



SUBMITTAL SUMMARY REPORT 31743

PLAN NAME: DUNNELLO COMMUNITY CHURCH

LOCATION: 7221 S US HWY 41
DUNNELLO,

APPLICATION DATE: 07/03/2024

PARCEL: 32909-020-02

DESCRIPTION:

CONTACTS	NAME	COMPANY
Applicant	Radcliffe Engineering	Michael W. Radcliffe Engineering, Inc.
Engineer of Record	Radcliffe Engineering	Michael W. Radcliffe Engineering, Inc.

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.	05/27/2025	06/03/2025	11/18/2025	Approved
OCE: Plan Review Revision (DR) v.	12/12/2025	12/30/2025	01/27/2026	Requires Re-submit
OCE: Plan Review Revision (DR) v.	02/18/2026	02/25/2026	03/03/2026	Approved

SUBMITTAL DETAILS

OCE: Plan Review Revision (DR) v.1

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Caroline Dennison	12/30/2025	12/24/2025	Approved
Environmental Health (Plans) (Environmental Health)	Evan Searcy	12/30/2025	01/08/2026	Approved
<i>Comments</i>	Septic permit will be through the Department of Environmental Protection			
Fire Marshal (Plans) (Fire)	Jonathan Kenning	12/30/2025	12/12/2025	Approved
<i>Comments</i>	Previously Approved			
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Sarah Wells	12/30/2025	12/23/2025	Approved
Landscape (Plans) (Parks and Recreation)	Susan Heyen	12/30/2025	12/15/2025	Deny
<i>Comments</i>	See comments on landscape and irrigation plans			
OCE Design (Plans) (Office of the County Engineer)	Jack Dingman	12/30/2025	01/26/2026	Requires Re-submit
<i>Corrections</i>	6.2.1.A. - Licensed Professional (Resolved) - 6.2.1.A. - Licensed Professional: Plans shall be prepared by a professional licensed by the State of Florida. The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet. The same shall be provided on the cover page of any supporting documents and calculations.			
<i>Corrections</i>	6.2.1.B.-F. - Requirements (Resolved) - 6.2.1.B.-F. - Requirements: Technical standards and requirements as listed in Section 6.2.1.B. through F. of the LDC			
<i>Corrections</i>	2.21.2.A - Multi-phase Major Site Plans (Resolved) - 2.21.2.A - Multi-phase Major Site Plans: Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application			
<i>Corrections</i>	2.12.4.E & 6.2.1.A - Licensed Professional (Resolved) - 2.12.4.E & 6.2.1.A - Licensed Professional: 2.12.4.E & 6.2.1.A - The name, address, phone number, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet			
<i>Corrections</i>	2.21.2.A - Multi-phase Major Site Plans (Resolved) - 2.21.2.A - Multi-phase Major Site Plans: Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application			
<i>Corrections</i>	2.12.4 - Front page of the plan (Resolved) - 2.12.4 - Front page of the plan: Front page of the plan shall minimally include A through L of this section of the LDC.			
<i>Corrections</i>	2.12.4.I & 6.2.1.D - Index of sheets and numbering (Not Resolved) - 2.12.4.I & 6.2.1.D - Index of sheets and numbering: Index of sheets; All sheets shall indicate each sheet number and the total number of sheets. Cross references between sheets is required			
<i>Corrections</i>	2.1.3 - Order of plan approval (Resolved) - 2.1.3 - Order of plan approval: Plans listed may be reviewed concurrently, but must be approved in the order listed at the link below, when applicable and when the proper land use and zoning are in place			
<i>Corrections</i>	2.12.3 - Title block (Resolved) - 2.12.3 - Title block: Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions			
<i>Corrections</i>	Legal Documents (Resolved) - Legal Documents			
<i>Corrections</i>	2.18.2.G Utility Easements (Resolved) - 2.18.2.G Utility Easements: Easement requirements of each utility shall be indicated by the utility on a copy of the Preliminary Plat or by letter. (Letters/emails of easement acceptance due with improvement plan.)			
<i>Corrections</i>	Additional Design Comments (Resolved) - Additional Comments:			

SUBMITTAL SUMMARY REPORT (31743)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	12/30/2025	01/06/2026	Informational

Comments

DEPARTMENT: ENRAA - ACQ AGENT ENG ROW
 REVIEW ITEM: Major Site Plan
 STATUS OF REVIEW: INFO
 REMARKS: Verified owner with Sunbiz and check project list. HR 7.30.24
 IF APPLICABLE:
 Sec. 2.18.2.I Show connections to other phases.
 Sec. 2.19.2.H. Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.
 Required Right of Way Dedication (select as appropriate)
 Sec. 6.3.1.D.(1)(b)1. For Public Streets. "[All streets and right of way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."
 Sec. 6.3.1.D.(1)(b)2. For Non-Public Streets. "[All streets and right of way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."
 Sec. 6.3.1.D.(1)(b)3. For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."
 Sec. 6.3.1.D.(1)(c)1&2 Utility Easements, select as appropriate:
 1. "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."
 2. "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
 Sec. 6.3.1.D.(1)(d)1.2.3. Stormwater easements and facilities, select as appropriate:
 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."
 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedicated language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."
 Sec. 6.3.1.D.(1)(f). If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Kevin Vickers	12/30/2025	12/29/2025	Approved
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Recommendations 6.13.10.B Copy of NPDES Permit or NOI - Please provide a copy of the NPDES permit or NOI prior to construction.

Recommendations Additional Stormwater comments - If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.

Recommendations Copy of District Permit (County Interest) - Please provide a copy of the District permit prior to construction.

OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	12/30/2025	12/17/2025	Approved
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OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	12/30/2025	12/12/2025	Requires Re-submit
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Corrections 6.11.4.B - Cross access (Not Resolved) - 6.11.4.B - Cross access: Provide a 24' wide paved cross access easement as specified in 6.11.4.B

Utilities (OCE Plans) (Utilities)	Heather Proctor	12/30/2025	12/30/2025	Approved
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Comments Parcel 32909-020-02 is located within the Marion County Utilities service area but is currently outside the connection distance to public water and wastewater services.

- REVIEW SESSION FILES:**
- DCC - EnvironExemption.pdf
 - DCC - Fema Firmette.pdf
 - DCC - NRCS Soil.pdf
 - DCC - Quad.pdf
 - DCC - Survey.pdf
 - DCC - Wetlands.pdf
 - DCC - Karst.pdf
 - DCC Modified Major Site Plan 12-8-25.pdf
 - DCC- SP Mod 12-9-25 Sub Ltr.pdf
 - DCC Storm Report digital seal 12-8-25.pdf

REVIEWER	MARKUP	DATE/TIME	FILE NAME	PG #
Susan Heyen	50% Trees of one species for diversity 6.8.10.C.(d) - Oaks exceed 50%	12/15/2025 9:57	AMDCC Modified Major Site Plan 12-8-25.pdf	10
Susan Heyen	Provide size and spacing for all shrubs and groundcovers	12/15/2025 9:59	AMDCC Modified Major Site Plan 12-8-25.pdf	10
Susan Heyen	Provide required and proposed planting for all buffers - 6.8.2.H Required trees and shrubs/ proposed trees and shrubs	12/15/2025 10:05	AMDCC Modified Major Site Plan 12-8-25.pdf	10
Susan Heyen	Adjust graphics- trees shown in parking areas	12/15/2025 10:09	AMDCC Modified Major Site Plan 12-8-25.pdf	10

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eREVIEW SESSION FILES:
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 DCC- Karst.pdf
 DCC Modified Major Site Plan 12-8-25.pdf
 DCC- SP Mod 12-9-25 Sub Ltr.pdf
 DCC Storm Report digital seal 12-8-25.pdf

REVIEWER	MARKUP	DATE/TIME	FILE NAME	PG #
Susan Heyen	Provide irrigation for this buffer area	12/15/2025 10:12	AMDCC Modified Major Site Plan 12-8-25.pdf	11

OCE: Plan Review Revision (DR) v.2

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Jamie Waldron	02/25/2026	02/20/2026	Approved
Environmental Health (Plans) (Environmental Health)	Evan Searcy	02/25/2026	02/26/2026	Approved
Fire Marshal (Plans) (Fire)	Jonathan Kenning	02/25/2026	02/18/2026	Approved
<i>Comments</i>	Previously Approved			
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Sarah Wells	02/25/2026	02/18/2026	Approved
Landscape (Plans) (Parks and Recreation)	Susan Heyen	02/25/2026	02/18/2026	Approved
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	02/25/2026	02/23/2026	Approved
OCE Property Management (Plans) (Office of the County Engineer)	Elizabeth Woods	02/25/2026	02/26/2026	Informational

Comments

Verified owner with Sunbiz and check project list. HR 7.30.24
 IF APPLICABLE:
 Sec. 2.18.2.I Show connections to other phases.
 Sec. 2.19.2.H. Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.
 Required Right of Way Dedication (select as appropriate)
 Sec. 6.3.1.D.(1)(b)1. For Public Streets. "[All streets and right of way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."
 Sec. 6.3.1.D.(1)(b)2. For Non-Public Streets. "[All streets and right of way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."
 Sec. 6.3.1.D.(1)(b)3. For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."
 Sec. 6.3.1.D.(1)(c)1&2 Utility Easements, select as appropriate:
 1. "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."
 2. "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
 Sec. 6.3.1.D.(1)(d)1.2.3. Stormwater easements and facilities, select as appropriate:
 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."
 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedicated language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."
 Sec. 6.3.1.D.(1)(f). If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Kevin Vickers	02/23/2026	02/23/2026	Approved
<i>Recommendations</i>	Additional Stormwater comments - If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.			
<i>Recommendations</i>	Copy of District Permit (County Interest) - Please provide a copy of the District permit prior to construction.			
<i>Recommendations</i>	6.13.10.B <input type="checkbox"/> Copy of NPDES Permit or NOI - Please provide a copy of the NPDES permit or NOI prior to construction.			
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	02/25/2026	02/19/2026	Approved

SUBMITTAL SUMMARY REPORT (31743)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	02/25/2026	02/23/2026	Approved
<i>Corrections</i>	6.11.4.B - Cross access (Resolved) - 6.11.4.B - Cross access: Provide a 24' wide paved cross access easement as specified in 6.11.4.B			
Utilities (OCE Plans) (Utilities)	Heather Proctor	02/25/2026	02/24/2026	Approved
<i>Comments</i>	Previously approved - Parcel 32909-020-02 is located within the Marion County Utilities service area but is currently outside the connection distance to public water and wastewater services.			

OCE: Plan Review (DR) v.3

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)		06/03/2025	11/17/2025	Approved
<i>Comments</i>	YES 2.12.8 - Legal description matches boundary on plan YES 2.12.28 - Correct road names supplied YES 6.2.1.F - North arrow and graphic drawing and written scale N/A Additional 911 comments			
Environmental Health (Plans) (Environmental Health)		06/03/2025	11/17/2025	Approved
<i>Comments</i>	N/A Central Sewer YES Lot Size 3.69acres YES Total Flow 3gpd per seat 5gpd per meal if meals served on regular basis YES Available Area INFO DEP Water Approval Church will have well permitted through DEP N/A Operating Permit Required YES 2.12.6 - Location of septic systems & wells All portions of the septic system will need to be at least 100' from all potable wells. N/A 2.12.36 - Location of water & septic systems INFO Additional Health comments Septic permit and well permit will need to be applied for through the Department of Health in Marion County Well operating permit will be through DEP.			
Fire Marshal (Plans) (Fire)		06/03/2025	11/17/2025	Approved
<i>Comments</i>	YES 6.18.2 - Fire Flow/Fire Hydrant N/A 6.18.3 - Gated Communities/Properties N/A 6.18.4 - Wildland Interface Area N/A 6.18.5 - Access Control Box YES 6.18.2.D - Fire Department Connections N/A NFPA 1 Chapter 11.10.1 - In Building Minimum Radio Signal Strength YES 6.18.2.G - Painting and Marking of Fire Hydrants YES NFPA 1 Chapter 18.2.3 - Fire Dept Access Roads YES Additional Fire comments			
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Kathleen Brugnoli	06/03/2025	11/17/2025	Approved

