



**Marion County
Board of County Commissioners**

Growth Services
2710 E. Silver Springs
Blvd. Ocala, FL 34470
Phone: 352-438-2600 Fax:
352-438-2601

SPECIAL USE PERMIT APPLICATION - REGULAR - \$1,000.00

The undersigned hereby requests a Special Use Permit in accordance with Marion County Land Development Code, Articles 2 and 4, for the purpose of: Vertex Development, LLC "Vertex" is requesting a Special Use Permit for the construction of a 190' Monopole style communications tower . See attached Written Narrative.

Legal Description: (Please attach a copy of the deed and location map.) **Parcel Zoning:** A-1
Parcel account number(s): 50744-000-00
Property dimensions: See attached Site Plans **Total acreage:** 25.67
Directions: See attached Site Plans

Each property owner(s) MUST sign this application or provide written authorization naming an applicant or agent to act on his behalf. **Please print all information, except for the Owner and Applicant/Agent signature.**

Rodney Earl McMullen, Donna Rae McMullen, Bruce McMullen

Vertex Development, LLC / Alan Ruiz

Property Owner name (please print)

30322 Redtree Drive

Applicant or agent name (please print)

3630 W. Kennedy Blvd.

Mailing Address

Leesburg, FL 34738

Mailing Address

Tampa, FL 33609

City, State, Zip code

City, State, Zip code

813-335-4768

Phone number (include area code)

Phone number (include area code)

alanruiz@vertexdevelopment.net

E-mail address

E-mail address

Signature

Signature

PLEASE NOTE: A representative is strongly encouraged to attend the public hearings when this application will be discussed. If no representative is present, the request may be postponed or **denied**. Hearing notices will be mailed to the address(es) listed above. All information submitted must be correct and legible to process the Application. Contact Growth Services Planning & Zoning at (352) 438-2675 for more information.

<i>STAFF/OFFICE USE ONLY</i>				
Project No.:		Code Case No.:		Application No.:
Rev'd by:	Rev'd Date: / /	FLUM:	Zoning Map No.:	Rev: 07/1/2019

SPECIAL USE PERMIT – REGULAR APPLICATION
SUBMISSION CHECKLIST & GENERAL INFORMATION

- X 1. A completed Application accompanied by payment of the Application Fee. (Please make checks payable to: Marion County Board of County Commissioners.)
- X 2. One copy of the current property deed demonstrating the Owner(s) signing the Application is the property owner(s). [See Agent of Record Letter.](#)
- X 3. One copy of the legal description of the controlled property that will be subject to the Application, particularly if this legal description is different from the property legal description on the copy of the current deed submitted.
- X 4. One set of written Findings of Fact _____-size paper) that demonstrate that the proposed use will not adversely affect the public interest, the proposed use is consistent with the Comprehensive Plan, and the proposed use is compatible with the land uses in the surrounding area. *(Please see the Findings of Fact Information on the following page.)*
- X 5. A Conceptual Plan, prepared consistent with the provisions of Article 6 of the Land Development Code (LDC) and using an appropriate scale, shall be submitted showing:
 - 1) Location of existing and proposed structures and/or operation areas on the property,
 - 2) Location of driveways for ingress & egress, off-street parking, and off-street loading areas,
 - 3) Refuse and service areas,
 - 4) Required yards and other open spaces,
 - 5) Proposed screening and buffering with reference as to type, dimensions, and character, as generally required and particularly for applicable specific requirements such as those listed in LDC Division 4.3,
 - 6) Locations for utilities, including water and sewer,
 - 7) Where additional requirements on the preparation of conceptual plan are required to demonstrate the general findings of fact provided, those requirements shall be met.

Conceptual Plan - Number of Copies

- _____ If provided on a single _____-size) page **one copy is required.**
- OR**
- _____ If provided in a format larger than one _____-size) page **21 copies are required.**

- N/A 6. For *Applications for parking a commercial vehicle(s) exceeding 10,000 lbs.*, list the vehicle identification number (VIN) on the application and attach a photo of the vehicle.
- N/A 7. If applicable, 20 copies of an Environmental Assessment for Listed Species (EALS) or EALS Exemption request, prepared consistent with LDC Division 6.5.
- N/A 8. If applicable, 20 copies of a Karst Topography and High Recharge Area Study, prepared consistent with LDC Division 6.10.

SPECIAL USE PERMIT – REGULAR APPLICATION
SUBMISSION CHECKLIST & GENERAL INFORMATION

APPLICATION FINDINGS OF FACTS REQUIREMENTS

The application must include a written description addressing the following findings, either on the Concept Plan or in a separate written description. The P&Z may make further written findings that the specific requirements, if any, governing the individual SUP, excluding towers, have been made concerning the following matters, where applicable:

- 1) Provision for ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control and access in case of fire or catastrophe.
- 2) Provision for off-street parking and loading areas, where required, with particular attention to the items in (1) above and the economic, noise, glare, or odor effects of the SUP on adjoining properties and properties generally in the surrounding area.
- 3) Provisions for refuse and service area, with particular reference to the items in (1) and (2) above.
- 4) Provision for utilities, with reference to locations, availability and compatibility.
- 5) Provision for screening and buffering of dissimilar uses and of adjacent properties where necessary.
- 6) Provision for signs, if any, and exterior lighting with consideration given to glare, traffic safety, economic effects and compatibility and harmony with properties in the surrounding area.
- 7) Provision for required yards and other green space.
- 8) Provision for general compatibility with adjacent properties and other property in the surrounding area.
- 9) Provision for meeting any special requirements required by the site analysis for the particular use involved.

ADVISORIES:

- 1) If approved, the Special Use Permit will NOT become effective until 14 days AFTER the final decision is made by the Marion County Board of County Commissioners.
- 2) A representative is strongly encouraged to attend the public hearings when this application will be discussed. If no representative is present and additional information is required, the request may be postponed or denied.

AGENT OF RECORD LETTER

RE: Vertex Development Application for Communications Tower Facility

I, Bruce McMullen and Rodney McMullen and Donna McMullen own the following property located at 15733 SE 182nd Avenue Road, in Umatilla, Florida 32784 (Marion County Parcel ID 50744-000-00), and have the authority to execute this document. I hereby designate and appoint the below listed Agent(s) of Record for any necessary zoning, permitting and regulatory processes in association with the development of a telecommunications tower located at the aforementioned property.

The Agent of Record is vested with the authority to make representations and agreements, which are necessary or desirable in conjunction with any of the aforementioned processes. The Agent of Record is authorized to accept or reject conditions imposed by any reviewing board or entity. The Agent of Record has the authority to execute and file any and all necessary sets of plans, applications or other required paperwork necessary in the zoning or permitting process for the above-mentioned site.

The authorized Agent(s) of Record:

Vertex Development, LLC
Alan Ruiz and/or Nataliene Troy
3630 W. Kennedy Boulevard
Tampa, FL 33609
Phone: 813-335-4768
Email: alanruiz@vertexdevelopment.net

Donna McMullen 1/24/24
Signature Date
Donna McMullen
Printed

STATE OF FLORIDA
COUNTY OF Orange

The foregoing instrument was acknowledged before me this 24th day of Jan, 2024, by Donna McMullen who has produced _____ as identification.

Steven Anderson
Notary Public
Steven Anderson
Printed Name of Notary



Rodney McMullen 1-24-24
Signature Date

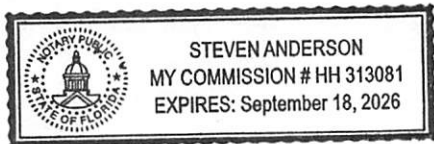
Rodney McMullen
Printed

STATE OF FLORIDA
COUNTY OF Orange

The foregoing instrument was acknowledged before me this 24th day of Jan, 2024, by Rodney McMullen who has produced _____ as identification.

Steven Anderson
Notary Public
Steven Anderson
Printed Name of Notary

(SEAL)



Bruce L. McMullen 1/30/2024
Signature Date

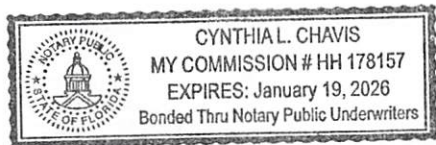
Bruce L. McMullen
Printed

STATE OF FLORIDA
COUNTY OF LAKE

The foregoing instrument was acknowledged before me this 30 day of Jan, 2024, by Bruce L. McMullen who has produced (personally known) as identification.

Cynthia L. Chavis
Notary Public
Cynthia L. Chavis
Printed Name of Notary

(SEAL)





February 6, 2024

Marion County Planning & Zoning Department
2710 E. Silver Springs Blvd.
Ocala, FL 34470

RE: Development Application for Special Use Permit to allow for the construction and use of a 190-foot Wireless Communication Facility (“Sunnyhill”)

**Applicant: Vertex Development, LLC
3630 West Kennedy Boulevard
Tampa, FL 33609**

**Owner: Rodney Earl McMullen, Donna Rae McMullen,
Bruce McMullen
30322 Redtree Drive
Leesburg 34748**

Contacts: Alan Ruiz or Nataliene Troy: 813-335-4768 / alanruiz@vertexdevelopment.net

Dear Planning Staff:

Enclosed herein please find Vertex Development, LLC’s (“Vertex”) Development Application for Special Use Permit to construct a 190’ Monopole-type Communications Tower (“Tower”). I have enclosed the following documents pursuant to the Marion County Land Development Code (“LDC”) for Vertex’s submittal:

- Special Use Application
- Application Fee
- Agent of Record Letter
- Site Plans, Signed & Sealed
- Boundary and Topography Survey
- Legal Descriptions
- Warranty Deed
- Written Findings of Fact
- Fall Zone Letter
- Written Description of Request (*this narrative letter*)
- Verizon Wireless RF Package
- Verizon Wireless Non-Interference Letter
- FAA Determination of No Hazard
- FCC Application
- Location Map

Vertex is requesting Special Use Permit approval for a 190’ monopole-type Tower and associated ground equipment. The property is located at 15733 SE 182nd Avenue Road, Florida; Marion County Parcel ID 50744-000-00. The total acreage of the parent parcel is approximately 25.67 acres (according to the Marion County Property Appraiser’s Office) and is zoned Agriculture 1. The Tower is proposed to be sited at the west side, 326 feet from the northern property line and 226 feet from the western property line of the parent parcel. The adjacent and surrounding properties are heavily wooded with mixed residential uses. A Marion County fire rescue station is located approximately 1,000 feet northwest of the proposed

tower and a church approximately 1,000 feet north. The Tower will also service travelers along Highway 42, approximately 1,000 feet to the south. Wireless communication facilities are needed to serve the surrounding residential and recreational areas and are essential to all land uses. The siting of a Tower as a general public service and emergency service use (including E911) shall strengthen the wireless service to area and support the health, welfare and safety of the community.

The tower compound is 4,900 square feet in addition to any required easements for access and utilities. The Tower will be designed to accommodate the collocation for up to four wireless telecommunication providers, and Verizon Wireless is the anchor tenant. Trips made to the site will be approximately one monthly visit per carrier with access to the site from SE 182nd Avenue Road via a non-exclusive access easement across Marion County parcel 50745-000-00 (identified as Parcel 1 on the Survey/Legal Descriptions). All antennas will be external to the Tower. Vertex is requesting flexibility from the landscaping requirements of the LDC to preserve the mature landscaping surrounding the tower compound for adequate screening and buffering. Per the FAA Determination, the proposed Tower does not require lighting for aviation safety, thus the tower will not be lit.

Please find below a description of how Vertex's proposed project meets the criteria of the applicable sections of the Marion County LDC, supplemental to the application.

Sec. 4.3.25. - Telecommunications towers and antennas.

...

B. Location priority:

- (1) It is recognized that different wireless telecommunication services and providers have distinct geographical areas in which they must be located to provide their service, but it is also recognized that there is usually some flexibility in the type of antenna and type of support structure on which the antenna is to be located. Therefore, all antennas and towers subject to this section shall to the extent possible be located in accordance with the following prioritization of types of facilities and sites:
 - (a) Antennas on existing towers.
 - (b) Antennas on existing antenna support structures.
 - (c) Antennas on modified or reconstructed towers designed to accommodate the collocation of additional carriers as set forth in Section 4.3.25.G(4) and (5).
 - (d) Towers and antennas on limited replacement/modified light standards, power poles, or other such Antenna Support Structures in a non-residential zoning district (zoning districts other than R-1, R-2, R-3, R-4, RE and Residential PUD).
 - (e) Towers on property controlled and used by a governmental or quasi-governmental entity.
 - (f) New construction and new towers.

Vertex is proposing a new tower.

- C. Permitted use. A communication tower meeting the requirements of this section and Sections 4.3.25.E and 4.3.25.G shall be a permitted use of land requiring administrative review and administrative permit only. A communication tower allowed as a permitted use under this section shall be limited to a maximum of 150 feet in height and shall be a monopole tower. A communication tower which fails to meet the requirements of this section as a permitted use may be permitted by SUP issued by the Board.
 - (1) On designated County property.

- (2) On Federal, State, or municipal property.
- (3) On school sites as designated by the School Board.
- (4) On property with an industrially or commercially designated land use.
- (5) On property within an urban commerce district or specialized commerce district.
- (6) On new structures and replacement structures on electrical substation properties as long as the new structure is setback at least 75 percent of the height away from an existing residential structure and the new structure is no more than 150 feet in height.

As Vertex is proposing a 190' monopole tower, this application is for a Special Use Permit.

- D. Special Use Permit (SUP). No person shall erect or modify an antenna or an antenna support structure, construct a new tower, or modify an existing tower without first obtaining a SUP pursuant to this section, or an administrative permit as set forth herein...

Vertex is applying for a Special Use Permit and the enclosed documents and information within this application will satisfy the requirements for obtaining a SUP herein.

- E. Development standards. The following development standards shall govern the application, consideration and issuance of administrative and SUPs. The applicant shall comply with the following conditions, unless the applicant can demonstrate that the goals of this section are better served by the waiver of these requirements.

- (1) Setbacks and Locational Requirements. The following requirements shall apply to all towers including towers allowed as a permitted use under Section 4.3.25.C; provided, however, that the Board may reduce the requirements if the goals of this section would be better served thereby.
 - (a) Setbacks from Parent Property Lines. Tower setbacks shall be measured from the base of the tower to the property lines of the parent parcel. The tower owner shall provide a lease or deed or recorded fall zone easement covering the certified fall radius, and all towers shall be located on a parcel in such a manner that in the event of collapse, the tower structure and its supporting devices shall be contained within the confines of the property lines of the parent parcel. The fall radius of the tower shall be determined and certified by a Florida Licensed Engineer. Structural Support devices such as peripheral anchors, guy wires or other supporting devices shall be located no closer than 25 feet from any property line of the parent parcel. **Please see the attached Certified Fall Zone Letter and Site Plans, Page A-1 for setback measurements and fall zone radius.**
 - (b) Locational Requirements Relative to Off-Site Uses and Zoning. Towers shall meet the locational requirements set forth in the table below from adjacent and surrounding properties of the parent tract. **Please see Site Plans, Page A-1 for compliance with the locational requirements of the table below.**
 - (c) If the owner of the property where the tower is to be located owns residential units thereon or on surrounding properties (or if such properties are owned by his or her parents or children and they have consented in writing), those units shall not be taken into consideration when calculating the setback and locational requirements in this section. **The owner does own a residential unit on the property. This residential unit was not taken into consideration when calculating setbacks, however, please see Site Plans, page C-1 for a detailed depiction of where the residential unit is located on the parent parcel.**

Table 4.3-2 Tower Locational Requirements

Separation From	Distance
Any adjacent or surrounding residential dwelling	150% of tower height
Any adjacent or surrounding residentially zoned land	100% of tower height
Any off-site agriculturally zoned land	100% of tower height
Public road rights-of-way	100% of tower height
Designated scenic roadways	100% of tower height

- (2) Collocation. All new towers shall be designed and constructed to allow collocation of a minimum of two antennas for monopoles and four antennas for other towers... **Please see Site Plans, page C-3.**
- (3) Tower Clustering. Application for tower clustering shall be filed with the Growth Services Department... **Section not applicable.**
- (4) Landscaping and buffers. Landscaping of tower electrical control equipment facilities shall apply to those sites which are adjacent to or within 330 feet (straight line distance) of a residence or development. A planting area a minimum of four feet wide, around the outside perimeter of the fence around the tower compound shall be established. The area shall be planted with a hedge of native or ornamental evergreen shrubs at least 30 inches in height at planting and capable of growing to at least 40 inches in height within the first growing season. Plants shall be mulched using two inches of material. A drip or low volume/pressure irrigation system or other alternative means of insuring hearty growth of vegetation shall be utilized. These plant materials shall be designed and placed to effectively screen the view of the tower compound from adjacent property. Ornamental trees may be included in the design to achieve this goal. Landscape buffering on the parent parcel shall be installed along the portion of the parent parcel boundaries between the tower and off-site residentially zoned property as necessary to buffer residential property when vegetative buffers are non-existent or provide insufficient screening. Plant materials shall be designed and placed to screen the view of the tower compound. Ornamental trees may be included in the design to achieve this goal. Existing mature tree growth and natural land forms on the property shall be protected and preserved to the maximum extent possible. New trees shall be a minimum of two inches DBH and shall be container grown. Shrubs shall be a minimum of 18—24 inches in height. Plants shall be mulched using two inches of material. All plant material shall be maintained in perpetuity following final inspection and approval. Replacements shall be made annually and coordinated with the Growth Services Director or his designee. The Board may require a greater buffer where appropriate or waive or modify any or all of these requirements if the goals of this section would be better served thereby. **Please see Site Plans, page C-3. Vertex is proposing no landscaping around the compound fence to maximize the preservation of the existing mature landscaping and to provide adequate screening and buffering.**

- (5) Lighting. Towers shall not be artificially lighted except as required by the Federal Aviation Administration (FAA) or other applicable authority... **Please see FAA Determination of No Hazard.**
- (6) Color. Towers shall either maintain a galvanized steel finish, or concrete, or be painted a color so as to reduce visual obtrusiveness, subject to any applicable standards of the FAA, except for camouflage towers. The wiring conduit and coaxial cable shall be designed or painted to reduce visual obtrusiveness. **Please see Site Plans, page C-3 for galvanized steel finish detail.**
- (7) Buildings. At the tower site, the design of the building and related structures shall, to the extent possible, use materials, colors, textures, screening, and landscaping that will blend the tower facilities to the natural setting and built environment. Outdoor storage is not permitted at a tower site. **Vertex understands and will comply with this provision as necessary.**
- (8) Antenna. If an antenna is installed on a structure other than a tower... **Section not applicable.**
- (9) Signage. No signage shall be allowed on any tower, except as required for public safety purposes, or by the Federal Communication Commission (FCC). **Please see Site Plans, page C-6 for sign details.**
- (10) Security fencing. Towers shall be enclosed by security fencing not less than six feet in height and shall also be equipped with an appropriate anti-climbing device; provided, however, that the Board may waive such requirements, as it deems appropriate. **Please see Site Plans, page C-6 for fence details.**
- (11) Inventory of existing sites. In order to encourage collocation of facilities, the Growth Services Department shall maintain a current map of all existing towers and all antenna support structures on which an antenna has been located. To prepare and maintain such a map, at the time of its first application after the effective date of this ordinance, each applicant for an antenna and or new tower shall provide to the Growth Services Department an update of the inventory of the communications company's existing towers and antennas and approved towers that are either within Marion County or within one-quarter mile of the border thereof including municipal boundaries... **Section not applicable. Vertex does not own any inventory of towers within Marion County.**
- (12) Federal requirements. All towers must meet or exceed current standards and regulations of the FAA, the FCC, and any other agency of the federal government with the authority to regulate towers and antennas. If, upon inspection, the Board concludes that a tower fails to comply with such codes and standards and constitutes a danger to persons or property, then upon notice being provided to the owner of the tower, the owner shall have 30 days to bring such tower into compliance with such standards. If the owner fails to bring such tower into compliance within said 30 days, the Board may remove such tower at the expense of the owner and/or landowner. **Vertex understands and always complies with the current standards and regulations of the FAA and the FCC. Please see FAA Determination of No Hazard, FCC Application, and Verizon Wireless Interference Letter.**
- (13) Building Codes; Safety Standards. To ensure the structural integrity of towers, the owner of a tower constructed after April 28, 1998 shall ensure that it is constructed and maintained in compliance with EIA/TIA 222-E Standard, as published by the Electronic Industries Association, which may be amended from time to time, and all standards contained in the County building code and the applicable standards for towers that are published by the Electronic Industries Association, as amended from time to time. If, upon inspection, the Board concludes that a tower fails to comply with such codes and standards and constitutes a danger to persons or property, then upon notice being provided to the owner of the tower, the owner shall have 30 days to bring such tower into compliance with such standards. If the owner fails to bring such tower into compliance within said 30 days, the Board may remove such tower at the expense of the owner and/or landowner. **Please see Site Plans, page GN-1**

- (14) Public notice. For purposes of this section, any SUP for a tower shall require public notice to all abutting property owners and all owners of property that are located within 500 feet of the perimeter of the parent parcel upon which the proposed communication tower is located, including municipalities within one mile of the proposed site and notice to owners of private and public airports within a two-mile radius of the proposed site. Failure of a municipality to respond within 30 days after notification shall be interpreted as no objection. **Vertex understands this provision.**
- F. Permit application. An applicant requesting a new tower permit, a permit to modify an existing tower, or a permit for a new antenna on an antenna support structure or a tower shall include the following:
- (1) Information Required. Each applicant requesting a SUP shall submit a complete application as set forth herein, including a scaled site plan and a scaled elevation view and other supporting drawings, calculations, and other documentation, signed and sealed by appropriate licensed professionals... **Please see all contents of this application package for compliance.**
 - (2) The height of the proposed or modified tower or antenna support structure (including the antenna); **Vertex is proposing a 190' tower with a 4' lightning rod.**
 - (3) For new towers only, the location of the proposed new tower, antenna support structure or modified tower, placed upon an aerial photograph possessing a scale of not more than one inch equals 660 feet (1" = 660'), indicating all adjacent land uses within a radius of 3,000 feet from all property lines of the proposed tower location site. For a permit to modify an existing tower, written documentation that the modified tower can accommodate collocation and will not exceed 40 feet over the tower's existing height. For a new antenna on an antenna support structure or tower, a description of the antenna and antenna support structure with technical reasons concerning its design. **Please see Site Plans, page A-2.**
 - (4) For new towers only, the names, addresses and telephone numbers of all owners of the proposed tower and the location of other towers or usable antenna support structures within a one-half mile radius of the proposed new tower site, and within the geographic area required to meet applicant's engineering requirements (applicant's search ring), including property zoned GU and property that is owned by a government entity within one mile radius of the proposed site, which meets the requirements of Section 4.3.25.C. **There are no other usable antenna support structures, please see Verizon Wireless RF Package.**
 - (5) For new towers only, written approval or a statement of no objection from the FCC, FAA and other state and federal government agencies that regulate towers. In addition, all applications for new towers within a two mile radius of a public or private airport shall demonstrate that the tower location will not interfere with or obstruct the flight path of the airport. **Please see FAA Determination of No Hazard and FCC Application**
 - (6) For new towers only, written documentation demonstrating that the applicant made diligent efforts for permission to collocate on towers, or usable antenna support structures or locate on County owned property located within the applicant's search ring and within a one mile radius of the proposed site, which meets the requirements of Section 4.3.25.C. **There are no other towers or antenna support structures within the search ring or proposed site. See Verizon Wireless RF Package.**
 - (7) A description of the tower, or antenna and antenna support structure with technical reasons concerning its design. **Please see Site Plans for all details of the tower's design. See Verizon Wireless RF Package for details on the coverage objectives needed from this tower.**
 - (8) For new and replacement towers only, written documentation from a qualified radio frequency engineer that the construction and placement of the tower will not interfere with public safety communication and the usual and customary transmission or reception of radio, television, or other communication service. **See Verizon Wireless Non-Interference Letter.**

- (9) Written, technical evidence from an engineer(s) that the proposed antenna tower or structure meets the structural requirements standards as defined in this section. The applicant is required to submit the necessary building plans to the building department. **Please see Site Plans, dated January 31, 2024 signed by Marc P. Maier, Florida Professional Engineer.**
- (10) For new towers only, if volatile, flammable, explosive or hazardous material (such as LP gas, propane, gasoline, natural gas, corrosive or other dangerous chemicals) except standard battery backup systems typically used in the telecommunication industry, are present on the site or in proximity thereto... **Section not applicable**
- (11) For new towers only, 20 copies of the final written report of all experts which the applicant will rely upon to support its application. The applicant may supplement such reports during the public hearing process to address additional issues raised at the public hearings. **Vertex understands and will comply with this requirement as needed during the public hearing process.**
- (12) Payment of all permit fees, as well as other fees and charges assessed by the County (e.g. fees for building permits, site plan review, etc.). The applicant shall pay any reasonable additional costs incurred by the County in processing the application including, without limitation, compensation for engineers (including frequency engineers) or other technical consultants retained by the County. **Vertex understands and will comply as necessary.**

...

