phone number, and signature of owner and applicant on front sheet  
STATUS OF REVIEW: NO  
REMARKS: 5/20/24-Missing phone number

- 36 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.5.D - Hydraulic Analysis  
STATUS OF REVIEW: NO  
REMARKS: MUR - (1) sheet 8, footnote 3; justification for calculation? footnote 4; will not be calculated by person for a non-public facility limited to residents & guests only, will be by bathroom - revise as needed (2) sheet 22 - suggest adding second connection to offsite water main at SE corner (MUR comments by Mark.Thomas@MarionFL.org)
- 37 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.16.4 - Wastewater Collection Systems (Gravity/Pressurized) Design  
STATUS OF REVIEW: NO  
REMARKS: remove all lateral connections directly into manholes and have them tie in to the sanitary sewer main. Only some are called out in ePlans but all need to be revised.
- 38 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities  
STATUS OF REVIEW: NO  
REMARKS: \$985 - will not change; to pay by phone call 352-671-8686 and refer to AR 30516 Utility Review fee BEFORE resubmittal to clear this checklist item.
- 39 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: Additional Utilities comments  
STATUS OF REVIEW: NO  
REMARKS: Add note & indicate where placed "Contractor/Developer to ensure meter boxes and cleanouts are not in conflict with any driveways." This will be a note for future projects; please consider adding it to template to avoid future comments to address.
- 40 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: Additional Utilities comments  
STATUS OF REVIEW: NO  
REMARKS: see changemarks in ePlans & address revisions inline; revise sheets as needed
- 41 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 6.6.5.B - Verify Status of MEAS  
STATUS OF REVIEW: NO  
REMARKS: The development application shall identify the area/community habitat protection as on-site or off-site.
- 42 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 2.12.23 - Show typical setback layout for primary uses, as well as accessory uses, dimensions for all improvements  
STATUS OF REVIEW: NO  
REMARKS: Setbacks and building heights do not match PUD concept plan as it was approved in 2022.
- 43 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 2.12.24 - Preliminary buffer plan/6.8.6 - Buffering  
STATUS OF REVIEW: NO  
REMARKS: Buffering along northern boundary does not match the buffers of the concept plan, should reflect a modified 10' ft type C buffer and not a standard type C buffer.

- 44 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 2.12.16 - Modified environmental assessment or exemption if information is available to the county to indicate no habitat or existence of endangered species or vegetation. Check aerials, LANDSAT map in planning and Natural areas inventory to verify.  
STATUS OF REVIEW: NO  
REMARKS: Please provide environmental assessment.
- 45 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: Additional Zoning comments  
STATUS OF REVIEW: NO  
REMARKS: Final PUD master plan shall require approval by the Marion County BCC.
- 46 DEPARTMENT: 911 - 911 MANAGEMENT  
REVIEW ITEM: 2.12.28 - Correct road names supplied  
STATUS OF REVIEW: NO  
REMARKS: Road names have been assigned and labeled on Sheet RN.01. Please label accordingly on all future submittals. Also please correct the label for SE 73rd Ave on Sheet 03.01, you have SE 73th Ave.
- 47 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: Additional Landscape comments  
STATUS OF REVIEW: NO  
REMARKS: Please provide Tree mitigation, Landscape and irrigation plans



**Marion County  
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

**AR 30516**

**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Date: 12/2/2024 Parcel Number(s): 48347-000-00 Permit Number: AR#30516

**A. PROJECT INFORMATION:** Fill in below as applicable:

Project Name: Heritage Oaks Commercial  Residential   
Subdivision Name (if applicable): \_\_\_\_\_  
Unit \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_ Tract \_\_\_\_\_

**B. PROPERTY OWNER'S AUTHORIZATION:** The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Southeast 73rd Ave LLC  
Signature: \_\_\_\_\_  
Mailing Address: 208 Florida Ave City: Coleman  
State: FL Zip Code: 33521 Phone #: \_\_\_\_\_  
Email address: \_\_\_\_\_

**C. APPLICANT INFORMATION:** The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Tillman & Associates Engineering, LLC Contact Name: Timothy C. Brooker, P.E.  
Mailing Address: 1720 SE 16th Ave., Bldg 100 City: Ocala  
State: FL Zip Code: 34471 Phone #: (352) 387-4540  
Email address: permits@tillmaneng.com

**D. WAIVER INFORMATION:**

Section & Title of Code (be specific): 2.18.4C - Commence Construction Prior to Improvement Plan Approval  
Reason/Justification for Request (be specific): Request to commence construction prior to plan approval and approve early site work permit (earthwork only) at the Developers risk. The purpose of this early work request is to begin necessary gopher tortoise relocation.

**DEVELOPMENT REVIEW USE:**

Received By: Email Date Processed: 12/4/24 BM Project # 2023080054 AR # 30516  
12/2/24

**ZONING USE:** Parcel of record: Yes  No  Eligible to apply for Family Division: Yes  No   
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ P.O.M. \_\_\_\_\_ Land Use: \_\_\_\_\_ Plat Vacation Required: Yes  No   
Date Reviewed: \_\_\_\_\_ Verified by (print & initial): \_\_\_\_\_



# IMPROVEMENT PLANS HERITAGE OAKS

## SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST MARION COUNTY, FLORIDA

**PERMITS:**  
 1. MARION COUNTY - IMPROVEMENT PLAN - PENDING  
 2. SEPW 40.1d - S.E.P. - PENDING  
 3. FDEP - POTABLE WATER - PENDING  
 4. FDEP - SANITARY SEWER - PENDING  
 5. FDEP - NDES (by Other)

**UTILITY COMPANIES:**  
 WATER/SEWER MARION COUNTY UTILITIES CUSTOMER SERVICE 247/365 352-307-6000  
 ELECTRIC HUNTER ELECTRIC CO-OP JANET COOK 352-660-9612  
 FIBER / TELEPHONE / CABLE CENTURY LINK BILL MCCLOUD 888-999-4411

**REQUESTED WAIVERS:**

- NOTES:**
- BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY FLOOD HAZARD DATA, AND/OR OTHER EFFECTIVE DATE OF AUGUST 28, 2009, THE PROPERTY DESCRIBED HEREON LIES WITHIN FLOOD ZONE "X," AN AREA OF MINIMAL FLOOD HAZARD.
  - ALL UTILITIES UNDER EXISTING OR PROPOSED PAVEMENT SHALL BE SLEEVED IN ACCORDANCE WITH SECTION 2.6.A OF THE MARION COUNTY LAND DEVELOPMENT CODE.
  - THIS PROJECT IS LOCATED IN THE SECONDARY SPRINGS PROTECTION ZONE.
  - SIGHT DISTANCE AT DRIVEWAYS COMPLES WITH FOOT REQUIREMENTS.
  - VERTICAL DATUM IS BASED ON NATIONAL GEODETIC SURVEY CONTROL POINT U 751, ELEVATION 102.62 (NAVD 1988).
  - DESIGN SPEED = 30 M.P.H. TO BE POSTED AT 25 M.P.H. EXCEPT FOR CURVES WITH RADIUS LESS THAN 300'.
  - THIS PROPOSED PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO IMPROVEMENT PLAN, FINAL PLAN, OR BUILDING PERMIT REVIEW.
  - ALL PROPOSED ROADS ARE TO BE LOCAL SUBDIVISION WITH PRIVATE ROAD STATUS.
  - NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
  - ORIENTATION FOR THE IMPROVEMENTS SHOWN HEREON SHOULD NOT BE USED TO RECONSTRUCT BOUNDARY LINES.

**BASIS OF BEARING:**  
 BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83), WITH 2011 ADJUSTMENT AS DERIVED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION VERTICAL REFERENCE STATION NETWORK.

**BENCHMARK:**  
 TEMPORARY BENCHMARK (A"), SET 5.8" IRON ROD & CAP (L.B. 807), ELEVATION= 67.58' (NAVD 1988)  
 N.1691031.798 E.40991.363  
 TEMPORARY BENCHMARK (A"), SET 5.9" IRON ROD & CAP (L.B. 807), ELEVATION= 75.57' (NAVD 1988)  
 N.1691073.2 E.46466.46

**LEGAL DESCRIPTION :**  
LEGAL DESCRIPTION  
 (PER OFFICIAL RECORDS BOOK 4777, PAGE 29)  
 THE SW 1/4 OF THE SW 1/4 OF THE SE 1/4, AND NE 1/4 OF THE SE 1/4 OF THE SW 1/4, EXCEPT THE SOUTH 62.52 FEET OF THE WEST 47.5 FEET THEREOF, AND THE NORTH 40.00 FEET OF THE SW 1/4 OF THE SE 1/4 OF THE SW 1/4, EXCEPT THE WEST 23.00 FEET THEREOF FOR ROAD RIGHT OF WAY, ALL IN SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST, AND EXCEPT THE NORTH 20 FEET OF THE EAST 20 FEET OF SW 1/4 OF THE SW 1/4 OF THE NE 1/4 OF SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST.  
 (PER OFFICIAL RECORDS BOOK 206, PAGE 1314)  
 THE SW 1/4 OF THE SE 1/4 OF THE SW 1/4 OF SECTION 9, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA, EXCEPT THE NORTH 40.00 FEET AND EXCEPT THE WEST 25.00 FEET THEREOF.  
 AND:  
 THE SOUTH 62.52 FEET OF THE WEST 47.5 FEET OF THE NE 1/4 OF THE SE 1/4 OF THE NW 1/4 OF SECTION 28, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA.  
 (PER OFFICIAL RECORDS BOOK 2268, PAGE 1829)  
 THE NORTH 20.00 FEET OF THE EAST 20.00 FEET OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA, TOGETHER WITH A NON-EXCLUSIVE EASEMENT ON AND ACROSS THE NORTH 40.00 FEET OF NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4, AND THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA, EXCEPT THE WEST 25.00 FEET FOR RIGHT OF WAY.  
 (PER OFFICIAL RECORDS BOOK 203, PAGE 1136)  
 THE SOUTH 1/4 OF THE NE 1/4 OF THE NW 1/4 OF SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA, EXCEPT THE WEST 25.00 FEET THEREOF FOR ROAD RIGHT OF WAY.

**OWNER/DEVELOPER**  
 SOUTHEAST 73rd AVE., LLC  
 PATRICK A. McLAUGHLIN  
 206 FLORIDA AVE., BLDG. 100  
 COLEMAN, FLORIDA 33521

**CIVIL ENGINEER**  
 TILLMAN AND ASSOCIATES ENGINEERING, LLC  
 TIMOTHY BROOKER JR., P.E.  
 1720 SE 16th AVE., BLDG. 100  
 Ocala, Florida 34471  
 PH: (352) 387-4540

**SURVEYOR**  
 JCH CONSULTING GROUP, INC.  
 CHRISTOPHER J. HOWSON, P.S.M., CFM  
 426 SW 15TH STREET  
 Ocala, Florida 34471  
 PH: (352) 405-1482

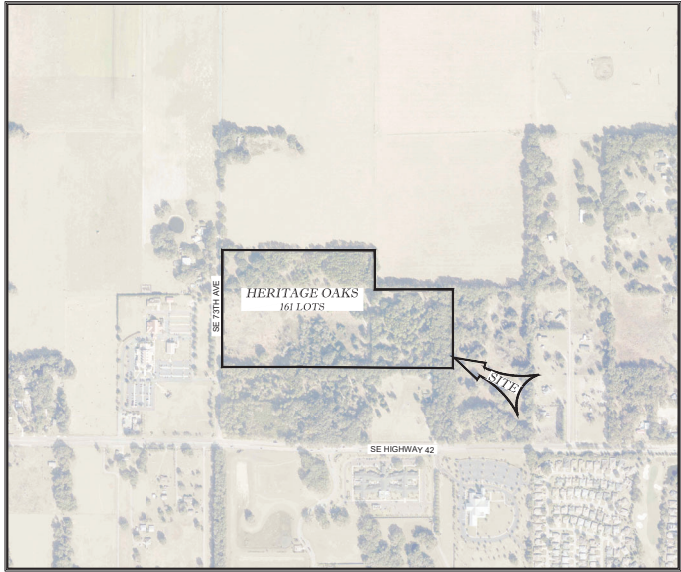
**GEOTECHNICAL CONSULTANT**  
 GEO - TECH, INC.  
 CRAIG HAMBY  
 1016 S.E. 3RD AVENUE  
 Ocala, Florida 34471  
 PHONE (352) 694-7711

THIS SITE CONTAINS:  
 RESIDENTIAL LOTS = 161  
 TOTAL MILES OF ROADWAY = 1.38 MILES  
 PROJECT AREA = 39.95 ± AC.  
 PARCELS: PORTION OF #48347-000-00  
 ZONING - PUD  
 LAND USE - MEDIUM DENSITY RESIDENTIAL (MR)  
 AVERAGE DAILY TRIPS = 1611 TRIPS (210)  
 PEAK HOUR TRIPS = 160 TRIPS (210)  
 PROPOSED IMPERVIOUS AREA = 17.98 ± AC



Call 48 Hours before you dig  
 It's the Low!  
 1-800-432-4770  
 Sunshine State One Call of Florida, Inc.

Marion County Approval Stamp



VICINITY MAP  
 1" = 500'

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1-3	BOUNDARY & TOPOGRAPHIC SURVEY (PREPARED BY JCH CONSULTING GROUP, INC)

**OWNER'S SIGNATURE**

I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.  
 \_\_\_\_\_  
 PATRICK A. McLAUGHLIN  
 SOUTHEAST 73rd AVE, LLC

**ENGINEER'S CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS WAIVED.  
 \_\_\_\_\_  
 TIMOTHY BROOKER JR., P.E.  
 Registered Engineer No. 79259  
 STATE OF FLORIDA

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE I.S.C. AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS.  
 \_\_\_\_\_  
 JCH CONSULTING GROUP, INC.  
 CHRISTOPHER J. HOWSON  
 Registered Land Surveyor No. 6153  
 STATE OF FLORIDA

**Tillman & Associates**  
 ENGINEERS, LLC  
 CIVIL ENGINEERING - PLANNING - SURVEYING - ARCHITECTURE - ENVIRONMENTAL  
 1720 SE 16th Ave. Bldg. 100, Ocala, FL 34471  
 Office: (352) 387-4540 Fax: (352) 387-4545  
 CERTIFICATE OF AUTHORIZATION #26766

REVISIONS	DATE

IMPROVEMENT PLANS  
 HERITAGE OAKS  
 MARION COUNTY, FLORIDA

DATE 5/14/2024  
 DRAWN BY AS  
 CHKD. BY TB  
 JOB NO. 22-5128

SHEET 01.01

COVER

GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF SIZE AND LOCATION OF ALL EXISTING UTILITIES AND RELATED CONSTRUCTION PRIOR TO COMMENCEMENT OF WORK... 2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST STANDARDS OF MARION COUNTY AND FLORIDA... 3. ALL TRAFFIC CONTROL SIGNS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES...

PAVING AND FINISH NOTES

- 1. PIPE LENGTH SHOW REPRESENTS SCALD DISTANCE BETWEEN CENTERLINES OF INTERGRADE STRUCTURES... 2. ALL PAVEMENT FINISH SHALL BE 2" AND MEASURED FROM THE FINISH OF THE CONCRETE CURB AND PAVEMENT SURFACE UNLESS OTHERWISE NOTED... 3. TOP ELEVATIONS OF MANHOLES IN GRASSED AREAS SHALL BE LOCATED AT FINISHED GRADE ELEVATION...

- 1. THE REGULATORY AGENCIES HAVE REVIEWED THE SUBMITTALS FOR THE PROPOSED PROJECT AND HAVE APPROVED THE PROJECT... 2. ALL STORM PIPES SHALL BE INSTALLED TO A MINIMUM COVER OF 18" UNLESS OTHERWISE NOTED... 3. ALL STORM PIPES SHALL BE INSTALLED TO A MINIMUM COVER OF 18" UNLESS OTHERWISE NOTED...

SANITARY SEWER NOTES

- 1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE MARION COUNTY LDC FOR WASTEWATER CONSTRUCTION... 2. ALL SANITARY SEWER CONSTRUCTION AND MATERIALS WITHIN 10' OF EASEMENT TO BE OWNED AND MAINTAINED BY MARION COUNTY UTILITIES... 3. PIPE LENGTHS SHOW REPRESENTS SCALD DISTANCES BETWEEN MANHOLE CENTERLINE...

- 1. LEAKAGE TEST: THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF SIZE AND LOCATION OF ALL EXISTING UTILITIES... 2. LEAKAGE TEST: THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF SIZE AND LOCATION OF ALL EXISTING UTILITIES... 3. LEAKAGE TEST: THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF SIZE AND LOCATION OF ALL EXISTING UTILITIES...

WATER MAIN CONSTRUCTION NOTES

- 1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN COMPLIANCE WITH AWWA STANDARDS AS WELL AS THE MARION COUNTY LDC FOR WATER MAIN CONSTRUCTION... 2. ALL WATER MAIN CONSTRUCTION AND MATERIALS WITHIN 10' OF EASEMENT TO BE OWNED AND MAINTAINED BY MARION COUNTY UTILITIES... 3. NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LEAD TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST 1' BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF AN EXISTING OR PROPOSED STORM SEWER...

- 1. ALL WATER MAINS SHALL BE INSTALLED TO A MINIMUM COVER OF 18" UNLESS OTHERWISE NOTED... 2. ALL WATER MAINS SHALL BE INSTALLED TO A MINIMUM COVER OF 18" UNLESS OTHERWISE NOTED... 3. ALL WATER MAINS SHALL BE INSTALLED TO A MINIMUM COVER OF 18" UNLESS OTHERWISE NOTED...

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FORCE MAIN NOTES

- 1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN COMPLIANCE WITH THE MARION COUNTY LDC FOR FORCE MAIN CONSTRUCTION... 2. ALL FORCE MAIN CONSTRUCTION AND MATERIALS TO BE OWNED AND MAINTAINED BY MARION COUNTY... 3. PIPE LENGTHS SHOW REPRESENTS SCALD DISTANCES BETWEEN FITTINGS OF BRANCHES AND MAINS... 4. DEFLECTIONS AT PIPE JOINTS SHALL NOT EXCEED THOSE RECOMMENDED BY THE PIPE MANUFACTURER...

- 1. ALL FORCE MAINS SHALL BE INSTALLED TO A MINIMUM COVER OF 18" UNLESS OTHERWISE NOTED... 2. ALL FORCE MAINS SHALL BE INSTALLED TO A MINIMUM COVER OF 18" UNLESS OTHERWISE NOTED... 3. ALL FORCE MAINS SHALL BE INSTALLED TO A MINIMUM COVER OF 18" UNLESS OTHERWISE NOTED...

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AS-BUILT NOTES

- 1. THE CONTRACTOR SHALL SUBMIT A CERTIFIED SET OF RECORD DRAWINGS TO THE ENGINEER... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING INFORMATION ON THE APPROVED PLANS CONCURRENTLY WITH CONSTRUCTION PROGRESS... 3. DRAWINGS SHALL BE LEGIBLY MARKED TO REFLECT ACCURATE AS-BUILT CONSTRUCTION... 4. DRAWINGS SHALL CLEARLY SHOW ALL FIELD CHANGES OF DIMENSIONS AND DETAILS...

- 1. ALL AS-BUILT DRAWINGS SHALL BE INSTALLED TO A MINIMUM COVER OF 18" UNLESS OTHERWISE NOTED... 2. ALL AS-BUILT DRAWINGS SHALL BE INSTALLED TO A MINIMUM COVER OF 18" UNLESS OTHERWISE NOTED... 3. ALL AS-BUILT DRAWINGS SHALL BE INSTALLED TO A MINIMUM COVER OF 18" UNLESS OTHERWISE NOTED...

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TABLE 3.0 - STORM PIPE COVER (RIGID PAVEMENT)

Table with 4 columns: PVE TYPE/SIZE & SHAPE, MINIMUM COVER, CONCRETE, CORRUGATED STEEL, CORRUGATED ALUMINUM, CORRUGATED POLYETHYLENE, POLYVINYL CHLORIDE. Includes diagrams for RIGID PAVEMENT (DOVELED JOINTS AND GOOD CONDITION).

TABLE 3.0 - STORM PIPE COVER (RIGID PAVEMENT)

Table with 4 columns: PVE TYPE/SIZE & SHAPE, MINIMUM COVER, CONCRETE, CORRUGATED STEEL, CORRUGATED ALUMINUM, CORRUGATED POLYETHYLENE, POLYVINYL CHLORIDE. Includes diagrams for RIGID PAVEMENT (DOVELED JOINTS AND GOOD CONDITION).

TABLE 4.0 - STORM PIPE COVER (FLEXIBLE PAVEMENT)

Table with 4 columns: PVE TYPE/SIZE & SHAPE, MINIMUM COVER, CONCRETE, CORRUGATED STEEL, CORRUGATED ALUMINUM, CORRUGATED POLYETHYLENE, POLYVINYL CHLORIDE. Includes diagrams for FLEXIBLE PAVEMENT (JOINTS NOT DOVELED OR POOR CONDITION).

Table with 4 columns: PVE TYPE/SIZE & SHAPE, MINIMUM COVER, CONCRETE, CORRUGATED STEEL, CORRUGATED ALUMINUM, CORRUGATED POLYETHYLENE, POLYVINYL CHLORIDE. Includes diagrams for FLEXIBLE PAVEMENT (JOINTS NOT DOVELED OR POOR CONDITION).

FIRE DEPARTMENT

- 1. THE STRUCTURES BEING CONSTRUCTED ON THE PROPERTY WILL BE CONSTRUCTED UNDER THE 10' EDITION OF FLORIDA FIRE PREVENTION CODE... 2. PER MARION COUNTY CRITERIA... 3. EACH NEW HYDRANT MUST BE ABLE TO SUPPLY 1000 GPM OF WATER AT 20 P.S.I. AT ANY TIME OF THE DAY...

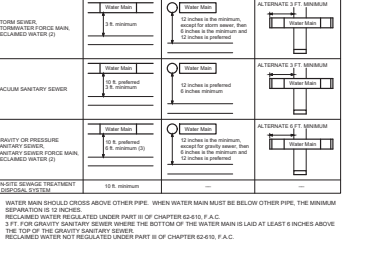
REUSE NOTES

- 1. ALL PERMITTEES SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES... 2. REUSE AND EFFLUENT REUSE PERMITS SHALL BE OBTAINED FROM MARION COUNTY... 3. REUSE AND EFFLUENT REUSE PERMITS SHALL BE OBTAINED FROM MARION COUNTY...

EROSION CONTROL NOTES

- 1. DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PREVENT EROSION... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES... 3. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION...

LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH A.C. RULE 62-555.314



THOMAS & ARNOLD ENGINEERS, INC. 1770 SE 16th Ave, Suite 100, Ocala, FL 34471. Office: (352) 387-4540 Fax: (352) 387-4545 CERTIFICATE OF AUTHORIZATION #27526

Marion County Approval Stamp

REVISIONS

DATE

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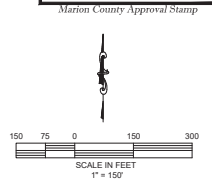
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GENERAL NOTES IMPROVEMENT PLANS HERITAGE OAKS MARION COUNTY, FLORIDA DATE: 5/11/2024 DRAWN BY: AS CHKD BY: TB JOB NO: 22-3128





PROJECT AREA= 39.95 ± AC.  
 PARCEL ID #48347-000-00



Marion County Approval Stamp

**William & Associates**  
 ENGINEERING, LLC  
 CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL  
 1725 SE 16th Ave, Bldg 100, Ocala, FL 34471  
 Office: (352) 367-4540 Fax: (352) 367-4545  
 CERTIFICATE OF AUTHORIZATION #20795

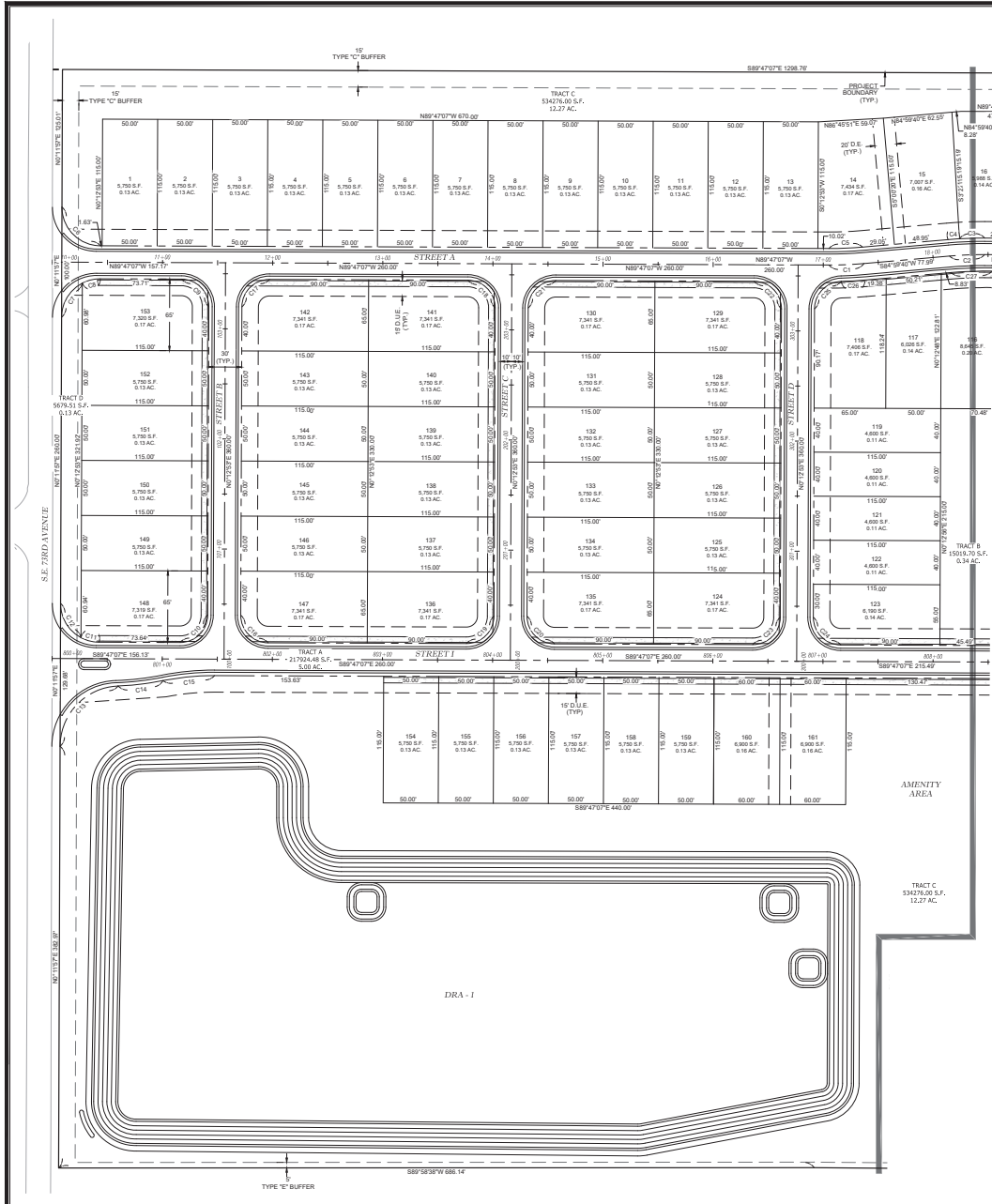
DATE	REVISIONS

IMPROVEMENT PLANS  
 HERITAGE OAKS  
 MARION COUNTY, FLORIDA

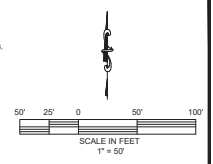
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 DRAWN BY: JS  
 CHECKED BY: TR  
 JOB NO: 22-5128

AERIAL PHOTOGRAPH

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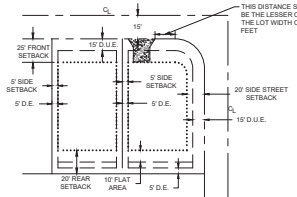


- NOTES:**
1. ALL RIGHT-OF-WAY RADI AT INTERSECTIONS TO BE 25'
  2. PRIVATE ROAD STARTS WITH 30' RIGHT-OF-WAY WIDTH TOGETHER WITH 15.00' UTILITY EASEMENT.
  3. TRACTS A, B, C & D ARE RESERVED FOR LANDSCAPING, RECREATION, GRASS & UTILITIES, MAINTENANCE, INGRESS, EGRESS AND/OR SERVICE AND OTHER PURPOSES THAT ARE LEGALLY PERMITTED.
  4. STREET RIGHT-OF-WAYS, DELINEATED AS TRACT (A) ARE COMMON AREAS.
  5. ALL LOTS IN THIS SUBDIVISION WILL BE SERVED BY CENTRAL WATER AND SEWER.
  6. ALL LOTS/TRACTS IN THIS SUBDIVISION SHALL USE THE INTERNAL SUBDIVISION ROADWAYS FOR DRIVEWAY/VEHICLE ACCESS.
  7. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS OF THE MARION COUNTY LAND DEVELOPMENT CODE.
  8. HOME OWNERS ASSOCIATION IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF BOTH NEW AND EXISTING WATER AND SEWER LINES.
  9. WATER SEWER UTILITIES PROVIDED BY MARION COUNTY UTILITIES DEPARTMENT.
  10. D.A.B IS RESPONSIBLE FOR THE STORM WATER MAINTENANCE.
  11. ACCESSORY STRUCTURES (SCREEN ENCLOSURES, ETC.) SHALL CONFORM TO THE BUILDING SETBACKS AS DETAILED.
  12. ADDITIONAL PERMITS WILL BE REQUIRED FOR MOBILE HOME(S).



**Summary**

FUTURE LAND USE	MEDIUM DENSITY RESIDENTIAL SINGLE-FAMILY
TOTAL SINGLE-FAMILY LOTS	161 LOTS
TOTAL PROJECT AREA	39.95 ACRES
TOTAL RESIDENTIAL AREA	22.22 ACRES
RESIDENTIAL R.W.	5.00 ACRES (TRACT A)
TOTAL TRACTS	4 TRACTS
CROSS DENSITY	4.03 UNITS / ACRE
ROAD LENGTH	1.34 MILES
WATER SUPPLY	CENTRAL
SEWAGE DISPOSAL SYSTEM	CENTRAL

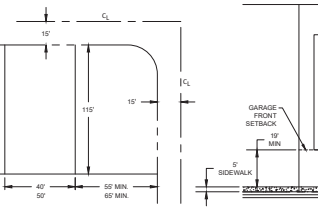


**TYPICAL LOT DETAILS**  
 D.U.E. = DRAINAGE, UTILITY, & ACCESS EASEMENT  
 D.E. = DRAINAGE EASEMENT  
 C.L. = CENTERLINE OF RIGHT OF WAY

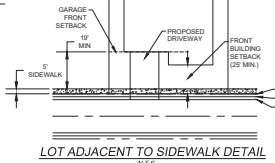
**BUFFERS:**

**TYPE 'E' BUFFER:** BUFFER SHALL CONSIST OF A 5-FOOT WIDE LANDSCAPE STRIP WITHOUT A BUFFER WALL. THE BUFFER SHALL CONTAIN AT LEAST FOUR SHADE TREES FOR EVERY 100 LINEAL FEET OR FRACTIONAL PART THEREOF. SHRUBS SHALL BE PLANTED AT A DOUBLE-STAGGERED ROW AND BE CAPABLE OF REACHING A MAINTAINED HEIGHT OF SIX FEET WITHIN THREE YEARS. GROUND COVERS AND/OR TURFGRASS SHALL NOT BE USED IN THIS BUFFER.

**TYPE 'C' BUFFER:** C-TYPE BUFFER SHALL CONSIST OF A 15-FOOT WIDE LANDSCAPE STRIP WITHOUT A BUFFER WALL. THE BUFFER SHALL CONTAIN AT LEAST TWO SHADE TREES AND THREE ACCENTUATORIAL TREES FOR EVERY 100 LINEAL FEET OR FRACTIONAL PART THEREOF. SHRUBS AND GROUNDCOVERS, EXCLUDING TURFGRASS, SHALL COMPREHEND AT LEAST 50 PERCENT OF THE REQUIRED BUFFER AND FORM A LAZYBEE LANDSCAPE SCREEN WITH A MINIMUM HEIGHT OF THREE FEET ACHIEVED WITHIN ONE YEAR.



**TYPICAL LOT DIMENSIONS**  
 N.T.S.



**LOT ADJACENT TO SIDEWALK DETAIL**  
 N.T.S.

**C/L CURVE DATA**

SEGMENT	DELTA	RADIUS	LENGTH	CHORD	CHORD BEARING
C1	5°13'12"	350.00	31.89	31.89	S87°36'16"W
C2	5°13'12"	350.00	31.89	31.89	S87°36'16"W

**CURVE DATA**

SEGMENT	DELTA	RADIUS	LENGTH	CHORD	CHORD BEARING
C3	3°35'49"	365.00	22.91	22.91	S88°24'58"W
C4	1°37'24"	365.00	10.34	10.34	S88°48'22"W
C5	2°19'17"	355.00	30.52	30.51	S87°30'18"W
C6	30°59'00"	35.00	54.07	49.49	N44°47'37"W
C7	30°16'00"	35.00	38.04	36.20	N31°20'16"E
C8	27°44'23"	35.00	16.60	16.78	N79°20'42"E
C9	90°00'00"	25.00	39.27	35.36	S44°47'07"E
C10	90°00'00"	25.00	39.27	35.36	S45°12'53"W
C11	27°52'12"	35.00	17.02	16.86	N79°51'01"W
C12	62°04'52"	35.00	37.94	36.11	N30°51'29"W
C13	87°25'00"	55.00	83.91	76.01	S43°54'27"W
C14	1°30'48"	365.00	41.07	41.05	S89°10'36"W
C15	11°28'42"	235.00	47.06	47.00	S48°35'27"W
C16	90°00'00"	25.00	39.27	35.36	N44°47'07"W
C17	90°00'00"	25.00	39.27	35.36	N45°12'53"E
C18	90°00'00"	25.00	39.27	35.36	S44°47'07"E
C19	90°00'00"	25.00	39.27	35.36	S45°12'53"W
C20	90°00'00"	25.00	39.27	35.36	N44°47'07"W
C21	90°00'00"	25.00	39.27	35.36	N45°12'53"E
C22	90°00'00"	25.00	39.27	35.36	S44°47'07"E
C23	90°00'00"	25.00	39.27	35.36	S45°12'53"W
C24	90°00'00"	25.00	39.27	35.36	N44°47'07"W
C25	88°09'42"	25.00	38.47	34.78	N44°17'44"E
C26	3°22'50"	365.00	21.54	21.54	N88°41'07"E
C27	8°22'00"	335.00	37.23	37.22	N88°10'43"E

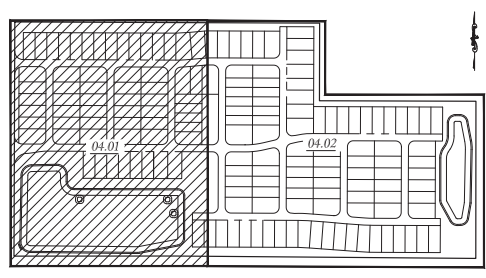
**MINIMUM MINIMUM SCREENING**

TYPE	WIDTH	AREA	FRONT	REAR	SIDE	HEIGHT
SFR	42'	4,800 SF	20'	20'	5'	6'
ACCESSORY STRUCTURE	20'		20'	20'	5'	6'

ACCESSORY STRUCTURE = E.G. POOL, POOL SCREEN ENCLOSURE, ADDON SCREEN ENCLOSURE, OR STORAGE SHED, ETC.  
 N/A = NOT APPLICABLE X = MISSING OR NOT PROVIDED

**PROVIDED OPEN SPACE CALCULATIONS**

TRACT	TOTAL TRACT AREA (ACRES)	TOP OF BANK AREA (ACRES)	TRACT OPEN SPACE (TOTAL TRACT MINUS DRA) (ACRES)	ALLOWED OPEN SPACE (20% OF DRA) (ACRES)	TOTAL OPEN SPACE (ACRES)
A	0.34	N/A	0.34	N/A	0.34
B	0.34	N/A	0.34	N/A	0.34
C	0.34	N/A	0.34	N/A	0.34
D	0.34	N/A	0.34	N/A	0.34
TOTAL	1.36	N/A	1.36	N/A	1.36



**KEY MAP**  
 1" = 250' SCALE

**William & Associates**  
 ENGINEERS, L.L.C.  
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 CERTIFICATE OF AUTHORIZATION # 26796

Marion County Approval Stamp

REVISIONS

NO.	DATE	DESCRIPTION

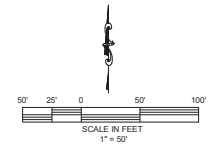
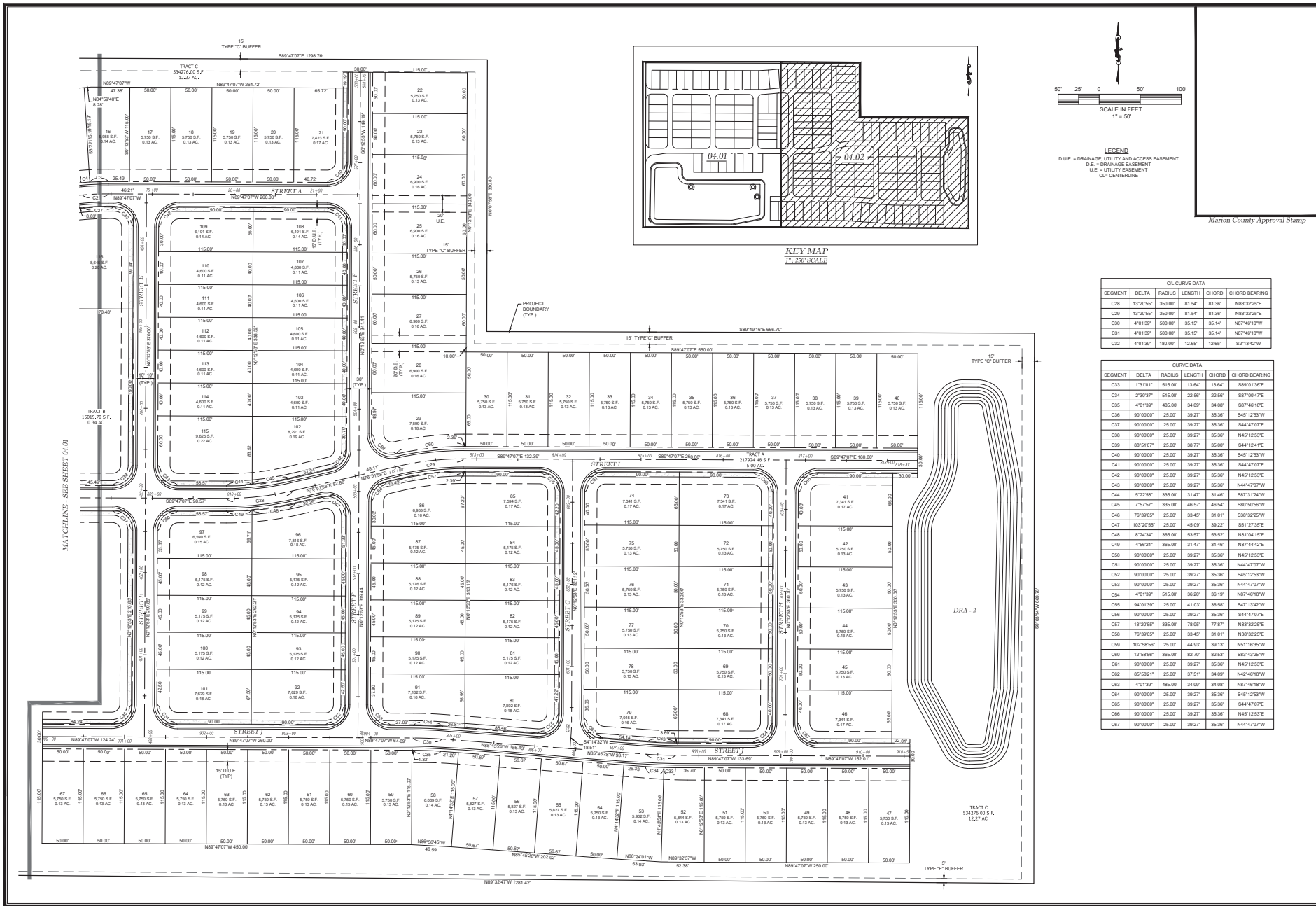
DATE: 5/14/2024  
 DRAWN BY: JIS  
 CHECKED BY: TR  
 JOB NO.: 22-5128

IMPROVEMENT PLANS  
 HERITAGE OAKS  
 MARION COUNTY, FLORIDA

**GEOMETRY PLAN**

SHT. 04.01





**LEGEND**  
 D.U.E. = DRAINAGE, UTILITY AND ACCESS EASEMENT  
 D.E. = DRAINAGE EASEMENT  
 U.E. = UTILITY EASEMENT  
 C/L = CENTERLINE

GL CURVE DATA

SEGMENT	DELTA	RADIUS	LENGTH	CHORD	CHORD BEARING
C28	13°02'55"	250.00'	81.54'	81.38'	N83°32'25"
C29	13°30'25"	350.00'	81.54'	81.38'	N83°32'25"
C30	4°18'28"	500.00'	35.15'	35.14'	N87°48'18"W
C31	4°18'28"	500.00'	35.15'	35.14'	N87°48'18"W
C32	4°18'28"	180.00'	12.65'	12.65'	S2°13'42"W

CURVE DATA

SEGMENT	DELTA	RADIUS	LENGTH	CHORD	CHORD BEARING
C33	1°31'11"	515.00'	13.64'	13.64'	S89°01'38"E
C34	2°30'27"	515.00'	22.55'	22.55'	S87°00'47"E
C35	4°07'19"	485.00'	34.08'	34.08'	S87°00'19"W
C36	9°00'00"	25.00'	39.27'	35.38'	S45°12'57"E
C37	9°00'00"	25.00'	39.27'	35.38'	S44°47'07"E
C38	9°00'00"	25.00'	39.27'	35.38'	N45°12'53"E
C39	88°51'15"	25.00'	38.77'	35.00'	S44°12'44"E
C40	9°00'00"	25.00'	39.27'	35.38'	S45°12'53"W
C41	9°00'00"	25.00'	39.27'	35.38'	S44°47'07"E
C42	9°00'00"	25.00'	39.27'	35.38'	N45°12'53"E
C43	9°00'00"	25.00'	39.27'	35.38'	N44°47'07"E
C44	3°22'28"	335.00'	31.47'	31.48'	S87°37'24"W
C45	7°57'27"	335.00'	48.57'	48.54'	S86°59'59"W
C46	78°39'05"	25.00'	33.40'	31.01'	S38°32'20"W
C47	103°20'54"	25.00'	45.69'	39.22'	S61°27'30"E
C48	8°24'34"	365.00'	63.57'	63.62'	N81°54'19"E
C49	4°56'21"	365.00'	31.47'	31.48'	N87°44'42"E
C50	9°00'00"	25.00'	39.27'	35.38'	N45°12'53"E
C51	9°00'00"	25.00'	39.27'	35.38'	N44°47'07"E
C52	9°00'00"	25.00'	39.27'	35.38'	S45°12'53"W
C53	9°00'00"	25.00'	39.27'	35.38'	N44°47'07"E
C54	4°07'19"	515.00'	36.25'	36.12'	N87°48'18"W
C55	94°19'58"	25.00'	41.03'	36.58'	S47°14'42"W
C56	9°00'00"	25.00'	39.27'	35.38'	S44°47'07"E
C57	13°20'55"	335.00'	78.69'	77.87'	N83°32'25"E
C58	78°39'05"	25.00'	33.40'	31.01'	N83°32'25"E
C59	102°58'58"	25.00'	44.93'	39.13'	N51°18'39"W
C60	12°58'58"	365.00'	82.70'	82.53'	S83°42'25"W
C61	9°00'00"	25.00'	39.27'	35.38'	N45°12'53"E
C62	88°58'21"	25.00'	37.51'	34.09'	N42°28'19"W
C63	4°07'19"	485.00'	34.08'	34.08'	N87°48'18"W
C64	9°00'00"	25.00'	39.27'	35.38'	S45°12'53"W
C65	9°00'00"	25.00'	39.27'	35.38'	S44°47'07"E
C66	9°00'00"	25.00'	39.27'	35.38'	N45°12'53"E
C67	9°00'00"	25.00'	39.27'	35.38'	N44°47'07"E

**Marion County Approval Stamp**

**William & Associates**  
 ENGINEERS, LLC  
 CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL  
 1720 SE 16th Ave, Bldg 100, Ocala, FL 34471  
 Office: (352) 367-4540 Fax: (352) 367-4545  
 CERTIFICATE OF AUTHORIZATION # 20796

REVISIONS	DATE	BY

**IMPROVEMENT PLANS**  
 HERITAGE OAKS  
 MARION COUNTY, FLORIDA

DATE: 5/14/2024  
 DRAWN BY: JS  
 CHECKED BY: TP  
 JOB NO.: 22-5128

GEOMETRY PLAN

SHT. 04.02

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

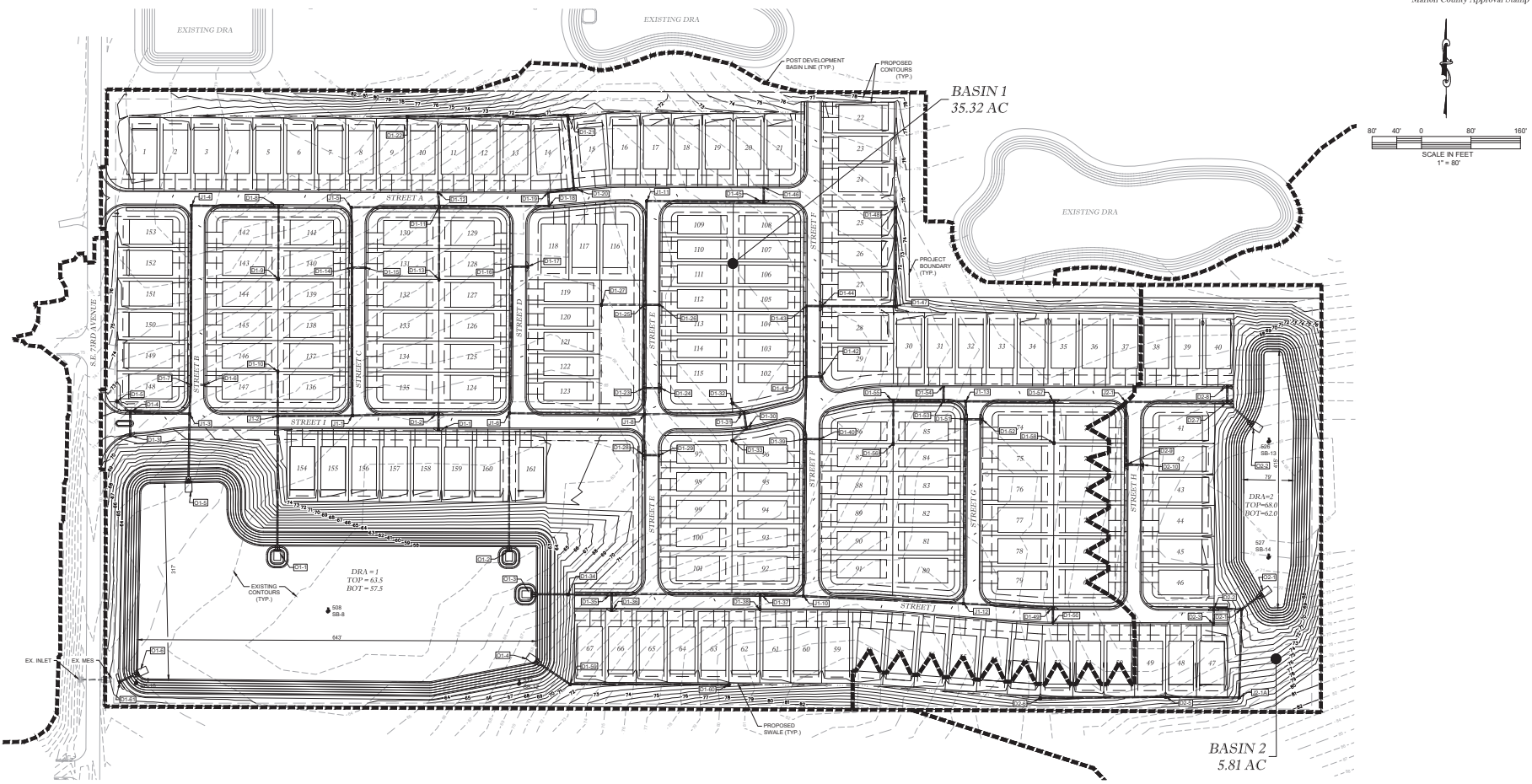
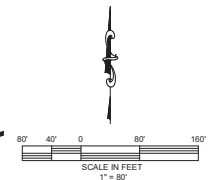
GRADING LEGEND

- 80 — EXISTING CONTOURS
- 81 — PROPOSED CONTOURS
- PROPOSED STORM PIPE
- PROPOSED FLOW DIRECTION
- PROPOSED SWALE BOTTOM
- PROPOSED STRUCTURE ID
- DROP CURB INLET

NOTES:  
 1. PLEASE REFER TO POST DEVELOPMENT BASIN MAP IN STORMWATER REPORT FOR EXTENTS OF POST BASINS.

