

November 4, 2025

- 1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: 6.18.5 - Access Control Box
STATUS OF REVIEW: INFO
REMARKS: Any commercial building which contains a fire sprinkler system and or fire alarm system must install an access control box. The access control box must be ordered on a specific form signed by MCFR to ensure the correct box is ordered for the jurisdiction. Please contact our office to obtain the form 352-291-8000.
- 2 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: NFPA 1 Chapter 11.10.1 - In Building Minimum Radio Signal Strength
STATUS OF REVIEW: INFO
REMARKS: All new buildings and buildings which conduct renovations increasing the total floor space by greater than 50 percent of the floor area must comply with NFPA 1 Chapter 11.10.1. NFPA 1 Chapter 11.10.1 provides for the AHJ to establish minimum standards for in building public safety radio communications. Please be aware that your building will be required to conduct a test for the minimum radio signal strength to determine coverage. If the minimum radio signal strength is deemed insufficient then a radio signal enhancement system must be installed and the building retested to ensure it meets the minimum criteria. Please plan for this early in your project and contact Marion County Fire Rescue with any questions 352-291-8000.
- 3 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: Additional Landscape comments
STATUS OF REVIEW: INFO
REMARKS: Plan is resubmitted for plan type, no revisions to site including Landscape. See previously approved plan AR#31954 for Landscape plans
- 4 DEPARTMENT: ENGSUR - SURVEY REVIEW
REVIEW ITEM: 6.4.7.A(1) - Show a minimum of two bench marks per site
STATUS OF REVIEW: NO
REMARKS: Please provide second TBM for site.
- 5 DEPARTMENT: ENGSUR - SURVEY REVIEW
REVIEW ITEM: 6.4.7.A(2 & 3) - Bench mark information shown
STATUS OF REVIEW: NO
REMARKS: Please provide.
- 6 DEPARTMENT: ENGSUR - SURVEY REVIEW
REVIEW ITEM: 2.12.8 - Provide current boundary and topographic survey less than one year old
STATUS OF REVIEW: NO
REMARKS: Please provide updated boundary and topographic survey.
- 7 DEPARTMENT: ENGSUR - SURVEY REVIEW
REVIEW ITEM: 2.12.11 - Provide an aerial map of the site with a layout of the development
STATUS OF REVIEW: NO
REMARKS: Please provide overlay of Site Plan Sheet 05.01 on an aerial of site.



**Marion County
Board of County Commissioners**

33554

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 10/24/25 Parcel Number(s): 41200-056-04; 41200-056-12 and portion Permit Number: AR# 31954 (Imp plan)

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Publix Diamond "A" Shopping Center Commercial Residential
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Diamond A, LLC. c/o Matt Fabian
Signature: _____
Mailing Address: PO BOX 772169 City: Ocala
State: FL Zip Code: 34471 Phone # 352-239-0683
Email address: mattfabian@gmail.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Tillman and Associates Engineering LL Contact Name: Jeffrey McPherson
Mailing Address: 1720 SE 16th Ave Bldg 100 City: Ocala
State: FL Zip Code: 34471 Phone # 352-387-4540
Email address: Permits@tillmaneng.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): _____ Sec. 2.1.3. - Order of plan approval
Reason/Justification for Request (be specific): Requesting a waiver to allow for currently approved Improvement Plan (AR#31954) to act as Major Site Plan which will allow owner to pull building permits at their own risk.
A hold will be placed on all COs until major site plan is approved.

DEVELOPMENT REVIEW USE:

Received By: 10/31/25 Date Processed: 11/4/25 Project # 2025100091 AR # _____

ZONING USE: Parcel of record: Yes No Eligible to apply for Family Division: Yes No
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes No
Date Reviewed: _____ Verified by (print & initial): _____

PERMITS

- MARION COUNTY PUD - FILE #20191107Z (APPROVED 05-11-2021)
- S.W.F.WALD - MASS GRADING PLAN - E.R.P. #45325.000 (APPROVED 11-23-2021)
- MARION COUNTY - PRELIMINARY PLAN - APP. #10953
- MARION COUNTY - IMPROVEMENT PLAN - APP. #10954
- MARION COUNTY MAJOR SITE PLAN - PENDING #13154
- S.W.F.WALD - E.R.P. #459408.000 (APPROVED 04-06-2025)
- FDEP - POTABLE WATER - PERMIT #012239-168 DSGP (APPROVED 05-19-2025)
- FDEP - SANITARY SEWER
- FDEP - NOTES (By Other)

WAIVERS

612.4 - PLAN AND PROFILE
 APPLICANT REQUESTS WAIVER PER MARION COUNTY LDC, SEC 612.4. PLAN AND PROFILES ARE REQUIRED FOR ROADWAYS. THE PROPOSED ACCESS POINTS IN QUESTION ARE DRIVEWAYS, WHICH DO NOT REQUIRE PLAN AND PROFILES, AS DEMONSTRATED ON OUR GRADING PLANS. WE HAVE PROVIDED SUFFICIENT INFORMATION FOR CONSTRUCTION PURPOSES AND HAVE CONFIRMED THERE ARE NO UTILITY CONFLICTS, ETC.

218.4.C - COMMENCE CONSTRUCTION PRIOR TO IMPROVEMENT PLAN APPROVAL
 WAIVER REQUESTED TO COMMENCE WORK PRIOR TO IMPROVEMENT PLAN APPROVAL AT THE DEVELOPER'S RISK. WE WOULD LIKE TO START SITE GRADING AND THE UTILITY ONCE FDEP PERMITS ARE OBTAINED.

LDC 21.3 - ORDER OF PLAN APPROVAL
 APPLICANT REQUESTS WAIVER FOR THE APPROVAL OF PUBLIC DIAMOND "A" SHOPPING CENTER PRELIMINARY PLAT AND IMPROVEMENT PLAN APPROVAL PRIOR TO THE MASTER PLAN APPROVAL.

612.5A - CROSS SECTIONS
 APPLICANT REQUESTS ELIMINATION OF THE REQUIREMENT FOR PROVIDING CROSS SECTIONS, AS DEMONSTRATED ON OUR GRADING PLANS. WE HAVE PROVIDED SUFFICIENT INFORMATION FOR CONSTRUCTION PURPOSES AND HAVE CONFIRMED THERE ARE NO UTILITY CONFLICTS, ETC. APPLICANT REQUESTS THE APPROVAL OF A DEVIATION LETTER.

688 - BUILDING LANDSCAPE
 APPLICANT REQUESTS WAIVER TO NOT PROVIDE BUILDING LANDSCAPE ADJACENT TO THE BUILDINGS. ARCHITECTURAL FEATURE INCLUDING DECORATIVE PARAPETS WITH BREAKS IN ELEVATION AND STORE FRONT CANOPIES TO BE MORE VISUALLY APPEALING AND NOT OBSTRUCT THE VIEWS OF THE RETAIL BUSINESSES. LANDSCAPE SCREENING HAS BEEN PROVIDED ON THE PROJECT BOUNDARIES AND INTERNAL LANDSCAPING IS PROVIDED WITHIN THE PARKING AND OPENED AREA.

612.8 RIGHT OF WAY
 APPLICANT IS REQUESTING PUBLIC RIGHT OF WAY EASEMENT INSTEAD OF PUBLIC RIGHT OF WAY DEDICATION FOR THE 8' SIDEWALK ADJACENT TO THE PROPOSED TURN LANES. A 6' RIGHT OF WAY DEDICATION IS PROPOSED ALONG THE RIGHT TURN LANES TO KEEP ALL ROADWAY IMPROVEMENTS WITHIN THE RIGHT OF WAY AND THE 8' SIDEWALK WILL RUN ADJACENT TO THE 20' WIDE 475A BUFFER EASEMENT THAT HAS PROVISIONS TO ALLOW THAT REQUIRED WALKWAY WITHIN THE 475A BUFFER EASEMENT.

STATE PLANE COORDINATES:

BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83), WITH 2011 ADJUSTMENT AS DERIVED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION VIRTUAL REFERENCE STATION NETWORK.

VERTICAL DATUM:

VERTICAL DATUM BASED ON BOUNDARY & TOPOGRAPHIC SURVEY COMPLETED BY R.M. BARRINEAU & ASSOCIATES, JOB NO. 05223, DATED 09/12/2013 AND WAS BASED ON CITY OF OCALA ENGINEERING DEPARTMENT CONTROL POINT 0028. ELEVATION 83.71 (NAVD 88). THERE IS A DIFFERENCE OF 0.66' WHEN COMPARED BETWEEN CITY OF OCALA ENGINEERING CONTROL POINT 0029 AND BENCHMARK "D" AS REFERENCED ON SURVEY PREPARED BY R.M. BARRINEAU & ASSOCIATES.

BENCHMARKS:

TEMPORARY BENCHMARK (#108) FOUND 4" x 4" CONCRETE MONUMENT LB (1918)
 ELEVATION = 86.61' (NAVD 1989) NORTHING = 176281.3259 EASTING = 642808.9259

TEMPORARY BENCHMARK (#12) NAIL & DISC (LB 599)
 ELEVATION = 102.52' (NAVD 1989) NORTHING = 176251.5060 EASTING = 612790.7050

NOTES

- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE AND THE MARION COUNTY UTILITY MANUAL AS APPLICABLE.
- BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 1288371D0, EFFECTIVE DATE OF AUGUST 22nd, 2008. THE PROPERTY DESCRIBED HEREON LIES WITHIN FLOOD ZONES "X" AN AREA OF MINIMAL FLOOD HAZARD.
- NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
- DESIGN SPEED = 25 M.P.H. TO BE POSTED AT 20 M.P.H. EXCEPT FOR CURVES WITH RADII LESS THAN 100'.
- SIGHT DISTANCE AT DRIVEWAYS COMPLIES WITH MARION COUNTY REQUIREMENTS.
- THIS PROJECT IS LOCATED IN THE SECONDARY SPRINGS PROTECTION ZONE.
- THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.
- THERE ARE NO SUBDIVISION SIGNS PROPOSED FOR THIS DEVELOPMENT AT THIS TIME. ANY FUTURE SIGNS WILL REQUIRE SEPARATE PERMIT.
- DRIVEWAY MEETS FDOT SIGHT DISTANCE REQUIREMENTS.

OWNER/DEVELOPER:
 DIAMOND A. LLC
 CONTACT: JONN ALVAREZ
 PO BOX 772169
 OCALA, FLORIDA 34477
 PHONE: 352-804-4006

SURVEYOR:
 ROGERS ENGINEERING, LLC.
 RODNEY K. ROGERS, P.S.M.
 1105 S.E. 3RD AVENUE
 OCALA, FLORIDA 34471
 PHONE (352) 622-9214

CIVIL ENGINEER:
 TILLMAN AND ASSOCIATES ENGINEERING, L.L.C.
 JEFFREY MCPHERSON, P.E.
 1720 SE 16TH AVE. BLDG. 100
 OCALA, FLORIDA 34471
 PHONE (352) 387-4540

GEOTECHNICAL CONSULTANT:
 GEO-TECH, INC.
 CONTACT: JONNY HEATH
 1016 S.E. 3RD AVENUE
 OCALA, FLORIDA 34471
 PHONE (352) 694-7711

BASIS OF BEARINGS:

BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83), WITH 2011 ADJUSTMENT AS DERIVED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION VIRTUAL REFERENCE STATION NETWORK.

Utility Companies

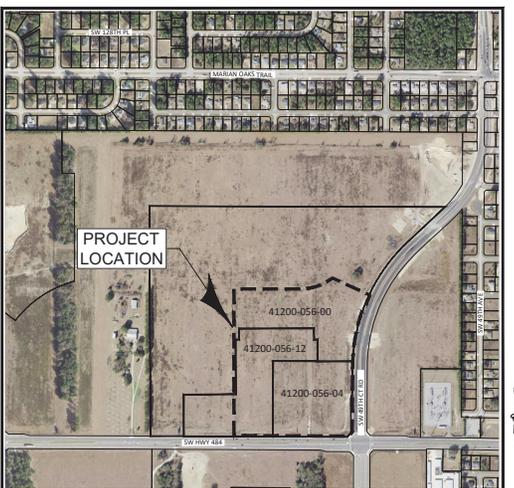
WATER / SEWER	MARION COUNTY UTILITIES CUSTOMER SERVICE	352-307-6000
ELECTRIC	SUNTECH ELECTRIC COOPERATIVE	352-351-6620
CABLE/PHONE/INTERNET	CHARTER COMM.	800-778-9140
	CENTURYLINK	877-366-8444x3
	COMCAST COMMUNICATIONS	800-778-9140
	HILARY BREWER	800-778-9140
	DISPATCH	800-778-9140
	DISPATCH	800-778-9140



DIAMOND "A" SHOPPING CENTER MAJOR SITE PLAN

SECTION 9, TOWNSHIP 17 SOUTH, RANGE 21 EAST MARION COUNTY, FLORIDA

THIS SITE CONTAINS:
 TOTAL PROJECT AREA = 30.50 AC
 EXISTING IMPERVIOUS = 0 AC / 0 SF / 0%
 PROPOSED IMPERVIOUS = 8.04 AC / 350,134 SF / 26.35%
 FUTURE IMPERVIOUS = 13.96 AC / 607,885 SF / 45.75%
 TOTAL IMPERVIOUS = 21.99 AC / 958,019 SF / 72.11%
 MARION COUNTY PARCEL #41200-056-04, 41200-056-12, AND A PORTION OF 41200-056-00
 LAND USE: EMPLOYMENT CENTER
 ZONING: PUD



VICINITY MAP
 SCALE: 1" = 500'

INDEX OF SHEETS

01.01	COVER SHEET
02.01	GENERAL NOTES
03.01	EXISTING CONDITIONS
04.01	TEMPORARY SITE ACCESS AND STAGING PLAN
05.01	OVERALL SITE PLAN
06.01-06.03	SITE PLAN
07.01-07.03	PAVING & GRADING
08.01-08.03	DRAINAGE PLAN
09.01-09.03	UTILITY PLAN
10.01-10.02	STORMWATER POLLUTION PREVENTION PLAN
11.01	STORMWATER POLLUTION PREVENTION NOTES
12.01	STORMWATER POLLUTION PREVENTION CONSTRUCTION DETAILS
13.01-13.02	CONSTRUCTION DETAILS
14.01	UTILITY DETAILS
15.01-15.02	LIFT STATION & SANITARY DETAILS
16.01	TRUCK ROUTE PLAN
17.01	ADA ACCESS PLAN
BL.01-BL.02	SOIL BORING

1-1 BOUNDARY AND TOPOGRAPHIC SURVEY (PREPARED BY ROGER ENGINEERING, LLC)

L01.01 LANDSCAPE INDEX
 L02.01 PLANTING SPECIFICATIONS
 L03.01 PLANT SCHEDULE & NOTES
 L04.01-L04.05 PLANTING PLAN
 L05.01 PLANTING DETAILS

LIR03.01 IRRIGATION SCHEDULE & NOTES
 LIR04.01-LIR04.05 IRRIGATION PLAN
 LIR05.01-LIR05.02 IRRIGATION DETAILS

1-6 PHOTOMETRICS & ELECTRICAL PLAN

OWNER'S CERTIFICATION

I CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN WITHIN THESE PLANS.

JOHN ALVAREZ
 DIAMOND A. LLC

ENGINEER CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED.

JEFFREY MCPHERSON, P.E.
 Registered Engineer No. 69905
 STATE OF FLORIDA

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE LDC AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS. THIS DOCUMENT IS BEING ELECTRONICALLY SIGNED AND SEALED AND A MANIFEST PROVIDED.

RODNEY K. ROGERS, P.S.M.
 ROGERS ENGINEERING, LLC.
 Registered Land Surveyor No. 6553
 STATE OF FLORIDA

Tillman & Associates
 ENGINEERING, L.L.C.
 ONE ENGINEERING & LANDSCAPE ARCHITECTURE BUILDING
 1720 SE 16th Ave, Bldg 100, Ocala, FL 34477
 Office: (352) 387-4540 Fax: (352) 387-4545

REVISIONS	
DATE	

MAJOR SITE PLAN
 DIAMOND "A" SHOPPING CENTER
 MARION COUNTY, FLORIDA
COVER SHEET

DATE 10/30/25
 DRAWN BY J.A.
 CHECK BY J.M.M.
 JOB NO. 23-8231

SHT. 01.01

GENERAL NOTES

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD INSPECTION OF USE AND LOCATION OF ALL EXISTING UTILITIES AND RELATED CONDITIONS PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL CONTACT SURVEYOR FOR ONE COPY OF FLORIDA, INC. ...

PAVING AND DRAINAGE NOTES

- 1. PIPE LENGTHS SHOWN REPRESENT SLAB DISTANCES BETWEEN CENTRALS OF DRAINAGE STRUCTURES. ...

SEWER NOTES

- 1. ALL MANHOLES AND CONNECTION SHALL BE IN COMPLIANCE WITH THE MARION COUNTY LOC FOR WASTEWATER CONSTRUCTION. ...

WATER MAIN CONSTRUCTION NOTES

- 1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN COMPLIANCE WITH THE MARION COUNTY LOC FOR FORCE MAIN CONSTRUCTION. ...

FORCE MAIN NOTES

- 1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN COMPLIANCE WITH THE MARION COUNTY LOC FOR FORCE MAIN CONSTRUCTION. ...

FIRE DEPARTMENT

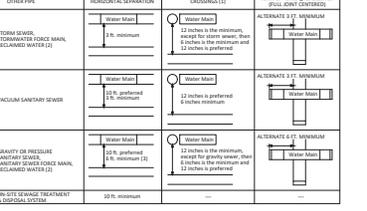
- 1. THE STRUCTURES LOCATED ON THE PROPERTY WILL BE CONSTRUCTED UNDER THE BLDG DEPARTMENT OF FIRE PREVENTION CODE. ...

IRRIGATION REUSE NOTES

- 1. ALL IRRIGATION PIPING TO BE OWNED AND MAINTAINED BY THE HOA SHALL BE A SOLID PURPLE COLOR. ...

EROSION CONTROL NOTES

- 1. DURING CONSTRUCTION, THE CONTRACTORS SHALL BE AT ALL TIMES RESPONSIBLE TO INSURE AGAINST EROSION. ...



AS-BUILT NOTES

- 1. THE CONTRACTOR SHALL SUBMIT A CERTIFIED RECORD DRAWING TO THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING INFORMATION ON THE APPROVED PLANS. ...

CLEARANCES

- 1. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING BE 30 DAYS PRIOR TO THE ANTICIPATED COMPLETION OF CONSTRUCTION AND/OR RECORDING OF THE CONSTRUCTION. ...

TABLE 3.0 - STORM PIPE COVER (RIGID PAVEMENT)

Table with 3 columns: Pipe Type & Shape, Commercial, Non-Commercial. Rows include Concrete, Corrugated Steel, Corrugated Aluminum, Corrugated Polyethylene, Polyvinyl Chloride.

TABLE 2.0 - STORM PIPE COVER (UNPAVED)

Table with 3 columns: Pipe Type & Shape, Commercial, Non-Commercial. Rows include Concrete, Corrugated Steel, Corrugated Aluminum, Corrugated Polyethylene, Polyvinyl Chloride. Includes diagrams for 'UNPAVED' and 'RIGID PAVEMENT' conditions.