H. Abandonment of communication towers:

- (1) Compelling public interest. The Board finds and declares that, because of the national public policy of ensuring that the wireless communications industry and its evolving new technologies are accommodated notwithstanding the undesirable effects that communication towers may have on the aesthetics of communities and neighborhoods, there is a compelling public interest in ensuring that communication towers are promptly disassembled, dismantled, and removed once they are no longer being used. Further, the Board finds that there is substantial risk that towers may cease being used in large numbers if there is a concentration or consolidation of competitors within the industry or if even newer technologies arise, obviating the need for towers. **Vertex understands and will comply as necessary.**
- (2) Abandonment. In the event the use of any communication tower has been discontinued for a period of 180 consecutive days, the tower shall be deemed to be abandoned. Determination of the date of abandonment shall be made by the Growth Services Director, who shall have the right to request documentation and/or affidavits from the communication tower owner/operator regarding the issue of tower usage. Failure or refusal for any reason by the owner/operator to respond within 20 days to such a request shall constitute prima facie evidence that the communication tower has been abandoned. Upon a determination of abandonment and notice thereof to the owner/operator, the owner/operator of the tower shall have an additional 180 days within which to:
 - (a) Reactivate the use of the tower or transfer the tower to another owner/operator who makes actual use of the tower within the 180-day period, or
 - (b) Dismantle and remove the tower. At the earlier of 181 days from the date of abandonment without reactivation or upon completion of dismantling and removal, any approval for the tower shall automatically expire.

Vertex understands and will comply as necessary.

- (3) Duty to Remove Abandoned Towers. Notwithstanding the provisions of Section 4.3.25.H(2), upon abandonment of a communication tower as determined under Section 4.3.25.H(2) by the Growth Services Director and the failure or refusal by the owner/operator of the tower to either reactivate the tower or dismantle and remove it within 180 days as required by Section

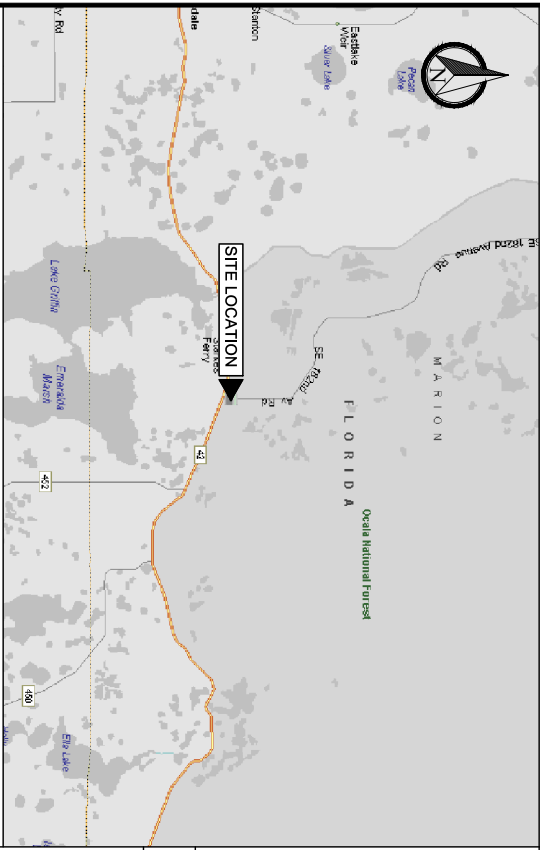
4.3.25.H(2), the following persons or entities (the "responsible parties") shall have the duty jointly and severally to remove the abandoned tower... **Vertex understands and will comply as necessary.**



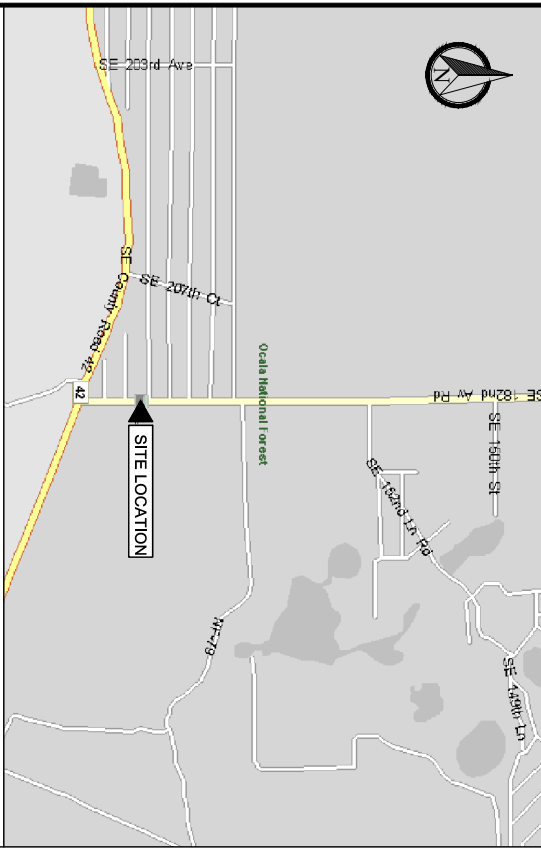
DEVELOPMENT, LLC

3630 W. KENNEDY BOULEVARD
TAMPA, FLORIDA 33609

LOCATION MAP



VICINITY MAP



DRIVING DIRECTIONS

FROM TAMPA INTERNATIONAL AIRPORT:
TAKE GEORGE J BEAN PKWY AIRPORT EXIT ROAD AND HEAD SOUTH TO SR-60 E (MEMORIAL HWY) RAMP. TAKE RAMP ONTO SR-60 E (MEMORIAL HWY) TOWARD TAMPA/-275 N. GO FOR 1.6 MI. TAKE THE EXIT TOWARD TAMPA/-4 ONTO I-275 N (SR-400). GO FOR 20.5 MI. TAKE THE LEFT EXIT TOWARD OCALA ONTO I-75 N (SR-93). GO FOR 54.2 MI. TAKE EXIT 329 TOWARD WILWOOD ONTO SR-44 E (E STATE ROAD 44). GO FOR 2.2 MI. TURN LEFT ONTO COUNTY ROAD 44A (CR-44A W). GO FOR 0.8 MI. TURN LEFT ONTO COUNTY ROAD 221 (CR-221). GO FOR 1.5 MI. TURN RIGHT ONTO E COUNTY ROAD 462 (CR-462). GO FOR 1.8 MI. TURN LEFT ONTO N US HIGHWAY 301 (US-301 N). GO FOR 6.6 MI. TURN RIGHT ONTO SE HIGHWAY 42 (CR-42 E). GO FOR 3.2 MI. CONTINUE ON SE HIGHWAY 42 (CR-42). GO FOR 3.8 MI. CONTINUE ON SE HIGHWAY 42 (CR-42). GO FOR 7.4 MI. TURN LEFT ONTO SE 182ND AV RD. GO FOR 0.2 MI. (CR-42).

APPROVALS

PROPERTY OWNER		DATE
RF ENGINEER		DATE
CONSTRUCTION		DATE
SITE ACQUISITION		DATE
ZONING		DATE
NETWORK		DATE
OPERATIONS		DATE
CONTRACTOR		DATE

PROJECT SUMMARY

1. VERTEX SITE NAME: SUNNYHILL RESTORATION
2. VERTEX SITE NUMBER: FL-5351
3. TYPE OF STRUCTURE: UNMANNED WIRELESS TELECOMMUNICATIONS TOWER 190' MONOPOLE UTILITY
4. TYPE OF DEVELOPMENT: ± 65.0' (NAVD 88)
5. TOWER GROUND ELEVATION: 15733 SE 182ND AVENUE RD
6. SITE ADDRESS: UMATILLA, FL 32784
7. LATITUDE: 28° 59' 40.28" N / 28.994523° N
8. LONGITUDE: 81° 48' 22.25" W / -81.806181° W
9. PROPERTY OWNER: MCWILLEN BRUCE
10. COUNTY: MCWILLEN RODNEY E ET AL
11. PARCEL NUMBER: MARION COUNTY, FLORIDA 50744-000-00
12. PARCEL PORTION OF: S22, T17 SOUTH, R25 E
13. JURISDICTION: MARION COUNTY, FLORIDA
14. ZONING DISTRICT: MARION COUNTY, FLORIDA IMPROVED RESIDENTIAL
15. EXISTING LAND USE: NORTH: A1
16. FUTURE LAND USE: SOUTH: A1
17. ADJACENT PARCEL ZONING: EAST: A1
18. ACTUAL TOWER SETBACKS: WEST: A1
19. PARENT TRACT AREA: NORTH: 326' ±
20. TOTAL PROJECT AREA: SOUTH: 474' ±
21. TOTAL LEASE AREA: WEST: 220' ±
22. TOTAL COMPOUND AREA: EAST: 902' ±
23. TOTAL IMPERVIOUS PROJECT AREA: SOUTH: 4,900 SF
24. PROPOSED TOWER PARKING: WEST: 25.67 ACRES

SUNNYHILL RESTORATION

FL-5351

15733 SE 182ND AVENUE RD

UMATILLA, FL 32784

NEW VERTEX WIRELESS TELECOMMUNICATIONS TOWER

190' MONOPOLE TOWER

DESIGN CRITERIA

- FLORIDA BUILDING CODE 8th EDITION (2023)
- ANSI/EIA/TIA-222-H (ALLOWED PER EXEMPTION #5 OF 1609.1.1)
- ASCE 7-22
- Vult = 131 MPH (ULTIMATE 3 SECOND GUST)
- Vsed = 102 MPH (NOMINAL 3 SECOND GUST)
- RISK CATEGORY= II
- EXPOSURE= C
- IMPORTANCE FACTOR= 1.0
- NATIONAL ELECTRICAL CODE, 2020 EDITION
- FLORIDA FIRE PREVENTION CODE 8th EDITION (2023)
- CONTRACTOR TO CONFIRM THAT THE SITE IS COMPLIANT WITH RF WARNING SIGNAGE & EMERGENCY SIGNAGE AS REQUIRED BY THE FEDERAL GUIDELINES CONTAINED WITH OET 65 BULLETIN & AS PER CLIENT'S GUIDELINES.

CONSTRUCTION NOTES

1. CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.
2. CONTRACTOR SHALL NOTIFY OWNER FOR ACCESS TO SITE.
3. THIS PROJECT CONSISTS OF THE INSTALLATION OF:
NEW WIRELESS TELECOMMUNICATIONS SUPPORT STRUCTURE 190' MONOPOLE TOWER & 2,500 SF FENCED COMPOUND WITHIN A 4,900 SF LEASE AREA FOR AN UNMANNED WIRELESS DATA TELECOMMUNICATIONS FACILITIES.

INDEX OF DRAWINGS

SHT. NO.	DESCRIPTION	REV. NO.
T-1	TITLE SHEET	
GN-1	GENERAL NOTES	
A-1	ARCHITECTURAL / CIVIL PLANS	
A-1	OVERALL AERIAL AND SETBACK PLAN	
A-2	ADJACENT LAND USES	
C-1	EXISTING CONDITIONS	
C-2	PROPERTY DESCRIPTIONS	
C-3	TOWER ELEVATION AND COMPOUND DETAIL	
C-4	OVERALL PLAN	
C-5	GRADING AND DRAINAGE PLAN	
C-6	FENCE AND GATE DETAILS	
C-7	SITE DETAILS	

CONTACTS

APPLICANT / TOWER OWNER / LEASE HOLDER:
VERTEX DEVELOPMENT
3630 W. KENNEDY BLVD.
TAMPA, FL 33609
(813) 335-4768

ENGINEER:
GEN3 ENGINEERING, INC.
27139 SEA BREEZE WAY
WESTLEY CHAPEL, FL 33544
(813) 917-2671
ATTN: DARRYL J. KROEZE, PE

ELECTRIC COMPANY:
SECO ENERGY

SUPERVISOR:
GEOLINE SURVEYING
13430 NW 104TH TERRACE
SUITE A
ALACHUA, FL 32615
(386) 418-0500

CONTRACTOR:
EXPERT CONSTRUCTION MANAGERS
815 SOUTH KINGS AVENUE
BRANDON, FL 33511
(813) 657-8710

ENGINEER:
GEN3 ENGINEERING, INC.
27139 SEA BREEZE WAY
WESTLEY CHAPEL, FL 33544
(813) 917-2671
ATTN: DARRYL J. KROEZE, PE

ELECTRIC COMPANY:
SECO ENERGY

SUPERVISOR:
GEOLINE SURVEYING
13430 NW 104TH TERRACE
SUITE A
ALACHUA, FL 32615
(386) 418-0500

PROJECT INFORMATION

1. THIS IS AN UNMANNED FACILITY AND WILL BE USED FOR THE TRANSMISSION OF RADIO SIGNALS FOR THE PURPOSE OF PROVIDING PUBLIC CELLULAR SERVICE.
2. VERTEX DEVELOPMENT CERTIFIES THAT THIS EQUIPMENT FACILITY WILL BE SERVICED ONLY BY VERTEX DEVELOPMENT OR WIRELESS CARRIER EMPLOYEES AND SUB-CONTRACTORS AND THE WORK ASSOCIATED WITH ANY EQUIPMENT CANNOT BE PERFORMED BY HANDICAPPED PERSONS. THIS FACILITY WILL BE FREQUENTED ONLY BY SERVICE PERSONNEL FOR REPAIR PURPOSES ONLY.
3. NO POTABLE WATER SUPPLY IS TO BE PROVIDED AT THIS LOCATION.
4. NO WASTEWATER WILL BE GENERATED AT THIS LOCATION.
5. NO SOLID WASTE WILL BE GENERATED AT THIS LOCATION.
6. HANDICAP REQUIREMENTS: FACILITY WILL BE UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAP ACCESS NOT REQUIRED.

REV	DATE	DESCRIPTION
A	12/11/23	PRELIMINARY ZDS REV "A"
B	12/18/23	PRELIMINARY ZDS REV "B"
C	01/30/24	PRELIMINARY ZDS REV "C"
0	01/31/24	ISSUED FOR ZONING

GEN3 PROJECT NO.: 102304008
DRAWN BY: YMK
CHECKED BY: MPM

VERTEX
DEVELOPMENT, LLC
3630 WEST KENNEDY BOULEVARD
TAMPA, FLORIDA 33609
PH: (813) 335-4768

EXPERT
CONSTRUCTION MANAGERS
815 SOUTH KINGS AVENUE
BRANDON, FLORIDA 33511
PH: (813) 657-7810

PREPARED BY:
GEN3 ENGINEERING
27139 SEA BREEZE WAY
WESTLEY CHAPEL, FLORIDA 33544
PH: (813) 917-2671
COA # 35409

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED & SEALED BY MARC P. MAIER, P.E., FL LICENSE #72513 USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED & THE ORIGINAL COPIES SHOULD BE VERIFIED ON ANY ELECTRONIC COPIES.

MARC P. MAIER, PE
FEBRUARY 1, 2024
FL PROFESSIONAL ENGINEER LIC. # 72513

SUNNYHILL RESTORATION
FL-5351

15733 SE 182ND AVENUE RD
UMATILLA, FL 32784

SHEET DESCRIPTION
TITLE SHEET

SHEET NUMBER
T-1

General Conditions:

- These Specifications and Construction Drawings are intended to be fully explanatory and complementary. However, should anything be shown, indicated or specified on one and not the other, it shall be the same as if shown, indicated or specified on both.
- The intention of the documents is to include all labor and materials reasonably necessary for the proper execution and completion of the work as indicated in the documents.
- Minor deviations from the design layout are anticipated and shall be considered as part of the work; however, no changes that alter the character intent of the design shall be made or permitted by the Subcontractors, without express written Consent from the Construction Manager.
- The Contractor is solely responsible for all site safety including but not limited to protection of all site personnel and the general public during the entire site construction period. The Contractor shall take all reasonable precautions to place and maintain barricades, lamps, signs, and the like in accordance with OSHA Safety Act and ANSI occupational guidelines.

Conflicts:

- The Contractor and each Subcontractor shall be responsible for verification of all measurements at the site before ordering any materials or performing any work. No Change Order, extra charge or compensation shall be allowed due to difference between actual dimensions and dimensions indicated on the neither Construction Drawings nor Specifications. Any such discrepancy in dimension which may inadvertently occur shall be submitted to the Construction Manager for consideration before the Contractor proceeds with the work in the affected area.

- The Contractor shall contact a subsurface utility locator for location of existing utilities prior to commencement of any construction activities. For assistance in locating existing utilities call "SUNSHINE STATE ONE CALL" at 1-800-638-4097.

- Damage by the Contractor to utilities or property of others, including existing pavement and other surfaces disturbed by the Contractor during construction shall be repaired to pre-construction conditions by the Contractor. For grassed areas seed and mulch shall be acceptable.

Inspections:

- The Contractor shall be solely responsible for ensuring that all relevant authority inspections are carried out in a timely manner.

As-Built Drawings:

- The Contractor shall prepare a red-lined set of As-Built Drawings.

Environmental Protection

- Noise Level: The Contractor shall ensure that state and local regulations are complied with in regard to noise levels produced by his or his sub-Contractor's equipment or methods of construction.

- Dust Control: The Contractor shall take all necessary steps to limit the creation of any dust nuisance that might arise during construction to the satisfaction of the local authorities.

- ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE LAND DEVELOPMENT CODE SHALL BE IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS.

Clean Up:

- The Subcontractors shall at all times keep the site free from accumulation of waste materials or rubbish caused by their employees at work, and at the completion of the work, they shall remove all rubbish from and about the building, including all tools, scaffolding and surplus materials, and shall leave the work clean and ready for use.

Code Compliance:

- All materials, design, and workmanship shall be in accordance with all applicable codes (some of which are listed below), ordinances, and authorities having jurisdiction over the work. Where no codes exist, the work shall conform to the Florida Building Code 7th Edition (2020), and/or the specifications herein, whichever is more stringent.

- City/County Building Codes
- Florida Building Code 8th Edition (2023)
- EA/ATIA-222 Rev. H
- Florida Fire Prevention Code 8th Edition (2023)
- Life Safety Code 101
- National Electric Code 2020
- American Institute of Steel Construction Specifications
- American Welding Society
- American Concrete Institute
- Federal Aviation Authority Regulations
- Federal Communications Commission Regulations
- American National Standards Institute
- American Society for Testing and Materials
- National Underwriter's Laboratories

- It is the Subcontractor's responsibility to verify compliance with the governing codes and to notify the Construction Manager of any discrepancies prior to performing work. Reference to any standard or code of practice in this specification shall be deemed to mean the edition current at the time of award of the contract.

Site Work:

- The Contractor is required to maintain all ditches, pipes, and other drainage structures free from obstruction until work is accepted. The Contractor is responsible for any damages caused by failure to maintain drainage structure in operable condition.

Structural:

- All cast in place concrete shall be mixed and placed in accordance with the requirements of ACI 318 and ACI 301, and shall have a 28 day minimum compressive strength of 4000 PSI. Concrete shall be placed against undisturbed soil unless otherwise noted. Minimum concrete cover shall be 3 inches.
- Each new communication tower must be designed and constructed so that in the event a tower falls it will collapse only within the property lines of the lot on which the tower is located. All applications for development approval shall provide verification of compliance with this design requirement from an engineer registered by the State of Florida. In addition, the construction of new communication towers shall comply with all county construction codes.

- All reinforcing steel shall conform to ASTM 615 grade 60, deformed billet steel bars. Welded wire fabric reinforcing shall conform to ASTM A185.

- Florida Building Code 8th Edition (2023)
- FBC Specifications: Risk Category II
- TIA Specifications: Structure Class = 2; Exposure = C; Topographic Category 1
- Wind Loads (ASCE 7-22)
- 131 mph ultimate design wind speed per FBC 8th Edition (2023)
- 102 mph nominal design wind speed per FBC 8th Edition (2023)

Site Notes

- ALL TELECOMMUNICATIONS TOWERS (TOWERS), ANTENNAS, AND EQUIPMENT SHALL COMPLY WITH THE MARION COUNTY COMPREHENSIVE PLAN AND LAND DEVELOPMENT REGULATIONS; ALL APPLICABLE FIRE SAFETY CODES, BUILDING CODES, AND TECHNICAL CODES ADOPTED BY MARION COUNTY; ALL APPLICABLE FEDERAL AND STATE REGULATIONS; AND FAA AND FCC.
- THE TOWER WILL BE DESIGNED AT A MAXIMUM HEIGHT OF 190 FEET ABOVE GROUND LEVEL.
- ALL NEW TOWER BASES, GUY ANCHORS, OUTDOOR EQUIPMENT, ACCESSORY BUILDINGS, AND ACCESSORY STRUCTURES SHALL BE FENCED.
- TOWER LIGHTING, TOWERS SHALL NOT BE ARTIFICIALLY LIGHTED EXCEPT AS REQUIRED BY THE FAA OR OTHER APPLICABLE AUTHORITY.
- THE TOWER AND ANTENNAS MUST MEET THE RADIATION EMISSION STANDARDS SET BY THE FCC.
- COLLOCATION, THE MONOPOLE TOWER WILL BE DESIGNED TO ACCOMMODATE THE FUTURE ANTENNAS OF FOUR (4) WIRELESS TELECOMMUNICATIONS CARRIERS AT VARYING ELEVATIONS.
- PARKING AND TRAFFIC TRAFFIC TO THE TOWER SITE IS APPROXIMATELY ONE TRIP PER CARRIER PER MONTH. AREAS SUFFICIENT FOR THE TEMPORARY OFF-STREET PARKING FOR ONE (1) VEHICLE HAS BEEN PROVIDED.
- TOWER THAT IS VOLUNTARILY NOT USED FOR COMMUNICATIONS FOR A PERIOD OF ONE (1) YEAR SHALL BE REMOVED AT THE TOWER OWNERS EXPENSE.
- UTILITIES: TOWER DOES NOT REQUIRE ANY WATER, WASTEWATER, OR SOLID WASTE DISPOSAL.
- ALL OWNERS OF APPROVED TOWERS ARE JOINTLY AND SEVERALLY LIABLE AND RESPONSIBLE FOR ANY DAMAGE CAUSED TO OFF-SITE PROPERTY AS A RESULT OF A COLLAPSE OF ANY TOWER OWNED BY THEM.
- AT THE TOWER SITE, THE DESIGN OF ANY BUILDINGS AND RELATED STRUCTURES SHALL, TO THE EXTENT POSSIBLE, USE MATERIALS, COLORS, TEXTURES, SCREENING, AND LANDSCAPING THAT WILL BLEND THE TOWER FACILITIES TO THE NATURAL SETTING AND BUILT ENVIRONMENT. OUTDOOR STORAGE IS NOT PERMITTED AT A TOWER SITE.
- THE APPROVAL OF THESE CONSTRUCTION PLANS DOES NOT AUTHORIZE CONSTRUCTION OF REQUIRED IMPROVEMENTS WHICH ARE INCONSISTENT OF THE EASEMENT OF RECORD.
- THE CONSTRUCTION OF THIS FACILITY WILL NOT IMPACT TO THE 100 YEAR FLOOD PLAN.
- COLOR, TOWERS SHALL EITHER MAINTAIN A GALVANIZED STEEL FINISH, OR CONCRETE, OR BE PAINTED A COLOR SO AS TO REDUCE VISUAL OBTRUSIVENESS, SUBJECT TO ANY APPLICABLE STANDARDS OF THE FAA, EXCEPT FOR CAMOUFLAGE TOWERS.