**Tillman & Associates**  
 ENGINEERS, LLC  
 CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL  
 1770 SE 16th Ave, Box 100, Ocala, FL 34471  
 Office: (352) 387-4540 Fax: (352) 387-4545  
 CERTIFICATE OF AUTHORIZATION #87756

Marion County Approval Stamp



REVISIONS	DATE

IMPROVEMENT PLANS  
 HERITAGE OAKS  
 MARION COUNTY, FLORIDA  
**MASTER DRAINAGE PLAN**

DATE: 5/14/2024  
 DRAWN BY: AS  
 CHKD. BY: TB  
 JOB NO.: 22-5128

SHT 05.01



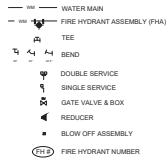
**NOTES:**

1. A METERED JUMPER CONNECTION WITH AN RP BACKFLOW PREVENTION ASSEMBLY IS REQUIRED BETWEEN THE EXISTING WATER MAIN AND NEWLY INSTALLED WATER MAIN UNITS. ALL CLEARANCES HAVE BEEN APPROVED AND ACCEPTED BY THE DISTRICT. THE VALVE (OR VALVES) BETWEEN EXISTING AND PROPOSED SHALL REMAIN OFF UNTIL AUTHORIZED PERSONNEL OF MARION COUNTY DEEM APPROPRIATE TO PLACE INTO SERVICE. WATER UTILIZED DURING CONSTRUCTION SHALL BE BILLED TO THE OWNER/APPLICANT LISTED ON THE IMPROVEMENT PLANS. PLEASE ACKNOWLEDGE.
2. ALL FIRE HYDRANTS TO BE INSTALLED, TESTED, AND PAINTED ACCORDING TO FLOW RATES AND NFPA 291 BY A THIRD PARTY. A THIRD PARTY CONTRACTOR WILL PROVIDE THE MARION COUNTY FIRE PREVENTION OFFICE WITH A COPY OF THE HYDRANT FLOW DATA.
3. ALL FIRE HYDRANTS TO BE PAINTED ACCORDING TO FLOW RATES AND NFPA 291 STANDARDS.
4. REFER TO DETAIL UT109 FOR UTILITIES OUTSIDE OF ROADWAY.
5. MINIMUM 6" SEPARATION BETWEEN WATER MAIN AND SIGNS TO ALLOW FOR REPAIR AND MAINTENANCE OF UTILITIES.
6. ALL PROPOSED SERVICES FOR IRRIGATION WILL REQUIRE A 17X30 DFW METER BOX INSTALLED TO GRADE WITH THE SERVICE BURIED AT METER INSTALLATION DEPTH.

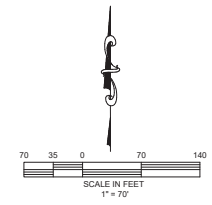
CONTRACTOR TO FIELD VERIFY ALL UTILITY LOCATIONS AND DEPTHS

ALL PROPOSED POTABLE WATER AND SANITARY SEWER INFRASTRUCTURE SHALL COMPLY WITH THE LATEST MARION COUNTY SPECIFICATIONS.

**WATER LEGEND:**



**SANITARY SEWER LEG END:**



Marion County Approval Stamp

**William & Associates**  
**ENGINEERING, LLC**  
 CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL  
 1720 SE 16th Ave, Bldg 100, Ocala, FL 34471  
 Office: (352) 367-4540 Fax: (352) 367-4645  
 CERTIFICATE OF AUTHORIZATION #29296

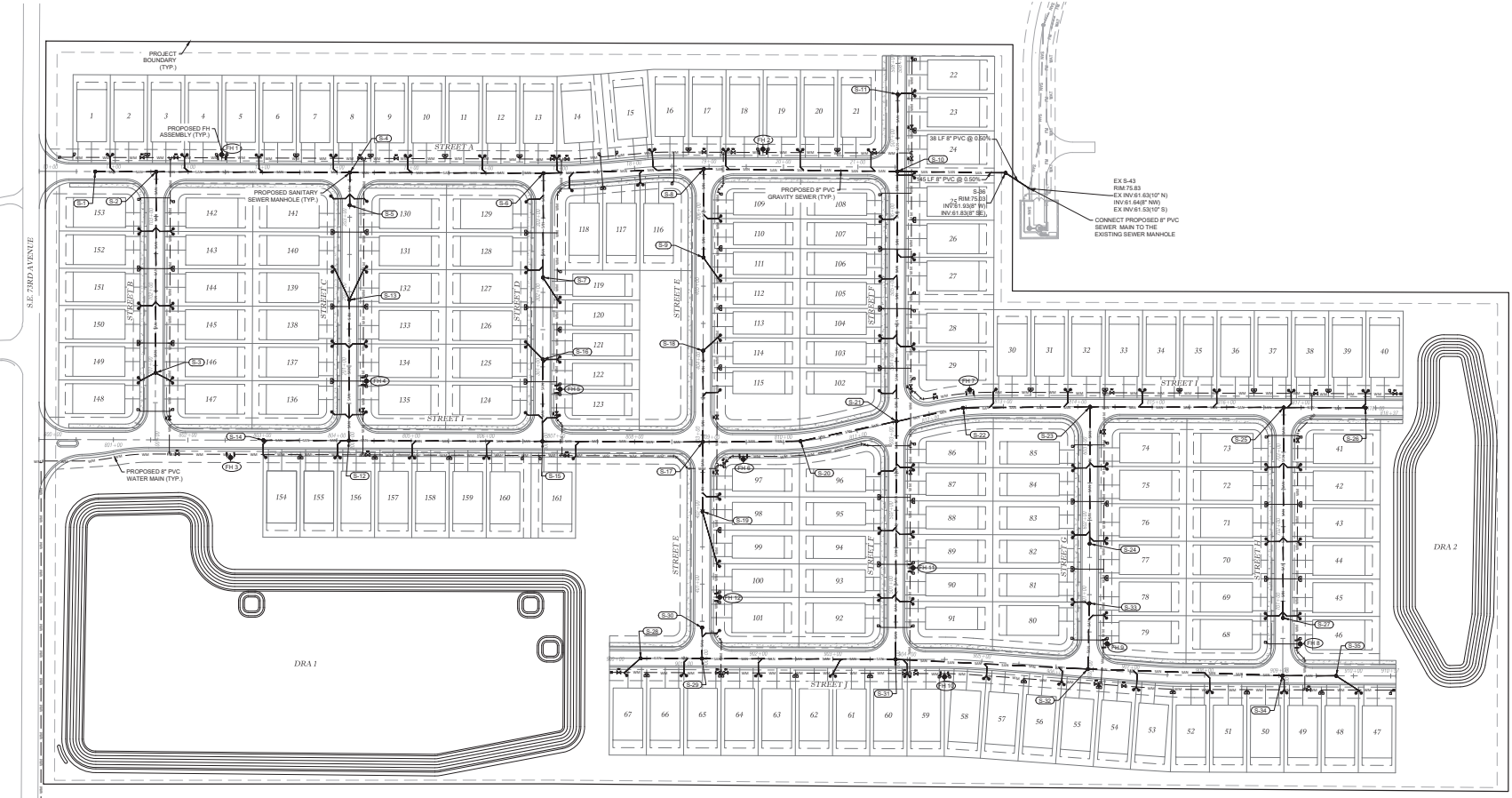
NO.	REVISIONS	DATE

IMPROVEMENT PLANS  
 HERITAGE OAKS  
 MARION COUNTY, FLORIDA

DATE: 5/14/2024  
 DRAWN BY: JS  
 CHECKED BY: TR  
 JOB NO.: 22-5128

MASTER UTILITY PLAN

sh. 06.01



SEE OFFSITE UTILITY PLAN SHEET (06.02)

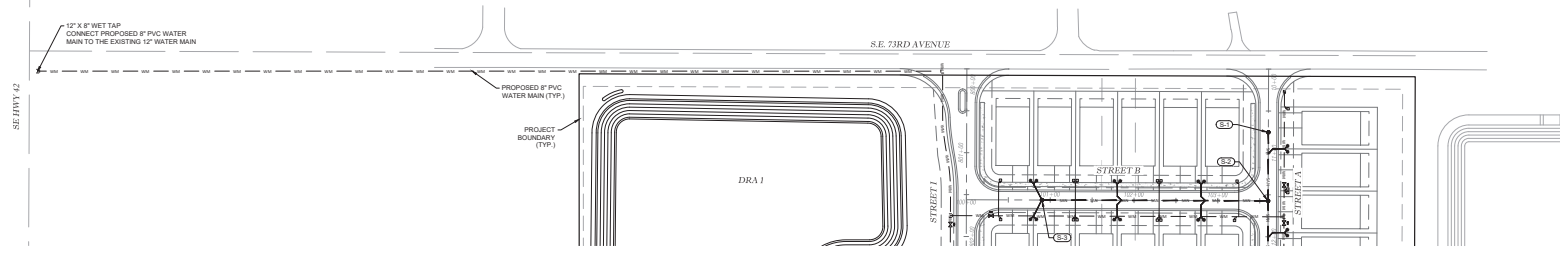
NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

WATER LEGEND:

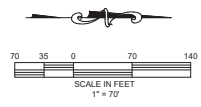
- WATER MAIN
- FIRE HYDRANT ASSEMBLY (FHA)
- TEE
- SEND
- DOUBLE SERVICE
- SINGLE SERVICE
- GATE VALVE & BOX
- REDUCER
- BLOW OFF ASSEMBLY
- FIRE HYDRANT NUMBER

SANITARY SEWER LEG END:

- SANITARY SEWER
- MANHOLE
- SANITARY MANHOLE NUMBER
- DOUBLE SERVICE
- SINGLE SERVICE



SEE MASTER UTILITY  
PLAN SHEET 06.01



Marion County Approval Stamp

**Miller & Associates**  
ENGINEERS, LLC  
Civil Engineering - Planning - Architecture - Environmental  
1720 SE 16th Ave, Bldg 100, Ocala, FL 34471  
Office: (352) 367-4540 Fax: (352) 367-4645  
CERTIFICATE OF AUTHORIZATION #07956

REVISIONS

NO.	DATE	DESCRIPTION

OFFSITE UTILITY PLAN

IMPROVEMENT PLANS  
HERITAGE OAKS  
MARION COUNTY, FLORIDA

DATE: 5/14/2024  
DRAWN BY: AS  
CHECKED BY: TR  
JOB NO. 22-5128

SHW 06.02

**NOTE**  
 1. ALL STREET NAME SIGNAGE PER 911 MANAGEMENT PLAN (STREET RN.01)

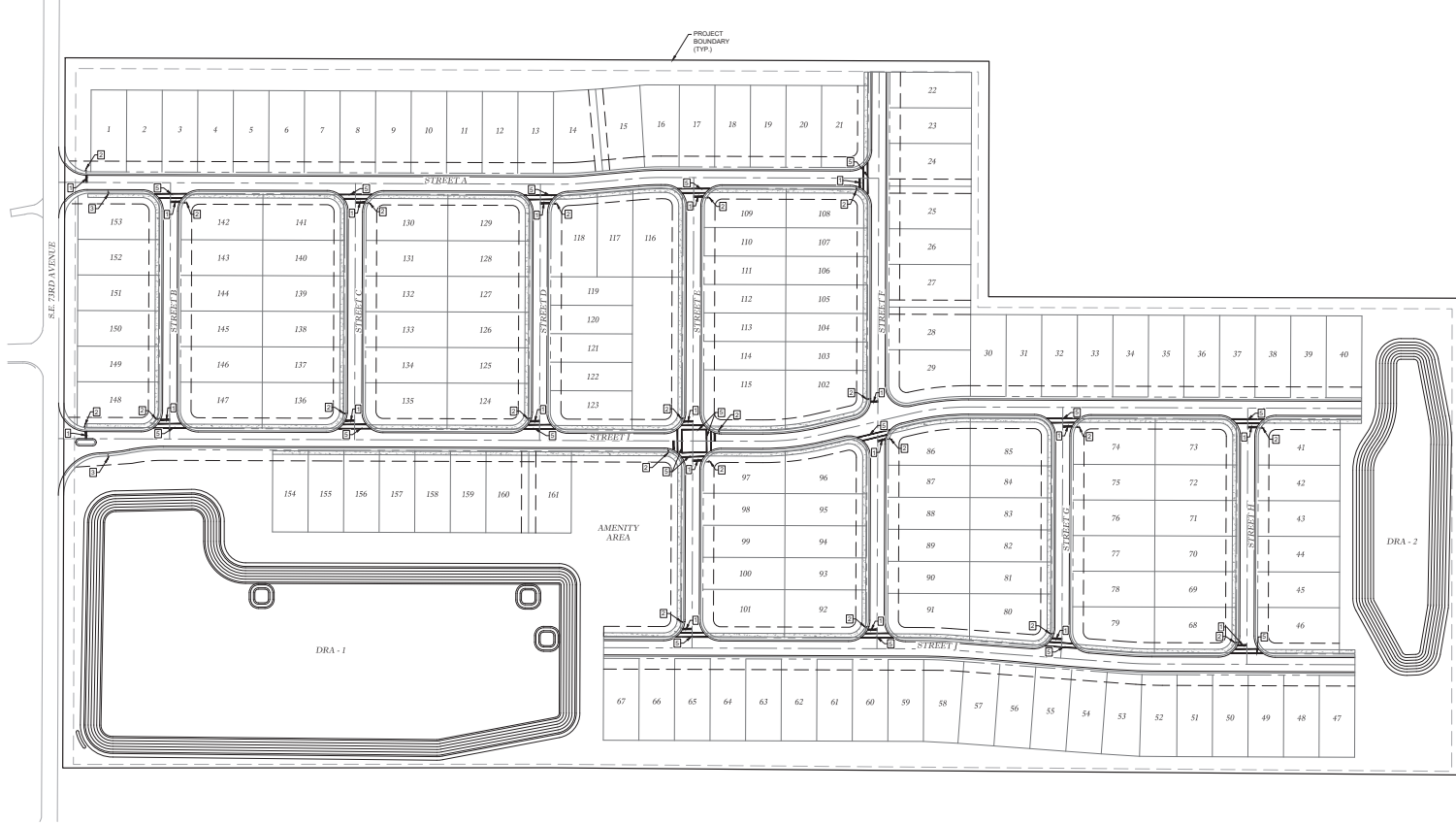
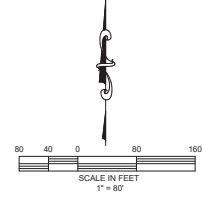
CIL RADIUS	DESIGN	POSTED
10'-197'	20	20
50'-106'	15	15
19'-49'	10	15

**LEGEND:**

- 1 24" WHITE STOP BAR
- 2 "STOP" SIGN (R-1-1) w/COMBINED STREET SIGNS
- 3 "SPEED LIMIT 25MPH" SIGN (R2-1)
- 4 SOLID WHITE DIRECTIONAL ARROWS
- 5 12" WHITE SOLID CROSSWALK (6'-LONG)
- 6 6" SOLID YELLOW LINE
- 7 6" SOLID DASHED WHITE LINE
- 8 CURVE WARNING SIGNS (W1-1L OR W1-1R)
- 9 ADVISORY SPEED PLAQUE 15MPH (W13-1P)

**Tillman & Associates**  
 ENGINEERS, LLC  
 CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL  
 1770 SE 16th Ave, Box 100, Ocala, FL 34471  
 Office: (352) 387-4540 Fax: (352) 387-4545  
 CERTIFICATE OF AUTHORIZATION 3875756

Marion County Approval Stamp



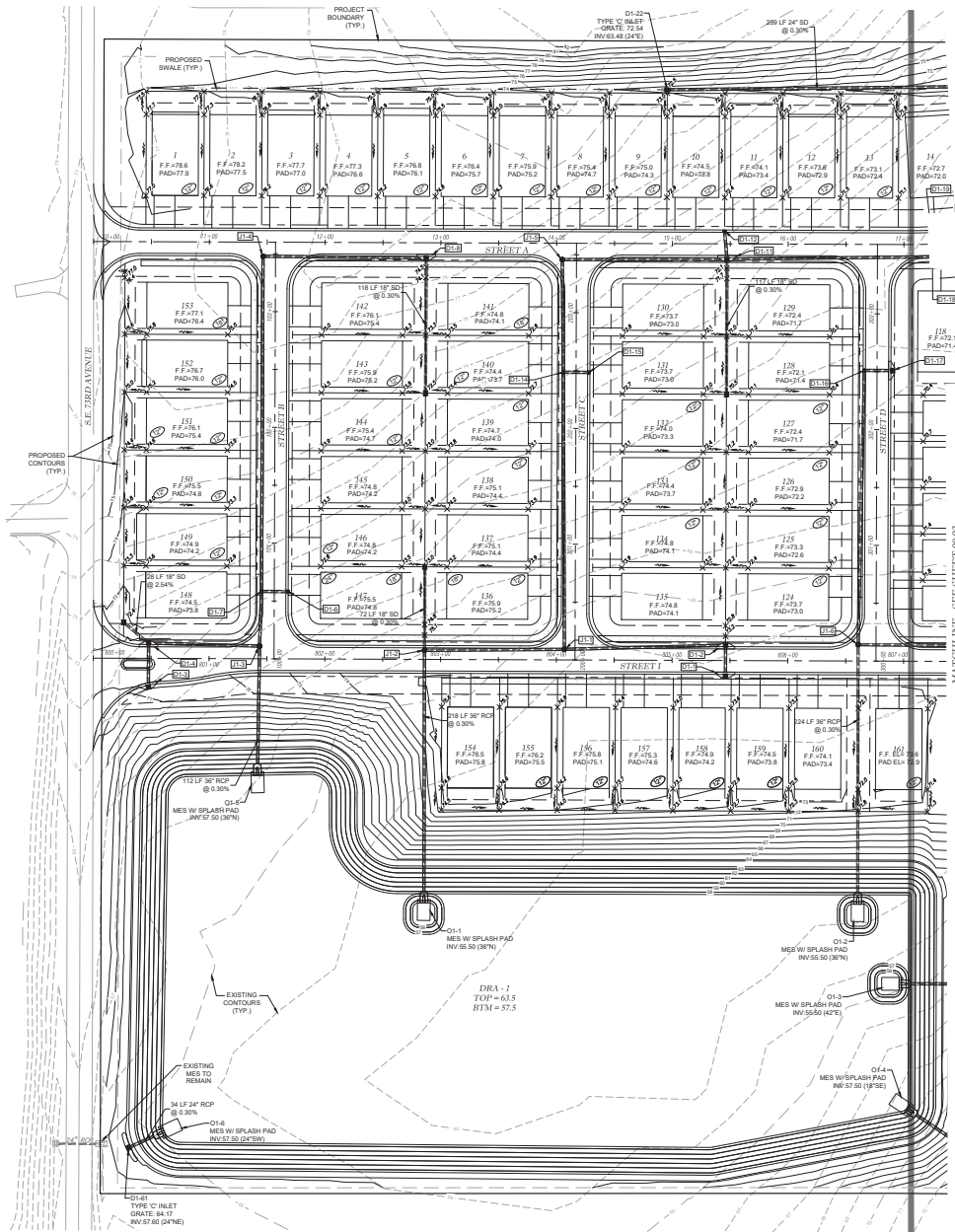
REVISIONS

DATE

IMPROVEMENT PLANS  
 HERITAGE OAKS  
 MARION COUNTY, FLORIDA

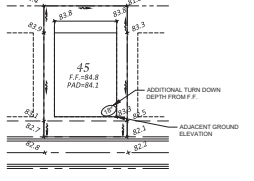
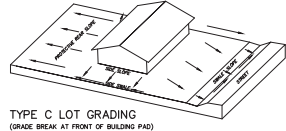
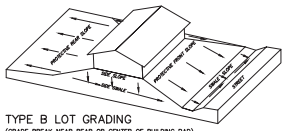
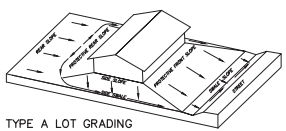
**SIGNAGE & STRIPING PLAN**

DATE: 5/14/2024  
 DRAWN BY: AS  
 CHKD. BY: TB  
 JOB NO.: 22-5128



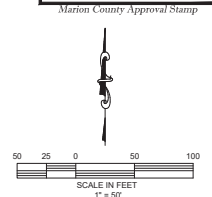
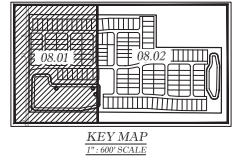
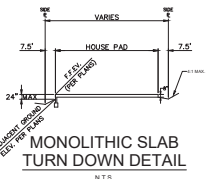
- GENERAL:**
- 1% MINIMUM GRADE ALONG LOT LINES UNLESS OTHERWISE DENOTED.
  - 25% MAXIMUM SLOPE ANYWHERE ON SITE, UNLESS OTHERWISE DENOTED.
  - 8" (0.7") DIFFERENCE FROM PAD TO FINISHED FLOOR.
  - MINIMUM 1% SLOPE FROM PAD TO ADJACENT LOT CORNER UNLESS OTHERWISE DENOTED.
  - IF FINAL PRODUCT FALLS OUTSIDE OF PRESCRIBED, ENGINEER MUST REVIEW AND ADDITIONAL STEM WALLS AND STEP DOWNS MAY BE REQUIRED.

