

July 29, 2025

PROJECT NAME: THE OLE OAK VILLAGE
PROJECT NUMBER: 2022120053
APPLICATION: MAJOR SITE PLAN #31223

1 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: Checked SunBiz and Project Map -EMW 7.17.25

IF APPLICABLE:

Sec. 2.18.2.I Show connections to other phases.

Sec. 2.19.2.H. Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Required Right of Way Dedication (select as appropriate)

Sec. 6.3.1.D.(1)(b)1. For Public Streets. "[All streets and right of way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.D.(1)(b)2. For Non-Public Streets. "[All streets and right of way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.(1)(b)3. For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.D.(1)(c)1&2 Utility Easements, select as appropriate:

1."[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

2."[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec. 6.3.1.D.(1)(d)1.2.3. Stormwater easements and facilities, select as appropriate:

1."[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2."[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedicated language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.(1)(f). If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

2 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 4.4.4 -Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan.

STATUS OF REVIEW: INFO

REMARKS: Any future signs will require a separate sign permit.

3 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.4.L(4) - Zoning requirements: lot width, area , setbacks , coverage (floor area ratios) and parking

STATUS OF REVIEW: INFO

REMARKS: Maximum building height of 40 ft

4 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.3 - Tree protection

STATUS OF REVIEW: INFO

REMARKS: It appears per the plan that several of the protection areas will be impacted by structures placed on top of the root zone and within the canopy. If these trees decline or die, mitigation will be required

5 DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: Additional 911 comments

STATUS OF REVIEW: INFO

REMARKS: The roads will not be named in this development. The development will be one address with unit numbers.

6 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REVIEW ITEM: Additional Health comments

STATUS OF REVIEW: INFO

REMARKS: N/A

7 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: Additional Development Review Comments

STATUS OF REVIEW: INFO

REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

8 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval

STATUS OF REVIEW: INFO

REMARKS: 6/5/24-add waivers if requested in future

9 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Additional Stormwater comments

STATUS OF REVIEW: INFO

REMARKS: (1) Proposed grading and drainage modifications that impact the FDOT ROW drainage systems need to be coordinated directly with FDOT. (2) If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.

- 10 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.
- 11 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.

Feel free to contact us at (352) 671-8686 or DevelopmentReview@marionfl.org with questions.

Sincerely,

Your Development Review Team
Office of the County Engineer



**Marion County
Board of County Commissioners**

AR 31223

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW PLAN APPLICATION

Date: 2-26-2024

A. PROJECT INFORMATION:

Project Name: The Ole Oak Village

Parcel Number(s): 38538-000-00

Section 31 Township 16 Range 23 Land Use HR Zoning Classification PMH

Commercial ☐ Residential ☒ Industrial ☐ Institutional ☐ Mixed Use ☐ Other ☐

Type of Plan: MAJOR SITE PLAN

Property Acreage 5.77 Number of Lots 31 Miles of Roads 0.33

Location of Property with Crossroads South of Belleview, on the east side of US 301, across from SE 119th Place.

Additional information regarding this submittal: This site is currently zoned PMH with HR land use. Client is proposing 31 lots to be rented. This will be a single major site plan, not platted.

B. CONTACT INFORMATION (*Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.*)



Engineer:

Firm Name: Tillman and Associates Engineering, LLC Contact Name: Kevin Atchley

Mailing Address: 1720 SE 17th Street, Bldg 100 City: Ocala State: FL Zip Code: 34470

Phone # 352-387-4540 Alternate Phone # _____

Email(s) for contact via ePlans: PERMITS@TILLMANENG.COM



Surveyor:

Firm Name: _____ Contact Name: _____

Mailing Address: _____ City: _____ State: _____ Zip Code: _____

Phone # _____ Alternate Phone # _____

Email(s) for contact via ePlans: _____

Property Owner:

Owner: Manufactured Housing One, LLC Contact Name: Ohad Peri

Mailing Address: 3225 McLeod Dr., Suite 110 City: Las Vegas State: NV Zip Code: 89121-2257

Phone # 201-658-5953 Alternate Phone # _____

Email address: peri@triplepventure.com

Developer:

Developer: Manufactured Housing One, LLC Contact Name: Ohad Peri

Mailing Address: 3225 McLeod Dr., Suite 110 City: Las Vegas State: NV Zip Code: 89121-2257

Phone # 201-658-5953 Alternate Phone # _____

Email address: peri@triplepventure.com

Revised 6/2021

CLEAR FORM

Empowering Marion for Success

marionfl.org

1. MAJOR SITE PLAN (MARION COUNTY) - PENDING
2. ENVIRONMENTAL RESOURCE PERMIT (S.J.R.W.M.D.) - PENDING
3. FDEP - POTABLE WATER - PENDING
4. FDEP - SANITARY SEWER - PENDING
5. FDEP - NPDES (By Others)

