

September 22, 2025

PROJECT NAME: SW HWY 484 SUPER CENTER

PROJECT NUMBER: 2024110040

APPLICATION: MAJOR SITE PLAN #33171

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.
- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: INFO
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.
- 1 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.9.B - Traffic signs
STATUS OF REVIEW: INFO
REMARKS: 8/28/25 - Sheet 6225: Label (stop) sign north of the crosswalk for the truck route return lane where it intersects the main drive aisle.
- 1 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.12.11 - Turn lanes
STATUS OF REVIEW: INFO
REMARKS: 8/28/25 - Per project-related Developer's Agreement(s), the following are required to have been substantially completed prior to Issuance of Certificate of Occupancy:
 - 1) INT 2 - Extend WB right turn lane to 200'.
 - 2) INT 2 - Construct SB left turn lane of 360'.
 - 3) RD 2 - WB right turn lane of 200'.
- 1 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: Additional Traffic comments
STATUS OF REVIEW: INFO
REMARKS: 8/28/25 - Per project-related Developer's Agreement(s), the following are required to have been substantially completed prior to Issuance of Certificate of Occupancy: INT 2 - Construct median to allow for dual SB left turn lanes in future and shared thru right.
- 1 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 8/18/25-add waivers if requested in future
- 1 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: Additional Development Review Comments

STATUS OF REVIEW: INFO

REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: Parcel numbers identified in project match proposed site plan layout

STATUS OF REVIEW: INFO

REMARKS: Please include parcel number on cover page.

1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.4 - Water (potable) Capital Charges and Flow Rates - proposed use identified to calculate

STATUS OF REVIEW: INFO

REMARKS: Capital charges and flow rates will be calculated during the permitting stage, before approval.

1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.4 - Water (irrigation) Capital Charges and Flow Rates - total irrigated area identified

STATUS OF REVIEW: INFO

REMARKS: Irrigation well proposed on site plans. Please note: If after plans are approved by DRC, an irrigation meter and connection to MCU is needed, additional Utility plan will be required. Additional fee(s) will apply.

1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.4 - Sewer Capital Charges and Flow Rates - proposed use identified to calculate

STATUS OF REVIEW: INFO

REMARKS: Capital charges and flow rates will be calculated during the permitting stage, before approval.

1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.5.C - All issued permits related to this project shall be submitted to MCU (DOT, ROW, misc)

STATUS OF REVIEW: INFO

REMARKS: Copies of all related permit applications and issued permits shall be submitted to Marion County Utilities Department, prior to or at the Pre-Construction Meeting.

1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.5.C - DEP permit for water mains to be constructed/owned by MCU

STATUS OF REVIEW: INFO

REMARKS: The Engineer of Record is responsible for requesting and submitting the appropriate FDEP Public Water System (PWS) and/or Wastewater (WW) permit applications, if applicable. All applications must be signed and sealed prior to submission for Marion County Utilities' signature.

- 1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.D - Hydraulic Analysis
STATUS OF REVIEW: INFO
REMARKS: 8/25/25 MCU is currently reviewing the PWS Calculations provided with Submittal 1 and will provide comments, if any to the EOR.
- 1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.7 - Construction Inspection - PLAN NOTE:
STATUS OF REVIEW: INFO
REMARKS: 8/25/25 - Add to Utility Plan - MCU personnel are to inspect any work performed on or around existing MCU infrastructure. A pre-construction meeting is required to be held a minimum of 48 hours prior to start of any construction. If the pre-construction meeting is not completed, any work may be halted. To schedule, contact MCU's Construction Division, 352) 307-6000, ext. 5 or MCUconstruction@marionfl.org
- 1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.8.A - Completion and Closeout - PLAN NOTE: As-builts
STATUS OF REVIEW: INFO
REMARKS: For any Utility assets between the water main and the meter, Marion County will require a Bill of Sale and As-builts of the service, prior to meter(s) being installed. A final hold has been placed on permit, if applicable. All as-builts shall comply with the current Marion County LDC, section 6.14.8
- 1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.9.B - Transfer of Facilities to Marion County Utilities - PLAN NOTE:
STATUS OF REVIEW: INFO
REMARKS: Any assets to be conveyed to Marion County Utilities as part of the public utility system shall be coordinated PRIOR TO Marion County Utilities through the Bill of Sale, and prior to MCU's authorization of the DEP connection/Clearance Package. The Bill of Sale for any Lift Station(s) MUST include the first electric bill to capture necessary data prior to transfer to Marion County Utilities. ALLOW A MINIMUM OF 5 WORKING DAYS for processing the Bill of Sale information.
- 1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.9.B - Bill of Sale
STATUS OF REVIEW: INFO
REMARKS: The Bill of Sale consists of three documents and will be provided at the pre-construction meeting. The completed Bill of Sale will be required prior to final inspections and tie-ins. Please note: Marion County Utilities (MCU) will not sign any FDEP clearance applications until the completed Bill of Sale has been received.
- 1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.7 - Cross Connection Control and Backflow Prevention
STATUS OF REVIEW: INFO
REMARKS: A backflow hold will be placed on the building permit. Backflows must be tested and the results reported to crossconnectioncontrol@marionfl.org before the final hold can be released.
- 1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Article 7 - Construction Standards - PLAN NOTE:
STATUS OF REVIEW: INFO
REMARKS: All facilities constructed on the developer's property prior to interconnection with Marion

County Utility's existing or proposed facilities, shall convey such component parts to MCU by bill of sale in a form satisfactory to the County Attorney, with the following evidence required by MCU: Refer to LDC 6.14.9 (B).

- 1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities
STATUS OF REVIEW: INFO
REMARKS: Utilities Plan Review Fee: \$510.00 Fee(s) can be paid by calling 352-671-8686 or visiting the Development Review Office at 412 SE 25th Ave, Ocala, FL 34471. Reference AR# 33171
- 1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities comments
STATUS OF REVIEW: INFO
REMARKS: Marion County Utilities recommends a meeting to review plans prior to the next submittal. Please contact Heather Proctor, Utilities Development Review Officer, at Heather.Proctor@marionfl.org or by phone at (352) 438-2846.
- 1 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: Central Sewer/Central Water
- 1 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.12.4.L(6) - Gross/wetland/floodplain acreage listed?
STATUS OF REVIEW: INFO
REMARKS: None on-site.
- 1 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 6.5 & 6.6 - Habitat Preservation/Mitigation Provided?
STATUS OF REVIEW: INFO
REMARKS: Please see Zoning comments relating to EALS
- 1 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: Additional Planning Items:
STATUS OF REVIEW: INFO
REMARKS: "Notes" box on cover page references notifying Pasco County if listed species found on-site. Was this note left in error?
- 1 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: Additional Landscape comments
STATUS OF REVIEW: INFO
REMARKS: 1. Please clarify how AR#33206 relates to this project. 2. Provide landscape and irrigation plans for fuel station, if part of this project 3. Outparcels along CR484 to have similar plant palette to eastern commercial property to provide a cohesive buffer aesthetic 4. ***Please note** the PUD master plan (AR 27373) that includes this parcel is still in resubmit status and has not been formally completed. This will need to be completed before Landscape can approve a major site plan. 5. Landscape and Irrigation plans to be signed and sealed at submittal
- 1 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.6 - Location of water and sewer. Does this need a special use permit?
STATUS OF REVIEW: INFO
REMARKS: Within Marion County Utilities service area. Defer to MCU.

- 1 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.27 - Show location of outside storage areas
STATUS OF REVIEW: INFO
REMARKS: Will there be any outdoor storage areas? If so, outdoor storage area shall be indicated on site plan and shall meet screening requirements pursuant to LDC Sec. 4.2.20.F
- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.4.L(9)(b) - Data Block (Impervious Area)
STATUS OF REVIEW: NO
REMARKS: Please provide data block on the cover sheet detailing the existing and proposed impervious & pervious area in SF, ac, and %. Please include any offsite drainage to your site in the data block.
- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.8 - Topographical Contours
STATUS OF REVIEW: NO
REMARKS: Submitted survey lacks topographic contours. LDC requires that one-foot contours extend 100 feet beyond the project boundary.
- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.9/10 - Proposed Drainage Right-of-Way/Easements
STATUS OF REVIEW: NO
REMARKS: (1) Proposed improvement plan appears to rely on a plat to establish outparcels. Please clarify that a preliminary and final plat will be submitted. (2) Appropriate drainage easements/ROW shall be included on the final plat.
- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.38 - Stormwater Maintenance Entity
STATUS OF REVIEW: NO
REMARKS: Please submit documentation establishing that Tim Goyette can sign on behalf of The Phillips Edison Group, LLC.
- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.7 - Geotechnical Criteria
STATUS OF REVIEW: NO
REMARKS: Please show boring locations on the plans.
- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.A(3) - Retention/Detention Area Design Parameters
STATUS OF REVIEW: NO
REMARKS: (1) Please add DRA cross sections, to scale, along the width and length of each pond, showing the design high water elevation, estimated seasonal high-water elevation, pond top elevation, pond bottom elevation, side slope steepness, maintenance berm width, sod stabilization of the pond side slopes, and appropriate vegetative cover on the pond bottom. A typical cross section can be used instead when sufficient information is shown on the plan view which minimally includes pond width and length call outs as measured at the pond's top and bottom elevations (2) Please add the following note with the pond cross section: "A minimum of three feet of unconsolidated soil material shall be provided between the surface of any limestone bedrock and the bottom and sides of any stormwater facility." (3) Add coordinates or dimensions to the major pond components (changes in alignment, corners, etc) for constructability.
- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.B(4) - Hydrologic Analysis

STATUS OF REVIEW: NO

REMARKS: The site plan appears to show a turn lane that does not exist at the entrance from CR 484. Impacts from the additional impervious will need to be analyzed for the existing roadway DRA and conveyance system.

1 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.6 - Stormwater Quality Criteria

STATUS OF REVIEW: NO

REMARKS: Please indicate the proposed DRA stabilization method on the DRA cross section. DRAs greater than 4' deep require the bottom to be sodded in addition to the side slopes.

1 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.6.C - Best Management Practices

STATUS OF REVIEW: NO

REMARKS: Please add a karst repair detail to the plan set. If you need an example, please contact the reviewer.

1 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.B(5) - Hydraulic Analysis

STATUS OF REVIEW: NO

REMARKS: Conveyance system calculations need to utilize the tailwater conditions as required by LDC section 6.13.8.

1 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.8.B(3) - Lane Spread Calculations

STATUS OF REVIEW: NO

REMARKS: See comment under "6.13.2.A(9) - Access Accommodates Stormwater"

1 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.A(9) - Access Accommodates Stormwater

STATUS OF REVIEW: NO

REMARKS: The site plan appears to show a turn lane that does not exist at the entrance from CR 484. Please provide details for these improvements and the accompanying drainage modifications.

1 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.8.B(7) - Minimum Pipe Size

STATUS OF REVIEW: NO

REMARKS: LDC requires conveyance pipes to be a minimum of 18" diameter or equivalent. Reduction in pipe size to 15" for conveyance and 12" for yard drains may be supported with corroborating calculations; applicants can request a waiver.

1 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 7.1.3 - Drainage Construction Specifications

STATUS OF REVIEW: NO

REMARKS: (1) LDC requires the use of RCP pipe for stormwater conveyance piping. To pursue using an alternative material, the engineer needs to submit a request letter identifying the alternative material type requested, explanation for why alternative pipe material is being requested, and providing documentation of compliance with the following conditions: 1. Pipe service life shall be equal to or greater than 100 years. 2. Pipe diameter for High Density Polyethylene (HDPE) and Polypropylene shall be 48" maximum. 3. Polyvinyl Chloride (PVC), HDPE, and Polypropylene pipe shall not be installed exposed to direct sunlight. 4. Steel pipe shall only be listed as an option after consideration of all other pipe materials and justification is provided. 5. Justification for steel pipe shall include, but not be limited to data and values of water levels,

soil conditions, resistivity, pH, chlorides and sulfates. 6. Pipe shall not be installed outside of the allowable maximum and minimum cover heights as specified by the manufacturer. (2) Please add the following note to the cover page: "No change to the work as shown on the approved plans shall be made without notification to and approval by the office of the County Engineer."