Taylor & Associates ENGINEERS, LLC 1720 SE 16th Ave, Bldg 100, Ft. Lauderdale, FL 33316 Office: (562) 387-4540 Fax: (562) 387-4545

Marion County Approval Stamp

REVISIONS

DATE

GENERAL NOTES

DATE: 10/28/25 DRAWN BY: JMM CHECKED BY: JMM JOB NO.: 23-8231

shw 02.01



Tilman & Associates
ENGINEERS, LLC
CIVIL ENGINEERING & SURVEYING • LANDSCAPE ARCHITECTURE • ENVIRONMENTAL
1720 SE 16th Ave, Bldg 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545

DATE	REVISIONS

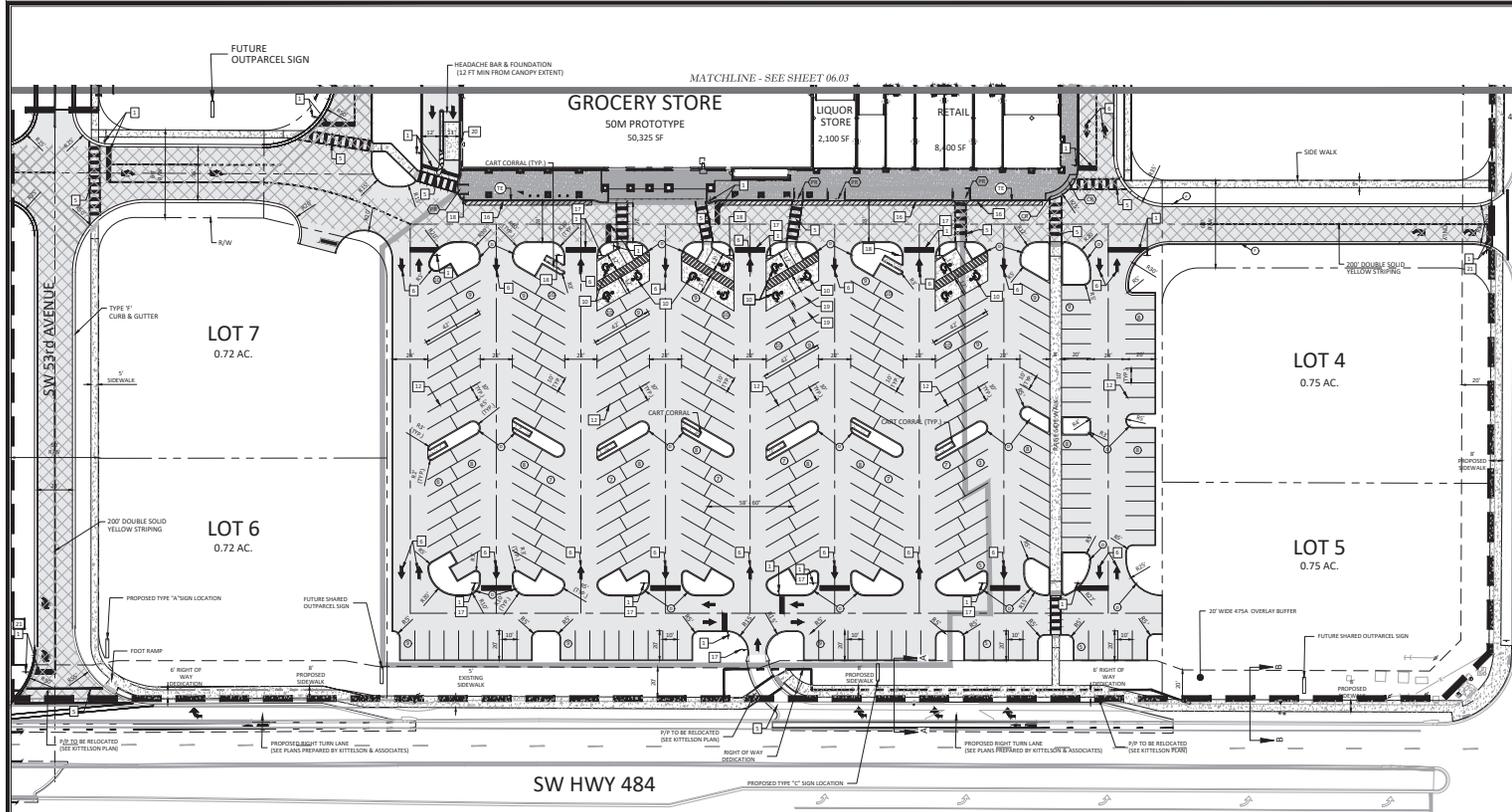
MAJOR SITE PLAN
DIAMOND "A" SHOPPING CENTER
MARION COUNTY, FLORIDA

DATE: 10/28/25
DRAWN BY: JA
CHECKED BY: JMM
JOB NO.: 23-8231

EXISTING CONDITION

SHT. 03.01

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



PAVEMENT LEGEND

- STANDARD DUTY PAVEMENT
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- HEAVY DUTY PAVEMENT

CURB LEGEND SEE SHEET 13.01 FOR DETAILS

- TYPE 'A' CURB
- TYPE 'D' CURB
- TYPE 'F' CURB
- RECYCLED TYPE 'F' CURB
- CURB TRANSITION
- THICKENED EDGE SIDEWALK (VERTICAL FACE OF SIDEWALK PAINTED YELLOW)

RAMP LEGEND SEE SHEET 13.02 FOR DETAILS

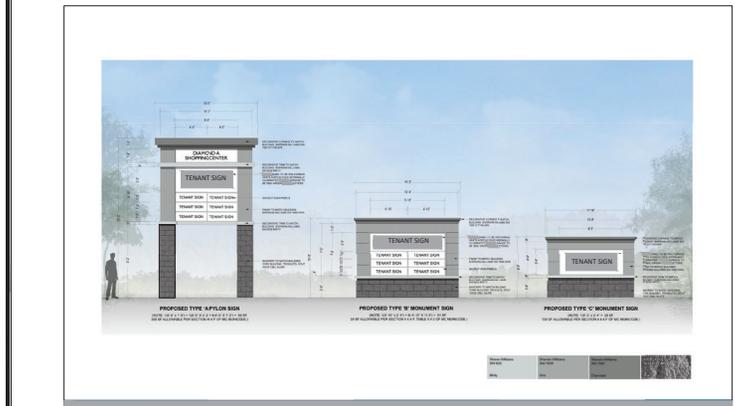
- CURB RETURN RAMP (SEE EXPOSED AGGREGATE NOTE)
- ACCESSIBLE CURB RAMP (PER FOOT INDEX NO. 522-002)
- GROCKER RETURN CURB RAMP (SEE EXPOSED AGGREGATE NOTE)

SIGN AND PAVEMENT MARKING LEGEND

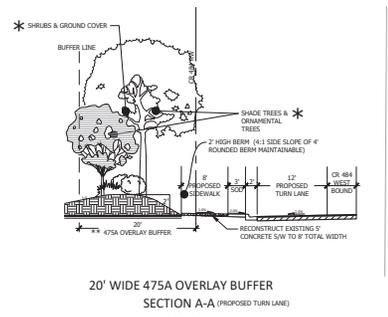
- 24" STOP SIGN (R-1) WITH 24" WHITE STOP BAR
- 30" STOP SIGN (R-1) WITH 24" WHITE STOP BAR, 4" MIN. FROM CROSS WALK AND STREET NAME SIGN
- 12" x 18" "NO PARKING FIRE LANE" SIGN WITH "NO PARKING FIRE LANE" MESSAGE STRIPING WHITE
- "DO NOT ENTER" SIGN
- SPECIAL MESSAGE CROSSWALK PER FOOT INDEX 711-001
- WHITE DIRECTIONAL ARROW AND MESSAGE PER FOOT INDEX 711-001
- 6" DOUBLE YELLOW STRIPE
- "ONE-WAY" MESSAGE STRIPING WHITE
- 30" STOP SIGN (R-1) WITH 30" x 36" "RIGHT TURN ONLY" SIGN (R-5) AND STREET NAME SIGN
- HANDICAP SPACES PER FORMER'S ACCESSIBILITY CODE WITH SIGNS. (SEE SHEET 13.04 FOR DETAILS)
- 8" WHITE STRIPE AT 10' OC
- 4" WHITE STRIPE
- 24" x 18" PHARMACY DRIVE-THRU SIGN BLACK ON WHITE
- 24" PEDESTRIAN SIGN (W11-1) WITH 24" x 12" DOWNWARD DIAGONAL ARROW (W16-7)
- 24" x 18" "NO PARKING FIRE DEPARTMENT CONNECTION" SIGN (L) LETTERING WITH "NO PARKING FIRE LANE" MESSAGE STRIPING WHITE
- 6" YELLOW STRIPE
- ONE WAY SIGN "DO NOT ENTER"
- PHARMACY DRIVE-THRU SIGN
- CURBSIDE PICKUP SPACES (SIGNAGE)
- 1" WIDE CURB (ADJACENT TO BUILDING) (SEE SHEET 13.03 FOR DETAIL)
- RIGHT TURN ONLY

- NOTES**
- ALL ON-SITE PAVEMENT MARKINGS ARE TO BE PAINTED USING NON-SLIP PAINT.
 - ALL MARKINGS IN THE COUNTY RIGHT-OF-WAY SHALL BE THERMOPLASTIC EXCEPT BICYCLE LANE MARKINGS WHICH SHALL BE PAINT.
 - ALL WORK AND MATERIALS SHALL COMPLY WITH ALL COUNTY REGULATIONS AND CODES OF U.S.A. STANDARDS.
 - PRIOR TO CONSTRUCTION WITHIN ANY EXISTING PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE AUTHORITY HAVING JURISDICTION.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF DOORWAYS, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, FREESTANDING BUILDINGS AND EXACT BUILDING UTILITY LOCATION.

GENERATOR SITING NOTE
 PROPOSED LOCATION OF STORAGE TANKS AT THE SUBJECT SITE IS NOT WITHIN 500 FEET OF ANY EXISTING COMMUNITY WATER SUPPLY WELL, NOT WITHIN 500 FEET OF ANY NON-TRANSPARENT, NON-COMMUNITY WATER SUPPLY WELL, AND NOT WITHIN 300 FEET OF ANY OTHER EXISTING POTABLE WATER SUPPLY WELL.

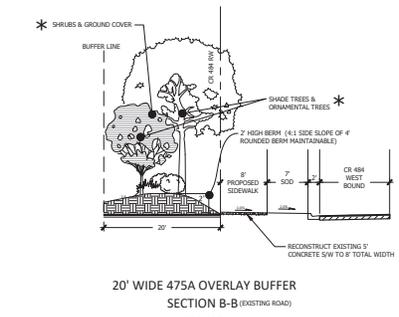


DIAMOND "A" SHOPPING CENTER



20' WIDE 475A OVERLAY BUFFER SECTION A-A (PROPOSED TURN LANE)

SCALE: N.T.S.
 * PLANTING LOCATIONS SHOWN ARE SCHEMATIC FINAL LANDSCAPE ARRANGEMENT TO BE DETERMINED AT FINAL DESIGN BY LANDSCAPE ARCHITECT.
 ** BUFFER / EASEMENT - MARION COUNTY RESERVES THE RIGHTS FOR MAINTENANCE OF SIDE WALK & INSTALLATION / MAINTENANCE OF UTILITIES.



20' WIDE 475A OVERLAY BUFFER SECTION B-B (EXISTING ROAD)

SCALE: N.T.S.
 * PLANTING LOCATIONS SHOWN ARE SCHEMATIC FINAL LANDSCAPE ARRANGEMENT TO BE DETERMINED AT FINAL DESIGN BY LANDSCAPE ARCHITECT.

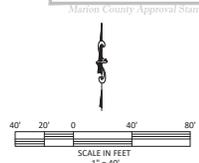
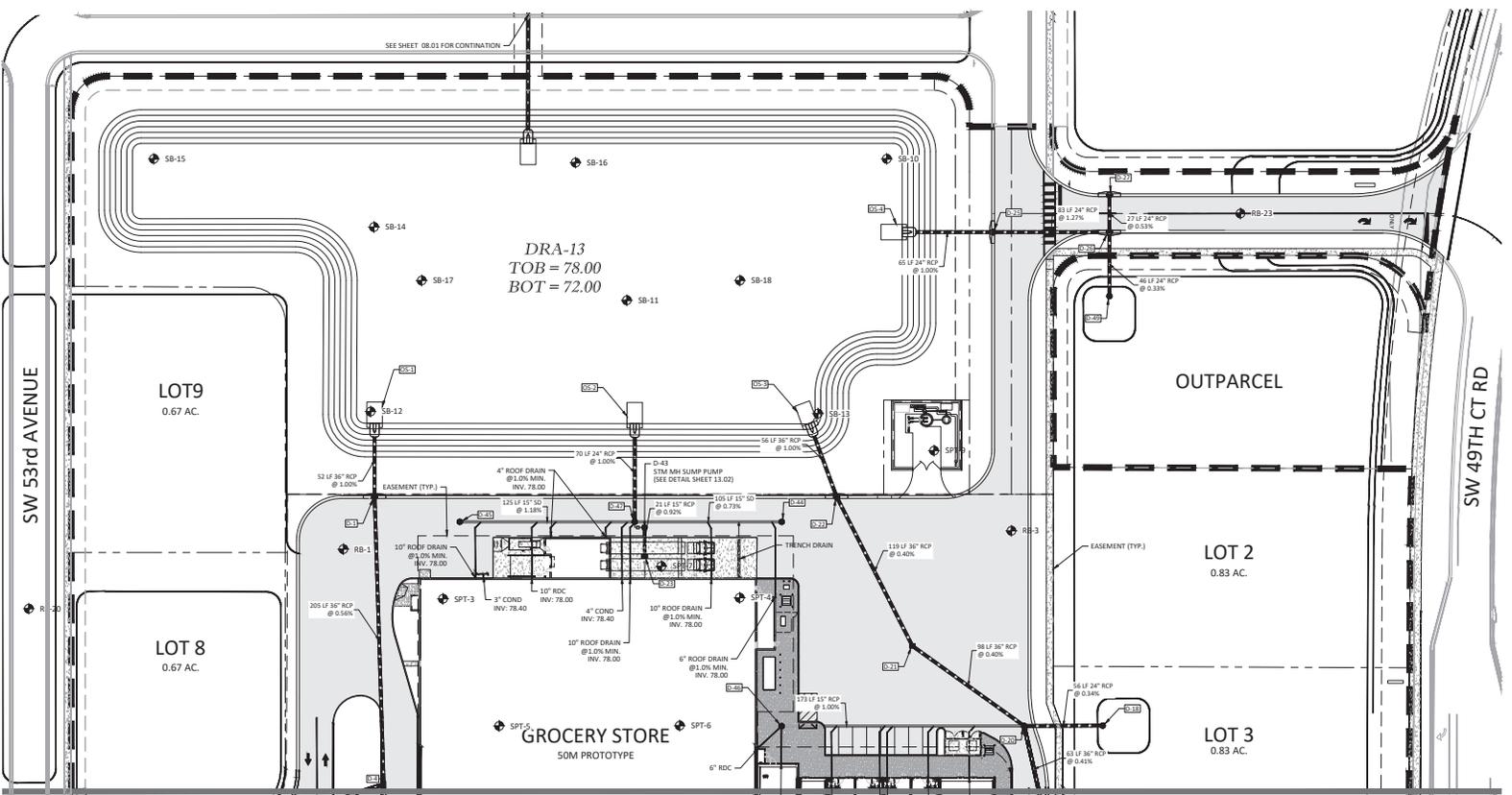
NO.	DATE	REVISIONS

MAJOR SITE PLAN
 DIAMOND "A" SHOPPING CENTER
 MARION COUNTY, FLORIDA

DATE: 10/28/25
 DRAWN BY: J.A.
 CHECKED BY: J.M.M.
 JOB NO.: 23-8221

SITE PLAN - SOUTH

SHT. 06.02



STRUCTURE TABLE	
STRUCTURE NAME	DETAILS
D-1	TYPE "6M" INLET RIM/EOP/GRATE 81.00 INV:73.30 (36"S) INV:72.52 (36"N)
D-18	STORM MANHOLE/SLOTTED COVER RIM/EOP/GRATE 82.50 INV:75.23 (24"W)
D-20	STORM MANHOLE RIM/EOP/GRATE 83.22 INV:77.27 (15"W) INV:74.04 (36"S) INV:74.04 (36"NW) INV:75.04 (24"E)
D-21	TYPE "F" INLET RIM/EOP/GRATE 82.00 INV:73.65 (36"S) INV:73.65 (36"NW)
D-22	TYPE "6M" INLET RIM/EOP/GRATE 82.11 INV:73.17 (36"SE) INV:72.56 (36"N)
D-23	TYPE "C" INLET RIM/EOP/GRATE 79.75 INV:74.57 (15"N)
D-25	TYPE "6M" INLET RIM/EOP/GRATE 81.54 INV:74.65 (24"E) INV:72.65 (24"W)

STRUCTURE TABLE	
STRUCTURE NAME	DETAILS
D-26	TYPE "6M" INLET RIM/EOP/GRATE 80.76 INV:75.71 (24"W) INV:76.21 (24"N) INV:75.71 (24"S)
D-27	TYPE "6M" INLET RIM/EOP/GRATE 80.76 INV:76.35 (24"S)
D-43	STM MH SUMP PUMP RIM/EOP/GRATE 82.87 INV:74.38 (15"S)
D-44	STORM MANHOLE RIM/EOP/GRATE 82.68 INV:75.15 (15"W)
D-45	STORM MANHOLE RIM/EOP/GRATE 83.07 INV:75.86 (15"E)
D-46	STORM MANHOLE RIM/EOP/GRATE 83.82 INV:79.00 (15"E)
D-47	STORM MANHOLE RIM/EOP/GRATE 82.80 INV:72.70 (24"N) INV:74.38 (15"E) INV:74.38 (15"W)
D-49	STORM MANHOLE/SLOTTED COVER RIM/EOP/GRATE 82.50 INV:75.86 (24"N)

STRUCTURE TABLE	
STRUCTURE NAME	DETAILS
OS-1	MES (4-1) W/SPASH PAD INV:72.00 (36"S)
OS-2	MES (4-1) W/SPASH PAD INV:72.00 (24"S)
OS-3	MES (4-1) W/SPASH PAD INV:72.00 (36"S)
OS-4	MES (4-1) W/SPASH PAD INV:72.00 (24"E)

DRAINAGE SUMMARY:
 THE PROPOSED PUBLIC PROJECT AREA IS IN SECTION 9, TOWNSHIP 17S AND RANGE 21E. MORE SPECIFICALLY, THE PROJECT IS LOCATED JUST NORTH OF SW HWY 484, AT THE NW COMMERCIAL OF INTERSECTION WITH S.W. 49TH CT. RD.

LEGEND:
 RDC - ROOF DRAINAGE CONNECTION
 (SEE ARCHITECTURAL PLAN FOR SIZE)

Marion County Approval Stamp

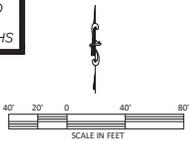
DATE

MAJOR SITE PLAN
 DIAMOND "A" SHOPPING CENTER
 MARION COUNTY, FLORIDA

DATE: 10/28/25
 DRAWN BY: JA
 CHECKED BY: JMM
 JOB NO.: 23-8231

DRAINAGE PLAN

CONTRACTOR TO FIELD
VERIFY ALL UTILITY
LOCATIONS AND DEPTHS



MATCHLINE - SEE SHEET 09.03

GROCERY STORE
(BUILDING HEIGHT 36'-0")

LIQUOR STORE

RETAIL

LOT 7
0.72 AC.

LOT 4
0.75 AC.

LOT 6
0.72 AC.

LOT 5
0.75 AC.

SW HWY 484

SW 49TH CT RD

ALL PARALLEL ACCESS EASEMENTS SHOWN ON THIS PLAN ARE HEREBY DEDICATED FOR THE USE AND BENEFIT OF THE PUBLIC, AND MAINTENANCE OF SAID EASEMENTS IS THE RESPONSIBILITY OF FLORIDA CROSSROADS COMMERCE PARK NORTH PROPERTY OWNERS ASSOCIATION, INC.

