

June 2, 2023

PROJECT NAME: FAIRFIELD VILLAGE EXPANSION REVISION TO FAIRFIELD VILLAGE PHASE 1
PROJECT #2022110043

APPLICATION: MAJOR SITE PLAN #29394

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: 1/27/2023: Please provide copy of NPDES Permit or NOI before construction.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: 1/27/2023: Please provide copy of District Permit before construction.
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: INFO
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695.
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 12/13/22 - add waivers if requested in the future
- 5 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 6.2.1.F - North arrow and graphic drawing and written scale
STATUS OF REVIEW: INFO
REMARKS:
- 6 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW PLAN APPLICATION

Date: 10-21-2022

A. PROJECT INFORMATION:

Project Name: Fairfield Village Expansion
Parcel Number(s): 35369-027-03
Section 4 Township 16S Range 21E Land Use HR Zoning Classification P-MH
Commercial Residential Industrial Institutional Mixed Use Other _____
Type of Plan: _____
Property Acreage 58.03 (1.77 for Modification area) Number of Lots 293 existing, 10 proposed, 303 total Miles of Roads n/a
Location of Property with Crossroads Address: 5866 SW 58th Place, Ocala, FL
Additional information regarding this submittal: This is for an additional 10 MH sites, to be located in the decommissioned WWTP area.

B. CONTACT INFORMATION *(Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.)*

Engineer:
Firm Name: Atwell, LLC Contact Name: Dan Gibbs, P.E.
Mailing Address: 1800 Parkway Place, Suite 700 City: Marietta State: GA Zip Code: 30067
Phone # 770-423-0807 x1805 Alternate Phone # 404-895-9446
Email(s) for contact via ePlans: dgibbs@atwell-group.com

Surveyor:
Firm Name: Atwell, LLC Contact Name: Clyde Eldredge, PLS, PSM
Mailing Address: 1800 Parkway Place, Suite 700 City: Marietta State: GA Zip Code: 30067
Phone # 770-423-0807 x1825 Alternate Phone # 678-274-8043
Email(s) for contact via ePlans: celdredge@atwell-group.com

Property Owner:
Owner: GCP Fairfield Village, LLC Contact Name: John McLaren
Mailing Address: 27777 Franklin Road, Suite 200 City: Southfield State: MI Zip Code: 48034
Phone # 248-208-2595 Alternate Phone # _____
Email address: cthomas@suncommunities.com

Developer:
Developer: GCP Fairfield Village, LLC Contact Name: John McLaren
Mailing Address: 27777 Franklin Road, Suite 200 City: Southfield State: MI Zip Code: 48034
Phone # 248-208-2595 Alternate Phone # _____
Email address: cthomas@suncommunities.com

Revised 6/2021

MAJOR SITE PLAN - CONSTRUCTION PLANS FOR FAIRFIELD VILLAGE EXPANSION

MAJOR SITE PLAN

5866 SW 58TH PLACE
OCALA, MARION COUNTY, FLORIDA
TAX PARCELS: 35369-027-03



VICINITY MAP
N.T.S.



FEMA MAP
N.T.S.



AERIAL MAP
N.T.S.

NOTE BASED ON GRAPHIC DETERMINATION, THIS PROPERTY DOES NOT
LIE IN A FEMA FLOOD HAZARD AREA PER COMMUNITY
PANEL NO. 120830054E DATED 4/19/2017.

FAIRFIELD VILLAGE EXPANSION

TOTAL SITE AREA: 58.03 AC.
EXPANSION AREA: 1.77 AC.
ZONING: P-MH

DEVELOPMENT TEAM

OWNER GCP FAIRFIELD VILLAGE, LLC 27777 FRANKLIN RD, STE. 200 SOUTHFIELD, MI 48034 PHONE: (352) 873-0394 CONTACT: FRANK MAXWELL	CIVIL ENGINEER ATWELL, LLC 1800 PARKWAY PLACE, SUITE 700 MARIETTA, GA 30067 PHONE: (770) 423-0807 X1805 FAX: (770) 423-1262 CONTACT: DAN GIBBS, P.E.	SURVEYOR ATWELL, LLC 1800 PARKWAY PLACE, SUITE 700 MARIETTA, GA 30067 PHONE: (770) 423-0807 X1825 FAX: (770) 423-1262 CONTACT: CLYDE ELDRIDGE, PLS, PSM
------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

GOVERNING AGENCIES AND UTILITY CONTACTS

MARION COUNTY PLANNING & ZONING 2710 E. SILVER SPRINGS BLVD. OCALA, FL 34470 PHONE: (352) 438-2600 CONTACT: EARL HAHN	OCALA WATER RESOURCES 1805 NE 30TH AVE., BLDG 600 OCALA, FL 34470 PHONE: (352) 351-6772	SUMTER ELECTRIC COOPERATIVE (SECO) 4872 SOUTHWEST 60th AVENUE OCALA, FL 34474 PHONE: (352) 793-3801
SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT (SWFWMD) 2379 BROAD STREET BROOKSVILLE, FL 34804 PHONE: (352) 796-7211 CONTACT: MONTE RITTER, P.E.		

SUBMITTAL DATE

SUBMITTAL - 11-9-2022
RESUBMITTAL - 2-27-2023
RESUBMITTAL - 4-18-2023

PROJECT NARRATIVE

THE EXISTING FAIRFIELD VILLAGE MH COMMUNITY IS COMPRISED OF 293 LOTS. THIS PROPOSED EXPANSION WOULD ADD 10 LOTS FOR A TOTAL OF 303 LOTS. THE PROPOSED EXPANSION AREA IS A DECOMMISSIONED WASTE WATER TREATMENT PLANT. THE PROPOSED CONSTRUCTION INCLUDES BRINGING IN FILL, GRADING, STORMWATER INFRASTRUCTURE AND UTILITIES TO SERVICE THE PROPOSED 10 LOTS.

MARION COUNTY NOTES

- NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
- THIS PROPOSED PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, PRELIMINARY PLAN, IMPROVEMENT PLAN, FINAL PLAN, SITE PLAN, OR BUILDING PERMIT REVIEW.

Sheet List Table

Sheet Number	Sheet Title
C000	COVER
C001	SURVEY
C100	DEMOLITION PLAN
C200	SITE PLAN
C300	GRADING PLAN
C310	SITE SECTION
C320	SWPPP
C400	UTILITY PLAN
C700	CONSTRUCTION DETAILS
C701	CONSTRUCTION DETAILS
C702	CONSTRUCTION DETAILS
C703	CONSTRUCTION DETAILS
C800	EROSION DETAILS
L100	LANDSCAPE PLAN

OWNER'S CERTIFICATIONS:

- SUN COMMUNITIES IS THE PARENT COMPANY OF GCP FAIRFIELD VILLAGE, LLC AND IS THE OWNER AND OPERATOR OF FAIRFIELD VILLAGE.
- THE PRIVATE ROADS, PARKING AREAS, DETENTION AREAS, COMMON AREAS, ETC WILL BE DESIGNED AND CONSTRUCTED TO COUNTY STANDARDS TO THE EXTENT POSSIBLE.
- SUN COMMUNITIES WILL OWN AND MAINTAIN THE PROPERTY IN PERPETUITY.
- I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED.

Daniel R. Gibbs
DANIEL R. GIBBS, PE No. 60088

Know what's below.
Call before you dig.
811

ATWELL
1800 PARKWAY PLACE
MARIETTA, GA 30067
COUNTY PERMITTING

SECT. 4, T. 16S, R. 21E	5866 SW 58TH PLACE	MARION COUNTY, FLORIDA
FAIRFIELD VILLAGE EXPANSION	GCP FAIRFIELD VILLAGE, LLC	COVER
MAJOR SITE PLAN - CONSTRUCTION PLANS		
DATE	11-9-2022	
18-27-23 - COUNTY ENGINEER COMMENTS		
18-18-23 - COUNTY COMMENTS		
REVISIONS		
DESIGNED BY: JAC	CHECKED BY: MT	
PROJECT MANAGER: DGD		
JOB #: 20064242		
FILE CODE: C0P		
SHEET NO.	C000	



Know what's below.
Call before you dig.
811 is the national number for the coordinated effort to locate underground utilities before you dig. Call 811 at least 48 hours before you dig. For more information, visit www.811.com.

CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL UTILITIES.

24 HOUR EMERGENCY CONTACT
352-765-1913



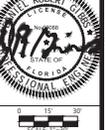
SECT. A, 1165, R 21E
585 SW 5TH PLACE
OCALA
MARION COUNTY, FLORIDA

FAIRFIELD VILLAGE EXPANSION
GCP FAIRFIELD VILLAGE
MAJOR SITE PLAN - CONSTRUCTION PLANS
DEMOLITION PLAN

DATE: 11-9-2022

18-27-23 - COUNTY BOARD COMMENTS
18-19-23 - COUNTY COMMENTS

REVISIONS



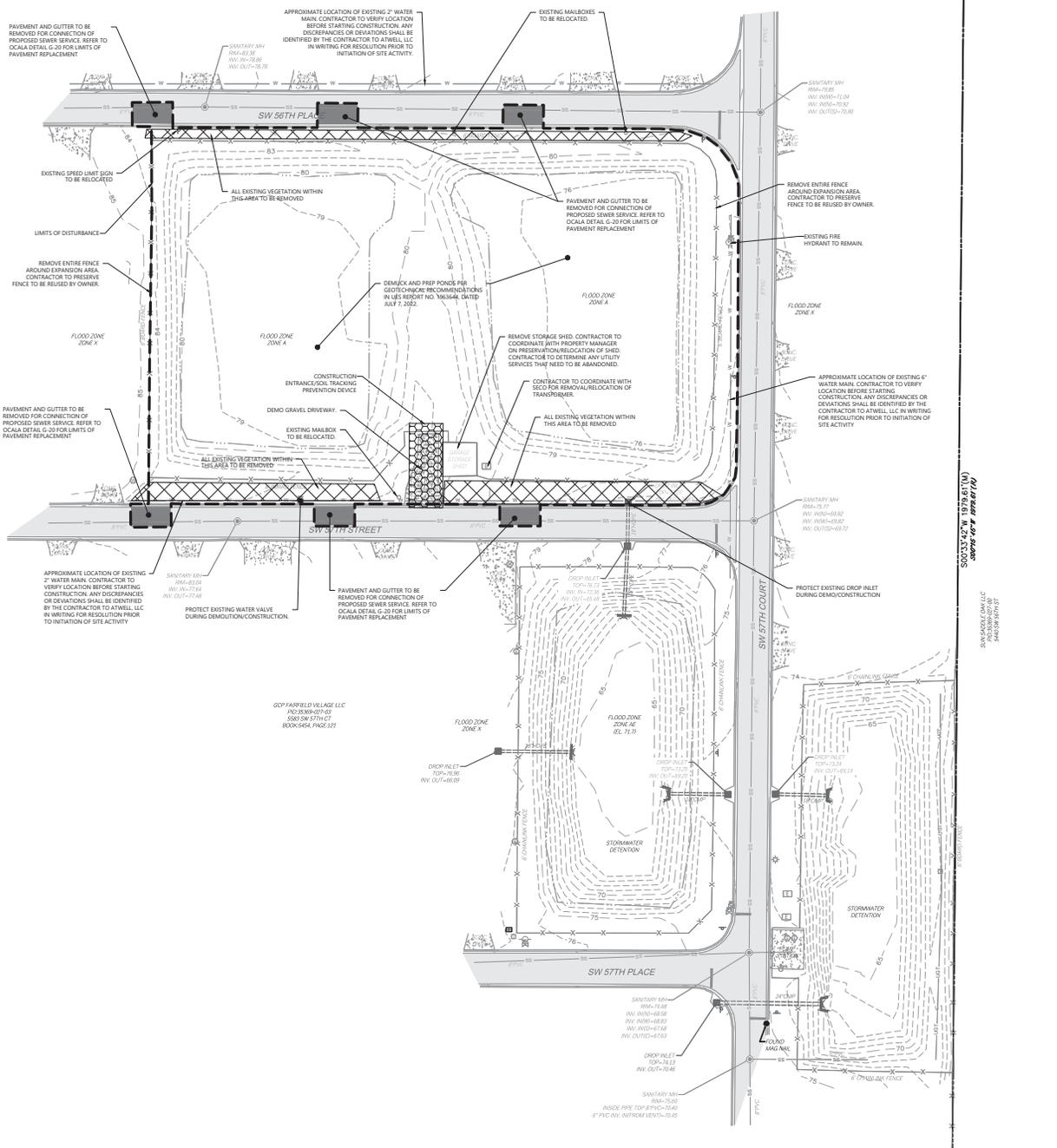
SHAWN BY AC
CHECKED BY MT
PROJECT MANAGER: DG
JOB #: 20062452
FILE CODE: C5P
SHEET NO. C100



DEMOLITION LEGEND	
SOIL TRACKING PREVENTION DEVICE	[Pattern]
LIMITS OF DISTURBANCE	[Pattern]
TYPE III SILT FENCE	[Pattern]
100 YEAR FLOOD PLAN	[Pattern]
REMOVE VEGETATION	[Pattern]

DEMOLITION NOTES

- ATWELL LLC IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- ALL CONTIGUES AND SPOT ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 NAVD83.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE, AND LOCAL REGULATIONS. ANY DISCREPANCIES OR OMISSIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO ATWELL LLC IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING LOCATIONS OF ALL UTILITIES AND PIPING WHICH MIGHT INTERFERE WITH DEMOLITION. ANY DAMAGES TO UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL UTILITIES BEFORE STRUCTURE AND VERIFYING LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND COST OF THE RELOCATION OF ALL UTILITIES ALONG THE RIGHT OF WAY AND ON THE SITE ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT, SUCH AS, BUT NOT LIMITED TO SIGNAL POLES, SIGNAL CONTROLS, DRAINAGE STRUCTURES, TRAFFIC SIGNALS, UTILITY POLES, SIGN MASTS, ETC.
- ALL EXISTING UTILITIES BEING REMOVED SHALL BE DONE SO BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR:
 - REMOVAL OF ALL DEBRIS NOT ACCEPTABLE TO THE OWNER AND ENGINEER.
 - ENSURING THAT COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
 - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE. REFER TO SHEETS C500 & C500 FOR DETAILS.
 - LOCATING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC, CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE.
- PROTECTING AND MAINTAINING IN OPERATION ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ANY ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A LICENSED ENVIRONMENTAL CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS THE SOLE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF EXISTING STRUCTURES AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE REMAINING AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
- IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
- THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL, AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS-OF-WAY. THE CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, HIGHWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE OBTAINED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY. CONTRACTOR SHALL KEEP A MINIMUM OF ONE LANE OPEN ON SW 5TH ST, SW 5TH CT & SW 5TH BL.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE UNLESS WITH WRITTEN PERMISSION OF THE OWNER AND/OR APPROPRIATE GOVERNMENT AGENCY.
- USE DUST CONTROL MEASURES TO LIMIT AMBIENT DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- THE CONTRACTOR IS RESPONSIBLE TO SAFEGUARD THE SITE AS NECESSARY AND REFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING IMPROVEMENTS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY REGULATIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- PRIOR TO THE REMOVAL OF ANY MATERIALS THE AREA MUST BE SAW CUT TO PREVENT ANY DAMAGE OF THE ROADWAY.
- ALL NEW PIER ELEVATIONS SHALL MATCH EXISTING ADJACENT CONCRETE AND ASPHALT ELEVATIONS.
- TREES TO BE DEMOLISHED SHALL BE CLEARED AND GRUBBED. NO BURNING SHALL BE ALLOWED ON OWNER'S PROPERTY.
- AT THE OWNER'S DIRECTION THE CONTRACTOR SHALL ERECT A CONSTRUCTION FENCE AROUND THE CONSTRUCTION AREA. ALL WORK, INCLUDING MATERIAL STORAGE, SHALL BE KEPT WITHIN THIS AREA. CONTRACTOR SHALL RESTORE THE CONSTRUCTION AREA TO A CONDITION ACCEPTABLE TO OWNER.