1 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.12 - Operation and Maintenance

STATUS OF REVIEW: NO

REMARKS: Please submit a signed O&M Manual. An owner's certification is required on the O&M manual. Certification to state "I hereby certify that I, my successor, and assigns shall perpetually operate and maintain the stormwater management and associated elements in accordance with the specifications shown herein and on the approved plan." The individual signing the certification needs to be an agent or member of the entity that will own and maintain the stormwater system, or an authorized signatory of that entity. If signatory is not an agent or member, a letter authorizing a different individual needs to be submitted with the signed documents. The authorization letter must be signed by and agent/officer of owner. Please have the person signing also print their name for verification. Sunbiz will be used to verify agents and/or officers. Please contact reviewer if you need examples of O&M manuals accepted in the past.

1 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.

STATUS OF REVIEW: NO

REMARKS: After all stormwater comments are resolved, please upload a digitally signed and sealed report. A hard copy signed and sealed report can be submitted if desired.

1 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.11.9.C - Pavement marking

STATUS OF REVIEW: NO

REMARKS: 8/25/25 - Sheet 6225: Stop bar needed (next to a stop sign) just north of the crosswalk for the truck route return lane where it intersects the main drive aisle.

1 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.3 - Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions

STATUS OF REVIEW: NO

REMARKS: 8/18/25-Title block on ALL sheets missing type of application; (6

1 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.C - Name, address, phone number, and signature of owner and applicant on front sheet

STATUS OF REVIEW: NO

REMARKS: 8/18/25-missing Owner/Applicant phone number

1 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.F(1) - Licensed Design Professional Certification: I hereby certify that these plans and calculations were completed in accordance with all applicable requirements of the Marion County Land Development Code, except as waived.

STATUS OF REVIEW: NO

REMARKS: 8/18/25-missing

1 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.L(1) - Parcel number

STATUS OF REVIEW: NO
REMARKS: 8/18/25-missing

- 1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Marion County Utilities Contact Information
STATUS OF REVIEW: NO
REMARKS: 8/25/25 - 6000 Cover Page. Replace Carrie Hyde with Customer Service for the Marion County Utilities contact.
- 1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2.A - Water Connection Requirements
STATUS OF REVIEW: NO
REMARKS: 8/25/25 - 6355 Why run a parallel main instead of taping main separately for the Outparcels?
(2) If water main feeding Outparcels are to be public, MCU does not want the main under asphalt. If it must stay under asphalt, it needs to be ductile iron.
- 1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2.A - Sewer Connection Requirements
STATUS OF REVIEW: NO
REMARKS: 8/25/25 - 6355 No connections into manholes.
- 1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2.C.2(e) - Grease Trap, FOG Worksheet
STATUS OF REVIEW: NO
REMARKS: 8/25/25 - 6355 Called out on plans. What size grease trap? Will need signed and sealed calculations.
- 1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.B - Construction Notes - UT DETAILS - current LDC version
STATUS OF REVIEW: NO
REMARKS: 8/25/25 - 6355 Utility Connection Detail, U & V are labeled backwards.
- 1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.6.D - Meter Location
STATUS OF REVIEW: NO
REMARKS: 8/25/25 - 6355 Confirm meters are in the ROW and or in the property line within a dedicated Utility Easement.
- 1 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities comments
STATUS OF REVIEW: NO
REMARKS: Delineate the End of County Maintenance for water and sewer directly on the plan sheet 6355 and 6350.
- 1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: 6.18.5 - Access Control Box
STATUS OF REVIEW: NO
REMARKS: Please note on the utility plan page a Knox box will be installed near the front door 6 feet from floor level and 2 feet left of the door.
- 1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: 6.18.2.D - Fire Department Connections

STATUS OF REVIEW: NO

REMARKS: Plans reference a wall mounted Stortz connection. Marion County Fire Rescue does not approve the use of a stortz connection. Please update the plans to a 2 ½ connection. The fire department connection must be out of the collapse zone which is defined as a minimum of 1 and ½ times the height of the highest portion of the building. A fire hydrant is required to be within 100 feet of a fire department connection (Per NFPA 14 Chapter 6.4.5.4.1).

1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REVIEW ITEM: NFPA 1 Chapter 11.10.1 - In Building Minimum Radio Signal Strength

STATUS OF REVIEW: NO

REMARKS: Please note on the utility page. Building shall comply with the In Building Public Safety Minimum Radio Signal Strength requirements per NFPA 1 Chapter 11.10.1. The location will need to hire an independent firm to test the strength of the signal and if deemed necessary add equipment which allows the building to meet the minimum policies. The building must have a passing radio test prior to calling for the final fire inspection of the building. Any installation of equipment must be done under a permit and be approved by the office of the fire marshal.

1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REVIEW ITEM: 6.18.2.G - Painting and Marking of Fire Hydrants

STATUS OF REVIEW: NO

REMARKS: Please note on the utility page the additional notes.

a. All fire hydrants on private water mains shall have the body painted yellow.

b. All flow tests shall be tested per NFPA 291 by a third party contractor and witnessed by a Marion County Fire Inspector.

1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REVIEW ITEM: Additional Fire comments

STATUS OF REVIEW: NO

REMARKS: Plans will need to show signage for No parking fire lane per the Florida Fire Prevention Code Chapter 18.

1 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.4.L(5)/5.2 - [Applicable ESOZ/FPOZ Status Listed?]

STATUS OF REVIEW: NO

REMARKS: Please provide on cover page.

1 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.4.L(5)/5.4 - [Applicable Springs Protection Zone Listed?]

STATUS OF REVIEW: NO

REMARKS: Please provide on cover page.

1 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.16/6.5 - [EALS or EALS-ER provided?]

STATUS OF REVIEW: NO

REMARKS: Please see Zoning comments relating to EALS

1 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.5/1.8.2.A - Concurrency/Traffic - Study/Capacity Available?

STATUS OF REVIEW: NO

REMARKS: Please provide

1 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.5/1.8.2.F - Is Concurrency Approval or Deferral Elected?

STATUS OF REVIEW: NO

REMARKS: Please provide note on concurrency on cover page.

1 DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: 6.2.1.F - North arrow and graphic drawing and written scale

STATUS OF REVIEW: NO

REMARKS: Sheet 6020 SWPPP Sequence and Limits of Work and Sheet 6490 Photometric Plan are missing the North Arrow and Scale.

1 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 6.4.7.A(1) - Show a minimum of two bench marks per site

STATUS OF REVIEW: NO

REMARKS: Please provide.

1 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 6.4.7.A(2 & 3) - Bench mark information shown

STATUS OF REVIEW: NO

REMARKS: Please provide.

1 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 6.4.7.B(1) - Show a minimum of two intervisible horizontal control points per site

STATUS OF REVIEW: NO

REMARKS: Please provide.

1 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 6.4.7.B(2) - Horizontal control points shall be monumented and referenced to the Florida State Plane Coordinate System

STATUS OF REVIEW: NO

REMARKS: Please provide.

1 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 2.12.11 - Provide an aerial map of the site with a layout of the development

STATUS OF REVIEW: NO

REMARKS: Please provide overlay of Site Map 6040 on an aerial of location.

1 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.4 - Shade tree requirements

STATUS OF REVIEW: NO

REMARKS: Required shade trees - 369, provided 351. How will deficit of 18 trees be addressed?

1 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes)

STATUS OF REVIEW: NO

REMARKS: Provide native status for each plant on plant schedule

1 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.7 - Parking areas and vehicular use areas

STATUS OF REVIEW: NO

REMARKS: 1. Various parking islands are missing trees. 2. Parking areas exceed the 10 spaces / island limit 3. Some islands show understory trees, show conflict or provide canopy trees. 4. Islands at the end of parking rows should consider sight distances with the selection of canopy trees.

- 1 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.8 - Building landscaping
STATUS OF REVIEW: NO
REMARKS: Landscape areas shall be provided adjacent to or within 25 feet from the building walls and shall extend along 60 percent of the total length of the wall, excluding those areas required for access to the building. Landscape areas shall be a minimum of five feet wide allowing for a minimum distance of two feet from the façade to the innermost plants
- 1 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.10 - General planting requirements (specifications)
STATUS OF REVIEW: NO
REMARKS: 1. Provide planting and installation specifications 2. Provide native percentage showing requirements are met
- 1 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.12 - Landscape completion inspection requirements
STATUS OF REVIEW: NO
REMARKS: Provide note from this section of Code
- 1 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.9.6 - Completion inspection requirements
STATUS OF REVIEW: NO
REMARKS: Provide note from this section of Code
- 1 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.19.3 - Outdoor lighting plan requirements
STATUS OF REVIEW: NO
REMARKS: Photometric plan shall be signed and sealed by design professional
- 1 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.19.4 - Exterior lighting design standards
STATUS OF REVIEW: NO
REMARKS: 6.19.6.E.(4) - mounting heights shall not exceed 30 feet, plan shows 39 feet.
- 1 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.4.C - Owner and applicant name
STATUS OF REVIEW: NO
REMARKS: Please explicitly indicate property owner on cover sheet.
- 1 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.4.L(1) - Parcel number
STATUS OF REVIEW: NO
REMARKS: Please indicate parcel number on cover sheet.
- 1 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.21/6.3.1.C(10) - Land use and zoning on project and on adjacent properties shown
STATUS OF REVIEW: NO
REMARKS: Please indicate zoning/FLU designation of subject property on cover sheet. Please specify PUD case number. Please indicate adjacent zoning/FLU designation on overall site plan (sheet 6210).

- 1 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.4.L(4) - Zoning requirements: lot width, area , setbacks , coverage (floor area ratios) and parking
STATUS OF REVIEW: NO
REMARKS: Please provide table of zoning standards on cover sheet, including required/proposed setbacks, building height, FAR, etc. Please indicate front/side/rear setbacks on site plan (sheets 6220/6225). Please indicate standards for gas station on site (even if provided in future).
- 1 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.23/4.2 -Setbacks, dimensions for all improvements, and easements
STATUS OF REVIEW: NO
REMARKS: Please indicate general length/width of proposed buildings on site plan sheets. See zoning requirement comments on setbacks
- 1 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.24 - Landscape requirements/6.8.6 - Buffering
STATUS OF REVIEW: NO
REMARKS: Staff notes utilities easement in the same place as proposed buffers. Please note that buffers were a condition for PUD approval. In the case that the buffers are cleared, a zoning code violation would exist and the site may be subject to the code enforcement process, at the property owner's risk. Please provide typical detail of all buffer types. Please specify buffers types on all sides of project, including on proposed outparcels (even if provided in future), on sheets 6220/6225. Shared Type A buffer will require waiver, consistent with Table 7A in 191107Z approval letter. Please update site/landscaping plans accordingly. Please provide detail of garbage collection area meeting screening requirements of LDC Sec. 6.8.9.B.
- 1 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.32 - Modified Environmental Assessment for Listed Species (LDC 6.5.4) -OR- EALS Exemption Application (LDC 6.5.3) submitted (including habitat assessment as necessary per LDC 6.6.4)
STATUS OF REVIEW: NO
REMARKS: Per LDC Sec. 6.5.4, please provide the following in response:
- Acreage of the gross lands held under common ownership including and/or adjoining the project area.
- Exact time(s) of the field assessment
- Name of the individual(s) conducting the field assessment with their qualifications
- A transect map of the field assessment
- 1 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.4.L(10) - Parking requirements, service entrances, space size paved parking isle and access to parking area/6.11.8 - Off-street parking requirements/6.11.7 - Loading Areas/ 6.11.6 - Construction access/route
STATUS OF REVIEW: NO
REMARKS: Please explicitly indicate total required parking for all buildings in sheet 6220/6225 based on uses from LDC Table 6.11-5. Rows of 11+ parking spaces are provided on sheets. Per LDC Sec. 6.8.7.C, a parking island shall be required every 10 spaces. Update all sheets, including parking figures, accordingly. Please indicate OPD parking width on sheets 6220/6225.
- 1 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 4.4.4 -Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan.
STATUS OF REVIEW: NO
REMARKS: [INFO] Per condition 5 of PUD 191107Z, all project signs shall comply with LDC Division

5.4 Advertising Signs; further, a final PUD-wide Master Sign Plan shall be included as a component for review in the final PUD Master Plan, or equivalent, submittal. All signs shall be permitted separately. [NO] Sheet 6210 indicates two multi-tenant signs. The proposed signs on this sheet are not consistent with types indicated by current Master Plan (AR 27373; currently under review). Please correct.