REV	DATE	DESCRIPTION
A	12/11/23	PRELIMINARY ZDS REV "A"
B	12/18/23	PRELIMINARY ZDS REV "B"
C	01/30/24	PRELIMINARY ZDS REV "C"
0	01/31/24	ISSUED FOR ZONING

GEN3 PROJECT NO.:	102304008
DRAWN BY:	YMK
CHECKED BY:	MPM

VERTEX
 DEVELOPMENT, LLC
 3630 WEST KENNEDY BOULEVARD
 TAMPA, FLORIDA 33609
 PH: (813) 335-4768

EXPERT
 ENGINEERING
 815 SOUTH KINGS AVENUE
 BRANDON, FLORIDA 33511
 PH: (813) 657-7810

GEN3
 ENGINEERING
 27139 SEA BREEZE WAY
 WESLEY CHAPEL, FLORIDA 33544
 PH: (813) 917-2671
 COA # 35409

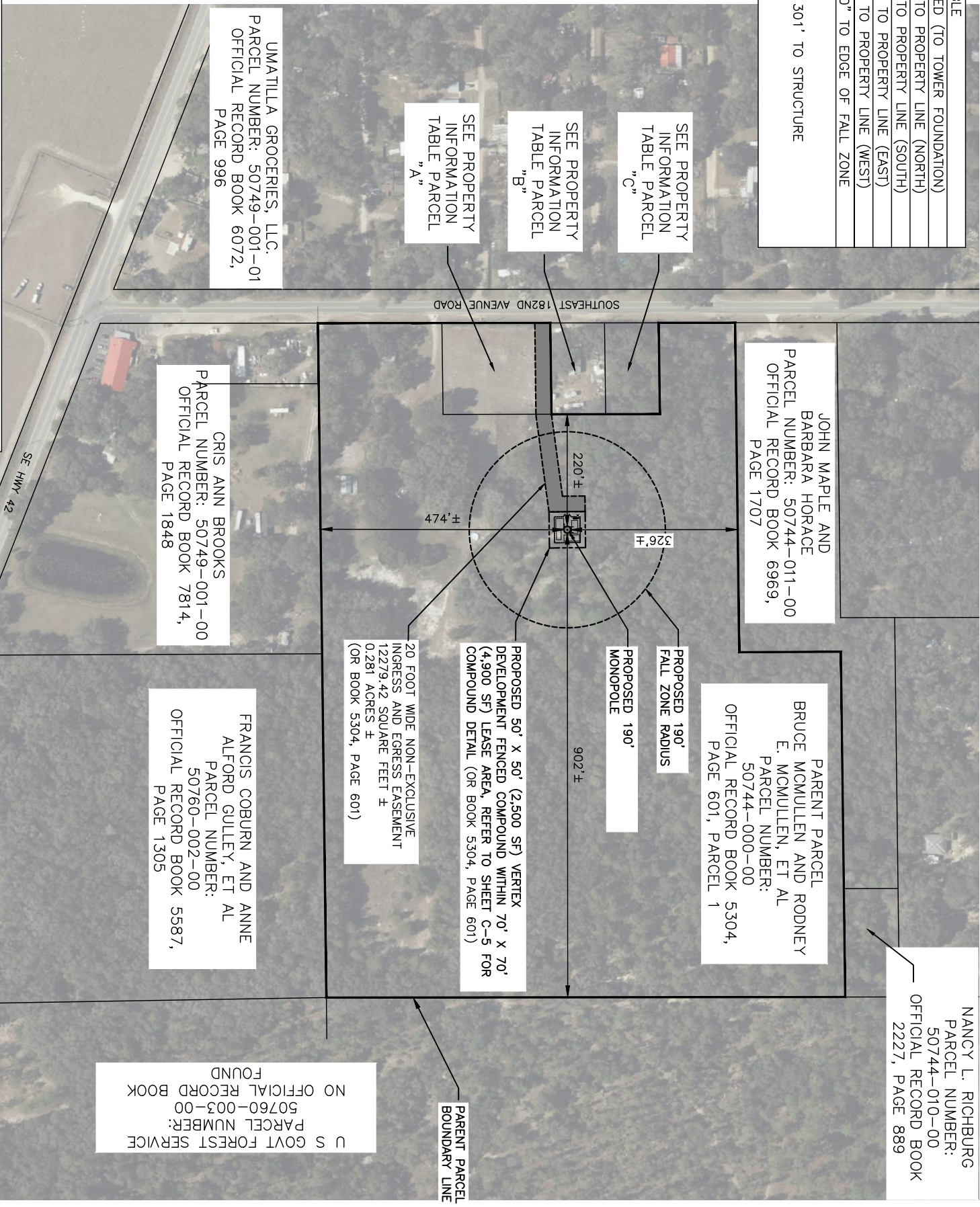
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED & SEALED BY MARC P. MAIER, P.E., FL LICENSE #72513 USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED & THE ORIGINAL COPIES BE VERIFIED ON ANY ELECTRONIC COPIES.

MARC P. MAIER, PE
 FEBRUARY 1, 2024
 FL PROFESSIONAL ENGINEER LIC. # 72513

SUNNYHILL RESTORATION
 FL-5351
 15733 SE 182ND AVENUE RD
 UMATILLA, FL 32784

GENERAL NOTES
 SHEET NUMBER
GN-1

SETBACK TO:	REQUIRED:	PROVIDED (TO TOWER FOUNDATION)
TOWER TO PARENT PARCEL	190' TO PROPERTY LINE	326'± TO PROPERTY LINE (NORTH)
PROPERTY LINE	190' TO PROPERTY LINE	474'± TO PROPERTY LINE (SOUTH)
FALL ZONE	190' TO PROPERTY LINE	902'± TO PROPERTY LINE (EAST)
ANY ADJACENT OR SURROUNDING RESIDENTIAL DWELLING	190' TO PROPERTY LINE	220'± TO PROPERTY LINE (WEST)
		190'-0" TO EDGE OF FALL ZONE
	285' TO STRUCTURE	301' TO STRUCTURE



PROPERTY INFORMATION TABLE		
PARCEL "A"	PARCEL "B"	PARCEL "C"
BRUCE MCMULLEN AND RODNEY E. MCMULLEN, ET AL PARCEL NUMBER: 50745-000-00 OFFICIAL RECORD BOOK 5304, PAGE 601, PARCEL 2	CARROLL JUNIOR CROSBY, JR. PARCEL NUMBER: 50746-001-00 OFFICIAL RECORD BOOK 2036, PAGE 986	JAMES B. MCMULLEN AND BRUCE MCMULLEN, ET AL PARCEL NUMBER: 50746-000-00 OFFICIAL RECORD BOOK 5304, PAGE 601, PARCEL 3

1 OVERALL AERIAL

11x17 SCALE: 1" = 250'
24x36 SCALE: 1" = 125'



REV	DATE	DESCRIPTION
A	12/11/23	PRELIMINARY ZDS REV "A"
B	12/18/23	PRELIMINARY ZDS REV "B"
C	01/30/24	PRELIMINARY ZDS REV "C"
0	01/31/24	ISSUED FOR ZONING

GEN3 PROJECT NO.: 102304008
DRAWN BY: YMK
CHECKED BY: MPM

VERTEX
DEVELOPMENT, LLC
3630 WEST KENNEDY BOULEVARD
TAMPA, FLORIDA 33609
PH: (813) 335-4768

EXPERT
815 SOUTH KINGS AVENUE
BRANDON, FLORIDA 33511
PH: (813) 657-7810

GEN3
ENGINEERING
27139 SEA BREEZE WAY
WESLEY CHAPEL, FLORIDA 33544
PH: (813) 917-2671
COA # 35409

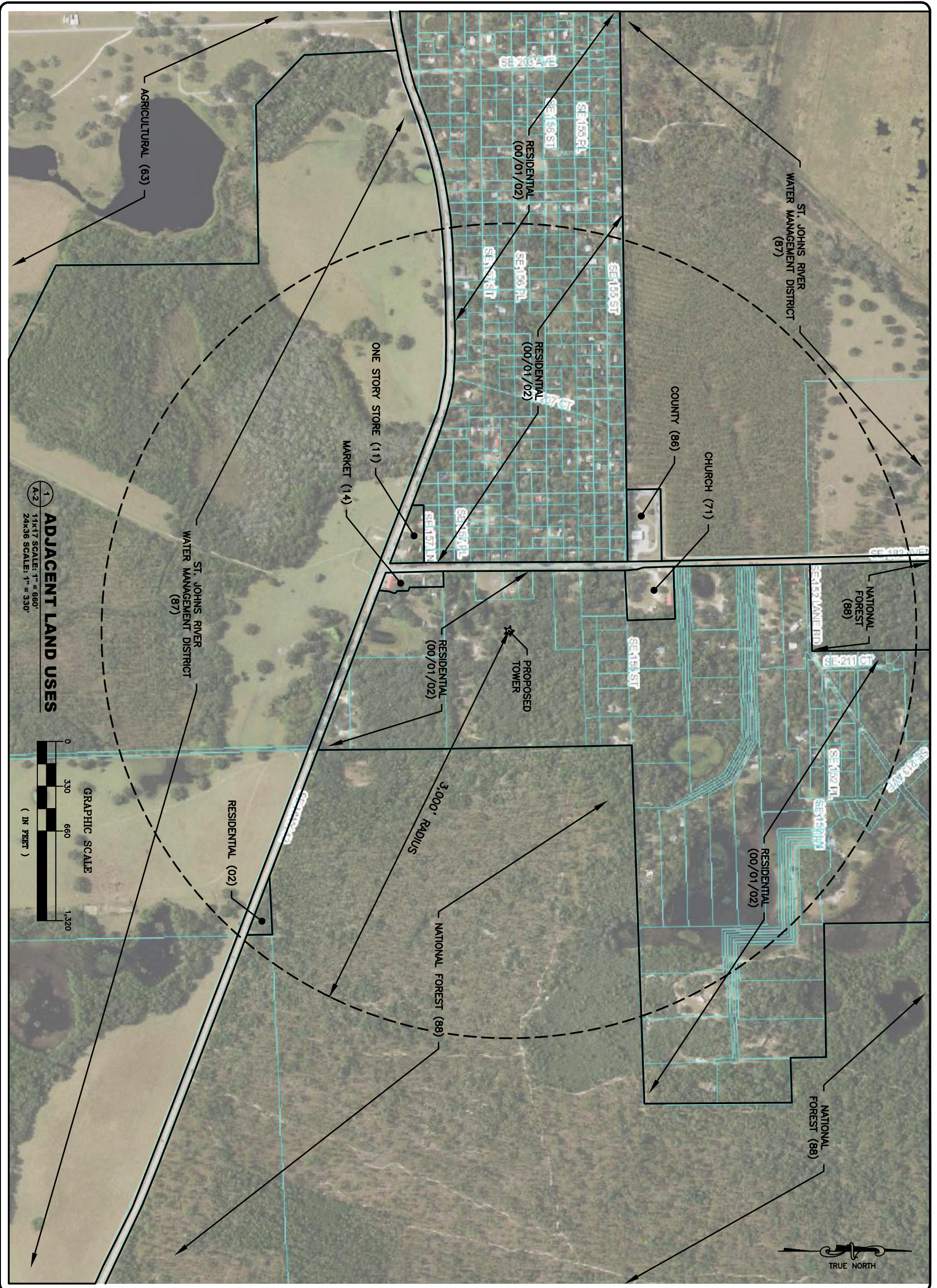
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED & SEALED BY MARC P. MAIER, P.E., FL LICENSE #72513 USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED & THE ELECTRONIC COPIES.

MARC P. MAIER, PE
FEBRUARY 1, 2024
FL PROFESSIONAL ENGINEER LIC. # 72513

SUNNYHILL RESTORATION FL-5351
15733 SE 182ND AVENUE RD
UMATILLA, FL 32784

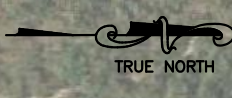
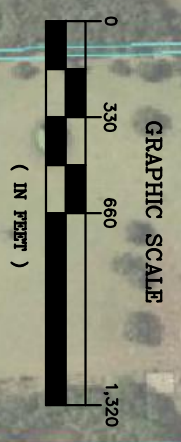
SHEET DESCRIPTION
OVERALL AERIAL AND SETBACK PLAN

SHEET NUMBER
A-1



1
A-2
11x17 SCALE: 1" = 660'
24x36 SCALE: 1" = 330'

ADJACENT LAND USES



REV	DATE	DESCRIPTION
A	12/11/23	PRELIMINARY ZDS REV "A"
B	12/18/23	PRELIMINARY ZDS REV "B"
C	01/30/24	PRELIMINARY ZDS REV "C"
0	01/31/24	ISSUED FOR ZONING

VERTEX
DEVELOPMENT, LLC
3630 WEST KENNEDY BOULEVARD
TAMPA, FLORIDA 33609
PH: (813) 335-4768

EXPERT
815 SOUTH KINGS AVENUE
BRANDON, FLORIDA 33511
PH: (813) 657-7810

GEN3
ENGINEERING
27139 SEA BREEZE WAY
WESLEY CHAPEL, FLORIDA 33544
PH: (813) 917-2671
COA # 35409

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED & SEALED BY MARC P. MAIER, P.E., FL LICENSE #72513 USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED & THE ELECTRONIC COPIES.

MARC P. MAIER, PE
FEBRUARY 1, 2024
FL PROFESSIONAL ENGINEER LIC. # 72513

SUNNYHILL RESTORATION
FL-5351

15733 SE 182ND AVENUE RD
UMATILLA, FL 32784

SHEET DESCRIPTION

ADJACENT LAND USES

SHEET NUMBER

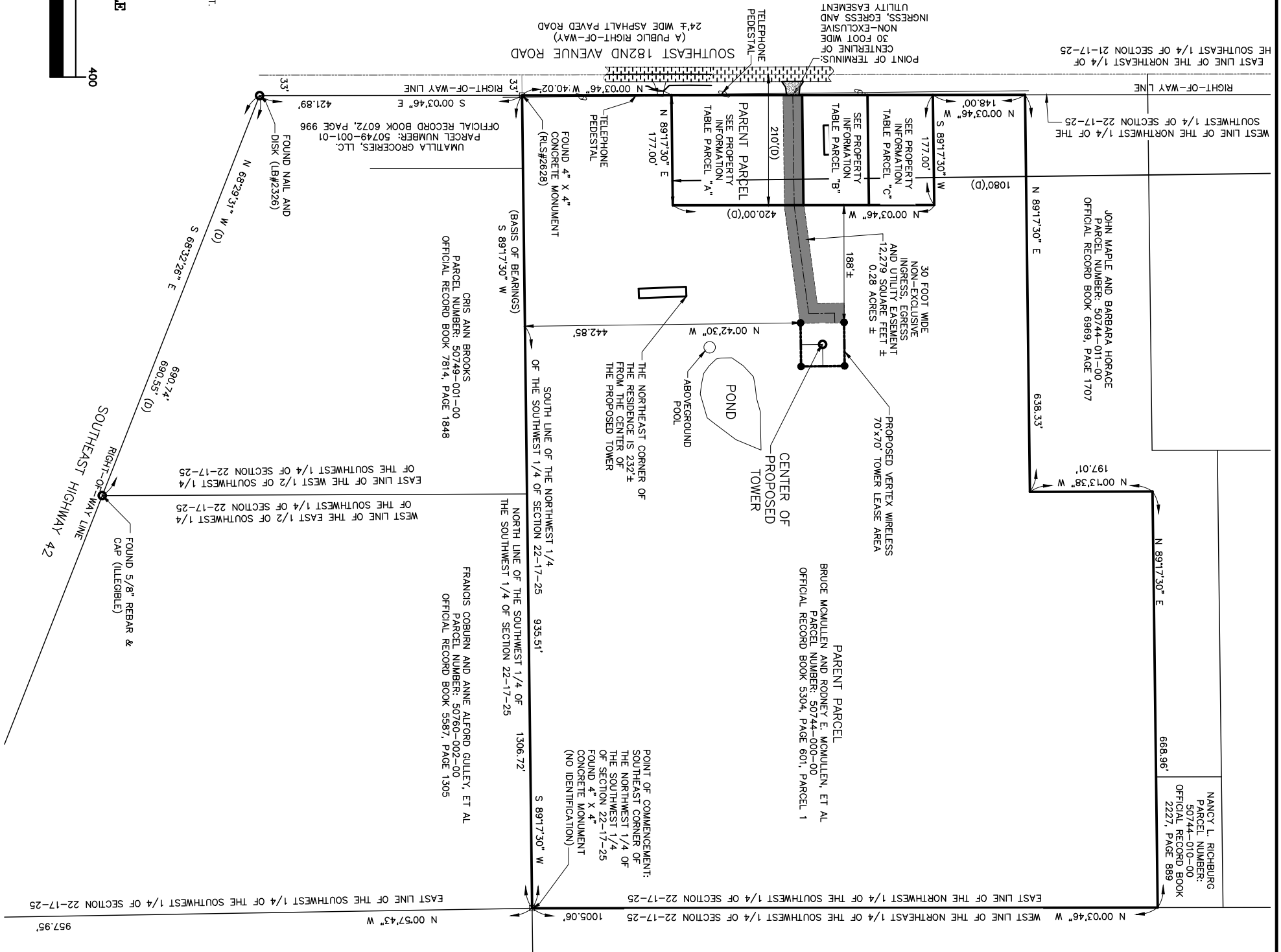
A-2



CALL FLORIDA 811
 ONE CALL - DIAL 811
 CALL 3 WORKING DAYS
 BEFORE YOU DIG
 1-800-638-4097

- LEGEND**
- INDICATES SET 1/2" REBAR WITH GEOLINE LB 7082 CAP
 - INDICATES FOUND IRON PIN AS NOTED
 - INDICATES CONCRETE MONUMENT AS NOTED
 - ⊕ INDICATES WOOD UTILITY POLE
 - ⊗ INDICATES RECORD DESCRIPTION DATA
 - INDICATES OVERHEAD UTILITY LINE
 - INDICATES 4" TALL BARBED WIRE FENCE
 - ▨ INDICATES ASPHALT

NAD'88 = NORTH AMERICAN VERTICAL DATUM, 1988 ADJUSTMENT.
 NGVD'29 = NATIONAL GEODETIC VERTICAL DATUM, 1929 ADJUSTMENT.
 NAD'83 = INDICATES NORTH AMERICAN DATUM, 1983 ADJUSTMENT.
 NAD'27 = INDICATES NORTH AMERICAN DATUM, 1927 ADJUSTMENT.



CENTER OF PROPOSED TOWER INFORMATION:

NAD'83
 LATITUDE = 28°59'40.28" N ±20"
 LONGITUDE = 81°48'22.25" W ±20"
 NAD'27
 LATITUDE = 28°59'39.34" N ±20"
 LONGITUDE = 81°48'22.96" W ±20"
 GROUND ELEVATION = 66.0 ± 3.3' NGVD'29
 GROUND ELEVATION = 66.0 ± 3.3' NGVD'29

DISTANCES ARE FROM THE EDGE OF PROPOSED TOWER FOUNDATION TO THE PARENT PARCEL LINES:

NORTH LINE = 326 ±
 EAST LINE = 902 ±
 SOUTH LINE = 474 ±
 WEST LINE = 220 ±

U S GOVT FOREST SERVICE
 PARCEL NUMBER: 50760-003-00
 NO OFFICIAL RECORD BOOK FOUND

FLOOD NOTE

ACCORDING TO ANY INTERPRETATION OF COMMUNITY PANEL NUMBER 120160 0935 D OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) FOR MARION COUNTY, FLORIDA, DATED 8/28/2008, THE SUBJECT PROPERTY IS IN FLOOD ZONE "X" IE "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".

SURVEYOR'S NOTES

1. BEARINGS HEREON ARE REFERENCED TO THE ASSUMED BEARING OF SOUTH 89°17'30" WEST ALONG THE SOUTH LINE OF THE PARENT PARCEL, ALSO BEING THE SOUTH LINE OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 17 SOUTH, RANGE 25 EAST, MARION COUNTY, FLORIDA.
2. UNDERGROUND UTILITIES SHOWN HEREON ARE LIMITED TO AND ARE PER OBSERVED. ABOVEGROUND INDICATIONS SET BY OTHERS, NO SUB-SURFACE INVESTIGATION WAS PERFORMED BY THIS OFFICE.
3. THE BOUNDARY AND TOPOGRAPHIC SURVEY SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS AND OBSERVATIONS DATED SEPTEMBER 26, 2023.
4. REPRODUCTIONS OF THIS SKETCH ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
5. THE PURPOSE OF THIS SURVEY IS TO ESTABLISH AND DESCRIBE A TOWER PARCEL AND ASSOCIATED EASEMENTS. THIS IS NOT A BOUNDARY SURVEY OF THE PARENT PARCEL.
6. LATITUDE, LONGITUDE AND ELEVATIONS DEPICTED HEREON ARE BASED UPON GPS OBSERVATIONS MADE WITH AN EGPS REAL TIME KINEMATIC GPS SYSTEM INCORPORATING A CHAMPION TWO GPS RECEIVER.
7. ELEVATIONS DEPICTED HEREON ARE REFERENCED TO THE NAD'88 DATUM.
8. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMMITMENT FOR TITLE INSURANCE. THIS OFFICE HAS NOT PERFORMED A SEARCH OF THE PUBLIC RECORDS FOR EXISTING EASEMENTS, RIGHTS-OF-WAY, ABANDONMENTS, ZONING, SETBACKS OR DEED RESTRICTIONS.