- DRIVEWAYS:**
- RESTRICT DRIVEWAYS TO HIGH SIDE OF LOT IF STEEPER THAN 8% (BASED ON 25' DRIVEWAY).



NOTE: FINISHED LOT ELEVATION SHALL BE 4" BELOW PROPOSED FINISHED FLOOR ELEVATION.

- GRADING LEGEND**
- EXISTING CONTOURS
  - PROPOSED CONTOURS
  - PROPOSED STORM PIPE
  - PROPOSED FLOW DIRECTION
  - PROPOSED SWALE BOTTOM
  - PROPOSED STRUCTURE ID
  - DROP CURB INLET
  - VALLEY GUTTER INLET



**William & Associates**  
ENGINEERS, L.L.C.  
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL  
1720 SE 16th Ave, Bldg 100, Ocala, FL 34477  
Office: (352) 367-4540 Fax: (352) 367-4545  
CERTIFICATE OF AUTHORIZATION #052796

NO.	DATE	REVISIONS

IMPROVEMENT PLANS  
HERITAGE OAKS  
MARION COUNTY, FLORIDA

**LOT GRADING PLAN**

DATE: 5/14/2024  
DRAWN BY: AS  
CHECKED BY: TR  
JOB NO.: 22-5128

sh. 08.01











Marion County Approval Stamp



SCALE IN FEET  
1" = 50'

GRADING LEGEND

-  EXISTING CONTOURS
-  PROPOSED CONTOURS
-  PROPOSED STORM PIPE
-  PROPOSED FLOW DIRECTION
-  PROPOSED SWALE BOTTOM
-  PROPOSED STRUCTURE ID
-  DROP CURB INLET
-  VALLEY GUTTER INLET

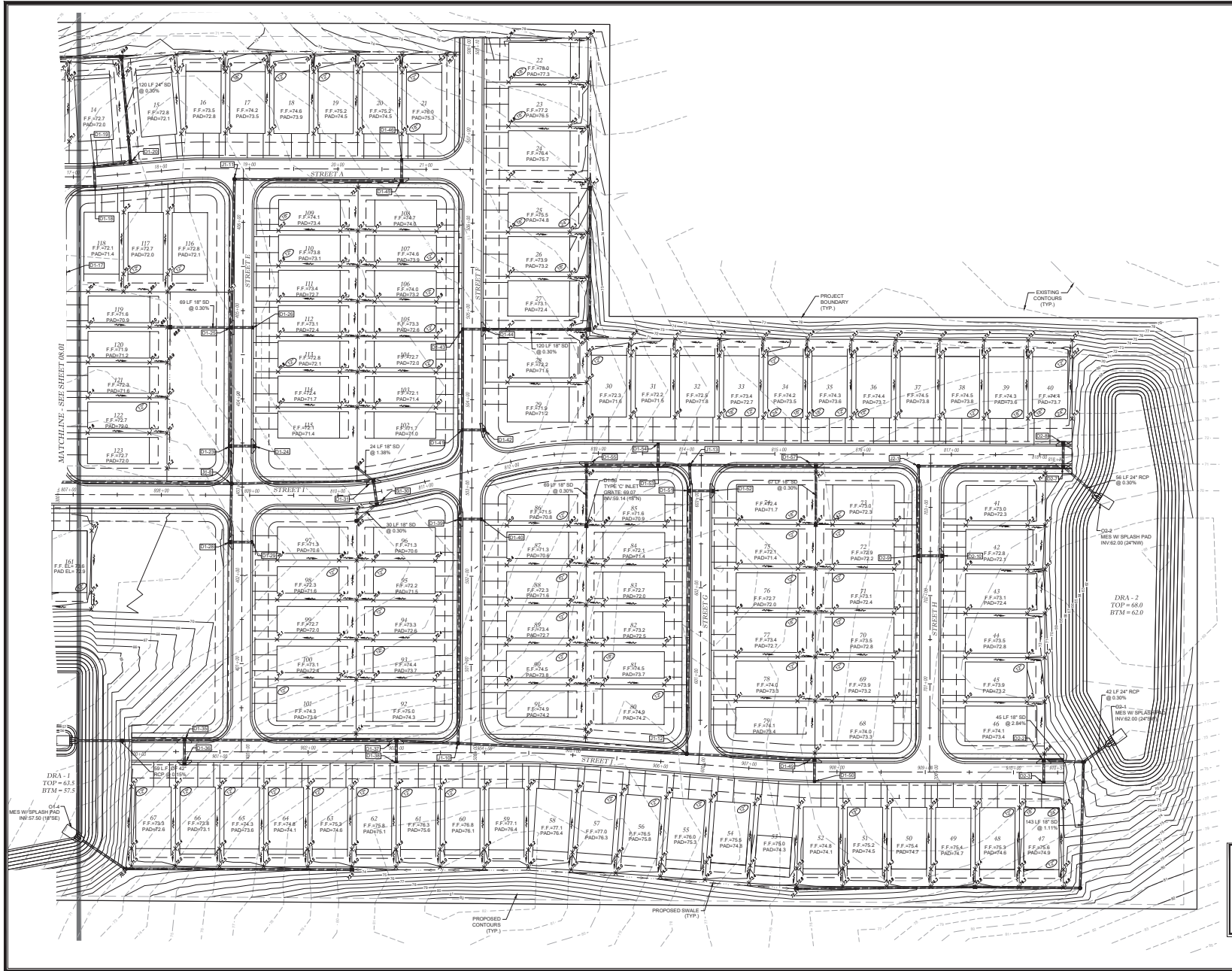
NO.	DATE	DESCRIPTION

IMPROVEMENT PLANS  
HERITAGE OAKS  
MARION COUNTY, FLORIDA

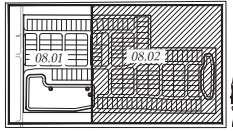
**LOT GRADING PLAN**

DATE: 5/14/2024  
DRAWN BY: AS  
CHECK BY: TR  
JOB NO. 22-5128

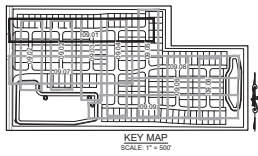
SHT. **08.02**



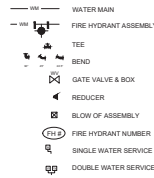
NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



KEY MAP  
1" = 600' SCALE



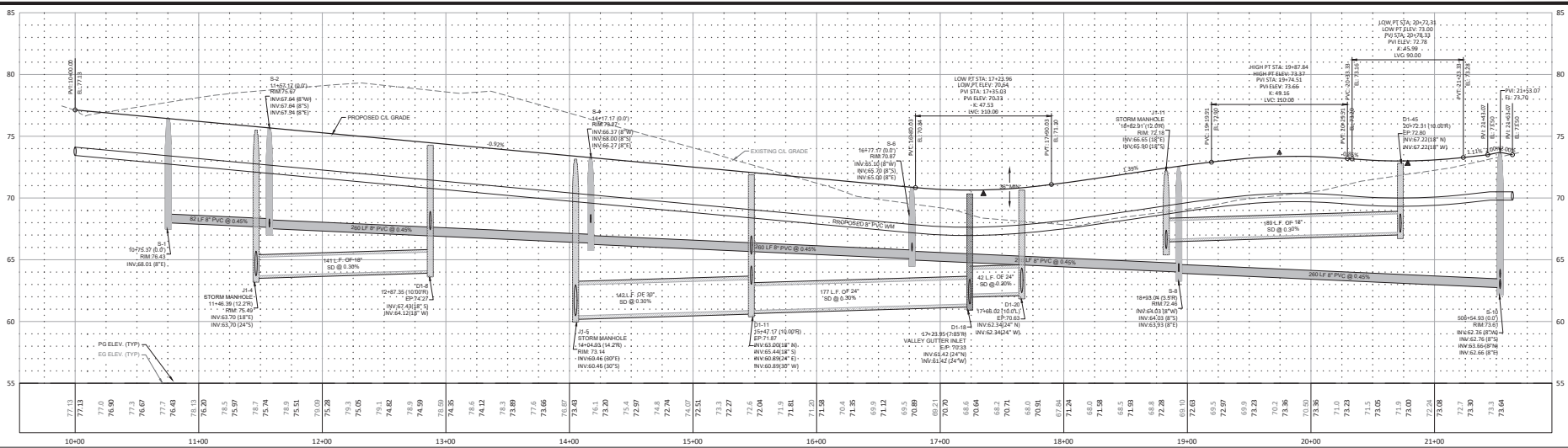
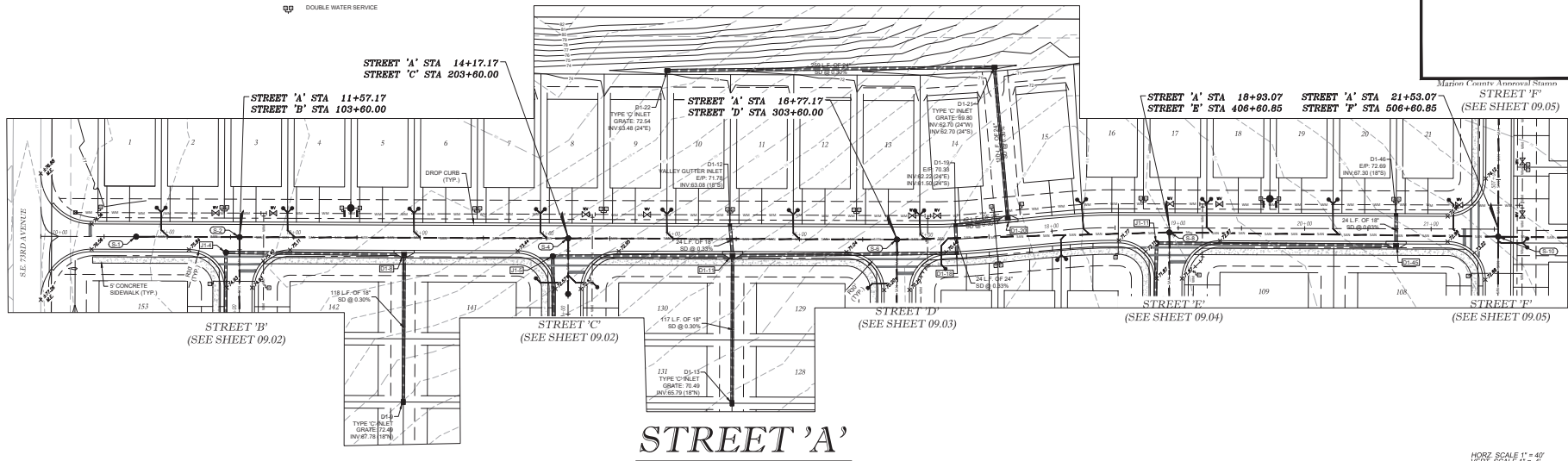
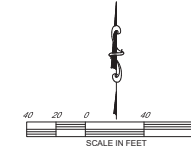
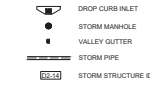
**WATER LEGEND:**



**SANITARY SEWER LEGEND:**



**STORM WATER LEGEND:**



**William & Associates, Inc.**  
ENGINEERS, ARCHITECTS, PLANNERS  
1720 SE 16th Ave, 8th Fl, Ocala, FL 34471  
Office: (352) 387-6540 Fax: (352) 387-4545  
CERTIFICATE OF AUTHORIZATION #2296

REVISIONS

NO.	DATE	DESCRIPTION

DATE

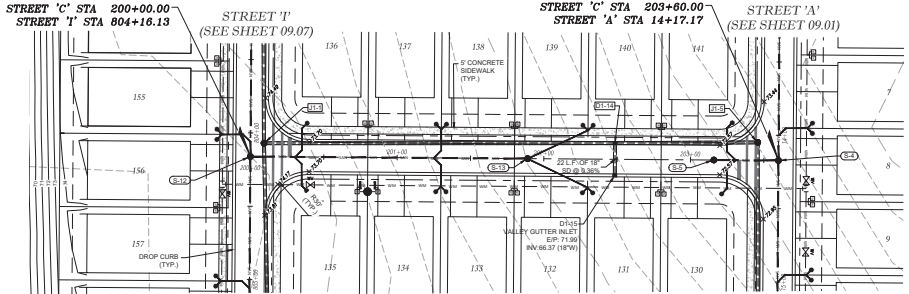
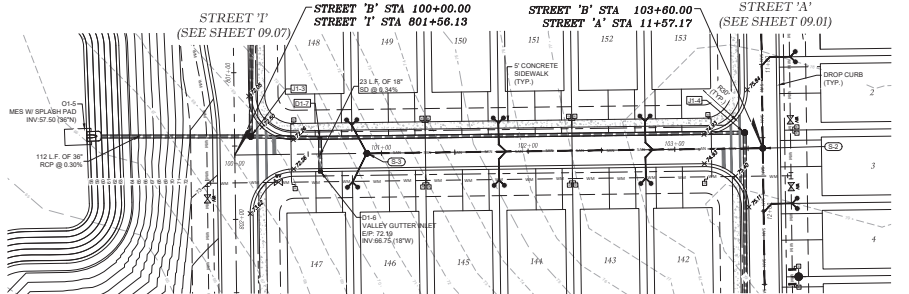
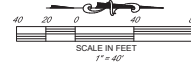
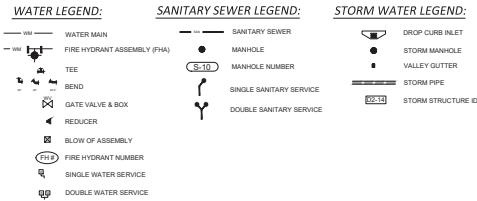
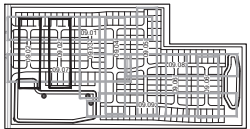
IMPROVEMENT PLANS  
HERITAGE OAKS  
MARION COUNTY, FLORIDA  
**PLAN & PROFILE**  
**STREET 'A'**

DATE: 5/14/2021  
DRAWN BY: KS  
CHKD. BY: TB  
JOB NO.: 22-8120

SHT. 09.01

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

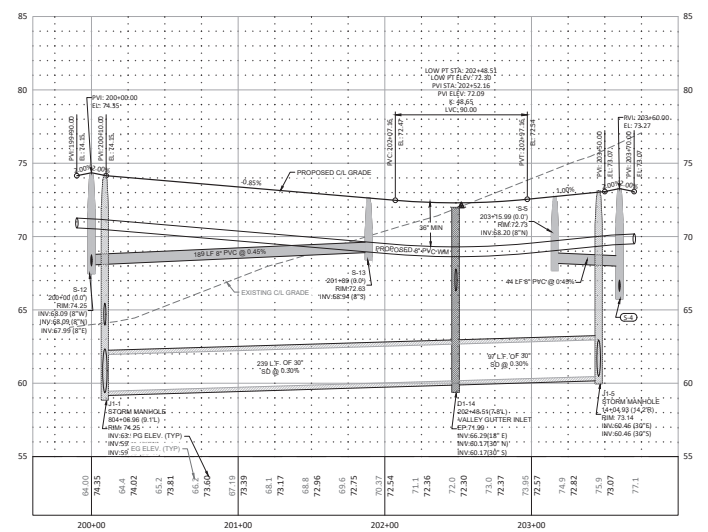
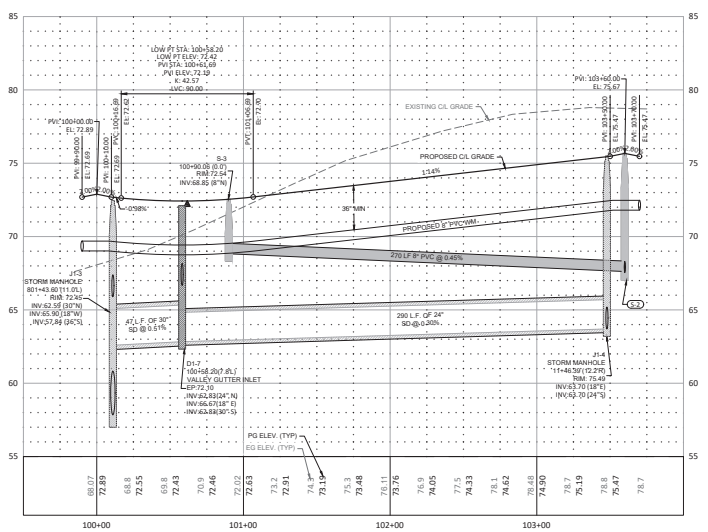




Marion County Approval Stamp

**STREET 'B'**

**STREET 'C'**



HORIZ. SCALE 1" = 40'  
VERT. SCALE 1" = 4'

**Tilman & Associates, LLC**  
ENGINEERS, ARCHITECTS, PLANNERS & ENVIRONMENTAL CONSULTANTS  
1720 SE 16th Ave, Bldg 100, Ocala, FL 34471  
Office: (352) 387-4540 Fax: (352) 387-4545  
CERTIFICATE OF AUTHORIZATION #2296

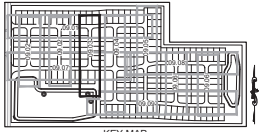
DATE	REVISIONS

IMPROVEMENT PLANS  
HERITAGE OAKS  
MARION COUNTY, FLORIDA  
**PLAN & PROFILE**  
**STREET 'B' & 'C'**

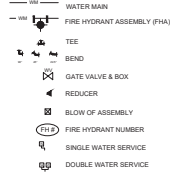
DATE: 5/14/2021  
DRAWN BY: AS  
CHKD BY: TB  
JOB NO. 22-2126

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

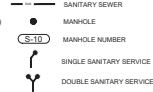
SHT. 09.02



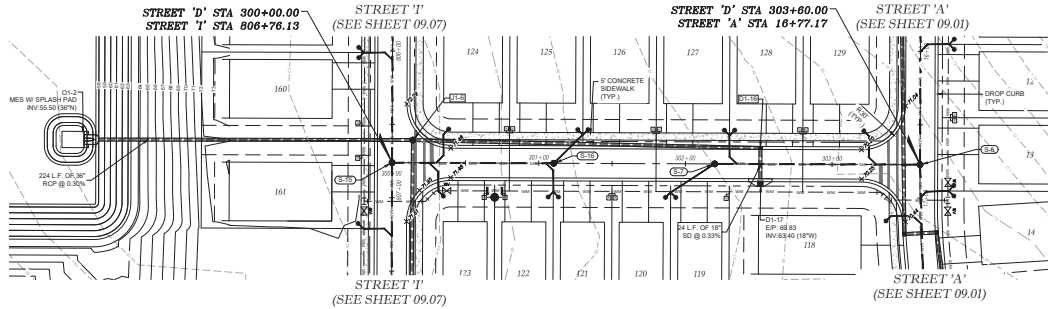
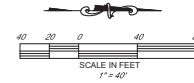
**WATER LEGEND:**



**SANITARY SEWER LEGEND:**



**STORM WATER LEGEND:**

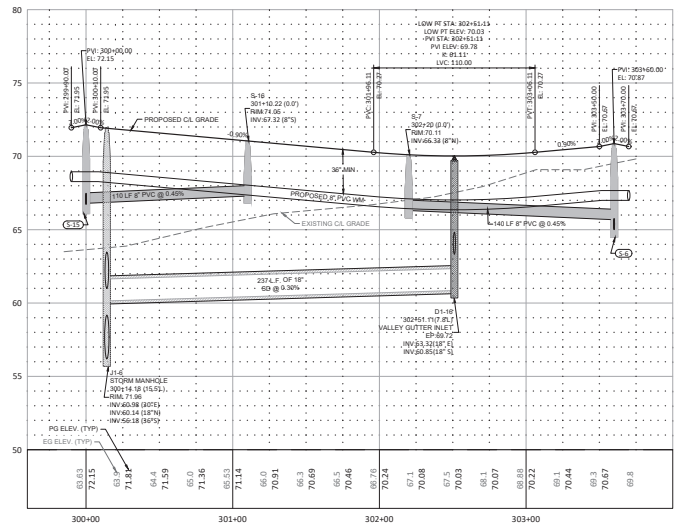


# STREET 'D'

Marion County Approval Stamp

REVISIONS  
DATE

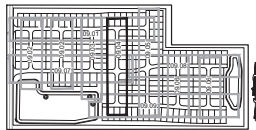
HORZ. SCALE 1" = 40'  
VERT. SCALE 1" = 4'



## IMPROVEMENT PLANS HERITAGE OAKS MARION COUNTY, FLORIDA PLAN & PROFILE STREET 'D'

DATE: 5/14/2021  
DRAWN BY: LS  
CHKD. BY: TB  
JOB NO.: 22-8126

SHT. 09.03



KEY MAP  
SCALE 1" = 500'

**WATER LEGEND:**

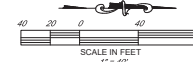
- WATER MAIN
- FIRE HYDRANT ASSEMBLY (FHA)
- TEE
- BEND
- GATE VALVE & BOX
- REDUCER
- BLOW OFF ASSEMBLY
- FIRE HYDRANT NUMBER
- SINGLE WATER SERVICE
- DOUBLE WATER SERVICE

**SANITARY SEWER LEGEND:**

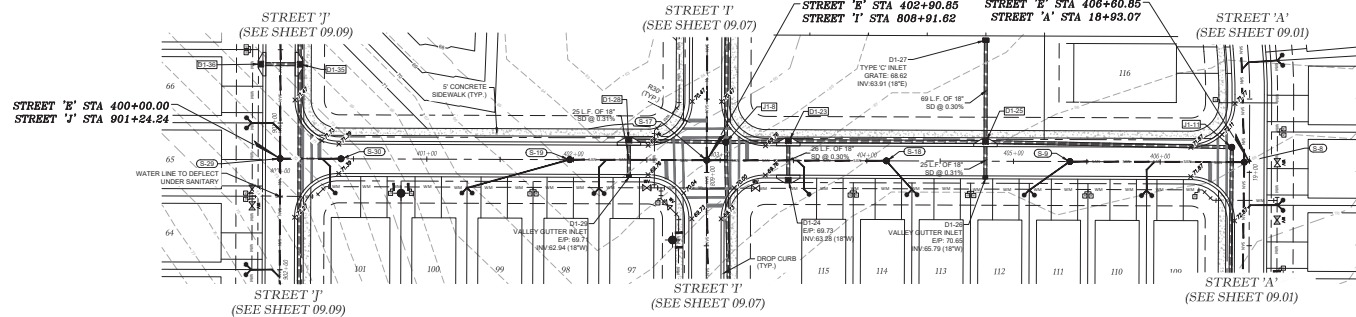
- SANITARY SEWER
- MANHOLE
- S-10 MANHOLE NUMBER
- SINGLE SANITARY SERVICE
- DOUBLE SANITARY SERVICE