- 1 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.19 - Provide dimensions and location of all existing site improvements; dimensions and location for all proposed site improvements with all setbacks
STATUS OF REVIEW: NO
REMARKS: Please indicate general length/width of proposed buildings on site plan sheets. See zoning requirement comments on setbacks
- 1 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 5.2 & 5.3 - Verify any overlay zones such as ESOZ, Springs Protection, or Flood Plain
STATUS OF REVIEW: NO
REMARKS: Please indicate on cover sheet:
FEMA Flood Zone X
No ESOZ
Secondary Springs Protection Zone.
- 1 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: Additional Zoning comments
STATUS OF REVIEW: NO
REMARKS: [INFO] Please note that the creation of commercial outparcels and residential subdivision (to the north) will require approval of Master Plan, Preliminary Plat, Improvement Plan, and Final Plat. Master Plan (AR #27373) must be approved before Preliminary Plat, Improvement Plan and Final Plat, unless the Applicant receives approved waiver to Sec. 2.1.3 Order of Plan.
Staff notes the gas station is excluded from Major Site Plan. A separate Major Site Plan will be required prior to a building permit approval of the gas station.
[NO] Public access R/W is not consistent with current Master Plan submittal (AR 27373; currently under review). Please note changes to this R/W shall require PUD amendment.
- 1 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW
REVIEW ITEM: Major Site Plan
STATUS OF REVIEW: NO
REMARKS: Please add Parcel ID Number and Signature line for owner to coversheet of site plan. -EMW 8.19.25
IF APPLICABLE:
Sec. 2.18.1.I - Show connections to other phases.
Sec.2.19.2.H – Legal Documents
Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.
Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)
For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."
Sec. 6.3.1.B.2 – Required Right of Way Dedication
For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health,

safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."
2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 12/8/2025 Parcel Number(s): 41200-056-03 Permit Number: 33171

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: SW Hwy 484 Super Center Commercial ☒ Residential ☐
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): 484 Road Runner Resources, LLC
Signature: _____
Mailing Address: 5700 SW Hwy 484 City: Ocala
State: FL Zip Code: 34473 Phone # 352-875-6519
Email address: richmcginley@gmail.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): The Phillips Edison Group, LLC Contact Name: Tim Goyette
Mailing Address: 11501 Northlake Drive City: Cincinnati
State: OH Zip Code: 45249 Phone # 513-338-2802
Email address: tgoyette@phillipsedison.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 6.8.6 - Buffer
Reason/Justification for Request (be specific): Per conversations with staff, we are requesting a wavier for a consolidated buffer on a
single piece of property in lieu of multiple buffers along the northern property line.

DEVELOPMENT REVIEW USE:

Received By: _____ Date Processed: _____ Project # _____ AR # _____

ZONING USE: Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes ☐ No ☐
Date Reviewed: _____ Verified by (print & initial): _____

[illegible]

[illegible]

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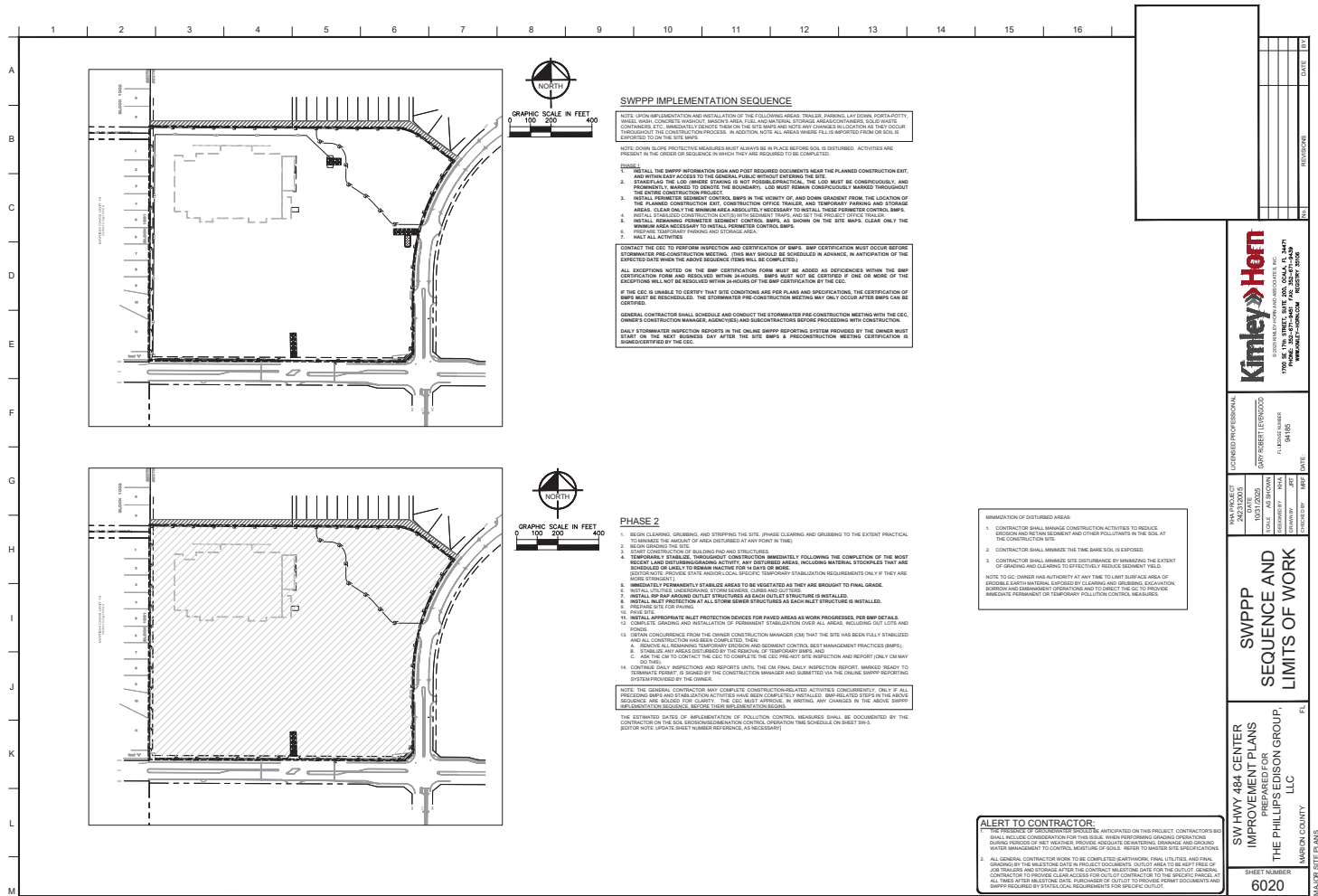


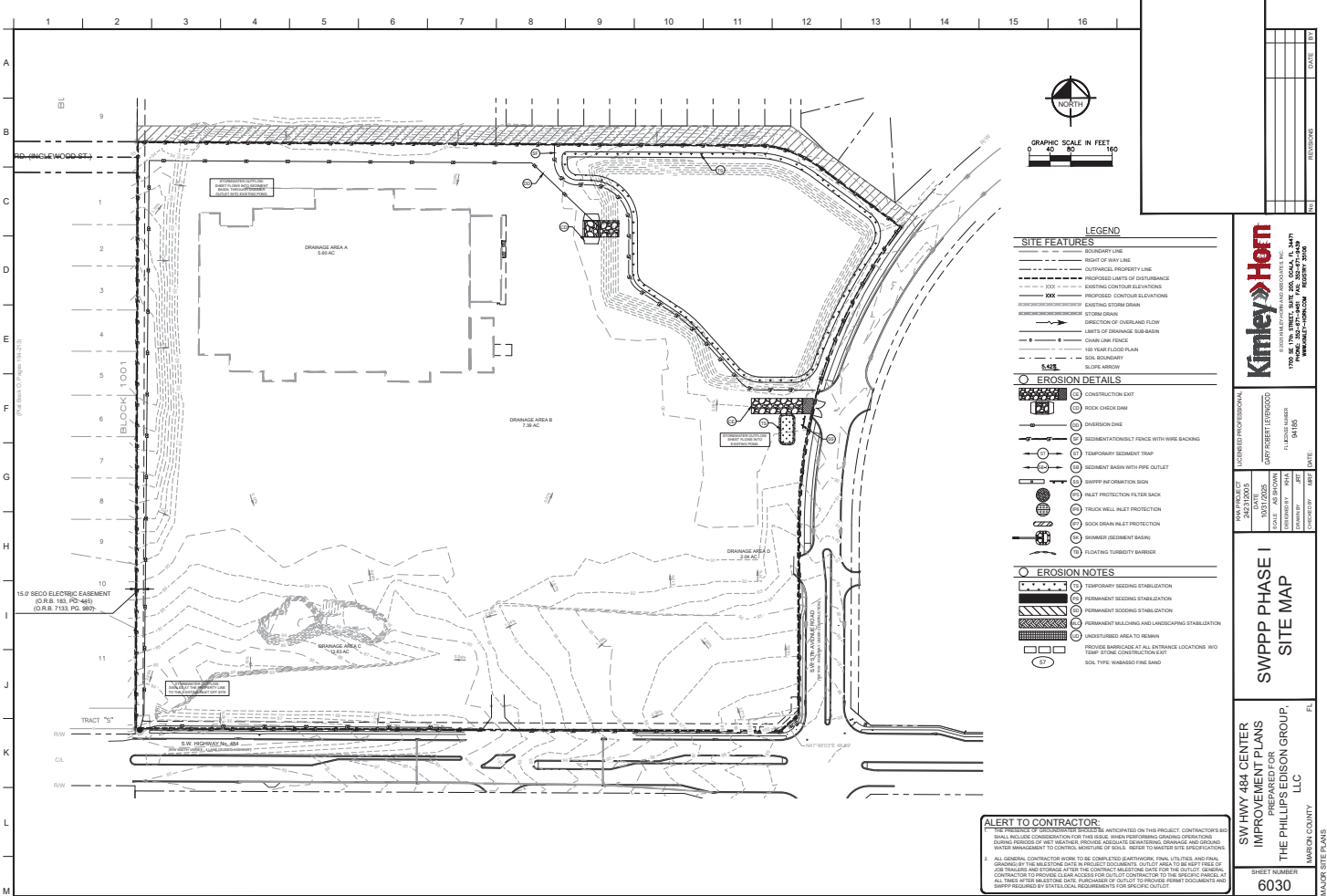
ALERT TO CONTRACTOR:

THE POSSIBILITY OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S SHALL INCLUDE CONSIDERATION FOR THIS ISSUE. WHEN PERFORMING GRADING OPERATIONS, BE AWARE OF THE POTENTIAL OF EXISTING OR FUTURE DRAINAGE AND GROUNDWATER. WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATION.

2. ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS. OUTLET AREA TO BE KEPT FREE OF JOB TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLET. GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLET CONTRACTOR TO THE SPECIFIC PARCEL AND AFTER MILESTONE DATE TO PROVIDE ACCESS TO INQUIRY. CONTRACTOR TO OBTAIN A PERMIT REQUIRED BY STATE/CAL CAL REQUIREMENTS FOR SPECIFIC OUTLET.