SECTION 6.11.3.2(1)	TYPES OF STORMWATER MANAGEMENT FACILITIES, 5 FT BERM WIDTH - APPROVED	8/26/24
SECTION 2.21.6.1	COMMENCE CONSTRUCTION PERMIT FOR LAND APPROVAL - APPROVED	11/19/24
SECTION 6.11.2.10	SIDEWALKS - RAY FEE IN LIEU OF FOR SIDEWALK ALONG US 301 - APPROVED	11/19/24
SECTION 6.8.6.0(2)	RUFFER - MAINTAIN RUFFER EXISTENCE BUTTER - APPROVED	11/19/24
SECTION 6.11.2.1	IRRIGATION PLAN - PROPOSED SCENARIOS IRRIGATION PLAN - APPROVED	11/19/24
SECTION 6.11.2.2	RIGHT-OF-WAY - ALLOW 30' R/W WITH 15' CUL. ON EACH SIDE - APPROVED	10/4/25
SECTION 6.11.2.8	ROADS - PROPOSED GRADE PER MUTCD WILL BE PROVIDED WHEN NEEDED - APPROVED	3/24/25
SECTION 6.11.6.A(7)(b)	STORMWATER - ALLOW SLOPE TO BE 7:1 DEEP DUE TO FOOT REQUIREMENTS - APPROVED	3/24/25



SECTION 31, TOWNSHIP 16 SOUTH, RANGE 23 EAST
MARION COUNTY, FLORIDA

ITE CODE	DEVELOPMENT DESCRIPTION	DEVELOPMENT SIZE	UNIT	AM IN	AM OUT	PM IN	PM OUT
240	MOBILE HOME PARK	31	UNITS	3	6	9	6
TOTAL				9		15	

ITE CODE	DEVELOPMENT DESCRIPTION	DEVELOPMENT SIZE	UNIT	AM IN	AM OUT	PM IN	PM OUT
240	MOBILE HOME PARK	31	UNITS	3	6	9	6
TOTAL				9		15	

LOT 1, BLOCK 93, TOWN OF BELLEVUE, AS PER PLAT THEREOF RECORDED IN PLAT BOOK "A", PAGE 15 AND 15-B, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, EXCEPT 100 FEET NORTH AND SOUTH BY 200 FEET EAST AND WEST IN THE NORTHWESTERLY CORNER THEREOF, AND EXCEPT EXISTING RIGHT OF WAY AND ADDITION THERETO, DATED APRIL 19, 1940, RECORDED OCTOBER 16, 1940. IN DEED BOOK 241, PAGE 54, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA. LESS ANY PORTION CONTAINED IN BOOK 6274, PAGE 851.

THE NORTH 100 FEET OF THE WEST 200 FEET OF LOT 1, BLOCK 93, TOWN OF BELLEVUE, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK A, PAGE(S) 15, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, AND A STRIP OF LAND 50 FEET IN WIDTH LYING EAST OF AND ADJACENT TO SAID THE NORTH 100 FEET OF THE WEST 200 FEET OF LOT 1, BLOCK 93.

BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICA DATUM OF 1983 (NAD 83), WITH 2011 ADJUSTMENT AS DERIVED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION VIRTUAL REFERENCE STATION NETWORK.

VERTICAL DATUM IS BASED ON NATIONAL GEODETIC SURVEY CONTROL POINT XXX, ELEVATION XXX (NAVD 1000)

1. DATE OF FIELD SURVEY: 12/27/2022.
2. BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM), COMMERCIAL PANEL 13062B, EFFECTIVE DATE OF 8/28/2000, THE PROPERTY DESCRIBED HEREON LIES WITHIN FLOOD ZONES "X" AN AREA OF MINIMAL FLOOD HAZARD.
3. NORTH-SOUTH AND EAST-WEST TIES TO FOUND MONUMENTATION AND IMPROVEMENTS ARE BASED ON CARDINAL DIRECTION.
4. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON SURFACE EVIDENCE. LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WERE NOT VERIFIED BY A & S SURVEY, INC.
5. SUBJECT TO RIGHT OF WAY, RESTRICTIONS, EASEMENTS AND RESERVATIONS OF RECORD. PUBLIC RECORDS NOT SEARCHED BY C & S SURVEY, INC.
6. TOPOGRAPHIC DATA AND TREE LOCATIONS ARE BASED ON AREA AS SPECIFIED BY CLIENT.

VICINITY MAP
SCALE: 1"=500'

OWNER/DEVELOPER:
OHAD PERI
301 MHC, LLC & MANUFACTURED HOUSING ONE, LLC
3225 MCLEOD DR., SUITE 110
LAS VEGAS, NV 89121-2257
PHONE: (201) 658-5953

CIVIL ENGINEER:
KEVIN L. ATCHLEY, PE
TILLMAN AND ASSOCIATES ENGINEERING, LLC
1720 SE 16TH AVE., BLDG. 100
OCALA, FLORIDA 34471
PHONE: (352) 387-4540