**STORM WATER LEGEND:**

- DROP CURB INLET
- STORM MANHOLE
- VALLEY GUTTER
- STORM PIPE
- STORM STRUCTURE (S)



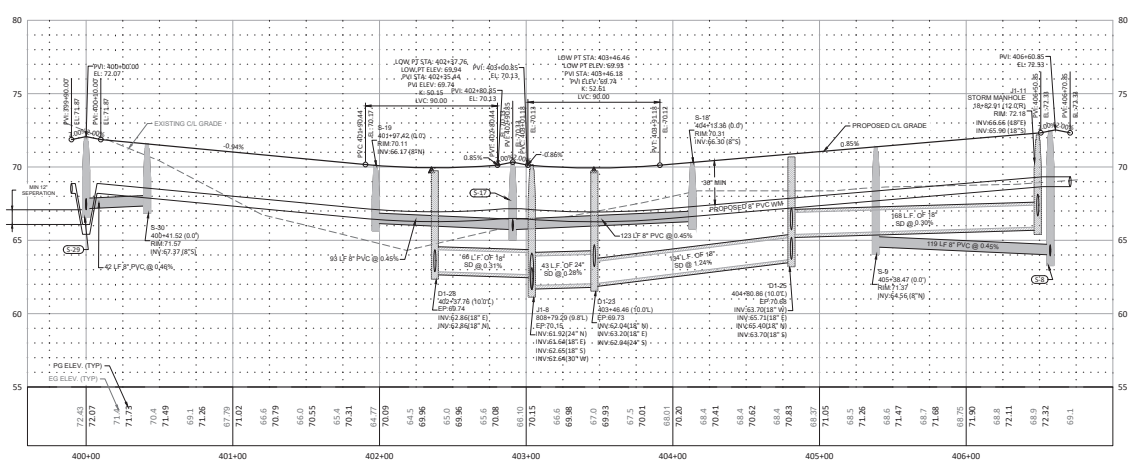
SCALE IN FEET  
1" = 40'



**STREET 'E'**

Marion County Approval Stamp

HORIZ. SCALE 1" = 40'  
VERT. SCALE 1" = 4'

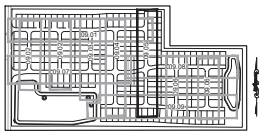


REVISIONS

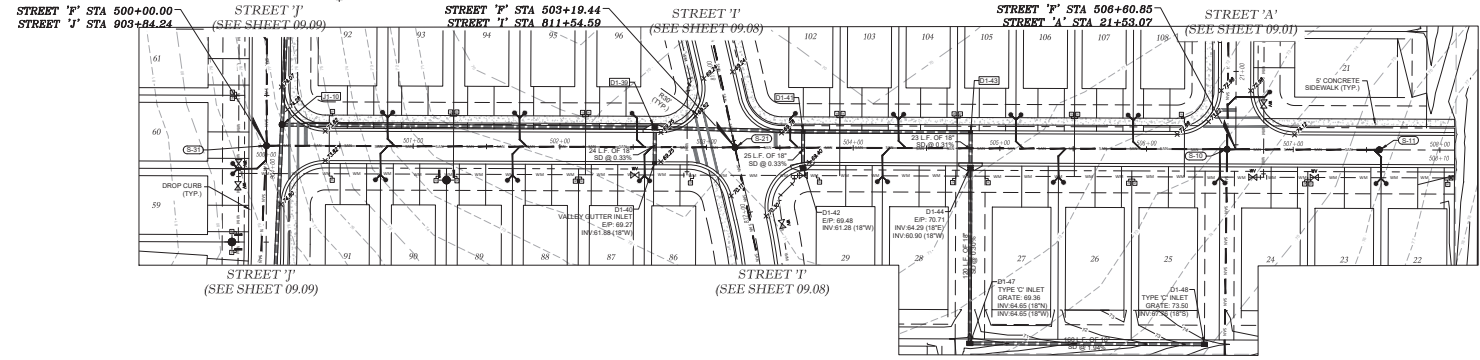
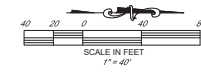
NO.	DATE	DESCRIPTION

IMPROVEMENT PLANS  
HERITAGE OAKS  
MARION COUNTY, FLORIDA  
**PLAN & PROFILE**  
STREET 'E'

DATE: 5/14/2021  
DRAWN BY: AS  
CHKD. BY: TB  
JOB NO.: 22-8129



- WATER LEGEND:**
- WATER MAIN
  - FIRE HYDRANT ASSEMBLY (FHA)
  - TEE
  - BEND
  - GATE VALVE & BOX
  - REDUCER
  - BLOW OF ASSEMBLY
  - FIRE HYDRANT NUMBER
  - SINGLE WATER SERVICE
  - DOUBLE WATER SERVICE
- SANITARY SEWER LEGEND:**
- SANITARY SEWER
  - MANHOLE
  - MANHOLE NUMBER
  - SINGLE SANITARY SERVICE
  - DOUBLE SANITARY SERVICE
- STORM WATER LEGEND:**
- DROP CURB INLET
  - STORM MANHOLE
  - VALLEY GUTTER
  - STORM PIPE
  - STORM STRUCTURE ID

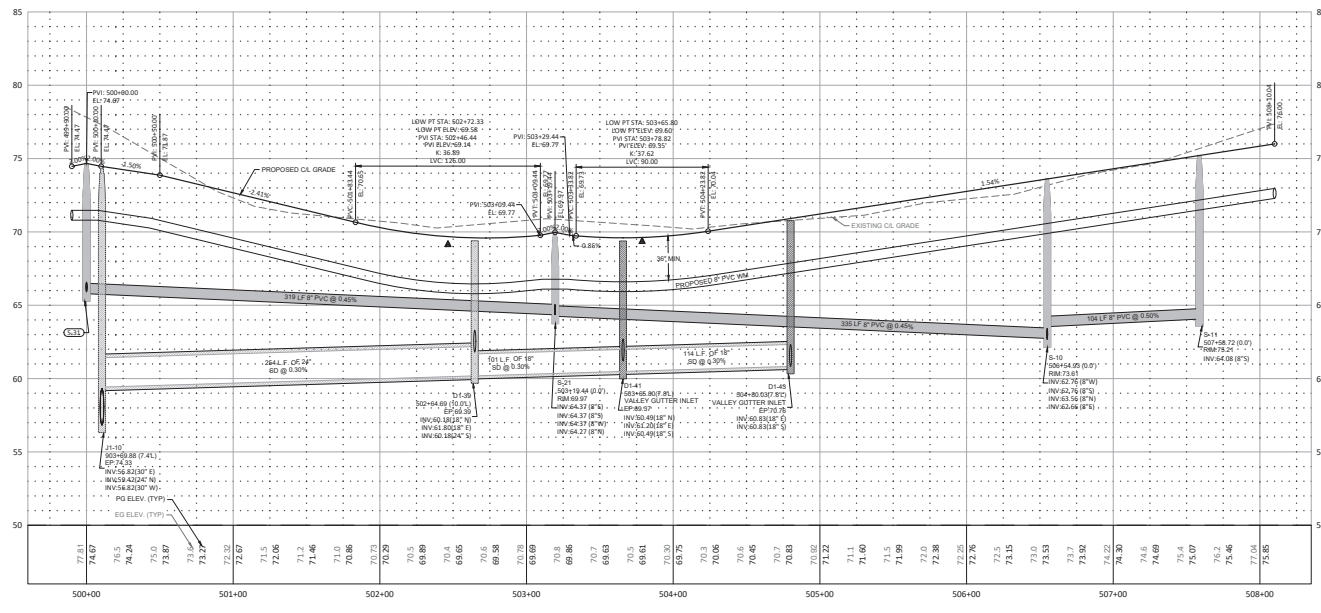


**STREET 'F'**

Marion County Approval Stamp

**Tillman & Associates**  
 ENGINEERS, ARCHITECTS & PLANNERS  
 1720 SE 16th Ave, Bldg 100, Ocala, FL 34471  
 Office: (352) 387-6640 Fax: (352) 387-4545  
 CERTIFICATE OF AUTHORIZATION #12296

DATE	REVISIONS



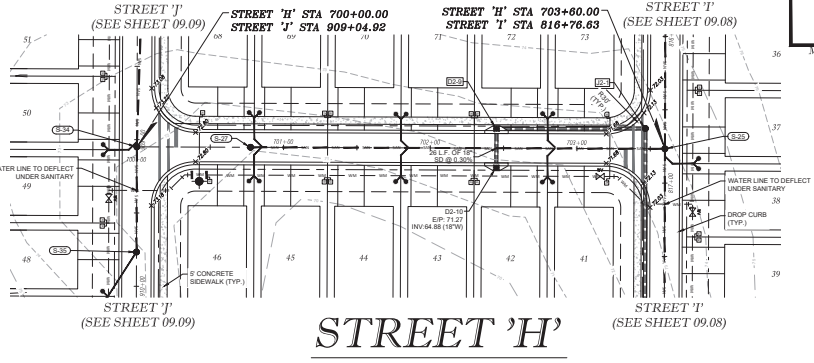
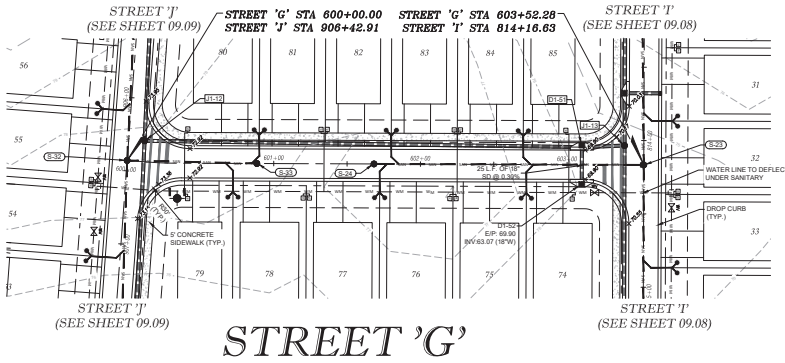
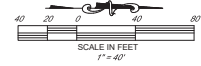
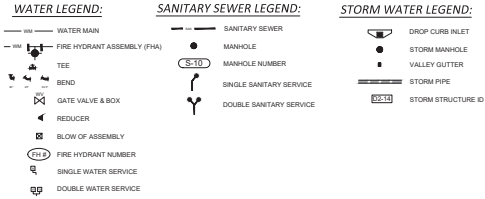
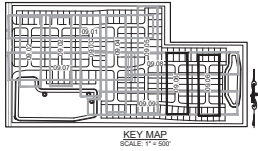
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 VERT. SCALE 1" = 4'

IMPROVEMENT PLANS  
 HERITAGE OAKS  
 MARION COUNTY, FLORIDA  
**PLAN & PROFILE  
 STREET 'F'**

DATE: 5/14/2021  
 DRAWN BY: AS  
 CHKD. BY: TB  
 JOB NO.: 22-8120

SHT. 09.05

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



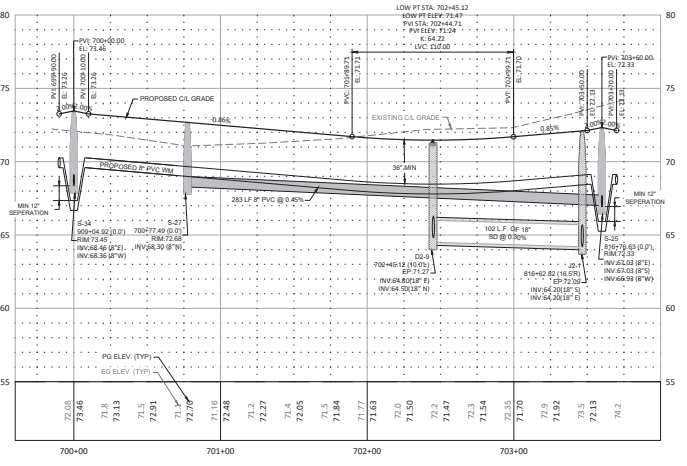
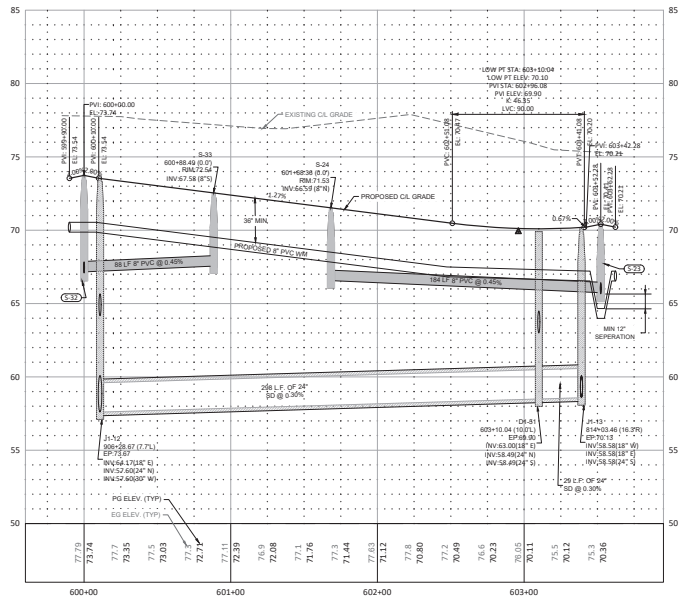
Marion County Approval Stamp

# STREET 'G'

# STREET 'H'

**Tillman & Associates, LLC**  
 ENGINEERS & ARCHITECTS  
 CIVIL ENGINEERING PLANNING LANDSCAPE ARCHITECTURE ENVIRONMENTAL  
 1720 SE 16th Ave, Bldg 100, Ocala, FL 34471  
 Office: (352) 387-6640 Fax: (352) 387-4645  
 CERTIFICATE OF AUTHORIZATION #22296

DATE	REVISIONS



HORIZ. SCALE 1"=40'  
 VERT. SCALE 1"=4'

IMPROVEMENT PLANS  
 HERITAGE OAKS  
 MARION COUNTY, FLORIDA  
**PLAN & PROFILE**  
**STREET 'G' & 'H'**

DATE: 5/14/2021  
 DRAWN BY: AS  
 CHKD BY: TB  
 JOB NO.: 22-8126

SHT. 09.06



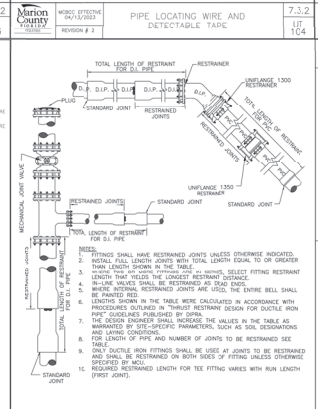
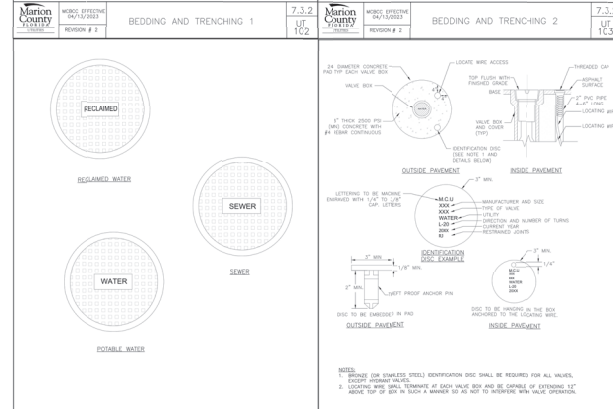
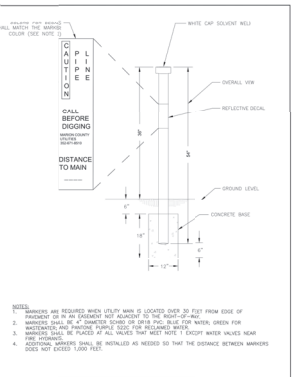
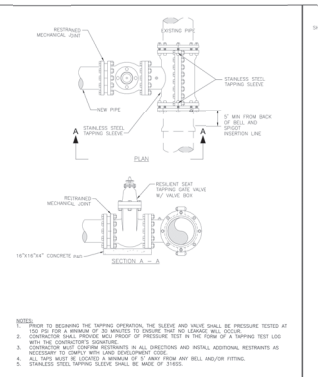
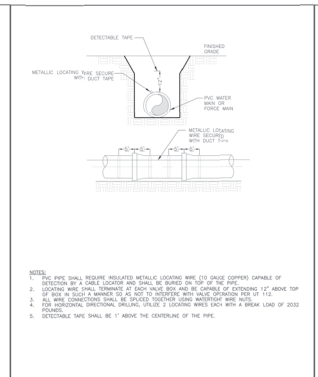
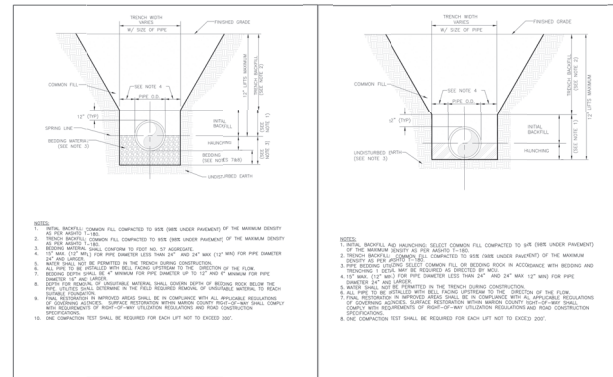










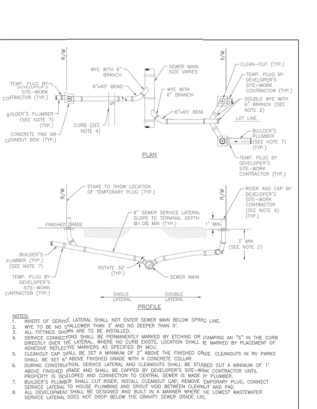
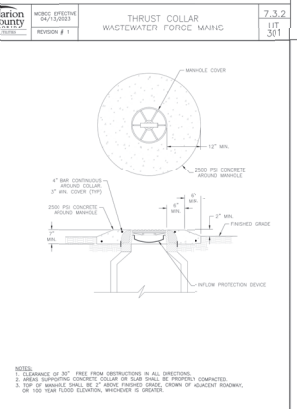
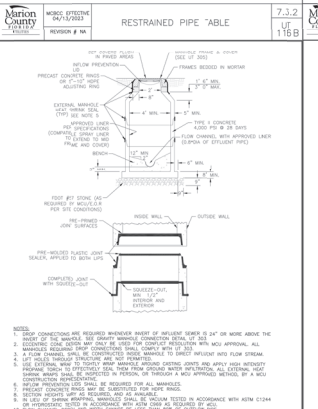
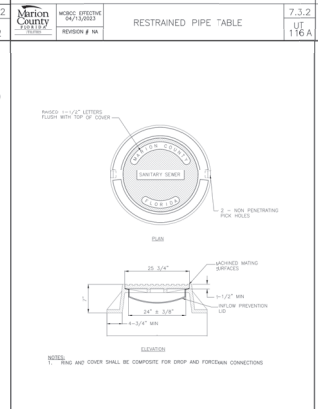
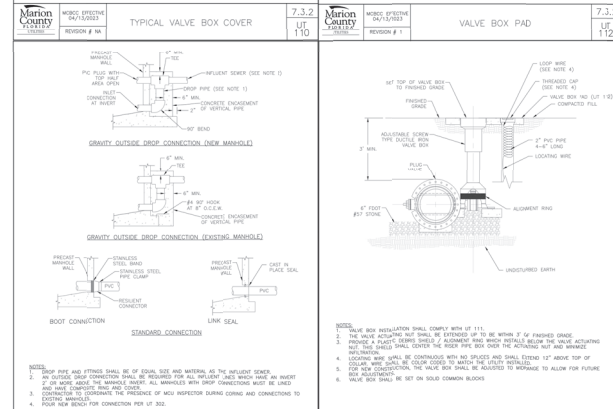
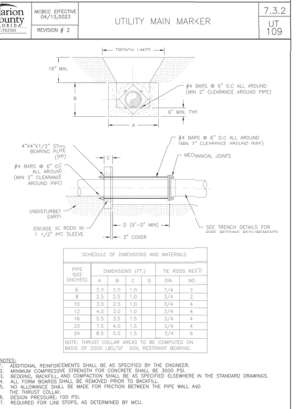


**7.3.2 RESTRAINED PIPE TABLE**  
 MARION COUNTY UT 116B  
 REVISION # 1

**MINIMUM SIZES OF FITTING AND VALVE**

WATER MAIN PRESSURE (PSI)	WATER MAIN PRESSURE (PSI)	WATER MAIN PRESSURE (PSI)
150	150	150
200	200	200
300	300	300
400	400	400

**MINIMUM DESIGN CRITERIA:**  
 Bedding: Type-1  
 Safety Factor: 1.5  
 Soil: Sand-Silt  
 Run Length: (Actual length) / 10 ft



Marion County Approval Stamp

VERTICAL DIMENSIONS

1	2	3	4	5	6	7	8	9
---	---	---	---	---	---	---	---	---

HORIZONTAL DIMENSIONS

10	11	12	13	14	15	16	17	18
----	----	----	----	----	----	----	----	----

VERTICAL DIMENSIONS

19	20	21	22	23	24	25	26	27
----	----	----	----	----	----	----	----	----

HORIZONTAL DIMENSIONS

28	29	30	31	32	33	34	35	36
----	----	----	----	----	----	----	----	----

VERTICAL DIMENSIONS

37	38	39	40	41	42	43	44	45
----	----	----	----	----	----	----	----	----

HORIZONTAL DIMENSIONS

46	47	48	49	50	51	52	53	54
----	----	----	----	----	----	----	----	----

VERTICAL DIMENSIONS

55	56	57	58	59	60	61	62	63
----	----	----	----	----	----	----	----	----

HORIZONTAL DIMENSIONS

64	65	66	67	68	69	70	71	72
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VERTICAL DIMENSIONS

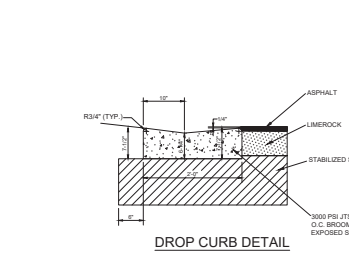
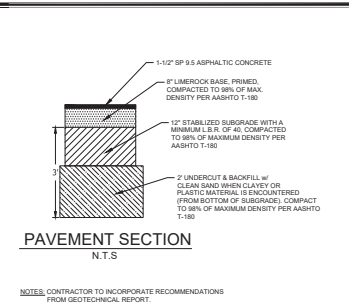
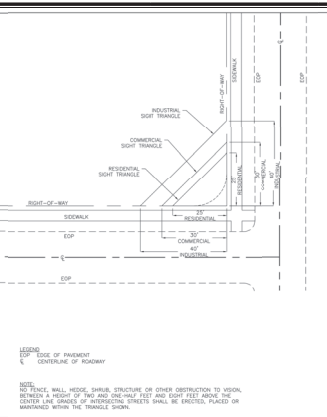
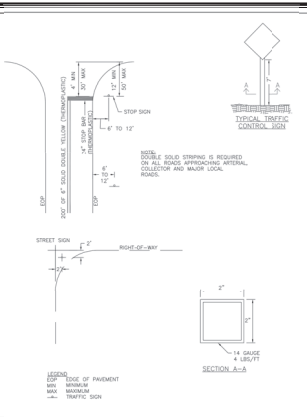
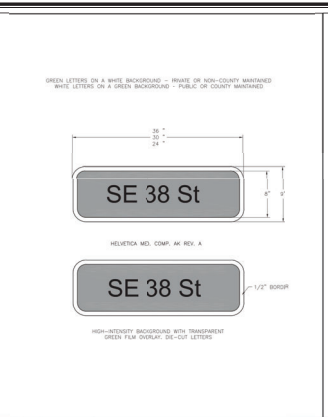
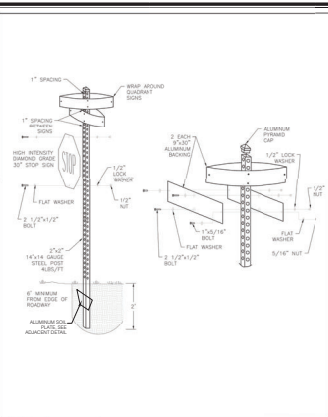
73	74	75	76	77	78	79	80	81
----	----	----	----	----	----	----	----	----