58033422 W 1978 R 21 E
GCP FAIRFIELD VILLAGE
MAJOR SITE PLAN - CONSTRUCTION PLANS
DEMOLITION PLAN

SW 5TH PLACE
SW 5TH STREET
SW 5TH COURT

THE DATA REPRESENTED HEREON WAS OBTAINED FROM THE FOLLOWING SOURCES: 1. PUBLIC RECORDS; 2. FIELD SURVEY; 3. AERIAL PHOTOGRAPHS; 4. GROUND PENETRATING RADAR; 5. UTILITY RECORDS; 6. OWNER PROVIDED INFORMATION; 7. OTHER SOURCES AS NOTED ON SHEET. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL UTILITIES.



Know what's below.
Call before you dig.
811 is the national "call before you dig" number. It is a free service that connects you to the utility companies that serve your area. They will locate and mark underground utilities before you dig. This helps prevent accidents, injuries, and property damage. Call 811 at least 24 hours before you dig. For more information, visit www.811.com.

24 HOUR EMERGENCY CONTACT
811
352-774-1181



SECT. A, T165, R 21E
S8B SW 9TH PLACE
OCALA
MARION COUNTY, FLORIDA

FAIRFIELD VILLAGE EXPANSION
GCP FAIRFIELD VILLAGE, LLC
MAJOR SITE PLAN - CONSTRUCTION PLANS
GRADING PLAN

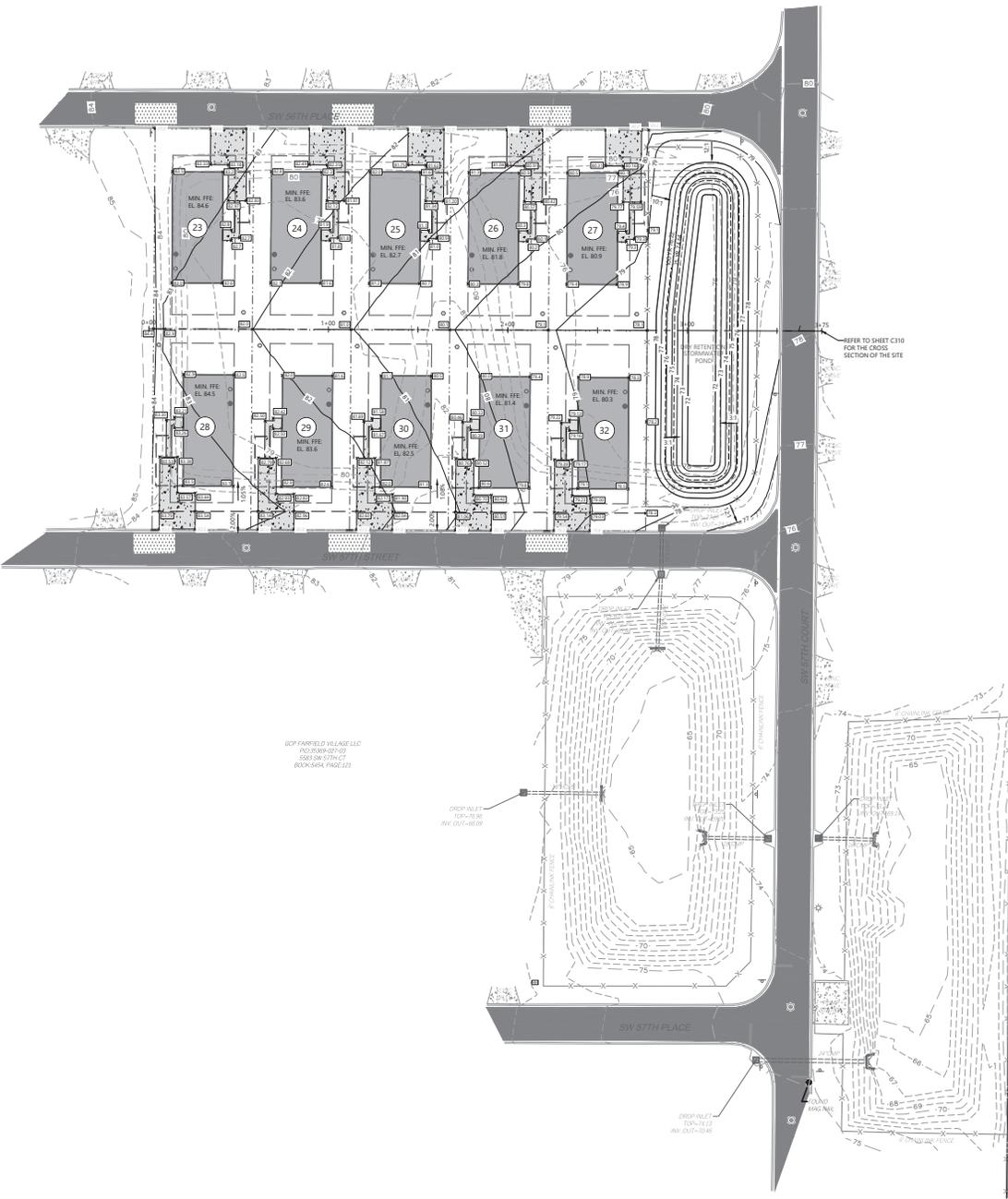
DATE: 11-9-2022

88-27-23 - COUNTY BOUNDARY COMMENTS
88-18-23 - COUNTY COMMENTS

REVISIONS



DESIGNED BY: AC
CHECKED BY: MT
PROJECT MANAGER: DG
JOB #: 20052452
FILE CODE: CSP
SHEET NO.: C300



GCP FAIRFIELD VILLAGE, LLC
P.O. BOX 809-0217-01
500 SW 57TH AVENUE
BOOK 5454, PAGE 123

DROP INLET
100% TO 100%
INV. OUT-10.09

DROP INLET
100% TO 100%
INV. OUT-10.46

S8023342' W 1079.61' (N)
SOURCE: GCP 5454, PAGE 123

88-18-23 - COUNTY COMMENTS
88-27-23 - COUNTY BOUNDARY COMMENTS



GRADING LEGEND

- EXISTING PROPERTY LINE
- EXISTING SETBACK LINE
- PROPOSED LOT LINE
- PROPOSED SETBACK LINE
- 100 YEAR FLOOD PLAIN
- 123 --- EXISTING MINOR CONTOURS
- 123 --- EXISTING MAJOR CONTOURS
- 123 --- PROPOSED MINOR CONTOUR
- 123 --- PROPOSED MAJOR CONTOUR
- PROPOSED BREAK LINE
- EXISTING STORM LINE
- PROPOSED STORM LINE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- ▲ SLOPE ARROW
- ⊕ GRATE INLET
- ⊙ STORM MANHOLE
- ⊙ AREA INLET
- ⊙ OUTLET CONTROL STRUCTURE
- ⊙ HEADWALL
- ⊙ SANITARY SEWER MANHOLE