Marion County Approval Stamp

Tilman & Associates
ENGINEERS, LLC
ONE ENGINEERING SQUARE, SUITE 200, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545

REVISIONS

DATE

MAJOR SITE PLAN
DIAMOND "A" SHOPPING CENTER
MARION COUNTY, FLORIDA

DATE: 10/28/25
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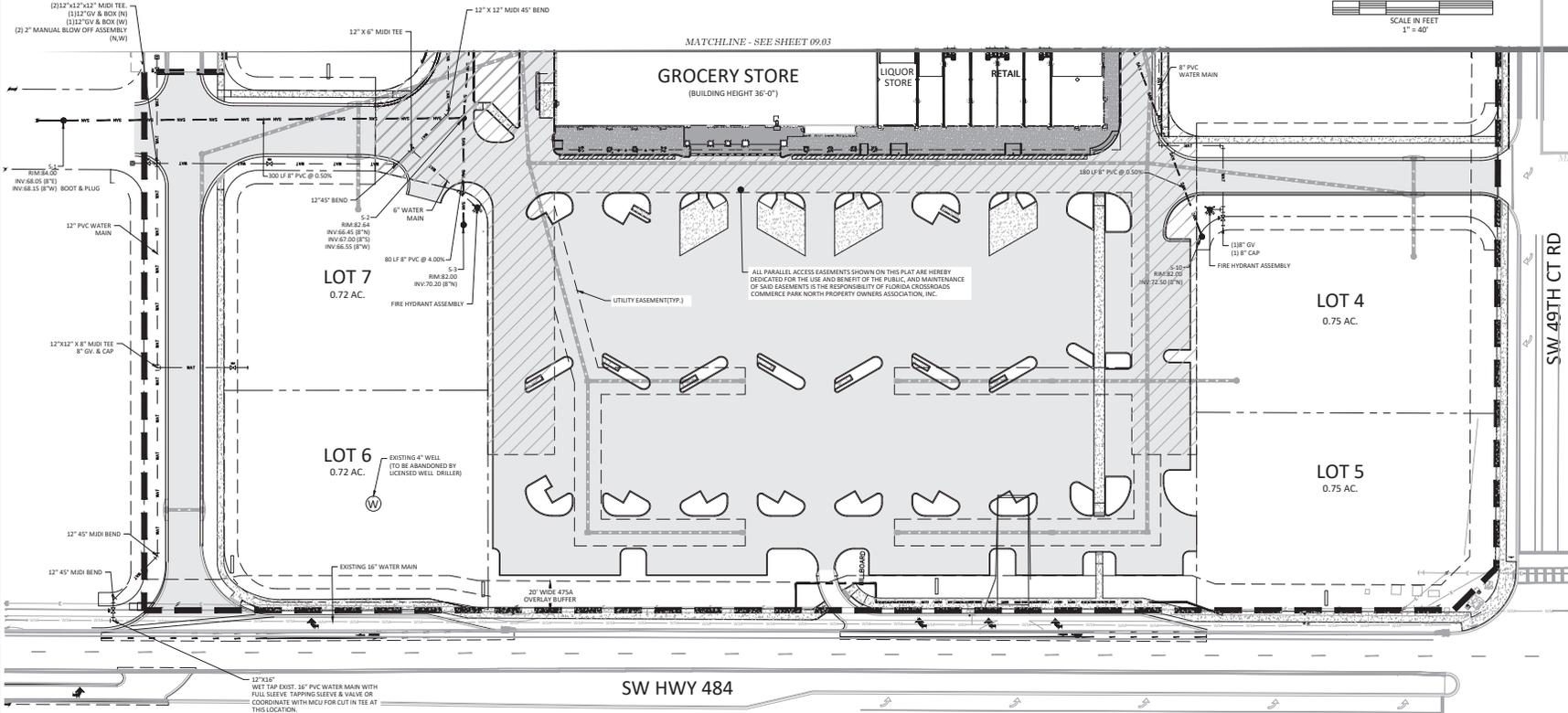
UTILITY PLAN SOUTH

SHT. 09.02

- UTILITY LEGEND**
- EXISTING SANITARY MAIN
 - EXISTING WATER MAIN
 - PROPOSED SANITARY MAIN
 - PROPOSED WATER MAIN
 - GATE VALVE
 - REDUCER
 - WATER METER
 - BACKFLOW PREVENTER
 - CLEANOUT
 - SANITARY MANHOLE
 - PROPOSED SITE LIGHTING (SEE SLEEVING PLAN)
 - GREASE TRAP
 - FIRE HYDRANT ASSEMBLY
 - FIRE DEPARTMENT CONNECTION
 - BACTERIOLOGICAL SAMPLE POINT

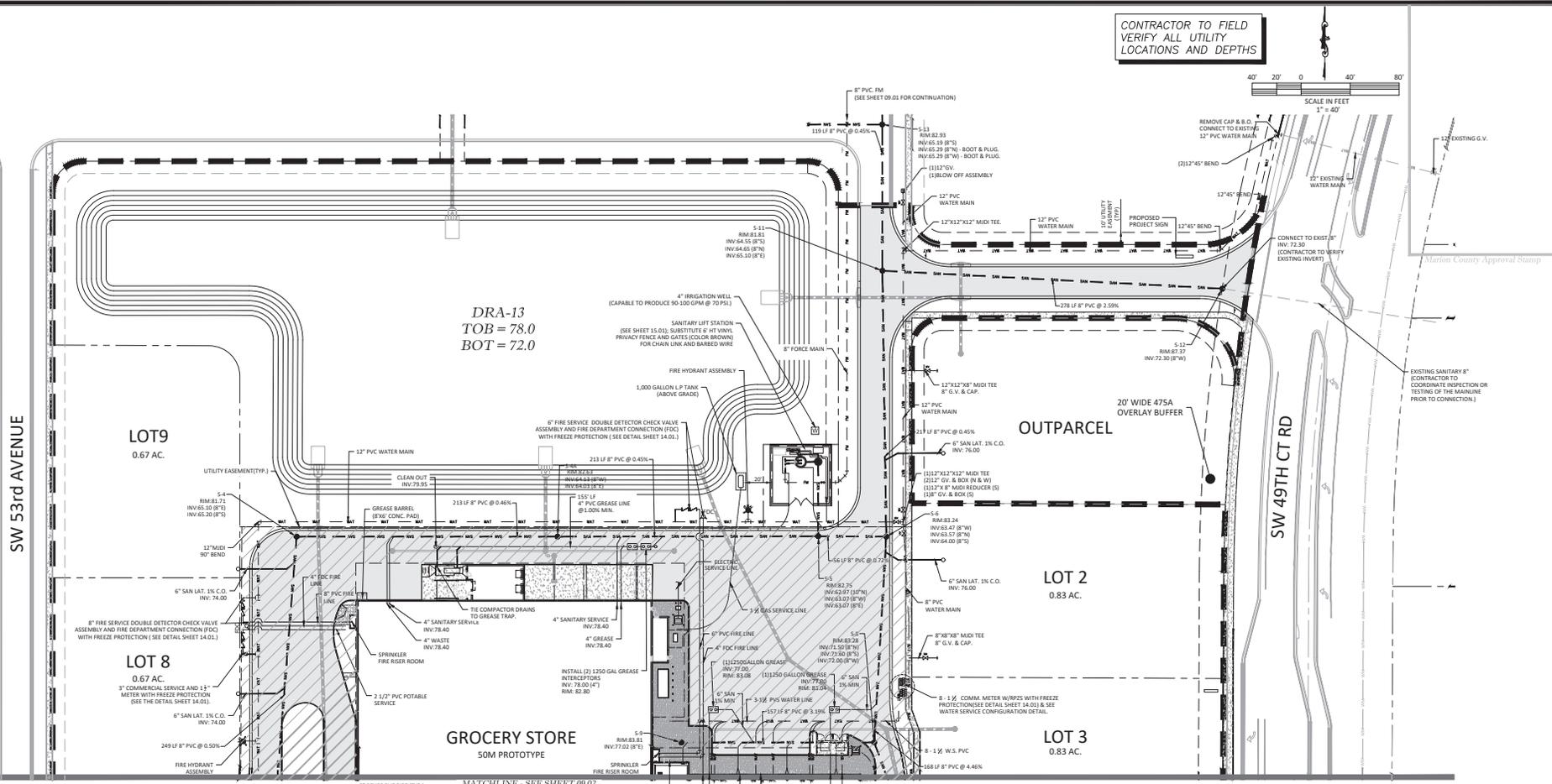
- LEGEND**
- CROSS ACCESS DRAINAGE & UTILITY EASEMENT
 - PUBLIX DIAMOND SITE AREA
 - PRIVATE R/W

- NOTE:**
1. CONTRACTOR IS RESPONSIBLE FOR PLACEMENT & INSTALLATION OF NECESSARY UNDERGROUND SLEEVING.
 2. MARK ALL POINTS WITH A "W" MARK IN CONCRETE WHERE WATER SERVICES CROSSES CURB.
 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND COORDINATE UTILITY AND ROOF DRAIN LOCATIONS AND ELEVATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION.
 4. THE BUILDING SHALL COMPLY WITH THE MINIMUM RADIO SIGNAL STRENGTH FOR PUBLIC SAFETY RADIUS. TESTING SHALL BE COMPLETED BY AN INDEPENDENT CONTRACTOR AND A SYSTEM INSTALLED IF BASED ON TEST RESULTS.
 5. AN INDEPENDENT INSPECTOR APPROVED BY THE OFFICE OF THE FIRE MARSHAL MUST BE OBTAINED AS A THIRD PARTY INSPECTOR FOR ALL FIRE MALLS AND INFORMATION SUBMITTED TO THE OFFICE FOR APPROVAL.
 6. KNOCK BOX TO BE NEAR THE FRONT DOOR 6" FROM FLOOR LEVEL AND 2' LEFT OF THE DOOR.
 7. ALL SEWER CLEAN OUTS TO HAVE USE 7621 AND 7622 SLAB TYPE CLEAN OUT RING AND FID OR FF COVER WITH CONCRETE PADS AROUND ALL PROPOSED CLEAN OUTS THAT FALL WITHIN A CONCRETE OR PAVED AREA.
 8. PRIVATE FIRE HYDRANTS ARE TO BE PAINTED YELLOW.



NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

CONTRACTOR TO FIELD
 VERIFY ALL UTILITY
 LOCATIONS AND DEPTHS



Marion County Approval Stamp

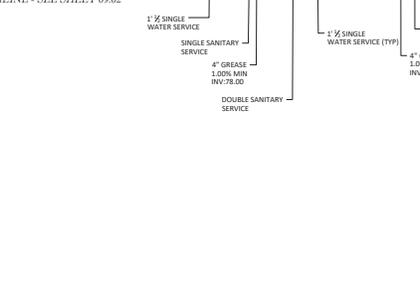
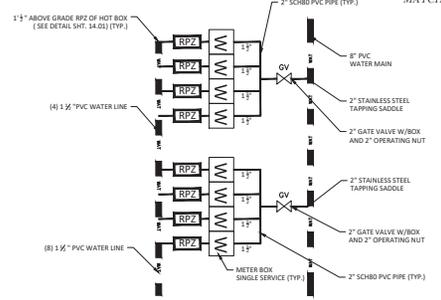
REVISIONS

NO.	DATE	DESCRIPTION

DATE

MAJOR SITE PLAN
 DIAMOND "A" SHOPPING CENTER
 MARION COUNTY, FLORIDA

UTILITY PLAN NORTH



LEGEND

- EXISTING SANITARY MAIN
- EXISTING WATER MAIN
- PROPOSED SANITARY MAIN
- PROPOSED WATER MAIN
- GATE VALVE
- REDUCER
- WATER METER
- BACKFLOW PREVENTER
- CLEANOUT
- SANITARY MANHOLE
- PROPOSED SITE LIGHTING (SEE SLEEVING PLAN)
- GREASE TRAP
- F.H. FIRE HYDRANT ASSEMBLY
- F.D.C. FIRE DEPARTMENT CONNECTION
- BACTERIOLOGICAL SAMPLE POINT

LEGEND

- CROSS ACCESS, DRAINAGE & UTILITY EASEMENT
- PUBLIC DIAMOND SITE AREA
- PRIVATE R/W

NOTE:

- CONTRACTOR IS RESPONSIBLE FOR PLACEMENT & INSTALLATION OF NECESSARY UNDERGROUND SLEEVING.
- MARK ALL POINTS WITH A "W" MARK IN CONCRETE WHERE WATER SERVICES CROSS CURB.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND COORDINATE UTILITY AND ROOF DRAIN LOCATIONS AND ELEVATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION.
- THE BUILDING SHALL COMPLY WITH THE IN-BUILDING MINIMUM RADIO SIGNAL STRENGTH FOR PUBLIC SAFETY RADIOS. TESTING SHALL BE COMPLETED BY AN INDEPENDENT CONTRACTOR AND A SYSTEM INSTALLED IF NEEDED BASED ON TEST RESULTS.
- AN INDEPENDENT INSPECTOR APPROVED BY THE OFFICE OF THE FIRE MARSHAL MUST BE ATTAINED AS A THIRD PARTY INSPECTOR FOR ALL FIRE WALLS AND INFORMATION SUBMITTED TO THE OFFICE FOR APPROVAL.
- WATER METER SHALL BE NEAR THE FRONT DOOR 6" FROM FLOOR LEVEL AND 2" LEFT OF THE DOOR.
- ALL SEWER CLEAN OUTS TO HAVE 1/2" AND 3/4" SIZE TYPIC CLEAN OUT RING AND TO BE OFF CURB WITH CONCRETE PADS AROUND ALL PROPOSED CLEAN OUTS THAT FALL WITHIN A CONCRETE OR PAVED AREA.
- PRIVATE FIRE HYDRANTS ARE TO BE PAINTED YELLOW.

TIMING OF SEDIMENT - CONTROL PRACTICES:

SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL THROUGHOUT EARTH- DISTURBING ACTIVITY.

SETTLING FACILITIES, PERIMETER CONTROLS, AND OTHER PRACTICES INTENDED TO TRAP SEDIMENT SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UPSLOPE DEVELOPMENT AREA IS RE-STABILIZED.

STABILIZATION OF NON STRUCTURAL PRACTICES:

CONTROL PRACTICES SHALL PRESERVE EXISTING VEGETATION WHERE ATTAINABLE AND DISTURBED AREAS SHALL BE RE-VEGETATED AS SOON AS PRACTICAL AFTER GRADING OR CONSTRUCTION.

DENUDED AREAS SHALL HAVE SOIL STABILIZATION APPLIED WITHIN FOURTEEN DAYS IF THEY ARE TO REMAIN DORMANT FOR MORE THAN FORTY-FIVE DAYS. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN FOURTEEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE, AND SHALL ALSO BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN FORTY-FIVE DAYS.

SEDIMENT BARRIERS:

SHEET FLOW RUNOFF FROM DENUDED AREAS SHALL BE INTERCEPTED BY SEDIMENT BARRIERS.

SEDIMENT BARRIERS SUCH AS SEDIMENT FENCE OR DIVERSIONS TO SETTLING FACILITIES SHALL PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SEDIMENT TRANSPORTED BY SHEET FLOW.

INLET PROTECTION:

ALL STORM SEWER INLETS WHICH ACCEPT WATER RUNOFF FROM THE DEVELOPMENT AREA SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER WILL NOT ENTER THE STORM SYSTEM WITHOUT FIRST BEING PONDED AND FILTERED.

MAINTENANCE:

TEMPORARY EROSION CONTROL FEATURES SHALL BE ACCEPTABLY MAINTAINED AND SHALL BE REMOVED OR REPLACED WHEN DIRECTED BY THE ENGINEER AT NO COST TO THE OWNER. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS.

STOCKPILES:

ALL SOIL STOCKPILES SHALL BE PROTECTED FROM EROSION BY PERIMETER CONTROL DEVICES SUCH AS STRAW BALE DIKES OR FILTER FABRIC FENCES. AND THESE PERIMETER CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.

PERMANENT VEGETATION:

PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL GROUND COVER IS ACHIEVED WHICH, IN THE OPINION OF THE ENGINEER, PROVIDES ADEQUATE COVER AND IS MATURE ENOUGH TO CONTROL SOIL EROSION SATISFACTORILY AND TO SURVIVE ADVERSE WEATHER CONDITIONS.

CONSTRUCTION ACCESS ROUTES:

MEASURES SHALL BE TAKEN TO PREVENT SOIL TRANSPORT ONTO SURFACES OR PUBLIC ROADS WHERE RUNOFF IS NOT CHECKED.

INSPECTION SCHEDULE:

- DIVERSION SWALE AND STRUCTURAL PROTECTION - INSPECT EVERY 7 DAYS OR AFTER EACH RAINSTORM PRODUCING RUNOFF. REPAIR AS REQUIRED.
- INLET PROTECTION - INSPECT FOR SEDIMENT ACCUMULATION AFTER EACH RAINFALL AND DAILY DURING CONTINUED RAINFALL. REPAIR OR REPLACE WHEN WATER FLOW IS RESTRICTED BY SEDIMENT.
- VEGETATIVE PLANTING - INSPECT AFTER SPROUTING OCCURS AND REPLANT BARE AREAS. INSPECT ESTABLISHED COVER EVERY 15 DAYS FOR DAMAGE; REPLANT AS REQUIRED. MAINTAIN ESTABLISHED COVER AT MAXIMUM 6" HEIGHT. IRRIGATE AS REQUIRED DURING DRY PERIODS TO MAINTAIN LIVE VEGETATION.

CONSTRUCTION SEQUENCE:

- INSTALL SEDIMENT CONTROL MEASURES
- PERFORM DEMOLITION ACTIVITIES.
- STABILIZE SITE WITH TEMPORARY VEGETATION AS NEEDED.
- PERFORM IRRIGATION AND UNDERGROUND UTILITY CONSTRUCTION ACTIVITIES.
- CONSTRUCT NEW TRAILS AND INSTALL LANDSCAPING.
- PERFORM FINAL GRADING.
- INSTALL PERMANENT VEGETATION.
- PERFORM CONTINUING MAINTENANCE THROUGHOUT ALL CONSTRUCTION OPERATIONS.

DITCH BARRIERS:

BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE, ORIENTED PERPENDICULAR TO THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER.

THE REMAINING STEPS FOR INSTALLING A STRAW BALE BARRIER FOR SHEET FLOW APPLICATIONS APPLY HERE, WITH THE FOLLOWING ADDITION: THE STRAW BALES SHALL BE INSTALLED SUCH THAT UNDERCUTTING BENEATH THE BALES IS MINIMIZED BY THE USE OF ROCK CHECK DAMS PLACED ADJACENT TO THE STRAW BALES.

THE BARRIER SHALL BE EXTENDED TO SUCH A LENGTH THAT THE BOTTOMS OF THE END BALES ARE HIGHER IN ELEVATION THAN THE TOP OF THE LOWEST MIDDLE BALE TO ASSURE THAT SEDIMENT-LADEN RUNOFF WILL FLOW EITHER THROUGH OR OVER THE BARRIER BUT NOT AROUND IT.

MAINTENANCE:

STRAW BALES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES.

NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE STRAW BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

SEDIMENT FENCE:

THIS SEDIMENT BARRIER UTILIZES STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS. IT IS DESIGNED FOR SITUATIONS IN WHICH ONLY SHEET OR OVERLAND FLOWS ARE EXPECTED.

- THE HEIGHT OF A SEDIMENT FENCE SHALL NOT EXCEED 36-INCHES (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE).
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED.
- POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET.
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
- WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1-INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8-INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
- WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSURE POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED IN SUCH A CASE. THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF ITEM NO. 6 APPLYING.
- THE TRENCH SHALL BE BACKFILLED AND SOIL COMPACTED OVER THE FILTER FABRIC.
- SEDIMENT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

MAINTENANCE:

SEDIMENT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SHOULD THE FABRIC ON A SEDIMENT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SEDIMENT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED, AND SEEDED.

POLLUTION PREVENTION:

THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PROGRAM IS REGULATED THROUGH THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP). IF YOUR CONSTRUCTION ACTIVITY MEETS THE FOLLOWING CRITERIA:

- CONTRIBUTES STORM WATER DISCHARGE TO SURFACE WATERS OF THE STATE OR INTO A MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4); AND/OR
- DISTURBS ONE OR MORE ACRES OF LAND INCLUDING LESS THAN ONE ACRE IF ACTIVITY IS PART OF A LARGE COMMON PLAN OF DEVELOPMENT OR SALE THAT WILL MEET OR EXCEED A ONE ACRE THRESHOLD. DISTURBANCE INCLUDES CLEARING, GRADING AND EXCAVATING. THEN YOU WILL BE REQUIRED TO SUBMIT A NOTICE OF INTENT (NOI) AND PREPARE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP). FOR MORE INFORMATION PLEASE VISIT FDEP'S WEBSITE AT WWW.DEP.STATE.FL.US/WATER/STORMWATER/NPDES.

Marion County Approval Stamp

Tilman & Associates
ENGINEERS, LLC
 ONE ENGINEERING & ARCHITECTURE CENTER
 1720 SE 16th Ave, Bldg 100, Ocala, FL 34477
 Office: (352) 387-4540 Fax: (352) 387-4545

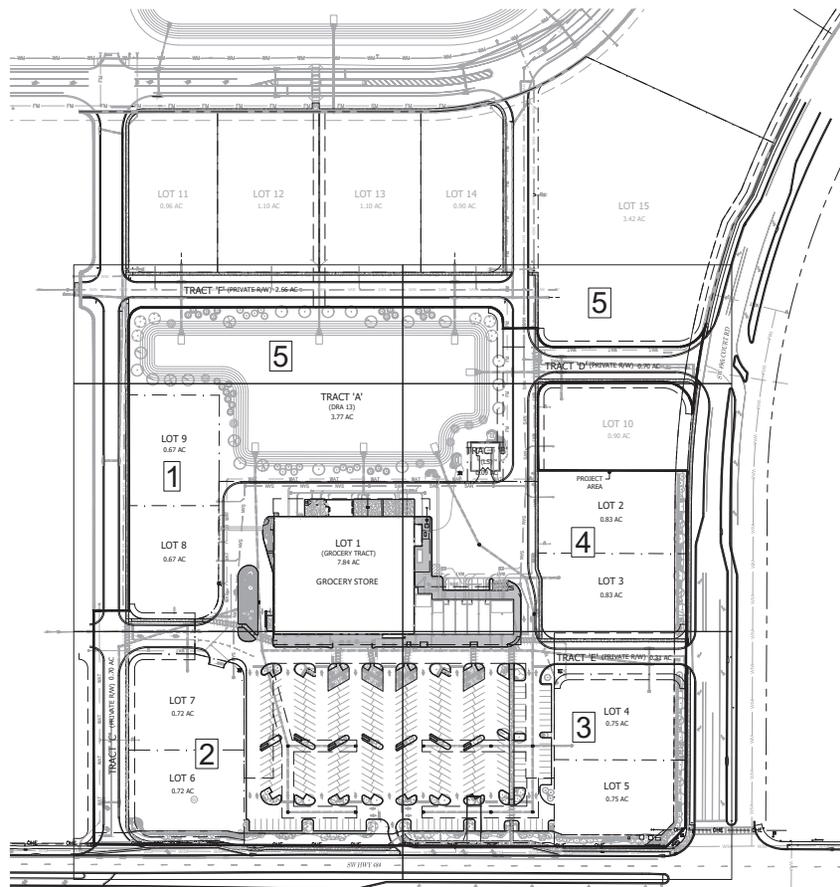
REVISIONS									
DATE									

MAJOR SITE PLAN
 DIAMOND "A" SHOPPING CENTER
 MARION COUNTY, FLORIDA

STORMWATER POLLUTION PREVENTION NOTES

DATE	10/28/25
DRAWN BY	JA
CHECK BY	JMM
JOB NO.	23-8231

SHW. 11.01

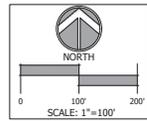


LOT AND TRACT DATA IS PROVIDED AS A REFERENCE
 REQUIRED FOR PLANTING PLANS; SEE APPROVED PRE-PLAT
 PLANS FOR CURRENT DATA.