[illegible]





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Kimley-Horn
INCORPORATED
1000 N. 10th St., Suite 200
Tulsa, Oklahoma 74103
Phone: 918.492.1000
Fax: 918.492.1001
www.kimley-horn.com

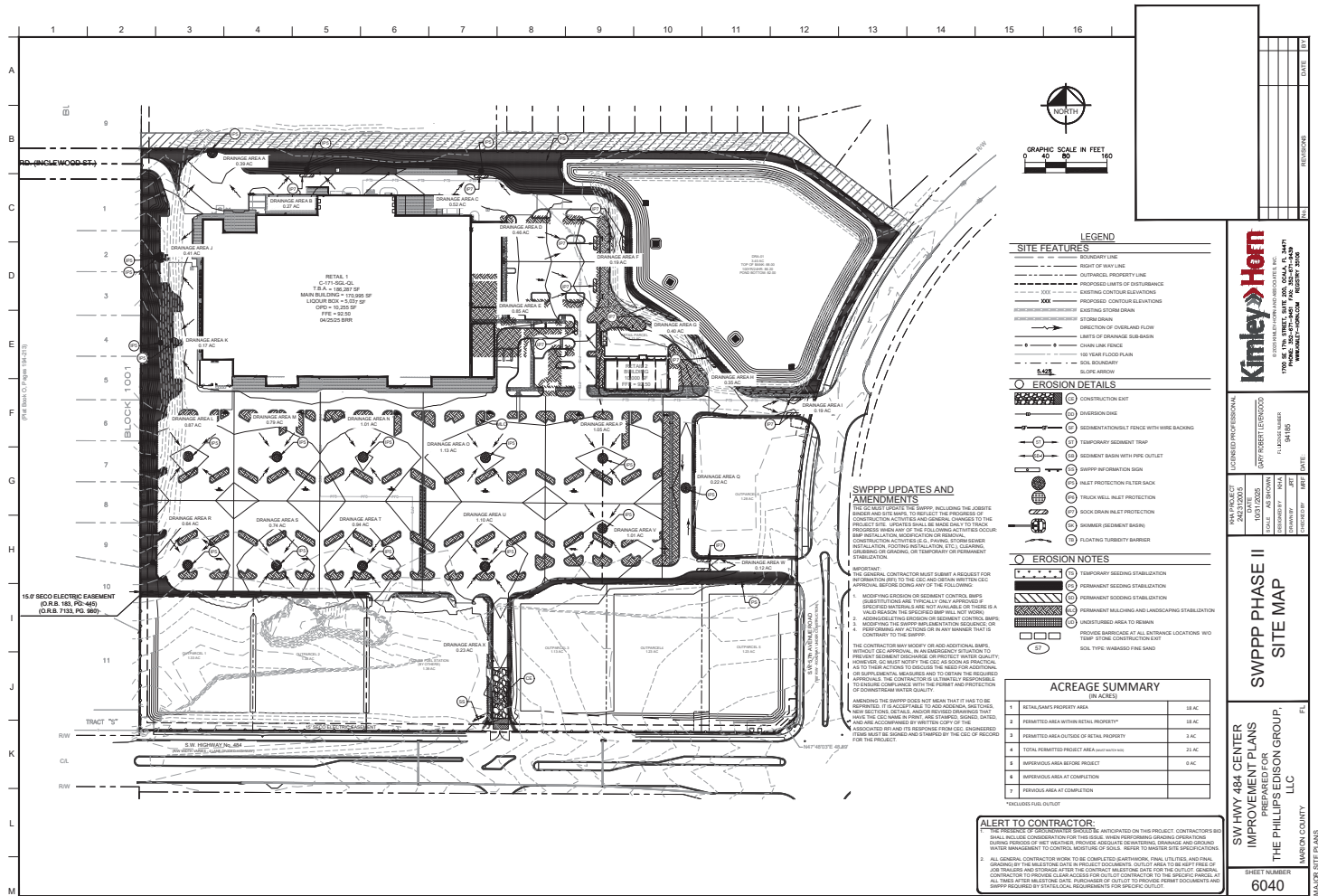
LICENSED PROFESSIONAL
ENGINEER
STATE OF OKLAHOMA
NO. 10000
EXPIRATION DATE 12/31/2024
ISSUED DATE 12/31/2021
PROJECT NO. 2023-001
DATE 01/11/2024

SWPPP PHASE I
SITE MAP

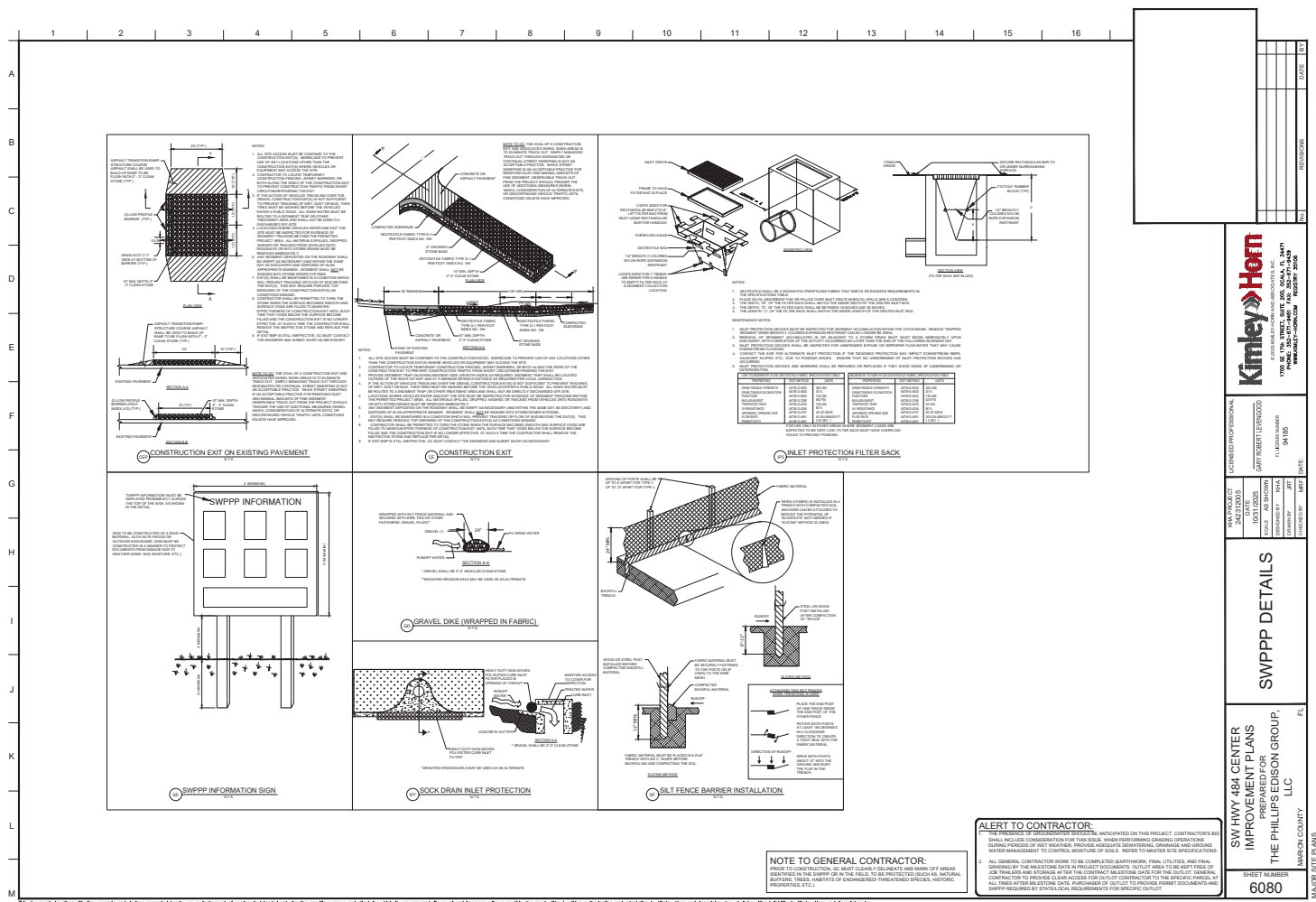
SW HWY 484 CENTER
IMPROVEMENT PLANS
PREPARED FOR
THE PHILLIPS EDISON GROUP,
LLC

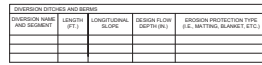
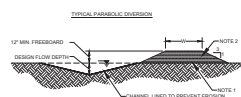
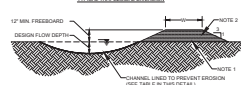
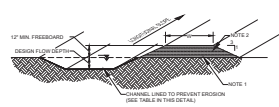
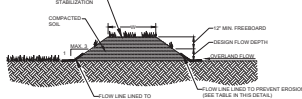
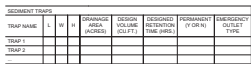
SHEET NUMBER
6030

MARCH COUNTY
MAJOR SITE PLANS



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NOTE TO GENERAL CONTRACTOR:
PRIOR TO CONSTRUCTION, GC MUST CLEARLY DELINEATE AND MARK OFF AREAS IDENTIFIED IN THE SWPPP OR IN THE FIELD, TO BE PROTECTED (SUCH AS, NATURAL BUFFERS, TREES, HABITATS OF ENDANGERED/THREATENED SPECIES, HISTORIC PROPERTIES, ETC.).

ALERT TO CONTRACTOR:

1. THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR THIS ISSUE. WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DOWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MIXTURE OF SOILS. REFER TO MASTER SITE SPECIFICATION.

2. ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATES IN PROJECT DOCUMENTS. OUTLOT AREA TO BE KEPT FREE OF OBSTACLES AND PROJECTED TRUCK MILESTONE DATE FOR THE OUTLOT GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLOT CONTRACTOR TO THIS SPECIFIC PARCEL AT ALL TIMES AFTER MILESTONE DATE. PURCHASER OF OUTLOT TO PROVIDE PERMIT DOCUMENTS AND SURFP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT.

Kimley»Horn
© 2005 KIMLEY-HORN AND ASSOCIATES, INC.
1700 SE 17th STREET, SUITE 200, Ocala, FL 34471
PHONE: 352-071-9461 FAX: 352-071-9439
WWW.KIMLEY-HORN.COM REGISTRY 20506

RMA PROJECT 242 312005	DATE 10/31/2025	SCALE AS SHOWN	DRAWN BY JRT	CHECKED BY MADE	DATE:
LICENSED PROFESSIONAL DARY ROBERT LEVENCOS FL LICENSE NUMBER 94185					

SWPPP DETAILS

SW HWY 484 CENTER
IMPROVEMENT PLANS
PREPARED FOR
THE PHILLIPS EDISON GROUP,
LLC
MARION COUNTY

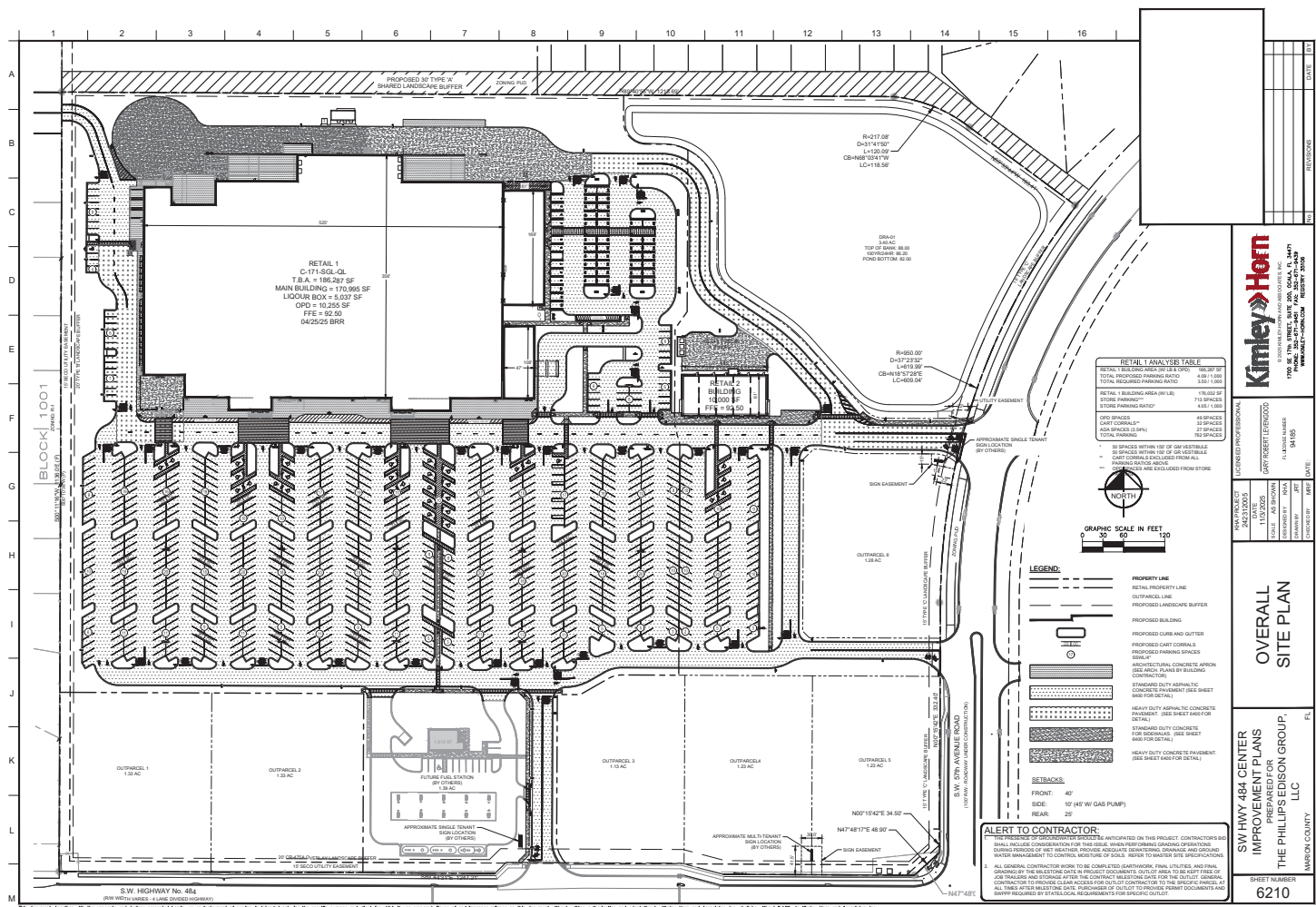
MAJOR SITE PLANS

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ALERT TO CONTRACTOR:

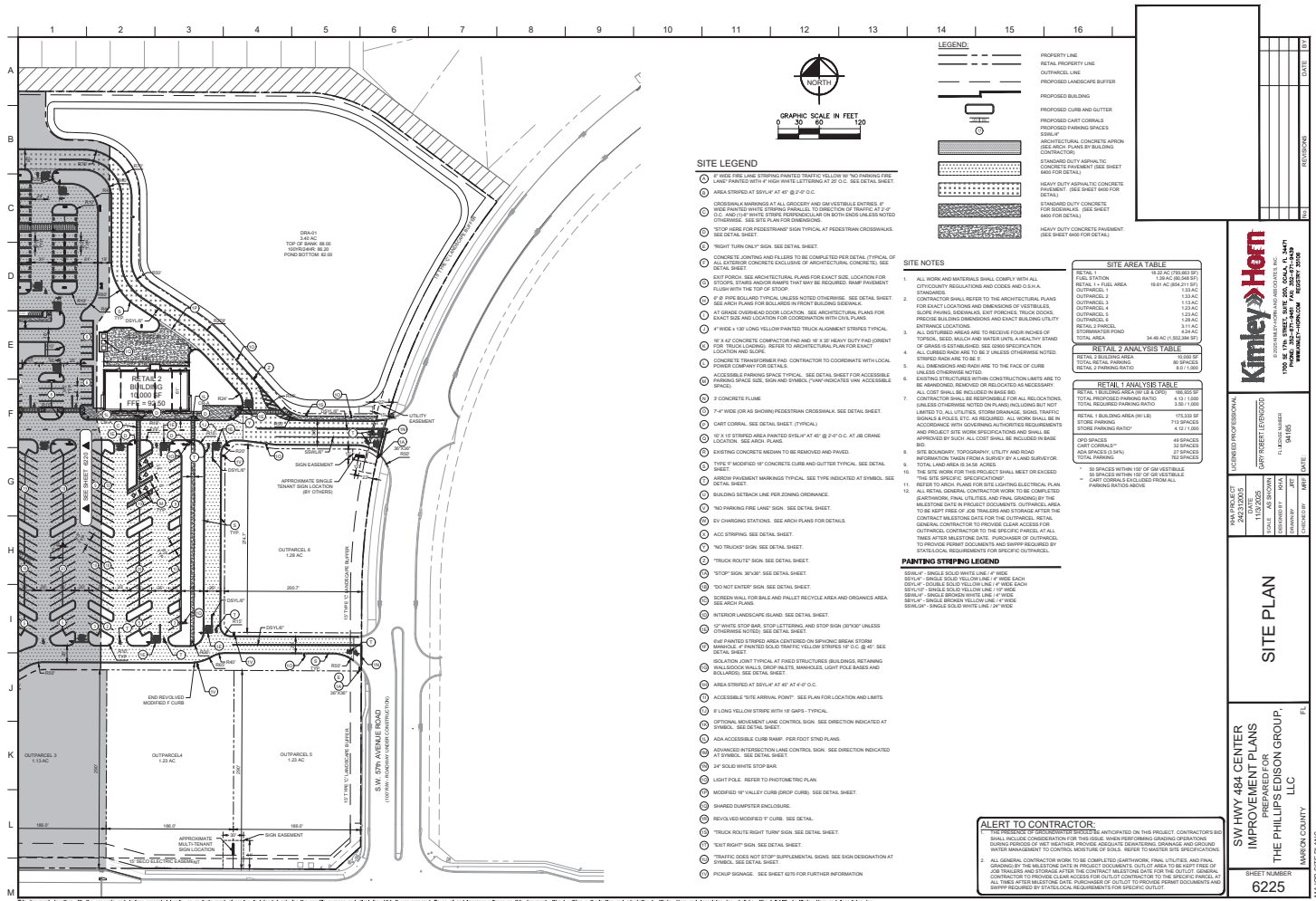
THE PRESENCE OF SPOONSHED OR SPOTS ARE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR THIS ISSUE, WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER. PROVIDE ADEQUATE Dewatering, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.

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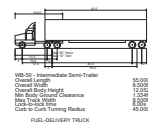
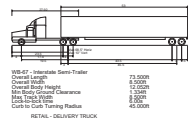
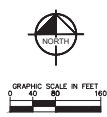
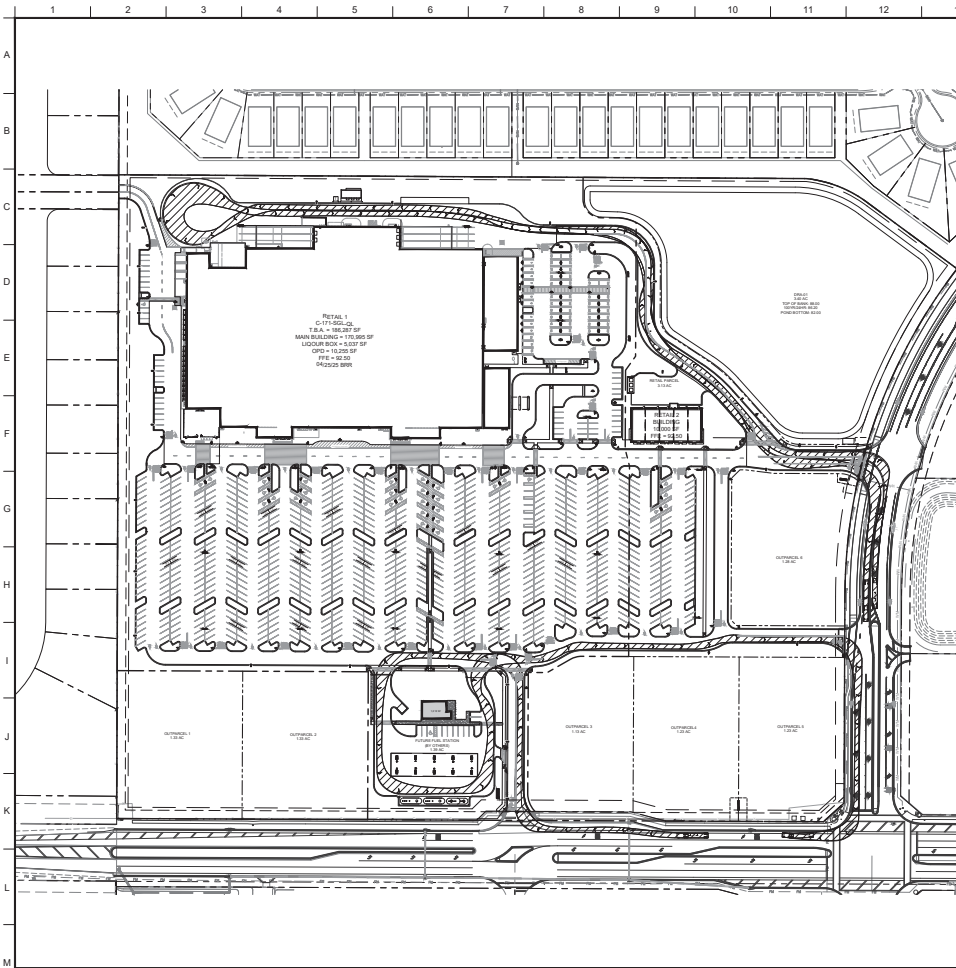