GRADING NOTES

1. INFORMATION CONCERNING SITE SOIL CONDITIONS IS PROVIDED IN UNIVERSAL ENGINEERING SCIENCES (UES) GEOTECHNICAL REPORT NO. 196344, DATED MAY 7, 2022.
2. ALL CONTOURS AND SPOT ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS NOT ACCEPTABLE TO THE OWNER AND ENGINEER.
4. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLAN, WITHOUT EXCEPTION, THE CONTRACTOR SHALL MAKE A TOPOGRAPHIC SURVEY AT THEIR OWN EXPENSE AND SUBMIT IT TO THE OWNER & ATWELL, LLC FOR REVIEW.
5. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES BEFORE CONSTRUCTION AND VERIFYING LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN.
6. THE CONTRACTOR SHALL PROVIDE DRAINAGE AWAY FROM THE BUILDINGS.
7. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STREETS, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
8. ALL SLOPES AND DISTURBED AREAS NOT COVERED BY BUILDING OR PAVEMENT SHALL BE GRADED SMOOTH AND RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR TO PROVIDE TOPSOIL IF NOT AVAILABLE ON SITE. THE AREAS SHALL BE SEED, MULCH, FERTILIZED AND WATERED TO PROVIDE A HEAVY MOVABLE STAND OF GRASS. SMALL ROCKS MUST BE REMOVED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
9. EARTHWORK SHALL BE ON AN UNCLASSIFIED BASIS.
10. ANY FILL USED TO INCREASE THE ELEVATION OF THE FLOOR SLAB OR ANY FILL TO BE USED AS BACKFILL, SHALL BE CLEAN, GRANULAR MATERIAL. PRIOR TO THE USE OF ANY GRANULAR FILL, GRADATION ANALYSIS SHALL BE PERFORMED ON REPRESENTATIVE SAMPLES OF THE FILL MATERIAL TO DETERMINE WHETHER THE MATERIAL IS SUITABLE AS FILL. COMPACTED FILL SHALL BE PLACED IN LAYERS OF NOT MORE THAN EIGHT INCHES IN THICKNESS, AT MOISTURE CONTENTS WITHIN THREE PERCENT OPTIMUM, AND COMPACTED TO MINIMUM DENSITY OF 98 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD, ASTM D-155.
11. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT OR FINISHED GROUND UNLESS OTHERWISE NOTED.
12. ALL GRADES SHOWN REFERENCE PROPOSED ELEVATIONS AT FACE OF CURB, UNLESS OTHERWISE NOTED.
13. TC - TOP OF CURB ELEVATION
MATCH-PROPOSED GRADE TO MATCH EXISTING GRADE
TW - TOP OF RETAINING WALL ELEVATION
BW - BOTTOM OF RETAINING WALL ELEVATION
14. ALL SYSTEM MANHOLES AND PIPES TO BE FLESHED CLEAN PRIOR TO TURNING OVER TO THE OWNER.
15. ALL PIPE LENGTHS LISTED ARE BASED ON THE HORIZONTAL DISTANCE FROM CENTER OF STRUCTURE AND USED FOR DESIGN.
16. THE CONTRACTOR IS RESPONSIBLE FOR COMPARING THE STORM SEWER AND SANITARY SEWER CHARTS WITH THE PROFILES FOR THE STORM SEWER AND SANITARY SEWER LINES AND INFORMING THE ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
17. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN GEOTECHNICAL REPORT AND PLANS, ETC.
18. THE FLOW IN ALL SEWERS, DRAINAGE AND WATERCOURSES INDICATED SHALL BE MAINTAINED.
19. ALL UNGRADED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES STEEPER THAN 3H:1V. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH TOWNSHIP/COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
20. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
21. ALL STUMPS, ROOTS, AND ORGANIC MATTER SHALL BE REMOVED TO A DEPTH OF TWO FEET MINIMUM BELOW THE BOTTOM OF THE BASE MATERIAL. ALL ROCKS LARGER THAN SIX INCHES SHALL BE REMOVED AND ALL ROCK LARGER THAN 12 INCHES, WHICH CANNOT BE READILY BROKEN BY MIXING OPERATIONS, SHALL BE REMOVED TO A DEPTH OF TWO FEET.



Know what's below.
Call before you dig.
811 is the national number for locating underground utilities. Call 811 to request a utility locate service. This service is provided by the utility companies. It is not a guarantee of the accuracy of the information provided. It is the responsibility of the caller to ensure that all utilities are properly located and marked before any excavation work begins. For more information, visit www.811.com.