1 EXISTING CONDITIONS
 1"X17 SCALE: 1" = 200'
 24X36 SCALE: 1" = 100'

REV	DATE	DESCRIPTION
A	12/11/23	PRELIMINARY ZDS REV "A"
B	12/18/23	PRELIMINARY ZDS REV "B"
C	01/30/24	PRELIMINARY ZDS REV "C"
0	01/31/24	ISSUED FOR ZONING

GEN3 PROJECT NO.: 102304008
 DRAWN BY: YMK
 CHECKED BY: MPM

VERTEX
 DEVELOPMENT, LLC
 3630 WEST KENNEDY BOULEVARD
 TAMPA, FLORIDA 33609
 PH: (813) 335-4768

EXPERT
 815 SOUTH KINGS AVENUE
 BRANDON, FLORIDA 33511
 PH: (813) 657-7810

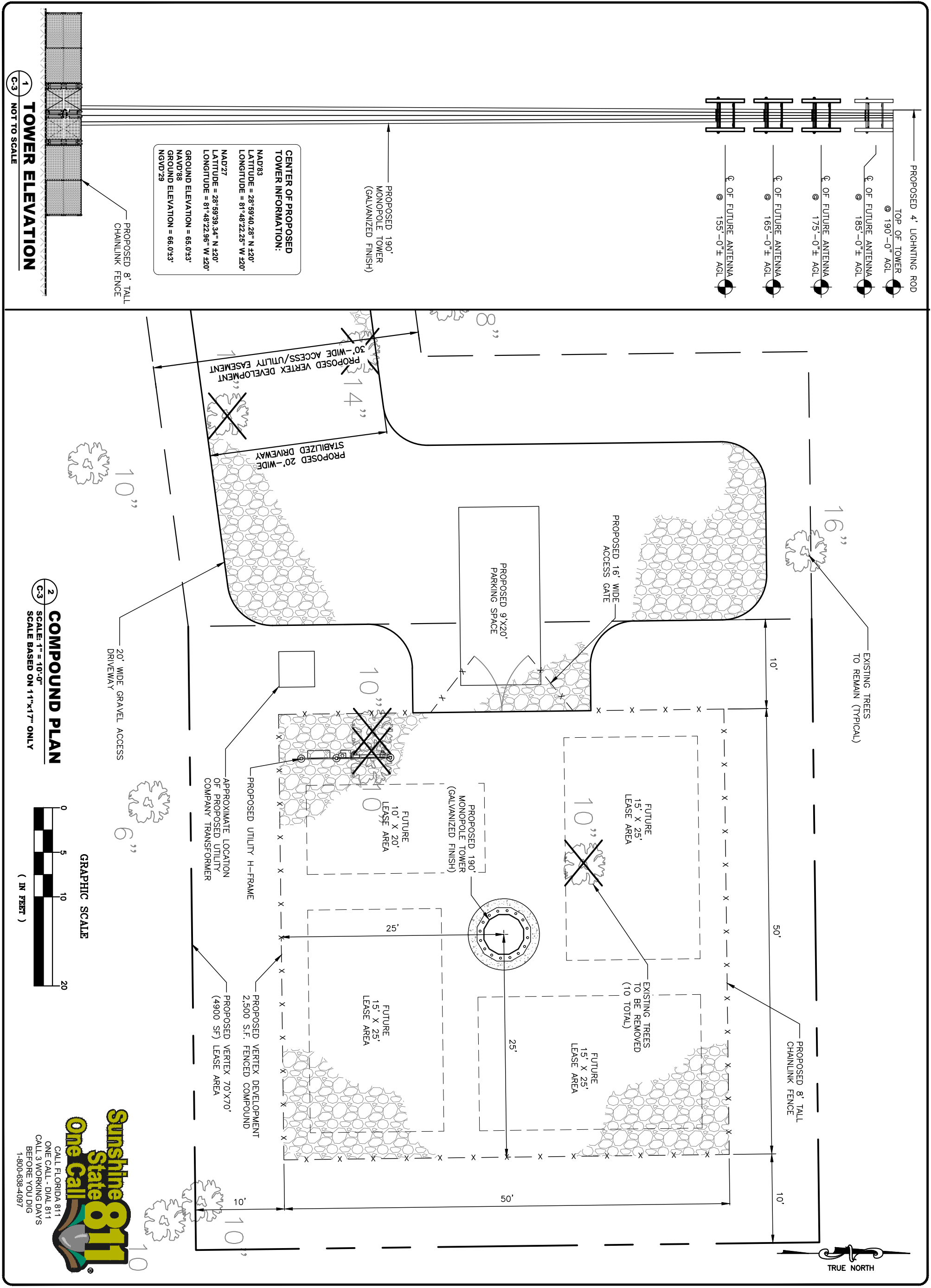
GEN3 ENGINEERING
 27139 SEA BREEZE WAY
 WESTLEY CHAPEL, FLORIDA 33544
 PH: (813) 917-2671
 COA # 35409

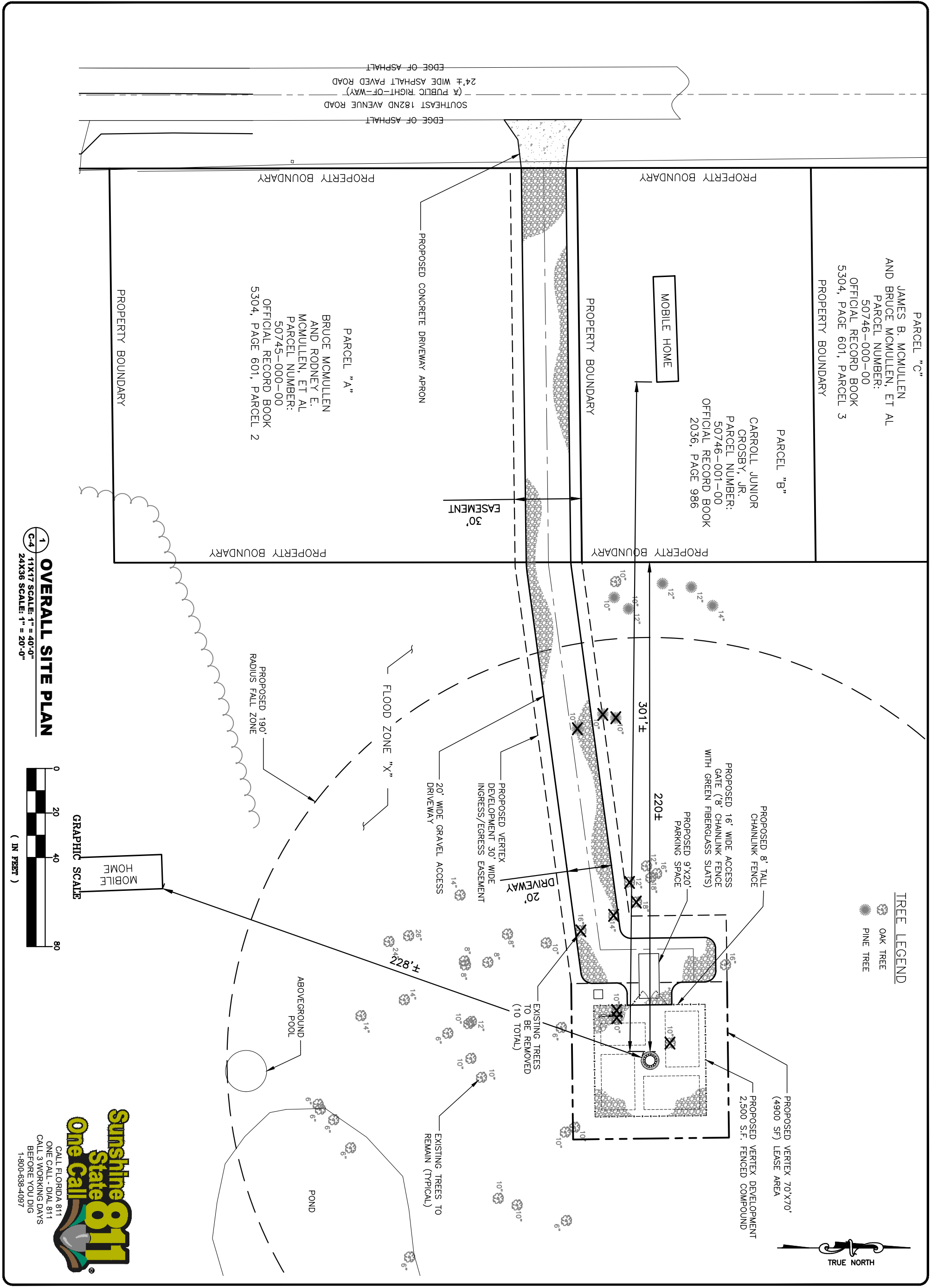
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED & SEALED BY MARC P. MAIER, P.E., FL LICENSE #72513 USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED & THE ORIGINAL COPIES.

MARC P. MAIER, PE
 FEBRUARY 1, 2024
 FL PROFESSIONAL ENGINEER LIC. # 72513

SUNNYHILL RESTORATION FL-5351
 15733 SE 182ND AVENUE RD
 UMATILLA, FL 32784

SHEET DESCRIPTION
EXISTING CONDITIONS
 SHEET NUMBER
C-1





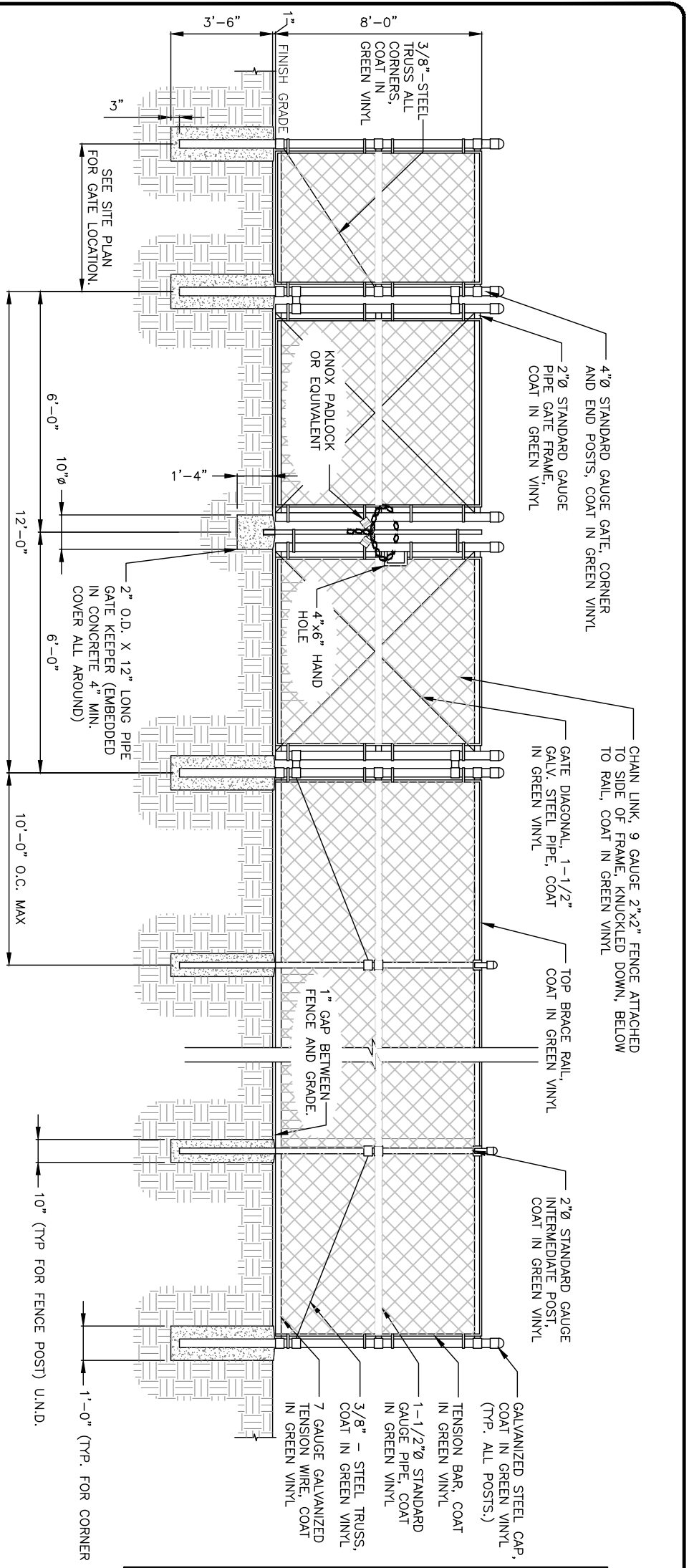
REV	DATE	DESCRIPTION
A	12/11/23	PRELIMINARY ZDS REV "A"
B	12/18/23	PRELIMINARY ZDS REV "B"
C	01/30/24	PRELIMINARY ZDS REV "C"
0	01/31/24	ISSUED FOR ZONING

GEN3 PROJECT NO.:	102304008
DRAWN BY:	YMK
CHECKED BY:	MPM

<p>3630 WEST KENNEDY BOULEVARD TAMPA, FLORIDA 33609 PH: (813) 335-4768</p>	<p>815 SOUTH KINGS AVENUE BRANDON, FLORIDA 33511 PH: (813) 657-7810</p>
--	---

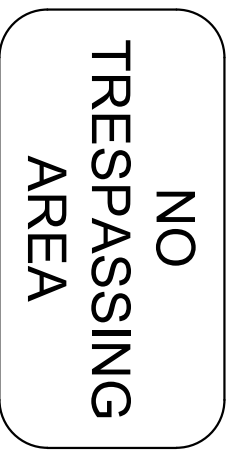
<p>PREPARED BY:</p> <p>27139 SEA BREEZE WAY WESTLEY CHAPEL, FLORIDA 33544 PH: (813) 917-2671 COA # 35409</p>	<p>THIS ITEM HAS BEEN ELECTRONICALLY SIGNED & SEALED BY MARC P. MAIER, P.E., FL LICENSE #72513 USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED & THE ELECTRONIC COPIES.</p>
---	---

<p>STATE OF FLORIDA PROFESSIONAL ENGINEER No 72513 MARC P. MAIER LICENSE</p> <p>FEBRUARY 1, 2024 MARC P. MAIER, PE FL PROFESSIONAL ENGINEER LIC. # 72513</p>	<p>SUNNYHILL RESTORATION FL-5351</p> <p>15733 SE 182ND AVENUE RD UMATILLA, FL 32784</p> <p>OVERALL SITE PLAN</p> <p>SHEET NUMBER C-4</p>
--	--



- NOTES:**
1. ALL CHAIN LINK FENCE WALLS TO BE STRUNG THROUGH STRETCHER BARS AND ATTACHED TO END POST WITH CLIP.
 2. ALL CHAIN LINK FENCE ALONG PIPE FRAME TO BE WIRE TIED.
 3. ALL WELD POINTS SHALL BE CLEANED AND PAINTED WITH POWDERED ZINC PRIMER, THEN COAT ALL METAL IN GREEN VINYL.
 4. ALL CORNER POSTS SHALL BE GALVANIZED STEEL PIPE AS A SCHEDULE 40 AND ALL LINE POST SHALL BE GALVANIZED STEEL, COATED IN GREEN VINYL.
 5. GATE SHALL HAVE HEAVY DUTY HINGES AND MULTIPLE LOCKING DEVICES.
 6. SPLICES SHOULD ONLY OCCUR AT CROSS-RAILS.
 7. CAP TOPS OF UPRIGHTS SHALL EITHER HAVE A CONTINUOUS WELD OR HAVE "SET SCREWS" SO THEY CAN NOT BE REMOVED.
 8. USE ONLY A HEAVY DUTY LATCH ON GATE.
 9. CONCRETE FOR FOOTINGS TO HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
 10. LOCATE FENCE AS SHOWN ON SITE PLAN.

1 **COMPOUND GATE & FENCE DETAIL**
SCALE: N.T.S.



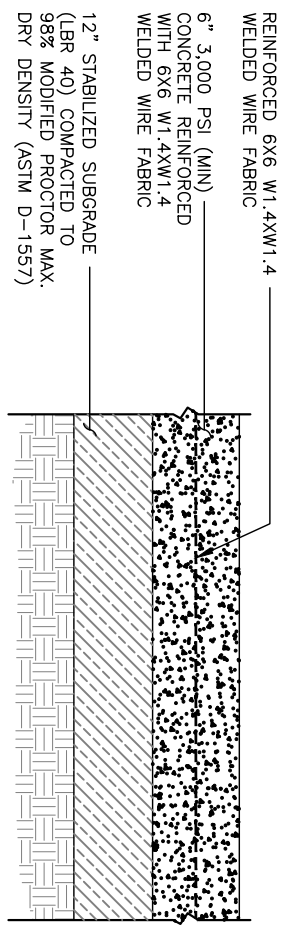
VERTEX
DEVELOPMENT, LLC

SUNNYHILL RESTORATION
FL-5351
15733 SE 182ND AVENUE RD
UMATILLA, FL 32784

FCC ASR #: XXXXXX
LAT = 28°59'40.28" N LONG = 81°48'22.25" W
EMERGENCY CONTACT: 813-335-4768

- SIGNAGE NOTES:**
1. "NO TRESPASSING" SIGNAGE SHALL BE INSTALLED ON EVERY SIDE, NO MORE THAN 40' APART.
 2. THE HEIGHT OF THE LETTERING OF THE WARNING SIGNS SHALL BE AT LEAST 12 INCHES. THE WARNING SIGNS SHALL BE INSTALLED AT LEAST FIVE FEET ABOVE FINISHED GRADE.

2 **SIGNAGE DETAIL**
SCALE: N.T.S.



- NOTES:**
1. CONCRETE MATERIALS, CONSTRUCTION AND TESTING SHALL MEET ALL APPLICABLE FDOT SPECIFICATIONS.
 2. SUBGRADE STABILIZATION SHALL BE PER FDOT SPECIFICATIONS SECTION 160.
 3. DENSITY REQUIREMENTS SHALL BE AS INDICATED ABOVE.
 4. THIS DETAIL TO BE UTILIZED FOR CONCRETE PAVEMENT CONSTRUCTION ON-SITE.

3 **DRIVEWAY APRON CONCRETE PAVEMENT SECTION**
SCALE: N.T.S.

REV	DATE	DESCRIPTION
A	12/11/23	PRELIMINARY ZDS REV "A"
B	12/18/23	PRELIMINARY ZDS REV "B"
C	01/30/24	PRELIMINARY ZDS REV "C"
0	01/31/24	ISSUED FOR ZONING

GEN3 PROJECT NO.: 102304008
DRAWN BY: YMK
CHECKED BY: MPM

VERTEX
DEVELOPMENT, LLC

3630 WEST KENNEDY BOULEVARD
TAMPA, FLORIDA 33609
PH: (813) 335-4768

EXPERT
ENGINEERING

815 SOUTH KINGS AVENUE
BRANDON, FLORIDA 33511
PH: (813) 657-7810

GEN3
ENGINEERING

27139 SEA BREEZE WAY
WESLEY CHAPEL, FLORIDA 33544
PH: (813) 917-2671
COA # 35409

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED & SEALED BY MARC P. MAIER, P.E., FL LICENSE #72513 USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED & THE ORIGINAL COPIES.

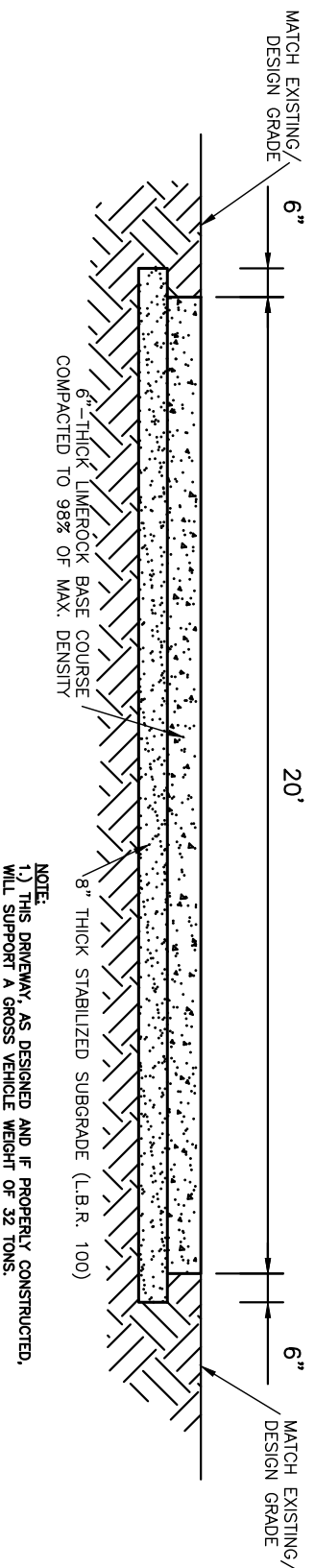
STATE OF FLORIDA
PROFESSIONAL ENGINEER
MARC P. MAIER
No 72513
FEBRUARY 1, 2024
FL PROFESSIONAL ENGINEER LIC. # 72513

SUNNYHILL RESTORATION
FL-5351

15733 SE 182ND AVENUE RD
UMATILLA, FL 32784

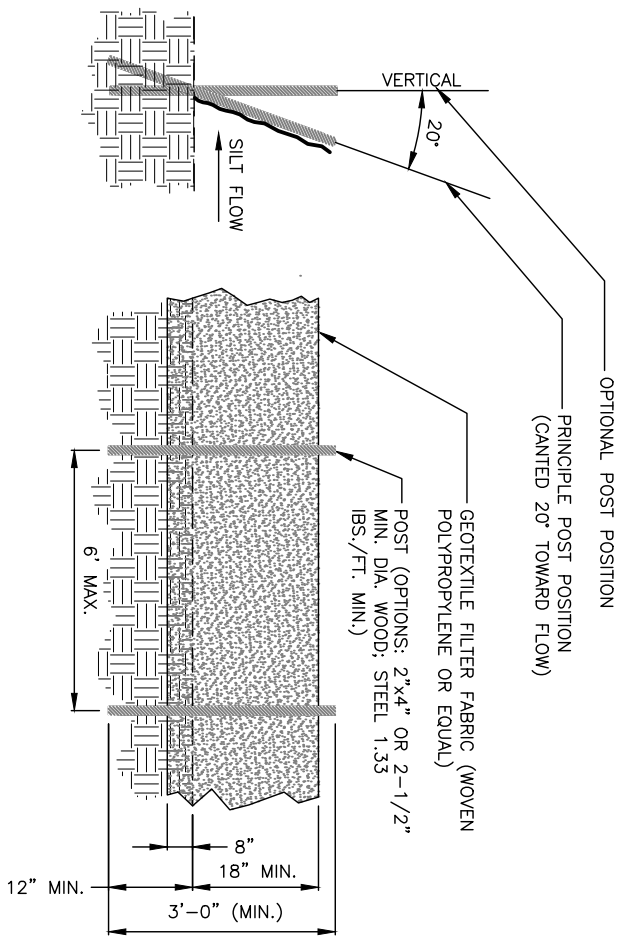
FENCE & GATE DETAILS

SHEET NUMBER
C-6



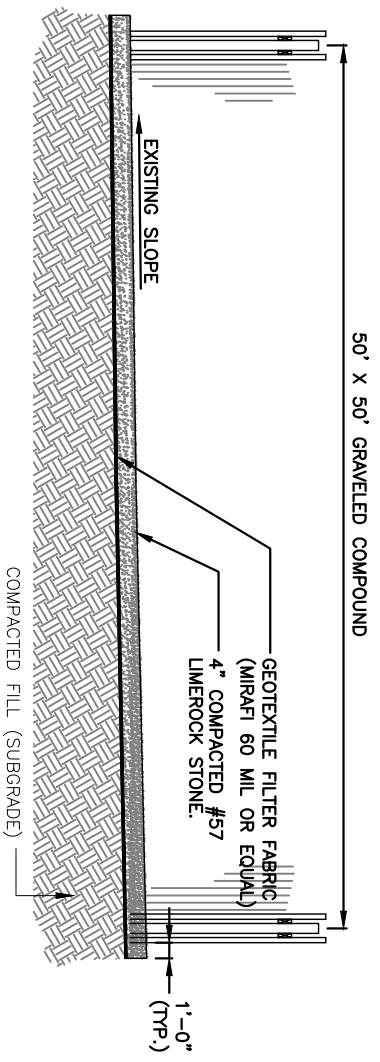
NOTE:
1.) THIS DRIVEWAY AS DESIGNED AND IF PROPERLY CONSTRUCTED, WILL SUPPORT A GROSS VEHICLE WEIGHT OF 32 TONS.