SUBMITTAL SUMMARY REPORT (31743)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Landscape (Plans) (Parks and Recreation)		06/03/2025	11/17/2025	Approved
<i>Comments</i>	<p>YES 2.12.18 - All trees 10" DBH and larger Please clarify "unknown trees", invasive exotics shall be removed from site</p> <p>N/A 2.12.25 - Marion Friendly Landscape Areas</p> <p>YES 6.7.3 - Tree protection All trees to be preserved used in the buffer areas shall be assessed for viability prior to plan approval.</p> <p>YES 6.7.4 - Shade tree requirements</p> <p>YES 6.7.6 - Tree removal submittal requirements 1. Please clarify why existing shade tree and acreage differs from pre development tree inches and acreage</p> <p>YES 6.7.8 - Protected tree replacement requirements</p> <p>YES 6.7.9 - Replacement trees; general requirements</p> <p>YES 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes)</p> <p>YES 6.8.3 - Landscape design standards 1. Landscape Hatch is confusing, will entire area be landscaped or is this denoting mulched areas? 2. Label each area of landscape 3. Confirm plant quantities, ex=40 DCJ will not cover area on plan, 6 SP's on plan, labeled as 5 4. Shade trees shall be a min of 20 feet from buildings</p> <p>YES 6.8.4 - Landscape area requirements for non-residential development Provide landscape area calculations</p> <p>N/A 6.8.5 - Landscape area requirements for residential and mixed use developments</p> <p>YES 6.8.6 - Buffers 1. Waiver required to modify type C buffer from 15' to 10' 2. Crape Myrtle does not provide year round screening, use evergreen ornamental trees. 3. Crape Myrtle is not considered a shade tree</p> <p>YES 6.8.7 - Parking areas and vehicular use areas 1. Recommend</p> <p>YES 6.8.8 - Building landscaping</p> <p>YES 6.8.9 - Service and equipment areas Show dumpster screening</p> <p>N/A 6.13.3.C(5) - Landscaping of public stormwater management facilities</p> <p>YES 6.13.3.D(4) - Landscaping of private stormwater management facilities</p> <p>YES 6.8.10 - General planting requirements (specifications) Pine straw mulch is not recommended, it breaks down quickly and requires frequent replenishment, consider mini pine bark nuggets or other</p> <p>YES 6.8.11 - Landscape installation</p> <p>YES 6.8.12 - Landscape completion inspection requirements</p> <p>YES 6.9.2 - Irrigation plan requirements (details, legend, notes) Submitted plans to show signature and seal of design professional</p> <p>YES 6.9.3 - Irrigation design standards</p> <p>YES 6.9.5 - Irrigation system installation</p> <p>YES 6.9.6 - Completion inspection requirements</p> <p>YES 6.19.3 - Outdoor lighting plan requirements Submitted plans to show signature and seal of design professional</p> <p>YES 6.19.4 - Exterior lighting design standards</p> <p>N/A 5.5.4.B - Permitted uses within Springs Protection Overlay Zone</p> <p>YES Additional Landscape comments Irrigation and Photometric plans to be signed and sealed for submittal, per code</p>			

SUBMITTAL SUMMARY REPORT (31743)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Design (Plans) (Office of the County Engineer)		06/03/2025	11/17/2025	Approved

Comments

YES 2.21.2.B - Major Site Plan fee of \$1,000.00 + (\$10.00 x total site acreage) 5/27/25-fee due with resubmittal
5/9/25-fee due with resubmittal
3/12/25-fee due with resubmittal
7/30/24-fee due with resubmittal

N/A 2.21.2.B - Plan review fee of \$40.00 made payable to Marion County Health Department
N/A Traffic study / methodology fee of \$200.00 made payable to Marion County BCC is required prior to plan approval. Refer to Resolution 10-R-630 for the current fee schedule.

N/A 2.1.6.A - \$100 Resubmittal fee payable to Marion County BCC
N/A 2.1.7.A - \$100 Revision fee payable to Marion County BCC
N/A 2.1.3 - Order of plan approval

YES 2.12.3 - Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions

YES 2.12.4.A - Type of application on front page
YES 2.12.4.B - Project name centered at top of front page
YES 2.12.4.C - Name, address, phone number, and signature of owner and applicant on front sheet
YES 2.12.4.D - Owner's certification on front sheet: I hereby certify that I, my successors, and assigns shall perpetually maintain the improvements as shown on this plan
YES 2.12.4.E - The name, address, phone number, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet

YES 6.2.1.A - Name, street address, signature, date, license number, and seal of licensed professional on each sheet
YES 2.12.4.F - Licensed professional certification on cover sheet with signature and seal on all sheets after plan approval
YES 2.12.4.F(1) - Licensed Design Professional Certification: I hereby certify that these plans and calculations were completed in accordance with all applicable requirements of the Marion County Land Development Code, except as waived.
YES 2.12.4.G - A key location or vicinity map, with north arrow, with reference to surrounding properties, streets, municipal boundaries, sections, ranges, and township
YES 2.12.4.H - A portrait oriented minimal 3 inches x 5 inches space, located 2.75 inches from the right edge of paper and .75 inches from the top edge of paper, shall remain blank to allow for a County approval stamp
YES 2.12.4.I & 6.2.1.D - Index of sheets and numbering
INFO 2.12.4.K - List of approved waivers, their conditions, and the date of approval 7/30/24-add waivers if requested in future
YES 2.12.4.L(1) - Parcel number
YES 2.12.7 - A digital version of the plan in a format pre-approved by the Office of the County Engineer
YES 2.21.2.A - Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application
YES 6.2.1.B - Plans shall be legible and meet typical industry standards
YES 6.2.1.C - Standardized sheet size shall be 24" x 36"
YES 6.2.1.F - North arrow and graphic drawing and written scale 7/30/24-Include graphic drawing scale

N/A Legal Documents

INFO Additional Development Review Comments After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

SUBMITTAL SUMMARY REPORT (31743)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)		06/03/2025	11/17/2025	Approved
<i>Comments</i>	YES Major Site Plan ROW has no further comments/ EMW 9.5.25			

Verified owner with Sunbiz and check project list. HR 7.30.24

IF APPLICABLE:

Sec. 2.18.2.I Show connections to other phases.

Sec. 2.19.2.H. Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Required Right of Way Dedication (select as appropriate)

Sec. 6.3.1.D.(1)(b)1. For Public Streets. "[All streets and right of way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.D.(1)(b)2. For Non-Public Streets. "[All streets and right of way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

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Sec. 6.3.1.D.(1)(c)1&2 Utility Easements, select as appropriate:

1. "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

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Sec. 6.3.1.D.(1)(d)1.2.3. Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedicated language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.(1)(f). If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

SUBMITTAL SUMMARY REPORT (31743)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Stormwater (Permits & Plans) (Office of the County Engineer)		06/03/2025	11/17/2025	Approved

Comments

YES 2.12.4.L(9)(b) - Data Block (Impervious Area)
YES 2.12.8 - Topographical Contours (1) LDC requires that the survey have been performed in the last 12 months. (2) LDC requires that one-foot contours extend 100 feet beyond the project boundary. (3) Per the County's 2023 Aerial there appears to be two outfall structures (north and east) to the existing DRA. The survey doesn't appear to reflect this. Please clarify.
YES 2.12.9/10 - Existing Drainage Right-of-Way/Easements
YES 2.12.9/10 - Proposed Drainage Right-of-Way/Easements
YES 2.12.13/14/15 - General Exhibits
N/A 2.12.20 - Stormwater Infrastructure Supports Phasing
YES 2.12.38 - Stormwater Maintenance Entity
YES 6.13.2.C - Geotechnical Investigation Report
YES 6.13.7 - Geotechnical Criteria The LDC requires that for each retention/detention area utilizing percolation or infiltration in the design model, there shall be a minimum of two infiltration rate tests for each retention/detention area.
YES 6.13.2.A(1)/(2) - Contributing Basins/Tc
YES 6.13.2.B(1)/(2) - Runoff Analysis/ Tc Calculations
YES 6.13.2.A(4) - Stormwater Features & Connective Elements
YES 6.13.2.A(3) - Retention/Detention Area Design Parameters
YES 6.13.3 - Type of Stormwater Facility Criteria
YES 6.13.4 - Stormwater Quantity Criteria
YES 6.13.2.B(4) - Hydrologic Analysis
YES 6.13.4.C - Discharge Conditions
YES 6.13.2.B(6) - Freeboard
YES 6.13.4.D - Recovery Analysis
N/A 6.13.5 - Flood Plain & Protection
YES 6.13.2.A(8) - Finish Floor Elevation Criteria
YES 6.13.6 - Stormwater Quality Criteria
N/A 6.12.6 - Roadway Flooding Level of Service
N/A 6.13.6.B - Alternative Treatment Techniques
YES 6.13.6.C - Best Management Practices
YES 6.13.8 - Stormwater Conveyance Criteria
YES 6.13.2.B(5) - Hydraulic Analysis
N/A 6.13.8.B(3) - Lane Spread Calculations
YES 6.13.2.A(9) - Access Accommodates Stormwater
YES 6.13.8.B(7) - Minimum Pipe Size
YES 6.13.2.A(5) - Existing/Proposed Stormwater Structures
YES 6.13.2.A(6) - Existing/Proposed Stormwater Pipes
YES 6.13.2.A(7) - Existing/Proposed Stormwater Swales
YES 6.13.9 - Grading Criteria The proposed grading in the SW corner of the property appears to be creating a small berm to redirect drainage from US 41 to the parcel to the south. Please clarify. If this is the plan, written authorization from FDOT must be obtained and submitted with this project for approval.
YES 6.13.2.A(11)(a) - Construction Entrance
YES 6.13.2.A(11)(b) - Erosion Control
YES 6.13.2.A(12)/6.12.5 - Stormwater Details, Cross Sections, References
YES 6.13.2.B(8) - Calculation & Plan Consistency
INFO 6.13.10.B - Copy of NPDES Permit or NOI Please provide a copy of the NPDES permit or NOI prior to construction.
INFO Copy of District Permit (County Interest) Please provide a copy of the District permit prior to construction.
YES 6.10 - Karst Topography and High Recharge Areas Please provide a signed & sealed Karst analysis.
YES 7.1.3 - Drainage Construction Specifications
YES 6.13.12 - Operation and Maintenance
YES Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.
INFO Additional Stormwater comments If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.

SUBMITTAL SUMMARY REPORT (31743)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Survey (Plans) (Office of the County Engineer)		06/03/2025	11/17/2025	Approved
<i>Comments</i>	YES 6.2.1.A - The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet. YES 6.2.1.E - Provide drawing legend YES 6.2.1.F - Provide north arrow and graphic drawing and written scale YES 6.4.7.A(1) - Show a minimum of two bench marks per site YES 6.4.7.A(2 & 3) - Bench mark information shown N/A 6.4.7.A(2 & 3) - One copy of the vertical control field notes shall be submitted to the Office of the County Engineer for review YES 6.4.7.B(1) - Show a minimum of two intervisible horizontal control points per site YES 6.4.7.B(2) - Horizontal control points shall be monumented and referenced to the Florida State Plane Coordinate System YES 6.4.7.B(4) - Provide a statement or table detailing horizontal datum, adjustment, and coordinate values N/A 6.4.7.B(4) - One copy of the horizontal control notes along with reduction reports shall be submitted to the Office of the County Engineer for review YES 6.4.7.D - The location of the existing one percent (100-year) flood plain as shown on FEMA FIRM, with zone, elevation, and vertical datum noted YES 6.4.7.D - A note shall appear on the construction plans detailing source and survey field methods used to obtain and delineate the flood plain line shown YES 6.4.7.E - Line and curve table must be shown on the sheet to which they apply YES 6.4.7.F - All abbreviations used shall be clearly defined in the legend YES 2.12.4.F.(2) - Surveyor and Mapper certification YES 2.12.4.G - Show a location or vicinity map YES 2.12.8 - Provide current boundary and topographic survey less than one year old YES 2.12.9 - Provide location and dimensions of all rights-of-way serving the project YES 2.12.10 - Show any known existing or proposed easement or land reservation YES 2.12.11 - Provide an aerial map of the site with a layout of the development YES 2.12.32 - Provide site analysis map depicting the existing (100-year) flood plain N/A Additional Survey comments			

OCE Traffic (Permits & Plans) (Office of the County Engineer)		06/03/2025	11/17/2025	Approved
<i>Comments</i>	YES 2.12.9 - Location and dimensions of streets and right-of-way N/A 2.12.20 - Phases of development N/A 2.12.30 - Route Plan N/A 2.12.38 - Maintenance of improvements YES 6.2.1.E - Drawing legend YES 6.11.3 - Traffic Impact Analysis 8/5/24 - Provide a traffic statement indicating less than 50 peak hour trips during a typical weekday. INFO 6.11.4.B - Cross access 9/4/25 - Ensure cross-access easement and paving covenant have been properly recorded; contact Land Development Manager with any questions or to finalize as needed. 6/4/25 - Cross-access easement is correct as shown - contact the Office of the County Engineer Right-of-Way office for recording the easement. 5/12/25 - Per follow-up discussion with applicant, it was discussed that access to W HWY 40 was prohibited due to a stated SUP condition. Cross-access parallel to W HWY 40 will need to be redefined to connect to east-adjointing property boundary instead. A cross-access construction deviation letter was issued for this connection. 3/17/25 - Cross access and driveway locations are under review by the Office of the County Engineer in coordination with the applicant and FDOT. 8/5/24 - Staff supports a waiver request to change cross-access easement to a location parallel to US HWY 41 from and including the driveway extending to north property line with an updated covenant to pave when necessary. N/A 6.11.4.E - Sight triangle YES 6.11.5 - Driveway access 3/17/25 - Cross access and driveway locations are under review by the Office of the County Engineer in coordination with the applicant and FDOT. 8/5/24 - Proposed temporary driveway location and configuration creates conflict points which may result in queuing onto US HWY 41. Recommendation is to move temporary driveway north of the building as it is unlikely FDOT will approve a permanent driveway south of the building. Continue coordination with FDOT on driveway access and keep us informed on status, including evidence of approval. N/A 6.11.6 - Construction route N/A 6.11.9.A - Traffic signals YES 6.11.9.B - Traffic signs YES 6.11.9.C - Pavement marking N/A 6.12.1.A - Transportation Facilities - Purpose and Intent N/A 6.12.2 - Right-of-way N/A 6.12.11 - Turn lanes N/A 6.12.12 - Sidewalks N/A 6.12.13 - Utility position in right-of-way N/A Additional Traffic comments			