24 HOUR EMERGENCY CONTACT
811-1-800-4-A-ROOTS
352-746-5183



SECT. A, T16S, R 21E
S86 SW 28TH PLACE
OCALA
MARION COUNTY, FLORIDA

FAIRFIELD VILLAGE EXPANSION
GCP FAIRFIELD VILLAGE, LLC
MAJOR SITE PLAN - CONSTRUCTION PLANS
SWPPP

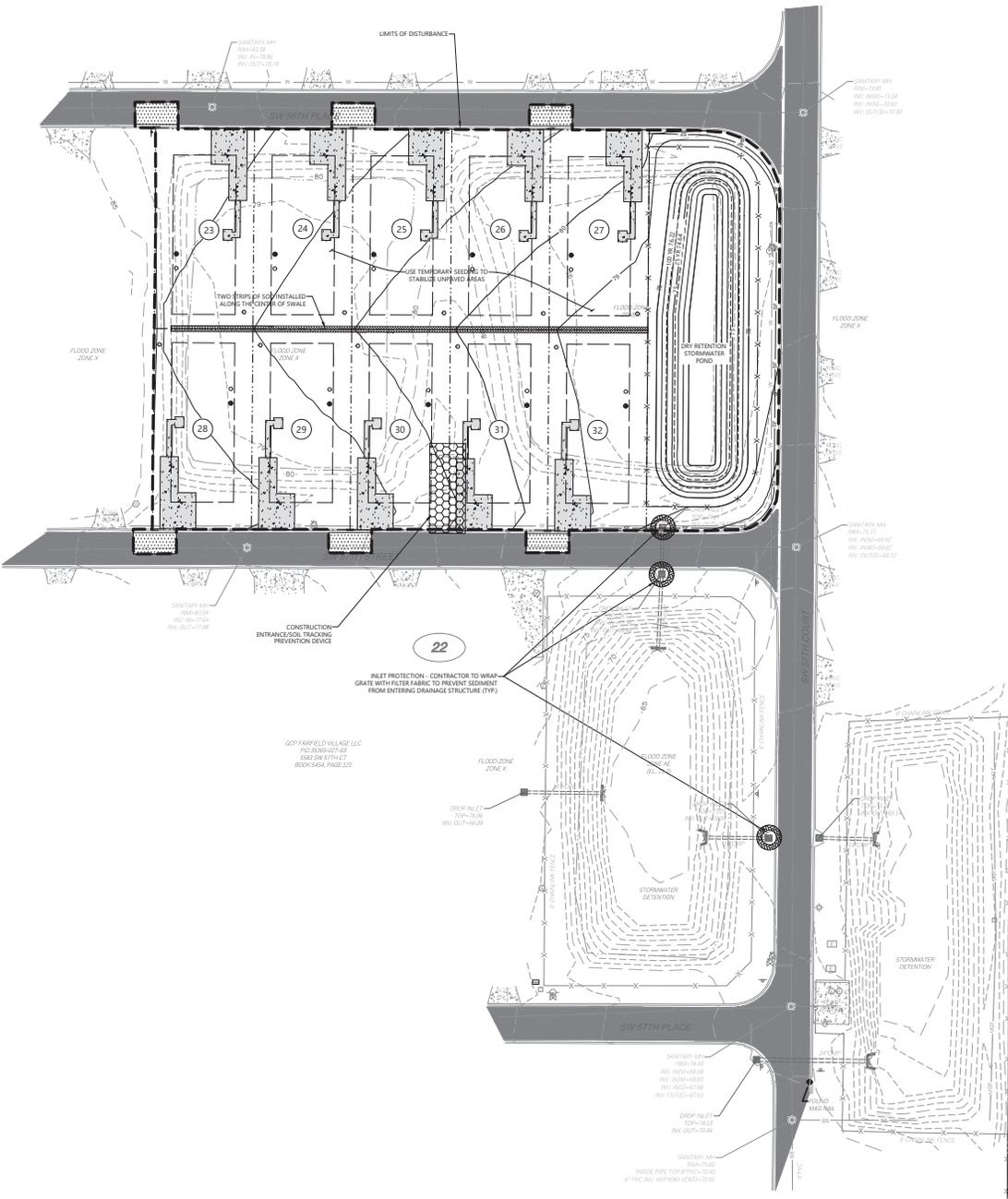
DATE: 11-9-2022

18-27-23 - COUNTY BOARD COMMENTS
18-18-23 - COUNTY COMMENTS



SHAWN BYRNES
CHECKED BY: MT
PROJECT MANAGER: DG
JOB #: 2005432
FILE CODE: C3P
SHEET NO. C320

C320



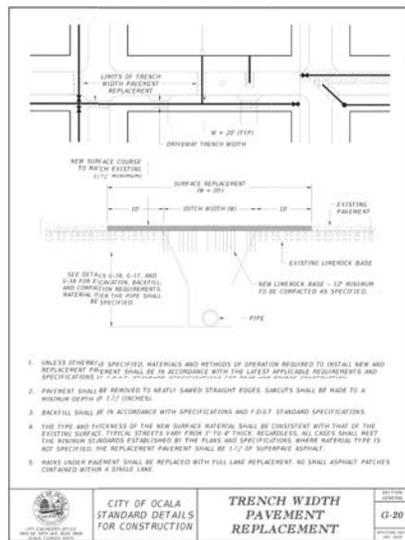
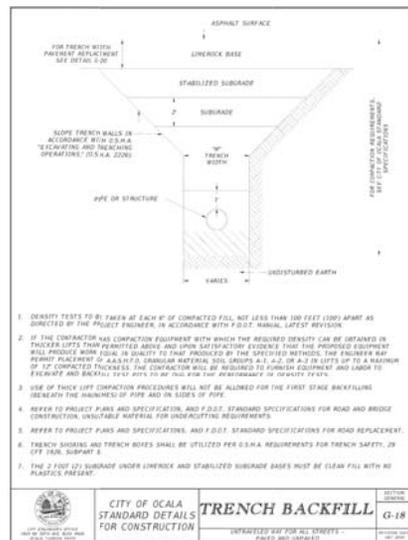
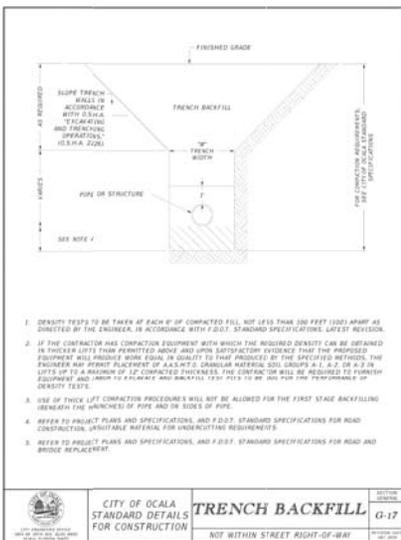
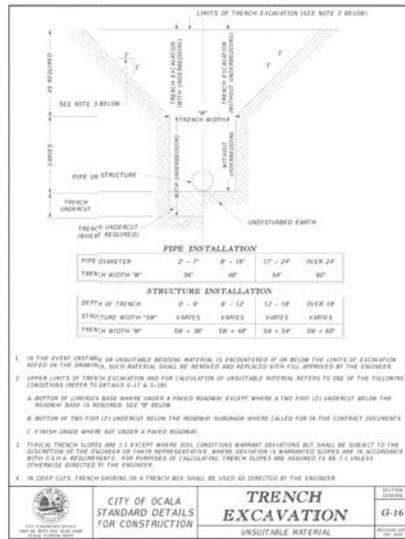
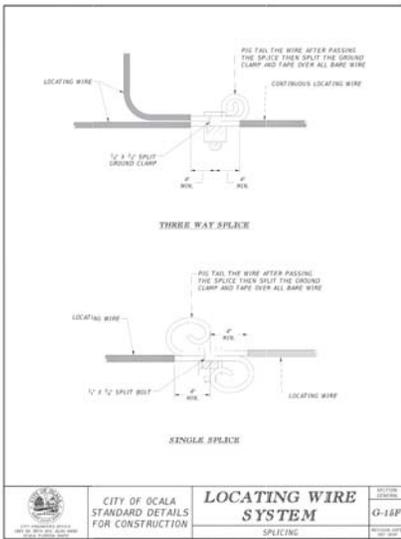
EROSION LEGEND	
SOIL TRACKING PREVENTION DEVICE	
LIMITS OF DISTURBANCE	
SOIL DELINEATION LINE	
SOIL TYPE SERIES	
TYPE III SILT FENCE	
TEMPORARY INLET PROTECTION	

SOIL SERIES	
22	CANDLER SAND, 0-5% SLOPES

- EROSION CONTROL NOTES**
- SEE DETAILS ON SHEET C800
 - INLET PROTECTION - CONTRACTOR TO WRAP ALL INLET GRATES WITH FILTER FABRIC TO PREVENT SEDIMENT FROM ENTERING DRAINAGE STRUCTURE (TYP)
 - THE LAND-DISTURBING ACTIVITY SHALL CONFORM TO EXISTING TOPOGRAPHY AND SOIL TYPE SO AS TO CREATE THE LOWEST PRACTICAL EROSION POTENTIAL
 - LAND -DISTURBING ACTIVITIES SHALL BE CONDUCTED IN A MANNER MINIMIZING EROSION
 - THE DISTURBED AREA AND THE DURATION OF EXPOSURE TO EROSION ELEMENTS SHALL BE KEPT TO A PRACTICAL MINIMUM
 - EROSION CONTROL MUST BE STRICTLY MAINTAINED DURING CUT AND FILL OPERATIONS
 - WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED AND REPLANTED
 - TEMPORARY VEGETATION OR MULCHING SHALL BE EMPLOYED TO PROTECT EXPOSED CRITICAL AREAS DURING DEVELOPMENT
 - PERMANENT VEGETATION AND STRUCTURE EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICAL
 - APPROPRIATE PROVISIONS MUST BE PROVIDED TO MINIMIZE DAMAGES FROM SURFACE WATER TO CUT THE FACE OF EXCAVATIONS OR THE SLOPING SURFACE OF FILLS
 - TO THE EXTENT NECESSARY, SEDIMENT IN RUNOFF WATER MUST BE TRAPPED BY THE USE OF DEBRIS BASINS, SEDIMENT BASINS, SILT TRAPS OR SIMILAR MEASURES UNTIL THE DISTURBED AREA IS STABILIZED
 - CUTS AND FILLS MUST BE CONSTRUCTED IN SUCH A MANNER THAT EROSION AND RUNOFF FROM THE SITE DOES NOT ENDANGER ADJACENT PROPERTY
 - CONTRACTOR TO PLACE SILT FENCE IN ALL AREAS WHERE THE POTENTIAL FOR OFFSITE EROSION EXISTS
 - A DUMPSTER OF SUITABLE SIZE TO CONTAIN ALL WASTE GENERATED DURING CONSTRUCTION SHALL BE PROVIDED BY THE CONTRACTOR
 - INSPECTION OF EROSION CONTROL MEASURES SHALL BE PERFORMED AFTER A 1" RAINFALL EVENT
 - CONTRACTOR WILL BE REQUIRED TO OBTAIN AND PROVIDE A COPY TO THE CITY OF THE MD FOR CONSTRUCTION GENERAL PERMIT FOR LARGE CONSTRUCTION PROJECT FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

500°33'42" W 1979.61' (N)
SOURCE: USGS AIR PHOTO
GCP FAIRFIELD VILLAGE, LLC
PROJECT MANAGER: D. GARDNER
DATE: 11/9/2022

THIS SHEET IS UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.



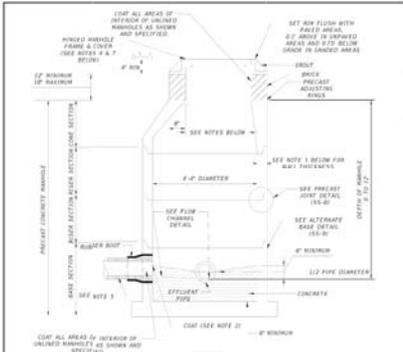
811
Know what's below.
Call before you dig.
ATWELL
1800 PARKWAY WEST, SUITE 100
MARTINEZ, CA 94553
CONTRACTORS: BE SURE YOU CALL 811 BEFORE YOU START ANY EXCAVATION WORK. IT'S THE EASY WAY TO FIND OUT WHERE UTILITIES ARE LOCATED BEFORE YOU DIG. IT'S THE ONLY WAY TO AVOID ACCIDENTS, INJURIES, AND PROPERTY DAMAGE. IT'S THE ONLY WAY TO MAKE SURE YOU DON'T DAMAGE ANY UTILITIES. IT'S THE ONLY WAY TO MAKE SURE YOU DON'T GET INTRUDED ON BY ANYONE. IT'S THE ONLY WAY TO MAKE SURE YOU DON'T GET INTRUDED ON BY ANYONE. IT'S THE ONLY WAY TO MAKE SURE YOU DON'T GET INTRUDED ON BY ANYONE.

ATWELL
1800 PARKWAY WEST, SUITE 100
MARTINEZ, CA 94553
CONTRACTORS: BE SURE YOU CALL 811 BEFORE YOU START ANY EXCAVATION WORK. IT'S THE EASY WAY TO FIND OUT WHERE UTILITIES ARE LOCATED BEFORE YOU DIG. IT'S THE ONLY WAY TO AVOID ACCIDENTS, INJURIES, AND PROPERTY DAMAGE. IT'S THE ONLY WAY TO MAKE SURE YOU DON'T DAMAGE ANY UTILITIES. IT'S THE ONLY WAY TO MAKE SURE YOU DON'T GET INTRUDED ON BY ANYONE. IT'S THE ONLY WAY TO MAKE SURE YOU DON'T GET INTRUDED ON BY ANYONE.