HORIZONTAL DIMENSIONS

82	83	84	85	86	87	88	89	90
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**SH11 11.01**





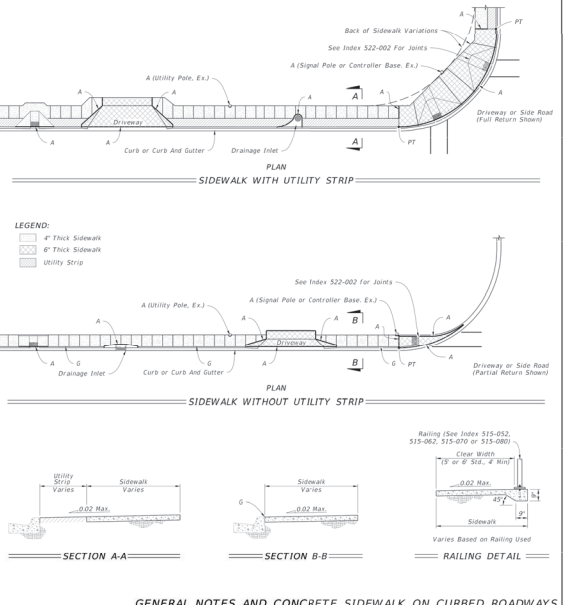
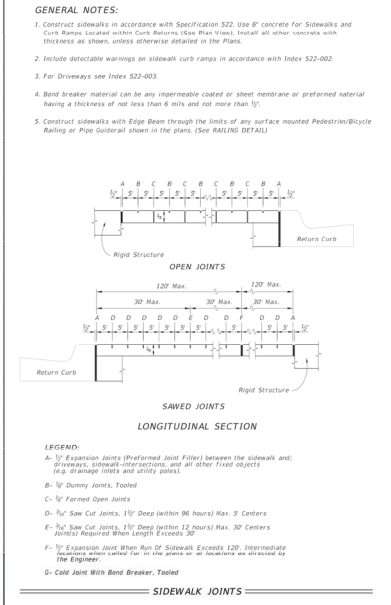
Marion County	MOBC EFFECTIVE	COMBINED STREET NAME & S'OP SIGN INSTALLATION	7.3.1	Marion County	MOBC EFFECTIVE	STREET SIGN	7.3.1	Marion County	MOBC EFFECTIVE	INTERSECTION SIGN AND STRIPING DETAIL	7.3.1	Marion County	MOBC EFFECTIVE	SIGHT TRIANGLE	7.3.1
	10/12/2013		TS 021		10/12/2013		TS 032		10/12/2013		10/12/2013			TS 030	10/12/2013

REVISION #	DATE	DESCRIPTION

REVISION #	DATE	DESCRIPTION

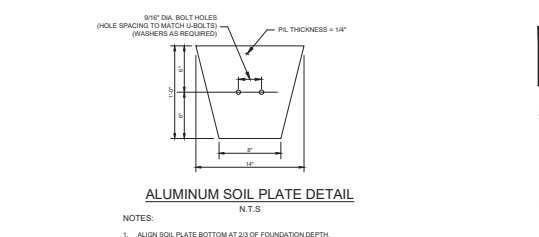
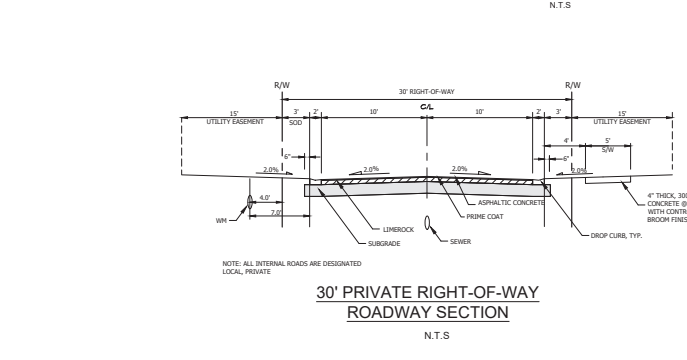
REVISION #	DATE	DESCRIPTION

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LAST REVISION	DESCRIPTION	FY 2023-24 STANDARD PLANS	INDEX	SHEET
11/01/18			522-001	1 of 2

GENERAL NOTES AND CONCRETE SIDEWALK ON CURBED ROADWAYS	INDEX	SHEET
CONCRETE SIDEWALK	522-001	1 of 2



ALUMINUM SOIL PLATE DETAIL	INDEX	SHEET

ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE.

NOTES:

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN FROM THE ENGINEER OR OWNER A COPY OF ALL PERTINENT PERMITS RELATED TO THIS PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT ALL CONSTRUCTION ACTIVITIES ARE IN COMPLIANCE WITH THE CONDITIONS OF ALL PERMITS AND APPROVALS.
- GRASS AND MULCH, OR SOLID SOIL, ALL AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION.
- CONTRACTOR IS TO COORDINATE ALL WORK WITHIN, BUT NOT LIMITED TO, THE CITY OF BELLEVUE RIGHTS-OF-WAY WITH UTILITY COMPANIES IN ORDER TO PREVENT DAMAGE TO UTILITY LINES AND THE MARKING OF ADJUSTMENTS TO SAME, IF REQUIRED.
- CONTRACTOR SHALL CONTACT THE ENGINEER AND/OR THE OWNER PRIOR TO ANY CONSTRUCTION THAT MAY DAMAGE TREES.

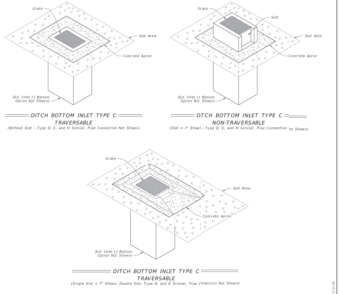
**Thomas & Associates**  
ENGINEERING, LLC  
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL  
1720 SE 16th Ave., Bldg. 100, Ocala, FL 34471  
Office: (352) 387-4540 Fax: (352) 387-4545  
CONTRACTORS OF PROFESSIONAL ENGINEERS

DATE: 5/14/2024  
DRAWN BY: AS  
CHECKED BY: TB  
JOB NO.: 22-3128

IMPROVEMENT PLANS  
HERITAGE OAKS  
MARION COUNTY, FLORIDA  
ROADWAY & PAVEMENT  
DETAILS

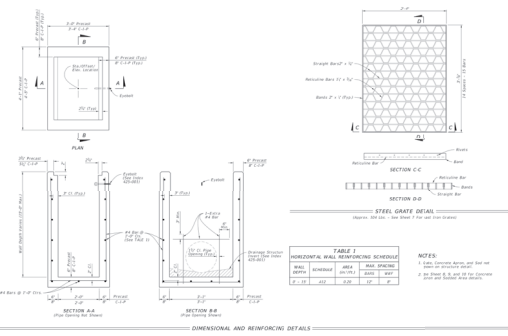
SHT: 12.01

- GENERAL NOTES:**
1. Refer to the notes on sheets 1001, 1002, 1003 and 1004.
  2. Concrete shall be placed and cured in accordance with Section 05.10.1.
  3. All reinforcing steel shall be lap spliced with 25% lap length unless otherwise noted.
  4. All steel reinforcing shall be lap spliced with 25% lap length unless otherwise noted.
  5. All steel reinforcing shall be lap spliced with 25% lap length unless otherwise noted.
  6. All steel reinforcing shall be lap spliced with 25% lap length unless otherwise noted.
  7. All steel reinforcing shall be lap spliced with 25% lap length unless otherwise noted.
  8. All steel reinforcing shall be lap spliced with 25% lap length unless otherwise noted.



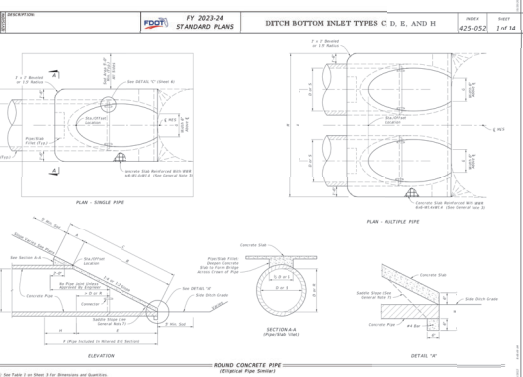
**TABLE OF CONTENTS**

NO.	DESCRIPTION
1	General Notes
2	Standard Plans
3	Dimensional Reinforcing and Steel Grate Details
4	Single and Multiple Concrete Pipe Dimensions and Quantities
5	Drainage Precast Manhole Detail
6	Drop Curb Inlet
7	Valley Gutter Inlet Frame and Grate Detail
8	Pond Cross-Sections



**TABLE 1**

NO.	DESCRIPTION	QTY	UNIT
1	1' x 1' Reinforcing	1	SQ YD
2	1' x 1' Reinforcing	1	SQ YD
3	1' x 1' Reinforcing	1	SQ YD
4	1' x 1' Reinforcing	1	SQ YD
5	1' x 1' Reinforcing	1	SQ YD
6	1' x 1' Reinforcing	1	SQ YD
7	1' x 1' Reinforcing	1	SQ YD
8	1' x 1' Reinforcing	1	SQ YD
9	1' x 1' Reinforcing	1	SQ YD
10	1' x 1' Reinforcing	1	SQ YD



**TABLE 1**

**SINGLE AND MULTIPLE CONCRETE PIPE DIMENSIONS AND QUANTITIES**

NO.	DESCRIPTION	QTY	UNIT
1	1' x 1' Pipe	1	LN
2	1' x 1' Pipe	1	LN
3	1' x 1' Pipe	1	LN
4	1' x 1' Pipe	1	LN
5	1' x 1' Pipe	1	LN
6	1' x 1' Pipe	1	LN
7	1' x 1' Pipe	1	LN
8	1' x 1' Pipe	1	LN
9	1' x 1' Pipe	1	LN
10	1' x 1' Pipe	1	LN

**STANDARD PLANS**

**CROSS DRAIN MITERED END SECTION**

**TABLE 1**

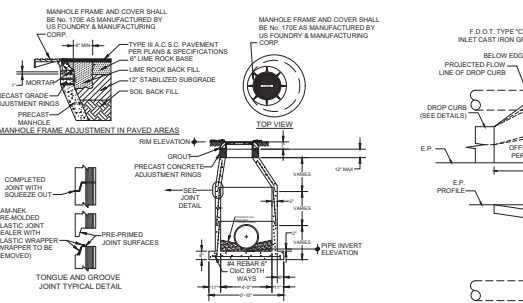
NO.	DESCRIPTION	QTY	UNIT
1	1' x 1' Pipe	1	LN
2	1' x 1' Pipe	1	LN
3	1' x 1' Pipe	1	LN
4	1' x 1' Pipe	1	LN
5	1' x 1' Pipe	1	LN
6	1' x 1' Pipe	1	LN
7	1' x 1' Pipe	1	LN
8	1' x 1' Pipe	1	LN
9	1' x 1' Pipe	1	LN
10	1' x 1' Pipe	1	LN

**STANDARD PLANS**

**CROSS DRAIN MITERED END SECTION**

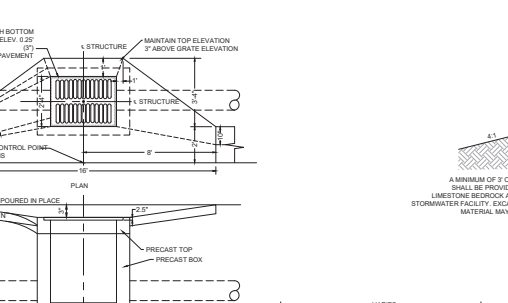
**TABLE 1**

NO.	DESCRIPTION	QTY	UNIT
1	1' x 1' Pipe	1	LN
2	1' x 1' Pipe	1	LN
3	1' x 1' Pipe	1	LN
4	1' x 1' Pipe	1	LN
5	1' x 1' Pipe	1	LN
6	1' x 1' Pipe	1	LN
7	1' x 1' Pipe	1	LN
8	1' x 1' Pipe	1	LN
9	1' x 1' Pipe	1	LN
10	1' x 1' Pipe	1	LN



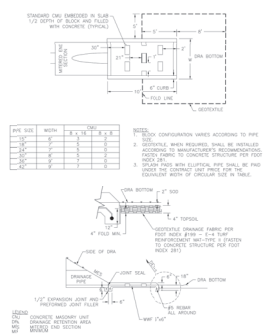
- GENERAL NOTES:**
1. SEAL ALL PIPE OPENINGS IN PRECAST MANHOLES WITH EPOXY NON-SHINK GROUT OR APPROVED EQUAL.
  2. MANHOLE COVERS SHALL BE CLEANED AND PAINTED WITH BLACK ENAMEL PAINT.
  3. SET COVERS FLUSH IN UNPAVED AREAS, 0.4" ABOVE GRADE IN PAVED AREAS, AND 0.75" BELOW GRADE IN GRADED AREAS.
  4. ALTERNATE PRECAST MANHOLE TOPS.
  5. APPROVED FLAT SLAB TOP MAY BE USED AS AN ALTERNATE.

**DRAINAGE PRECAST MANHOLE DETAIL**  
 N.T.S.



- GENERAL NOTES:**
1. THIS STRUCTURE SHALL BE A TYPE "C" GRATE INLET MOUNTED ON A BOX SIZED BY THE PRECAST COMPANY BASED ON THE SIZE OF THE PIPES SERVED. THE BASE SHALL HAVE A COMPLETE CONCRETE PRECAST CAP WITH POUR IN PLACE CONCRETE PROVIDED TO DIRECT ALL FLOWS TO THE GRATE OPENING.
  2. ALL POURED-IN-PLACE CONCRETE SHALL BE 3000 PSI AT 28 DAYS.

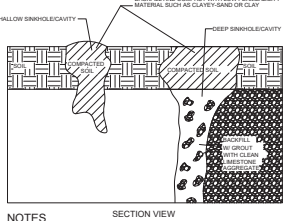
**DROP CURB INLET**  
 N.T.S.



**TABLE 1**

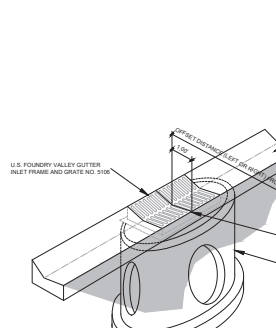
NO.	DESCRIPTION	QTY	UNIT
1	1' x 1' Pipe	1	LN
2	1' x 1' Pipe	1	LN
3	1' x 1' Pipe	1	LN
4	1' x 1' Pipe	1	LN
5	1' x 1' Pipe	1	LN
6	1' x 1' Pipe	1	LN
7	1' x 1' Pipe	1	LN
8	1' x 1' Pipe	1	LN
9	1' x 1' Pipe	1	LN
10	1' x 1' Pipe	1	LN

**TYPICAL SPLASH PAD WITH DISPATER**  
 N.T.S.



- NOTES:**
1. IN THE EVENT THAT ANY KARST FEATURES SUCH AS SINKHOLES, SOLUTION CAVITIES, CHIMNEYS, ETC. ARE DISCOVERED DURING ROUTINE INSPECTIONS OF THE STORMWATER BASINS, THE FOLLOWING REMEDIATION PROCEDURE SHALL BE PERFORMED:
  2. **SHALLOW REPAIR (SEE DETAIL):** IF THE COLLAPSE IS SHALLOW (< 6" DEEP) AND THE VOIDS IN THE LIMESTONE ARE SMALL, THEN THE SINKHOLE CAN BE REPAIRED BY BACKFILLING WITH A LOWER PERMEABILITY MATERIAL SUCH AS CLAYEY SAND OR CLAY. THE MATERIAL SHOULD BE COMPACTED AND THE REPAIR SHALL BE SLIGHTLY ABOVE THE ORIGINAL BOTTOM IN ORDER TO CREATE A SMALL MOUND TO ACCOUNT FOR SETTLING.
  3. **DEEP REPAIR (SEE DETAIL):** IF THE COLLAPSE IS DEEP, THEN THE REPAIR SHALL BE MORE PERMANENT. THE COLLAPSE SHALL BE EXCAVATED TO THE LIMESTONE BEDROCK (THE VOIDS) IN THE BEDROCK SHALL BE PLUGGED WITH CLEAN GROUT. A LOW PERMEABILITY MATERIAL SHALL BE PLACED OVER THE CONCRETE PLATE. THE MATERIAL SHALL BE COMPACTED AND BROUGHT TO EXISTING BASIN BOTTOM.

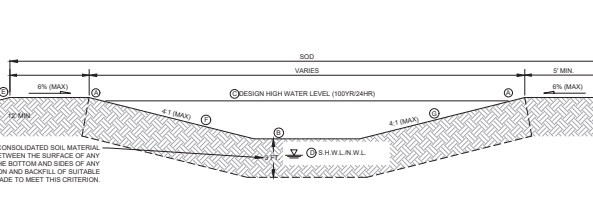
**SHALLOW AND DEEP SINKHOLE/CAVITY MAINTENANCE REPAIR DETAIL**  
 N.T.S.



**VALLEY GUTTER INLET FRAME AND GRATE DETAIL**  
 N.T.S.

- GENERAL NOTES:**
1. THE FINISHED GRADE AND SLOPE OF THE INLET TOPS ARE TO CONFORM WITH THE FINISHED CROSS-SLOPE AND GRADE OF THE STORMWATER BASIN.
  2. ALL REPAIRS SHALL BE PERFORMED IN ACCORDANCE WITH THE REPAIR DETAILS SHOWN ON THIS SHEET.
  3. ALL REPAIRS SHALL BE PERFORMED IN ACCORDANCE WITH THE REPAIR DETAILS SHOWN ON THIS SHEET.
  4. ALL REPAIRS SHALL BE PERFORMED IN ACCORDANCE WITH THE REPAIR DETAILS SHOWN ON THIS SHEET.
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  8. ALL REPAIRS SHALL BE PERFORMED IN ACCORDANCE WITH THE REPAIR DETAILS SHOWN ON THIS SHEET.
  9. ALL REPAIRS SHALL BE PERFORMED IN ACCORDANCE WITH THE REPAIR DETAILS SHOWN ON THIS SHEET.
  10. ALL REPAIRS SHALL BE PERFORMED IN ACCORDANCE WITH THE REPAIR DETAILS SHOWN ON THIS SHEET.

**VALLEY GUTTER INLET FRAME AND GRATE DETAIL**  
 N.T.S.



**TABLE 1**

POND	T.O.B.(FT)	BOTTOM(FT)	DHWL(FT)	SHWL(FT)	DESIGN	SIDE SLOPE	SIDE SLOPE
DRA 1	83.5	57.5	xx.xx	xx.xx	MATCH PROPOSED GRADE	4:1 MAX	4:1 MAX
DRA 2	86.0	62.0	xx.xx	xx.xx	MATCH PROPOSED GRADE	4:1 MAX	4:1 MAX

**POND CROSS-SECTIONS**  
 N.T.S.



**TYPICAL DRAINAGE SHALE SECTION**  
 N.T.S.

**Williams & Associates**  
 ENGINEERING, LLC  
 CIVIL/ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL  
 1720 SE 16th Ave. | Bogaloo, Okaloosa, FL 39471  
 Office: (352) 387-6640 | Fax: (352) 387-4955  
 CONTRACTORS OF APPROVED PROFESSIONAL ENGINEERS

Marion County Approval Stamp

REVISIONS:

NO.	DESCRIPTION

IMPROVEMENT PLANS  
 HERITAGE OAKS  
 MARION COUNTY, FLORIDA

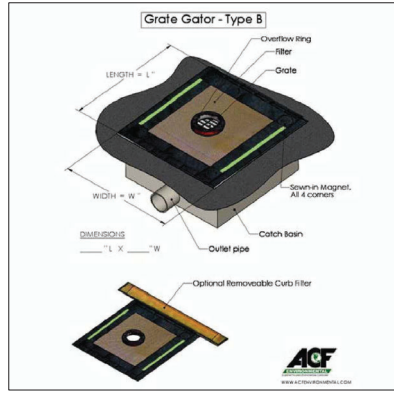
DATE: 5/14/2024  
 DRAWN BY: AS  
 CH'D BY: JB  
 JOB NO: 22-8128

SHT: 13.01

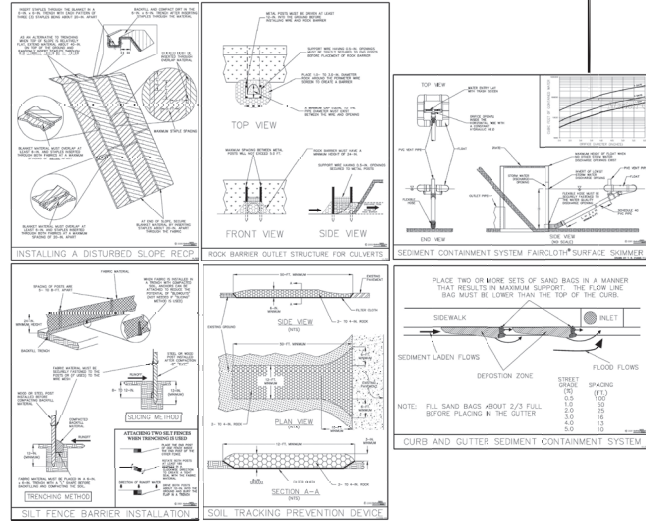
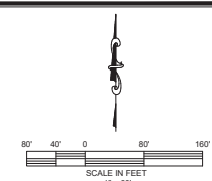


**GENERAL NOTES:**

- THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.
- TEMPORARY EROSION CONTROL TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY THE ENGINEER OR AREAS ON SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL MAY BE REMOVED AFTER UPLOUSE AREA HAS BEEN STABILIZED BY SOIL OR COMPACTED AS DETERMINED BY THE OWNER.
- PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDENCY IN LIEU OF PERMANENT MEASURES.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.
- NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
- MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY RUNOFF OR HIGH WATER.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEED.
- SILO FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE (L.F.)
- ALL NOTES TO BE PROTECTED BY DETAILS AS OUTLINED IN F.D.D.T. EROSION SEDIMENT CONTROL MANUAL (LATEST EDITION).
- CONTRACTOR MUST MAINTAIN POSITIVE DRAINAGE AT ALL TIMES DURING THE COURSE OF THE CONSTRUCTION WORK.
- CONTRACTOR MUST COORDINATE WITH ALL OF THE RESPONSIBLE AGENCIES PERTAINING TO EROSION AND SEDIMENT CONTROL WORK AND MAKE NECESSARY CHANGES BASED ON THE AGENCY'S GUIDANCE/DIRECTION AT NO ADDITIONAL COST TO THE OWNER.
- THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE, IN THE OPINION OF THE ENGINEER, THE MINIMUM THAT MAY BE REQUIRED. ACTUAL FIELD CONDITIONS MAY REQUIRE EITHER ADDITIONAL OR REDUCED EROSION CONTROL MEASURES TO BE IMPLEMENTED. THE CONTRACTOR IS DIRECTED TO FOLLOW STANDARD BEST MANAGEMENT PRACTICES IN IMPLEMENTING A SUCCESSFUL EROSION CONTROL PLAN.
- ALL DISTURBED AREAS TO BE SODED OR SEEDED AND MULCHED WITHIN 7 DAYS AFTER FINAL GRADING.