SURVEYOR:
ANDREW W. CARBAUGH, PSM
C & A SURVEY, INC.
3106 E. FORT KING STREET
OCALA, FLORIDA 34470
PHONE: (352) 694-6566

GEOTECHNICAL CONSULTANT:
CRAIG A. HAMPY, PE
GEO-TECH, INC.
1016 S.E. 3RD AVENUE
OCALA, FLORIDA 34471
PHONE: (352) 694-7711

01.01	COVER SHEET
02.01	GENERAL NOTES
03.01	AERIAL PHOTOGRAPH
04.01-04.02	GEOMETRY PLAN
05.01	SIGNAGE & STRIPING PLAN
06.01	MAKER DRAINAGE PLAN
10.01	LOT GRADING PLAN
07.01	MASTER UTILITY PLAN
07.02	OFFSITE UTILITY PLAN
08.01-08.04	PLAN & PROFILE
09.01	ROADWAY & PAVEMENT DETAILS
10.01	DRAINAGE DETAILS
11.01	POTABLE WATER DISTRIBUTION DETAILS
12.01	SANITARY SEWER DETAILS
12.02	SANITARY SEWER DETAILS
12.03	LIFF STATION DETAILS
13.01	EROSION CONTROL PLAN
13.02	EROSION CONTROL DETAILS
LP-1- LP-3	LANDSCAPE PLANS

3. NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLAN SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
4. ALL ROAD (INCLUDING SIGNAL, PAVEMENT MARKINGS AND SIDEWALKS) AND DRAWS/DRAINAGE ASSESSMENTS ARE PRIVATE PROPERTY.
5. NO LOTS WILL BE PLATTED. ALL LOTS WILL BE RENTALS AND SHALL BE OWNED BY THE DEVELOPER.
6. THE MAXIMUM SPEED OF 25 M.P.H. TO BE POSTED AT 30 M.P.H. EXCEPT FOR CURVES WITH RADIUS LESS THAN 100'.
7. THIS PROPOSED PROJECT WILL NOT BE GRANTED CONCURRENCY APPROVAL AND/OR GRANTED CONCURRENTLY WITH ANY OTHER PROJECTS.
8. THE PROJECT WILL BE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE SUBJECT HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR DEVELOPMENT OF THE PROJECT WILL BE SUBJECT TO THE COMPLETION OF THE CONCURRENCY REVIEW NOT LIMITED TO IMPROVEMENT PLAN, FINAL PLAT, SITE PLAN, OR BUILDING PERMIT REVIEW.
9. THIS PROPERTY LIES IN THE SECONDARY SPURNS PROTECTION ZONE AND FLOOD ZONE "X". NO PART

I CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN WITHIN THESE PLANS.

OHAD PERI
301 MHC, LLC & MANUFACTURED HOUSING ONE, LLC

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED.

KEVIN L. ATCHLEY, P.E.
TILLMAN & ASSOC. ENGINEERING
FL LICENSED ENGINEER NO. 531

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE LDC AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS

C & A SURVEY, INC.
FL LICENSED LAND SURVEYOR NO. 6787

Williams & Associates
— ENGINEERING, LLC. —
Landscape Engineering - Planning - Landscape Architecture - Environmental
1720 SE 16th Ave. Bldg 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545
CERTIFICATE OF AUTHORIZATION #26756

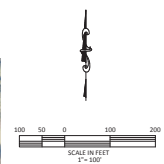
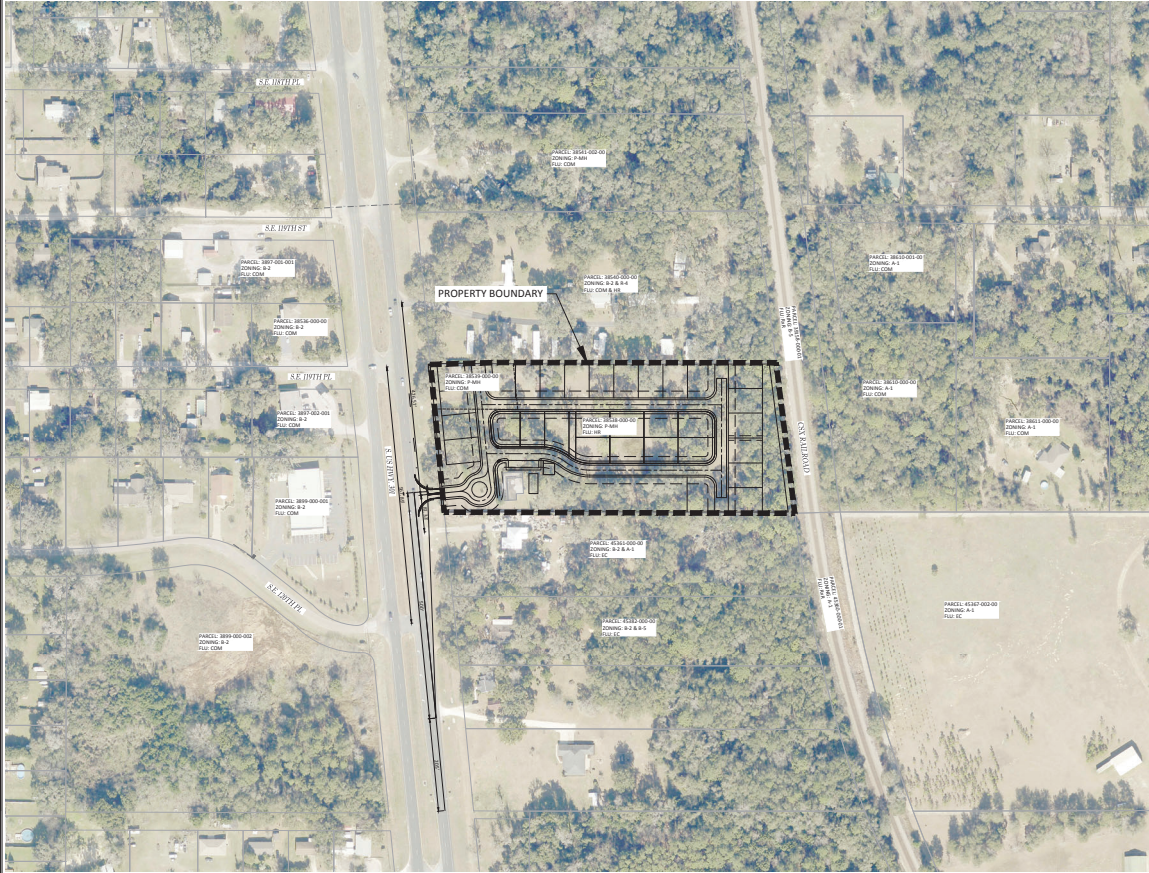
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MAJOR SITE PLAN
THE OLE OAK VILLAGE
MARION COUNTY, FLORIDA