SECT. A, 1165, R 21E
S866 SW 89TH PLACE
OCALA
MARION COUNTY, FLORIDA

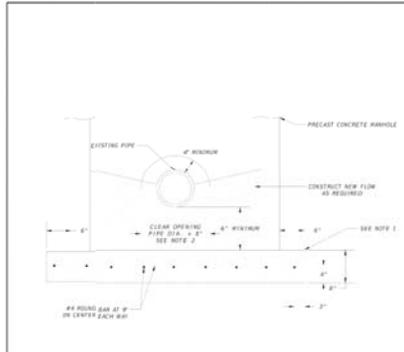
FAIRFIELD VILLAGE EXPANSION
GCP FAIRFIELD VILLAGE, LLC
MAJOR SITE PLAN - CONSTRUCTION PLANS
CONSTRUCTION DETAILS

DATE: 11-9-2022
REVISIONS
SHAWN BY: JC
CHECKED BY: MT
PROJECT MANAGER: DG
JOB #: 20062452
FILE CODE: C5P
SHEET NO.: C701



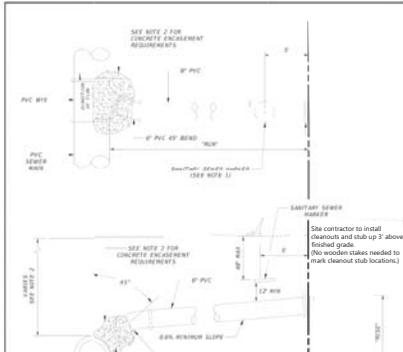
- NOTES**
1. MANHOLE WALL THICKNESS SHALL BE FIVE INCHES OR FIVE THE FRAME DIAMETER, WHICHEVER IS GREATER.
 2. THE INTERIOR, EXTERIOR, JOINTS AND UNGRADED AREAS SHALL BE COATED AS SPECIFIED. WHERE JOINTS ARE TO BE CONNECTED TO THE MANHOLE LIES IMMEDIATELY UPSTREAM FROM THE JOINT, THE COMPLETE INSIDE OF THE MANHOLE SHALL BE LINED AS SHOWN AND SPECIFIED.
 3. MANHOLE SHALL BE FINISHED WITH FACTORY INSTALLED ADAPTERS TO CONNECT SEWER PIPES TO MANHOLE.
 4. MANHOLE TO BE INSTALLED WITH 2" RIBBED RING AND COVER.
 5. FULL ANNUAL VOID BETWEEN PIPE AND RUBBER JOINT WITH GROUT AND FILL WITH MANHOLE WALL.
 6. LININGS SHALL BE PLACED AROUND RING & COVER TO BOTTOM OF JOINT.
 7. EACH MANHOLE INSTALLED SHALL HAVE ONE COMPACTION TEST AS SPECIFIED.

	CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION	PRECAST CONCRETE MANHOLE 5' TO 12' DEPTH	SS-3
			11/15/2022



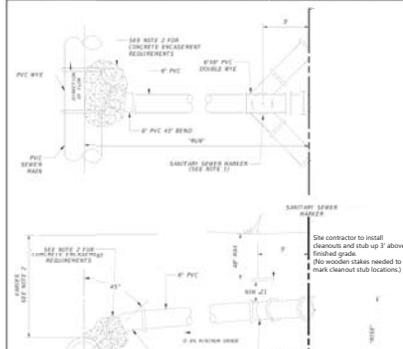
- NOTES**
1. MANHOLE BASE CAN BE EITHER CAST IN PLACE AS SHOWN OR PRECAST BY AN APPROVED PRECASTER.
 2. FULL VOID WITH BRICK AND GROUT AS APPROVED BY THE ENGINEER.
 3. MANHOLE MUST BE SEAM AIR TESTED AS SPECIFIED.

	CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION	SEWER DOGHOUSE MANHOLE BASE CONSTRUCTION	SS-9
			11/15/2022



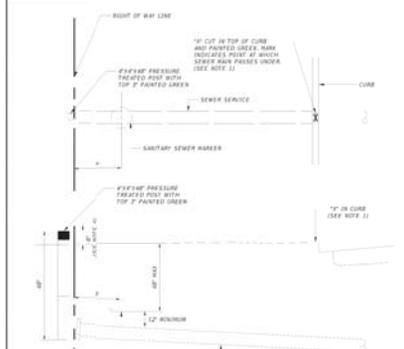
- NOTES**
1. SEWER SERVICE TO BE REFERENCED AS INDICATED IN DETAIL SS-12.
 2. FOR ALL SEWER SERVICES WHERE THE PIPE ALONG GRADE OR IN TRENCH IS 1.5 TIMES THAT OF THE SLOPE, EXPOSE SEWER PIPE AND RING IN CONCRETE. CONCRETE ENCASEMENT TO BE 2" CURE FEET TIGHTER WHEN REQUIRED.

	CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION	SINGLE SEWER SERVICE CONNECTION	SS-10
			11/15/2022



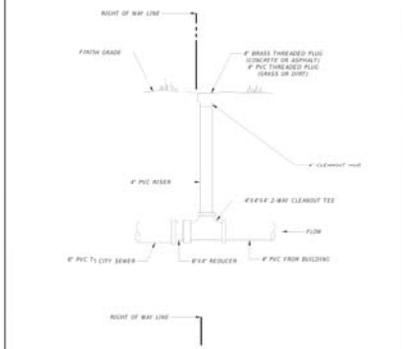
- NOTES**
1. SEWER SERVICE TO BE REFERENCED AS INDICATED IN DETAIL SS-12.
 2. FOR ALL SEWER SERVICES WHERE THE PIPE SLOPE EQUALS OR EXCEEDS A 1.5 GRADE/100 OR 2% SLOPE, EXPOSE SEWER PIPE AND RING IN CONCRETE. CONCRETE ENCASEMENT TO BE 2" CURE FEET TIGHTER WHEN REQUIRED.
 3. DOUBLE SEWER SERVICES SHALL NOT BE INSTALLED IN SPECIAL CASES AS DESIGNATED BY THE WATER AND SEWER ENGINEER.

	CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION	DOUBLE SEWER SERVICE CONNECTION	SS-11
			11/15/2022



- NOTES**
1. WHERE NO CURB AND UTTER PAVES THE SEWER SERVICE SHALL BE REFERENCED BY PLACING A NAIL & DISC AND AT THE EDGE OF PAVEMENT IN GRADED AREAS ONLY THE SEWER MANHOLE AND RAY SHALL BE REFERENCED.
 2. ALL SEWER MAINS SHALL BE FINISHED ACCORDING TO LOCALITY SPECIFICATIONS.
 3. DRAINAGE ADAPTORS SHALL ACCURATELY LOCATE ALL SIZES AND SPACINGS.
 4. IN AREAS WHERE EXISTING UTILITIES OR BUSINESS ARE PRESENT TOP OF PEST TO BE FINISH WITH FINISH GRADE.

	CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION	SEWER SERVICE REFERENCING	SS-17
			11/15/2022



- NOTES**
1. SEWER SERVICE TO BE REFERENCED AS INDICATED IN DETAIL SS-12.
 2. FOR ALL SEWER SERVICES WHERE THE PIPE ALONG GRADE OR IN TRENCH IS 1.5 TIMES THAT OF THE SLOPE, EXPOSE SEWER PIPE AND RING IN CONCRETE. CONCRETE ENCASEMENT TO BE 2" CURE FEET TIGHTER WHEN REQUIRED.

	CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION	RESIDENTIAL SEWER CLEANOUT	SS-14
			11/15/2022



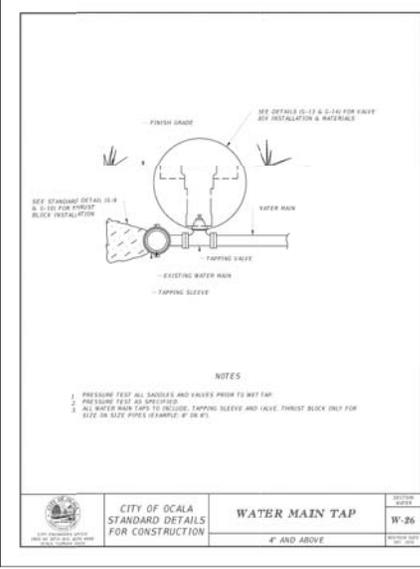
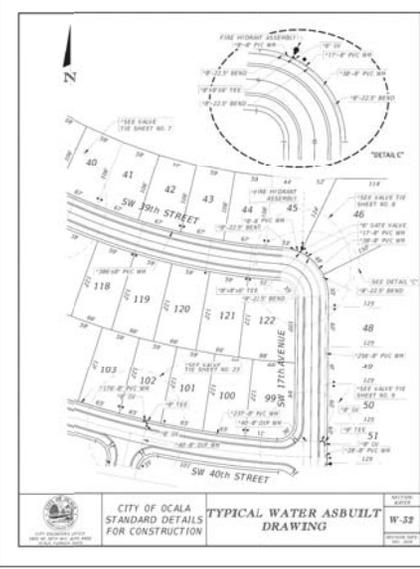
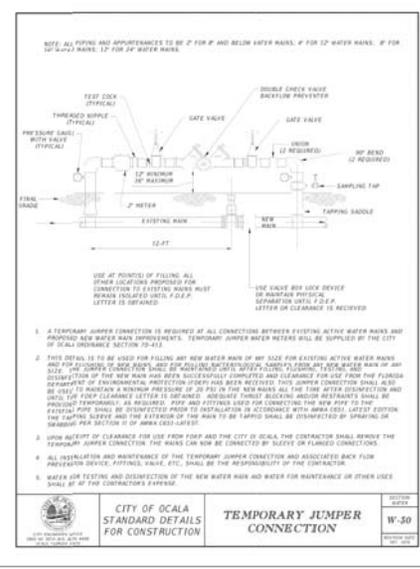
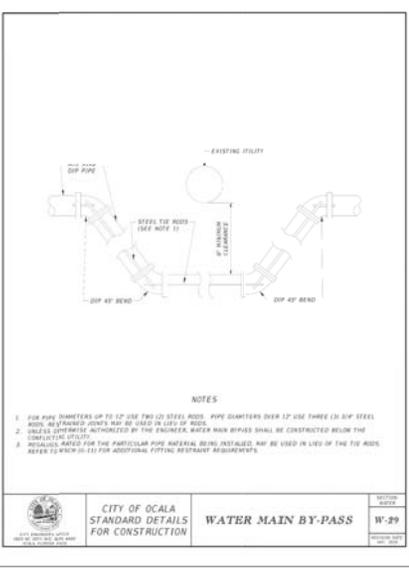
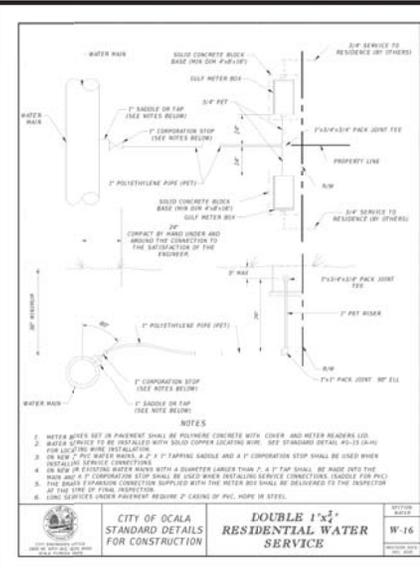
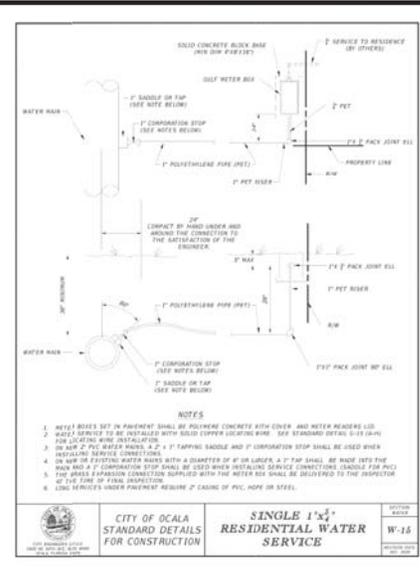
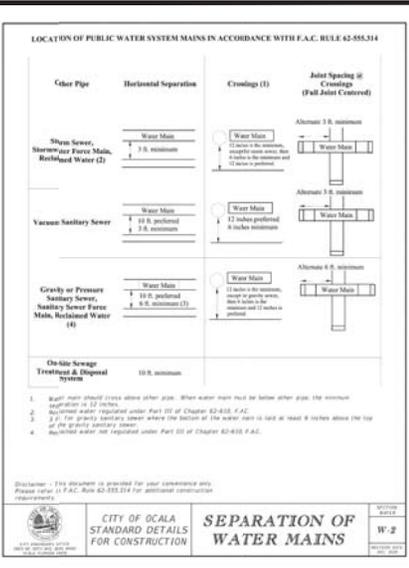
- NOTES**
1. SEWER SERVICE TO BE REFERENCED AS INDICATED IN DETAIL SS-12.
 2. FOR ALL SEWER SERVICES WHERE THE PIPE ALONG GRADE OR IN TRENCH IS 1.5 TIMES THAT OF THE SLOPE, EXPOSE SEWER PIPE AND RING IN CONCRETE. CONCRETE ENCASEMENT TO BE 2" CURE FEET TIGHTER WHEN REQUIRED.

	CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION	TYPICAL SEWER ASBUILT DRAWING	SS-22
			11/15/2022

Know what's below.
Call before you dig.

ATWELL
 CIVIL ENGINEERING
 1800 PARKWAY WEST, SUITE 100
 MARTELL, CA 94553
 (925) 255-1200
 WWW.ATWELL-CA.COM

24 HOUR EMERGENCY CONTACT SEE SHEET SS-27-28-1918	SECTION SECT. A, 1165, R 21E 5866 SW 58TH PLACE OCALA MARION COUNTY, FLORIDA
FAIRFIELD VILLAGE EXPANSION GCP FAIRFIELD VILLAGE, LLC MAJOR SITE PLAN - CONSTRUCTION PLANS	CONSTRUCTION DETAILS
DATE 11-9-2022	REVISIONS
18-27-23 - COUNTY BOARD COMMENTS 18-18-23 - COUNTY COMMENTS	
DRAWN BY: JAC CHECKED BY: MT PROJECT MANAGER: DG JOB #: 20024242 FILE CODE: C5P SHEET NO.:	C702



Know what's Below.
Call before you dig.

CONTRACTOR: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OCALA AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) PRIOR TO COMMENCING ANY CONSTRUCTION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OCALA AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) PRIOR TO COMMENCING ANY CONSTRUCTION WORK.