1 GRAVEL DRIVEWAY DETAIL
SCALE: N.T.S.



- NOTES:
1. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS DURING CONSTRUCTION. INSTALL SILT FENCE AS SHOWN WHERE ADDITIONALLY REQUIRED FOR PROTECTION OF ADJACENT PROPERTIES, ROADWAYS, AND WATERWAYS.
 2. CONTRACTOR SHALL INSPECT EROSION CONTROL DEVICE WEEKLY DURING CONSTRUCTION AND AFTER HEAVY RAINS FOR DAMAGE. MAINTENANCE SHALL INCLUDE CLEANING BUILT-UP SEDIMENT BEHIND THE BARRIERS AND/OR REPLACING DAMAGED SECTIONS.
 3. THE EROSION CONTROL DEVICES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
 4. HAY BALES BE SHALL NOT BE USED AS EROSION CONTROL.
 5. CONTRACTOR IS RESPONSIBLE FOR PROVIDING SITE FREE OF DRAINAGE PROBLEMS.
 6. CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES FOR CONSTRUCTION TO PREVENT THE DIVERSION OF SEDIMENT LADEN STORM WATER RUNOFF OR ERODED MATERIALS FROM LEAVING THE CONSTRUCTION SITE.

2 SILT FENCE DETAIL
SCALE: N.T.S.



- NOTES:
1. SITE WILL BE GRADED TO ALLOW DRAINAGE PER SHEET C-4.
 2. PRIOR TO LAYING THE STONE, THE COMPOUND SHOULD BE CLEARED OF ALL ORGANIC MATTER, STERILIZED WITH WEED KILLER, AND THEN TREATED WITH HERBICIDE.
 3. AFTER PROJECT COMPLETION ALL DISTURBED AREAS MUST BE SEEDED WITH LOW MAINTENANCE GRASS.

3 TYPICAL COMPOUND SECTION DETAIL
SCALE: N.T.S.

REV	DATE	DESCRIPTION
A	12/11/23	PRELIMINARY ZDS REV "A"
B	12/18/23	PRELIMINARY ZDS REV "B"
C	01/30/24	PRELIMINARY ZDS REV "C"
0	01/31/24	ISSUED FOR ZONING

GEN3 PROJECT NO.: 102304008
DRAWN BY: YMK
CHECKED BY: MPM

VERTEX
DEVELOPMENT, LLC
3630 WEST KENNEDY BOULEVARD
TAMPA, FLORIDA 33609
PH: (813) 335-4768

EXPERT
815 SOUTH KINGS AVENUE
BRANDON, FLORIDA 33511
PH: (813) 657-7810

GEN3
ENGINEERING
27139 SEA BREEZE WAY
WESLEY CHAPEL, FLORIDA 33544
PH: (813) 917-2671
COA # 35409

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED & SEALED BY MARC P. MAIER, P.E., FL LICENSE #72513 USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED & SEALED & THE ORIGINAL COPIES MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

MARC P. MAIER
LICENSE No 72513
STATE OF FLORIDA
PROFESSIONAL ENGINEER
FEBRUARY 1, 2024
MARC P. MAIER, PE
FL PROFESSIONAL ENGINEER LIC. # 72513

SUNNYHILL RESTORATION
FL-5351
15733 SE 182ND AVENUE RD
UMATILLA, FL 32784

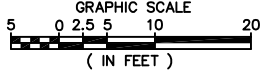
SITE DETAILS
SHEET DESCRIPTION
SHEET NUMBER
C-7

BOUNDARY AND TOPOGRAPHIC SURVEY

IN SECTION 22, TOWNSHIP 17 SOUTH, RANGE 25 EAST
MARION COUNTY, FLORIDA
FOR: VERTEX DEVELOPMENT, LLC



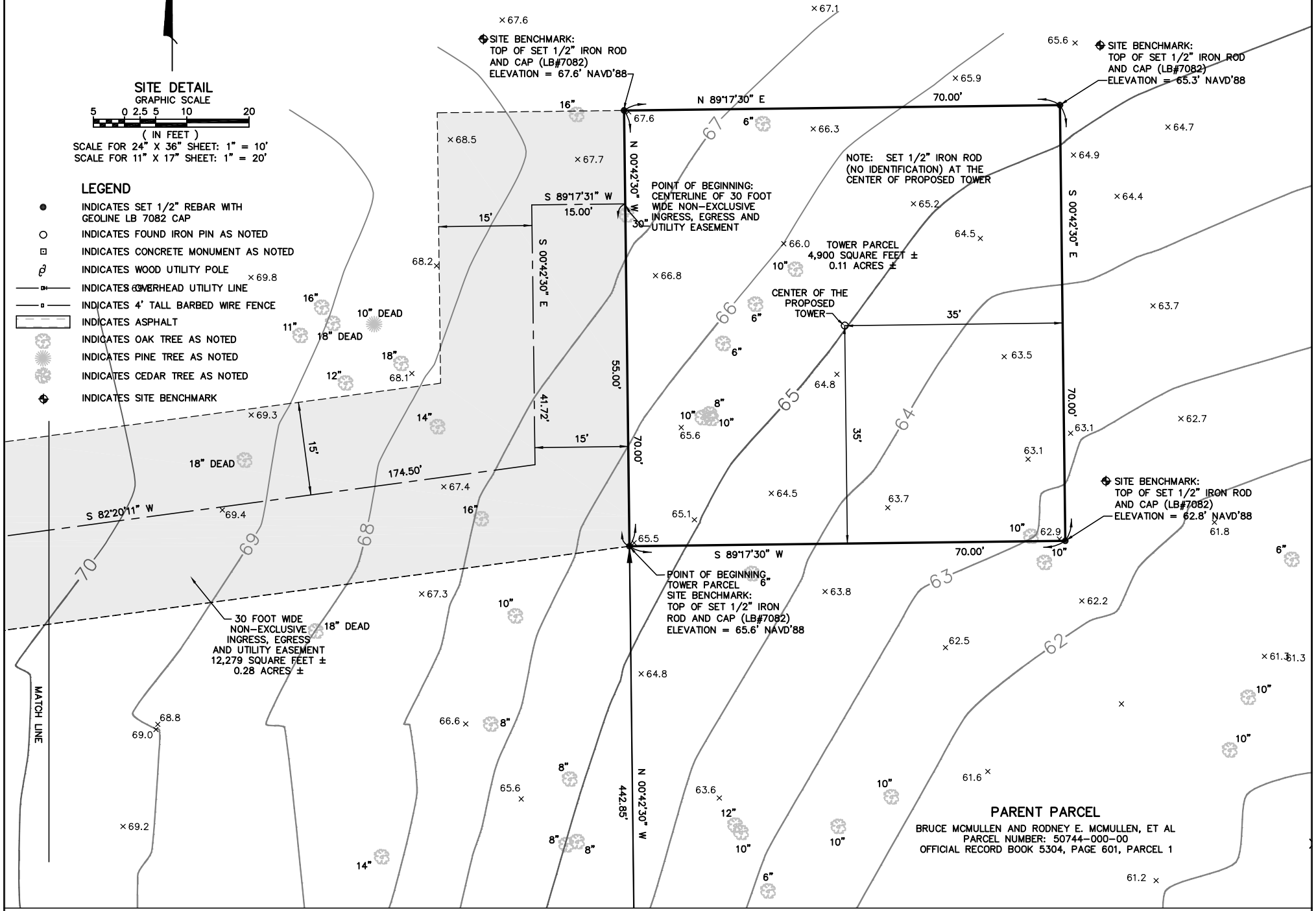
SITE DETAIL



SCALE FOR 24" X 36" SHEET: 1" = 10'
SCALE FOR 11" X 17" SHEET: 1" = 20'

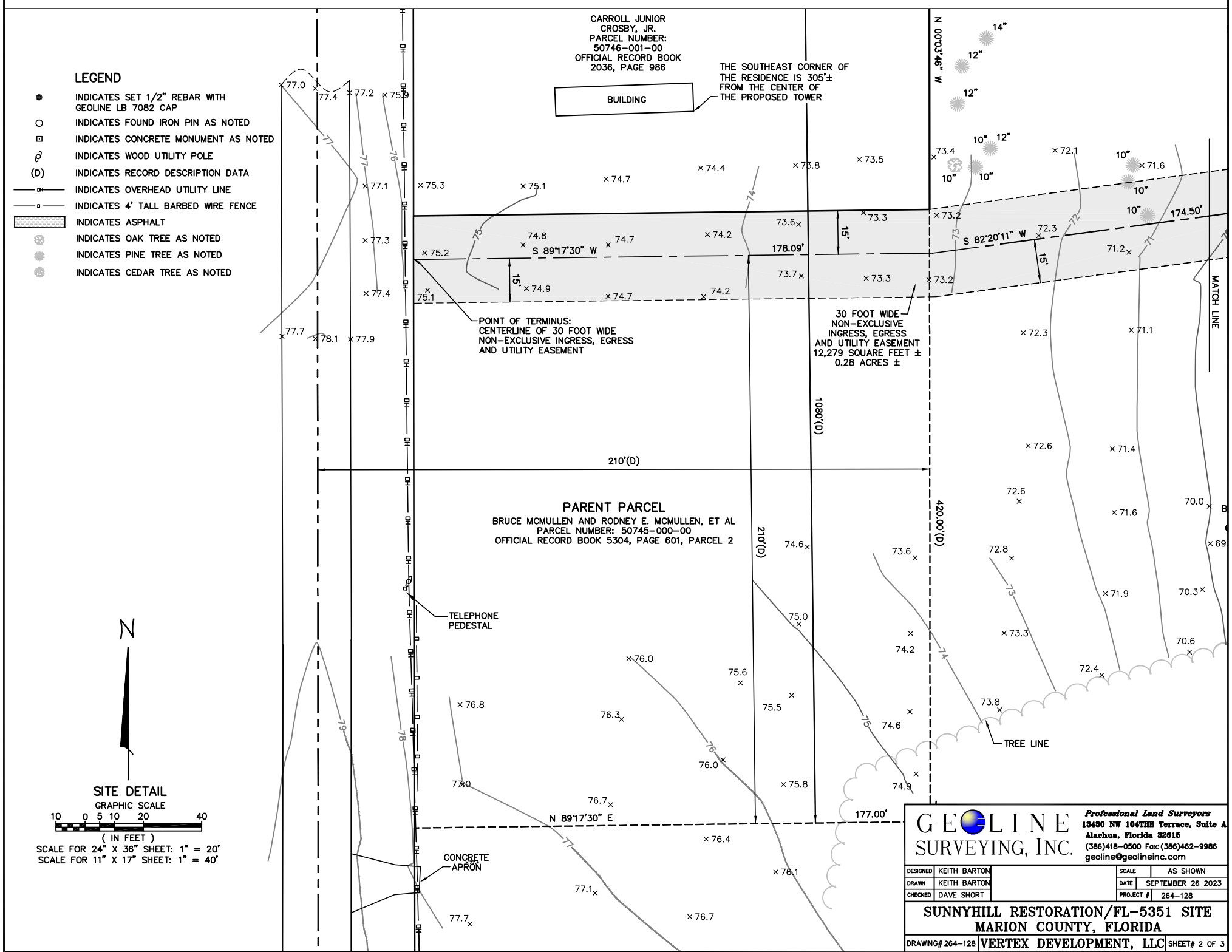
LEGEND

- INDICATES SET 1/2" REBAR WITH GEOLINE LB 7082 CAP
- INDICATES FOUND IRON PIN AS NOTED
- INDICATES CONCRETE MONUMENT AS NOTED
- β INDICATES WOOD UTILITY POLE
- INDICATES OVERHEAD UTILITY LINE
- INDICATES 4' TALL BARBED WIRE FENCE
- ▨ INDICATES ASPHALT
- INDICATES OAK TREE AS NOTED
- INDICATES PINE TREE AS NOTED
- INDICATES CEDAR TREE AS NOTED
- ⊕ INDICATES SITE BENCHMARK

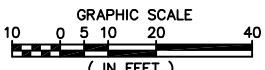


LEGEND

- INDICATES SET 1/2" REBAR WITH GEOLINE LB 7082 CAP
- INDICATES FOUND IRON PIN AS NOTED
- INDICATES CONCRETE MONUMENT AS NOTED
- β INDICATES WOOD UTILITY POLE
- (D) INDICATES RECORD DESCRIPTION DATA
- INDICATES OVERHEAD UTILITY LINE
- INDICATES 4' TALL BARBED WIRE FENCE
- ▨ INDICATES ASPHALT
- INDICATES OAK TREE AS NOTED
- INDICATES PINE TREE AS NOTED
- INDICATES CEDAR TREE AS NOTED



SITE DETAIL



SCALE FOR 24" X 36" SHEET: 1" = 20'
SCALE FOR 11" X 17" SHEET: 1" = 40'

GEOLINE SURVEYING, INC.
Professional Land Surveyors
13430 NW 104TH Terrace, Suite A
Alachua, Florida 32815
(386)418-0500 Fax: (386)462-9986
geoline@geolineinc.com

DESIGNED: KEITH BARTON	SCALE: AS SHOWN
DRAWN: KEITH BARTON	DATE: SEPTEMBER 26 2023
CHECKED: DAVE SHORT	PROJECT #: 264-128

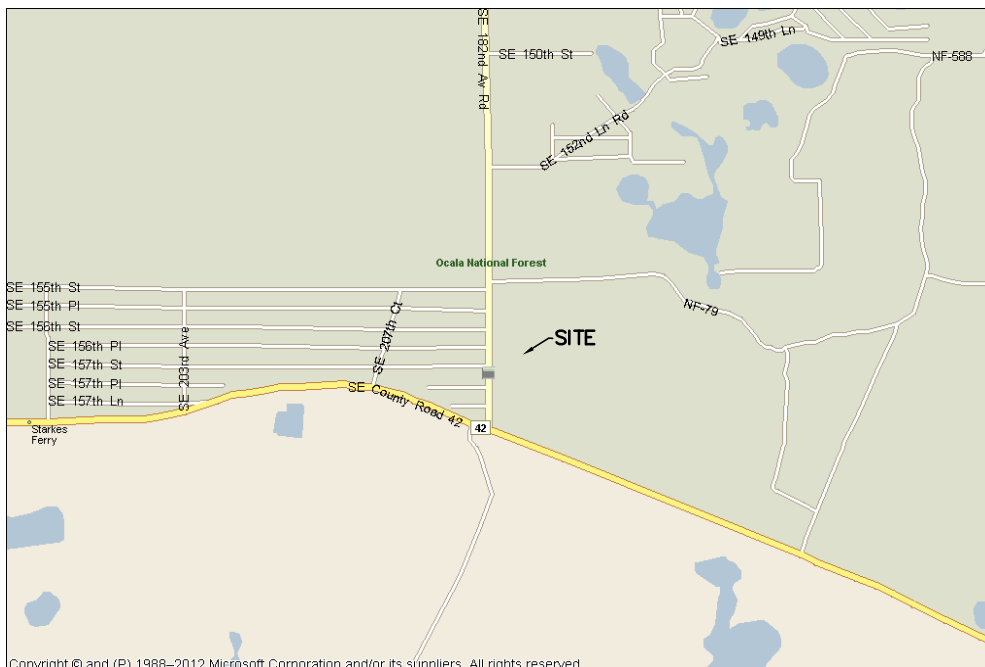
SUNNYHILL RESTORATION/FL-5351 SITE
MARION COUNTY, FLORIDA
DRAWING# 264-128 | VERTEX DEVELOPMENT, LLC | SHEET# 2 OF 3

BOUNDARY AND TOPOGRAPHIC SURVEY

IN SECTION 22, TOWNSHIP 17 SOUTH, RANGE 25 EAST
MARION COUNTY, FLORIDA
FOR: VERTEX DEVELOPMENT, LLC



VICINITY MAP
NOT TO SCALE



LOCATION MAP
NOT TO SCALE

PROPERTY DESCRIPTIONS

PARENT PARCEL
(OFFICIAL RECORD BOOK 5304, PAGE 601)

PARCEL 1:
THE NW 1/4 OF THE SW 1/4 OF SECTION 22, TOWNSHIP 17 SOUTH, RANGE 25 EAST, MARION COUNTY, FLORIDA; LESS AND EXCEPT THE NORTH 210 FEET OF THE EAST 210 FEET THEREOF; AND LESS AND EXCEPT THE SOUTH 420 FEET OF THE NORTH 1080 FEET OF THE WEST 210 FEET THEREOF; AND LESS AND EXCEPT THE WEST 867 FEET OF THE EAST 1287 FEET OF THE NORTH 210 FEET THEREOF; AND LESS AND EXCEPT THE SOUTH 105 FEET OF THE NORTH 315 FEET OF THE WEST 375 FEET THEREOF; AND LESS AND EXCEPT THE SOUTH 105 FEET OF THE NORTH 315 FEET OF THE EAST 105 FEET OF THE NW 1/4 OF THE NW 1/4 OF THE NE 1/4; AND LESS AND EXCEPT THE WEST 210 OF THE EAST 420 OF THE NORTH 210 FEET THEREOF; AND LESS AND EXCEPT THE SOUTH 105 FEET OF THE EAST 105 FEET OF THE NORTH 315 FEET OF THE NE 1/4 OF THE NW 1/4 OF THE SW 1/4 AND LESS AND EXCEPT THE SOUTH 105 FEET OF THE NORTH 315 FEET OF THE NW 1/4 OF THE SW 1/4 EXCEPT THE EAST 105 FEET THEREOF; AND LESS AND EXCEPT THE SOUTH 25 FEET OF THE WEST 25 FEET OF THE NORTH 340 FEET OF THE NE 1/4 OF THE NW 1/4 OF THE SW 1/4; AND LESS AND EXCEPT THE SOUTH 197 FEET OF THE NORTH 512 FEET OF THE NW 1/4 OF THE NW 1/4 OF THE SW 1/4 AND LESS AND EXCEPT: ANY PORTION THEREOF LYING WITHIN THE RIGHT OF WAY OF COUNTY ROAD NO. 230 ALSO KNOWN AS C.S. FOREST SERVICE ROAD NO. 8;

PARCEL 2:
THE SOUTH 210 OF THE NORTH 1080 OF THE WEST 210 FEET OF THE NW 1/4 OF THE SW 1/4 OF SECTION 22, TOWNSHIP 17 SOUTH, RANGE 25 EAST.

TOWER PARCEL
(PREPARED BY GEOLINE SURVEYING, INC.)

THAT PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 17 SOUTH, RANGE 25 EAST, MARION COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 17 SOUTH, RANGE 25 EAST, MARION COUNTY, FLORIDA; THENCE SOUTH 89°17'30" WEST ALONG THE SOUTH LINE OF SAID NORTHWEST 1/4 OF THE SOUTHWEST 1/4 FOR 935.51 FEET; THENCE NORTH 00°42'30" WEST FOR 442.85 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00°42'30" WEST FOR 70.00 FEET; THENCE NORTH 89°17'30" EAST ALONG A LINE PARALLEL WITH SAID SOUTH LINE FOR 70.00 FEET; THENCE SOUTH 00°42'30" EAST FOR 70.00 FEET; THENCE SOUTH 89°17'30" WEST ALONG A LINE PARALLEL WITH SAID SOUTH LINE FOR 70.00 FEET TO SAID POINT OF BEGINNING.

CONTAINING 4,900 SQUARE FEET (0.11 ACRES), MORE OR LESS.

30 FOOT WIDE NON-EXCLUSIVE INGRESS, EGRESS AND UTILITY EASEMENT
(PREPARED BY GEOLINE SURVEYING, INC.)

THAT PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 17 SOUTH, RANGE 25 EAST, MARION COUNTY, FLORIDA, LYING WITHIN 15 FEET OF BOTH SIDES OF A CENTERLINE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 17 SOUTH, RANGE 25 EAST, MARION COUNTY, FLORIDA; THENCE SOUTH 89°17'30" WEST ALONG THE SOUTH LINE OF SAID NORTHWEST 1/4 OF THE SOUTHWEST 1/4 FOR 935.51 FEET; THENCE NORTH 00°42'30" WEST FOR 442.85 FEET TO THE SOUTHWEST CORNER OF A 70 FOOT BY 70 FOOT TOWER PARCEL; THENCE CONTINUE NORTH 00°42'30" WEST ALONG THE WEST LINE OF SAID TOWER PARCEL FOR 55.00 FEET TO THE POINT OF BEGINNING OF THE CENTERLINE OF THE HEREIN DESCRIBED 30 FOOT WIDE NON-EXCLUSIVE INGRESS, EGRESS AND UTILITY EASEMENT; THENCE SOUTH 89°17'31" WEST FOR 15.00 FEET TO AN INTERSECTION WITH A LINE THAT IS PARALLEL WITH AND OFFSET 15 FEET WESTERLY OF SAID WEST LINE; THENCE SOUTH 00°42'30" EAST ALONG SAID PARALLEL LINE FOR 41.72 FEET; THENCE SOUTH 82°20'11" WEST FOR 174.50 FEET TO AN INTERSECTION WITH A LINE THAT IS PARALLEL WITH AND OFFSET 15 FEET SOUTH OF THE NORTH LINE OF THE "MCMULLEN" PARCEL AS PER THE DESCRIPTION OF PARCEL 2 RECORDED IN OFFICIAL RECORD BOOK 5304, PAGE 601 OF THE PUBLIC RECORDS OF SAID MARION COUNTY; THENCE SOUTH 89°17'30" WEST ALONG SAID PARALLEL LINE FOR 178.09 FEET TO AN INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SOUTHEAST 182ND AVENUE ROAD (A PUBLIC RIGHT-OF-WAY) AND THE POINT OF TERMINUS OF THE HEREIN DESCRIBED CENTERLINE.

CONTAINING 12,279 SQUARE FEET (0.28 ACRES), MORE OR LESS.