INDEX OF LANDSCAPE SHEETS

L01.01	LANDSCAPE INDEX
L02.01	PLANTING SPECIFICATIONS
L03.01	PLANT SCHEDULE & NOTES
L04.01-L04.05	PLANTING PLAN
L05.01	PLANTING DETAILS
LIR03.01	IRRIGATION SCHEDULE & NOTES
LIR04.01-LIR04.05	IRRIGATION PLAN
LIR05.01-LIR05.02	IRRIGATION DETAILS

LANDSCAPE ARCHITECT:
 TILLMAN AND ASSOCIATES ENGINEERING, L.L.C.
 JON R. PHILLIPS, PLA, ASLA
 1720 SE 16TH AVE. BLDG. 100
 OCALA, FLORIDA 34471
 PHONE (352) 387-4540



APPROVED FOR CONSTRUCTION

Tillman & Associates
 ENGINEERING, L.L.C.
 CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
 1720 SE 16TH AVE. BLDG. 100, OCALA, FL 34471
 Office: (352) 387-4540 Fax: (352) 387-4545

REVISIONS	
DATE	

MAJOR SITE PLAN
 DIAMOND A SHOPPING CENTER
 MARION COUNTY, FLORIDA

DATE: 8/13/2025
 DRAWN BY: JRP
 CHKD. BY: JRP
 JOB NO.: 24-9040

LANDSCAPE INDEX

L1.01

PLANTING SPECIFICATIONS

1.01 WORK GENERAL

A. LANDSCAPING: Provide all labor, materials, plant materials, soil additives, soil preparation, methods and site grading, irrigation materials, underground piping, sodding, cleanup, equipment, services, and maintaining plantings until Substantial Completion. During this period, the Contractor shall submit monthly observation reports to the Owner with a copy to the Landscape Architect during the guarantee period. The purpose of these reports is to ensure any resistance/differences observed. It is the Contractor's responsibility to report those to protect the guarantee. Failure to submit reports eliminates any claims that the guarantee is not valid due to improper maintenance by the Owner.

1.02 RELATE WORK SPECIFIED ELSEWHERE

A. Refer to irrigation drawings and requirements.

1.03 WARRANTY

A. The Contractor shall guarantee all trees and shrubs / groundcover plantings for a period of twelve (12) months, and all sod / seed for a (6) months after the date of Substantial Completion. During this period, the Contractor shall continue the observation of plants and guarantee work. The Contractor shall submit monthly observation reports to the Owner with a copy to the Landscape Architect during the guarantee period. The purpose of these reports is to ensure any resistance/differences observed. It is the Contractor's responsibility to report those to protect the guarantee. Failure to submit reports eliminates any claims that the guarantee is not valid due to improper maintenance by the Owner.

B. Any dead plants, or plants showing indication of probable non survival or lack of health and vigor, or which do not meet the characteristics that meet Specifications, shall be replaced within two (2) weeks. All replacement plants shall be furnished and installed at no additional cost to the Owner. All amendments shall meet the original Specifications and shall be guaranteed for the same period as the original plant.

C. The Contractor shall notify the Owner in writing ten (10) days prior to the end of the guarantee period. The guarantee period shall extend until the installation is received.

1.04 PROTECTIONS

A. The Contractor shall provide and maintain the necessary safeguards to protect the work, adjacent property, and the public, and shall be responsible for any damage or injury due to the Contractor's operations.

B. 1.05 VERIFICATION OF PLANS, DIMENSIONS, AND QUANTITIES

A. The Contractor shall be responsible for obtaining the current and latest approved plan set.

B. Before proceeding with any work, carefully check and verify all dimensions and quantities. All correct dimensions are approximate.

C. Immediately notify the Landscape Architect of any inaccuracies or omissions.

1.06 SUBMITTALS

A. Submit documentation to Owner's Representative within fourteen (14) days after award of Contract, including quantities of plant material, availability, and source of plant materials.

B. The Contractor shall verify that all material listed on the Plant List meets noted criteria.

C. All material shall be subject to inspection and approval by Owner's Representative.

D. The Contractor shall coordinate material tagging per the Landscape Architect for tree, specimen, and accessories in accordance with the pre-acceptance meeting.

E. Any and all documentation due to unavailability must be indicated in writing prior to confirmation of ordering. In the event plant material is not available as specified in the Plant List, provide documented reports proving availability from three (3) registered nurseries.

F. The Contractor shall submit "As-Built" drawings as indicated on the drawings and specifications per the Submittal Schedule.

1.07 QUALITY ASSURANCE

A. REFERENCE SPECIFICATIONS AND STANDARDS

1. Standards as established by the Florida Nursery Growers Association (FNGA).

B. TESTS AND INSPECTIONS

1. Plants shall be subject to inspection and approval of the Owner's Representative at plants of growth and/or annual delivery for conformity to specifications. Such approval shall not impair the right of inspection and rejection during progress of work. Inspection and rejection of plant material by Owner's Representative is not approval of the plant material with regard to health and vigor. The health and vigor of the plant material is the sole responsibility of the Contractor.

2. The Contractor shall be responsible for proper plant growth on existing on-site soils. Prior to commitment of plant shipments, the Contractor shall examine the soils at all areas of land to be planted. Soil tests and filling test holes with water to determine if soil chemistry and drainage is satisfactory. Any extraordinary conditions shall be brought to the immediate attention of the Owner's Representative for possible remedial action or plant material substitutions. The Owner's Representative reserves the right to make changes or substitutions at plant type or quantities for the purpose of ensuring proper plant growth.

3. Owner's Representative reserves the right to take and analyze core samples of materials for conformity to specifications at any time. The Contractor shall furnish adequate copies of the Owner's Representative. Required materials shall be immediately removed from the site as the Contractor's expense. The Contractor shall pay cost of analysis of materials not meeting specifications.

C. CHANGES IN WORK

1. The Owner's Representative may order changes in the work, and the corresponding adjustments to the same, should be made to the Contract. All such changes and adjustments, plus claims by the Contractor for extra compensation and delays, shall be subject to the Contractor's written approval of the changes in the work, modifications, and Contractor's request for information that shall be in accordance of the Contract.

D. CORRECTION OF WORK

1. The Contractor at their own cost, shall correct the work that fails to conform to the requirements of the Contract and shall remedy defects due to faulty materials or workmanship.

E. PERSONNEL

1. All planting shall be performed by personnel familiar with planting procedures and under the supervision of a qualified planting foreman.

2. All work shall comply with applicable codes and regulations.

3. The work shall be coordinated with other trades to prevent conflicts.

1.08 PROTECT CONDITIONS

A. Sequencing: Do not commence planting until site grading, soil import, and preparation has been completed.

B. Inspect and approve all concrete work and fresh grading prior to start of shrub and groundcover planting operations. Trees may be planted in advance of operation being established to allow adequate preparation to make for interim watering at the Contractor's expense.

C. The Contractor shall inform the Landscape Architect of any discrepancy between the Drawings, Specifications, and actual field conditions. Immediately inform the

Owner's Representative and do not do work in any area where there is a significant discrepancy until approval to proceed has been received from the Owner's Representative.

1.09 SITE CONDITIONS

A. Existing Conditions

1. Exercise care in digging and other work so as not to damage existing work including, but not limited to, plant material, irrigation materials, underground piping and cables, and the pipes and hydrants of watering systems. Should the location of plants be clear such obstructions shall be encountered while installing the plants. The Landscape Architect shall be consulted and will adjust the location of plants to clear such obstructions. The Contractor shall be responsible for the immediate repair of any damage caused by the work at their own expense.

2. Should any objectionable materials such as old concrete, bricks or other debris be encountered during planting operations, the Contractor shall bring this to the attention of the Owner's Representative. The contractor removal of the material from the site.

3. Unsatisfactory conditions shall be brought to the immediate attention of the Owner's Representative for possible remedial action.

1.10 PROJECT HANDLING

A. Delivery:

1. Plant transportation shall comply with all Federal and State regulations.

2. Deliver fertilizer to site in original unopened containers bearing and conforming to a written original chemical analysis, name, trademark and conforming to State Law.

3. The Contractor shall furnish Owner's Representative receipts for all amendments.

4. Deliver all plants with legible identification labels.

A. Label trees, evergreens, bundles of containers of shrubs or groundcover plants.

B. State correct plant name and size indicated on plant list.

C. Use durable waterproof labels with water-resistant ink, which will remain legible for at least 60 days.

D. Protect plant material during delivery to prevent damage to root ball or desiccation of leaves.

E. The Contractor shall notify the Owner's Representative three (3) days in advance of delivery of all plant material and shall submit an inventory of the plants in each delivery.

F. Storage: Store plant material in shade and protect from weather.

G. Handling: The Contractor is cautioned to exercise care in handling, loading, unloading, and storing of plant materials. Plant material that has been damaged in any way shall be discarded. If it has been installed, they shall be replaced with undamaged materials at the Contractor's expense.

H. Tagged Materials: The Contractor shall leave all tags on materials previously tagged by the Owner's Representative Substantial Completion.

2.01-2.02 PRODUCTS

2.01 MATERIALS

A. GENERAL

1. Nomenclature: All trees, shrubs and plants shall be true to name as designated by the Florida Nursery Growers Association (FNGA) publication "Standard Plant Names". The designated authority for the identification of all materials shall be the Florida Department of Agriculture, the "Hortus III" and "Manual of Cultivated Plants". All all specimens shall be true to type, name, etc., as described.

2. Grade Standards and Quality: All plants shall be nursery grown and shall comply with all required inspection, grading standards and plant regulations as set forth in all editions of the Florida Department of Agriculture, Florida Grades and Standards for Nursery Plants' latest edition.

3. The minimum grade for all trees and shrubs shall be Florida No. 1 unless otherwise indicated. All plants shall be sound, healthy and vigorous, well branched and densely foliated when in leaf. They shall have healthy, well developed root systems free of defects, and shall be free of disease and insect pests, now or latent.

4. Measurements:

A. The minimum acceptable size of all plants, measured after pruning, with branches in normal position, shall conform to the specified size as shown on the plans. Sizes specified are minimum standards. Plants shall be equal to or larger than the specified (height, spread, caliper, crown coverage) or (see specification). Substantial deviations from these measurements will be cause for rejection. Substantial deviations from these measurements shall be approved by Landscape Architect. Caliper of trees and shrubs shall be measured on (1) foot above root ball for trees or (6) inches in caliper.

B. Clear trunk of all types of palms shall be measured from the finished grade to the beginning of the fronds. The lowest portion of the trunk of the palm shall be in proportion to the overall height of the palm.

C. Plant Protection: Plants shall be protected upon arrival at the site, by being thoroughly misted, kept moist, and properly mulched until planted.

D. PLANT MATERIALS: In reference to method of cultivation, root system status, etc., plants for landscaping shall be classified under the following designations:

1. Container Grown Plants:

A. Container grown plants shall have been grown in a container large enough to hold its soil together firm and whole, no plant shall be loose in the container. Plants shall have been consistently watered and irrigated in the plant production process to ensure healthy and vibrant plants.

B. All containers shall be cut and opened fully in a manner such as will not damage the container and immediately before final planting, when all care shall be taken to prevent damage to the root system.

C. Plants which have become root bound, or have poor root distribution, will not be acceptable. Also, not acceptable are plants with roots or root clumps that are highly structural and shall characterize the plant. The Contractor shall reject rejectable material, or provide corrective measures prior to accepting material not best industry practices.

2. Balled and Burlapped (B & B) Trees:

A. Plants so classified shall be dug with firm natural root balls of earth coming from similar climate, and soil conditions as those on the project and of sufficient diameter to support the plant. The root ball of these plants shall be properly wrapped with burlap and secured with twine. Plants shall be irrigated and watered. The plants shall be handled only by the earth ball and not the plant itself.

B. All plants shall be cut and opened fully in a manner such as will not damage the container and immediately before final planting, when all care shall be taken to prevent damage to the root system.

C. Plants which have become root bound, or have poor root distribution, will not be acceptable. Also, not acceptable are plants with roots or root clumps that are highly structural and shall characterize the plant. The Contractor shall reject rejectable material, or provide corrective measures prior to accepting material not best industry practices.

3. Burlap:

Shall be pure turfs, 100% organic material with the ability to decompose.

C. B & B trees shall have been routinely pruned during field production and dug at least four (4) weeks prior to planting.

D. Root Plugs: All trees classified as B & B shall be tagged as a Root Plug product and the bag shall remain until Substantial Completion has been achieved. Any material previously tagged at a nursery by the tree shall have the nursery's marking bag removed.

E. Bare Root Plants: All bare root plants shall be used unless otherwise specified.

F. Grow Bag/Plastic Container Plants: The grow bag plants shall be used.

G. Sod: Sod shall be established, well-rooted Argentine Bahia, St. Augustine, or other as specified. Muck grown sod shall not be used. Sod shall be free of weeds and undesirable native plants.

S. Seed:

A. All seed shall have 95% pure seed content with a verified 85% minimum germination rate.

B. Unless specified otherwise, grass seed shall consist of a 80/20 mixture of Argentine Bahia and annual ryegrass (or Argentine Bahia and ryegrass millet as applicable for the season, see Installation).

C. OTHER MATERIALS:

1. SOD:

A. Topsoil shall be a fibrous loam, typical of cultivated topsoils locally containing at least 5 percent of decayed organic matter (humus). It shall be taken from a well-drained, arable soil. It shall be reasonably free of weeds, stumps, stones, clogs, sticks, roots, or other objectionable extraneous matter or debris. It shall not contain toxic materials and shall have an acidity range of from 6.5 to 7.5. Topsoil from a grass infested area will not be acceptable.

B. Soil testing shall be performed and analyzed by a laboratory registered by the state. Testing shall include fertility and available nutrients and when recommendations for fertilizer or amendments, which shall take precedence over analysis or analysis specified in the Section. Soil testing shall be the Contractor's responsibility. Submit test results to the Landscape Architect for review.

C. Soil Preparation: Prior to placing mix and backfill, or commencing with planting, notify any of all areas that have been previously compacted over 90 percent for other construction projects.

2. Fertilizer:

A. Fertilizer, part of which the elements shall be derived from organic sources, shall be a complete blend formula, balanced as suitable for plants. It shall contain nitrogen, phosphorus, and potassium, as well as recommended micronutrients such as magnesium, iron, copper, zinc, molybdenum, and manganese in sufficient quantities to be available over all turf, shrubs, and trees as recommended on plant list, at the following minimum rates. Total nitrogen shall not exceed a rate of 1 pound per 1,000 square feet.

B. Agriform 20-20-25 Tablets Plus Nitro, or approved equal, shall be provided for each planting hole as an available and appropriate of a complete fertilizer analysis shall be approved by the Landscape Architect.

C. Weed Control: All planting beds shall be treated with the pre-emergent Snapshot 2.5 TS prior to multiple per manufacturer's instructions.

D. Muck: All muck shall be grade #1, clean, bright, and free of weeds, moss, sticks and other debris. Free straw shall be used unless specified otherwise. Cypress muck shall not be used.

E. Water: Suitable water for the irrigation plants during the progress of construction shall be provided and provided paid for by the Contractor, who shall also furnish adequate watering equipment.

F. The States and Title: Slakes and soil shall be provided in accordance with the plan details and the slaking and soil requirements. Substitutions require written approval by the Owner.

G. Antidotes: Dact plants (Phoenix, canary, and Phoenix) and Phoebe shall not be used for any planting. Antidotes shall be provided with oxyethylene (OTC) herbicides three (3) months prior to installation, and thereafter every three (3) months, as often as the Contractor shall provide treatments until completion of the Warranty, and document all treatments which shall be in accordance with Florida industry standards. (UF FFAFS Extension Unit ENP98).

H. Root Barriers: Geomembrane: Protection of adjacent infrastructure shall be provided in accordance with the drawings and plans. Substitutions require written approval by the Owner.

I. Antidotes: Dact plants (Phoenix, canary, and Phoenix) and Phoebe shall not be used for any planting. Antidotes shall be provided with oxyethylene (OTC) herbicides three (3) months prior to installation, and thereafter every three (3) months, as often as the Contractor shall provide treatments until completion of the Warranty, and document all treatments which shall be in accordance with Florida industry standards. (UF FFAFS Extension Unit ENP98).

J. Fertilizer: Fertilizer: Fertilizer shall be provided in accordance with the drawings and plans. Substitutions require written approval by the Owner.

K. Weed Control: All planting beds shall be treated with the pre-emergent Snapshot 2.5 TS prior to multiple per manufacturer's instructions.

L. Muck: All muck shall be grade #1, clean, bright, and free of weeds, moss, sticks and other debris. Free straw shall be used unless specified otherwise. Cypress muck shall not be used.

M. Water: Suitable water for the irrigation plants during the progress of construction shall be provided and provided paid for by the Contractor, who shall also furnish adequate watering equipment.

N. The States and Title: Slakes and soil shall be provided in accordance with the plan details and the slaking and soil requirements. Substitutions require written approval by the Owner.

O. Antidotes: Dact plants (Phoenix, canary, and Phoenix) and Phoebe shall not be used for any planting. Antidotes shall be provided with oxyethylene (OTC) herbicides three (3) months prior to installation, and thereafter every three (3) months, as often as the Contractor shall provide treatments until completion of the Warranty, and document all treatments which shall be in accordance with Florida industry standards. (UF FFAFS Extension Unit ENP98).

P. Root Barriers: Geomembrane: Protection of adjacent infrastructure shall be provided in accordance with the drawings and plans. Substitutions require written approval by the Owner.

Q. Antidotes: Dact plants (Phoenix, canary, and Phoenix) and Phoebe shall not be used for any planting. Antidotes shall be provided with oxyethylene (OTC) herbicides three (3) months prior to installation, and thereafter every three (3) months, as often as the Contractor shall provide treatments until completion of the Warranty, and document all treatments which shall be in accordance with Florida industry standards. (UF FFAFS Extension Unit ENP98).

R. Fertilizer: Fertilizer: Fertilizer shall be provided in accordance with the drawings and plans. Substitutions require written approval by the Owner.

S. Weed Control: All planting beds shall be treated with the pre-emergent Snapshot 2.5 TS prior to multiple per manufacturer's instructions.

T. Muck: All muck shall be grade #1, clean, bright, and free of weeds, moss, sticks and other debris. Free straw shall be used unless specified otherwise. Cypress muck shall not be used.

U. Water: Suitable water for the irrigation plants during the progress of construction shall be provided and provided paid for by the Contractor, who shall also furnish adequate watering equipment.

V. The States and Title: Slakes and soil shall be provided in accordance with the plan details and the slaking and soil requirements. Substitutions require written approval by the Owner.

W. Antidotes: Dact plants (Phoenix, canary, and Phoenix) and Phoebe shall not be used for any planting. Antidotes shall be provided with oxyethylene (OTC) herbicides three (3) months prior to installation, and thereafter every three (3) months, as often as the Contractor shall provide treatments until completion of the Warranty, and document all treatments which shall be in accordance with Florida industry standards. (UF FFAFS Extension Unit ENP98).

X. Root Barriers: Geomembrane: Protection of adjacent infrastructure shall be provided in accordance with the drawings and plans. Substitutions require written approval by the Owner.

Y. Antidotes: Dact plants (Phoenix, canary, and Phoenix) and Phoebe shall not be used for any planting. Antidotes shall be provided with oxyethylene (OTC) herbicides three (3) months prior to installation, and thereafter every three (3) months, as often as the Contractor shall provide treatments until completion of the Warranty, and document all treatments which shall be in accordance with Florida industry standards. (UF FFAFS Extension Unit ENP98).

Z. Fertilizer: Fertilizer: Fertilizer shall be provided in accordance with the drawings and plans. Substitutions require written approval by the Owner.

3.02 MATERIALS INSTALLATION

1. All plant materials shall be approved by the Owner's Representative as they are delivered to the job site or other site specified, and in all cases:

A. Conditions: Plants shall be inspected, and typical for the variety and species: in a condition of healthy and vigorous growth; free from plant disease, insect pests, or other eggs, and with healthy normal root systems well filling their containers, but not to the point of being root bound. Plants shall not be graded prior to delivery, except as authorized by the Owner's Representative. Spray all trees to eliminate insects and fungus and apply fertilizer anti-transpirant prior to delivery.

B. Dimensions: The height and spread of plants shall be measured with branches in a normal position. Where dimensions of plant materials are omitted from the Plant List, plants shall be normal stock, for type and grade.

C. Actual planting shall be performed during those periods when weather and soil conditions are suitable and in accord with locally accepted practice.

D. Only as many plants as can be planted and watered that same day shall be distributed in a planting area.

E. Containers shall be opened and plants shall be removed in such a manner that the ball of earth surrounding the root and branches and they shall be planted and watered as herein specified immediately after removal from the containers. Containers shall be opened prior to placing the plants in the planting area.

F. Do not do any planting, other than specimen trees, until all operations involved in the installation of the sprinkler system have been completed. Final grades have been established, the planting areas have been properly graded and prepared as herein specified, and the work approved by the Owner's Representative.

G. The relative position of each tree and plant is subject to approval by the Owner's Representative, and it is necessary to achieve proper application of the irrigation system.