SUBMITTAL SUMMARY REPORT (31743)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Utilities (OCE Plans) (Utilities)		06/03/2025	11/17/2025	Approved
<i>Comments</i>	<p>N/A Marion County Utilities Contact Information</p> <p>YES Parcel numbers identified in project match proposed site plan layout 32909-020-02</p> <p>INFO 6.14.2.A(1) - Public water service area/provider MCU; os cnx - defer to DOH for well as shown on plan. Capacity Charge worksheet completed 5/13/25 to confirm connection distance.</p> <p>INFO 6.14.2.A(1) - Public sewer service area/provider MCU; os cnx - defer to DOH for septic as shown on plan. Capacity Charge worksheet completed 5/13/25 to confirm connection distance.</p> <p>N/A 6.14.2.A(1) - Letter of Availability and Capacity (w/Location Map of water and/or sewer as app) from provider</p> <p>N/A 6.14.2.A - Water Connection Requirements</p> <p>N/A 6.14.2.A - Sewer Connection Requirements</p> <p>N/A 6.14.2.C.2(e) - Grease Trap, FOG Worksheet</p> <p>N/A 6.14.2.C - Industrial Pretreatment</p> <p>YES 6.14.3 - Onsite Waste Treatment and Disposal System (OSTDS) - connection requirement on plan</p> <p>N/A 6.14.3.B - Springs Protection Zone</p> <p>N/A 6.14.4 - Water (potable) Capital Charges and Flow Rates - proposed use identified to calculate</p> <p>N/A 6.14.4 - Water (irrigation) Capital Charges and Flow Rates - total irrigated area identified</p> <p>N/A 6.14.4 - Sewer Capital Charges and Flow Rates - proposed use identified to calculate</p> <p>N/A 6.14.5.A(1) - Submittal Requirements - Existing on-site & off-site mains and service connections</p> <p>N/A 6.14.5.A(2) - Submittal Requirements - Proposed on-site & off-site mains and service connections</p> <p>N/A 6.14.5.A(3) - Submittal Requirements - Lift Stations layout, elevations, schedules</p> <p>N/A 6.14.5.A(6) - Submittal Requirements - Manhole locations, rim and invert elevations outside paved areas</p> <p>N/A 6.14.5.A(8) - Submittal Requirements - Connection to existing water system</p> <p>N/A 6.14.5.A(8) - Submittal Requirements - Connection to existing sanitary system</p> <p>N/A 6.14.5.B - Construction Notes - Cover, horiz/vert datums, construction requirements</p> <p>N/A 6.14.5.B - Construction Notes - UT DETAILS - current LDC version</p> <p>N/A 6.14.5.C - All issued permits related to this project shall be submitted to MCU (DOT, ROW, misc)</p> <p>N/A 6.14.5.C - DEP permit for water mains to be constructed/owned by MCU</p> <p>N/A 6.14.5.C - DEP permit for water mains to be constructed/owned by developer</p> <p>N/A 6.14.5.C - DEP permit for sewer mains to be constructed/owned by MCU</p> <p>N/A 6.14.5.C - DEP permit for sewer mains to be constructed/owned by developer</p> <p>N/A 6.14.5.D - Hydraulic Analysis</p> <p>N/A 6.14.6 - Design Criteria for Utility Systems to be owned/maintained by MCU</p> <p>N/A 6.14.7 - Construction Inspection - PLAN NOTE:</p> <p>N/A 6.14.8.A - Completion and Closeout - PLAN NOTE: As-builts</p> <p>N/A 6.14.9.A - Developer's Agreement</p> <p>N/A 6.14.9.B - Transfer of Facilities to Marion County Utilities - PLAN NOTE:</p> <p>N/A 6.14.9.B - Bill of Sale</p> <p>N/A 6.15.1 - Potable Water Distribution System</p> <p>N/A 6.15.2 - Decentralized Water System (WTP)</p> <p>INFO 6.15.3 - Fire Protection/Fire Flow Capacity Defer to Marion County Fire Rescue for fire flow demands and requirements. MCU will not be providing water to the parcel.</p> <p>N/A 6.15.4 - Water Main Piping Installation</p> <p>N/A 6.15.5 - Water Service and Connection</p> <p>N/A 6.15.6.A - Potable Water Metering - individual/banked, size</p> <p>N/A 6.15.6.B - Irrigation Water Metering - size</p> <p>N/A 6.15.6.C - Sewer service only (water meter required/shown)</p> <p>N/A 6.15.6.D - Meter Location</p> <p>N/A 6.15.6.E - Meter Easements</p> <p>N/A 6.15.6.F - Meter Boxes</p> <p>N/A 6.15.6.G & H - Meter Sizing</p> <p>N/A 6.15.7 - Cross Connection Control and Backflow Prevention</p> <p>N/A 6.15.8 - Public Water Well Standards</p> <p>N/A 6.15.9 - Wellfield and Water Supply</p> <p>N/A 6.15.10 - Water Treatment Plants (WTP)</p> <p>N/A 6.16.2 - Decentralized Wastewater Treatment Plant (WWTP)</p> <p>N/A 6.16.4 - Wastewater Collection Systems (Gravity/Pressurized) Design</p> <p>N/A 6.16.5.A & B - Private Wastewater Pump Stations</p> <p>N/A 6.16.5.C - Public Wastewater Pump Stations (MCU Standards)</p> <p>N/A 6.17 - Water Reclamation/Reuse Facilities</p> <p>N/A Article 7 - Construction Standards - PLAN NOTE:</p> <p>INFO Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities No review fee. Parcel is not connecting to MCU utilities.</p> <p>N/A Additional Utilities comments</p>			

General Notes:

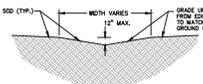
- 1. CONTRACTOR SHALL FILE A NO (NOTICE OF INTENT) WITH DEPT PRIOR TO CONSTRUCTION...
2. CONTRACTOR SHALL COOPERATE WITH THE FIRE DEPARTMENT FOR FIRE PROTECTION...
3. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND REPORT ANY DISCREPANCIES...
4. SITE CONTRACTOR SHALL COOPERATE WITH UTILITY COMPANIES FOR CONDUIT INSTALLATION...
5. OWNER TO COORDINATE WITH PROJECT ELECTRICAL CONTRACTOR FOR PARKING LOT LIGHTING...
6. SUBJECT TO EASEMENTS, RIGHTS OF WAY, RESTRICTIONS, AND RESERVATIONS OF RECORD...
7. ORIENTATION FOR THE APPROVED MAPS HEREON SHOULD NOT BE USED TO DETERMINE BOUNDARY...
8. REPRODUCTION OF THIS SHEET ARE NOT VALID UNLESS SEALED WITH AN EMPLOYED ENGINEER'S SEAL...
9. ALL STORMWATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION...
10. ALL DRAINAGE STRUCTURE INVERTS SHALL BE ADJUSTED TO ELIMINATE SHARP CORNERS UNLESS...
11. SURVEY INFORMATION PROVIDED BY WILLIAMS SURVEYING, INC.
12. UNLESS OTHERWISE SHOWN, UNDERGROUND IMPROVEMENTS NOT LOCATED PUBLIC RECORDS NOT SEARCHED...
13. NO CHANGE TO BE IN CONFORMANCE WITH THE COUNTY SIGN CODE AND IN ACCORDANCE WITH ALL APPLICABLE...
14. OWNER SHALL PROVIDE EXISTING SHEDS TO BE TIAKED, THEIR PROTECTION MUST BE INSTALLED AND...
15. UNDERGROUND IMPROVEMENTS AND UTILITIES, IF ANY, WERE NOT LOCATED, EXCEPT AS SHOWN.
16. ALL NON-CONDUCTIVE UNDERGROUND PIPING SHALL HAVE LOCATOR WIRE.
17. A TREE REMOVAL PERMIT IS REQUIRED BEFORE ANY TREES CAN BE REMOVED. TREES TO BE SAVED MUST...
18. LANDSCAPE A REPAIRS SHALL BE COMPLETED IN ACCORDANCE WITH THE REPAIR DETAIL.
19. THE SITE SHALL REMAIN FREE OF EXCESS DUST AND DEBRIS AT ALL TIMES ANY NOODICE OF PERSONAL...
20. PER DIVISION 22, SECTION 223.01(1) OF THE MARION COUNTY LAND DEVELOPMENT CODE, A RIGHT-OF-WAY...
21. ALL AREAS DISTURBED IN THE P/W DURING CONSTRUCTION SHALL BE RESTORED AND SEEDS ALLOW FOR...
22. IF THE CONTRACTOR ENCOUNTERS LIMESTONE DURING EXPANSION OF THE DRA (THE DRA WILL BE...
23. ALL STRIPING WITHIN COUNTY RIGHT-OF-WAY SHALL THERMOPLASTIC AND AT LEAST 4" WIDE WITH 24"...
24. ALTERNATE PIPE MATERIAL TO BE USED WITH PRIOR APPROVAL FROM THE PROJECT ENGINEER...
25. SOIL BORING INFORMATION SHOWN ON THIS PLAN SET IS COPIED DIRECTLY FROM GEOTECHNICAL REPORT...
26. A CERTIFIED AS-BUILT SURVEY SHALL BE PREPARED FOR THE PROJECT BY A FLORIDA LICENSED SURVEY...
27. TREE PLANTING & LANDSCAPING REQUIREMENTS:
28. Signs:
29. Outdoor Lighting:
30. Utility Contacts:
31. WATER & SEWER: MARION COUNTY UTILITIES DEPARTMENT (352) 438-2383
32. ELECTRIC: SECO (352) 237-4007
33. TELEPHONE: CENTURY LINK - DAN CARROLL (352) 368-8871
34. CABLE: CABLEVISION - CHRIS BILLETTE (352) 884-8000
35. GAS: MARION COUNTY GAS MAINTENANCE (352) 291-8000
36. GAS: TEGO PEOPLE GAS - MARIO SANMIGUEL (352) 291-5419

Water Notes:

- 1. A PROPOSED 4" WELL WILL SUPPLY POTABLE WATER, FIRE TANK AND IRRIGATION.
2. POTABLE WATER ESTIMATED DEMAND = 1,400 GALLONS PER DAY.
3. LANDSCAPE IRRIGATION ESTIMATED DEMAND = 2,400 GALLONS PER DAY.
4. A 36,000 GALLON FIRE STORAGE TANK WILL BE INSTALLED ON-SITE.
5. WATER LEVEL IN TANKS TO BE MAINTAINED BY WELL.
6. PROPOSED CHURN: 3 1/2 GPM PER SEAT
400 SEATS x 3 1/2 = 1,200 GPM
1,200 GPM x 2.0 = 2,400 GPD
7. 1,200 GPD x 2.0 = 2,400 GPD
8. 2,400 GPD x 2.0 = 4,800 GPD
9. 4,800 GPD x 2.0 = 9,600 GPD
10. 9,600 GPD x 2.0 = 19,200 GPD
11. 19,200 GPD x 2.0 = 38,400 GPD
12. 38,400 GPD x 2.0 = 76,800 GPD
13. 76,800 GPD x 2.0 = 153,600 GPD
14. 153,600 GPD x 2.0 = 307,200 GPD
15. 307,200 GPD x 2.0 = 614,400 GPD
16. 614,400 GPD x 2.0 = 1,228,800 GPD
17. 1,228,800 GPD x 2.0 = 2,457,600 GPD
18. 2,457,600 GPD x 2.0 = 4,915,200 GPD
19. 4,915,200 GPD x 2.0 = 9,830,400 GPD
20. 9,830,400 GPD x 2.0 = 19,660,800 GPD
21. 19,660,800 GPD x 2.0 = 39,321,600 GPD
22. 39,321,600 GPD x 2.0 = 78,643,200 GPD
23. 78,643,200 GPD x 2.0 = 157,286,400 GPD
24. 157,286,400 GPD x 2.0 = 314,572,800 GPD
25. 314,572,800 GPD x 2.0 = 629,145,600 GPD
26. 629,145,600 GPD x 2.0 = 1,258,291,200 GPD
27. 1,258,291,200 GPD x 2.0 = 2,516,582,400 GPD
28. 2,516,582,400 GPD x 2.0 = 5,033,164,800 GPD
29. 5,033,164,800 GPD x 2.0 = 10,066,329,600 GPD
30. 10,066,329,600 GPD x 2.0 = 20,132,659,200 GPD
31. 20,132,659,200 GPD x 2.0 = 40,265,318,400 GPD
32. 40,265,318,400 GPD x 2.0 = 80,530,636,800 GPD
33. 80,530,636,800 GPD x 2.0 = 161,061,273,600 GPD
34. 161,061,273,600 GPD x 2.0 = 322,122,547,200 GPD
35. 322,122,547,200 GPD x 2.0 = 644,245,094,400 GPD
36. 644,245,094,400 GPD x 2.0 = 1,288,490,188,800 GPD
37. 1,288,490,188,800 GPD x 2.0 = 2,576,980,377,600 GPD
38. 2,576,980,377,600 GPD x 2.0 = 5,153,960,755,200 GPD
39. 5,153,960,755,200 GPD x 2.0 = 10,307,921,510,400 GPD
40. 10,307,921,510,400 GPD x 2.0 = 20,615,843,020,800 GPD
41. 20,615,843,020,800 GPD x 2.0 = 41,231,686,041,600 GPD
42. 41,231,686,041,600 GPD x 2.0 = 82,463,372,083,200 GPD
43. 82,463,372,083,200 GPD x 2.0 = 164,926,744,166,400 GPD
44. 164,926,744,166,400 GPD x 2.0 = 329,853,488,332,800 GPD
45. 329,853,488,332,800 GPD x 2.0 = 659,706,976,665,600 GPD
46. 659,706,976,665,600 GPD x 2.0 = 1,319,413,953,331,200 GPD
47. 1,319,413,953,331,200 GPD x 2.0 = 2,638,827,906,662,400 GPD
48. 2,638,827,906,662,400 GPD x 2.0 = 5,277,655,813,324,800 GPD
49. 5,277,655,813,324,800 GPD x 2.0 = 10,555,311,626,649,600 GPD
50. 10,555,311,626,649,600 GPD x 2.0 = 21,110,623,253,299,200 GPD
51. 21,110,623,253,299,200 GPD x 2.0 = 42,221,246,506,598,400 GPD
52. 42,221,246,506,598,400 GPD x 2.0 = 84,442,493,013,196,800 GPD
53. 84,442,493,013,196,800 GPD x 2.0 = 168,884,986,026,393,600 GPD
54. 168,884,986,026,393,600 GPD x 2.0 = 337,769,972,052,787,200 GPD
55. 337,769,972,052,787,200 GPD x 2.0 = 675,539,944,105,574,400 GPD
56. 675,539,944,105,574,400 GPD x 2.0 = 1,351,079,888,211,148,800 GPD
57. 1,351,079,888,211,148,800 GPD x 2.0 = 2,702,159,776,422,297,600 GPD
58. 2,702,159,776,422,297,600 GPD x 2.0 = 5,404,319,552,844,595,200 GPD
59. 5,404,319,552,844,595,200 GPD x 2.0 = 10,808,639,105,689,190,400 GPD
60. 10,808,639,105,689,190,400 GPD x 2.0 = 21,617,278,211,378,380,800 GPD
61. 21,617,278,211,378,380,800 GPD x 2.0 = 43,234,556,422,756,761,600 GPD
62. 43,234,556,422,756,761,600 GPD x 2.0 = 86,469,112,845,513,523,200 GPD
63. 86,469,112,845,513,523,200 GPD x 2.0 = 172,938,225,691,027,046,400 GPD
64. 172,938,225,691,027,046,400 GPD x 2.0 = 345,876,451,382,054,092,800 GPD
65. 345,876,451,382,054,092,800 GPD x 2.0 = 691,752,902,764,108,185,600 GPD
66. 691,752,902,764,108,185,600 GPD x 2.0 = 1,383,505,805,528,216,371,200 GPD
67. 1,383,505,805,528,216,371,200 GPD x 2.0 = 2,767,011,611,056,432,742,400 GPD
68. 2,767,011,611,056,432,742,400 GPD x 2.0 = 5,534,023,222,112,865,484,800 GPD
69. 5,534,023,222,112,865,484,800 GPD x 2.0 = 11,068,046,444,225,730,969,600 GPD
70. 11,068,046,444,225,730,969,600 GPD x 2.0 = 22,136,092,888,451,461,939,200 GPD
71. 22,136,092,888,451,461,939,200 GPD x 2.0 = 44,272,185,776,902,923,878,400 GPD
72. 44,272,185,776,902,923,878,400 GPD x 2.0 = 88,544,371,553,805,847,756,800 GPD
73. 88,544,371,553,805,847,756,800 GPD x 2.0 = 177,088,743,107,611,695,513,600 GPD
74. 177,088,743,107,611,695,513,600 GPD x 2.0 = 354,177,486,215,223,391,027,200 GPD
75. 354,177,486,215,223,391,027,200 GPD x 2.0 = 708,354,972,430,446,782,054,400 GPD
76. 708,354,972,430,446,782,054,400 GPD x 2.0 = 1,416,709,944,860,893,564,108,800 GPD
77. 1,416,709,944,860,893,564,108,800 GPD x 2.0 = 2,833,419,889,721,787,128,217,600 GPD
78. 2,833,419,889,721,787,128,217,600 GPD x 2.0 = 5,666,839,779,443,574,256,435,200 GPD
79. 5,666,839,779,443,574,256,435,200 GPD x 2.0 = 11,333,679,558,887,148,512,870,400 GPD
80. 11,333,679,558,887,148,512,870,400 GPD x 2.0 = 22,667,359,117,774,297,025,740,800 GPD
81. 22,667,359,117,774,297,025,740,800 GPD x 2.0 = 45,334,718,235,548,594,051,481,600 GPD
82. 45,334,718,235,548,594,051,481,600 GPD x 2.0 = 90,669,436,471,097,189,102,963,200 GPD
83. 90,669,436,471,097,189,102,963,200 GPD x 2.0 = 181,338,872,942,194,378,205,926,400 GPD
84. 181,338,872,942,194,378,205,926,400 GPD x 2.0 = 362,677,745,884,388,756,411,852,800 GPD
85. 362,677,745,884,388,756,411,852,800 GPD x 2.0 = 725,355,491,768,777,512,823,705,600 GPD
86. 725,355,491,768,777,512,823,705,600 GPD x 2.0 = 1,450,710,983,537,555,025,647,411,200 GPD
87. 1,450,710,983,537,555,025,647,411,200 GPD x 2.0 = 2,901,421,967,075,110,051,294,822,400 GPD
88. 2,901,421,967,075,110,051,294,822,400 GPD x 2.0 = 5,802,843,934,150,220,102,589,644,800 GPD
89. 5,802,843,934,150,220,102,589,644,800 GPD x 2.0 = 11,605,687,868,300,440,205,179,289,600 GPD
90. 11,605,687,868,300,440,205,179,289,600 GPD x 2.0 = 23,211,375,736,600,880,410,358,579,200 GPD
91. 23,211,375,736,600,880,410,358,579,200 GPD x 2.0 = 46,422,751,473,201,760,820,717,158,400 GPD
92. 46,422,751,473,201,760,820,717,158,400 GPD x 2.0 = 92,845,502,946,402,521,641,434,316,800 GPD
93. 92,845,502,946,402,521,641,434,316,800 GPD x 2.0 = 185,691,005,892,805,043,282,868,633,600 GPD
94. 185,691,005,892,805,043,282,868,633,600 GPD x 2.0 = 371,382,011,785,610,086,565,737,267,200 GPD
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96. 742,764,023,571,220,173,131,474,534,400 GPD x 2.0 = 1,485,528,047,142,440,346,262,949,068,800 GPD
97. 1,485,528,047,142,440,346,262,949,068,800 GPD x 2.0 = 2,971,056,094,284,880,692,525,898,137,600 GPD
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99. 5,942,112,188,569,761,385,051,796,275,200 GPD x 2.0 = 11,884,224,377,139,523,770,103,592,550,400 GPD
100. 11,884,224,377,139,523,770,103,592,550,400 GPD x 2.0 = 23,768,448,754,279,047,406,207,187,100,800 GPD
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102. 47,536,897,508,558,094,812,414,374,201,600 GPD x 2.0 = 95,073,795,017,116,189,624,828,848,403,200 GPD
103. 95,073,795,017,116,189,624,828,848,403,200 GPD x 2.0 = 190,147,590,034,232,379,249,657,696,806,400 GPD
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105. 380,295,180,068,464,758,499,315,393,612,800 GPD x 2.0 = 760,590,360,136,929,516,998,630,787,225,600 GPD
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107. 1,521,180,720,273,859,033,997,261,574,451,200 GPD x 2.0 = 3,042,361,440,547,718,067,994,523,148,902,400 GPD
108. 3,042,361,440,547,718,067,994,523,148,902,400 GPD x 2.0 = 6,084,722,881,095,436,135,989,046,297,804,800 GPD
109. 6,084,722,881,095,436,135,989,046,297,804,800 GPD x 2.0 = 12,169,445,762,190,872,271,978,092,595,609,600 GPD
110. 12,169,445,762,190,872,271,978,092,595,609,600 GPD x 2.0 = 24,338,891,524,381,744,543,956,185,191,219,200 GPD
111. 24,338,891,524,381,744,543,956,185,191,219,200 GPD x 2.0 = 48,677,783,048,763,489,087,912,370,382,438,400 GPD
112. 48,677,783,048,763,489,087,912,370,382,438,400 GPD x 2.0 = 97,355,566,097,526,978,175,824,740,764,876,800 GPD
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119. 6,230,756,230,241,726,603,255,823,408,944,114,515,200 GPD x 2.0 = 12,461,512,460,483,453,206,511,646,817,888,229,030,400 GPD
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122. 49,846,049,841,933,812,826,046,587,351,552,916,121,600 GPD x 2.0 = 99,692,099,683,867,625,652,093,174,703,104,243,200 GPD
123. 99,692,099,683,867,625,652,093,174,703,104,243,200 GPD x 2.0 = 199,384,199,367,735,251,304,346,349,406,208,486,400 GPD
124. 199,384,199,367,735,251,304,346,349,406,208,486,400 GPD x 2.0 = 398,768,398,735,470,502,608,692,698,812,416,972,800 GPD
125. 398,768,398,735,470,502,608,692,698,812,416,972,800 GPD x 2.0 = 797,536,797,470,941,005,217,395,397,635,833,945,600 GPD
126. 797,536,797,470,941,005,217,395,397,635,833,945,600 GPD x 2.0 = 1,595,073,594,941,882,010,434,790,795,271,667,891,200 GPD
127. 1,595,073,594,941,882,010,434,790,795,271,667,891,200 GPD x 2.0 = 3,190,147,189,883,764,020,869,581,580,543,335,782,400 GPD
128. 3,190,147,189,883,764,020,869,581,580,543,335,782,400 GPD x 2.0 = 6,380,294,379,767,528,041,739,163,161,087,067,564,800 GPD
129. 6,380,294,379,767,528,041,739,163,161,087,067,564,800 GPD x 2.0 = 12,760,588,759,535,056,083,478,326,322,174,135,129,600 GPD
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134. 204,169,420,152,560,897,335,653,181,154,162,162,073,600 GPD x 2.0 = 408,338,840,305,121,174,671,307,362,308,324,324,147,200 GPD
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136. 816,677,680,610,242,349,342,614,724,616,648,648,494,400 GPD x 2.0 = 1,633,355,361,220,484,698,685,249,449,233,297,296,988,800 GPD
137. 1,633,355,361,220,484,698,685,249,449,233,297,296,988,800 GPD x 2.0 = 3,266,710,722,440,969,397,498,498,898,466,594,593,977,600 GPD
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140. 13,066,842,889,763,877,589,993,995,594,786,376,375,910,400 GPD x 2.0 = 26,133,685,779,527,755,179,987,991,189,152,751,751,820,800 GPD
141. 26,133,685,779,527,755,179,987,991,189,152,751,751,820,800 GPD x 2.0 = 52,267,371,559,055,510,359,975,982,378,305,503,503,641,600 GPD
142. 52,267,371,559,055,510,359,975,982,378,305,503,503,641,600 GPD x 2.0 = 104,534,743,118,111,020,719,951,964,756,611,007,007,283,200 GPD
143. 104,534,743,118,111,020,719,951,964,756,611,007,007,283,200 GPD x 2.0 = 209,069,486,236,222,041,439,903,929,513,224,014,014,566,400 GPD
144. 209,069,486,236,222,041,439,903,929,513,224,014,014,566,400 GPD x 2.0 = 418,138,972,472,444,082,879,807,859,026,448,028,131,132,800 GPD
145. 418,138,972,472,444,082,879,807,859,026,448,028,131,132,800 GPD x 2.0 =

GRAPHIC SCALE
1 inch = 50 ft.

OVERALL FDOT DRAINAGE BASIN DEPRESSIONAL 3 (8.77 AC.)
PER CALCULATIONS FROM SWFWMD PERMIT 34823.001 -
TABLE D-1 & D-3. 9.76 ACRES BASIN INFORMATION FROM
DRAINAGE CALCULATIONS FOR SWFWMD PERMIT 41008.000.



Type "A" Swale Detail
NOT TO SCALE

MARION COUNTY PROJECT
No. 31743

- Legend:**
- SOL BORING
 - EXISTING DRAINAGE FLOW
 - PROPOSED DRAINAGE FLOW
 - PROPOSED BACK-FLOW PREVENTION DEVICE
 - PROPOSED ELECTRIC TRANSFORMER
 - TIME/CONCENTRATION (T/C) PATH
 - CENTERLINE
 - DRAINAGE DRAIN PIPE
 - AERIAL ELECTRIC LINE
 - EXISTING EDGE OF PAVEMENT

DUNNELLON COMMUNITY CHURCH
SUPERVISORS CHART

INTERVIEWS AREA	AREA (SQ)
BUILDINGS	19.143
PAVING/CONC	37.338
TOTAL	56.473

56.473/160,551 = 0.3517 = 35.2% COVERAGE
NOTE: 21,683 SF OF GRADE FINISHING @ 0.1% + 4 & 4.882 SF OF DRA BOTTOM @ 0% = 98.15 USED IN THE STORMWATER MODEL.

EXISTING DRA (TO BE MODIFIED)
FDOT DRAINAGE CONNECTION
PERMIT # 2014-D-595-5 ISSUED 7-2-2014

Dunnellon Community Church - Stormwater Flow Chart

Flow Path	Flow Rate (cfs)	Flow Volume (cu ft)	Flow Duration (min)	Flow Velocity (ft/s)	Flow Depth (ft)	Flow Area (sq ft)	Flow Slope	Flow Material	Flow Type
1	1.0	100	10	1.0	1.0	100	0.01	Grass	Overland
2	2.0	200	20	2.0	2.0	200	0.02	Grass	Overland
3	5.0	500	50	5.0	5.0	500	0.05	Grass	Overland
4	10.0	1000	100	10.0	10.0	1000	0.10	Grass	Overland
5	20.0	2000	200	20.0	20.0	2000	0.20	Grass	Overland
6	50.0	5000	500	50.0	50.0	5000	0.50	Grass	Overland
7	100.0	10000	1000	100.0	100.0	10000	1.00	Grass	Overland
8	200.0	20000	2000	200.0	200.0	20000	2.00	Grass	Overland
9	500.0	50000	5000	500.0	500.0	50000	5.00	Grass	Overland
10	1000.0	100000	10000	1000.0	1000.0	100000	10.00	Grass	Overland

DRA EXPANSION NOTE: SCARIFY BOTTOM OF DRA TO A DEPTH OF 12" DURING DRA EXPANSION. WORK TO BE DONE WITH LIGHT EQUIPMENT TO MINIMIZE COMPACTION.