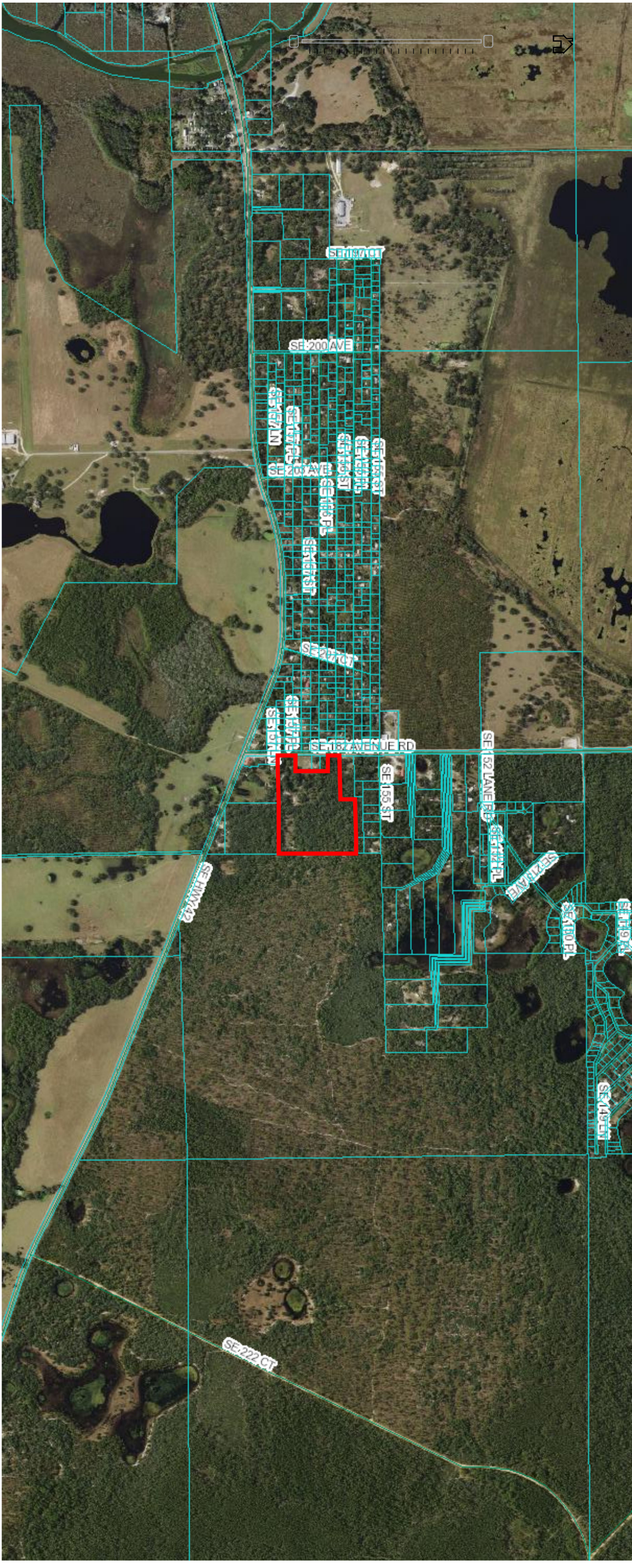


		Professional Land Surveyors 13430 NW 104TH Terrace, Suite A Alachua, Florida 32615 (386)418-0500 Fax: (386)462-9986 geoline@geolineinc.com	
		DESIGNED KEITH BARTON DRAWN KEITH BARTON CHECKED DAVE SHORT	SCALE AS SHOWN DATE SEPTEMBER 26 2023 PROJECT # 264-128
SUNNYHILL RESTORATION/FL-5351 SITE MARION COUNTY, FLORIDA			
DRAWING# 264-128		VERTEX DEVELOPMENT, LLC SHEET# 2 OF 3	



Jimmy H. Cowan, Jr., CFA
Marion County Property Appraiser - Beta Map It+

Updated every 24 hours



0.3mi

2023-12-19A

[Click here for Legal Disclaimer](#)

PARENT PARCEL
(OFFICIAL RECORD BOOK 5304, PAGE 601)

PARCEL 1:
THE NW 1/4 OF THE SW 1/4 OF SECTION 22, TOWNSHIP 17 SOUTH, RANGE 25 EAST, MARION COUNTY, FLORIDA; LESS AND EXCEPT THE NORTH 210 FEET OF THE EAST 210 FEET THEREOF; AND LESS AND EXCEPT THE SOUTH 420 FEET OF THE NORTH 1080 FEET OF THE WEST 210 FEET THEREOF; AND LESS AND EXCEPT THE WEST 867 FEET OF THE EAST 1287 FEET OF THE NORTH 210 FEET THEREOF; AND LESS AND EXCEPT THE SOUTH 105 FEET OF THE NORTH 315 FEET OF THE WEST 375 FEET THEREOF; AND LESS AND EXCEPT THE SOUTH 105 FEET OF THE NORTH 315 FEET OF THE EAST 105 FEET OF THE NW 1/4 OF THE NW 1/4 OF THE NE 1/4; AND LESS AND EXCEPT THE WEST 210 OF THE EAST 420 OF THE NORTH 210 FEET THEREOF; AND LESS AND EXCEPT THE SOUTH 105 FEET OF THE EAST 105 FEET OF THE NORTH 315 FEET OF THE NE 1/4 OF THE NW 1/4 OF THE SW 1/4 AND LESS AND EXCEPT THE SOUTH 105 FEET OF THE NORTH 315 FEET OF THE NW 1/4 OF THE SW 1/4 EXCEPT THE EAST 105 FEET THEREOF; AND LESS AND EXCEPT THE SOUTH 25 FEET OF THE WEST 25 FEET OF THE NORTH 340 FEET OF THE NE 1/4 OF THE NW 1/4 OF THE SW 1/4; AND LESS AND EXCEPT THE SOUTH 197 FEET OF THE NORTH 512 FEET OF THE NW 1/4 OF THE NW 1/4 OF THE SW 1/4 AND LESS AND EXCEPT: ANY PORTION THEREOF LYING WITHIN THE RIGHT OF WAY OF COUNTY ROAD NO. 230 ALSO KNOWN AS C.S. FOREST SERVICE ROAD NO. 8;

PARCEL 2:
THE SOUTH 210 OF THE NORTH 1080 OF THE WEST 210 FEET OF THE NW 1/4 OF THE SW 1/4 OF SECTION 22, TOWNSHIP 17 SOUTH, RANGE 25 EAST.

TOWER PARCEL
(PREPARED BY GEOLINE SURVEYING, INC.)

THAT PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 17 SOUTH, RANGE 25 EAST, MARION COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 17 SOUTH, RANGE 25 EAST, MARION COUNTY, FLORIDA; THENCE SOUTH 89°17'30" WEST ALONG THE SOUTH LINE OF SAID NORTHWEST 1/4 OF THE SOUTHWEST 1/4 FOR 935.51 FEET; THENCE NORTH 00°42'30" WEST FOR 442.85 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00°42'30" WEST FOR 70.00 FEET; THENCE NORTH 89°17'30" EAST ALONG A LINE PARALLEL WITH SAID SOUTH LINE FOR 70.00 FEET; THENCE SOUTH 00°42'30" EAST FOR 70.00 FEET; THENCE SOUTH 89°17'30" WEST ALONG A LINE PARALLEL WITH SAID SOUTH LINE FOR 70.00 FEET TO SAID POINT OF BEGINNING.

CONTAINING 4,900 SQUARE FEET (0.11 ACRES), MORE OR LESS.

30 FOOT WIDE NON-EXCLUSIVE INGRESS, EGRESS AND UTILITY EASEMENT
(PREPARED BY GEOLINE SURVEYING, INC.)

THAT PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 17 SOUTH, RANGE 25 EAST, MARION COUNTY, FLORIDA, LYING WITHIN 15 FEET OF BOTH SIDES OF A CENTERLINE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 17 SOUTH, RANGE 25 EAST, MARION COUNTY, FLORIDA; THENCE SOUTH 89°17'30" WEST ALONG THE SOUTH LINE OF SAID NORTHWEST 1/4 OF THE SOUTHWEST 1/4 FOR 935.51 FEET; THENCE NORTH 00°42'30" WEST FOR 442.85 FEET TO THE SOUTHWEST CORNER OF A 70 FOOT BY 70 FOOT TOWER PARCEL; THENCE CONTINUE NORTH

00°42'30" WEST ALONG THE WEST LINE OF SAID TOWER PARCEL FOR 55.00 FEET TO THE POINT OF BEGINNING OF THE CENTERLINE OF THE HEREIN DESCRIBED 30 FOOT WIDE NON-EXCLUSIVE INGRESS, EGRESS AND UTILITY EASEMENT; THENCE SOUTH 89°17'31" WEST FOR 15.00 FEET TO AN INTERSECTION WITH A LINE THAT IS PARALLEL WITH AND OFFSET 15 FEET WESTERLY OF SAID WEST LINE; THENCE SOUTH 00°42'30" EAST ALONG SAID PARALLEL LINE FOR 41.72 FEET; THENCE SOUTH 82°20'11" WEST FOR 174.50 FEET TO AN INTERSECTION WITH A LINE THAT IS PARALLEL WITH AND OFFSET 15 FEET SOUTH OF THE NORTH LINE OF THE "MCMULLEN" PARCEL AS PER THE DESCRIPTION OF PARCEL 2 RECORDED IN OFFICIAL RECORD BOOK 5304, PAGE 601 OF THE PUBLIC RECORDS OF SAID MARION COUNTY; THENCE SOUTH 89°17'30" WEST ALONG SAID PARALLEL LINE FOR 178.09 FEET TO AN INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SOUTHEAST 182ND AVENUE ROAD (A PUBLIC RIGHT-OF-WAY) AND THE POINT OF TERMINUS OF THE HEREIN DESCRIBED CENTERLINE.

CONTAINING 12,279 SQUARE FEET (0.28 ACRES), MORE OR LESS.

Special Use Written Findings of Fact

Pursuant to Division 8, Section 2.8.2.D. of the Marion County Land Development Code

1. Access will be from Southeast 182nd Avenue Road. A 20' wide gravel access driveway will lead to the tower compound with a 9' x 20' parking space and turnaround area. This site will generate no traffic.
2. One parking space will be provided. This is an unmanned, unoccupied communications tower. Carriers require one trip per month on average, for maintenance. This site will generate approximately 4 trips on average, per month.
3. This site will generate no waste. No garbage services will be required.
4. Power will be supplied through Sumter Electric. See page C-3 of Site Plans for H-Frame location. There is no wastewater or sewage.
5. The tower compound will be secured by an 8' high chain-link fence with lockable gate. Vertex is proposing no landscaping around the tower compound to preserve the natural dense, mature landscaping that currently exists.
6. "No Trespassing" signs will be installed on each side of the fenced compound, no more than 40' apart from each other. A sign with Vertex's site information will be installed. See Site Plans, page C-6 for signage detail. The tower will not be lit.
7. This site is designed in compliance with all required setbacks, see Site Plans, page C-3. This site is designed and will remain in compliance with all development codes and ordinances.
8. The surrounding properties to the north, south, and west are residential. The property to the east is national forest. Wireless communication facilities are needed to serve the surrounding residential and recreational areas and are essential to all land uses.
9. Vertex is willing to meet any proposed special conditions necessary for this requested Special Use Permit.

Jimmy H. Cowan, Jr., CFA
Marion County Property Appraiser



501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

2024 Property Record Card
Real Estate

50744-000-00

[GOOGLE Street View](#)

Prime Key: 1197872

[Beta MAP IT+](#)

Current as of 2/14/2024

[Property Information](#)

[Less Names](#)

MCMULLEN BRUCE
 MCMULLEN RODNEY E
 MCMULLEN DONNA R
 30322 REDTREE DR
 LEESBURG FL 34748-9522

[Taxes / Assessments:](#)

Map ID: 370

[Millage:](#) 9001 - UNINCORPORATED

[M.S.T.U.](#)

[PC:](#) 01

Acres: 25.67

[More Situs](#)

Situs: 15733 SE 182ND AVENUE RD
 UMATILLA

[2023 Certified Value](#)

Land Just Value	\$190,598
Buildings	\$11,637
Miscellaneous	\$2,729
Total Just Value	\$204,964
Total Assessed Value	\$204,964
Exemptions	\$0
Total Taxable	\$204,964

[Ex Codes:](#)

[History of Assessed Values](#)

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2023	\$190,598	\$11,637	\$2,729	\$204,964	\$204,964	\$0	\$204,964
2022	\$190,598	\$10,663	\$2,530	\$203,791	\$192,872	\$0	\$192,872
2021	\$165,185	\$8,157	\$2,610	\$175,952	\$175,338	\$0	\$175,338

[Property Transfer History](#)

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
5304/0601	01/2010	08 CORRECTIVE	7 PORTIONUND INT	U	I	\$100
5198/0477	03/2009	07 WARRANTY	7 PORTIONUND INT	U	I	\$100
5293/0894	02/2009	07 WARRANTY	7 PORTIONUND INT	U	I	\$100
1620/1689	11/1989	05 QUIT CLAIM	0	U	I	\$100
0747/0422	05/1976	05 QUIT CLAIM	0	U	I	\$100

[Property Description](#)

SEC 22 TWP 17 RGE 25
 NW 1/4 OF SW 1/4

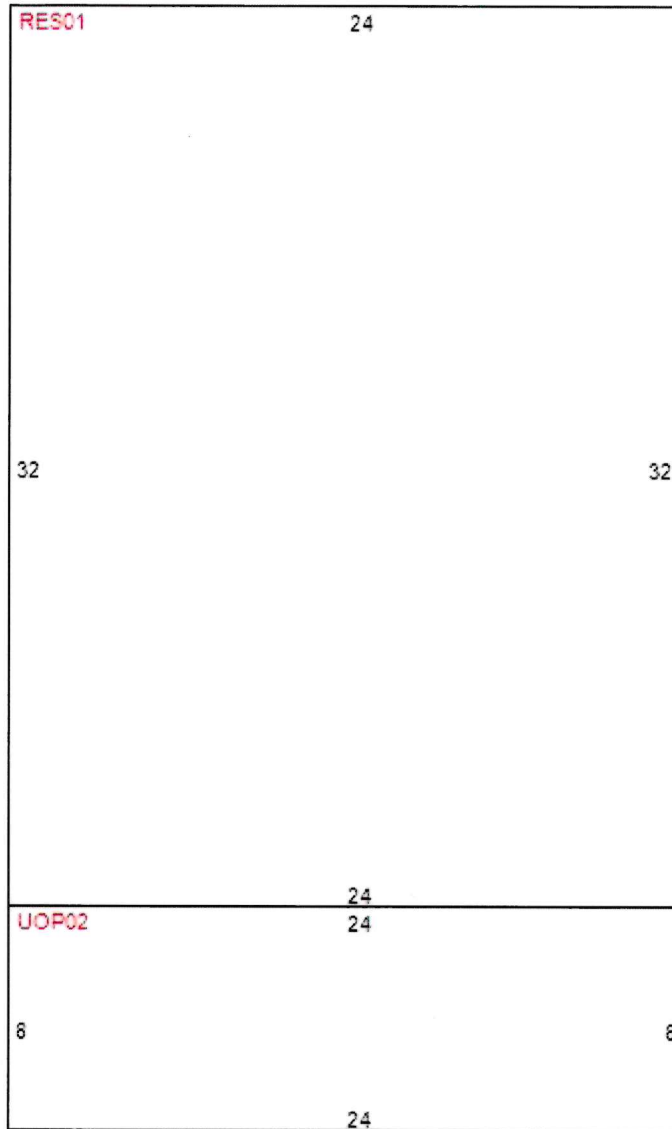
EXC RD ROW
 EXC N 315 FT OF NE 1/4 OF NW 1/4 OF SW 1/4
 EXC S 25 FT OF W 25 FT OF N 340 FT OF NE 1/4 OF NW 1/4 OF SW 1/4
 EXC N 210 FT OF NW 1/4 OF NW 1/4 OF SW 1/4
 EXC S 105 FT OF W 585 FT OF N 315 FT OF NW 1/4 OF NW 1/4 OF SW 1/4
 EXC S 197 FT OF N 512 FT OF NW 1/4 OF NW 1/4 OF SW 1/4
 EXC S 420 FT OF N 1080 FT OF W 210 FT OF NW 1/4 OF SW 1/4

Land Data - Warning: Verify Zoning

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
0100		1,057.0	1,058.0	A1	1.00	AC						
9902		.0	.0	A1	23.67	AC						
9994		240.0	.0	A1	1.00	UT						
9994		140.0	.0	A1	1.00	UT						
0260		.0	.0	A1	1.00	AC						
Neighborhood 9700 - 17/25-17/26												
Mkt: 10 70												

Traverse

Building 1 of 1
 RES01=L24D32R24U32.D32
 UOP02=D8L24U8R24.



Building Characteristics

Improvement	1F - SFR- 01 FAMILY RESID	Year Built 1952
Effective Age	9 - 40-99 YRS	Physical Deterioration 0%
Condition	0	Obsolescence: Functional 0%
Quality Grade	300 - LOW	Obsolescence: Locational 0%
Inspected on	1/1/2023 by 187	Architecture 0 - STANDARD SFR
		Base Perimeter 112

Type ID	Exterior Walls	Stories	Year Built	Finished Attic	Bsmt Area	Bsmt Finish	Ground Floor Area	Total Flr Area
RES 0128	- SF ALUM SIDING	1.00	1952	N	0 %	0 %	768	768
UOP 0201	- NO EXTERIOR	1.00	1952	N	0 %	0 %	192	192

Section: 1

Roof Style: 10 GABLE	Floor Finish: 24 CARPET	Bedrooms: 2	Blt-In Kitchen: Y
Roof Cover: 16 GALVANIZED MTL	Wall Finish: 16 DRYWALL-PAINT	4 Fixture Baths: 0	Dishwasher: N
Heat Meth 1: 04 SPACE HEATER	Heat Fuel 1: 10 ELECTRIC	3 Fixture Baths: 1	Garbage Disposal: N
Heat Meth 2: 00	Heat Fuel 2: 00	2 Fixture Baths: 0	Garbage Compactor: N
Foundation: 3 PIER	Fireplaces: 0	Extra Fixtures: 2	Intercom: N
A/C: N			Vacuum: N

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
256 WELL 1-5 BTH	1.00	UT	99	1965	1	0.0	0.0
190 SEPTIC 1-5 BTH	1.00	UT	99	1965	1	0.0	0.0
256 WELL 1-5 BTH	1.00	UT	99	1990	2	0.0	0.0
190 SEPTIC 1-5 BTH	1.00	UT	99	1990	2	0.0	0.0
048 SHED OPEN	198.00	SF	15	1970	1	11.0	18.0
048 SHED OPEN	1,280.00	SF	15	1977	1	32.0	40.0
UDU UTILITY-UNFINS	144.00	SF	40	1979	1	12.0	12.0
A/C MH - AIR COND	1,216.00	SF	30	2002	3	16.0	76.0
DCK DECK-WOOD	256.00	SF	40	2011	1	16.0	16.0
DCK DECK-WOOD	64.00	SF	40	2016	2	8.0	8.0

Appraiser Notes

MBL OWNED BY DAUGHTER LEFT TAG NOTICE WITH OWNER
 UST 4X4 N/A AT RES SITE
 NEED TAG MBL INFO

Planning and Building
** Permit Search **

Permit Number	Date Issued	Date Completed	Description

This Document Prepared By and Return to:
Robert Q. Williams
Williams, Smith & Summers, P.A.
380 West Alfred Street
Tavares, Florida 32778

DAVID R. ELLSPERMANN, CLERK OF COURT MARION COUNTY
DATE: 01/13/2010 02:49:44 PM
FILE #: 2010003101 OR BK 05304 PGS 0601-0602

RECORDING FEES 18.50

Parcel ID Number:

Corrective Warranty Deed

This Indenture, Made this 30th day of December, 2009 A.D., **Between**
Henry Lamar McMullen, a single man

of the County of Lake, State of Florida, **grantor**, and
Bruce McMullen, a married man

whose address is: 30322 RedTree Drive, Leesburg, Florida 34748

of the County of Lake, State of Florida, **grantee.**

Witnesseth that the GRANTOR, for and in consideration of the sum of

-----**TEN DOLLARS (\$10)**----- DOLLARS,
and other good and valuable consideration to GRANTOR in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate, lying and being in the County of Marion State of Florida to wit:
See Exhibit "A" attached hereto.

Neither grantor nor anyone dependent upon grantor resides upon the subject real property, which does not constitute the homestead of grantor within the meaning of the laws and constitution of the State of Florida.

At the request of the parties, this deed was prepared without a title search, and the legal description was supplied by the parties. The preparer of this instrument assumes no liability for the state of the title or any inaccuracy of the legal description.

This Corrective Warranty Deed is being recorded to correct a scrivener's error in the legal description of the Warranty Deed recorded in O.R. Book 5198, Page 477, Public Records of Marion County, Florida.

and the grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantor has hereunto set its hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Cynthia L. Chavis
Printed Name: Cynthia L. Chavis
Witness

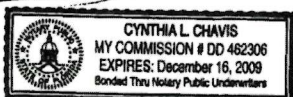
Henry Lamar McMullen by Bruce McMullen (Seal)
Henry Lamar McMullen, by Bruce McMullen
his attorney-in-fact *his attorney in fact*
P.O. Address: 30322 Red Tree Drive
Leesburg, Florida 34748

Carissa A. Payne
Printed Name: Carissa A. Payne
Witness

STATE OF Florida
COUNTY OF

The foregoing instrument was acknowledged before me this 30th day of December, 2009 by
Henry Lamar McMullen, by Bruce McMullen his attorney-in-fact

who is personally known to me or who has produced his



Cynthia L. Chavis as identification.
Printed Name: Cynthia L. Chavis
Notary Public
My Commission Expires:

Exhibit "A"

Parcel 1:

The NW 1/4 of the SW 1/4 of Section 22, Township 17 South, Range 25 East, Marion County, Florida;
Less and Except the North 210 feet of the East 210 feet thereof;
and Less and Except the South 420 feet of the North 1080 feet of the West 210 feet thereof;
and Less and Except the West 867 feet of the East 1287 feet of the North 210 feet thereof;
and Less and Except the South 105 feet of the North 315 feet of the West 375 feet thereof;
and Less and Except the South 105 feet of the North 315 feet of the East 105 feet of the NW 1/4 of the
NW 1/4 of the NE 1/4;
and Less and Except the West 210 of the East 420 of the North 210 feet thereof;
and Less and Except the South 105 feet of the East 105 feet of the North 315 feet of the NE 1/4 of the
NW 1/4 of the SW 1/4
and Less and Except the South 105 feet of the North 315 feet of the NW 1/4 of the SW 1/4 except the
East 105 feet thereof;
and Less and Except the South 25 feet of the West 25 feet of the North 340 feet of the NE 1/4 of the NW
1/4 of the SW 1/4;
and Less and Except the South 197 feet of the North 512 feet of the NW 1/4 of the NW 1/4 of the SW 1/4
And Less and Except: Any portion thereof lying within the right of way of County Road No. 230 also
known as C.S. Forest Service Road No. 8;

Parcel 2:

The South 210 of the North 1080 of the West 210 feet of the NW 1/4 of the SW 1/4 of Section 22,
Township 17 South, Range 25 East.

Parcel 3:

The North 105 feet of the South 210 feet of the North 870 feet of the West 210 feet of the NW 1/4 of the
SW 1/4 of Section 22, Township 17 South, Range 25 East, Marion County, Florida.