24 HOUR EMERGENCY CONTACT
888-888-8888

ATWELL
CONSTRUCTION
1800 PARKWAY
MARTINEZ, CA
94553

FAIRFIELD VILLAGE EXPANSION
GCPC FAIRFIELD VILLAGE, LLC
MAJOR SITE PLAN - CONSTRUCTION PLANS

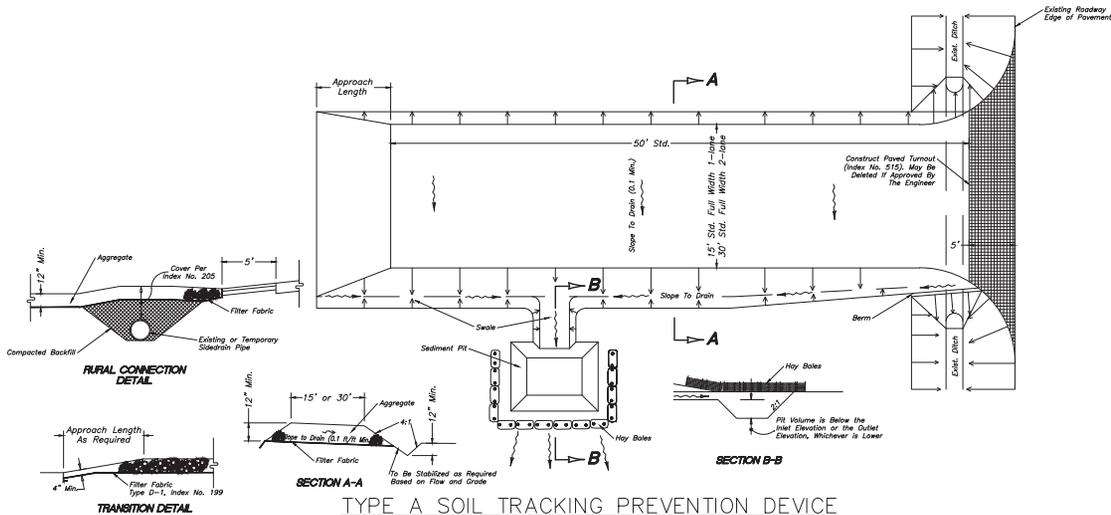
SECTION 1, T16S, R 21E
S86 SW 9TH PLACE
OCALA
MARION COUNTY, FLORIDA

DATE: 11-9-2022

62-21-23 COUNTY BOARD COMMENTS
6-19-23 COUNTY COMMENTS

REVISIONS

DESIGNED BY: JAC
CHECKED BY: MT
PROJECT MANAGER: DG
JOB #: 2006242
FILE CODE: CSP
SHEET NO.: C703



TYPE A SOIL TRACKING PREVENTION DEVICE

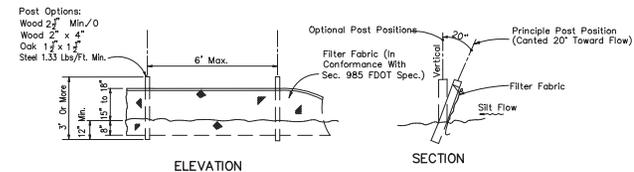
SOIL TRACKING DEVICE GENERAL NOTES

1. A SOIL TRACKING PREVENTION DEVICE (STPD) SHALL BE CONSTRUCTED AT LOCATIONS DESIGNATED BY THE ENGINEER FOR POINTS OF EGRESS FROM UNSTABILIZED AREAS OF THE PROJECT TO PUBLIC ROADS WHERE OFFSITE TRACKING OF MUD COULD OCCUR. TRAFFIC FROM UNSTABILIZED AREAS OF THE CONSTRUCTION PROJECT SHALL BE DIRECTED THRU A STPD. BARRIERS, FLAGGING, OR OTHER POSITIVE MEANS SHALL BE USED AS REQUIRED TO LIMIT AND DIRECT VEHICULAR EGRESS ACROSS THE STPD.
2. THE CONTRACTOR MAY PROPOSE AN ALTERNATIVE TO MINIMIZE OFFSITE TRACKING OF SEDIMENT. THE ALTERNATIVE MUST BE REVIEWED AND APPROVED BY THE ENGINEER PRIOR TO ITS USE.
3. ALL MATERIALS SPILLED, DROPPED, OR TRACKED ONTO PUBLIC ROADS (INCLUDING THE STPD AGGREGATE AND CONSTRUCTION MUD) SHALL BE REMOVED DAILY, OR MORE FREQUENTLY IF SO DIRECTED BY THE ENGINEER.
4. AGGREGATES SHALL BE AS DESCRIBED IN SECTION 901 EXCLUDING 901-2.3. AGGREGATES SHALL BE FOOT SIZE #1. IF THIS SIZE IS NOT AVAILABLE, THE NEXT AVAILABLE SMALLER SIZE AGGREGATE MAY BE SUBSTITUTED WITH THE APPROVAL OF THE ENGINEER. SIZES CONTAINING EXCESSIVE SMALL AGGREGATE WILL TRACK OFF THE PROJECT AND ARE UNSUITABLE.
5. THE SEDIMENT PIT SHALL PROVIDE A RETENTION VOLUME OF 3600 CUBIC FEET/ACRE OF SURFACE AREA DRAINING TO THE PIT. WHEN THE STPD IS ISOLATED FROM OTHER DRAINAGE AREAS, THE FOLLOWING PIT VOLUMES WILL SATISFY THIS REQUIREMENT:
 $15' \times 50' = 100 \text{ FT}^3$ $30' \times 50' = 200 \text{ FT}^3$
 AS AN OPTION TO THE SEDIMENT PIT, THE WIDTH OF THE SWALE BOTTOM CAN BE INCREASED TO OBTAIN THE VOLUME. WHEN THE SEDIMENT PIT OR SWALE VOLUME HAS BEEN REDUCED TO ONE HALF, IT SHALL BE CLEANED. WHEN A SWALE IS USED, HAY BALES OR SILT FENCE SHALL BE PLACED ALONG THE ENTIRE LENGTH.
6. THE SWALE DITCH DRAINING THE STPD SHALL HAVE A 0.2% MINIMUM AND A 1.0% MAXIMUM GRADE ALONG THE STPD AND TO THE SEDIMENT PIT.
7. MITERED END SECTIONS ARE NOT REQUIRED WHEN THE SIDEDRAIN PIPE SATISFIES THE CLEAR ZONE REQUIREMENTS.
8. THE STPD SHALL BE MAINTAINED IN A CONDITION THAT WILL ALLOW IT TO PERFORM ITS FUNCTION. TO PREVENT OFFSITE TRACKING, THE STPD SHALL BE RINSED (DAILY WHEN IN USE) TO MOVE ACCUMULATED MUD DOWNWARD THRU THE STONE. ADDITIONAL STABILIZATION OF THE VEHICULAR ROUTE LEADING TO THE STPD MAY BE REQUIRED TO LIMIT THE MUD TRACKED.
9. A STPD SHALL BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR SOIL TRACKING PREVENTION DEVICE, EA. THE UNIT PRICE SHALL CONSTITUTE FULL COMPENSATION FOR CONSTRUCTION, MAINTENANCE, REPLACEMENT OF MATERIALS, REMOVAL, AND RESTORATION OF THE AREA UTILIZED FOR THE STPD; INCLUDING BUT NOT LIMITED TO EXCAVATION, GRADING, TEMPORARY PIPE (INCLUDING MES WHEN REQUIRED), FILTER FABRIC, AGGREGATE, PAVED TURNOUT (INCLUDING ASPHALT AND BASE CONSTRUCTION), DITCH STABILIZATION, APPROACH ROUTE STABILIZATION, SEDIMENT REMOVAL AND DISPOSAL, WATER RINSING AND CLEANING OF THE STPD AND CLEANING OF PUBLIC ROADS, GRASSING AND SOO. HAY BALES SHALL BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR HAY OR STRAW BALED, EA. SILT FENCE SHALL BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE, LF.
10. THE NOMINAL SIZE OF A STANDARD STPD IS 15'X50' UNLESS OTHERWISE SHOWN IN THE PLANS. IF THE VOLUME OF ENTERING AND EXITING VEHICLES WARRANT A 30' WIDTH STPD MAY BE USED IF APPROVED BY THE ENGINEER. WHEN A DOUBLE WIDTH (30') STPD IS USED, THE PAY QUANTITY SHALL BE 2 FOR EACH LOCATION.



Typ III Silt Fence Protection Around Ditch Bottom Inlets.

Do not deploy in a manner that silt fences will act as a dam across permanent flowing watercourses. Silt fences are to be used at upland locations and turbidity barriers used at permanent bodies of water.



ELEVATION

SECTION

Note: Silt Fence to be paid for under the contract unit price for Staked Silt Fence (LF).

TYPE III SILT FENCE DETAIL

NTS - PER FDOT INDEX 102

Know what's below.
Call before you dig.
 800-4-A-SHIELD
 800-427-4743
 www.811.com

ATWELL
 CIVIL ENGINEERING
 1800 PARKWAY, SUITE 700
 MARLBOROUGH, MA 01501
 508-251-1100
 WWW.ATWELL-INC.COM

SECT. A, 1165, R 2/E 5895 SW 98TH PLACE Ocala MARION COUNTY, FLORIDA	FAIRFIELD VILLAGE EXPANSION GCIP FAIRFIELD VILLAGE, LLC MAJOR SITE PLAN - CONSTRUCTION PLANS EROSION DETAILS	DATE 11-9-2022	18-21-23 COUNTY BOARD COMMENTS 18-19-23 COUNTY COMMENTS
-------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------	-------------------	------------------------------------------------------------

DESIGNED BY: JAC
 CHECKED BY: MT
 PROJECT MANAGER: DGD
 JOB #: 20052432
 FILE CODE: C3P
 SHEET NO.: **C800**