DATE 05/09/2025
DRAWN BY PV
CHKD. BY KLA
JOB NO. 23-8333

SHT. 01.01

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



Marion County Approval Stamp

MARION COUNTY, FLORIDA	
AERIAL PHOTOGRAPH	
DATE	03/08/2024
DRAWN BY	JL
CHECKED BY	JL
JOB NO.	22-8322
SHEET 03.01	

REVISIONS

NO.	DESCRIPTION

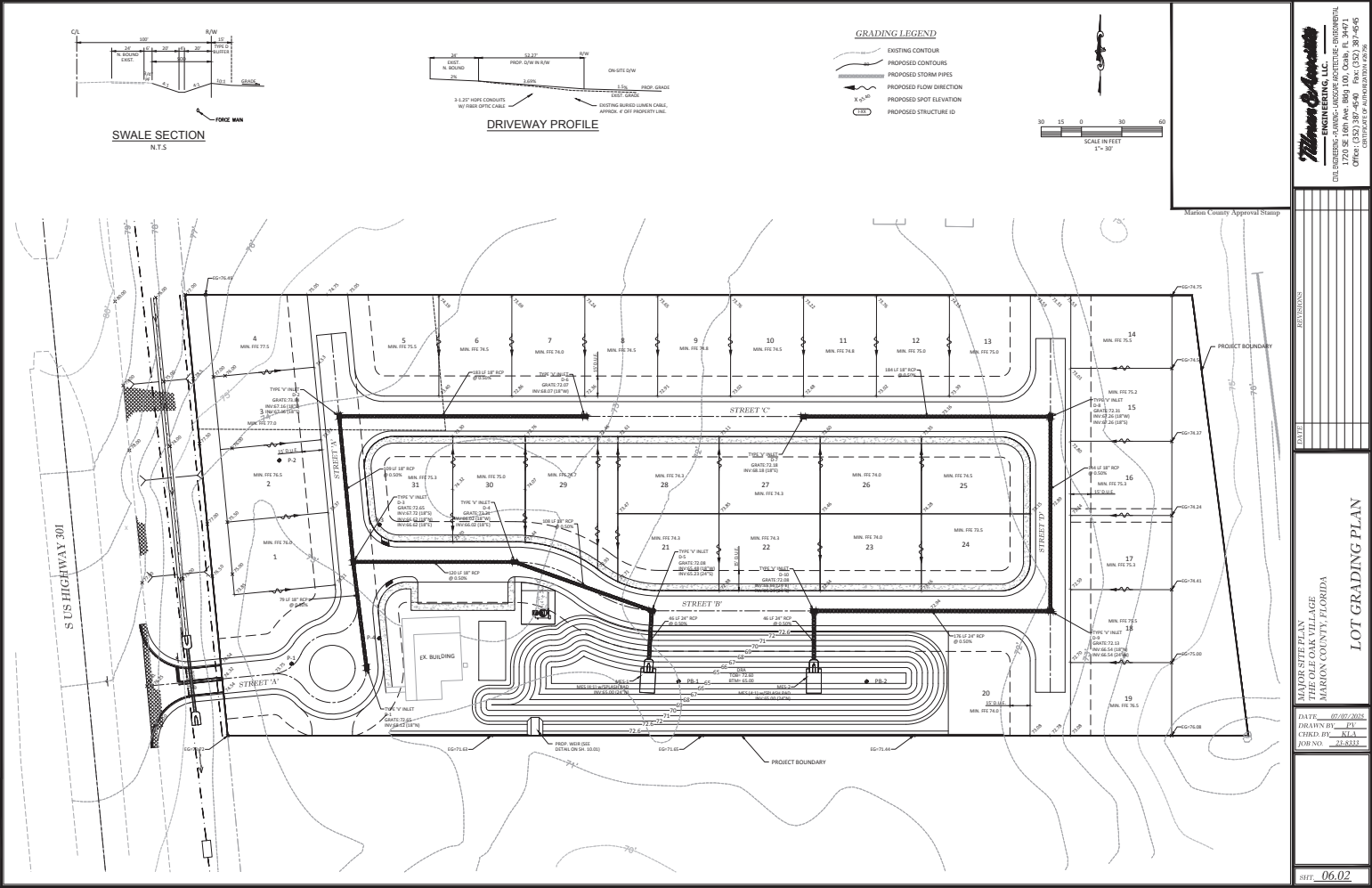
ENGINEERING, LLC
1720 SE 10TH AVE, SUITE 100, Ocala, FL 34471
PHONE: (352) 236-1111
FAX: (352) 236-1112
WWW.MARIONCOUNTYENGINEERING.COM