Sunnyhill Ct 507

Marion, FL

Prepared by Verizon Wireless RF Engineering

Amit Raut

10/04/2023



Introduction:

There are two main drivers that prompt the need for a new cell site. One is coverage and the other is capacity.

Coverage is the need to expand wireless service into an area that either has no service or bad service. The request for service often comes from customers or emergency personnel. Expansion of service could mean improving the signal levels in a large apartment complex or new residential community. It could also mean providing new service along a newly built highway.

Capacity is the need for more wireless resources. Cell sites have a limited amount of resources to handle voice calls, data connections, and data volume. When these limits are reached, user experience quickly degrades. This could mean customers may no longer be able to make/receive calls nor be able to browse the internet. It could also mean that webpages will be very slow to download.

Need Case for: Sunnyhill Ct 507

Summary: The existing network along BRAIFON TOWERS WEIRSDALE, CROWN STARKES FERRY and local routes (SE HWY 42, SE 182) are under unreliable service area. This area will have an increased risk of data session drops in the foreseeable future. The proposed site will bring significant network improvements to this area along with the surrounding residential developments.

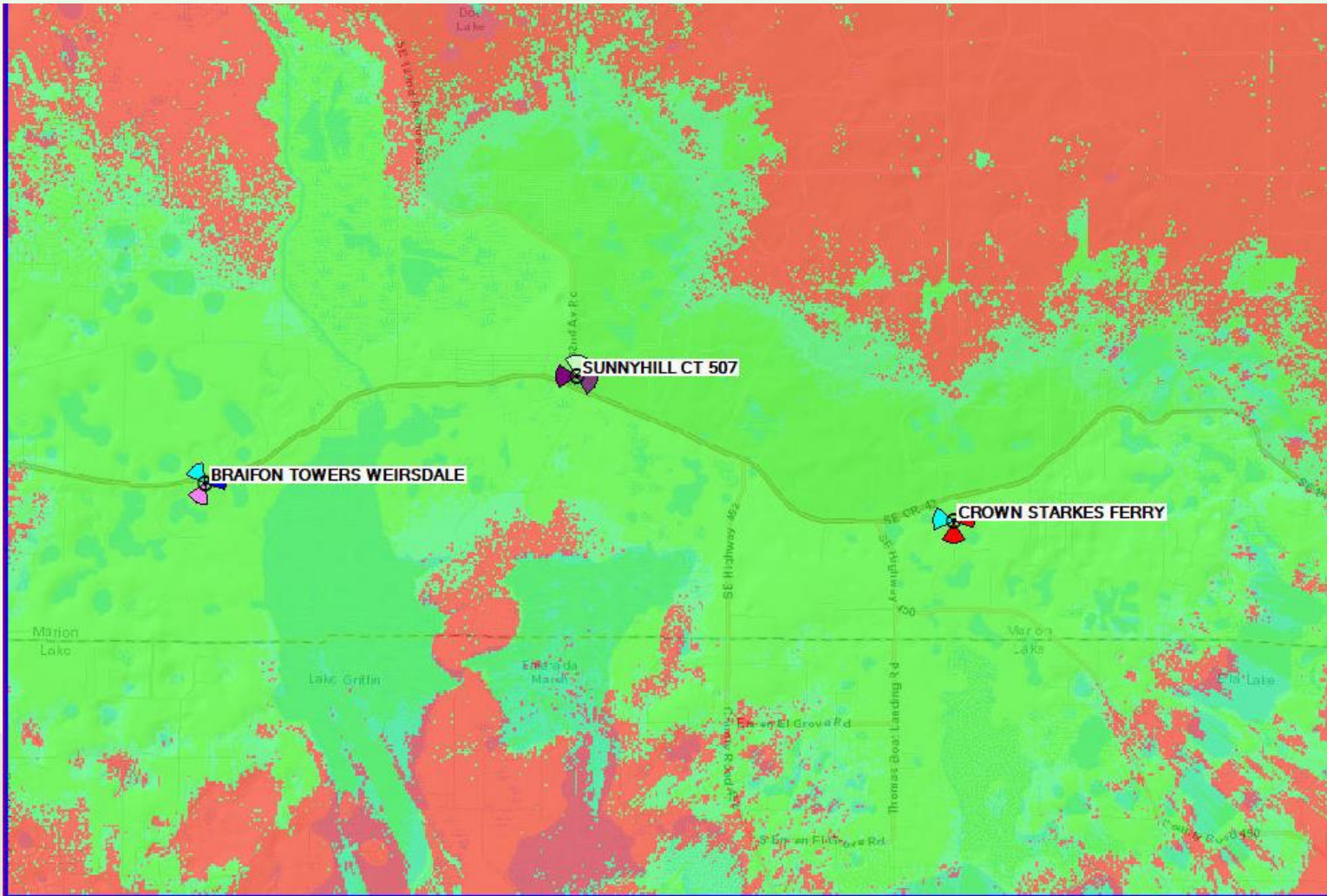
Detail below:

- Exact capacity data about sites is proprietary and cannot be disclosed due to competitive reasons.
- The existing neighbor cells to the BRAIFON TOWERS WEIRSDALE, CROWN STARKES FERRY are forecasted to reach capacity in the near future.
- The new cell site will also provide additional coverage and capacity resources to the residential developments in the areas along SE HWY 42, SE 182 . It will take users off of the neighboring sites which will alleviate the capacity constraints on them.
- This new site improve customer experience (faster webpage downloads, fewer drop calls, etc.) in the surrounding areas.
- Without the new site, neighbor sites will reach capacity limits which will negatively impact customer's ability to make/receive calls and use data services in this area.

Need Case for: Sunnyhill Ct 507 (Distance from On Air Sites)



Future Coverage with proposed site



Coverage Thresholds

■ Reliable Service

■ Not-Reliable Service





Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study No.
2023-ASO-32266-OE
Prior Study No.
2023-ASO-29137-OE

Issued Date: 01/10/2024

Alan Ruiz
Vertex Development, LLC
3630 W. Kennedy Blvd
Tampa, FL 33609

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Antenna Tower Sunnyhill FL-5351
Location: Umatilla, FL
Latitude: 28-59-40.28N NAD 83
Longitude: 81-48-22.25W
Heights: 65 feet site elevation (SE)
200 feet above ground level (AGL)
265 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination expires on 07/10/2025 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within

6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

This determination cancels and supersedes prior determinations issued for this structure.

If we can be of further assistance, please contact our office at (404) 305-6337, or nick.goodly@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2023-ASO-32266-OE.

Signature Control No: 606467213-609237732

(DNE)

Nick Goodly
Technician

Attachment(s)
Additional Information
Case Description
Frequency Data
Map(s)

Part 77 authorizes the FAA to evaluate a structure or object's potential electromagnetic effects on air navigation, communication facilities, and other surveillance systems. It also authorizes study of impact on arrival, departure, and en route procedures for aircraft operating under visual or instrument flight rules, as well as the impact on airport traffic capacity at existing public use airports. Broadcast in the 3.7 to 3.98 GHz frequency (5G C band) currently causes errors in certain aircraft radio altimeters and the FAA has determined they cannot be relied upon to perform their intended function when experiencing interference from wireless broadband operations in the 5G C band. The FAA has adopted Airworthiness Directives for all transport and commuter category aircraft equipped with radio altimeters that prohibit certain operations when in the presence of 5G C band.

This determination of no hazard is based upon those mitigations implemented by the FAA and operators of transport and commuter category aircraft, and helicopters operating in the vicinity of your proposed location. It is also based on telecommunication industry and FAA collaboration on acceptable power levels and other parameters as reflected in the FAA 5G C band evaluation process.

The FAA 5G C band compatibility evaluation is a data analytics system used by FAA to evaluate operational hazards related to aircraft design. The FAA 5G C band compatibility evaluation process refers to the process in which the telecommunication companies and the FAA have set parameters, such as power output, locations, frequencies, and tilt angles for antenna that mitigate the hazard to aviation. As the telecommunication companies and FAA refine the tools and methodology, the allowable frequencies and power levels may change in the FAA 5G C band compatibility evaluation process. Therefore, your proposal will not have a substantial adverse effect on the safe and efficient use of the navigable airspace by aircraft provided the equipment and emissions are in compliance with the parameters established through the FAA 5G C band compatibility evaluation process.

Any future changes that are not consistent with the parameters listed in the FAA 5G C band compatibility evaluation process will void this determination of no hazard.

190' monopole telecommunications tower with additional appurtenance (lightning rod.)

Frequency Data for ASN 2023-ASO-32266-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
806	824	MHz	500	W
806	901	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
901	902	MHz	7	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1710	1755	MHz	500	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
2110	2200	MHz	500	W
2305	2360	MHz	2000	W
2345	2360	MHz	2000	W



01/29/2024 at 10:04:07
A1257985FCC Form 854
Main FormApproved by OMD – 3060-0139
See instructions for public burden estimate

Application for Antenna Structure Registration

Purpose of Filing

1) Enter the application purpose: (AM)	
AM – Amendment of a Pending Application AU – Administrative Update CA – Cancellation of an Antenna Structure Registration DI – Notification of an Antenna Structure Dismantlement MD – Modification of a Antenna Structure Registration	NE – Registration of a New Antenna Structure NT – Required Construction/Alteration Notification OC – Ownership Change RE – Registration of a Replacement Antenna Structure WD – Withdrawal of a Pending Application
2a) If the answer to 1 is AU, CA, DI, MD, NT, OC or RE, provide the FCC Antenna Structure Registration (ASR) Number.	FCC ASR Number:
2b) If the answer to 1 is AM or WD, provide the File Number of the pending application on file.	File Number: A1257985
2c) If the answer to 1 is MD or NT, provide the date the Antenna Structure was constructed or the date it was last altered (mm/dd/yyyy).	Date:
2d) If the answer to 1 is DI, provide the date the Antenna Structure was dismantled (mm/dd/yyyy).	Date:

Antenna Structure Ownership Information

3) Select one of the entity types:			
() Individual	() Unincorporated Association	() Trust	() Government Entity
() Corporation	(X) Limited Liability Company	() General Partnership	() Limited Partnership
() Consortium	() Limited Liability Partnership	() Other: _____	
4) FCC Registration Number (FRN): 0012869657		5) Assignor FCC Registration Number (FRN):	
6) First Name (if individual):	MI:	Last Name:	Suffix:
7) Legal Entity Name (if not an individual): Vertex Development, LLC			
8) Attention To:		9) P.O. Box:	And/Or
10a) Street Address 1: 3630 W. Kennedy Blvd		10b) Street Address 2:	
11) City: Tampa	12) State: FL	13) Zip Code: 33609	
14) Telephone Number (xxx-xxx-xxxx): (813) 335-4768		15) Fax Number: (xxx-xxx-xxxx):	
16) E-mail Address: alanruiz@vertexdevelopment.net			

FCC Form 854 - Page 1
June 2021

Contact Representative Information

17) First Name (if individual): Alan	MI:	Last Name: Ruiz	Suffix:
18) Business Name: Vertex Development, LLC			
19) Attention To:	20) P.O. Box		And/Or
21a) Street Address 1: 3630 W. Kennedy Blvd		21b) Street Address 2:	
22) City: Tampa	23) State: FL	24) Zip Code: 33609	
25) Telephone Number (xxx-xxx-xxxx): (813) 335-4768		26) Fax Number: (xxx-xxx-xxxx):	
27) E-mail Address: alanruiz@vertexdevelopment.net			

Antenna Structure Information

28a) Latitude (DD-MM-SS.S): 28- 59- 40.3		28b) North or South: North																									
29a) Longitude (DDD-MM-SS.S): 081- 48- 22.3		29b) East or West: West																									
30) Street Address or Geographic Location: 15733 SE 182nd Avenue Rd		31) City: Umatilla																									
32) County: MARION	33) State: FLORIDA	34) Zip Code: 32784																									
35) Elevation of site above mean sea level (meters):			19.8 meters																								
36) Overall height above ground level (AGL) of the supporting structure without appurtenances:			57.9 meters																								
37) Overall height above ground level (AGL) of the antenna structure including all appurtenances:			61.0 meters																								
38) Overall height above mean sea level (add items 35 and 37 together):			80.8 meters																								
39a) Enter the type of structure on which the antenna will be mounted: (MTOWER)																											
<table border="0"> <tr> <td>B – Building</td> <td>NNLTANN – Lattice Tower Array</td> </tr> <tr> <td>BANT – Building with Antenna on Top</td> <td>NNMTANN – Monopole Array</td> </tr> <tr> <td>BMAST – Building with Mast</td> <td>PIPE – Any type of Pipe</td> </tr> <tr> <td>BPIPE – Building with Pipe</td> <td>POLE – Any type of Pole</td> </tr> <tr> <td>BPOLE – Building with Pole</td> <td>RIG – Oil or Other Type of Rig</td> </tr> <tr> <td>BRIDG – Bridge</td> <td>SIGN – Any type of Sign or Billboard</td> </tr> <tr> <td>BTWR – Building with Tower</td> <td>SILO – Any type of Silo</td> </tr> <tr> <td>GTOWER – Guyed Structure Used For Communication Purposes</td> <td>STACK – Smoke Stack</td> </tr> <tr> <td>LTOWER – Lattice Tower</td> <td>TANK – Any type of Tank (water, gas, etc.)</td> </tr> <tr> <td>MAST – Mast</td> <td>TREE – When used as a support for an antenna</td> </tr> <tr> <td>MTOWER – Monopole</td> <td>UPOLE – Utility Pole/Tower used to provide service (electric, telephone, etc.)</td> </tr> <tr> <td>NNGTANN – Guyed Tower Array</td> <td></td> </tr> </table>				B – Building	NNLTANN – Lattice Tower Array	BANT – Building with Antenna on Top	NNMTANN – Monopole Array	BMAST – Building with Mast	PIPE – Any type of Pipe	BPIPE – Building with Pipe	POLE – Any type of Pole	BPOLE – Building with Pole	RIG – Oil or Other Type of Rig	BRIDG – Bridge	SIGN – Any type of Sign or Billboard	BTWR – Building with Tower	SILO – Any type of Silo	GTOWER – Guyed Structure Used For Communication Purposes	STACK – Smoke Stack	LTOWER – Lattice Tower	TANK – Any type of Tank (water, gas, etc.)	MAST – Mast	TREE – When used as a support for an antenna	MTOWER – Monopole	UPOLE – Utility Pole/Tower used to provide service (electric, telephone, etc.)	NNGTANN – Guyed Tower Array	
B – Building	NNLTANN – Lattice Tower Array																										
BANT – Building with Antenna on Top	NNMTANN – Monopole Array																										
BMAST – Building with Mast	PIPE – Any type of Pipe																										
BPIPE – Building with Pipe	POLE – Any type of Pole																										
BPOLE – Building with Pole	RIG – Oil or Other Type of Rig																										
BRIDG – Bridge	SIGN – Any type of Sign or Billboard																										
BTWR – Building with Tower	SILO – Any type of Silo																										
GTOWER – Guyed Structure Used For Communication Purposes	STACK – Smoke Stack																										
LTOWER – Lattice Tower	TANK – Any type of Tank (water, gas, etc.)																										
MAST – Mast	TREE – When used as a support for an antenna																										
MTOWER – Monopole	UPOLE – Utility Pole/Tower used to provide service (electric, telephone, etc.)																										
NNGTANN – Guyed Tower Array																											
39b) Number of Towers in Array:		39c) Position of this Tower in the Array:																									
40a) Array Center Latitude (DD-MM-SS.S):		40b) North or South																									
41a) Array Center Longitude (DDD-MM-SS.S):		41b) East or West:																									

Proposed Marking and/or Lighting

42) Enter the proposed marking and/or lighting: (1) See Form 854 Item 42 Instructions for detailed tier and lighting information.		
1) None	4) FAA Style B	7) FAA Style E
2) Paint Only	5) FAA Style D	8) FAA Style F
3) Other _____	6) FAA Style C	9) FAA Style A
		10) FAA Style G

FAA Notification

43) FAA Study Number: 2023-ASO-32266-OE	44) Date Issued: 01/10/2024
---	---------------------------------------

Environmental Compliance

45) Does the applicant request a waiver of the Commission's rules for environmental notice prior to construction due to an emergency situation?	(No) Yes or No
46a) If the answer to 45 is No, is another federal agency taking responsibility for environmental review of the Antenna Structure?	(No) Yes or No
46b) If the answer to 46a is Yes, indicate why: 1) The Antenna Structure is on Federal Land and the landholding agency is taking responsibility for the environmental review of the Antenna Structure. 2) Another federal agency has agreed with the FCC in writing to take responsibility for the environmental review of the Antenna Structure.	() 1 or 2
46c) If the answer to 46a is Yes, provide the name of the federal agency taking responsibility for the environmental review of the Antenna Structure.	Name:
47) If the answers to 45 and 46a are No, provide the National Notice Date for the application to be posted on the FCC's website (mm/dd/yyyy).	Date: 02/01/2024
48) Is the applicant submitting an environmental assessment?	(No) Yes or No
49) Does the applicant certify that grant of Authorizations at this location would not have a significant environmental effect pursuant to Section 1.1307 of the FCC's rules?	() Yes or No
50) If the answer to 49 is Yes, select the basis for this certification. 1) The construction is exempt from environmental notification (other than due to another agency's review) and it does not fall within one of the categories in Section 1.1307(a) or (b) of the FCC's rules? 2) The construction is exempt from environmental notification due to another agency's review, and the other agency has issued a Finding of No Significant Impact. 3) The environmental notification has been completed, and the FCC has notified the applicant that an Environmental Assessment is not required under Section 1.1307(c) or (d) of the FCC's rules, and the Construction does not fall within one of the categories in Section 1.1307(a) or (b) of the FCC's rules. 4) The FCC has issued a Finding of No Significant Impact.	() 1, 2, 3, 4
51) If the answer to 50 is 3 or 4, enter the date that Local Notice was provided (mm/dd/yyyy).	Date:

Certification Statements

1) The applicant certifies that all statements made in this application and in the exhibits, attachments, or documents incorporated by reference are material, are part of this application, and are true, complete, correct, and made in good faith.
2) The applicant certifies that neither the applicant nor any other party to the application is subject to a denial of Federal benefits pursuant to Section 5301 of the Anti-Drug Abuse Act of 1988, 21 U.S.C. § 862, because of a conviction for possession or distribution of a controlled substance. See Section 1.2002(b) of the rules, 47 CFR § 1.2002(b), for the definition of "party to the application" as used in this certification.

Signature (Typed or Printed Name of Party Authorized to Sign) (For OC Applications, to be completed by Assignee)

52) First Name: Nataliene	MI:	Last Name: Troy	Suffix:
53) Title: Project Manager			
54) Signature: Nataliene Troy			55) Date: Jan 29, 2024

Signature (Typed or Printed Name of Party Authorized to Sign) (For OC Applications, to be completed by Assignor)

56) First Name:	MI:	Last Name:	Suffix:
57) Title:			
58) Signature:			59) Date:



10/04/23

To: To Whom It May Concern

Transmitted via email

RE: SUNNYHILL CT 507 Macro Site Located at: 15733 SE 182nd AVE RD, Umatilla, FL 32784

To Whom It May Concern,

This is in response to your inquiry to Verizon concerning interference to your existing telecommunications devices and services related to Verizon's proposed facilities at 15733 SE 182nd AVE RD, Umatilla, FL 32784. Verizon provides Commercial Mobile Radio Services ("CMRS") under licenses granted by the Federal Communication Commission ("FCC"). Pursuant to these licenses, Verizon is authorized to operate its CMRS network in many geographic areas throughout the nation, including the above noted location.

The FCC exclusively regulates all technical aspects of Verizon operations and network and preempts all state and local regulation of radiofrequency transmissions. The FCC rules protect co-channel and adjacent licensees against harmful interference.

The above noted proposed Verizon facility is compliant with all applicable FCC requirements. The points below cover Verizon' practices pertinent to complying with the FCC requirements:

1. Verizon locates its transmitting antenna(s) in order to maximize vertical and horizontal separation from other operator's systems.
2. All equipment at the proposed facility is designed and certified to operate within the frequencies licensed to Verizon by the FCC, and to operate in a manner approved by the FCC. The antennas shall not interfere with public safety communications.
3. and the usual and customary transmission or reception of radio and television
4. The power levels generated by the facility's radios and corresponding effective radiated power (ERP) from the transmitting antenna(s) are within the limitations specified by Part 22 (for cellular), Part 24 (for PSC), Part 27 (for 700 MHz or AWS), Part 96 (for CBRs), Part 30 (UMFUS/mmWave) or Part 101 (for microwave) of the Commission's Rules.

Verizon is committed to providing state of the art wireless services that benefit your community. In the unlikely event that interference does occur, Verizon agrees to fully cooperate with the entity experiencing interference to identify and correct, to the extent reasonably possible, any issues caused by the Verizon installation.

Please contact your local Verizon resource below if you have additional site-specific questions.

Contact Name	Contact Email	Contact Phone
AMIT RAUT	AMIT.RAUT@VERIZONWIRELESS.COM	813-399-3176

Sincerely,
Amit Raut

AMIT RAUT

ENGINEER-RF System Design, Verizon



Report Date: February 2, 2024

Client: Expert Construction Managers, Inc.
815 S. Kings Ave Suite 725
Brandon, FL 33511
Attn: Ryan Aufiero
(813) 731-2580
ryan@expertconstructionmanagersinc.com

Structure: Proposed 190-ft Monopole

Site Name: Sunnyhill

Site Address: 15733 SE 182nd Avenue Rd

City, County, State: Umatilla, Marion, FL

Latitude, Longitude: 28.994523°, -81.806181°

PJF Project: A62624-0001.001.7102

We understand that there may be some concern on the part of local building officials regarding the reliability of communication poles. Communication structures are designed in accordance with the Telecommunications Industries Association / Electronic Industries Association Standards TIA-222-H, "Structural Standards for Antenna Supporting Structures, Antennas, and Small Wind Turbine Support Structures." This is a nationally recognized standard and is modeled after the American National Standards Institute document ANSI A58.1. The TIA-222-H standard was developed by professional engineers experienced in the design of communication structures. Much of these specific design criteria are often not available in local building codes.


The pole and its foundation will be designed per the 2023 Florida Building Code, 8th Edition (2021 International Building Code with state amendments) and the TIA-222-H standard (exception #5 of Section 1609.1.1) using Load and Resistance Factor Design (LRFD) methodology. This design methodology is also used in building design and is discussed in American Institute of Steel Construction (AISC) and American Concrete Institute (ACI) design standards.

This pole shall be designed with a basic design wind speed of 131 mph for use in the TIA-222-H Standard. Exposure Category C, a topographic factor, $K_{zt} = 1.0$, and Risk Category II shall be used in this design.

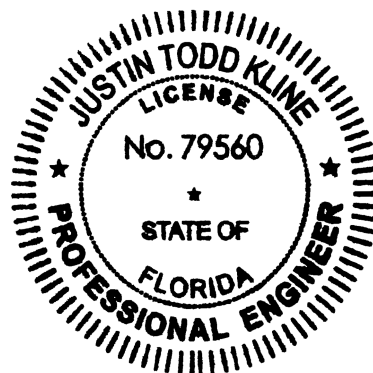
This pole will be designed to meet the design wind criteria. When steel becomes overstressed, it does not suddenly break, it will bend and buckle. In the unlikely event that this pole should collapse, the pole would be overstressed first and would buckle. The pole would then bend over resulting in a worst case fall radius of up to 190-ft.