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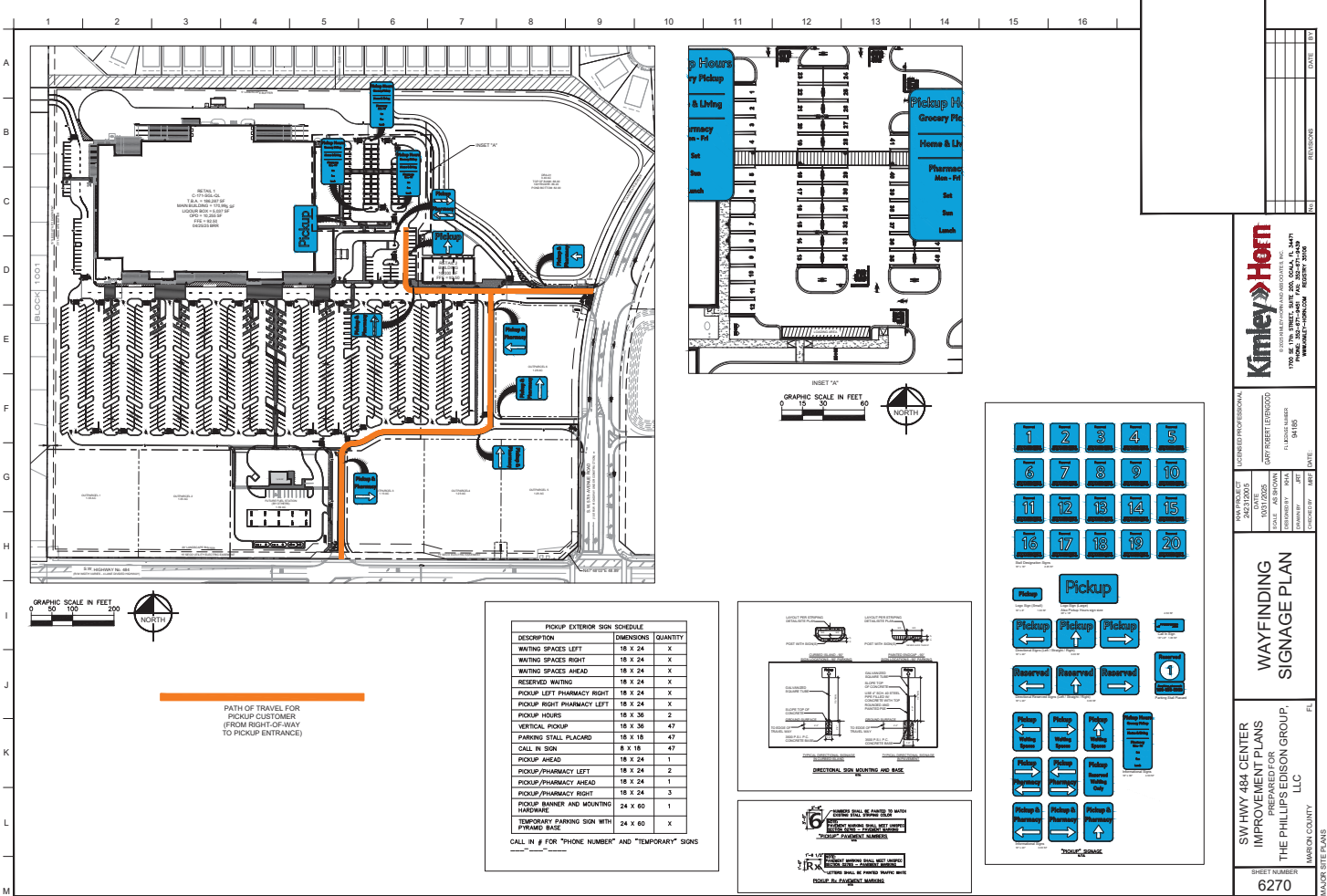
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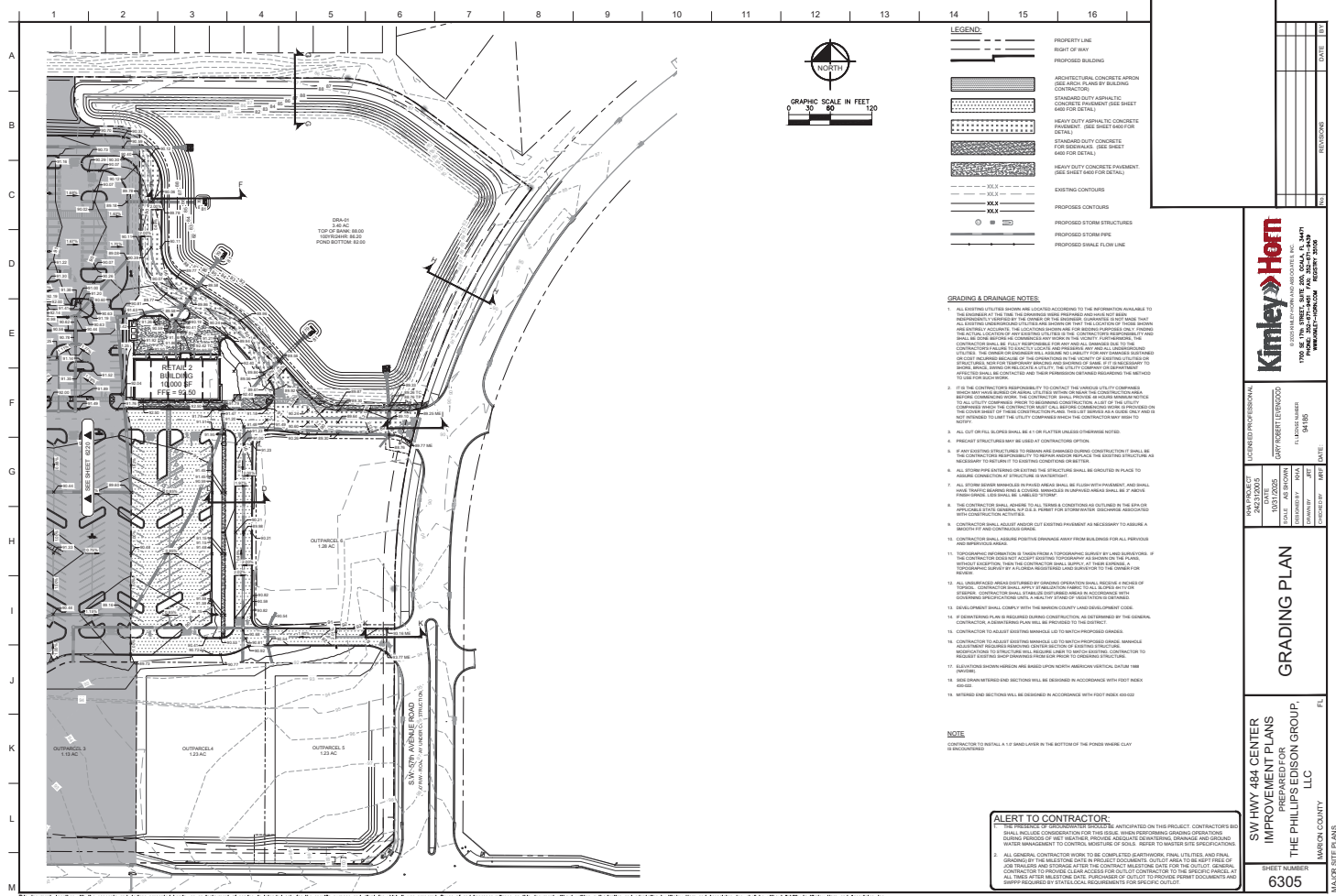
ALERT TO CONTRACTOR:
THE PRESENCE OF UNDESIRABLE MATERIALS ANTICIPATED ON THIS PROJECT. CONTRACTORS MUST BE AWARE OF THE PRESENCE OF UNDESIRABLE MATERIALS AND TAKE APPROPRIATE PRECAUTIONS TO AVOID CONTAMINATION OF THE GROUND. CONTRACTORS MUST BE AWARE OF THE PRESENCE OF UNDESIRABLE MATERIALS AND TAKE APPROPRIATE PRECAUTIONS TO AVOID CONTAMINATION OF THE GROUND. CONTRACTORS MUST BE AWARE OF THE PRESENCE OF UNDESIRABLE MATERIALS AND TAKE APPROPRIATE PRECAUTIONS TO AVOID CONTAMINATION OF THE GROUND.

Kimley-Horn	
6000 KIMLEY-HORN DRIVE, SUITE 100 DALLAS, TEXAS 75247-1440 PHONE: 214-447-1440 FAX: 214-447-1449 WWW.KIMLEY-HORN.COM	
LICENSED PROFESSIONAL CIVIL ENGINEER	UNIVERSITY LICENSE STATE OF TEXAS LICENSE NUMBER 94180
DATE 04/15/2019	DATE 04/15/2019
TRUCK ROUTING PLAN	
SW HWY 484 CENTER IMPROVEMENT PLANS PREPARED FOR THE PHILLIPS EDISON GROUP, LLC	
MARION COUNTY, FL	
SHEET NUMBER 6260	
MAJOR SITE PLANS	

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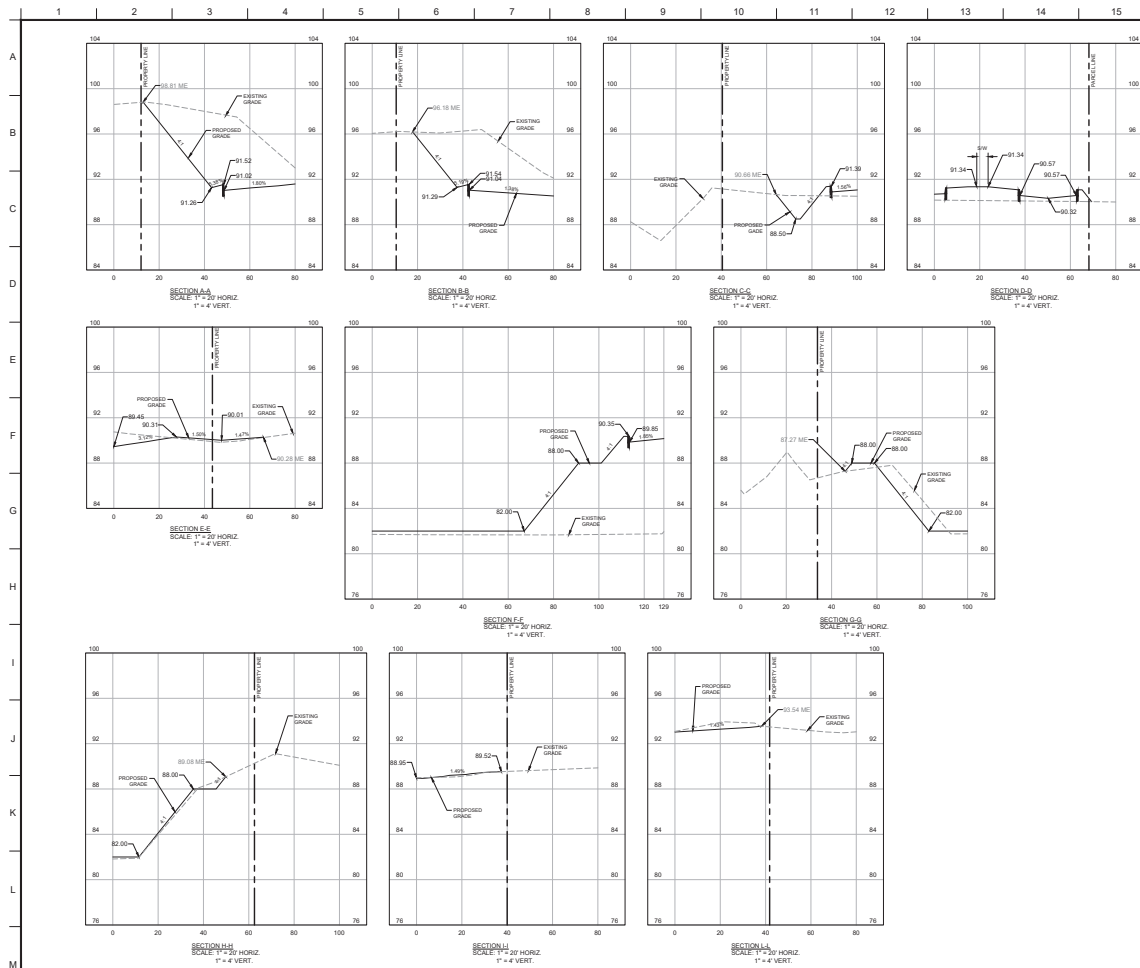
KWA PROJECT 242.31200.5	DATE 10/31/2025	LICENSED PROFESSIONAL GARY ROBERT LEVENGOOD
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GRADING PLAN

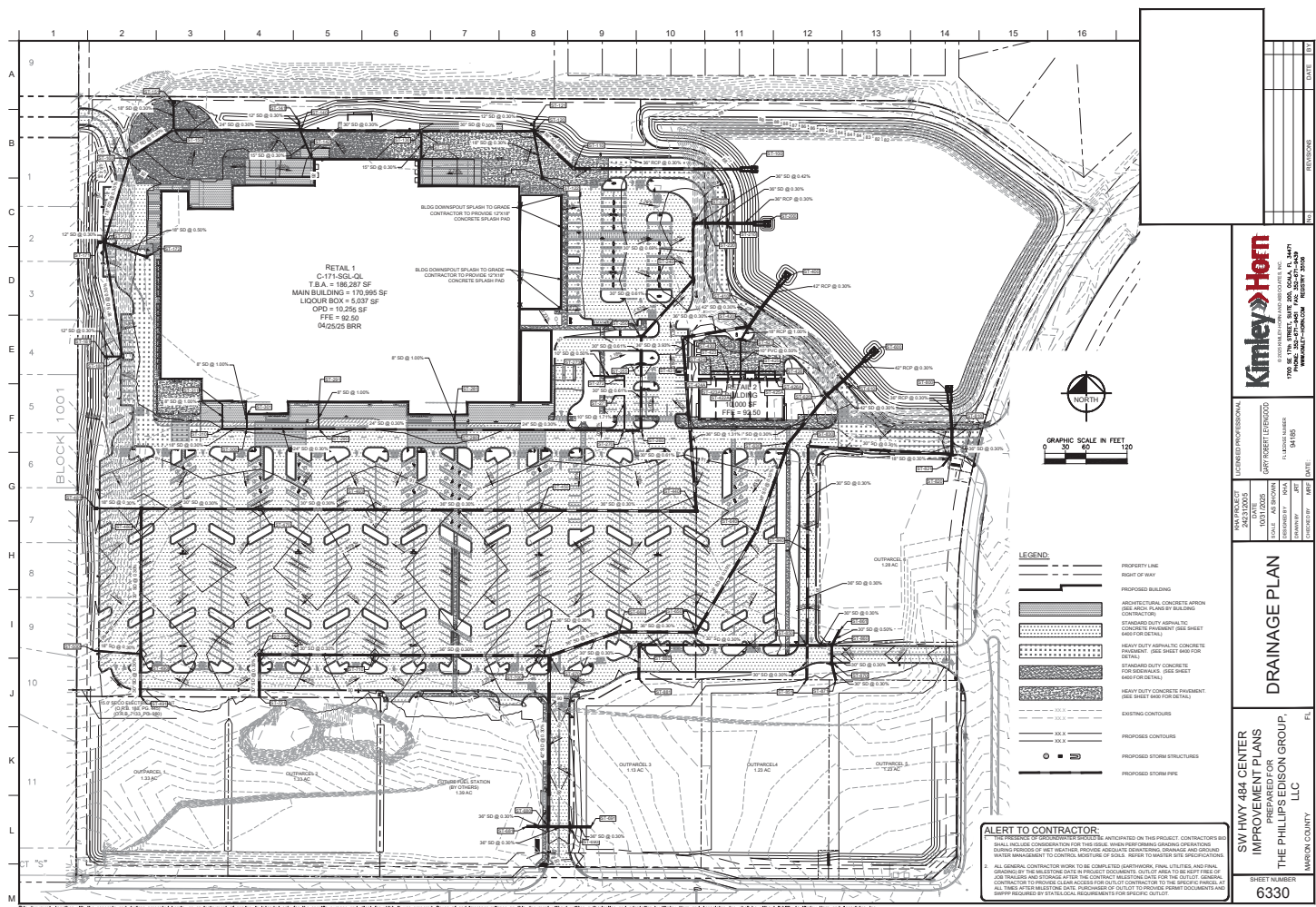
SW HWY 484 CENTER
IMPROVEMENT PLANS
PREPARED FOR
THE PHILLIPS EDISON GROUP,
LLC

SHEET NUMBER
6305

MAJOR SITE PLANS

[illegible]