H. Remove each plant from its container and plant in such manner that when installed, it will bear the same relation to the established finished grade as to the center of the pit and backfill, unless otherwise specified. Place each plant on a layer of burlap and backfill, unless otherwise specified.

I. Layout of major plantings: Locations for plants and outlines of areas to be planted shall be marked on the ground before any planting area is dug. All such locations shall be approved by the Owner's Representative.

J. Layout shall be accomplished with flagged grade stakes indicating plant name and specified container size on each site or alternate approved method.

K. Underground container on utility line is encountered in the excavation of planting area, other locations for planting may be selected by the Owner's Representative or Landscape Architect.

L. It shall be the Contractor's responsibility to conform with the Owner and governing agencies the location and depth of underground utilities and obstructions.

M. Fencing of trees, shrubs and groundcover:

1. Excavation for planting shall include the striping and staking of all acceptable planting enclosures within the area to be excavated for trenches, tree holes, plant pits and planting beds.

2. Excavate soil generated from the planting holes and use as backfill on a 1:1 slope to the finished grade, shall be removed from the site.

3. Protect all areas from excessive compaction when trucking plants or other material to the planting site. Compacted areas shall be core compacted 3" or tilled.

4. Center plants in pit or trench.

5. Face plants within 1/2 inch growth toward the best public views.

6. Set plant plants and hold rigidly in position until soil has been tamped firmly around ball or roots.

7. All excavated holes shall be vertical unless with roughened surfaces and shall be of a size that is twice the diameter and one-half times the depth of the hole. I will bear the same relation to the established finished grade as a root ball for all shrubs. Trees 1 1/2 gallon and smaller to be planted as above, trees 2" to 4" or larger to be excavated to the depth of the root ball (allow 1" for setting) and as space above, 2" clear of the root ball on all sides.

8. Layout areas and stake/flags for trees at locations indicated on Drawings. Secure approval of Owner's Representative before excavating pits. Make necessary adjustments as directed.

9. Specimens trees to be planted prior to construction of fresh grades shall be located by survey for location and back-sprayed immediately to top of root ball.

10. When hardpan or other obstruction, break through to clean soil and excavate to a depth of 6 inches below the obstruction. Repair all holes at sides and bottoms by jetting or other approved method. Set tree in fresh grade and fill with prepared soil, compact setting the soil to the height of the root ball by water jarring and flooding to remove voids.

11. Set tree in center of pit in a vertical position on the crown level of the ball to be level with grade after allowing for subsidence and settling.

12. Prepare watering basin same with as tree plant ball. Water thoroughly immediately following planting. Backfill all voids which develop with additional prepared planting soil to bring to fresh grade. Remove all debris in lawn areas, and smooth to finish grade prior to laying sod.

13. Monitor tree and shrub root balls for adequate moisture content. Deep water and/or provide water basins as necessary.

14. All plants which settle deeper than the surrounding grade shall be raised to the correct level. After the plant has been placed, additional backfill shall be added to the hole to cover approximately one-half the height of the root ball. At this stage, water shall be added to the pot, the party filled hole to thoroughly saturate the root ball and adjacent soil.

14. Can removal:

A. Cut cans on two sides with an acceptable can cutter.

15. Do not injure root ball:

A. After the root ball is positioned and backfilled, remove all wire and cut a depth of 1/2 to 1 1/2 inches.

B. Remove the top 6 - 8 inches of the basket wires prior to final backfilling. Fold back sharp wire ends.

16. Box removal:

A. Remove bottom of plant boxes before planting. Remove sides of box without damage to root ball after pre-planting plant and partially backfill.

17. Plant tables:

A. During installation, Agriform 20-10-25 Tablets Plus Nitro, or approved equal, shall be provided in each planting hole per quantities and application of the manufacturer's specifications.

B. Planting tables shall be set with each plant on the top of the root ball while the plants are still in their containers. The required number of tablets to be used on each hole can be easily verified by the Owner's Representative.

C. Tablets shall be located in the upper 1/2 to 1 1/2 of the plant pit, 1" from roots.

18. Backfill:

A. The remainder of the hole shall then be backfilled and tamped firm.

B. No an earthen basin shall be constructed under each plant. Each basin shall be a depth sufficient to hold at least three (3) inches of water. The basin shall be constructed of amended backfill material. Remove basin in all turf areas after initial watering.

C. Pruning: Pruning of new plantings shall be limited to the minimum necessary to remove injured twigs and branches. Pruning may not be done on any of the plants.

19. Staking and Guying:

A. The Contractor shall be responsible to maintain trees in a straight and plumb position throughout the guarantee period.

B. The Contractor shall be responsible for the installation, maintenance, and correct removal of all staking and guying materials.

C. Tree staking shall coincide with tree planting. All stakes shall be installed plumb and indicated in the details. Guys shall be laid and maintained plumb and prepared as herein specified, and the work approved by the Owner's Representative.

D. The Contractor shall remove all staking and guying materials one week after installation, typically, and if year of installation. Should any tree require additional time for stabilization, the Contractor shall provide the Owner a written report identifying such trees, the reason for the extension, and the required course of action to ensure full removal.

D. Planting of flowering annuals:

1. Flowering annuals shall be given 4" pots indicated on the plans. Annuals shall remain in their flats until the planting. The flats shall be kept in a shaded and sufficient moisture so that they will not rot apart when lifting the plants.

2. The annuals shall be planted in straight rows and evenly spaced, unless otherwise noted, and all intervals called out in the drawing. Triangular spacing shall be used unless otherwise noted on the drawing.

3. Each noted plant shall be planted with its appropriate amount of soil. Plantings shall be immediately sprinkled after planting until the entire area is soaked to a depth of 6 inches.

4. The annuals planting area shall be mulched with appropriate fine bedding mulch. Each annual bed shall be mulched so the ground is thoroughly covered, and the annuals are not buried.

5. Care shall be exercised at all times to protect the plants after planting. Any damage to plants by tampering or other operations of this Contract shall be repaired immediately.

E. Sod planting:

1. Preparing soil: Remove rocks, weeds, and debris from soil to be sodded. If dirt is compacted, work soil up to a depth of 4 inches and break up all clods. Test soil and prep all areas as noted elsewhere in Specifications.

LANDSCAPE NOTES: (SEE PLANTING SPECIFICATIONS FOR COMPLETE REQUIREMENTS)

- ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS SPECIFIED IN QUANTITIES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, AND SHALL CONFORM TO GENERAL STANDARDS FOR NURSERY STOCK, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, LATEST EDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF QUANTITIES IN THE PLANT LIST. IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES IN THE LIST AND THE PLANS, THE PLANS SHALL CONTROL AND THE DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BID. ANY DEVIATION FROM THESE PLANS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND LOCAL REGULATIONS, AND IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THE WORK.
- ALL LANDSCAPE INSTALLATION/ MAINTENANCE PROFESSIONALS SHALL BE LICENSED AND CERTIFIED IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- THE CONTRACTOR SHALL EXAMINE EXISTING SITE CONDITIONS AND PROMPTLY REPORT ALL DISCREPANCIES AND UNSUITABLE CONDITIONS (WEEDS, MUCK, DEBRIS, OBSTRUCTIONS, ETC.) TO THE LANDSCAPE ARCHITECT PRIOR TO BEGINS. THE CONTRACTOR IS RESPONSIBLE FOR SOIL ANALYSIS PRIOR TO INSTALLATION OF PLANTINGS, AND SHALL ENSURE ALL SOIL AMENDMENTS CONFORM TO SPECIFICATIONS.
- THE CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE SETS AND ALL UTILITIES, INCLUDING WATER, SEWER AND ELECTRICAL SUPPLY. THE CONTRACTOR SHALL LOCATE SUBSIDIARY ELS AND AREA UTILITIES NOT LISTED ON THE LOCATE TICKET. THE EXACT LOCATION OF ALL EXISTING ABOVE GROUND AND UNDERGROUND STRUCTURES, UTILITIES, SPRINKLERS AND PIPE MAY NOT BE INDICATED ON DRAWINGS. THE CONTRACTOR SHALL CONDUCT HIS WORK IN A MANNER TO PROTECT AND PREVENT INTERRUPTION OR DAMAGE TO EXISTING SYSTEMS AND UTILITY SERVICES WHICH MUST REMAIN OPERATIONAL. THE CONTRACTOR IS RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED BY HIM AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN, AND IS RESPONSIBLE FOR THEIR COMPARABLE REPLACEMENT IF DAMAGED BY HIM AT NO ADDITIONAL COST TO THE OWNER. SEE TREE PRESERVATION PLANS.
- CONTRACTOR SHALL PROVIDE TREE ROOT BARRIERS AND/ OR GEOTEXTILE ALONG IMPROVEMENTS AND UTILITIES WHEN ROOT BARRIERS ARE SHOWN ON THE PLANS AND/ OR DETAILS.
- ALL TREE MATERIAL SHALL BE CONTAINER GROWN UNLESS OTHERWISE SPECIFIED.
- SOIL PROVIDED SHALL BE FREE OF LIMEROCK, FIBRES OR OTHER CONSTRUCTION DEBRIS.
- ALL PLANTING BEDS SHALL RECEIVE A 3" LAYER OF MULCH (1" OVER ROOTBALL), MEASURED AFTER MULCH HAS SETTLED.
- ALL PLANT BEDS SHALL BE FREE OF WEEDS, ROCKS, AND CONSTRUCTION DEBRIS, ETC. AT TIME OF INSPECTION BY LANDSCAPE ARCHITECT/ OWNER'S INSPECTOR.
- ALL LANDSCAPE MAINTENANCE SHALL COMPLY WITH MARION COUNTY LDC SEC. 6.8.1.1.
- FERTILIZER AND LANDSCAPE CHEMICAL USE SHALL COMPLY WITH MARION COUNTY LDC SEC. 6.8.1.4.
- ALL CERTIFICATION AND LICENSING OF LANDSCAPE PROFESSIONALS AND IRRIGATION INSTALLATION/MAINTENANCE PROFESSIONALS SHALL COMPLY WITH MARION COUNTY LDC SEC. 6.8.1.2 AND SEC. 6.8.1.3.

MAINTENANCE

LANDSCAPE AND IRRIGATION MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INDUSTRIES <http://www.blei.edu>

TREE CARE AND MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF [ANGLASO TREE CARE STANDARDS](http://www.blei.edu) AND ITS BEST MANAGEMENT PRACTICES COMPANION PUBLICATIONS. ADDITIONAL RESOURCES INCLUDE [A GUIDE FOR TREE AND PALM MAINTENANCE ALONG FLORIDA HIGHWAYS](http://www.blei.edu) (FOOTFAS) AND [PAC TREE FACT SHEET](http://www.blei.edu) (<http://www.blei.edu>)

LANDSCAPE COMPLETION INSPECTION REQUIREMENTS

- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, CERTIFICATION THAT THE INSTALLATION MEETS REQUIREMENTS SHALL BE OBTAINED AND SIGNED BY THE LANDSCAPE ARCHITECT AND SUBMITTED TO MARION COUNTY IN ACCORDANCE WITH LDC SEC. 6.8.1.1 AND 6.8.1.2.
 - UPON COMPLETION OF THE INSTALLATION AND AT A MINIMUM OF SEVEN (7) DAYS PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL PROVIDE THE AS-BUILT PLAN AND REQUEST AN ON-SITE INSPECTION BY THE LANDSCAPE ARCHITECT.
 - WHEN APPLICABLE TO THE LANDSCAPE ARCHITECT, THE AS-BUILT PLANS WILL BE APPROVED AND A FINAL INSPECTION AND LANDSCAPE RELEASE OBTAINED.
 - THE CONTRACTOR SHALL DOCUMENT THE ACTUAL FIELD INSTALLATION OF THE LANDSCAPE AS OUTLINED BELOW:
- DURING CONSTRUCTION, THE CONTRACTOR SHALL MARK UP A COPY OF THE APPROVED DESIGN PLAN AND PROVIDE TO THE LANDSCAPE ARCHITECT A CLEAR AND LEGIBLE DIAGRAM WITH THE FOLLOWING AS-BUILT INFORMATION:
- INSTALLED PLANT SPECIES AND MATERIALS
 - INSTALLED PLANT QUANTITIES
 - OTHER INSTALLED MATERIALS DOCUMENTATION
 - IRRIGATION "AS-BUILT" INFORMATION (SEE IRRIGATION)
 - WRITTEN MAINTENANCE, PRUNING, AND FERTILIZATION INSTRUCTIONS AND SCHEDULE

(NOTE: PRE-APPROVAL BY THE LANDSCAPE ARCHITECT IS REQUIRED FOR ANY DESIGN CHANGE, INCLUDING PLANT SUBSTITUTIONS, LAYOUT, QUANTITIES, OR MATERIALS - SEE SPECIFICATIONS)

OWNER RESPONSIBILITY

THE OWNER IS RESPONSIBLE FOR SOIL CONTINUED MAINTENANCE AND SURVIVAL OF THE PLANTS

LDC SECTION 6.8.1.1 - LANDSCAPE INSTALLATION SHALL MEAN SURVIVAL AND PERPETUITY, AND REPLACEMENT IF NECESSARY, OF ALL MATERIALS, DEAD ANKY OR DYING PLANT MATERIAL SHALL BE REPLACED BY THE OWNER WITHIN 30 DAYS OF NOTIFICATION BY THE CONTRACTOR.

PLANT LIST

Key	Qty	Botanical Name	Common Name	Size and Spacing	Native
Diamond A Shopping Center					
Trees					
ARF	4	Acacia robusta "Florida Flame"	Flame Tree Maple	Cont/BBB; 1 1/2" H x 5" Spd; 2 1/2' cal min	Yes
BRS	15	Callalampion "Red Cluster"	Redbush, standard	#30; 7" H x 4" Spd; 3' CT; 1 1/2' cal min	
BC	1	Burta cactus	Pinko Palm	BR; 14" CT; full head; heavy trunk; specimen	
BLE	8	Illex x attenuata "Eagleston"	Eagleston Holly	Cont/BBB; 10-12" H x 4" Spd; 3 1/2' cal min; straight leader	
ILN	3	Illex x helleii R. Stevens"	Nellie Stevens Holly	#30; 5' 6" H x 3 1/2' - 4" Spd	
JVP	2	Illex vomitoria "Pendula"	Weeping Yaconon Holly	#30; 8" H x 4" Spd; HT	Yes
LDR	9	Lagerstroemia indica "Muskege"	Crape Myrtle, lavender standard	#31 Cont/BBB; 9" H x 4" Spd; HT	
LNS	4	Lagerstroemia indica "Muskege"	Crape Myrtle, lavender standard	#30; 9 1/2" H x 4 1/2" Spd; min 5' CT standard	
LNH	6	Lagerstroemia indica "Natchez"	Crape Myrtle, white	#30 Cont/BBB; 9" H x 5" Spd; HT	
LNS	6	Lagerstroemia indica "Natchez"	Crape Myrtle, white standard	#30; 9 1/2" H x 4 1/2" Spd; min 5' CT standard	
LIT	17	Liquidum japonicum	Liquidum, tree-form	BBB; 6" H x 5" Spd; HT; 2" min open below	
MGB	4	Magnolia grandiflora "Bracken's Brown Beauty"	Bracken's Brown Beauty Magnolia	Cont/BBB; 13-15" H x 6-8" Spd; 3 1/2' cal min	Yes
MID	6	Magnolia grandiflora "D.D. Blanchard"	D.D. Blanchard Magnolia	Cont/BBB; 13-15" H x 6-8" Spd; 3 1/2' cal min	Yes
PE	20	Pinus strobus	Scotch Pine	Cont/BBB; 14-16" H x 4" Spd; 3 1/2' cal min	Yes
PP	28	Pinus palustris	Longleaf Pine	Cont/BBB; 14-16" H x 4" Spd; 3 1/2' cal min	Yes
QS	9	Quercus shumardii	Shumard Oak	Cont/BBB; 13-15" H x 6-8" Spd; 3 1/2' cal min	Yes
QV	27	Quercus virginiana	Live Oak	Cont/BBB; 13-15" H x 6-8" Spd; 3 1/2' cal min	Yes
SP	24	Sabal palmetto	Sabal Palm	BR; hurricane cut; see plan for CT heights	Yes
TD	8	Taxodium distichum	Bald Cypress	Cont/BBB; 12" H x 5" Spd; 3 1/2' cal; straight trunk	Yes
UAW	5	Ulmus alata "Viregel"	Winged Elm	Cont/BBB; 12-14" H x 6-8" Spd; 3 1/2' cal; straight trunk	Yes
Shrubs, Grasses & Groundcovers					
AA	17	Agapanthus liliifolius	Lily-of-the-Nile	#1; 6A; 3-4 pop mini; 18" oc	
BBD	30	Callitriche latifolia 'John'	Dwarf Botherwood	#3; 18" H x 18" Spd; full; 30" oc	
Ch	3	Chamaecyparis humilis	European Fan Palm	#7; 2'-3' GA; HT	
CLR	4	Croton augustum "Queen Emma"	Croton, Red, red	#7; 3' GA; specimen	
DIV	32	Dianella bartramica "Variegata"	Variegated Flax Lily	#3; 6A; 30" oc	
DV	317	Dianella repens	Atlantic Flax, white	#3; 6A; 5-6 pop mini; 3' oc	
GE	6	Galphimia gracilis	Thyris	#3; 6A; 3' oc	
HPO	2	Hemelia patens "Compact"	Dwarf Firebush	#3; 6A; 18" H x 18" Spd; 3' oc	
ICB	157	Illex cornuta "Burfordii Nand"	Dwarf Burford Holly	#7; 24" H x 18-22" Spd; 30" oc	
ILC	3	Illex x cornifolia	3' H x 18" Spd	#7; 3' H x 18" Spd	
JCP	40	Juniperus chinensis "Planiplum"	Planum's Juniper	#3; 8-10" H x 18" Spd; 3' oc	
LAT	155	Lantana camara "New Gold"	Lantana, dwarf yellow	#3; 6A; 12" Spd; 2' oc	
LCD	81	Limonium chamei "TREL-107"	Purple Daylily Dwarf	#3; 10-12" H x 12-15" Spd; 2' oc	
LN	578	Liriodendron muscari "Emerald Goddess"	Emerald Goddess Lorop	#1; 6A; 5-7 pop mini; 18" oc	
LSS	18	Liquidum senense "Sunshine"	Sunshine Liquidum	#3; 12-15" H x 15-18" Spd	
MC	165	Muhlenbergia capillaris	Muhly Grass	#3; 6A; 3' oc	Yes
NDS	40	Nandina domestica "Saika"	Chinese Nandina	#3; 6A; 18" Spd; 2' oc	
PC	141	Plumbago auriculata	Cape Plumbago "Imperial Blue"	#3; 18" x 18"; 3' oc	
PH	57	Podocarpus macrophyllus	Japanese Yew	#7; 3' H x 2' Spd; full; 2' oc	
PHF	82	Podocarpus macrophyllus "Pirngal"	Pirngal Dwarf Japanese Yew	#3; 10-12" H x 12-18" Spd; 2' oc	
PTV	88	Pittosporum tobira "Variegata"	Variegated Pittosporum	#3; 15" H x 15" Spd; 3' oc	
SB	135	Spartina bakeri	Cordgrass	#3; 6A; 3' oc	
SRG	5	Shorea robusta	Sak Palmetto, green	#7; 24" H x 24" Spd; 5' oc	Yes
TAM	888	Thymus praecox "Mimosa"	Dwarf Carpetgrass Japanese	#3; 6A; 5-7 pop mini; 15" minners; 18" oc	
TV	43	Tillandsia usneoides	Society Garlic	#3; 6A; 6-8 pop mini; 2' oc	
VO	125	Viburnum odoratissimum	Sweet Viburnum	#3; 18-24" H x 18-24" Spd; 3' oc	
VS	28	Viburnum saccabum	Sandbarrel Viburnum	#3; 18-24" H x 18-24" Spd; 3' oc	
WVS	244	Viburnum wrightii "Mrs. Shillies Delight"	Dwarf Waltham Viburnum	#3; 16-18" H x 16-18" Spd; 3' oc	Yes
ZF	156	Zamia floridana	Coccoloba	#3; 6A; 18" Spd; 30" oc	
Soil & Miscellaneous Items					
SO		Passiflora nitida "Argentine"	Argentine Bahia		
SOO	X	Stenotaphrum secundatum "Floristan"	St. Augustine "Floristan"		
MULCH		Pine Straw	Pine Straw	3" depth	

- SOIL/SEED NOTES:**
- PROVIDE SOO IN ALL AREAS AS NOTED ON THE PLANS.
 - PROVIDE A MINIMUM SOO STRIP ALONG ALL BEES, PAVEMENT, FENCE, AND WALLS.
 - SOO SWALES AND DRA SIDE SLOPES PER GRADING AND DRAINAGE PLANS.
 - SEED AND MULCH DISTRIBUTED AREAS IN OPEN SPACES AND AS CALLED IN THE GRADING AND DRAINAGE PLANS.
 - SOO DISTRIBUTED OFF SITE AREAS OUTSIDE OF THE PROJECT BOUNDARY.
 - SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

FUTURE SHADE TREES & FUTURE SHADE TREES SHALL BE PROVIDED ALONG WITH THE IMPROVEMENT OF EACH LOT; SEE PLANTING PLAN AND SHADE TREE NOTES.