THIS PLAN HAS BEEN DIGITALLY SIGNED AND SEALED BY THE ENGINEER. ANY CHANGES TO THE PLAN MUST BE MADE TO THE ORIGINAL PLAN AND RE-SIGNED AND SEALED BY THE ENGINEER. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Drainage Plan

Sheet No. 0004

DATE: 7-2-2014

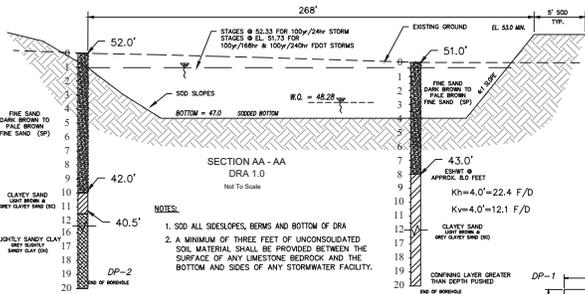
SCALE: AS SHOWN

PROJECT: DUNNELLON COMMUNITY CHURCH - STORMWATER

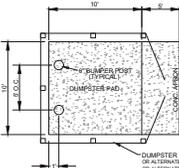
ENGINEER: MICHAEL W. RADCLIFFE

REGISTERED PROFESSIONAL ENGINEER

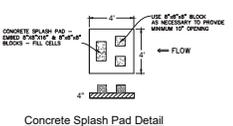
FLORIDA LICENSE NO. 12523



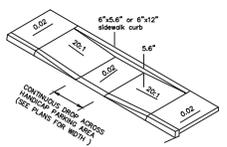
NOTES:
 1. 500 ALL SLOPES, BERMS AND BOTTOM OF DRA
 2. A MINIMUM OF THREE FEET OF UNCONSOLIDATED
 SOIL MATERIAL SHALL BE PROVIDED BETWEEN THE
 SURFACE OF ANY LIMESTONE BEDROCK AND THE
 BOTTOM AND SIDES OF ANY STORMWATER FACILITY.



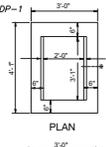
Dumpster Pad Detail
Not To Scale



Concrete Splash Pad Detail
Not To Scale



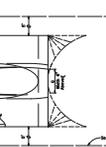
Handicap Curb Detail
Not To Scale



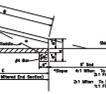
SECTION



Type "C" Inlet
Not To Scale



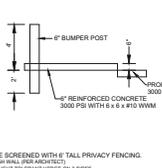
SECTION



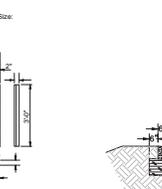
Mitered End Section Detail
PER F.D.O.T. DETAIL



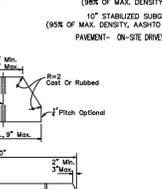
Sidewalk Detail
Not To Scale



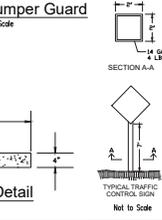
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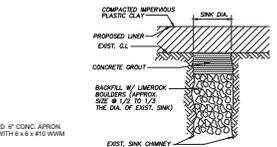
Type "C" Inlet
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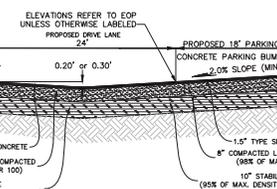
Concrete Bumper Guard
Not To Scale



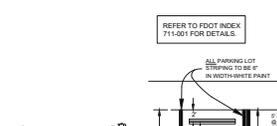
Handicap Sign
Not To Scale



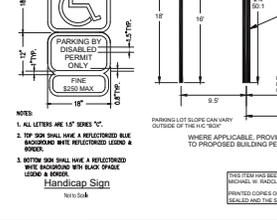
Karst Repair Detail
Not To Scale



Asphalt Pavement Section
Not To Scale



Handicap Sign
Not To Scale



Handicap Sign
Not To Scale

NOTICE: Steel Grates Are Required On Inlets With Traversable Slots And On Inlets where Bicycle Traffic is Anticipated.

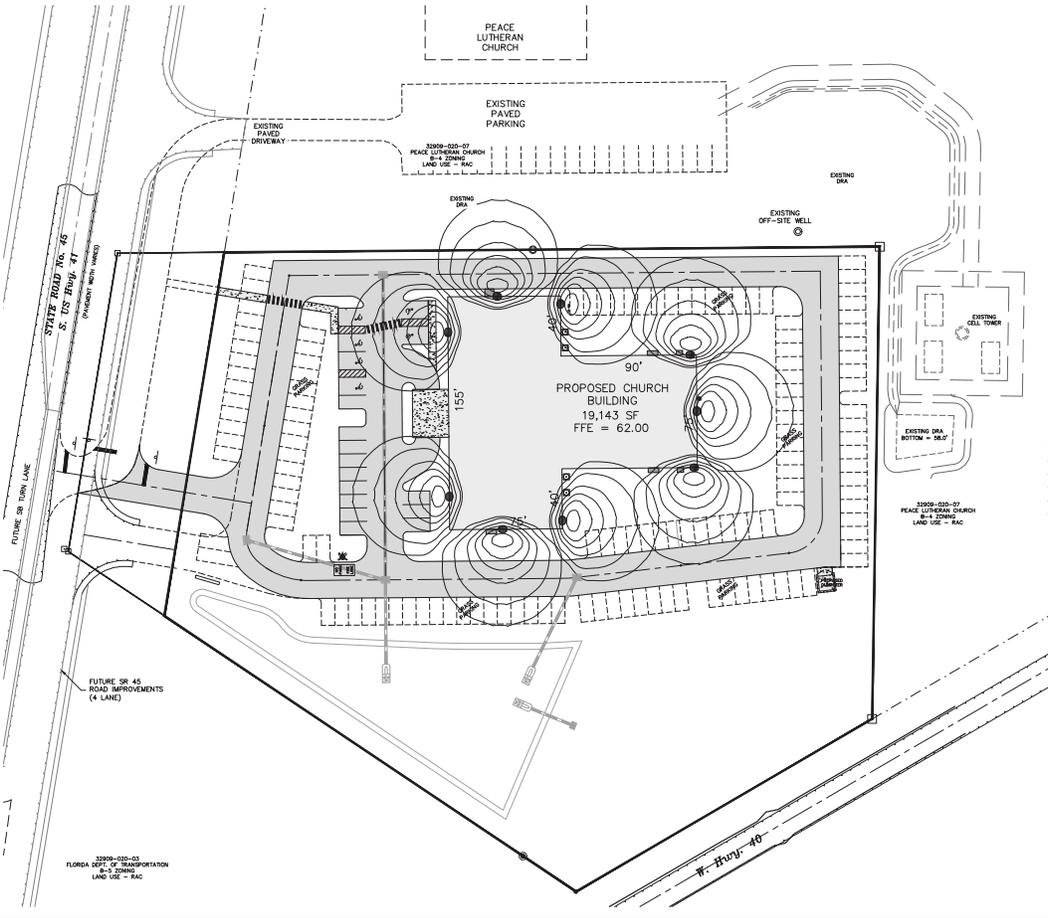
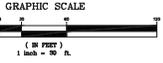
DIMENSIONS AND QUANTITIES	CONCRETE PIPE		CONCRETE CURB		CONCRETE BUMPERS		CONCRETE SPLASH PADS		CONCRETE HANDICAP CURBS	
	NO.	QTY.	NO.	QTY.	NO.	QTY.	NO.	QTY.	NO.	QTY.
1. 6\"/>	1	1	1	1	1	1	1	1	1	1
2. 6\"/>	1	1	1	1	1	1	1	1	1	1
3. 6\"/>	1	1	1	1	1	1	1	1	1	1
4. 6\"/>	1	1	1	1	1	1	1	1	1	1
5. 6\"/>	1	1	1	1	1	1	1	1	1	1
6. 6\"/>	1	1	1	1	1	1	1	1	1	1
7. 6\"/>	1	1	1	1	1	1	1	1	1	1
8. 6\"/>	1	1	1	1	1	1	1	1	1	1
9. 6\"/>	1	1	1	1	1	1	1	1	1	1
10. 6\"/>	1	1	1	1	1	1	1	1	1	1
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14. 6\"/>	1	1	1	1	1	1	1	1	1	1
15. 6\"/>	1	1	1	1	1	1	1	1	1	1
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17. 6\"/>	1	1	1	1	1	1	1	1	1	1
18. 6\"/>	1	1	1	1	1	1	1	1	1	1
19. 6\"/>	1	1	1	1	1	1	1	1	1	1
20. 6\"/>	1	1	1	1	1	1	1	1	1	1

MARION COUNTY PROJECT
No. 31743

AMERICAN W. RADLIFE ENGINEERING, INC.
 1000 W. UNIVERSITY BLVD., SUITE 200
 GAITHERSBURG, MD 20878
 TEL: 301-251-1234 FAX: 301-251-1235
 WWW.ARENGE.COM

DETAILS

Sheet No. 1 of 1



MARION COUNTY PROJECT
No. 31743

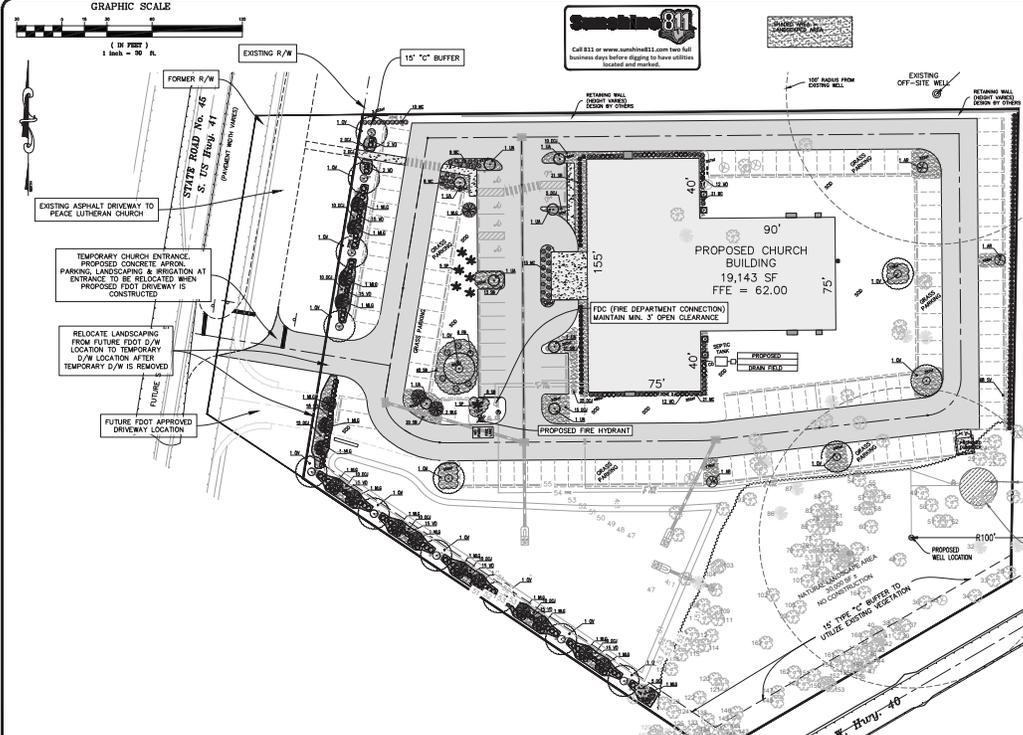
Photometric Legend.

PROPOSED 4x6 LED WALL PACK	FOOT CANDLES
01	0.1 FOOT CANDLES
02	0.2 FOOT CANDLES
03	0.3 FOOT CANDLES
04	0.4 FOOT CANDLES
05	0.5 FOOT CANDLES
06	0.6 FOOT CANDLES
07	0.7 FOOT CANDLES
08	0.8 FOOT CANDLES
09	0.9 FOOT CANDLES
10	1.0 FOOT CANDLES
11	1.1 FOOT CANDLES
12	1.2 FOOT CANDLES
13	1.3 FOOT CANDLES
14	1.4 FOOT CANDLES
15	1.5 FOOT CANDLES
16	1.6 FOOT CANDLES
17	1.7 FOOT CANDLES
18	1.8 FOOT CANDLES
19	1.9 FOOT CANDLES
20	2.0 FOOT CANDLES
21	2.1 FOOT CANDLES
22	2.2 FOOT CANDLES
23	2.3 FOOT CANDLES
24	2.4 FOOT CANDLES
25	2.5 FOOT CANDLES
26	2.6 FOOT CANDLES
27	2.7 FOOT CANDLES
28	2.8 FOOT CANDLES
29	2.9 FOOT CANDLES
30	3.0 FOOT CANDLES
31	3.1 FOOT CANDLES
32	3.2 FOOT CANDLES
33	3.3 FOOT CANDLES
34	3.4 FOOT CANDLES
35	3.5 FOOT CANDLES
36	3.6 FOOT CANDLES
37	3.7 FOOT CANDLES
38	3.8 FOOT CANDLES
39	3.9 FOOT CANDLES
40	4.0 FOOT CANDLES
41	4.1 FOOT CANDLES
42	4.2 FOOT CANDLES
43	4.3 FOOT CANDLES
44	4.4 FOOT CANDLES
45	4.5 FOOT CANDLES
46	4.6 FOOT CANDLES
47	4.7 FOOT CANDLES
48	4.8 FOOT CANDLES
49	4.9 FOOT CANDLES
50	5.0 FOOT CANDLES

4x6 LED WALL PACK
MOUNTED APPROXIMATELY 12' HIGH ON WALL

THIS PROJECT HAS BEEN DESIGNED BY MICHAEL W. RADCLIFFE, INC. AND IS SUBJECT TO THE SEAL AND SIGNATURE OF MICHAEL W. RADCLIFFE, P.E. ON THE DATE QUANTIFIED TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON AN ELECTRONIC COPY.