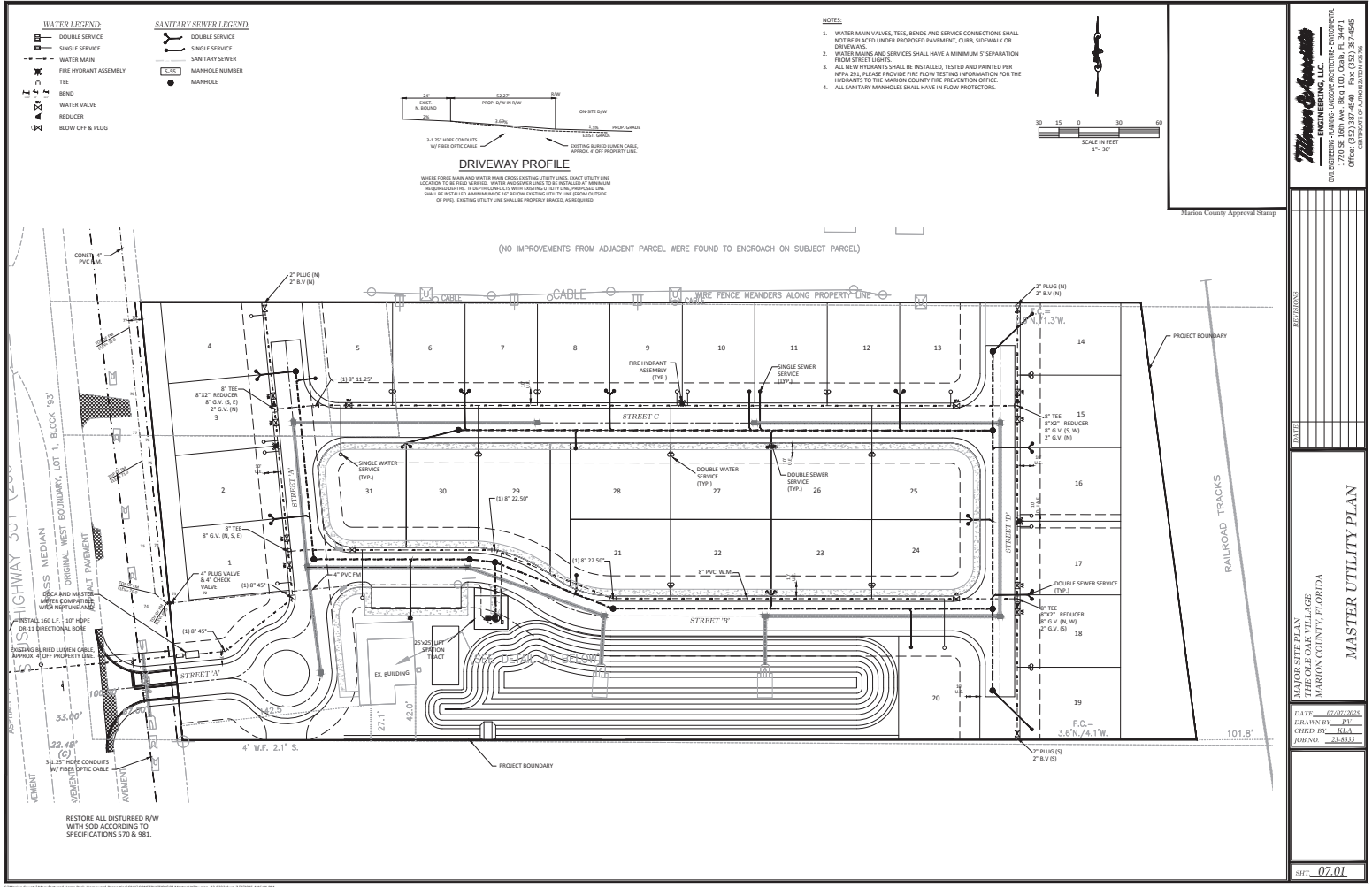
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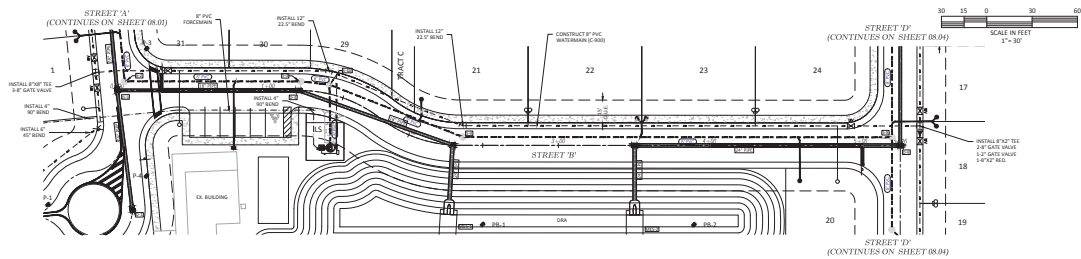
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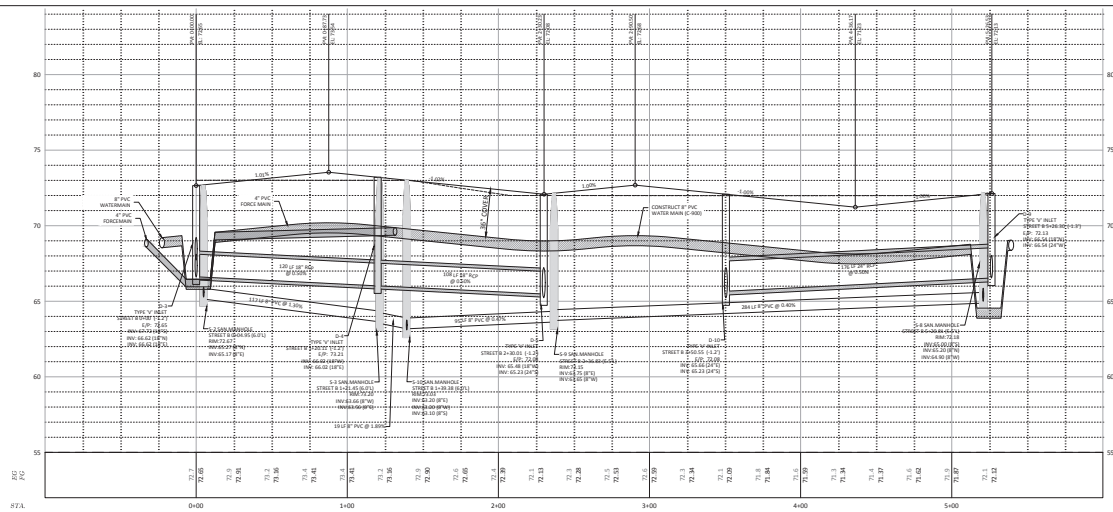


NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

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STREET 'B'



HORIZ. SCALE 1" = 30'
VERT. SCALE 1" = 3'

Marion & Associates
ENGINEERING, LLC
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE LOVELL AVE. SUITE 100, OAKLAND, FL 32061
TEL: 321.853.1111
WWW.MARION-ASSOCIATES.COM
STATE OF FLORIDA LICENSE NO. 12005

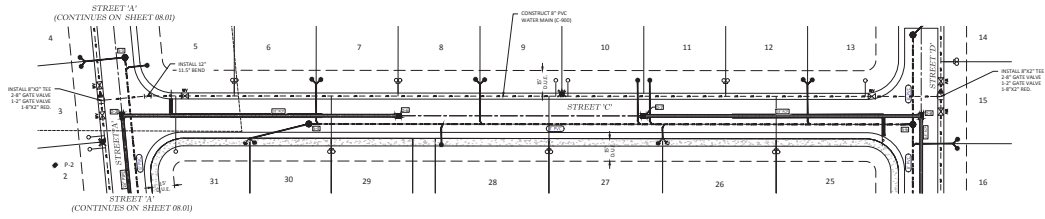
REVISION	DATE	BY	CHKD

PLANS SHEET
THE OAK VILLAGE
CITY OF BELLAVUE, FLORIDA
PLAN & PROFILE
STREET 'B'