We at Paul J. Ford and Company appreciate the opportunity of providing our continuing professional services to you and Expert Construction Managers, Inc.. If you have any questions or need further assistance on this or any other projects, please give us a call.

Respectfully Submitted by:
Paul J. Ford and Company

Nathan C. Miller, P.E.
Project Engineer 
nmiller@pauljford.com

JUSTIN T. KLINE, P.E. - FL LICENSE #0000079560
PAUL J FORD & CO. - #EB-0002848



This item has been electronically signed and sealed by Justin T. Kline, P.E. using a digital signature and date.

Printed Copies of this document are not considered signed and sealed, and the signature must be verified on electronic copies.

02/02/2024

250 E Broad St, Suite 600
Columbus, OH 43215
Phone 614.221.6679

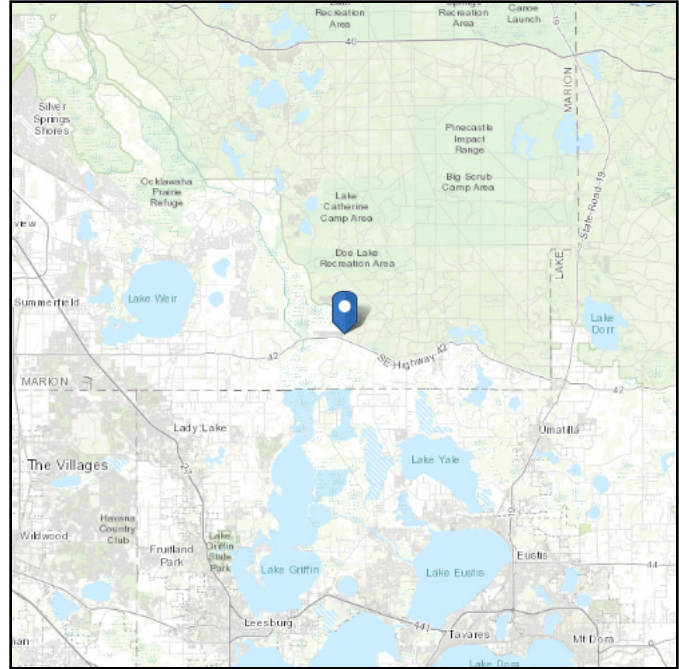
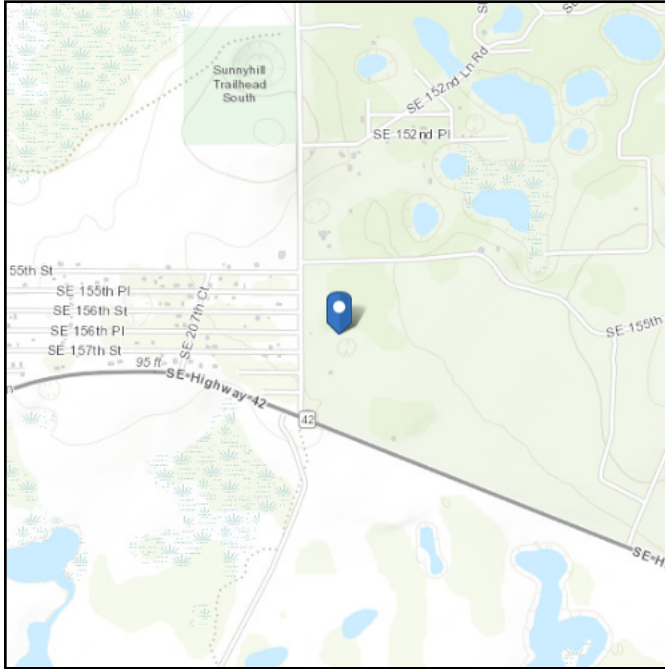


ASCE Hazards Report

Address:
No Address at This Location

Standard: ASCE/SEI 7-22
Risk Category: II
Soil Class: D - Stiff Soil

Latitude: 28.994523
Longitude: -81.806181
Elevation: 65.33478397719597 ft
(NAVD 88)



Wind

Results:

Wind Speed	131 Vmph
10-year MRI	77 Vmph
25-year MRI	89 Vmph
50-year MRI	99 Vmph
100-year MRI	108 Vmph
300-year MRI	120 Vmph
700-year MRI	131 Vmph
1,700-year MRI	140 Vmph
3,000-year MRI	150 Vmph
10,000-year MRI	160 Vmph
100,000-year MRI	169 Vmph
1,000,000-year MRI	178 Vmph

Data Source: ASCE/SEI 7-22, Fig. 26.5-1B and Figs. CC.2-1–CC.2-4, and Section 26.5.2
Date Accessed: Thu Feb 01 2024



Value provided is 3-second gust wind speeds at 33 ft above ground for Exposure C Category, based on linear interpolation between contours. Wind speeds are interpolated in accordance with the 7-22 Standard. Wind speeds correspond to approximately a 7% probability of exceedance in 50 years (annual exceedance probability = 0.00143, MRI = 700 years). Values for 10-year MRI, 25-year MRI, 50-year MRI and 100-year MRI are Service Level wind speeds, all other wind speeds are Ultimate wind speeds.

Site is in a hurricane-prone region as defined in ASCE/SEI 7-22 Section 26.2. Glazed openings need not be protected against wind-borne debris.

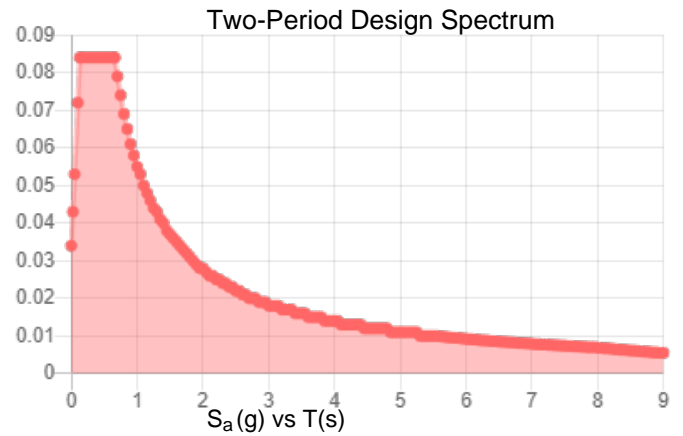
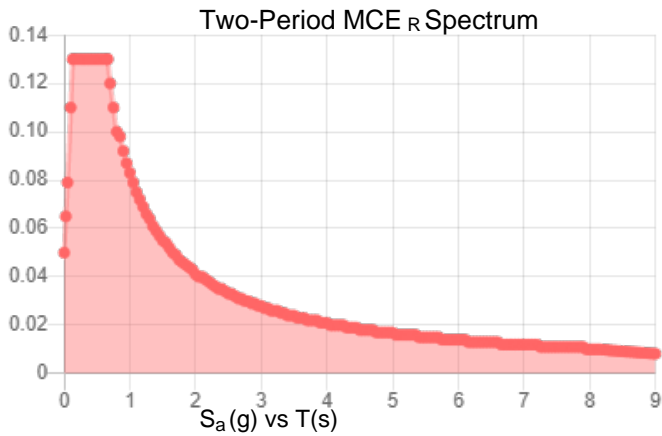
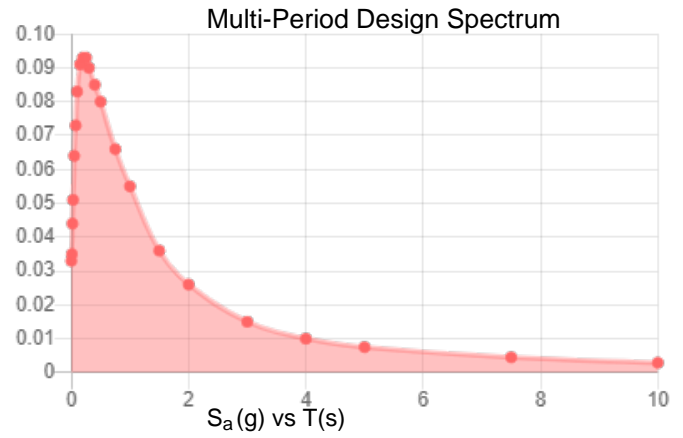
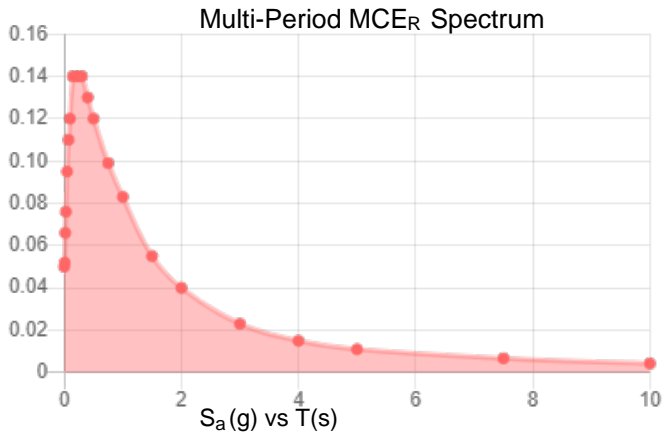


Site Soil Class: D - Stiff Soil

Results:

PGA _M :	0.045	T _L :	8
S _{MS} :	0.13	S _s :	0.095
S _{M1} :	0.083	S ₁ :	0.039
S _{DS} :	0.084	V _{S30} :	260
S _{D1} :	0.055		

Seismic Design Category: A



MCE_R Vertical Response Spectrum

Vertical ground motion data has not yet been made available by USGS.

Design Vertical Response Spectrum

Vertical ground motion data has not yet been made available by USGS.



Data Accessed: Thu Feb 01 2024

Date Source:

USGS Seismic Design Maps based on ASCE/SEI 7-22 and ASCE/SEI 7-22 Table 1.5-2. Additional data for site-specific ground motion procedures in accordance with ASCE/SEI 7-22 Ch. 21 are available from USGS.



Ice

Results:

Ice Thickness:	N/A
Concurrent Temperature:	N/A
3-s Gust Speed	N/A

Data Source: Standard ASCE/SEI 7-22, Figs. 10-2 through 10-8

Date Accessed: Thu Feb 01 2024

Ice thicknesses on structures in exposed locations at elevations higher than the surrounding terrain and in valleys and gorges may exceed the mapped values.

Values provided are equivalent radial ice thicknesses due to freezing rain for 250, 500, 1,000, and 1,400-year mean recurrence intervals along with concurrent 3-s gust speeds and concurrent air temperatures. The shading indicates special icing regions, with elevations above 2,100 ft (640 m) in the east, 6,000 ft (1829 m) in the west, and 1,600 ft (488 m) in Alaska, with sparse weather station data for determining design ice loads. In these regions, as well as in regions with complex terrain causing unusual icing conditions and regions where snow or in-cloud icing results in larger loads, the mapped values should be adjusted based on a combination of local historical records and experience, reanalysis data, and numerical weather prediction systems.

The ASCE Hazard Tool is provided for your convenience, for informational purposes only, and is provided "as is" and without warranties of any kind. The location data included herein has been obtained from information developed, produced, and maintained by third party providers; or has been extrapolated from maps incorporated in the ASCE standard. While ASCE has made every effort to use data obtained from reliable sources or methodologies, ASCE does not make any representations or warranties as to the accuracy, completeness, reliability, currency, or quality of any data provided herein. Any third-party links provided by this Tool should not be construed as an endorsement, affiliation, relationship, or sponsorship of such third-party content by or from ASCE.

ASCE does not intend, nor should anyone interpret, the results provided by this Tool to replace the sound judgment of a competent professional, having knowledge and experience in the appropriate field(s) of practice, nor to substitute for the standard of care required of such professionals in interpreting and applying the contents of this Tool or the ASCE standard.

In using this Tool, you expressly assume all risks associated with your use. Under no circumstances shall ASCE or its officers, directors, employees, members, affiliates, or agents be liable to you or any other person for any direct, indirect, special, incidental, or consequential damages arising from or related to your use of, or reliance on, the Tool or any information obtained therein. To the fullest extent permitted by law, you agree to release and hold harmless ASCE from any and all liability of any nature arising out of or resulting from any use of data provided by the ASCE Hazard Tool.

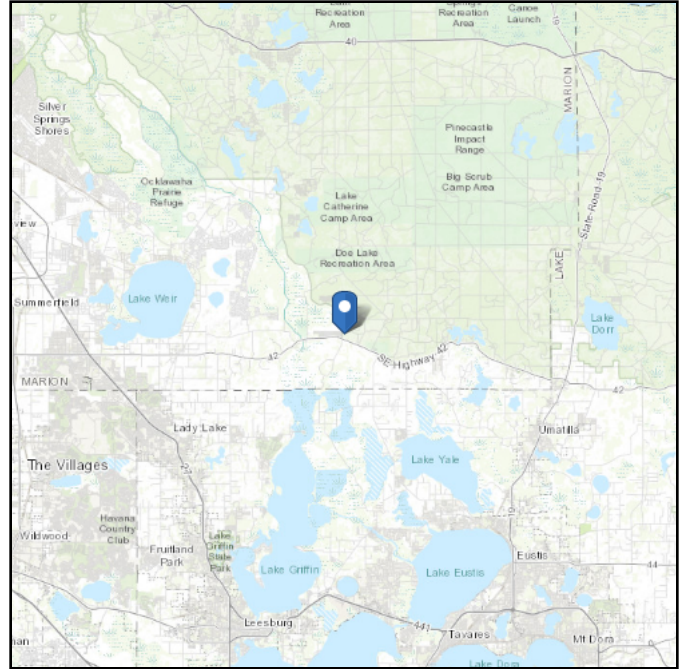
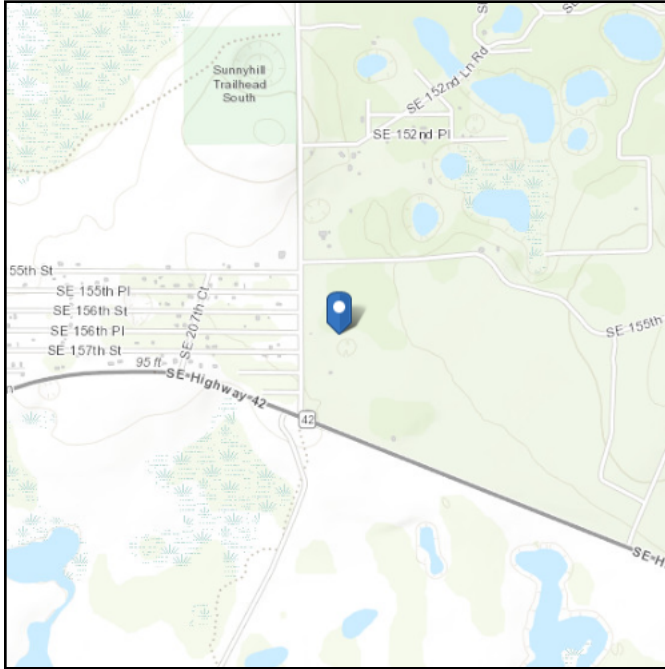


ASCE Hazards Report

Address:
No Address at This Location

Standard: ASCE/SEI 7-22
Risk Category: II
Soil Class: D - Stiff Soil

Latitude: 28.994523
Longitude: -81.806181
Elevation: 65.33478397719597 ft
(NAVD 88)



Wind

Results:

Wind Speed	131 Vmph
10-year MRI	77 Vmph
25-year MRI	89 Vmph
50-year MRI	99 Vmph
100-year MRI	108 Vmph
300-year MRI	120 Vmph
700-year MRI	131 Vmph
1,700-year MRI	140 Vmph
3,000-year MRI	150 Vmph
10,000-year MRI	160 Vmph
100,000-year MRI	169 Vmph
1,000,000-year MRI	178 Vmph

Data Source: ASCE/SEI 7-22, Fig. 26.5-1B and Figs. CC.2-1–CC.2-4, and Section 26.5.2
Date Accessed: Thu Feb 01 2024



Value provided is 3-second gust wind speeds at 33 ft above ground for Exposure C Category, based on linear interpolation between contours. Wind speeds are interpolated in accordance with the 7-22 Standard. Wind speeds correspond to approximately a 7% probability of exceedance in 50 years (annual exceedance probability = 0.00143, MRI = 700 years). Values for 10-year MRI, 25-year MRI, 50-year MRI and 100-year MRI are Service Level wind speeds, all other wind speeds are Ultimate wind speeds.

Site is in a hurricane-prone region as defined in ASCE/SEI 7-22 Section 26.2. Glazed openings need not be protected against wind-borne debris.

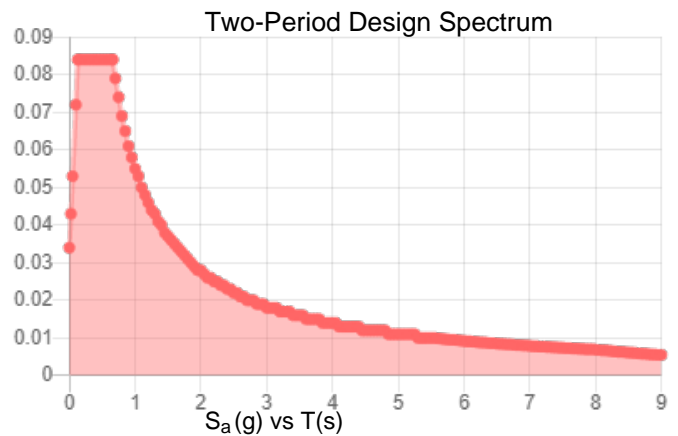
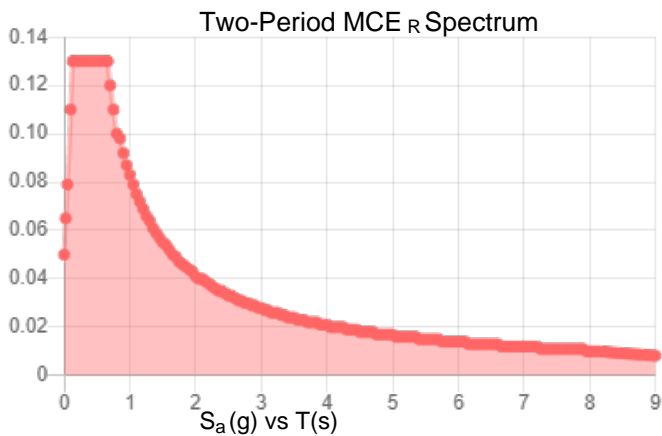
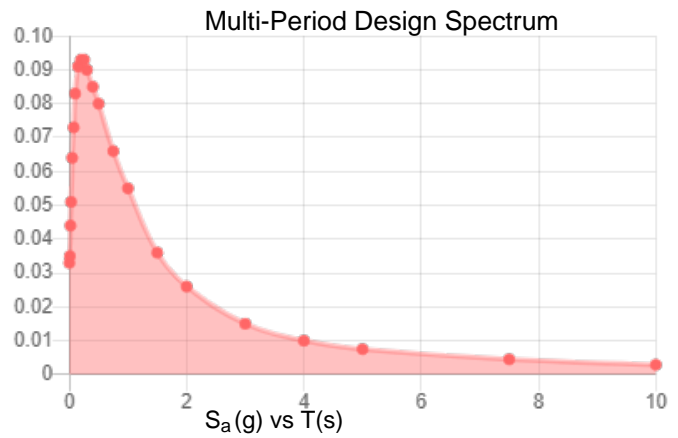
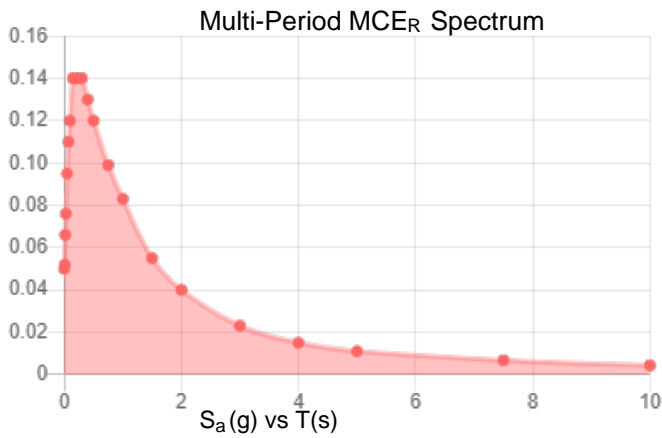


Site Soil Class: D - Stiff Soil

Results:

PGA _M :	0.045	T _L :	8
S _{MS} :	0.13	S _s :	0.095
S _{M1} :	0.083	S ₁ :	0.039
S _{DS} :	0.084	V _{S30} :	260
S _{D1} :	0.055		

Seismic Design Category: A



MCE_R Vertical Response Spectrum

Vertical ground motion data has not yet been made available by USGS.

Design Vertical Response Spectrum

Vertical ground motion data has not yet been made available by USGS.



Data Accessed: Thu Feb 01 2024

Date Source:

USGS Seismic Design Maps based on ASCE/SEI 7-22 and ASCE/SEI 7-22 Table 1.5-2. Additional data for site-specific ground motion procedures in accordance with ASCE/SEI 7-22 Ch. 21 are available from USGS.



Ice

Results:

Ice Thickness:	N/A
Concurrent Temperature:	N/A
3-s Gust Speed	N/A

Data Source: Standard ASCE/SEI 7-22, Figs. 10-2 through 10-8

Date Accessed: Thu Feb 01 2024

Ice thicknesses on structures in exposed locations at elevations higher than the surrounding terrain and in valleys and gorges may exceed the mapped values.

Values provided are equivalent radial ice thicknesses due to freezing rain for 250, 500, 1,000, and 1,400-year mean recurrence intervals along with concurrent 3-s gust speeds and concurrent air temperatures. The shading indicates special icing regions, with elevations above 2,100 ft (640 m) in the east, 6,000 ft (1829 m) in the west, and 1,600 ft (488 m) in Alaska, with sparse weather station data for determining design ice loads. In these regions, as well as in regions with complex terrain causing unusual icing conditions and regions where snow or in-cloud icing results in larger loads, the mapped values should be adjusted based on a combination of local historical records and experience, reanalysis data, and numerical weather prediction systems.

The ASCE Hazard Tool is provided for your convenience, for informational purposes only, and is provided "as is" and without warranties of any kind. The location data included herein has been obtained from information developed, produced, and maintained by third party providers; or has been extrapolated from maps incorporated in the ASCE standard. While ASCE has made every effort to use data obtained from reliable sources or methodologies, ASCE does not make any representations or warranties as to the accuracy, completeness, reliability, currency, or quality of any data provided herein. Any third-party links provided by this Tool should not be construed as an endorsement, affiliation, relationship, or sponsorship of such third-party content by or from ASCE.

ASCE does not intend, nor should anyone interpret, the results provided by this Tool to replace the sound judgment of a competent professional, having knowledge and experience in the appropriate field(s) of practice, nor to substitute for the standard of care required of such professionals in interpreting and applying the contents of this Tool or the ASCE standard.

In using this Tool, you expressly assume all risks associated with your use. Under no circumstances shall ASCE or its officers, directors, employees, members, affiliates, or agents be liable to you or any other person for any direct, indirect, special, incidental, or consequential damages arising from or related to your use of, or reliance on, the Tool or any information obtained therein. To the fullest extent permitted by law, you agree to release and hold harmless ASCE from any and all liability of any nature arising out of or resulting from any use of data provided by the ASCE Hazard Tool.