PROJECT: PEACE LUTHERAN CHURCH - ADDITION, IMPROVEMENTS
 LOCATION: COUNTY: CLAY, MARION, FLORIDA
 SHEET NO. OF 0008
 DATE: 5-7-23
 DRAWN BY: J. W. RADCLIFFE
 CHECKED BY: M. W. RADCLIFFE
 MICHAEL W. RADCLIFFE, INC.
 1000 W. HUNY-40, SUITE 100
 MARION COUNTY, FLORIDA 32003
 WWW.MICHAELWRADCLIFFE.COM



DUNELLON COMMUNITY CHURCH
IMPERVIOUS CHART
AREA = 102,000 SF
BASIN AREA = 170,300 SF (1:1 ratio)

IMPERVIOUS AREA	AREA (SF)
BUILDINGS	19,143
PAVED/CONC.	37,200
TOTAL	56,343

56,473/160,553 = 0.3517 = 35.2% COVERAGE
NOTE: 21,263 SF OF GRASS PARKING @ CH = 7.4 & 4,592 SF OF DR. BOTTOM @ CH = 98.5 USED IN THE STORMWATER MODEL.

SHADE TREE CALCULATIONS:
SEE SHEET L004 - TREE PLAN
TREES TO BE PLANTED TO MEET LANDSCAPING REQUIREMENTS

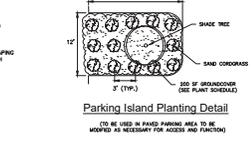
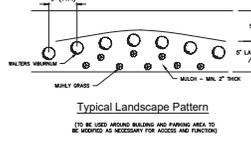
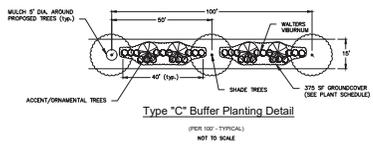
NATIVE PLANTS:
35% OF PLANTS TO BE NATIVE SPECIES
TOTAL PLANTS USED = 354
384 X 35% = 134 PLANTS REQUIRED TO BE NATIVE SPECIES
228 NATIVE SPECIES PLANTS TO BE USED - 55%

LANDSCAPE NOTES:
REQUIRED LANDSCAPING = 20% OF 130,626 SF (3,000 AC) = 26,125 SF
LANDSCAPE AREA INCLUDES IN CALCULATIONS INCLUDES NATURAL 30,000 SF (0.69 AC) WOODED AREA ON SE CORNER OF SITE WHICH WILL REMAIN UNDISTURBED.
PROPOSED ADDITIONAL LANDSCAPE AREA = 81,442 SF
TOTAL AREA INCLUDED IN LANDSCAPE AREA CALCULATIONS = 38,973 SF (24.3%)

- PROPOSED MODIFIED TREE "C" BUFFER TO REPLACE REQUIRED TREE "C" BUFFER ADJACENT TO USE #1 ONLY. PROPOSED MODIFIED BUFFER TO BE 10' WIDE.
- SHRUBS AND GROUND COVERS SHALL COMPREHEND AT LEAST 50% OF BUFFER AREA AND FORM A LAYERED LANDSCAPE SCREEN WITH A MINIMUM HEIGHT OF 3' WITHIN ONE YEAR.
- IRRIGATION OF LANDSCAPE AREA TO BE LOW VOLUME IRRIGATION SYSTEM CONNECTED TO MAIN LINE FOR REGULATED WATERING OF PLANTS. SUPPLEMENT WITH HAND WATERING AS NECESSARY.
- IRRIGATION SYSTEM TO BE INSTALLED PER PLANS.
- SOODED AREAS TO BE ARGENTINE BAHIA. ALL OTHER DISTURBED AREAS TO BE SEEDED & MULCHED.
- ALL DESIGNATED LANDSCAPE AREAS TO BE MULCHED WITH FINE BARK NUGGETS (2"-3" THICKNESS).
- NO CONSTRUCTION DRIVING OR PARKING OF VEHICLES TO OCCUR WITHIN TREE PROTECTION ZONES (TPZ). PROTECTION FENCING TO BE INSTALLED PRIOR TO CONSTRUCTION.
- TREES SHOWN WITH TREE PROTECTION ZONES INSIDE CONSTRUCTION AREAS TO HAVE ROOTS PROPERLY PRUNED & BRANCH BOUND/FILLED WITH SOIL PRIOR TO CONSTRUCTION BEGINNING TO MINIMIZE TREE DAMAGE.
- IF IT BECOMES NECESSARY TO TEMPORARILY REMOVE TREE PROTECTION ZONE FENCING, THE FENCING SHALL BE REPLACED AS SOON AS POSSIBLE IN ITS ORIGINAL POSITION AND CONDITION.
- SHRUBS SHALL BE A MINIMUM HEIGHT OF 18 INCHES SPAVED APPROPRIATELY FOR THE SPECIES AND THE REQUIRED SCREENING AND MAINTENANCE HEIGHT.
- ACCENT OR ORNAMENTAL (UNDERSTORY) TREES SHALL HAVE A MINIMUM OVERALL HEIGHT OF 50 FEET AND A MINIMUM SPREAD OF 40 INCHES UPON INSTALLATION.
- SEE 6.8.1.2 - LANDSCAPE COMPLETION INSPECTION REQUIREMENTS. UPON COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL. A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

MARION COUNTY PROJECT
No. 31743

PLANT SCHEDULE					
KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
SHRUB TREES					
QV	15	Quercus Virginia	Live Oak (Native)	3.0" Caliper	
LA	8	Liriodendron tulipifera	Yellow Poplar (Native)	3.0" Caliper	
AB	3	Abutilon	Flax Weed	3.0" Caliper	
ORNAMENTAL TREES					
MG	21	Magnolia grandiflora	Little Gem Magnolia	5 g	6' HT. 42" WIDE
PALMS					
SP	7	Sabal palmetto	Sabal Palm (Native)	8-12' Clear Trunk	
SHRUBS & GROUNDCOVERS					
VO	151	Viburnum coccineum	Winters Viburnum (Native)	18"-24" 3.0" c.c.	
SV	79	Viburnum coccineum	Sweet Viburnum	18"-24" 3.0" c.c.	
FB	8	Hamamelis virginica	David's Fragrant	43	500-100 (DIA) X 1.5' H.C.
DCJ	149	Trichostema acaule	David's Jasmine	41	5-7 Runners
MC	84	Mulberry	Mulberry	4" c.c.	
SD	123	Spiraea vanhouttei	Spiraea	43	4" c.c.
GD		Argemone	Argemone		
MDL		Pinus strobus	Minimum 2" diameter		

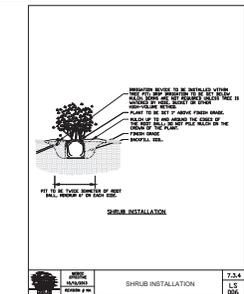
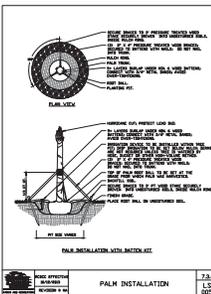
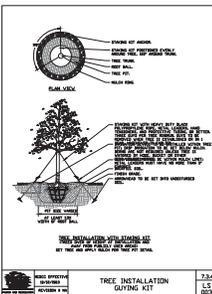
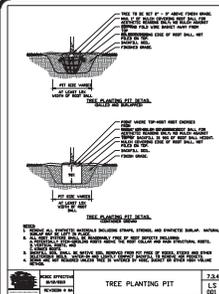


THIS PLAN HAS BEEN CAREFULLY REVIEWED AND SEALED BY THE SEALING PROFESSIONAL AS REQUIRED BY THE STATE OF FLORIDA. THE SEALING PROFESSIONAL'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE SEALING PROFESSIONAL IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE PLAN OR FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THE PLAN.

LANDSCAPING PLAN

DATE: 05/20/2024
PROJECT: MARION COUNTY PROJECT No. 31743
SHEET NO. 1 OF 1

DESIGNED BY: [Name]
CHECKED BY: [Name]
DRAWN BY: [Name]



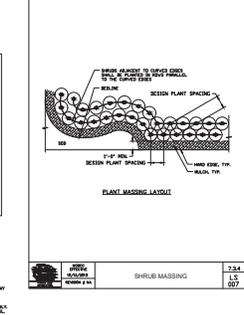
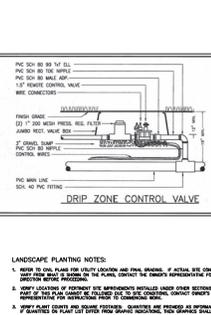
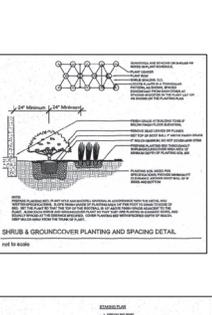
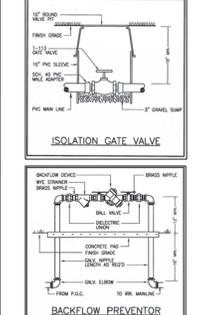
SOG NOTES

1. The contractor shall be responsible for all utility and field work.
2. The contractor shall be responsible for all utility and field work.
3. The contractor shall be responsible for all utility and field work.
4. The contractor shall be responsible for all utility and field work.
5. The contractor shall be responsible for all utility and field work.

SECTION 6.7.3.E - TREE PROTECTION

Tree protection shall continue during the course of construction. The following requirements shall be conditions of tree removal permits, all permits for construction in public rights-of-way, and all development permits issued under and pursuant to this Code:

- (1) The clearing of construction equipment or material or the disposal of waste materials including but not limited to, logs, stumps, branches, concrete, and mortar within the TPZ of any tree which is being protected is not allowed.
- (2) The contractor shall protect all trees protected by this Code with a sturdy barrier during the course of construction. Any barrier or sign which has been damaged or is missing shall be replaced immediately.
- (3) If any tree which has not been approved to be removed is destroyed, or receives major damage during construction, with the exception of natural events, so as to place its long term survival in question, the tree(s) must be replaced at an inch-to-inch basis of the total (combined) DBH of the destroyed or damaged tree(s). The replacement tree(s) shall be of comparable species of the destroyed or damaged tree(s) with a minimum replacement size of 3.5-inch caliper. The County reserves the right to establish a replacement value for such trees and payment into the Tree Mitigation Fund may be authorized by the County's Landscape Architect.



SECTION 6.8.1 - LANDSCAPE INSTALLATION

A. Any person providing landscape installation services for hire shall meet the licensing and certification requirements under Section 6.8.15.

B. All plantings shall be installed according to current best management practices.

C. Trees and palms shall be properly planted and graded or staked.

D. All plantings shall be properly watered during installation and through the establishment period for healthy growth as recommended by UF/IFAS.

E. Installation shall mean survival in perpetuity, and replacement if necessary, of all materials. Dead and/or dying plant material shall be replaced by the owner within 30 days of notification by the County.

SECTION 6.8.12 - LANDSCAPE COMPLETION INSPECTION REQUIREMENTS

Upon completion of the installation, the contractor shall request an inspection by the design professional. A Landscape and Irrigation As-Built Certification shall be signed and sealed by the design professional and submitted to the County Landscape Architect prior to the issuance of a Certificate of Occupancy.

SECTION 6.8.13 - LANDSCAPE MAINTENANCE

A. All landscape areas shall be maintained in accordance with the Florida-Friendly Best Management Practices for Protection of Water Resources by the Green Industries, UF/IFAS and FDDP.

B. Trees or palms shall not be severely pruned or shaped. The natural growth habit of a tree or palm shall be considered during the design phase to avoid maintenance conflicts.

C. Trees or palms which are grafted or grafted shall have such grafting or grafting removed once sufficient root growth has enabled the tree or palm to support itself. Damaging trees with grafted devices shall be considered a violation of this Code. Damaged trees shall be replaced at the expense of the owner.