**EROSION CONTROL LEGEND**



County Approval Stamp

REVISIONS

DATE

IMPROVEMENT PLANS  
HERITAGE OAKS  
MARION COUNTY, FLORIDA

DATE: 5/14/2024  
DRAWN BY: AS  
CHECKED BY: TR  
JOB NO.: 22-5128

Sheet 14.01

**EROSION CONTROL PLAN**



**Williams & Associates**  
**ENGINEERING, LLC**  
Civil Engineering - Planning - Landscape Architecture - Environmental  
1720 SE 16th Ave, Bldg 100, Ocala, FL 34471  
Office: (352) 367-4540 Fax: (352) 367-4545  
CERTIFICATE OF AUTHORIZATION #92756

**Log of Borehole SB-8**  
 Project: HERITAGE OAKS S/D, PLO NO. 4847400-00, SUMMERFIELD, FL  
 Project No. 21-04421-2  
 Being Located (SEE SITE PLAN)  
 Client: TOWN OF HERITAGE, LLC  
 Engineer: NICHOLAI  
 Enclosure: SITE PLAN  
**GEO-TECH**  
 ENGINEERING CONSULTANTS  
 1912 S.W. 13TH AVENUE  
 BOCA RATON, FLORIDA 33432  
 WWW.GEOTECHFL.COM

Depth (ft)	Depth (m)	Description	Depth (ft)	Number	Remarks
0	0.0	Ground Surface	0.0		
0	0.0	1.00 FEET TO 3.00 FEET BROWN FINE SAND (SF)	0.0	1	FIELD-HORIZONTAL PERMEABILITY AT APPROX. 0.5 FEET = 0.8 FEET/DAY
3	0.9	3.00 FEET TO 7.00 FEET CLAYEY SAND YELLOWISH BROWN AND GREY CLAYEY SAND (SC)	0.0	2	FIELD-VERTICAL PERMEABILITY AT APPROX. 6.5 FEET = 0.4 FEET/DAY
7	2.1	7.00 FEET TO 20.00 FEET CLAYEY SAND YELLOWISH BROWN AND GREY CLAYEY SAND (SC)	0.0	2	FIELD-VERTICAL PERMEABILITY AT APPROX. 6.5 FEET = 0.4 FEET/DAY
20	5.8	End of Borehole	20.0		REMARKS: SAND CORNFINDING LAYER OBSERVED AT APPROX. 10.0 FEET

Ground Water Depth: NOT FOUND  
 DWS Date: JULY 14, 2023  
 Remarks: (SPT) UNIFIED SOIL CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW. Soil Profile: 1 OF 6  
 Drawn By: NICHOLAI  
 DWS Method: ASTM D-1586  
 Soil Profile: 1 OF 6

**Log of Borehole SB-10**  
 Project: HERITAGE OAKS S/D, PLO NO. 4847400-00, SUMMERFIELD, FL  
 Project No. 21-04421-2  
 Being Located (SEE SITE PLAN)  
 Client: TOWN OF HERITAGE, LLC  
 Engineer: NICHOLAI  
 Enclosure: SITE PLAN  
**GEO-TECH**  
 ENGINEERING CONSULTANTS  
 1912 S.W. 13TH AVENUE  
 BOCA RATON, FLORIDA 33432  
 WWW.GEOTECHFL.COM

Depth (ft)	Depth (m)	Description	Depth (ft)	Number	Remarks
0	0.0	Ground Surface	0.0		
0	0.0	1.00 FEET TO 3.00 FEET BROWN FINE SAND (SF)	0.0	1	FIELD-HORIZONTAL PERMEABILITY AT APPROX. 0.5 FEET = 0.8 FEET/DAY
3	0.9	3.00 FEET TO 8.00 FEET CLAYEY SAND YELLOWISH BROWN AND GREY CLAYEY SAND (SC)	0.0	2	FIELD-VERTICAL PERMEABILITY AT APPROX. 6.5 FEET = 0.4 FEET/DAY
8	2.4	8.00 FEET TO 20.00 FEET CLAYEY SAND YELLOWISH BROWN AND GREY CLAYEY SAND (SC)	0.0	2	FIELD-VERTICAL PERMEABILITY AT APPROX. 6.5 FEET = 0.4 FEET/DAY
20	5.8	End of Borehole	20.0		REMARKS: SAND CORNFINDING LAYER OBSERVED AT APPROX. 10.0 FEET

Ground Water Depth: NOT FOUND  
 DWS Date: JULY 14, 2023  
 Remarks: (SPT) UNIFIED SOIL CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW. Soil Profile: 2 OF 6  
 Drawn By: NICHOLAI  
 DWS Method: ASTM D-1586  
 Soil Profile: 2 OF 6

**Log of Borehole SB-12**  
 Project: HERITAGE OAKS S/D, PLO NO. 4847400-00, SUMMERFIELD, FL  
 Project No. 21-04421-2  
 Being Located (SEE SITE PLAN)  
 Client: TOWN OF HERITAGE, LLC  
 Engineer: NICHOLAI  
 Enclosure: SITE PLAN  
**GEO-TECH**  
 ENGINEERING CONSULTANTS  
 1912 S.W. 13TH AVENUE  
 BOCA RATON, FLORIDA 33432  
 WWW.GEOTECHFL.COM

Depth (ft)	Depth (m)	Description	Depth (ft)	Number	Remarks
0	0.0	Ground Surface	0.0		
0	0.0	1.00 FEET TO 3.00 FEET BROWN FINE SAND (SF)	0.0	1	FIELD-HORIZONTAL PERMEABILITY AT APPROX. 0.5 FEET = 0.8 FEET/DAY
3	0.9	3.00 FEET TO 8.00 FEET CLAYEY SAND YELLOWISH BROWN AND GREY CLAYEY SAND (SC)	0.0	2	FIELD-VERTICAL PERMEABILITY AT APPROX. 6.5 FEET = 0.4 FEET/DAY
8	2.4	8.00 FEET TO 20.00 FEET CLAYEY SAND YELLOWISH BROWN AND GREY CLAYEY SAND (SC)	0.0	2	FIELD-VERTICAL PERMEABILITY AT APPROX. 6.5 FEET = 0.4 FEET/DAY
20	5.8	End of Borehole	20.0		REMARKS: SAND CORNFINDING LAYER OBSERVED AT APPROX. 10.0 FEET

Ground Water Depth: NOT FOUND  
 DWS Date: JULY 14, 2023  
 Remarks: (SPT) UNIFIED SOIL CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW. Soil Profile: 3 OF 6  
 Drawn By: NICHOLAI  
 DWS Method: ASTM D-1586  
 Soil Profile: 3 OF 6

**Log of Borehole SB-13**  
 Project: PROPOSED OAKS HERITAGE OAKS, SUMMERFIELD, FL  
 Project No. 21-04421-1  
 Being Located (SEE BORING LOCATION MAP)  
 Client: PTM DEVELOPERS, LLC  
 Engineer: NICHOLAI  
 Enclosure: BORING MAP  
**GEO-TECH**  
 ENGINEERING CONSULTANTS  
 1912 S.W. 13TH AVENUE  
 BOCA RATON, FLORIDA 33432  
 WWW.GEOTECHFL.COM

Depth (ft)	Depth (m)	Description	Depth (ft)	Number	Remarks
0	0.0	Ground Surface	0.0		
0	0.0	1.00 FEET TO 3.00 FEET BROWN FINE SAND (SF)	0.0	1	FIELD-HORIZONTAL PERMEABILITY THINLY AT APPROX. 0.5 FEET = 0.3 FEET/DAY
3	0.9	3.00 FEET TO 5.00 FEET CLAYEY SAND YELLOWISH BROWN CLAYEY SAND (SC)	0.0	2	FIELD-VERTICAL PERMEABILITY RATE AT APPROX. 4.5 FEET = 0.8 FEET/DAY
5	1.5	5.00 FEET TO 11.00 FEET CLAYEY SAND YELLOWISH BROWN AND GREY CLAYEY SAND (SC)	0.0	2	EMPTY AT APPROX. 11.0 FEET
11	3.3	11.00 FEET TO 18.00 FEET CLAYEY SAND YELLOWISH BROWN AND GREY CLAYEY SAND (SC)	0.0	2	CORNFINDING LAYER AT APPROX. 16.0 FEET
18	5.1	18.00 FEET TO 20.00 FEET CLAYEY SAND YELLOWISH BROWN AND GREY CLAYEY SAND (SC)	0.0	4	
20	5.8	End of Borehole	20.0		

Ground Water Depth: NOT FOUND  
 DWS Date: JULY 14, 2023  
 Remarks: (SPT) UNIFIED SOIL CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW. Soil Profile: 1 OF 6  
 Drawn By: NICHOLAI  
 DWS Method: ASTM D-1586  
 Soil Profile: 1 OF 6

**Log of Borehole SB-14**  
 Project: PROPOSED OAKS HERITAGE OAKS, SUMMERFIELD, FL  
 Project No. 21-04421-1  
 Being Located (SEE BORING LOCATION MAP)  
 Client: PTM DEVELOPERS, LLC  
 Engineer: NICHOLAI  
 Enclosure: BORING MAP  
**GEO-TECH**  
 ENGINEERING CONSULTANTS  
 1912 S.W. 13TH AVENUE  
 BOCA RATON, FLORIDA 33432  
 WWW.GEOTECHFL.COM

Depth (ft)	Depth (m)	Description	Depth (ft)	Number	Remarks
0	0.0	Ground Surface	0.0		
0	0.0	1.00 FEET TO 3.00 FEET BROWN FINE SAND (SF)	0.0	1	FIELD-HORIZONTAL PERMEABILITY RATE AT APPROX. 0.5 FEET = 0.3 FEET/DAY
3	0.9	3.00 FEET TO 5.00 FEET CLAYEY SAND YELLOWISH BROWN CLAYEY SAND (SC)	0.0	2	FIELD-VERTICAL PERMEABILITY RATE AT APPROX. 4.5 FEET = 0.8 FEET/DAY
5	1.5	5.00 FEET TO 11.00 FEET CLAYEY SAND YELLOWISH BROWN AND GREY CLAYEY SAND (SC)	0.0	3	CORNFINDING LAYER AT APPROX. 11.0 FEET
11	3.3	11.00 FEET TO 18.00 FEET CLAYEY SAND YELLOWISH BROWN AND GREY CLAYEY SAND (SC)	0.0	4	
18	5.1	18.00 FEET TO 20.00 FEET CLAYEY SAND YELLOWISH BROWN AND GREY CLAYEY SAND (SC)	0.0		
20	5.8	End of Borehole	20.0		

Ground Water Depth: NOT FOUND  
 DWS Date: JULY 14, 2023  
 Remarks: (SPT) UNIFIED SOIL CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW. Soil Profile: 2 OF 6  
 Drawn By: NICHOLAI  
 DWS Method: ASTM D-1586  
 Soil Profile: 2 OF 6

Marion County Approval Stamp

**Marion & Associates**  
 ENGINEERING, LLC  
 CIVIL ENGINEERING - SURVEYING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL  
 1720 SE 16th Ave, Bldg 100, Ocala, FL 34477  
 Office: (352) 387-4540 Fax: (352) 387-4545  
 CERTIFICATE OF AUTHORIZATION #27256

REVISIONS

NO.	DATE	DESCRIPTION

DATE: 5/14/2023  
 DRAWN BY: AS  
 CHECKED BY: TJ  
 JOB NO. 22-5128

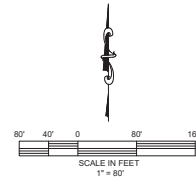
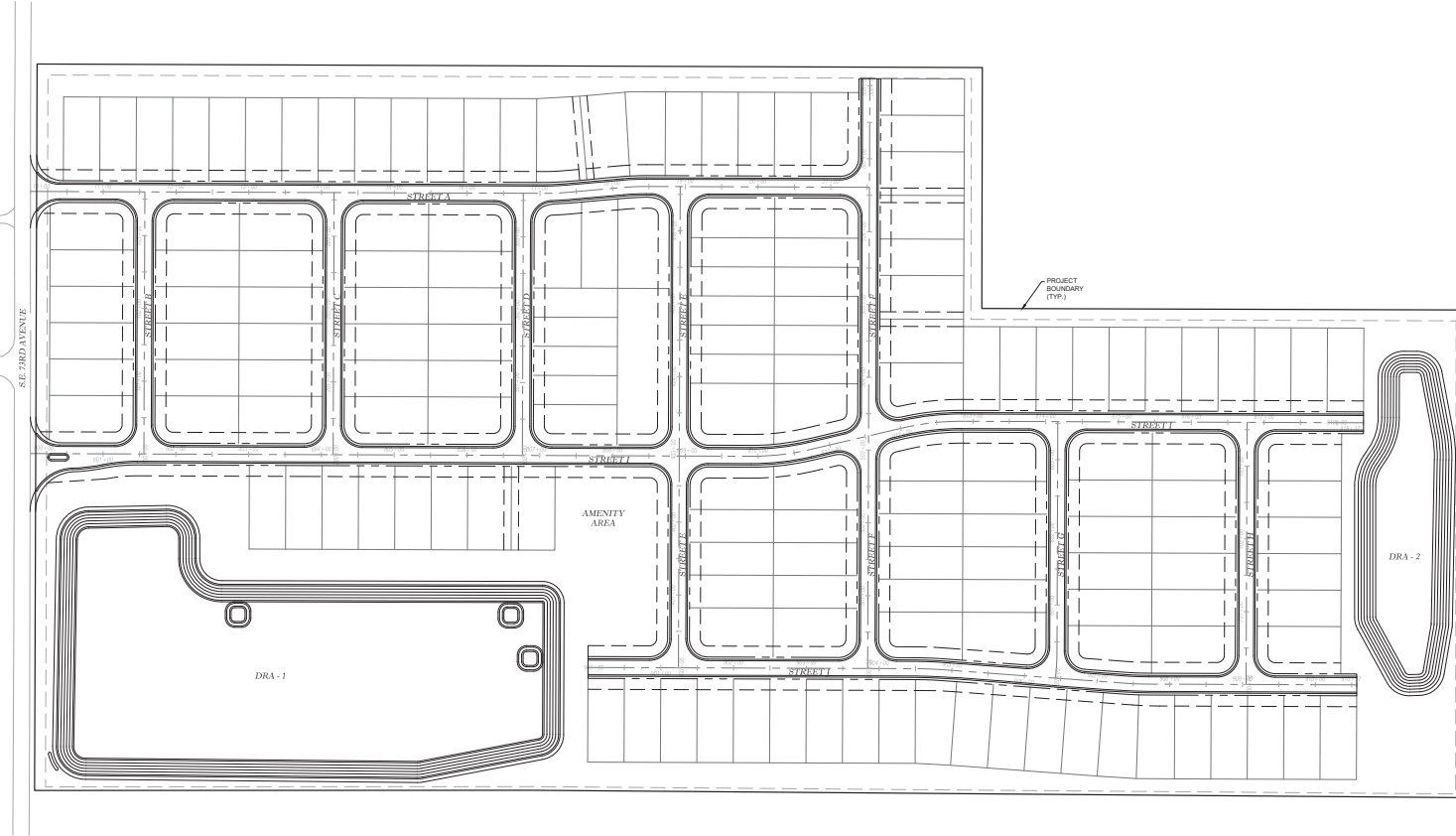
IMPROVEMENT PLANS  
 HERITAGE OAKS  
 MARION COUNTY, FLORIDA

BORING LOGS

DATE: 5/14/2023  
 DRAWN BY: AS  
 CHECKED BY: TJ  
 JOB NO. 22-5128

shf. BL-01

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



Marion County Approval Stamp

ROAD NAME LEGEND

IMPROVEMENT PLANS STREET NAME	MARION COUNTY STREET NAME
STREET 'A'	N/A
STREET 'B'	N/A
STREET 'C'	N/A
STREET 'D'	N/A
STREET 'E'	N/A
STREET 'F'	N/A
STREET 'G'	N/A
STREET 'H'	N/A
STREET 'I'	N/A
STREET 'J'	N/A

**Tillman & Associates**  
 ENGINEERS, LLC  
 CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL  
 1770 SE 16th Ave, Box 100, Ocala, FL 34471  
 Office: (352) 387-4540 Fax: (352) 387-4545  
 CERTIFICATE OF AUTHORIZATION #B756

REVISIONS	DATE

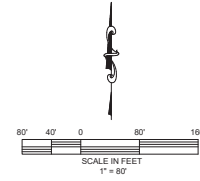
IMPROVEMENT PLANS  
 HERITAGE OAKS  
 MARION COUNTY, FLORIDA

**911 MANAGEMENT PLAN**

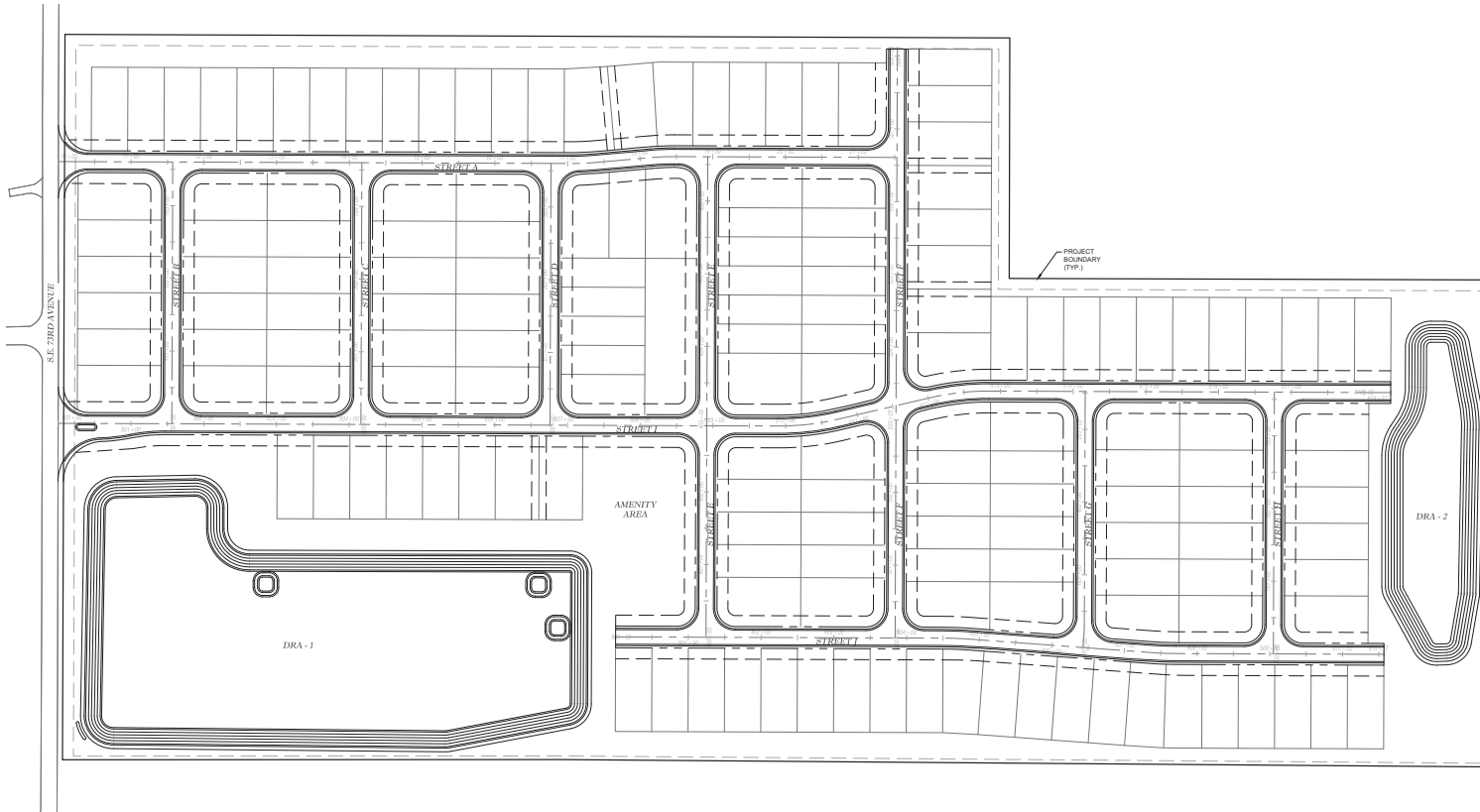
DATE: 5/14/2024  
 DRAWN BY: AS  
 CHKD. BY: TB  
 JOB NO.: 22-5128

<p>IRRIGATION SLEEVE SCHEDULE</p> <ul style="list-style-type: none"> <li>(1) 1/4" SCH 40 PVC SLEEVE</li> <li>(1) 1/4" SCH 40 PVC SLEEVE</li> <li>(1) 1/2" SCH 40 PVC SLEEVE</li> </ul>	<p>ELECTRIC SLEEVE SCHEDULE (DUKE)</p> <ul style="list-style-type: none"> <li>(1) 3" GRAY SCH 40 PVC CONDUIT</li> <li>(1) 3" GRAY SCH 40 PVC CONDUIT</li> <li>(1) 3" GRAY SCH 40 PVC CONDUIT</li> </ul>
<p>NATURAL GAS SLEEVE SCHEDULE (TECO)</p> <ul style="list-style-type: none"> <li>(1) 4" SCH 40 PVC SLEEVE</li> </ul>	<p>TELEPHONE/CABLE/INTERNET SLEEVE SCHEDULE (DCM)</p> <ul style="list-style-type: none"> <li>(1) 2" SCH 40 PVC SLEEVE</li> <li>(2) 2" SCH 40 PVC SLEEVE</li> <li>(1) 3" SCH 40 PVC SLEEVE</li> <li>(2) 3" SCH 40 PVC SLEEVE</li> </ul>

**LEGEND:**



Marion County Approval Stamp



**Thomas & Associates**  
 ENGINEERS, INC.  
 CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL  
 1720 SE 16th Ave. #406, Ocala, FL 34477  
 Office: (352) 367-4540 Fax: (352) 367-4545  
 CERTIFICATE OF AUTHORIZATION #29296