CONSTRUCTION NOTES:

THESE PLANS ADDRESS PHASE 1 (LOTS 1 TO 9 AND TRACTS 'A' TO 'F'). BUFFERS SHALL BE INSTALLED SEPARATELY ALONG WITH THE IMPROVEMENT OF EACH LOT, AND CONTRACTOR SHALL BID PLANTING AND IRRIGATION ACCORDINGLY.

CONTRACTOR MAY REQUEST ADDITIONAL PLANS AS NEEDED TO ACCOMMODATE PHASED CONSTRUCTION.

LOT 1 (GROCERY) AND TRACT 'A' (DRA) SHALL BE INSTALLED CONCURRENTLY.

ADDITIONAL LANDSCAPE

- 1 types of canopy trees
- 3 5 types of secondary trees
- 3-5 types of shrubs (minimum of 18" in height and 15" in spread at time of installation, to be listed as such on plans)
- 2 3 types of groundcovers (including sod)
- 1 type of mulch that has a thinner profile to avoid blocking signage or visibility of store
- 1 type of mulch zone 8 shall have 50% organic material
- Plant size at maturity shall be considered in plant selection. Maximum anticipated height and diameter are to be listed in landscape plan, consistent with planting landscape design.
- Drought tolerant and/or native plants shall be used whenever possible.
- Avoid the use of exotic or invasive species

MARION COUNTY REQUIREMENTS

ALL LANDSCAPE INSTALLATION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH MARION COUNTY LANDSCAPE DEVELOPMENT CODE, ARTICLE 6, DIVISION 6, LANDSCAPE.

<http://www.marioncountyma.gov/marion-county>

PROJECT AREA - 19,526 AC
COMMERCIAL TRACTS - 13,738 AC

REFER TO APPROVED P.U.D.
SEE CIVIL PLANS FOR PROJECT DATA
OUTSIDE SPRINGS PROTECTION ZONES
OUTSIDE URBAN GROWTH BOUNDARY

(LDC - REFER TO SEC 6.7.4)
PROPOSED SHADE TREES:
COMMERCIAL TRACTS - 1.1 SHADE TREE PER 3,000 SF
RURAL LOTS, DRA TRACTS, AND LOT 10 (OUTPARCEL) EXCLUDED FROM ASSESSMENT;
LOT 1 (GROCERY TRACT) - 14
LOT 11 - 12
LOT 7 - 11
LOT 11 - 11
LOT 7 - 10
LOT 7 - 10

REQUIRED - 202 (TOTAL)
PROVIDED - 202 TREES (INCLUDES ACCENT TREES SUBSTITUTED FOR SHADE TREES DUE TO LIMITED IN BUFFER)
PROVIDED AS FOLLOWS:
#4 IN TRACT 'A' (DRA) TO ACCOMMODATE TREES REQUIRED IN GROCERY
#8 IN LOTS 7 TO 11 (4" BUFFER SUBSTITUTIONS + 4" BUFFER)

MINIMUM TREE REPLACEMENT (SEC 6.7.5)
N/A; NO EXISTING TREES IN PROJECT AREA

BUFFER SEC 6.8.4 AND MIN BUFFER PLAN:
CORREPLY WITH CURRENT 7' AT BEEM (OPTIONAL 3-BOARD WOOD FENCE) AND SIDEWALK (1" MIN BUFFER)
20' MIN BUFFER WITH 7' AT BEEM (OPTIONAL 3-BOARD WOOD FENCE) AND SIDEWALK (1" MIN BUFFER)
SHRUBS AND GROUNDCOVERS SHALL COMPRISE 50% OF THE REQUIRED BUFFER

REQUIRED = 30 SHADE & 45 ACENT (1,493 FL)
PROVIDED = 31 SHADE & 45 ACENT (USE PLAN NOTES, INCLUDES ACCENT TREES SUBSTITUTED FOR SHADE TREES DUE TO UTILITIES IN BUFFER)

GENERAL PLANTING REQUIREMENTS (SEC 6.8.10)
NATIVE PLANTS
OUTSIDE THE URBAN GROWTH BOUNDARY, 30% MINIMUM OF ALL PROPOSED REQUIRED PLANTS SHALL BE NATIVE

REQUIRED = 866 (2,474 X 0.35) (EXCLUDES SHRUBS IN PARKING PER 6.7.4.C)
PROVIDED = 866 (TOTAL)

SHADE TREE LIMITS
PROPOSED SHADE TREES ARE LIMITED TO 50% MAX OF ANY ONE SPECIES MAX = 43 (124 X 0.35)
PROVIDED = 28 PP

PALE TREE LIMITS
NOT MORE THAN 25% OF ALL REQUIRED TREES SHALL BE PALMS
MAX = 46 PALMS (125 X 0.35)
PROVIDED = 30 PALMS

- Each landscape island shall contain 3 different plant materials with a variety of height, color and texture.
- Plant island shall be placed in uniform and plant material to keep the layout varied in the parking field.
- In the event that the landscape islands do not all plant material. Look at plant density versus island size and provide maximum plant coverage.
- Canopy trees shall only be placed in islands that are large enough to accommodate the tree's needs at maturity.
- Canopy trees shall not obscure views of the grocery storefront.
- Landscaping shall not obstruct the path of pedestrian travel. Vertical clearance to be a minimum of 8'0".
- Shrubs and ground cover shall not exceed 30" in height at maturity and must maintain the pedestrian sight triangle.
- Maintain a 17" x 18" plant material set back from the curb line adjacent to all vehicular and pedestrian areas.
- When street parking stalls separate parking aisles, curb cuts must be provided at intervals of 100' or less.
- Trees placed as main road buffer shall be grouped/clustered to allow sight lines.
- Landscaping shall not obscure visibility of building, monument or sign signs. Consider color or monument sign height in material selection.
- Landscaping shall not obstruct the truck delivery path. Truck height may go up to 11'-6" and the swing of the trailer when turning may damage landscape.
- Landscaping plan shall superimpose the truck routing.
- The developer shall provide an automatic irrigation system with 30% coverage for all landscaped areas.
- Use the lowest quality water feasible for irrigation. Use reclean or well water whenever possible. If potable water is the only available source, a separate irrigation meter shall be installed for water usage tracking.
- Rain sensors or other devices such as soil moisture sensors shall be used with automatic controls.
- Irrigation shall be designed after landscaping design and plant material have been chosen. Consider mature height of plant material to optimize irrigation coverage and reduce cost of upgrades during plant growth.
- Sprinkler heads and rotor heads shall not be on the same zone.
- Use of drip irrigation or micro-sprinklers is allowed. If micro-irrigation is used, it must be pinned down correctly and completely covered by mulch.

- Plant materials with nuts, seeds, full season flowers or fruits should be avoided near the building or along pedestrian paths.
- Plants, shrubs and trees that are known to attract certain insect species should be avoided. See Landscape Material Preference in Exhibits for more information.
- Landscaping should be planned in such a way that it grows away from the building to avoid pests/rodents gaining access to the building.
- Plant must be specified to be 2" - 3" in landscape beds.
- Small pebbles, rocks, pine straw or gravel must be used permitted.
- Use mulch as cover in the 12" - 18" plant material set back areas in all islands and at pedestrian sidewalks.
- Mulch color and texture shall be consistent in all planter beds.
- Landscaping located in islands with site lighting shall be of varieties that will not obstruct light distribution at maturity.
- Parking lot lights parallel to the main drive aisle shall be contained in landscape islands. Parking lot signs in other locations are not required to be in landscape islands, although it is preferred.

(PLEASE SEE TRUCK ROUTE PLAN WITH OVERLAY)

William & Associates
ENGINEERING, LLC
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 16th Ave, Bldg. 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545

REVISIONS	
DATE	

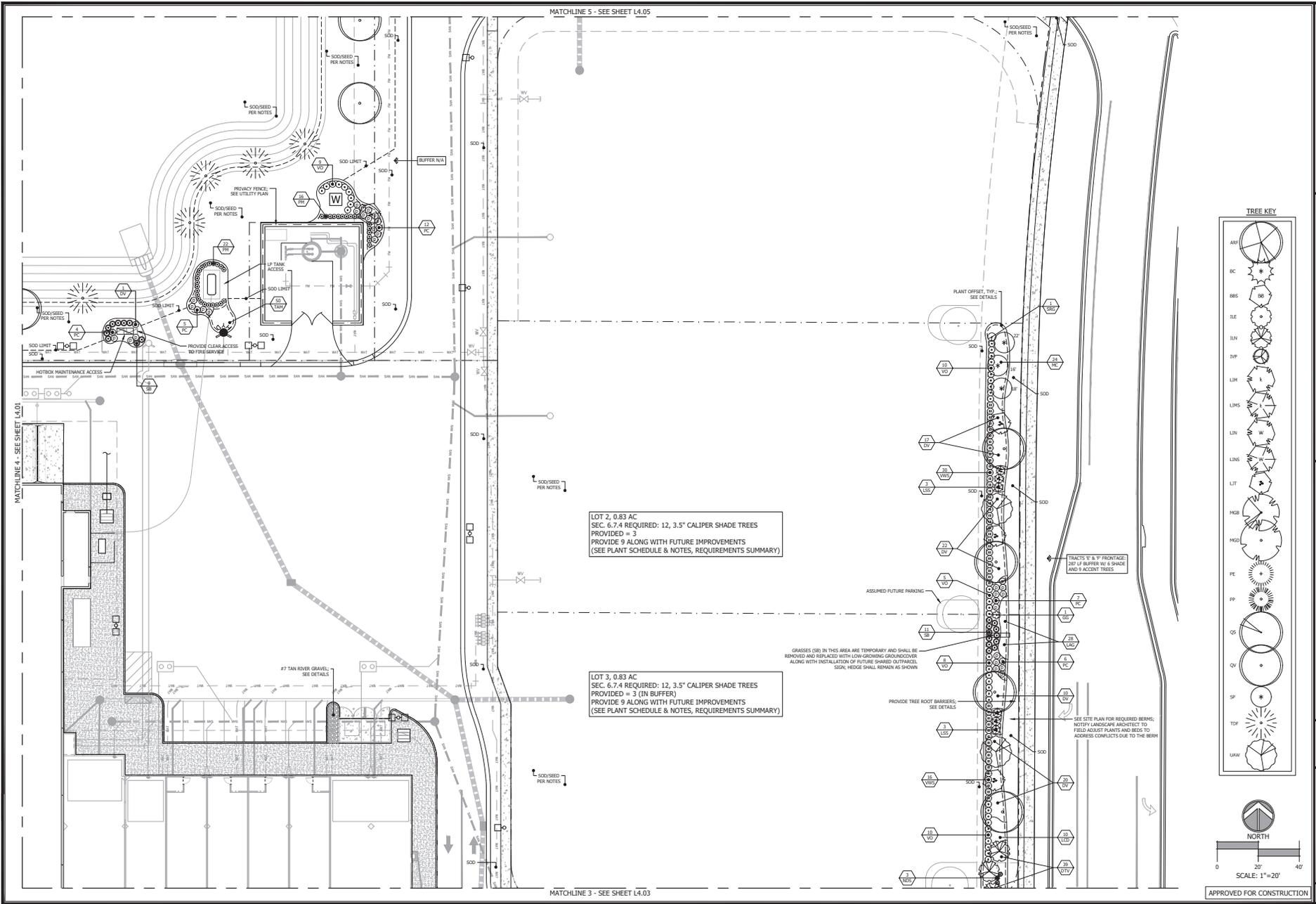
MAJOR SITE PLAN
DIAMOND A SHOPPING CENTER
MARION COUNTY, FLORIDA

PLANT SCHEDULE & NOTES

DATE 8/13/2025
DRAWN BY JBP
JOB NO. 24-9940

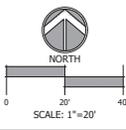
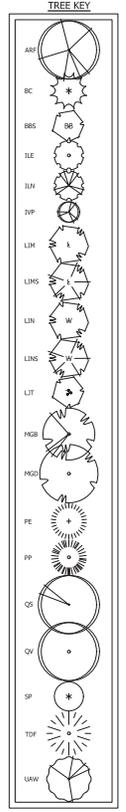
APPROVED FOR CONSTRUCTION

L3.01



LOT 2, 0.83 AC
 SEC. 6.7.4 REQUIRED: 12, 3.5" CALIPER SHADE TREES
 PROVIDED = 3
 PROVIDE 9 ALONG WITH FUTURE IMPROVEMENTS
 (SEE PLANT SCHEDULE & NOTES, REQUIREMENTS SUMMARY)

LOT 3, 0.83 AC
 SEC. 6.7.4 REQUIRED: 12, 3.5" CALIPER SHADE TREES
 PROVIDED = 3 (IN BUFFER)
 PROVIDE 9 ALONG WITH FUTURE IMPROVEMENTS
 (SEE PLANT SCHEDULE & NOTES, REQUIREMENTS SUMMARY)



APPROVED FOR CONSTRUCTION

William C. Acosta
 ENGINEERING, L.L.C.
 CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
 1720 SE 18th Ave. Bldg. 100, Ocala, FL 34471
 Office: (352) 387-4640 Fax: (352) 387-4545

NO.	DATE	REVISIONS

MAJOR SITE PLAN
 DIAMOND A SHOPPING CENTER
 MARION COUNTY, FLORIDA

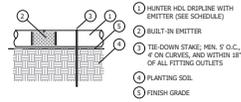
PLANTING PLAN

DATE: 8/13/2025
 DRAWN BY: JRP
 CHKD. BY: JRP
 JOB NO.: 24-9940

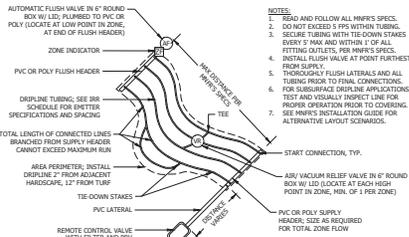
L4.04

©Marion County/William C. Acosta P&L/ARCHITECTURE/CONSTRUCTION/2024 9040 L&L01 Planting Plan.dwg, L4.04, 8/13/2025 8:47:47 AM

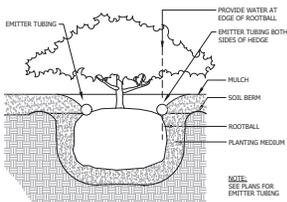
NOT VALID UNLESS SIGNED AND SEALED BY AUTHORIZED PROFESSIONAL



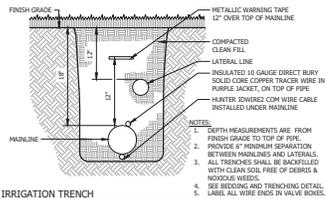
EMITTER TUBING ON GRADE
NOT TO SCALE



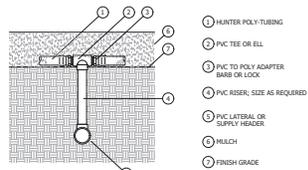
DRIFLINE LAYOUT
NOT TO SCALE



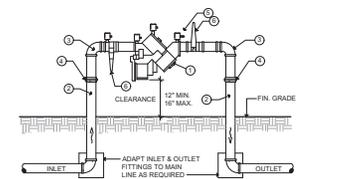
EMITTER TUBING ALONG HEDGE
NOT TO SCALE



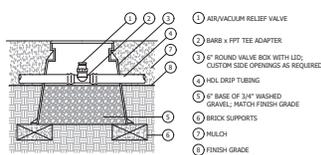
IRRIGATION TRENCH
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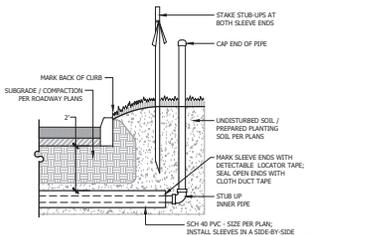
AT-GRADE START CONNECTION
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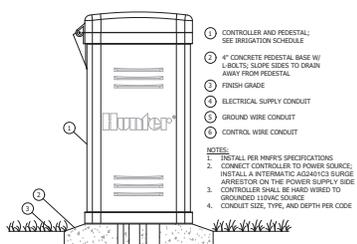
REDUCED PRESSURE BACKFLOW PREVENTER
NOT TO SCALE



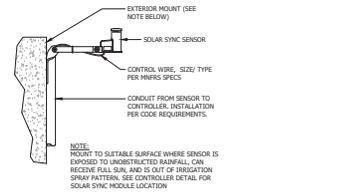
AIR / VACUUM RELIEF VALVE ON GRADE
NOT TO SCALE



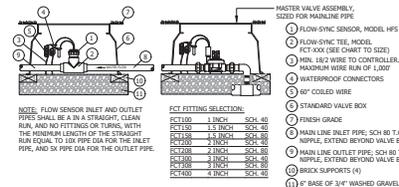
IRRIGATION SLEEVING DETAIL
NOT TO SCALE



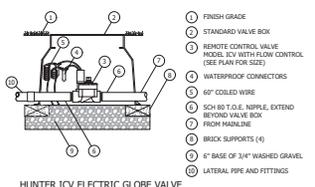
HUNTER ACC2 DECODER CONTROLLER ON PLASTIC PEDESTAL
NOT TO SCALE



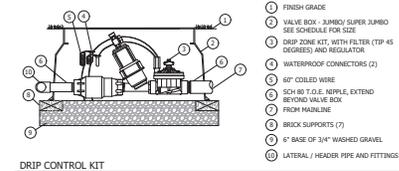
HUNTER SOLAR SYNC SENSOR (ET, FREEZE, RAIN)
NOT TO SCALE



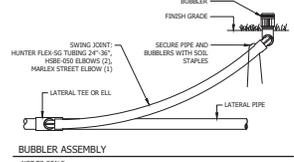
HUNTER FLOW-SYNCH FLOW SENSOR AND MASTER VALVE ASSEMBLY
NOT TO SCALE



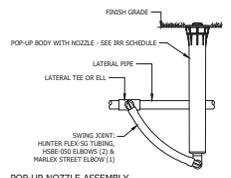
HUNTER ICV ELECTRIC GLOBE VALVE
COMMERCIAL / MUNICIPAL
NOT TO SCALE



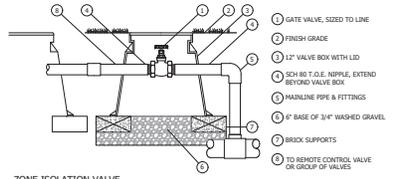
DRIP CONTROL KIT
NOT TO SCALE



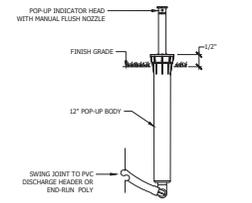
BUBBLER ASSEMBLY
NOT TO SCALE



POP-UP NOZZLE ASSEMBLY
NOT TO SCALE



ZONE ISOLATION VALVE
NOT TO SCALE



DRIP ZONE INDICATOR MANUAL FLUSH VALVE ASSEMBLY
NOT TO SCALE

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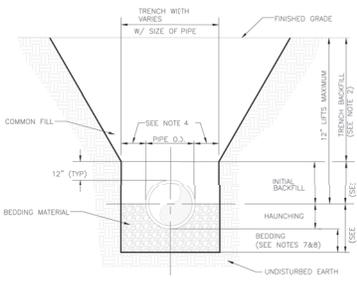
REVISIONS	
DATE	

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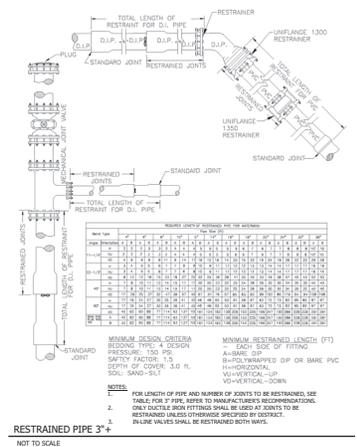
IRRIGATION DETAILS

LIR5.01



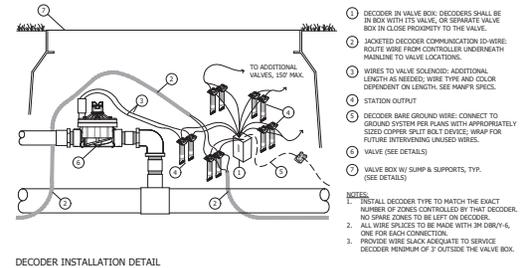
BEDDING AND TRENCHING
NOT TO SCALE

- INITIAL BACKFILL: COMMON FILL COMPACTED TO 95% (90% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-99
- TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (90% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-99
- TYPE A BEDDING MATERIAL SHALL CONFORM TO FOOT NO. 57 AGGREGATE
- 15" MAX. (12" MIN.) FOR PIPE DIAMETERS LESS THAN 24" AND 24" MAX. (12" MIN.) FOR PIPE DIAMETER 24" AND LARGER
- WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION
- ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW
- BEDDING DEPTH SHALL BE 4" MINIMUM FOR PIPE DIAMETER UP TO 12" AND 6" MINIMUM FOR PIPE DIAMETER 12" AND LARGER
- DEPTH FOR REMOVAL OF UNSUITABLE MATERIAL SHALL GOVERN DEPTH OF BEDDING ROCK BELOW THE PIPE. UTILITIES SHALL DETERMINE IN THE FIELD REQUIRED REMOVAL OF UNSUITABLE MATERIAL TO REACH SUITABLE FOUNDATION
- FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OR RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS



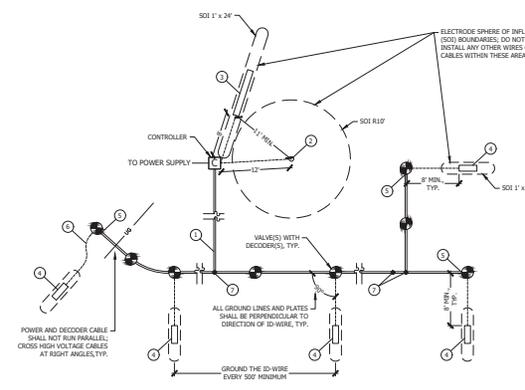
RESTRAINED PIPE 3"
NOT TO SCALE

PIPE SIZE	TEE AND PLUG	90° BEND	45° BEND
1-1/2"	0.5 SF	0.7 SF	0.4 SF
2"	0.7 SF	1.0 SF	0.6 SF
2-1/2"	1.0 SF	1.5 SF	0.8 SF



DECODER INSTALLATION DETAIL
NOT TO SCALE

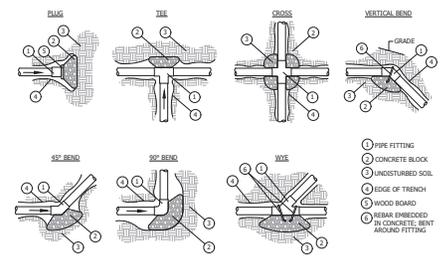
- DECODER IN VALVE BOX. DECODERS SHALL BE IN BOX WITH ITS VALVE, OR SEPARATE VALVE BOX AS CLOSE PROXIMITY TO THE VALVE.
- JACKETED DECODER COMMUNICATION ID-WIRE ROUTE WIRE FROM CONTROLLER UNDERNEATH MAINLINE TO VALVE LOCATIONS.
- WIRES TO VALVE SOLENOIDS: ADDITIONAL LENGTH AS NEEDED; WIRE TYPE AND COLOR DEPENDENT ON LENGTH; SEE NAMEPLATE SPEC.
- STATION OUTPUT
- DECODER BARE GROUND WIRE: CONNECT TO GROUND SYSTEM FOR PLANS WITH APPROPRIATELY SIZED COPPER SPLIT BOLT DEVICE; WRAP FOR FUTURE INTERVENING UNUSED WIRES.
- VALVE BOX (SEE DETAILS)
- VALVE BOX W/ SLIP & SUPPORTS, TYP. (SEE DETAILS)



DECODER, WIRING, AND GROUNDING LAYOUT
NOT TO SCALE

- 2-WIRE OUTPUT PATH WITH JACKETED, TWISTED ID WIRE. NUMBER SHOULD BE 12 AWG WITH RED AND BLUE WIRE IN BLUE JACKET; OTHER JACKET COLORS FOR DIAGNOSTICS; 15,000' MAX DISTANCE FROM CONTROLLER TO ANY RUN RIG; DO NOT LOOP PATH BACK TO CONTROLLER.
- GROUND ROD IN VALVE BOX W/ BOLT DOWN COVER. IS LISTED 5/8" COPPER CLAD 10' LENGTH; BORED VERTICALLY IN GROUND TO 12" BELOW FINISH GRADE; CABLED TO TOP OF ROD WITH BARE SOLID COPPER WIRE FROM GROUND LUG IN DECODER.
- GROUND PLATE IN ENHANCED EARTH TRENCH: 4" x 16" x 0.025" COPPER PLATE SET 3" BELOW GRADE, FULLY ENCASED WITH APPROVED GROUNDING BACKFILL (e.g. LORESCO, EROCO); CABLED TO PLATE WITH BARE SOLID COPPER WIRE FROM GROUND LUG IN DECODER; MARK PLATE LOCATION WITH ID IN VALVE BOX.
- SMALL GROUND PLATE IN ENHANCED EARTH TRENCH: 4" x 4" x 0.025" COPPER PLATE SET 3" BELOW GRADE, FULLY ENCASED WITH APPROVED GROUNDING BACKFILL (e.g. LORESCO, EROCO); PLATE SHALL BE PAUSE ELECTRIC ISOLATION WITH SOLID (SOLID) COPPER WIRE; CONNECT TO ID-WIRE VIA DECODER GROUND WIRE; MARK PLATE LOCATION WITH ID IN VALVE BOX.
- THE FINAL DECODER AT EACH END RUN SHALL BE CONNECTED TO A SMALL PLATE GROUND - SEE #4
- ALL GROUND WIRES ARE TO BE INSTALLED IN AS STRAIGHT A LINE AS POSSIBLE. NECESSARY TURNS OR BENDS SHALL BE DONE IN A SWEEPING CURVE WITH A MINIMUM INCLUDED ANGLE OF 90°, AND A MINIMUM RADIUS OF 12". USE A STANDARD 1/2" PVC SWEEP ALL AT VALVE BOXES AND ELSEWHERE AS NEEDED.
- IF GULCH, CONNECTIONS AND OTHER GULCHES INTO THE ID-WIRE (e.g. DIAGNOSTICS), SURGE SUPPRESSION DEVICES SHALL BE MADE WITH DMS7-6 WATERPROOF CONNECTORS, AND LOCATED IN A VALVE BOX W/ SLIP & SUPPORTS; PROVIDE ADEQUATE SLACK IN THE WIRE FOR ABOVE GROUND INSPECTION AND SERVICE.

NOTE: THE TWO-WIRE DECODER, WIRING, AND GROUNDING SYSTEM SHALL BE INSTALLED ACCORDING TO MANUFACTURER SPECIFICATIONS, UNLESS NOTED OTHERWISE IN THESE PLANS.



THRUST BLOCK DETAILS
NOT TO SCALE

PIPE SIZE	TEE AND PLUG	90° BEND	45° BEND
1-1/2"	0.5 SF	0.7 SF	0.4 SF
2"	0.7 SF	1.0 SF	0.6 SF
2-1/2"	1.0 SF	1.5 SF	0.8 SF

- NOTE:
- SUPPLY LINES 1 1/2" SHALL BE INSTALLED WITH CONCRETE THRUST BLOCKS.
 - THRUST BLOCKS SHALL BE SIZED AS SPECIFIED IN THE TABLE ABOVE, AND SHALL BE A MINIMUM OF 12" THICK, (12" THICK FOR 2" PIPE OR LESS), OR AS REQUIRED BY CODE.
 - ALL FITTINGS SHALL BE WRAPPED WITH POLYETHYLENE TO PREVENT CONCRETE FROM ADHERING TO PIPE, FITTINGS, OR BOLTS.
 - CONCRETE SHALL NOT ENCAPSULATE PIPE OR FITTING TO ALLOW FOR FUTURE ACCESS AND MAINTENANCE.
 - CONCRETE SHALL NOT ENCAPSULATE PIPE OR FITTING TO ALLOW FOR FUTURE ACCESS AND MAINTENANCE.
 - THRUST BLOCK BEARING AREAS SHALL BE POURED AGAINST UNDISTURBED SOIL. WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE ALL LOOSE MATERIAL AND EXTEND CONCRETE TO UNDISTURBED SOIL.
 - EXTEND THRUST BLOCK AS REQUIRED TO MEET THE FULL LENGTH OF FITTINGS.
 - AT PLUG FITTINGS, PROVIDE PRESSURE TREATED WOOD BOARD BETWEEN PLUG AND CONCRETE.
 - JOINTS AND BOLTS SHALL BE ACCESSIBLE FOR REPAIRS.
 - ALL JOINTS IN PLACE CONCRETE SHALL BE 3000 PSI.
 - SURFACE BEARING AREAS ARE HORIZONTAL, AND SHALL BE RECALCULATED FOR EXCESSIVELY SOFT, WET, OR LOOSE SOIL, OR IF WORKING LINE PRESSURE IS GREATER THAN 100 PSI.

APPROVED FOR CONSTRUCTION

William & Associates
ENGINEERING, LLC
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 16th Ave, Bldg. 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545

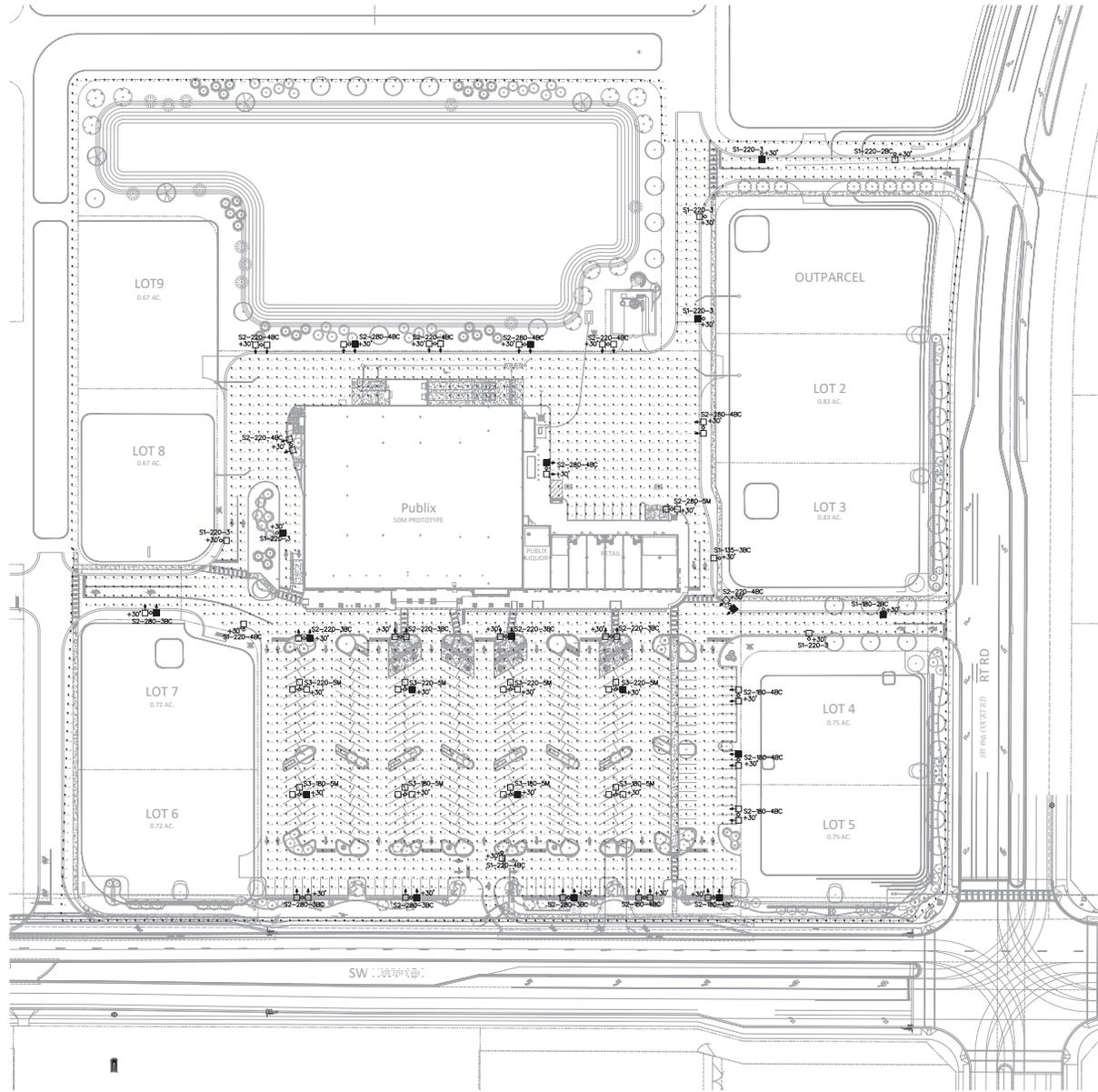
REVISIONS	DATE

MAJOR SITE PLAN
DIAMOND A SHOPPING CENTER
MARION COUNTY, FLORIDA
IRRIGATION DETAILS

DATE: 8/13/2025
DRAWN BY: JRP
JOB NO.: 24-940

LIR5.02

NOT VALID UNLESS SIGNED AND SEALED BY AUTHORIZED PROFESSIONAL



PHOTOMETRIC SITE PLAN
SCALE: 1"=40'-0"

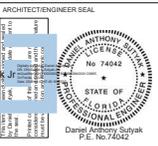
Symbol	Tag	Description	LLF
◀	S1-135-3BC	VP-L-64L-135-4K7-3-BC	0.900
◀	S1-180-2BC	VP-L-80L-180-4K7-2-BC	0.900
◀	S1-220-2BC	VP-L-96L-220-4K7-2-BC	0.900
◀	S1-220-3	VP-L-96L-220-4K7-3	0.900
◀	S1-220-4BC	VP-L-96L-220-4K7-4-BC	0.900
◀	S2-180-4BC	VP-L-80L-180-4K7-4-BC	0.900
◀	S2-220-3BC	VP-L-96L-220-4K7-3-BC	0.900
◀	S2-220-4BC	VP-L-96L-220-4K7-4-BC	0.900
◀	S2-280-3BC	VP-L-96L-280-4K7-3-BC	0.900
◀	S2-280-4BC	VP-L-96L-280-4K7-4-BC	0.900
◀	S2-280-5M	VP-L-96L-280-4K7-5QM	0.900
◀	S3-180-5M	VP-L-80L-180-4K7-5QM	0.900
◀	S3-220-5M	VP-L-96L-220-4K7-5QM	0.900

Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Drives	Fc	3.27	8.9	0.6	5.45	14.83
Property Line	Fc	0.09	1.0	0.0	N.A.	N.A.
Publix Parking Area	Fc	5.01	8.9	2.1	2.39	4.24
Security Area	Fc	4.65	8.6	2.0	2.33	4.30



2800 Mallard Center Parkway
Suite #200
Mallard, FL 32751
P (407) 861-9100
F (407) 861-9101
c-p.com
Photo Courtesy: Cushman & Wakefield

Professional Seal: DANIEL A. SUTER, P.E., No. 74582, State of Florida, Professional Engineer, License No. 74582



Consulting Engineers, Inc.
Engineering Business No. 9021

4750 East Adamo Drive
Tampa, Florida 33605
Tel: 813-241-6225
www.colwillenterprises.com
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Job Number: 51253

REVISION / ISSUE HISTORY		
REV	DATE	REVISION / ISSUE NAME
1	06/25/2024	50% Public Submittal

PROJECT NO	20240016	DRAWN BY	AS
PERMIT SUB DATE		CHECKED BY	DAS

PROJECT
Ocala - Publix Canopy
SW Hwy 484 & SW 49th CT RD
Ocala, Florida

CLIENT
Publix Super Markets, Inc.
3300 Publix Corporate Pkwy
Lakeland, FL

SHEET TITLE
PHOTOMETRIC SITE PLAN

SHEET NO
EP1.0

CMT	DESCRIPTION	BREAKER	TRIP	POLE	VOLT	AMP	LOAD	CODE	OUT	BREAKER	TRIP	POLE	VOLT	AMP	LOAD	CODE
1	SPRINKLER MONITOR PANEL (1)	30	1	100	0.7	1.7	2									
3	CONTACTORS/PC	30	1	100	0.7	7	4									
5	EXTERIOR LIGHTING	30	1	100	0.5	1	8									
7	EXTERIOR LIGHTING	30	1	100	0.5	1	8									
9	SPRINKLER REER ROOM	30	1	100	0.4	2	10									
11	SPRINKLER REER ROOM	30	1	100	0.5	7	12									
13	ISLN	30	1	100	1.2	1	14									
15	ISLN	30	1	100	1.2	1	16									
17	RECEPTACLE	30	1	100	0.2	5	18									
19	ISLN	30	1	100	1.2	1	20									
21	ISLN	30	1	100	1.2	1	22									
23	RECEPTACLE	30	1	100	0.2	5	24									
25	SPACE	30	3	208	3.5	1	32									
27	SPACE	30	3	208	3.5	1	32									
29	SPACE	30	3	208	3.5	1	32									
31	SPACE	30	3	208	3.5	1	32									
33	SPACE	30	3	208	3.5	1	32									
35	SPACE	30	3	208	3.5	1	32									
37	SPACE	30	3	208	3.5	1	32									
39	SPACE	30	3	208	3.5	1	32									
41	SPACE	30	3	208	3.5	1	32									

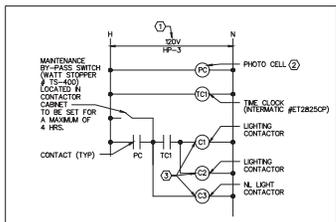
LOAD CODES	CONNECTED LOAD (KVA)	DEMAND FACTOR	DEMAND LOAD
1 LIGHTING	0	1.00	0.0
2 HEAT	0	1.00	0.0
3 AIR CONDITIONING	0	1.00	0.0
4 MOTORS	0	0.75	0.0
5 RECEPTACLES	0	0.75	0.0
6 MISC CONTINUOUS LOADS	0	1.25	0.0
7 MISC NON-CONTINUOUS LOADS	0	1.00	0.0
8 KITCHEN EQUIPMENT (IF PRECIS)	0	0.65	0.0
9 HOTEL ROOM LOADS	0	0.65	0.0

34.5
0.5 LESS SMALLEST OF HEAT
34.9 TOTAL DEMAND LOAD

PHASE 3
96 AMPS

NOTES:
1. PROVIDE LOCK ON DEVICE.
2. PROVIDE 0.5" RECEPTACLE ADJACENT TO PANEL.
3. METAL WIRE IN BULGE COVER EQUIPMENT FOR RELOCATION CONTROLLER USE.

GENERAL NOTES:
1. PROVIDE A BREAKER FOR ALL BRANCH CIRCUITS THAT ARE PART OF A MULTIRATE BRANCH CIRCUIT FEEDER.



LIGHTING CONTROL DIAGRAM
SCALE: NONE

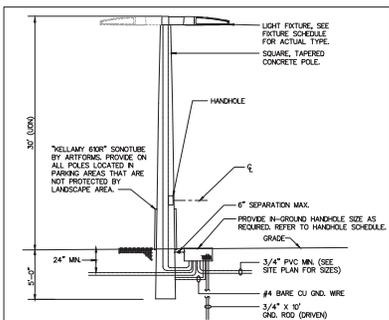
CONTACTOR SCHEDULE	CONTACTOR	DESIGNATION	# OF POLES	CIRCUITS CONTROLLED	CONTROLLED BY
	C1	Q1	12	1P-30, 31, 32, 34, 36, 37, 38, 41 1P-36, 40, 42	PC ON / TC OFF
	C2	Q2	12	1P-6, 7	PC ON / TC OFF
	C3	Q3	12	1P-20, 22, 24, 26, 28, 30	PC ON / TC OFF

GENERAL NOTE:
1. WIRING TO TERMINALS FOR UNCONTROLLED CIRCUIT REQUIREMENTS. SOME CIRCUITS MAY BE PARTIALLY CONTROLLED.

NOTES:
1. 120V TO BE DERIVED FROM LOCAL 120/208V PANEL. REFER TO CONTACTOR SCHEDULE THIS SHEET.
2. PHOTOCELL IS INTERMATIC #EK4236S. LOCATED ABOVE ROOF LINE FACING NORTH.
3. Q'S TO BE SQUARE D CLASS 8003 MULTIPOLAR, ELECTRICALLY HELD LIGHTING CONTACTORS WITH 30A CONTACTS. OPEN TYPE. REFER TO CONTACTOR SCHEDULE THIS SHEET FOR CONTACTOR DESIGNATIONS.

GENERAL NOTES:
1. LOCATE CONTACTORS AND BYPASS SWITCH IN N-1 LIGHTING CONTROL CABINET (LCC). LCC TO BE LOCKABLE WITH HINGED DOOR, MINIMUM DIMENSIONS ARE 24"X24" MIN. EG TO PROVIDE SKETCH INDICATING LAYOUT OF COMPONENTS WITH SUBMITTALS.
2. REFER TO CONTACTOR SCHEDULE THIS SHEET AND PLAN VIEWS FOR LCC LOCATIONS.