SW HWY 484 CENTER IMPROVEMENT PLANS THE PHILLIPSPEDSON GROUP, LLC	SHEET NUMBER 6310		 Kimley-Horn <small>ENGINEERS, ARCHITECTS AND PLANNERS, INC.</small> 1700 8TH STREET, SUITE 300A • SUITE 300 DENVER, COLORADO 80202 WWW.KIMLEY-HORN.COM 303.733.7000
	GRADING SECTIONS		
MAP OF COUNTY FILE	NON-PAID 24231003 10/01/2025 SCALE: AS SHOWN DATE: 10/01/2025 DESIGNER: JDA CHECKER: JDA DATE: 10/01/2025	LICENSED PROFESSIONAL CIVIL ENGINEER JAY RUTTER, LICENSED 54185	



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FIGURE 1

FIGURE 2

FIGURE 3

FIGURE 4

FIGURE 5

FIGURE 6

FIGURE 7

FIGURE 8

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FIGURE 247

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FIGURE 259

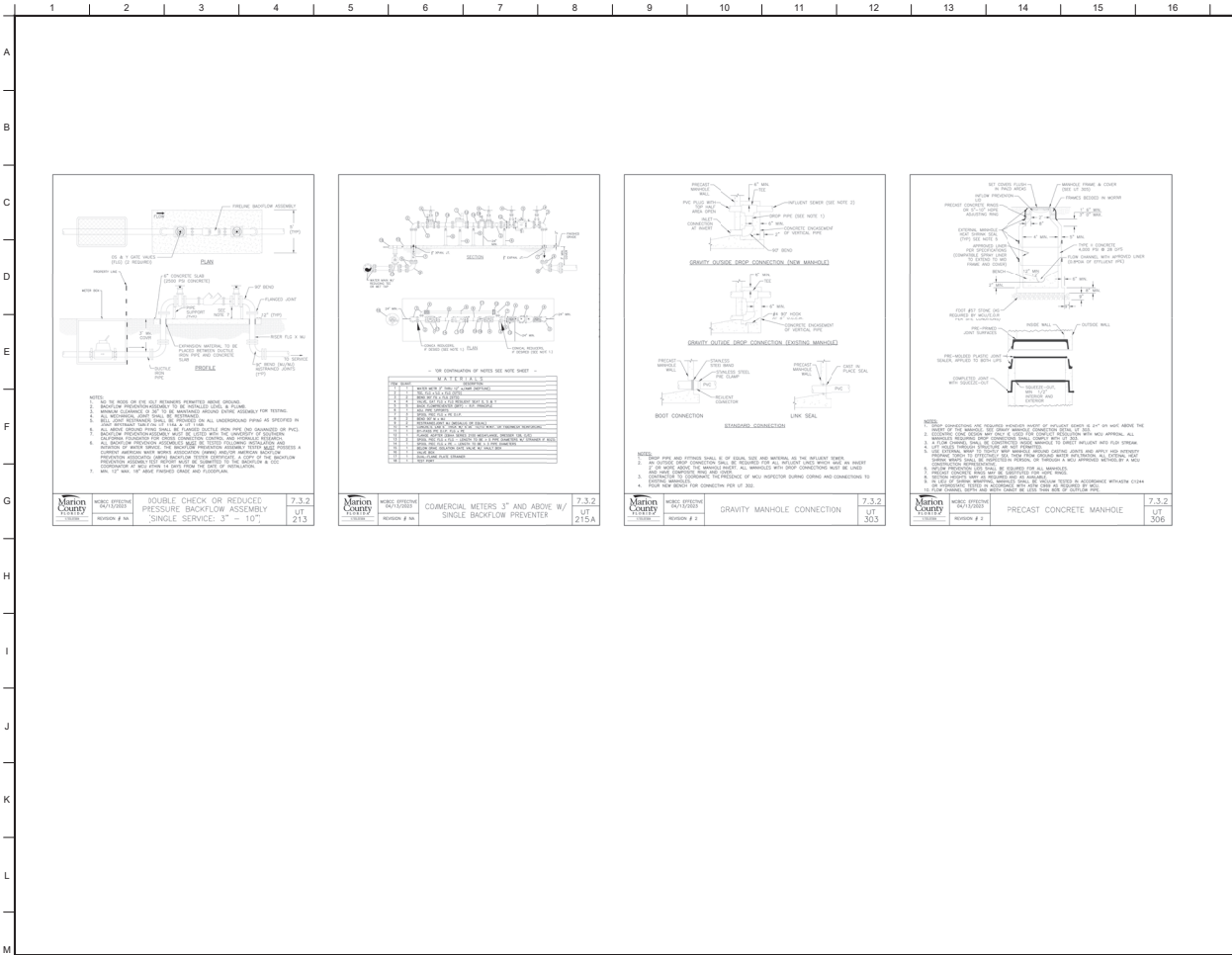
FIGURE 260

FIGURE 261

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SW HWY 484 CENTER IMPROVEMENT PLANS PREPARED FOR THE PHILLIPS EDISON GROUP, LLC MARION COUNTY	SHEET NUMBER 6403	MUNICIPAL UTILITY DETAILS		NON-PUBLIC REVISED 10/01/2003 10/01/2005 11/04/2005 141485 DATE:	LICENSED PROFESSIONAL JOYCE ROBERT LERWICK 141485 DATE:	 <p> KIMLEY-HORN AND ASSOCIATES, INC. 1700 S. ST. STREET, SUITE 300, K.C., MO 64111 WWW.KIMLEY-HORN.COM REGISTRY 2006 </p>

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PHILADELPHIA, PA 19107-3400

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LICENSED PROFESSIONAL

DAVID ROBERT LEONARDOS

LICENSE NUMBER

94185

DATE

08/11/2011

SW PROJECT

DATE

DESIGN

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MUNICIPAL UTILITY DETAILS

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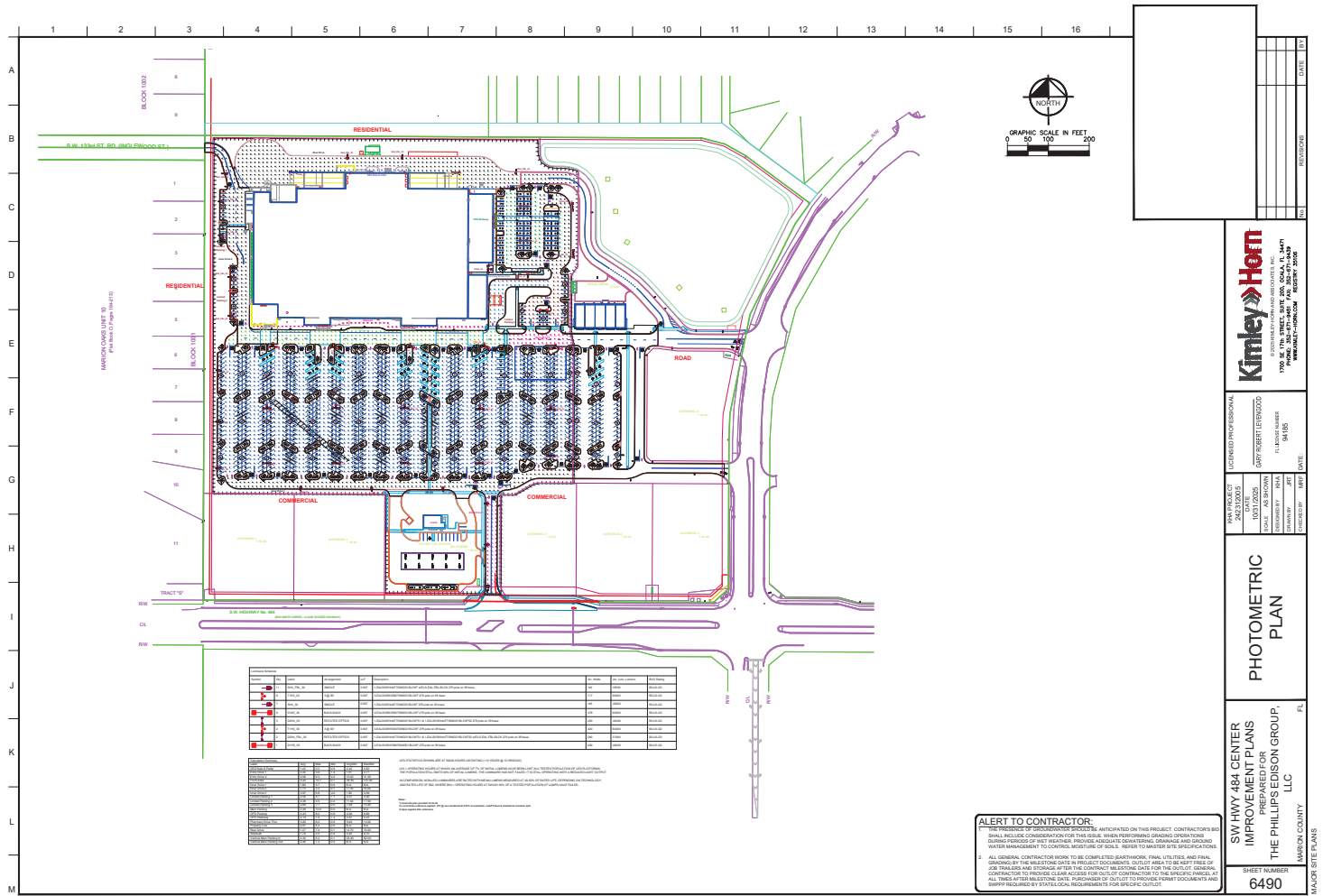
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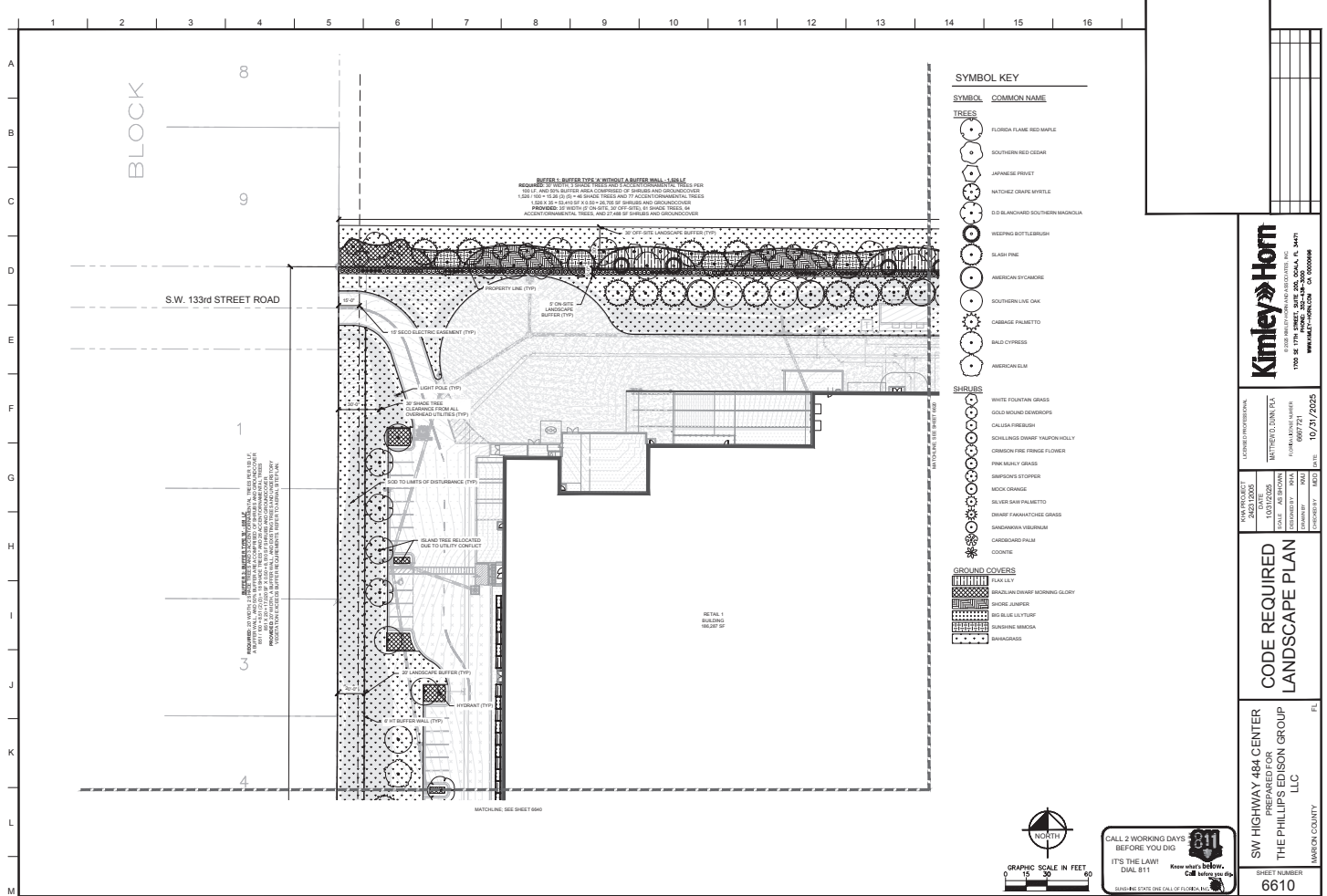
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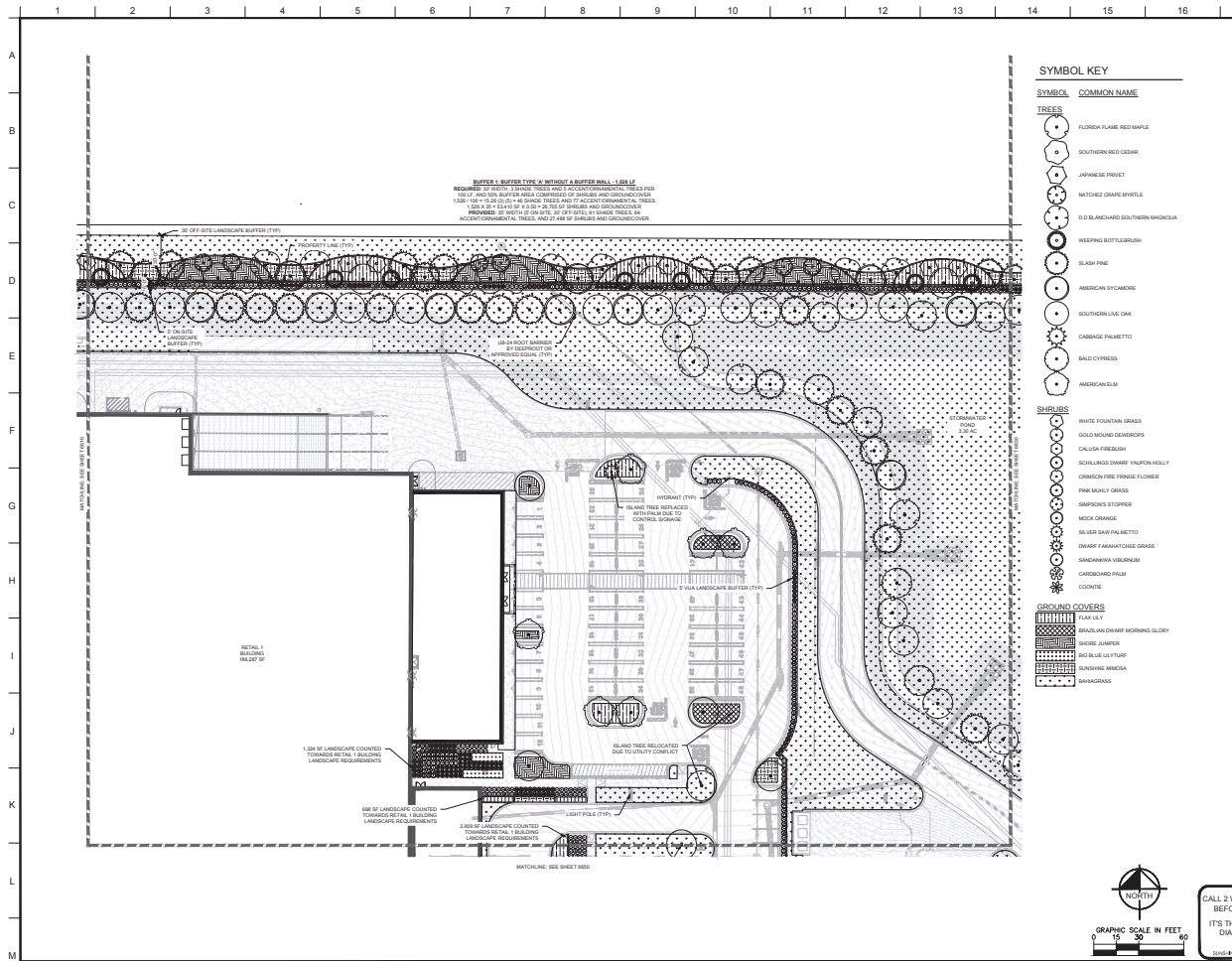