DATE	REVISIONS

IMPROVEMENT PLANS  
 HERITAGE OAKS  
 MARION COUNTY, FLORIDA  
**SLEEPING PLAN**

DATE: 5/14/2021  
 DRAWN BY: AS  
 CHECKED BY: TP  
 JOB NO: 22-9129

SHW. **SL.01**

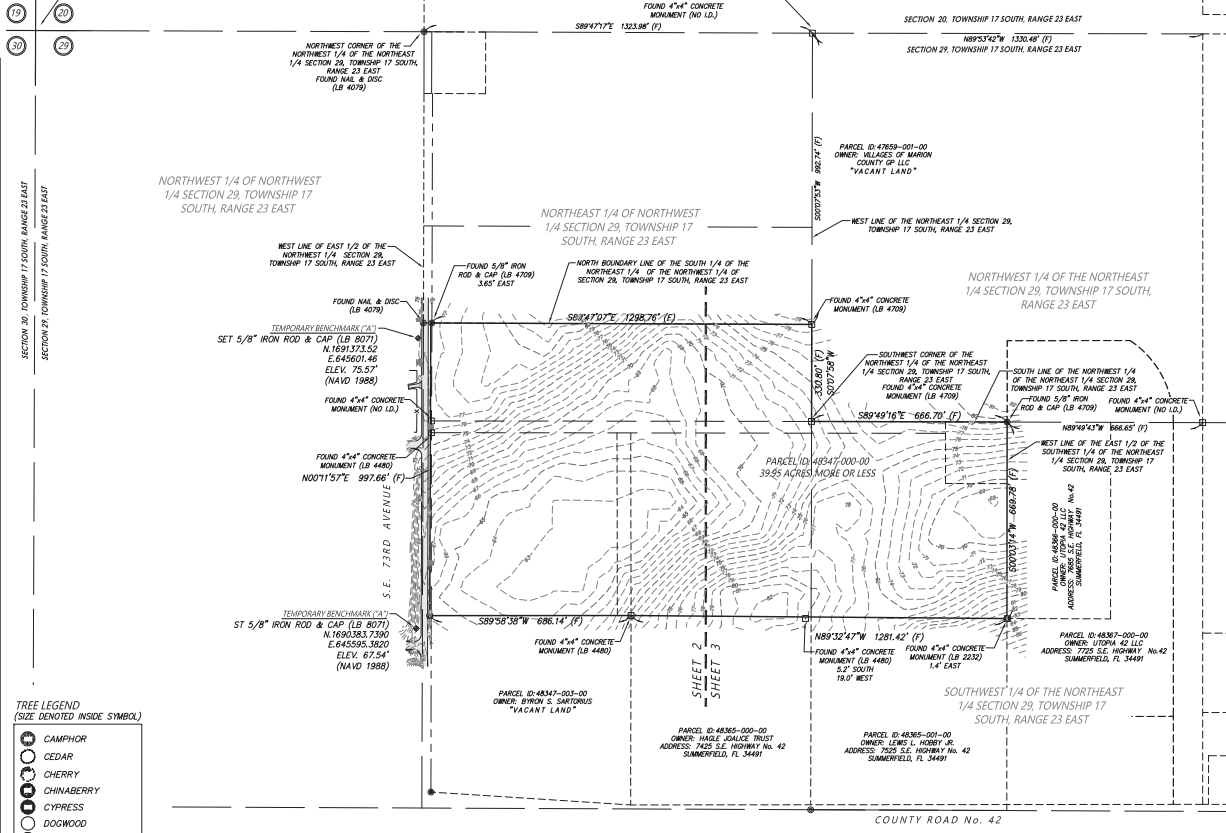
NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

# BOUNDARY AND TOPOGRAPHIC SURVEY FOR: HERITAGE OAKS

## A PORTION OF SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST MARION COUNTY, FLORIDA

FL DEPARTMENT OF NATURAL RESOURCES  
CERTIFIED CORNER RECORD  
DOCUMENT # 008657

FL DEPARTMENT OF NATURAL RESOURCES  
CERTIFIED CORNER RECORD  
DOCUMENT # 008658



- LEGEND AND ABBREVIATIONS:**
- ± MORE OR LESS
  - EL ELEVATION
  - LB LICENSED BUSINESS
  - NO NUMBER
  - LS LAND SURVEYOR
  - LD IDENTIFICATION
  - ORB OFFICIAL RECORDS BOOK
  - C CENTERLINE
  - R RADIUS
  - L ARC LENGTH
  - Δ DELTA (CENTRAL ANGLE)
  - (P) PLAT MEASURE
  - (D) DEED MEASURE
  - (C) CALCULATED MEASURE
  - C.D. CHORD LENGTH
  - C.B. CHORD BEARING
  - P.O.C. POINT ON CURVE
  - P.C. POINT OF CURVATURE
  - P.C.C. POINT OF COMPOUND CURVATURE
  - P.R.C. POINT OF REVERSE CURVATURE
  - P.T. POINT OF TANGENCY
  - P.I. POINT OF INTERSECTION
  - P.O.C. POINT OF COMMENCEMENT
  - P.O.B. POINT OF BEGINNING
  - FEMA FEDERAL EMERGENCY MANAGEMENT AGENCY
  - DIP DUCTILE IRON PIPE
  - PVC POLYVINYL CHLORIDE
  - CMP CORRUGATED METAL PIPE
  - RFC REINFORCED CONCRETE PIPE
  - HDP HIGH DENSITY POLYETHYLENE
  - NAVD NORTH AMERICAN VERTICAL DATUM
  - NGVD NATIONAL GEODETIC VERTICAL DATUM
  - PIS PLAT BOOK
  - ORB OFFICIAL RECORDS BOOK
  - PG(S) PAGE(S)
  - R/W RIGHT OF WAY
  - ESMT EASEMENT
  - SEC SECTION
  - FND FOUND
  - REC RECOVERED
  - CCR CERTIFIED CORNER RECORD
  - RLS REGISTERED LAND SURVEYOR
  - CM CONCRETE MONUMENT
  - IR IRON ROD AND CAP
  - IP IRON PIPE
  - CLF CHAIN LINK FENCE
  - CG CURB INLET GRATE
  - CB CATCH BASIN
  - SM STORM MANHOLE
  - ME MITERED END SECTION
  - YD YARD DRAINAGE
  - SM SANITARY MANHOLE
  - SG SANITARY GLEANOUT
  - EM ELECTRIC METER
  - ER ELECTRIC RISER BOX
  - CTV CABLE TELEVISION RISER BOX
  - TR TELEPHONE RISER BOX
  - UR UTILITY RISER
  - W WELL
  - WS WATER SPOUT
  - ICV IRRIGATION CONTROL VALVE
  - WM WATER METER
  - WV WATER VALVE
  - FD FIRE HYDRANT
  - BF BACKFLOW PREVENTER
  - AC AIR CONDITIONER PAD
  - GV GAS VALVE
  - GM GAS METER
  - GLM GAS LINE MARKER
  - CU CONCRETE UTILITY POLE
  - MP METAL UTILITY POLE
  - WU WOOD UTILITY POLE
  - UP UTILITY POLE GUY ANCHOR
  - LP LIGHT POLE
  - SFL SPOT/FLOOD LIGHT
  - ET ELECTRIC TRANSFORMER
  - EV ELECTRIC VALVE
  - MF METLAND FLAG
  - SI SIGN
  - B BOLLARD
  - FP FLAG POLE
  - M MAILBOX
  - CMC FOUND 4"x4" CONCRETE MONUMENT (AS NOTED)
  - IRI FOUND 1/2" IRON ROD & CAP (AS NOTED)
  - IRI FOUND 3/8" IRON ROD & CAP (AS NOTED)
  - IRI FOUND NAIL & DISC (AS NOTED)
  - SET SET 5/8" IRON ROD & CAP (LB 8071)
  - CB CONTROL/BENCHMARK AS DESCRIBED
  - LINE BREAK
  - FENCE LINE AS NOTED
  - APPROXIMATE TOP OF BANK
  - APPROXIMATE TOE OF SLOPE
  - EXISTING CONTOUR
  - STORM DRAINAGE LINE

- TREE LEGEND (SIZE DENOTED INSIDE SYMBOL)**
- CAMPFIRE
  - CEDAR
  - CHERRY
  - CHINABERRY
  - CYPRESS
  - DOGWOOD
  - ELM
  - GUM
  - HICKORY
  - HOLLY
  - LAUREL OAK
  - LIVE OAK
  - MAGNOLIA
  - MAPLE
  - MIMOSA
  - MISC
  - OAK
  - PALM
  - PECAN
  - PINE TREE
  - SUGAR HACKBERRY
  - SYCAMORE

**LEGAL DESCRIPTION:**  
(PER OFFICIAL RECORDS BOOK 4777, PAGE 39)

THE NW 1/4 OF THE SW 1/4 OF THE NE 1/4 OF THE SE 1/4 OF THE NW 1/4, EXCEPT THE SOUTH 422.52 FEET OF THE WEST 46.75 FEET THEREOF; AND THE NORTH 40.00 FEET OF THE NW 1/4 OF THE SE 1/4 OF THE NW 1/4, EXCEPT THE WEST 25.00 FEET THEREOF FOR ROAD RIGHT OF WAY; ALL IN SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST; AND EXCEPT THE NORTH 210 FEET OF THE EAST 210 FEET OF THE NW 1/4 OF THE SW 1/4 OF THE NE 1/4 OF SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST.

(PER OFFICIAL RECORDS BOOK 2804, PAGE 1714)

THE NW 1/4 OF THE SE 1/4 OF THE NW 1/4 OF SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY; EXCEPT THE NORTH 40.00 FEET AND EXCEPT THE WEST 25.00 FEET THEREOF.

AND

THE SOUTH 622.52 FEET OF THE WEST 46.75 FEET OF THE NE 1/4 OF THE SE 1/4 OF THE NW 1/4 OF SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA.

**LEGAL DESCRIPTION (CONTINUE)**  
(PER OFFICIAL RECORDS BOOK 2268, PAGE 1828)

THE NORTH 210.00 FEET OF THE EAST 210.00 FEET OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF THE EAST 210.00 FEET OF SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA; TOGETHER WITH A NON EXCLUSIVE EASEMENT ON AND ACROSS THE NORTH 40.00 FEET OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF THE EAST 210.00 FEET OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA; EXCEPT THE WEST 25.00 FEET FOR RIGHT OF WAY.

(PER OFFICIAL RECORDS BOOK 2015, PAGE 1336)

THE SOUTH 1/4 OF THE NE 1/4 OF THE NW 1/4 OF SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA, EXCEPT THE WEST 25.00 FEET THEREOF FOR ROAD RIGHT OF WAY.

- SURVEY NOTES:**
1. DATE OF FIELD SURVEY: NOVEMBER 15TH, 2022
  2. BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83), WITH 2011 ADJUSTMENT AS DERIVED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION VIRTUAL REFERENCE STATION NETWORK.
  3. BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 12083C0880, EFFECTIVE DATE OF AUGUST 28, 2008, THE PROPERTY DESCRIBED HEREON LIES WITHIN FLOOD ZONE "X" AN AREA OF MINIMAL FLOOD HAZARD.
  4. UNDERGROUND FOUNDATIONS AND UTILITIES WERE NOT LOCATED AS PART OF THIS SURVEY.
  5. NORTH-SOUTH AND EAST-WEST TIES TO FOUND MONUMENTATION AND IMPROVEMENTS ARE BASED ON CARDINAL DIRECTION.
  6. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
  7. THIS SURVEY DEPICTS THE PROPERTY AS IT EXISTED ON THE SURVEY DATE, NOT NECESSARILY THE SIGNATURE DATE.
  8. THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT OF THE PARTY(IES) NAMED HEREON, AND SHALL NOT BE DUPLICATED OR RELED UPON BY ANY OTHER INDIVIDUAL OR ENTITY WITHOUT AUTHORIZATION FROM JCH CONSULTING GROUP, INC.
  9. ORIENTATION FOR THE IMPROVEMENTS SHOWN HEREON SHOULD NOT BE USED TO RECONSTRUCT BOUNDARY LINES.
  10. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON SURFACE EVIDENCE OF LOCATIONS PROVIDED BY SUNSHINE STATE ONE CALL TICKET NO. 300206133. LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WERE NOT VERIFIED BY JCH CONSULTING GROUP, INC.
  11. TOPOGRAPHIC DATA AND TREE LOCATIONS ARE BASED ON AREA AS SPECIFIED BY CLIENT.
  12. VERTICAL DATUM IS BASED ON NATIONAL GEODETIC SURVEY CONTROL POINT U 753, ELEVATION 102.52' (NAVD 1988).

**PROPERTY DATA:**  
PARCEL ID: 48347-000-00  
OWNER: HERITAGE OAKS LLC  
ADDRESS: 16200 S.E. 73RD AVENUE  
SUMMERFIELD, FL 34491

**SURVEYOR'S CERTIFICATE:**  
I HEREBY CERTIFY THIS SURVEY MEETS THE APPLICABLE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 507.050-052, PURSUANT TO SECTION 472.022, FLORIDA STATUTES.

CHRISTOPHER J. NOWSON  
FLORIDA LICENSED SURVEYOR & MAPPER NO. 6553  
DATE \_\_\_\_\_  
THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.  
(CERTIFICATE OF AUTHORIZATION NO. LB 8071)



**JCH CONSULTING GROUP, INC.**  
PLANNING • ENGINEERING • SURVEYING  
16200 S.E. 73RD AVENUE, SUITE 100  
SUMMERFIELD, FL 34491  
TEL: 352.486.8600

NO.	REVISIONS	BY	DATE

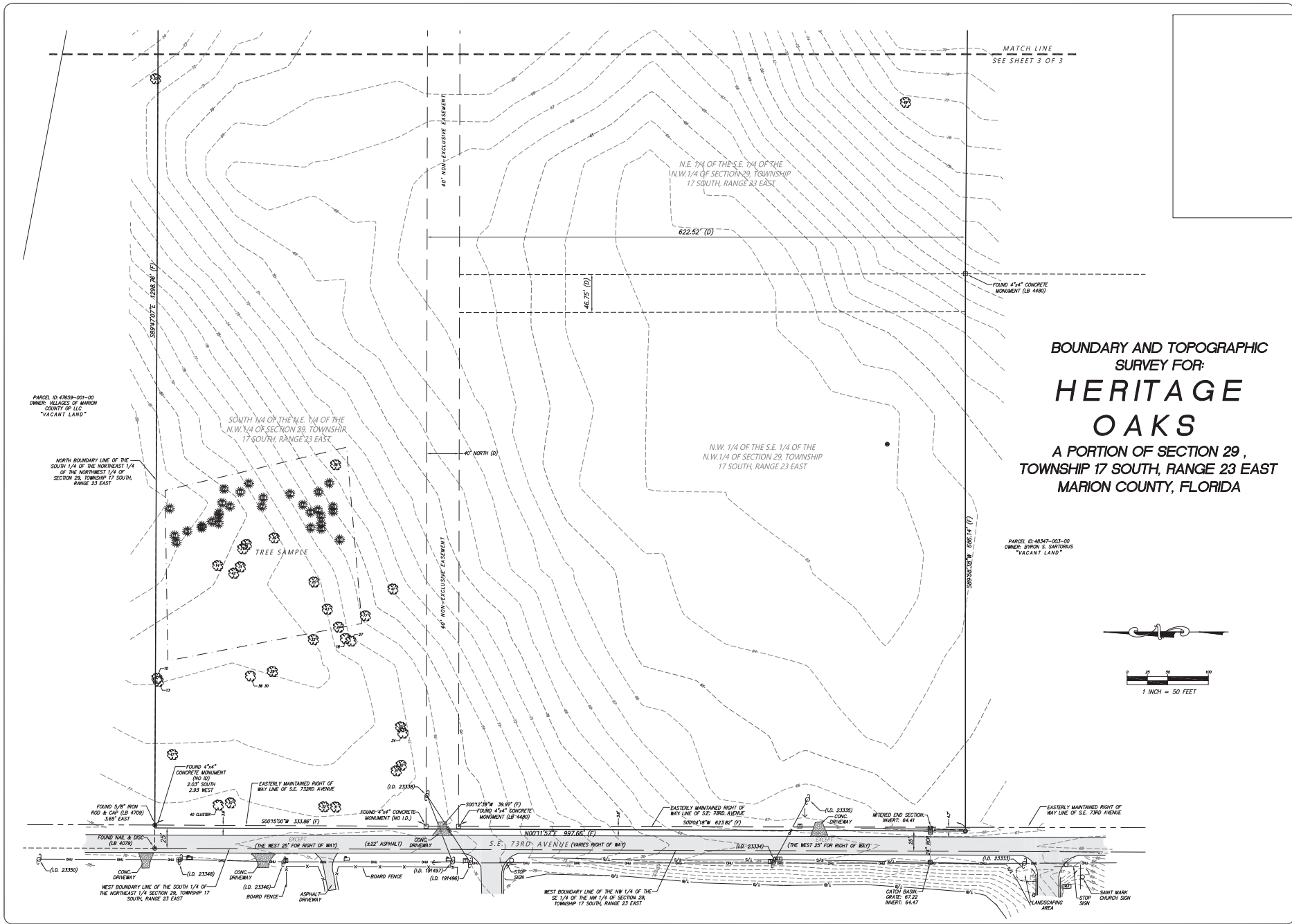
**PLAT OF BOUNDARY AND TOPOGRAPHIC SURVEY -FOR- SOUTHEAST 73RD AVE LLC**

FIELD BOOK/PLAT: 24-6-86243  
24-6-86243  
22-9-7/11 15-17

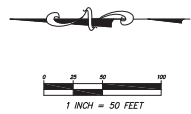
FILE: HERITAGE OAKS

J.C.O.#221820  
DWG.# 221820  
SHT 1 OF 3





BOUNDARY AND TOPOGRAPHIC SURVEY FOR:  
**HERITAGE OAKS**  
 A PORTION OF SECTION 29,  
 TOWNSHIP 17 SOUTH, RANGE 23 EAST  
 MARION COUNTY, FLORIDA



NO.	REVISIONS	BY	DATE

M.A.	C.J.H.	C.J.H.
DRAWN:	REVISIONS:	APPROVED:
REVISIONS:	CHECKED:	CHECKED:

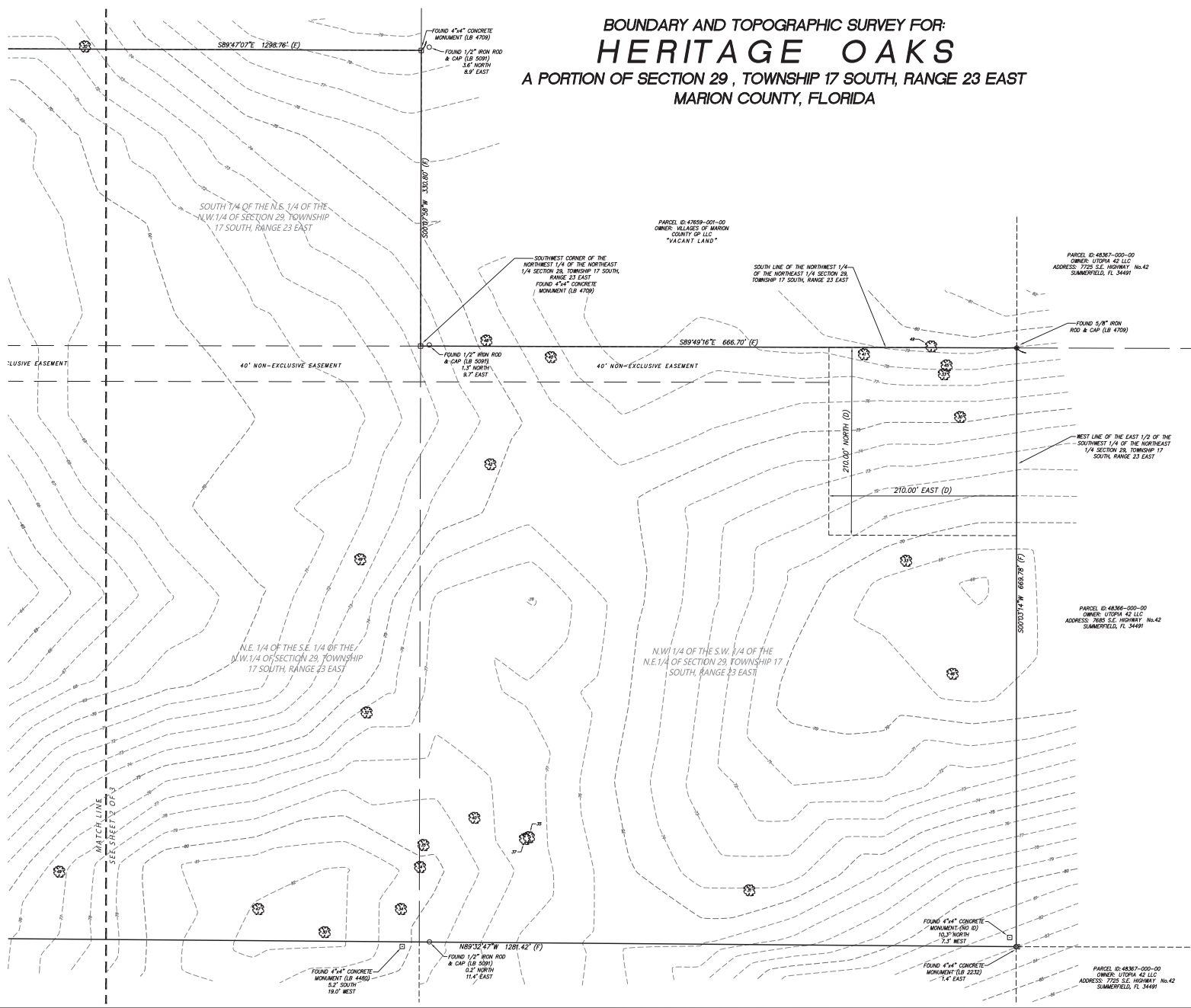
**JCH**  
 CONSULTING GROUP, INC.  
 PLANNING - ENVIRONMENTAL - CIVIL  
 & LAND DEVELOPMENT SERVICES  
 1000 W. STATE ROAD 100, SUITE 100  
 MARION COUNTY, FLORIDA 32003  
 PHONE: 352.241.1111 FAX: 352.241.1112

**PLAT OF BOUNDARY AND TOPOGRAPHIC SURVEY -FOR- SOUTHEAST 73RD AVE LLC**

FIELD BOOK/PLATE:  
 24-68283  
 22-9711 15-17  
 FILE: HERITAGE OAKS

J.D.#221820  
 DWG.# 221820  
 SHIT 2 OF 3

**BOUNDARY AND TOPOGRAPHIC SURVEY FOR:**  
**HERITAGE OAKS**  
 A PORTION OF SECTION 29, TOWNSHIP 17 SOUTH, RANGE 23 EAST  
 MARION COUNTY, FLORIDA



NO.	REVISIONS	BY	DATE

M.A.	C.J.H.
DRAWN:	
REVISED:	
CHECKED:	
APPROVED:	
SCALE: 1" = 50'	

**JCH**  
 CONSULTING GROUP, INC.  
 PLANNING - ENVIRONMENTAL - CIVIL  
 LAND DEVELOPMENT - SURVEYING - ALTIMETRY

**PLAT OF BOUNDARY AND TOPOGRAPHIC SURVEY -FOR- SOUTHEAST 73RD AVE LLC**

FIELD BOOK REFERENCE:  
 22-6-82-83  
 22-9-71-15-17

FILE: HERITAGE OAKS

J.O.#221820  
 DWG.# 221820  
 SHIT 3 OF 3