- NOTES:
- EXISTING UTILITY COMPANY PAD MOUNTED TRANSFORMER WITH 120/208 VOLT SECONDARY.
 - EXISTING SERVICE LATERAL CONSISTING OF (3) PARALLEL RUNS OF 4" C WITH 4 #400 KCMIL COPPER EACH.
 - EXISTING 1200 AMP HEAVY-DUTY, 3 POLE, NEMA 3R, 250 VOLT, SERVICE ENTRANCE RATED, DISCONNECT WITH SOLID NEUTRAL, FUSED AT 1000 AMPS WITH CLASS L CURRENT LIMITING FUSES.
 - EXISTING 1200 AMP HEAVY-DUTY, 3 POLE, NEMA 3R, 250 VOLT, SERVICE ENTRANCE RATED, DISCONNECT WITH SOLID NEUTRAL, FUSED AT 1000 AMPS WITH CLASS L CURRENT LIMITING FUSES.
 - EXISTING GROUNDING ELECTRODE CONDUCTOR TO CONSIST OF #3/0 FROM N-G BOND IN MAIN.
 - EXISTING #6 COPPER CONDUCTOR TO TELEPHONE BOARD AND PROVIDE 6' OF BLACK CONDUCTOR IN TELEPHONE CABINET.
 - EXISTING 3 PARALLEL 4" C WITH 4 #400 KCMIL, 1 #2/0 EG EACH.
 - EXISTING 16"x16" 912" NEMA 3R WIREWAY WITH LOCKABLE COVER. BOND WIREWAY TO EG.
 - EXISTING 200AMP SELF-CONTAINED METER SOCKET.
 - EXISTING 200 AMP HEAVY-DUTY, NEMA 3R, 3 POLE, 250 VOLT, DISCONNECT, FUSED AT 200 AMPS WITH CLASS RK1 CURRENT LIMITING FUSES.
 - EXISTING (1) 2-1/2" EMPTY CONDUIT FROM DISCONNECT TO PUBLIC ELECTRICAL ROOM.
 - EXISTING 24"x24"x6" DEEP, NEMA 3R, HINGED COVER BOX WITH CONTACTORS IN ACCORDANCE WITH SCHEDULED AND 24-HR, 7-DAY, TIME CLOCK.
 - EXISTING 120 VOLT PHOTO CELL MOUNTED ON WEATHERPROOF BOX ON ROOF FACING NORTH.
 - EXISTING TYPE 1 SURGE PROTECTIVE DEVICE (SPD).
 - EXISTING (1) 4" C WITH 4 #3/0, 1 #6 EG.
 - EXISTING (1) 4" C CONDUIT TO TENANT SPACE FOR SERVICE.
 - EXISTING 2" C WITH 4 #3/0, 1 #2/0 EG.
 - EXISTING 4" C WITH 4 #3/0, 1 #6 EG, EXTENDED TO DISCONNECT.
 - EXISTING 1" EMPTY CONDUIT WITH PULL-STRING TO BELOW EMS BOARD IN PUBLIC ELECTRICAL ROOM.
 - EXISTING 200/5/AF/NEMA 3R DOUBLE THROW DISCONNECT.
 - EXISTING 16"x16" 912" NEMA 3R WIREWAY WITH LOCKABLE COVER. BOND WIREWAY TO EG.
 - EXISTING 1-1/2" C WITH 4 #1, 1 #1 EG.
 - EXISTING 100AMP SELF-CONTAINED METER SOCKET.

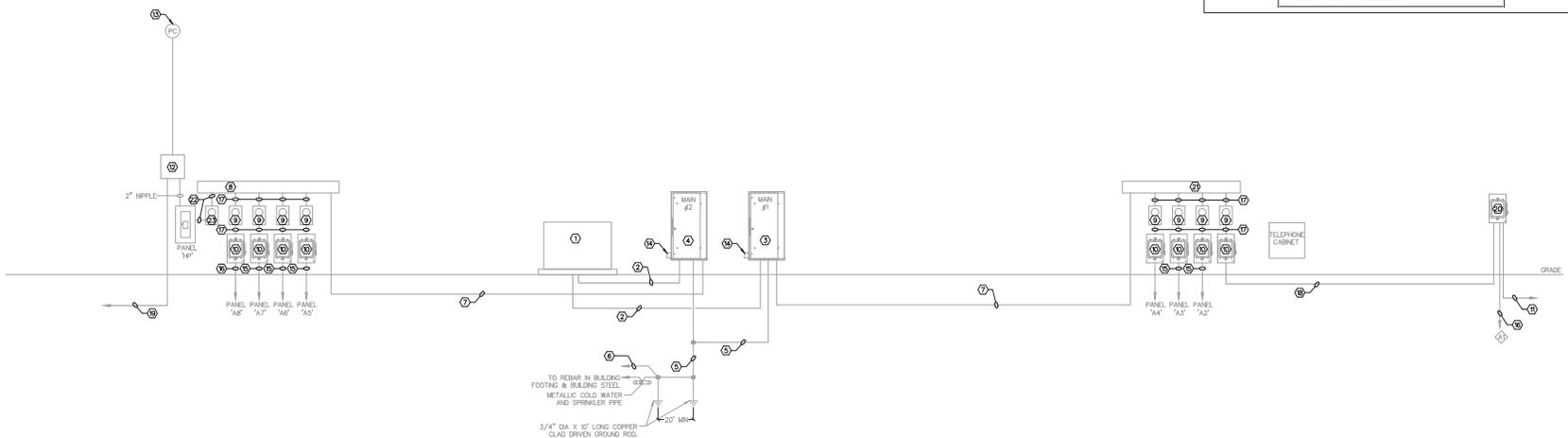


PARKING LOT CONCRETE POLE DETAIL
SCALE: NONE

- GENERAL NOTES:
- AT EACH POLE LOCATION, THE CONTRACTOR SHALL PROVIDE A 3/4"x10" COPPER CLAD GROUND ROD CONNECTED TO A #6 BARE COPPER CONDUCTOR, EXTENDED TO TENON SLIP FITTER. EQUIPMENT GROUNDING CONDUCTORS SHALL ALSO BE BONDED TO THE GROUND ROD. ALL CONNECTIONS TO THE GROUND ROD SHALL BE BY EXOTHERMIC WELD CONNECTION.
 - ALL POLES ARE TO BE PROVIDED WITH HAND HOLES (MINIMUM 3"x5").
 - PROVIDE ALL HARDWARE NECESSARY TO COMPLETE THE INTENDED INSTALLATION.
 - CONTRACTOR SHALL BE REQUIRED TO SUBMIT CALCULATIONS FROM THE POLE MANUFACTURER, SEALED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF FLORIDA, TO CERTIFY COMPLIANCE OF EACH ENTIRE POLE AND FIXTURE ASSEMBLY TO THE FOLLOWING STANDARDS:
 - 90 MPH IN ACCORDANCE WITH AASHTO SPECIFICATIONS.
 - 150 MPH IN ACCORDANCE WITH CALCULATIONS DICTATED IN THE FLORIDA BUILDING CODE.
 - CONTRACTOR IS TO FURNISH AND INSTALL IN-LINE RALLAST FUSES IN BUSBARS FROM WEATHERPROOF FUSE HOLDERS #HEB-SERIES WITH KIT FUSES (SIZE AS REQUIRED). FUSE EACH LUMINAIRE SEPARATELY. LOCATE FUSES IN HANDHOLE OF POLE.
 - AN IN-GROUND HANDHOLE SHALL BE INSTALLED AT EVERY POLE LOCATION WHETHER OR NOT INDICATED ON THE DRAWINGS. THE HANDHOLE SHALL BE SIZED TO CONTAIN ALL CONNECTOR KITS, AND GROUND RODS. ALL CONNECTIONS IN HANDHOLE SHALL BE MADE WITH WATERPROOF, NCI POLYMER BULGE COVER (SUBMERSIBLE) OR EQUIVALENT AND KING "DRY-CON" WIRE NUTS FOR FUSE TO FIXTURE CONNECTION.

IN-GROUND HANDHOLE SCHEDULE	DESCRIPTION
SMALL	POLYMER CONCRETE, UL LISTED, HANDHOLE WITH BELLY BOWL COVER AND OPEN BOTTOM. COVER TO BE LIFT OFF, LOCKING TIRE WITH (2) #6 REBAR BOLTS. COVER TO WEATHER, TELESCOPIC. MINIMUM BOX SIZE 17" X 17" X 24" QUALITY POLYMER/ASBESTOS-FREE, UNCOATED AREAS - UL TIER 15 QUALITY POLYMER/ASBESTOS-FREE, UNCOATED AREAS - UL TIER 15
MEDIUM	POLYMER CONCRETE, UL LISTED, HANDHOLE WITH BELLY BOWL COVER AND OPEN BOTTOM. COVER TO BE LIFT OFF, LOCKING TIRE WITH (2) #6 REBAR BOLTS. COVER TO WEATHER, TELESCOPIC. MINIMUM BOX SIZE 17" X 17" X 24" QUALITY POLYMER/ASBESTOS-FREE, UNCOATED AREAS - UL TIER 15 QUALITY POLYMER/ASBESTOS-FREE, UNCOATED AREAS - UL TIER 15
LARGE	POLYMER CONCRETE, UL LISTED, HANDHOLE WITH BELLY BOWL COVER AND OPEN BOTTOM. COVER TO BE LIFT OFF, LOCKING TIRE WITH (2) #6 REBAR BOLTS. COVER TO WEATHER, TELESCOPIC. MINIMUM BOX SIZE 17" X 17" X 24" QUALITY POLYMER/ASBESTOS-FREE, UNCOATED AREAS - UL TIER 15 QUALITY POLYMER/ASBESTOS-FREE, UNCOATED AREAS - UL TIER 15

NOTES:
1. CONCRETS TO BE STRENGTH A MINIMUM OF 4" ABOVE GROUND.
2. FURNISH AND INSTALL GRATE, IN BOTTOM OF HANDHOLE FOR DRAINAGE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
3. ALL CONNECTIONS IN HANDHOLE SHALL BE MADE WITH WATERPROOF, NCI POLYMER BULGE COVER (SUBMERSIBLE) OR EQUIVALENT AND KING "DRY-CON" WIRE NUTS FOR FUSE TO FIXTURE CONNECTION.



EXISTING POWER RISER DIAGRAM
SCALE: NONE



2600 Mallard Center Parkway
Suite #200
Maitland, FL 32751
P (407) 861-9100
F (407) 861-9101
c-p.com
Florida Certified Professional Engineer

ARCHITECT/ENGINEER SEAL

COLWILL ENTERPRISES
A NIKEL COMPANY
Consulting Engineers, Inc.
Engineering Business No. 9021

4750 East Adamo Drive
Tampa, Florida 33605
Tel: 813-241-2525
www.colwillengineering.com
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Job Number: 51253

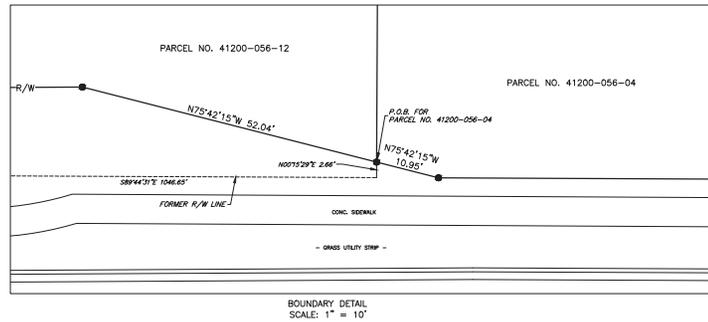
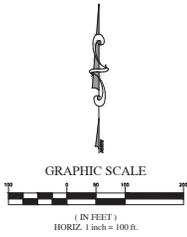
REVISION / ISSUE HISTORY		
REV	DATE	REVISION / ISSUE NAME
1	06/23/2024	50% Public Submittal

PROJECT NO
20240016
DRAWN BY
AS
PERMIT SUB DATE
CHECKED BY
DAS
PROJECT
Ocala - Publix Canopy
5W Hwy 48 & 5W 46th CT Rd
Ocala, Florida

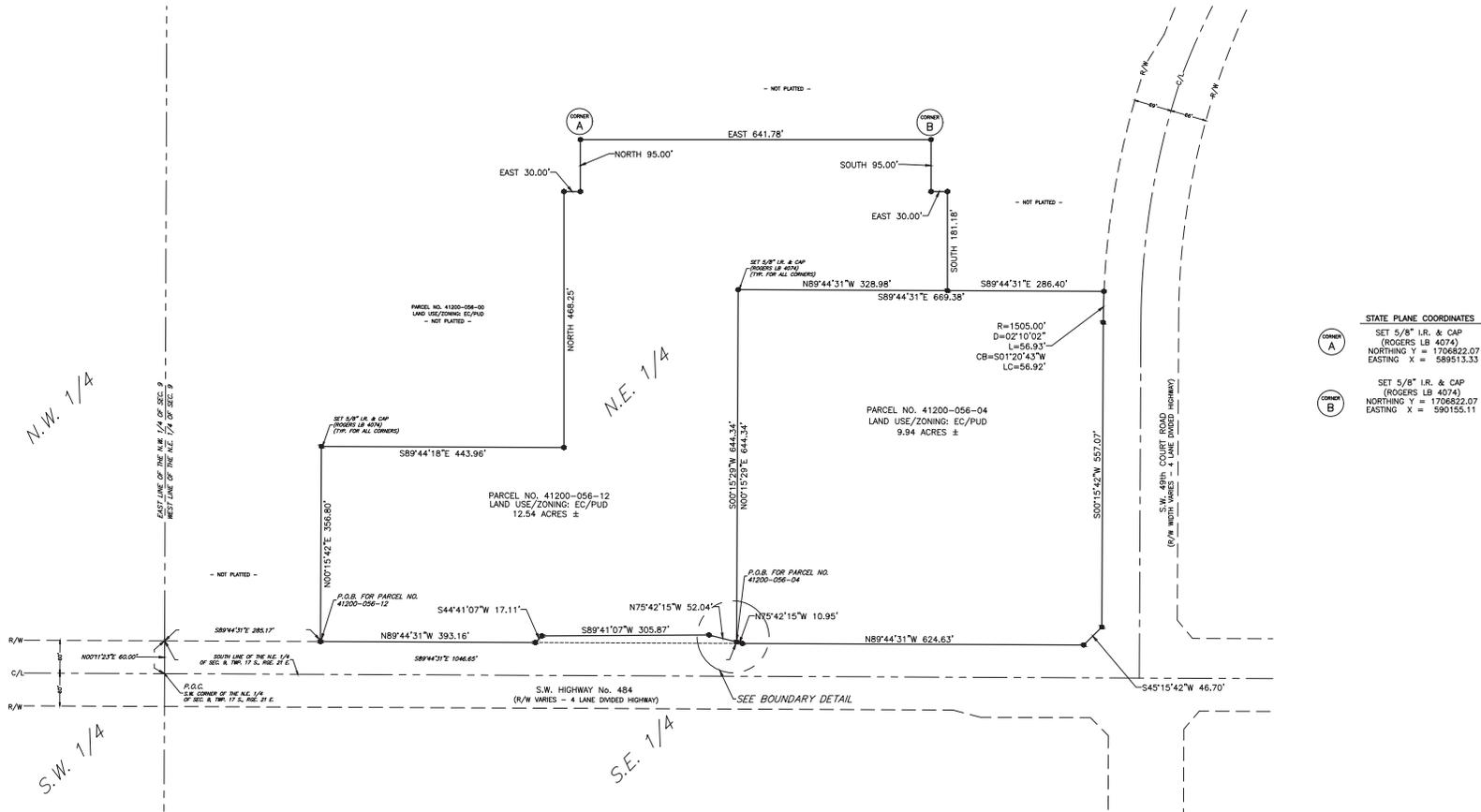
CLIENT
Publix Super Markets, Inc
3300 Publix Corporate Pkwy
Lakeland, FL

SHEET TITLE
ELECTRICAL SITE DETAILS

SHEET NO
EP2.0



BOUNDARY DETAIL
SCALE: 1" = 10'



STATE PLANE COORDINATES
 SET 5/8" I.R. & CAP
 (ROGERS LB 4074)
 NORTHING Y = 1706822.07
 EASTING X = 589513.33
 CORNER A
 SET 5/8" I.R. & CAP
 (ROGERS LB 4074)
 NORTHING Y = 1706822.07
 EASTING X = 590152.11
 CORNER B

DATE	REVISION

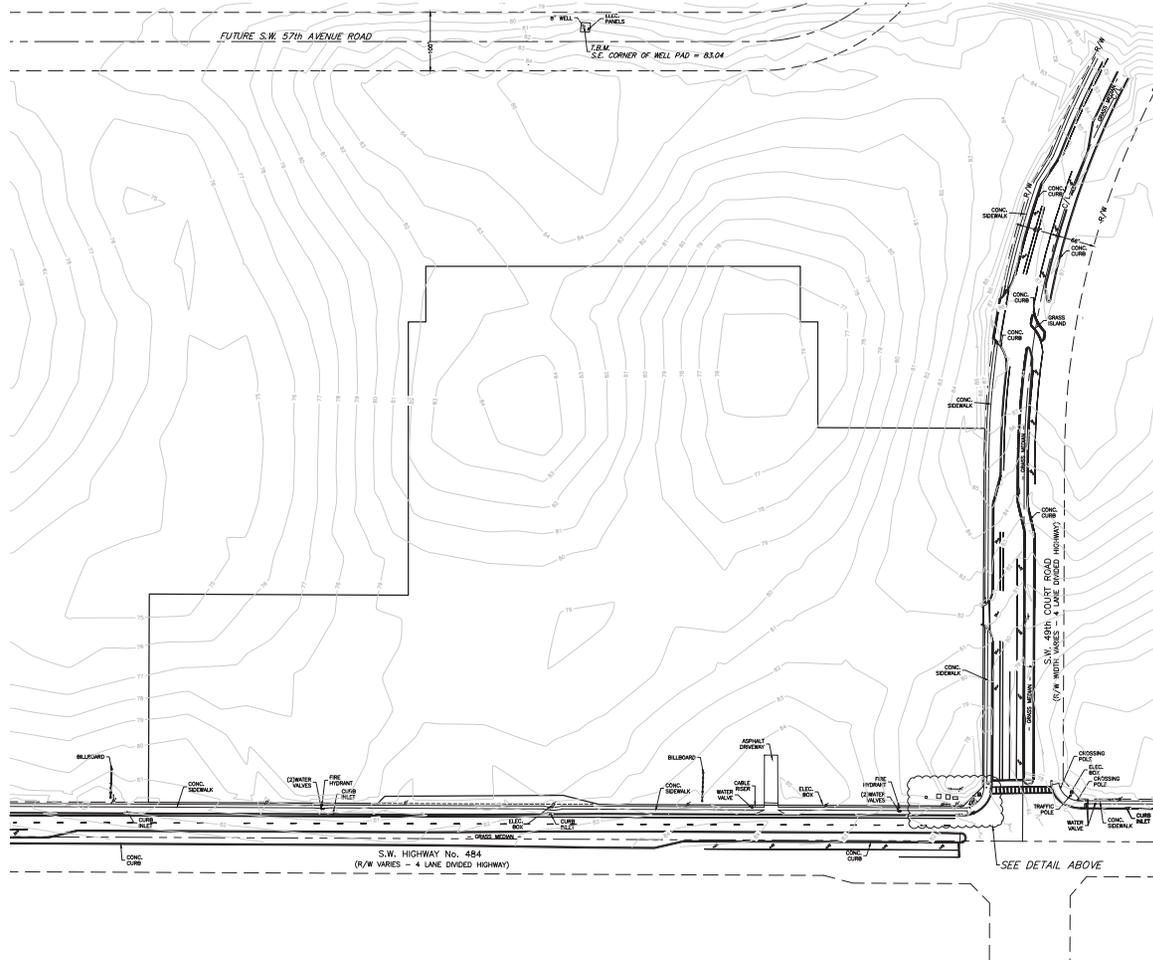
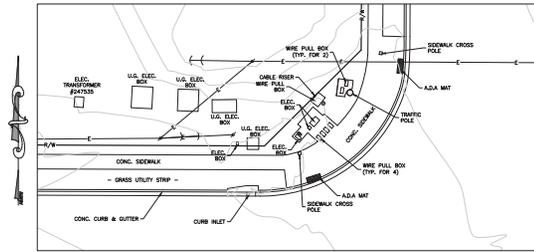
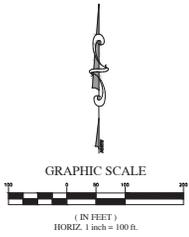
RODNEY K. ROGERS, P.E.
 REGISTERED PROFESSIONAL SURVEYOR
 REGISTRATION NO. 5274
 STATE OF FLORIDA
 1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

ROGERS ENGINEERING, LLC
 Civil Engineering & Land Surveying
 1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

A BOUNDARY & TOPOGRAPHIC SURVEY
 FOR
 JOHN ALVAREZ INVESTMENT GROUP, LLC.

JOB No. 24-41200-056-04	DATE 3-19-2024
PROFESSIONAL SURVEYOR & MAPPER REGISTRATION NO. 5274	SCALE 1" = 100'
STATE OF FLORIDA	SHEET 2 OF 3

RODNEY K. ROGERS DATE
 PROFESSIONAL SURVEYOR & MAPPER
 REGISTRATION NO. 5274
 STATE OF FLORIDA



REVISION	DATE

RODNEY K. ROGERS, P.E.
REG. NO. 60227
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 5274
STATE OF FLORIDA
RODNEY K. ROGERS, P.E.
REG. NO. 60227
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 5274
STATE OF FLORIDA

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

A BOUNDARY & TOPOGRAPHIC SURVEY
FOR
JOHN ALVAREZ INVESTMENT GROUP, LLC.

JOB No. 24-41200-255-04	DATE 3-19-2024
SCALE 1" = 100'	SHEET 3 OF 3

RODNEY K. ROGERS DATE
PROFESSIONAL SURVEYOR & MAPPER
REGISTRATION NO. 5274
STATE OF FLORIDA