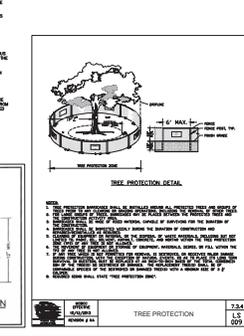
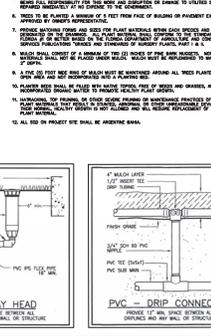
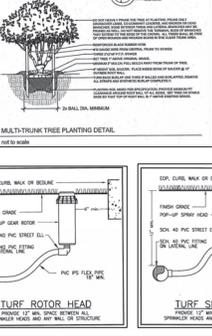
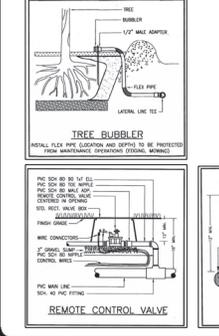
D. The alteration of any required and approved landscape area without obtaining prior written approval from the County is prohibited. The suspension of drought tolerant landscaping, including the replacement of planted areas with turfgrass, or replacing dying or diseased plants with similar plant material is encouraged.

E. Buffers and screening plantings shall provide healthy appearance year round and be maintained at the required minimum heights.

SECTION 6.8.14 - FERTILIZERS AND OTHER LANDSCAPE CHEMICALS

A. Applicability.

- (1) This section shall be applicable to and shall regulate any and all applicators of fertilizer and areas of application of fertilizer within the unincorporated area of Marion County, unless such applicator is specifically exempted by the terms of this section from the regulatory provisions of this Code. This section shall be prospective only and shall not impact any existing contracts.
- (2) Exemptions. The provisions set forth in Section 6.8.14 above in this section shall not apply to:
 - (a) Bone file farm operations as defined in the Florida Right to Farm Act, § 823.14 FS, provided that fertilizers applied in accordance with the appropriate Best Management Practices Manual adopted by the Florida Department of Agriculture and Consumer Services, Office of Agricultural Water Policy for the crop in question.
 - (b) Any lands used for bone file scientific research, including, but not limited to, research on the effects of fertilizer use on urban stormwater, water quality, ornamentals, or horticulture.
- (3) Fertilizer content and application rates.
- (4) Fertilizers applied to turfgrass and/or landscape plants within Marion County shall be applied in accordance with directions provided by FDC Rule 5C-1.000(2), Loading Requirements for Urea Turf Fertilizers.
- (5) Fertilizers containing nitrogen or phosphorus shall not be applied before seeding or sodding a site, and shall not be applied for the first 30 days after seeding or sodding.
- (6) Fertilizers should be applied to turf and/or landscape plants at the lowest rate necessary. Nitrogen shall not be applied at an application rate greater than 1.0 lb of readily available nitrogen per 1,000 square feet at any one time based on the soluble fraction of formulated fertilizer, with no more than 1 pound total nitrogen per 1,000 square feet applied at any one time, and not to exceed the nitrogen recommendations set forth below on an annual basis.
- (7) No phosphorus fertilizer shall be applied to existing turf and/or landscape plants within the County of application rates which exceed 0.50 pounds phosphorus per 1,000 square feet per application nor exceed 0.50 pounds phosphorus per 1,000 square feet per year.
- (8) No phosphorus fertilizer shall be applied to existing turf and/or landscape plants except as provided in Section 6.8.14(1)(c) above for turf, or in UF/IFAS recommendations for landscape plants, vegetable gardens, and small trees and shrubs where a soil or tissue deficiency has been verified by an approved test.



LANDSCAPE PLANTING NOTES:

1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA-FRIENDLY BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INDUSTRIES, UF/IFAS AND FDDP.
2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA-FRIENDLY BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INDUSTRIES, UF/IFAS AND FDDP.
3. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA-FRIENDLY BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INDUSTRIES, UF/IFAS AND FDDP.
4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA-FRIENDLY BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INDUSTRIES, UF/IFAS AND FDDP.
5. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA-FRIENDLY BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INDUSTRIES, UF/IFAS AND FDDP.

WATER

DATE: 11/11/2024

TIME: 10:00 AM

PROJECT: MARION COUNTY PROJECT NO. 31743

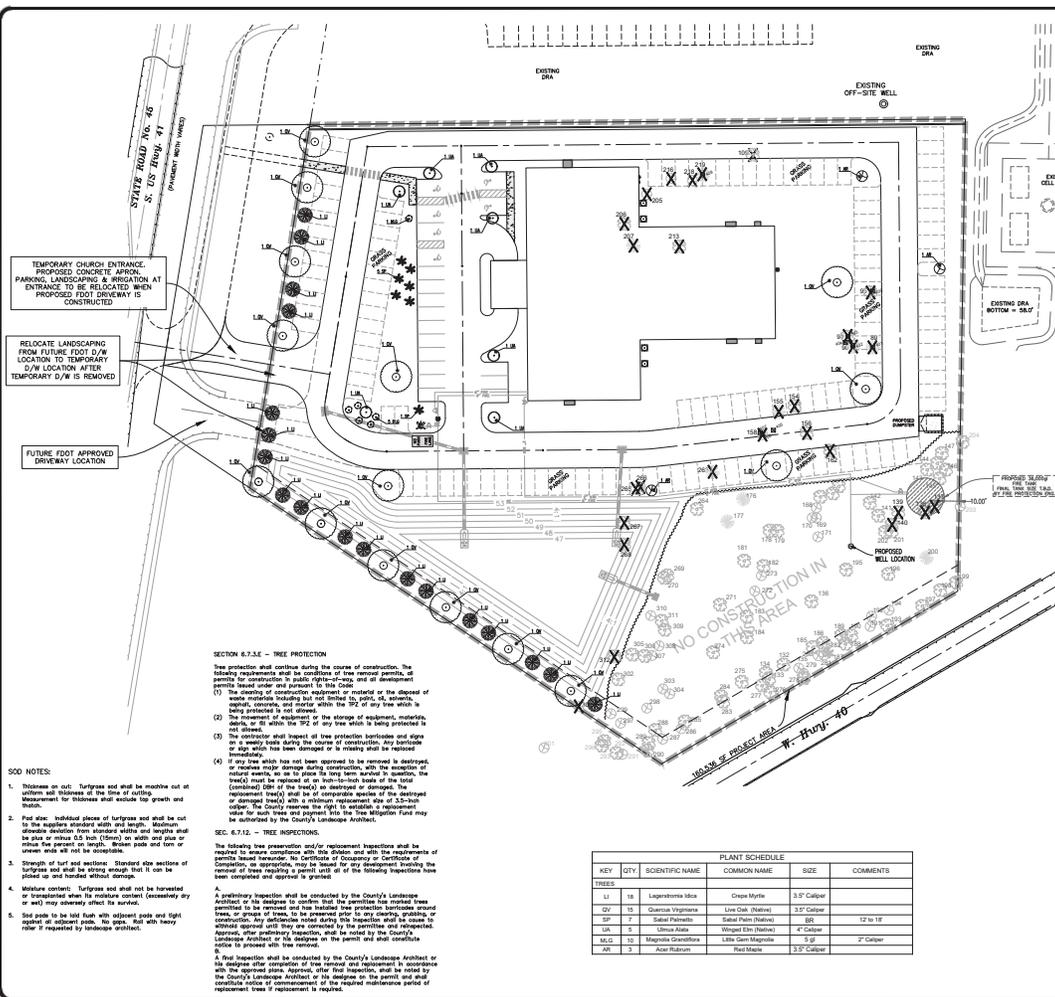
MMR MICHAEL W. RADLIFER ENGINEERING, INC.

1000 W. UNIVERSITY BLVD., SUITE 100, GAITHERSBURG, MD 20878

410-487-1111

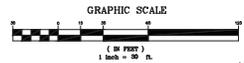
www.mwr-engineering.com

Sheet No. 1003 of 1004



TREE CALCULATIONS:
 PRE-DEVELOPMENT
 1.414' DBH / 3.69 ACRES = 383.2' AVE. DBH PER ACRE
 IF THE PRE-DEVELOPMENT NUMBER OF INCHES IS LESS THAN 100 DBH PER ACRE ON AVERAGE, THE OWNER SHALL REPLACE TREES TO EQUAL THE PRE-DEVELOPMENT NUMBER OF DBH INCHES.
 THIS IS N/A SINCE TOTAL INCHES REMAINING > 100 DBH.

SHADE TREES:
 REQUIRED: 1 SHADE TREE PER 3,000 # SITE AREA
 SITE: 160,536 # (3.69 AC)
 160,536 / 3,000 = 53.51 = 54 SHADE TREES REQUIRED
 EXISTING SHADE TREES = 164 TOTAL 1,824' DBH (503.5' AC)
 TREES TO BE REMOVED = 59 120" DBH
 TREES REMAINING = 105 1,604' DBH REMAINING (362.8' AC)
 PROPOSED REQUIRED SHADE TREES = 0



MARION COUNTY PROJECT
 No. 31743

Existing Trees

KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
LI	18	Laguncularia leuca	Draca Myrtle	3.5" Caliper	
QV	10	Quercus virginiana	Live Oak (Native)	3.5" Caliper	
SP	7	Sabal palmetto	Sabal Palm (Native)	DBL	12 to 18'
CA	5	Clusia alata	Waxleaf Elm (Native)	4" Caliper	
MLG	10	Magnolia grandiflora	Little Gem Magnolia	5 1/2"	2" Caliper
RA	3	Rosa blanda	Rose Hips	2.5" Caliper	

Lined Thru Trees to be Removed
 --- Trees to be Removed
 ~~~~~ Tree Protection Fencing  
 ~~~~~ Tree Located Off-Site (not counted)

SECTION 6.7.3.E - TREE PROTECTION
 Tree protection shall continue during the course of construction. The liability requirements shall be the responsibility of the permittee, and shall be based upon and pursuant to Title Code.
 (1) The clearing of construction equipment or material or the disposal of waste materials including but not limited to, stumps, stumps, stumps, and stumps, shall be done within the 10' of any tree which is being protected.
 (2) The movement of equipment or the storage of equipment, materials, debris, or dirt within the 10' of any tree which is being protected is not allowed.
 (3) The contractor shall install tree protection barricades and signs to clearly mark during the course of construction, the boundaries of any tree which has been damaged or is missing shall be replaced immediately.
 (4) If any tree which has not been approved to be removed is destroyed or damaged by the contractor, the contractor shall be required to replace the tree(s) with a tree of equal or greater size and species as the destroyed or damaged tree(s) with a minimum replacement size of 3.5-inch caliper. The contractor shall be required to pay the Tree Mitigation Fund for each tree and payment to the Tree Mitigation Fund may be substituted for the contractor's replacement.

SEC. 6.7.12 - TREE INSPECTIONS
 The following tree preservation and/or replacement inspections shall be required in those instances with this Ordinance and with the requirements of the County of Marion, Oregon. No Certificate of Occupancy or Certificate of Completion, or approval, shall be issued for any development involving the removal of trees requiring a permit until all of the following inspections have been completed and approved in writing.
 A. A preliminary inspection shall be conducted by the County's Landscape Architect or his designee to determine that the sensitive tree marked trees permitted to be removed and tree protection barriers around trees, or groups of trees, to be removed are in good condition, and that any necessary tree protection barriers are in place. The County may require that the permittee and his/her contractor, after preliminary inspection, shall be noted by the County's Landscape Architect or his designee on the permit and shall constitute notice to proceed with tree removal.
 B. A final inspection shall be conducted by the County's Landscape Architect or his designee after completion of tree removal and replacement in accordance with the approved plans. Approval, after final inspection, shall be noted by the County's Landscape Architect or his designee on the permit and shall constitute notice of commencement of the required maintenance period of replacement trees if replacement is required.

- SOD NOTES:**
1. **Thickness on cut:** Turfgrass seed shall be machine cut of uniform thickness at the time of cutting. Measurement for thickness shall exclude top growth and thatch.
 2. **Soil sites:** Individual places of turfgrass seed shall be cut to the specified standard width and length. Minimum dispersion deviation from standard width and length shall be plus or minus 0.5 inch (13mm) on each end plus or minus for percent or length. Brown spots and form or uneven shall not be acceptable.
 3. **Strength of turf seed sections:** Standard size sections of turfgrass seed shall be strong enough that it can be picked up and handled without damage.
 4. **Moisture content:** Turfgrass seed shall not be harvested or transported when its moisture content (estimated dry or wet) may adversely affect its survival.
 5. **Soil spots to be laid:** Soil with nutrient spots and light against an adjacent spot. No gaps. Roll with heavy roller if required by landscape architect.

Sheet No. 1004 of 1004

Tree Plan

AMERICAN W. RADCLIFFE ENGINEERING, INC.
 1000 W. 10th St., Suite 100, Marion, OR 97531
 Phone: 503-325-1111 Fax: 503-325-1112
 www.americanwradcliffe.com

STATE ROAD No. 46
 St. Elizabeth Hwy. 41
 (Paved with Bituminous)

TEMPORARY CHURCH ENTRANCE, PROPOSED CONCRETE, ASPHALT PAVING, LANDSCAPING & IRRIGATION AT ENTRANCE TO BE RELOCATED WHEN PROPOSED FOOT DRIVEWAY IS CONSTRUCTED

RELOCATE LANDSCAPING FROM FUTURE FOOT D/W LOCATION TO TEMPORARY D/W LOCATION AFTER TEMPORARY D/W IS REMOVED

FUTURE FOOT APPROVED DRIVEWAY LOCATION

EXISTING DWA
 EXISTING OFF-SITE WELL

LOCATION OF CONTROLLER & RAIN SENSOR (WATER WIRELESS RAIN-SUN OR EQUIVALENT)

EXISTING DWA
 BOTTOM = 24.2'

PROPOSED WELL LOCATION

PROPOSED 1/2" DIA. 10' DEEP W/ 1" DIA. DISPERSED PL.