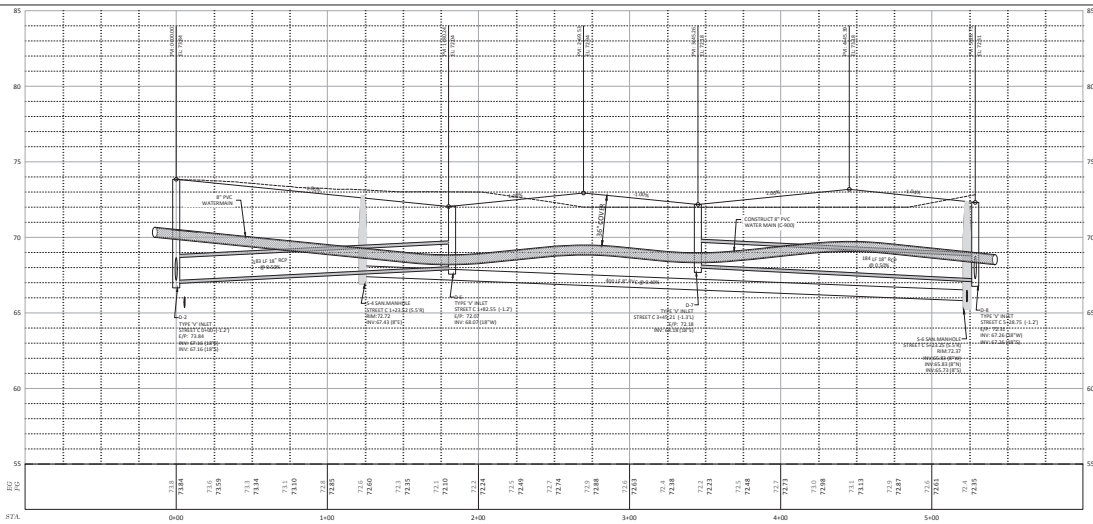
DATE: 08/09/2012
DRAWN BY: PJ
CHECKED BY: SJA
JOB NO.: 12-8331

SHEET: 08.02

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STREET 'C'



HORIZ. SCALE 1" = 30'
VERT. SCALE 1" = 5'

McGraw-Hill Construction
ENGINEERING, LLC
CIVIL ENGINEERING • PLANNING • LANDSCAPE ARCHITECTURE • ENVIRONMENTAL
1720 DE LOACH AVE. SUITE 100, OAKLAND, CA 94612
OFFICE: (415) 774-1000 • FAX: (415) 774-1001
WWW.MCGRAW-HILL.COM

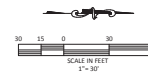
DATE	BY	CHKD	APP'D
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08/11/2008	PT	SL	SL

PLANS SHEET PLAN
THE OAK VILLAGE
CITY OF BELLAVUE, FLORIDA
PLAN & PROFILE
STREET 'C'

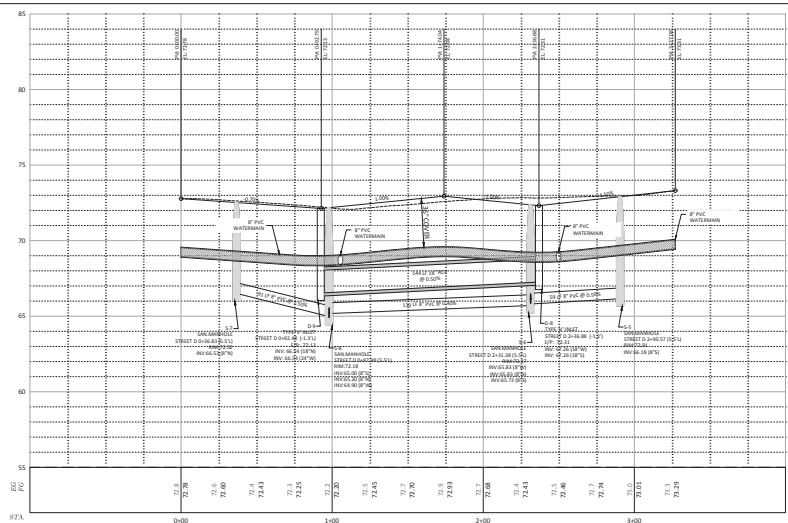
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CHECKED BY: SL
JOB NO.: 08-0333

SHEET: 08.03

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Marion County Approval Stamp



HORIZ. SCALE 1" = 30'
VERT. SCALE 1" = 3'

William & Associates
— ENGINEERING, INC. —
CIVIL ENGINEERING • PLANNING • LANDSCAPE ARCHITECTURE • ENVIRONMENTAL
1720 SE 16th Ave. Bldg 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545
CERTIFICATE OF AUTHORIZATION #26796

REVISIONS

ATB

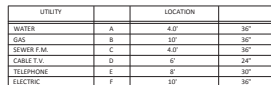
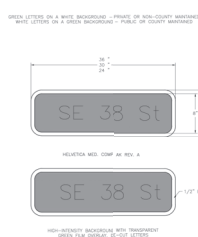
MAJOR SITE PLAN
THE OLE OAK VILLAGE
CITY OF BELLEVUE, FLORIDA

**PLAN & PROFILE
STREET 'D'**

DATE 05/09/2025
DRAWN BY PV
CHKD. BY KLA
JOB NO. 23-8333

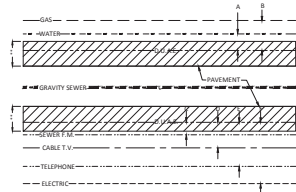
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AERIAL CABLES SHALL BE 18' ABOVE & GRADE. CABLE T.V. & COMMUNICATION CABLES MAY BE PERMITTED AT 16' IF VALID EXTENUATING CIRCUMSTANCES CAN BE SHOWN.