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SYMBOL KEY

SYMBOL COMMON NAME

TREES

- FLORIDA FLAME RED MAPLE
- SOUTHERN RED CEDAR
- JAPANESE PRIVET
- NATURAL GRAPE MYRTLE
- OLD BLANCHARD SOUTHERN MAHONIA
- WEeping BOUT FLEURBUSH
- SLASH PINE
- AMERICAN CYPRESS
- SOUTHERN LIVE OAK
- CABBAGE PALMETTO
- BAUD CYPRESS
- AMERICAN ELM

SHRUBS

- WHITE FOUNTAIN GRASS
- GOLD MOUND BOWENOPUS
- CALLUNA FIREBUSH
- SCHILLERS DWARF YALPORN HOLLY
- ORANGE FIRE FRINGE FLOWER
- TRIM BUSHY DOGWOOD
- IMPATIENS STORIOSA
- MOCK ORANGE
- SILVER SAW PALMETTO
- DWARF FAN PANTHOS GRASS
- SANDPAPER VIBURNUM
- CANDIDATED PALM
- COUNTRY

GROUND COVERS

- FLAX LILY
- REDLAND DWARF MORNING GLORY
- SHORE JUNCUS
- BIG BLUE LILY TURF
- SUNSHINE MIMOSA
- BANANA GRASS



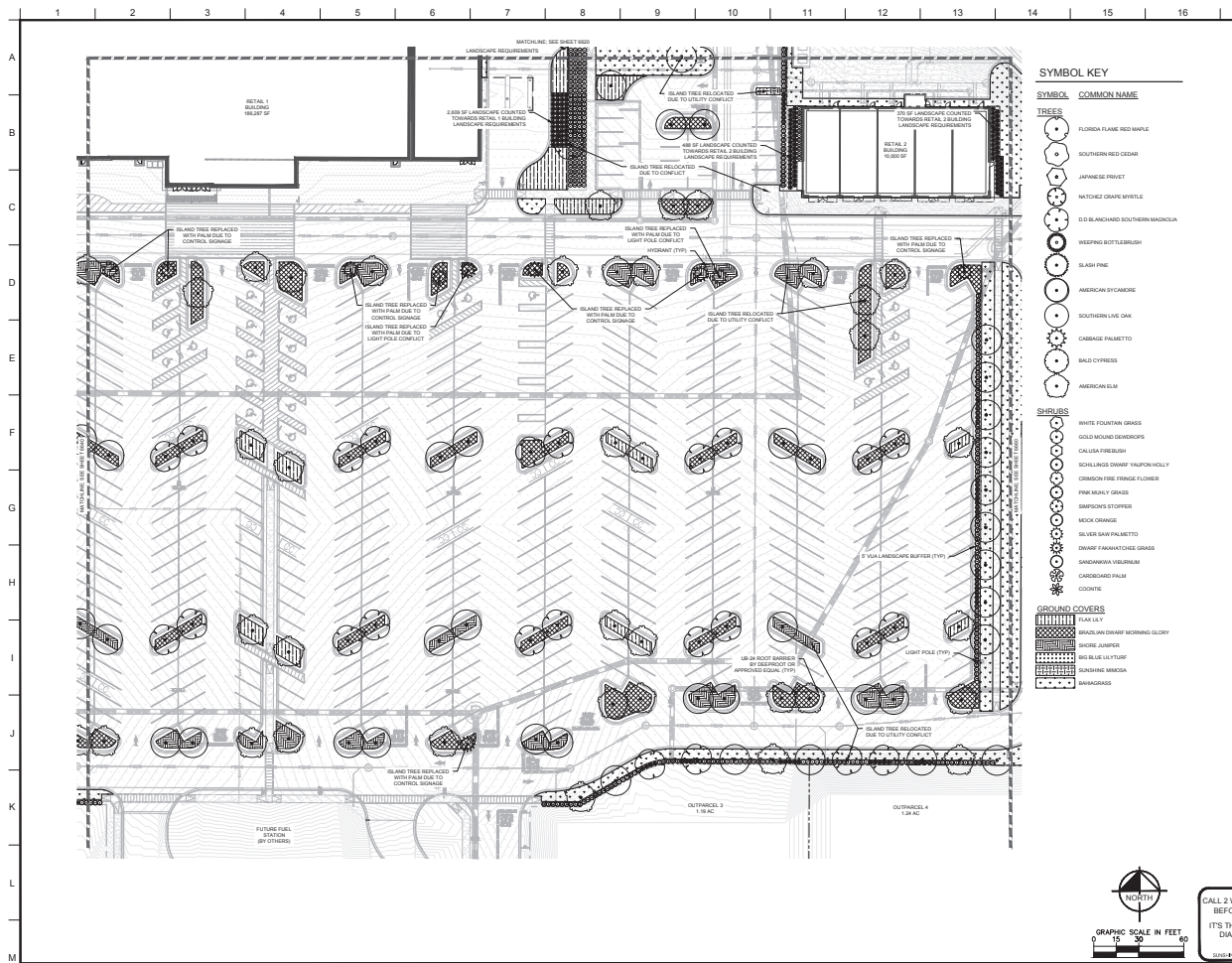
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CODE REQUIRED LANDSCAPE PLAN













SW HIGHWAY 484 CENTER
THE PHILLIPS DESIGN GROUP LLC
6620
MARION COUNTY
















SYMBOL KEY

<u>SYMBOL</u>	<u>COMMON NAME</u>
---------------	--------------------

TREES


	FLORIDA FLAME RED MAPLE
	SOUTHERN RED CEDAR
	JAPANESE PRIVET
	NATCHEZ GRAPE VIGNOLE
	D.D. BLANCHARD SOUTHERN MAGNOLIA
	WEEPING BOTTLEBRUSH
	SLASH PINE
	AMERICAN SYCAMORE
	SOUTHERN LIVE OAK
	CABBAGE PALMETTO
	BALD CYPRESS
	AMERICAN ELM

SHRUBS	
	WHITE FOUNTAIN GRASS
	GOLD MOUND DWEDROPS
	CALUSA FIREBUSH
	SCHILLINGS DWARF YAUPOIN HOLLY
	CRIMSON FIRE FRINGE FLOWER
	PINK MEUHY GRASS
	SIMPSON'S STOPPER
	MOCK ORANGE
	SILVER SAW PALMETTO
	DWARF FAKAHATCHEE GRASS
	SANDANKWA VIBURNUM
	CAREBORD PALM
	COONITE

GROUND COVERS	
	FLAX LILY
	BRAZILIAN DWARF MORNING GLORY
	SHORE JUNIPER
	BIG BLUE LILLYTURF
	SUNSHINE MIMOSA
	BAMBAGRASS



GRAPHIC SCALE IN FEET



A horizontal line with tick marks at 0, 15, 30, and 60 feet. The segment between 15 and 30 is shaded black.

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