NO CONSTRUCTION IN THIS AREA

W. Hwy. 40

X = TREES TO BE REMOVED

SECTION 6.7.12E - TREE PROTECTION

The contractor shall maintain during the course of construction, the following requirements and be conditions of tree removal permits, at permit issued hereunder, the Certificate of Occupancy or Certificate of Completion, as appropriate, may be issued for any development involving the removal of trees requiring a permit, until all of the following inspections have been completed and approved is granted:

- (1) The clearing of construction materials or the disposal of any materials including but not limited to, asphalt, concrete, and debris within the 10% of any tree which is being protected is not allowed.
- (2) The placement of equipment or the storage of equipment, materials, debris, or fill within the 10% of any tree which is being protected is not allowed.
- (3) The contractor shall protect all tree protection berms and signs on a weekly basis during the course of construction, any berms or signs which have been damaged or is missing shall be replaced immediately.
- (4) If any tree which has not been determined to be removed by the contractor or removed during construction, with the exception of natural events, or in the event of a tree which is damaged, the tree(s) must be replaced on an inch-for-inch basis of the tree (combined DBH of the tree(s) as destroyed or damaged, the replacement tree(s) shall be of comparable species of the destroyed or damaged tree(s) with a minimum replacement size of 3.0-inch caliper. The County reserves the right to establish a replacement value for such trees and deposit into the Tree Mitigation Fund may be established by the County's Landscape Architect.

SEC. 6.7.12 - TREE INSPECTIONS

The following tree preservation and/or replacement inspection shall be required to ensure compliance with the plan and with the requirements of permit issued hereunder, the Certificate of Occupancy or Certificate of Completion, as appropriate, may be issued for any development involving the removal of trees requiring a permit, until all of the following inspections have been completed and approved is granted:

A. A preliminary inspection shall be conducted by the County's Landscape Architect or the designer prior to the permit to determine the number, species, size, and location of trees to be preserved, removed, or replaced. The permit shall be issued only after the preliminary inspection has been completed and approved by the County's Landscape Architect or the designer. Any additional trees to be preserved, removed, or replaced shall be identified and approved by the County's Landscape Architect or the designer prior to the permit to proceed with tree removal.

B. A final inspection shall be conducted by the County's Landscape Architect or the designer after completion of tree removal and replacement in accordance with the approved plans, general, and final inspection, shall be noted by the County's Landscape Architect or the designer on the permit and shall constitute notice of compliance of the required maintenance period of replacement trees if replacement is required.

SOD NOTES:

1. **Thickness on cut:** Turfgrass seed shall machine cut at uniform and minimum of the time of cutting. Measurement for thickness shall include top growth and thatch.
2. **Post slope:** Individual pieces of turfgrass shall be cut to the specified thickness, width and length. Moisture shall be added to the turfgrass and the pieces shall be placed on the prepared soil. Turfgrass shall be placed in a minimum 0.5 inch (1/2 inch) on width and place or within the percent on length. Stems and roots shall be placed in the prepared soil. Stems and roots shall be placed in the prepared soil. Stems and roots shall be placed in the prepared soil.
3. **Strength of turf and sod:** Standard site methods of turfgrass shall be strong enough that it can be placed on and handled without damage.
4. **Moisture content:** Turfgrass seed shall not be harvested or transported when the moisture content (necessary dry or wet) may adversely affect its survival.
5. **Seed beds:** Seed beds shall be laid flat with adjacent beds and tight against all adjacent beds. No gaps, ridges with heavy roller if required by landscape architect.

GRAPHIC SCALE



TREE CALCULATIONS:

PRE-DEVELOPMENT
 1.414" DBH / 3.69 ACRES = 383.2" AVG. DBH PER ACRE
 IF THE PRE-DEVELOPMENT NUMBER OF TREES IS LESS THAN 100 DBH PER ACRE ON AVERAGE, THE OWNER SHALL REPLACE TREES TO EQUAL THE PRE-DEVELOPMENT NUMBER OF TREES TO AVERAGE SINCE TOTAL INCHES REMAINING > 100 DBH.

SHADE TREES:
 REQUIRED: 1 SHADE TREE PER 3,000 SF OF SITE AREA
 SITE: 160,536 SF (3.69 AC)
 160,536 / 3,000 = 53.51 = 54 SHADE TREES REQUIRED

EXISTING SHADE TREES = 156 TOTAL 1,786" DBH (484.07/AC)
 TREES TO BE REMOVED = 33 337" DBH
 TREES REMAINING = 123 1,449" DBH REMAINING (387.37/AC)
 PROPOSED REQUIRED SHADE TREES = 0

NOTE:
 ALL TREES ARE VALUABLE. ANY TREES THAT MAY DIE DURING THE SITE PLANNING PROCESS SHALL BE REPLACED WITH A NEW SHADE TREE.
 TREES ALONG SOUTH LEG OF CROSS ACCESS EASEMENT TO SR 40 MAY REMAIN UNTIL FUTURE ACCESS NEED IS DETERMINED.

MARRION COUNTY PROJECT
 No. 31743

Existing Tree Chart

| Tree ID | Species | DBH (in) | Height (ft) | Health | Notes |
|---------|---------|----------|-------------|--------|-------|
| T-001 | ... | ... | ... | ... | ... |
| T-002 | ... | ... | ... | ... | ... |
| T-003 | ... | ... | ... | ... | ... |
| T-004 | ... | ... | ... | ... | ... |
| T-005 | ... | ... | ... | ... | ... |
| T-006 | ... | ... | ... | ... | ... |
| T-007 | ... | ... | ... | ... | ... |
| T-008 | ... | ... | ... | ... | ... |
| T-009 | ... | ... | ... | ... | ... |
| T-010 | ... | ... | ... | ... | ... |
| T-011 | ... | ... | ... | ... | ... |
| T-012 | ... | ... | ... | ... | ... |
| T-013 | ... | ... | ... | ... | ... |
| T-014 | ... | ... | ... | ... | ... |
| T-015 | ... | ... | ... | ... | ... |
| T-016 | ... | ... | ... | ... | ... |
| T-017 | ... | ... | ... | ... | ... |
| T-018 | ... | ... | ... | ... | ... |
| T-019 | ... | ... | ... | ... | ... |
| T-020 | ... | ... | ... | ... | ... |
| T-021 | ... | ... | ... | ... | ... |
| T-022 | ... | ... | ... | ... | ... |
| T-023 | ... | ... | ... | ... | ... |
| T-024 | ... | ... | ... | ... | ... |
| T-025 | ... | ... | ... | ... | ... |
| T-026 | ... | ... | ... | ... | ... |
| T-027 | ... | ... | ... | ... | ... |
| T-028 | ... | ... | ... | ... | ... |
| T-029 | ... | ... | ... | ... | ... |
| T-030 | ... | ... | ... | ... | ... |
| T-031 | ... | ... | ... | ... | ... |
| T-032 | ... | ... | ... | ... | ... |
| T-033 | ... | ... | ... | ... | ... |
| T-034 | ... | ... | ... | ... | ... |
| T-035 | ... | ... | ... | ... | ... |
| T-036 | ... | ... | ... | ... | ... |
| T-037 | ... | ... | ... | ... | ... |
| T-038 | ... | ... | ... | ... | ... |
| T-039 | ... | ... | ... | ... | ... |
| T-040 | ... | ... | ... | ... | ... |
| T-041 | ... | ... | ... | ... | ... |
| T-042 | ... | ... | ... | ... | ... |
| T-043 | ... | ... | ... | ... | ... |
| T-044 | ... | ... | ... | ... | ... |
| T-045 | ... | ... | ... | ... | ... |
| T-046 | ... | ... | ... | ... | ... |
| T-047 | ... | ... | ... | ... | ... |
| T-048 | ... | ... | ... | ... | ... |
| T-049 | ... | ... | ... | ... | ... |
| T-050 | ... | ... | ... | ... | ... |
| T-051 | ... | ... | ... | ... | ... |
| T-052 | ... | ... | ... | ... | ... |
| T-053 | ... | ... | ... | ... | ... |
| T-054 | ... | ... | ... | ... | ... |
| T-055 | ... | ... | ... | ... | ... |
| T-056 | ... | ... | ... | ... | ... |
| T-057 | ... | ... | ... | ... | ... |
| T-058 | ... | ... | ... | ... | ... |
| T-059 | ... | ... | ... | ... | ... |
| T-060 | ... | ... | ... | ... | ... |
| T-061 | ... | ... | ... | ... | ... |
| T-062 | ... | ... | ... | ... | ... |
| T-063 | ... | ... | ... | ... | ... |
| T-064 | ... | ... | ... | ... | ... |
| T-065 | ... | ... | ... | ... | ... |
| T-066 | ... | ... | ... | ... | ... |
| T-067 | ... | ... | ... | ... | ... |
| T-068 | ... | ... | ... | ... | ... |
| T-069 | ... | ... | ... | ... | ... |
| T-070 | ... | ... | ... | ... | ... |
| T-071 | ... | ... | ... | ... | ... |
| T-072 | ... | ... | ... | ... | ... |
| T-073 | ... | ... | ... | ... | ... |
| T-074 | ... | ... | ... | ... | ... |
| T-075 | ... | ... | ... | ... | ... |
| T-076 | ... | ... | ... | ... | ... |
| T-077 | ... | ... | ... | ... | ... |
| T-078 | ... | ... | ... | ... | ... |
| T-079 | ... | ... | ... | ... | ... |
| T-080 | ... | ... | ... | ... | ... |
| T-081 | ... | ... | ... | ... | ... |
| T-082 | ... | ... | ... | ... | ... |
| T-083 | ... | ... | ... | ... | ... |
| T-084 | ... | ... | ... | ... | ... |
| T-085 | ... | ... | ... | ... | ... |
| T-086 | ... | ... | ... | ... | ... |
| T-087 | ... | ... | ... | ... | ... |
| T-088 | ... | ... | ... | ... | ... |
| T-089 | ... | ... | ... | ... | ... |
| T-090 | ... | ... | ... | ... | ... |
| T-091 | ... | ... | ... | ... | ... |
| T-092 | ... | ... | ... | ... | ... |
| T-093 | ... | ... | ... | ... | ... |
| T-094 | ... | ... | ... | ... | ... |
| T-095 | ... | ... | ... | ... | ... |
| T-096 | ... | ... | ... | ... | ... |
| T-097 | ... | ... | ... | ... | ... |
| T-098 | ... | ... | ... | ... | ... |
| T-099 | ... | ... | ... | ... | ... |
| T-100 | ... | ... | ... | ... | ... |

Lined Thru Trees to be Removed
 --- Trees to be Removed
 --- Tree Protection Fencing
 --- Tree Located Off-Site (Not Counted)

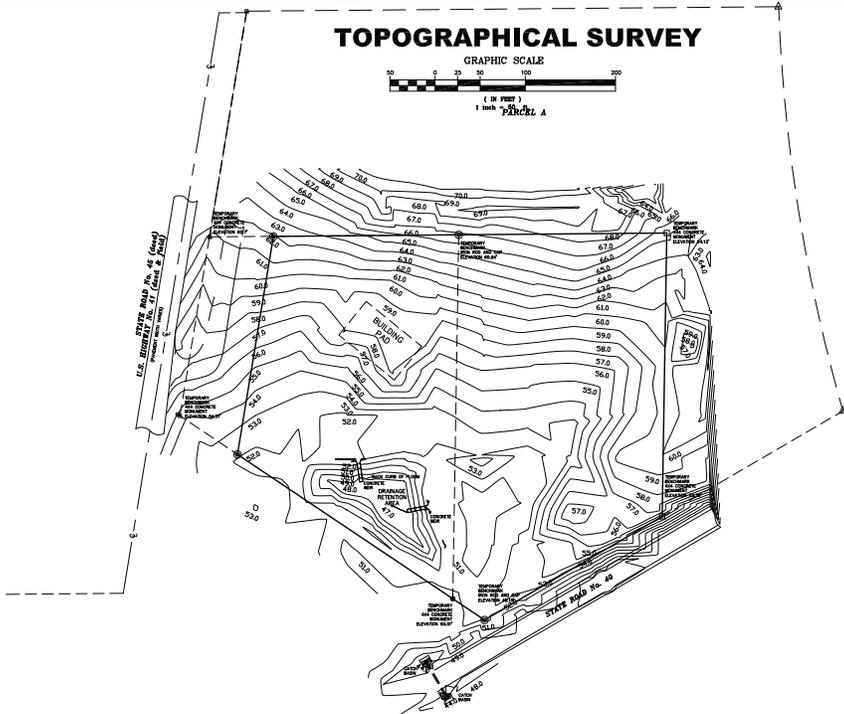
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Sheet No. 1004
 1004

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Tree Plan

TOPOGRAPHICAL SURVEY



PLACE FOR STAMP

DRAINAGE RETENTION AREA BOTTOM 47'
 DRAINAGE RETENTION AREA TOP 32'
 NATIONAL GEODETIC SURVEY
 DATUM -1983
 STATE COUNTY -FLORIDA
 COUNTRY -USA
 USED ROAD -CONVENTION (2004)
 CURRENT SURVEY CONTROL -MAGNETIC HEIST -17.514 (METERS) 57.46 (FEET) ADJUSTED
 GEODETIC ELEVATION 57.46
 BENCHMARK N 587 NGS ELEVATION 57.46

Digitally signed
 by Martin L
 Williams
 Date: 2025.03.26
 09:41:35 -04'00'

SHEET 2 OF 3

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