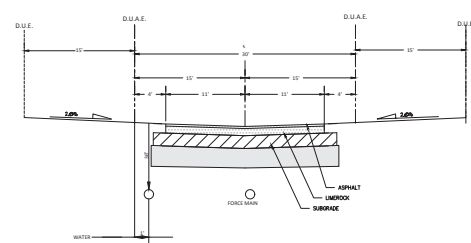
* AND ASSOCIATED ABOVE GROUND EQUIPMENT
** MAINTAIN CLEAR ZONE REQUIREMENTS AS DEFINED



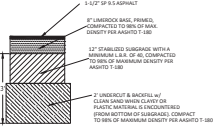
UNLESS OTHERWISE APPROVED BY ENGINEER

UTILITY POSITION IN D.U.A.E.

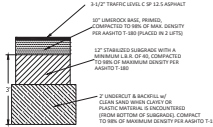
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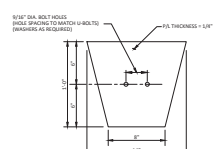
30' ROADWAY SECTION



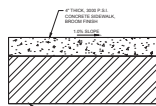
ON-SITE PAVEMENT SECTION
N.T.S



FDOT PAVEMENT SECTION
NTS

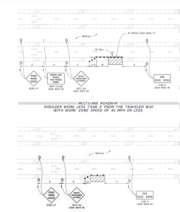
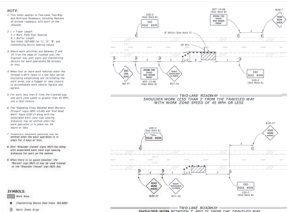
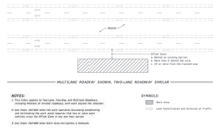
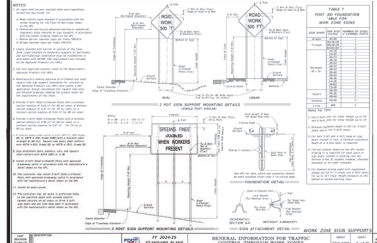


ALUMINUM SOIL PLATE DETAIL



SIDEWALK DETAIL

"ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE."



NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

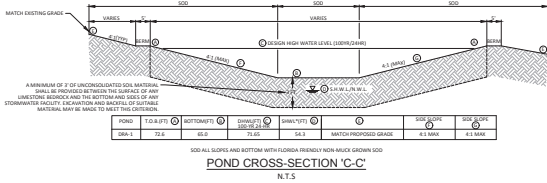
Willmott & Associates
ENGINEERING, LLC.

11. ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 16th Ave. Bldg 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545
CERTIFICATE OF AUTHORIZATION #26798

MAJOR SITE PLAN
THE OLE OAK VILLAGE
CITY OF BELLEVUE, FLORIDA
**ROADWAY &
PAVEMENT DETAILS**

DATE 07/07/2025
DRAWN BY PV
CHKD. BY KLA
JOB NO. 23-8333

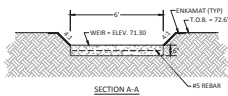
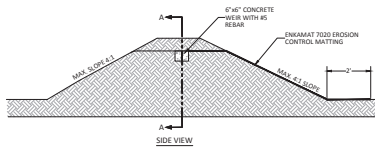
SHT. 09.01



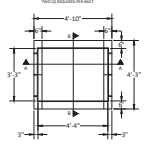
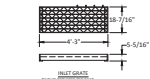
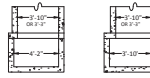
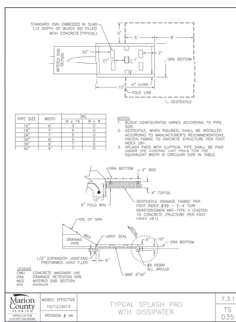
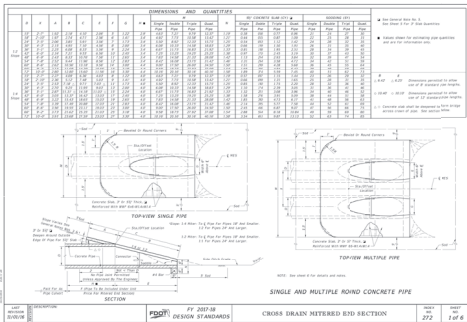
POINT	T.O.B.(FT) (A)	BO-TION(FT) (B)	DIVAL(FT) (C) 100-YR 24-HR	SHAL(FT) (D)	(E)	SIDE SLOPE (F)	SIDE SLOPE (G)
GRA-1	72.6	65.0	71.65	54.3	MATCH PROPOSED GRADE	4:1 MAX	4:1 MAX

100 ALL SLOPES AND BOTTOM WITH FLORIDA FREEMAN RAIN GARDEN SOIL

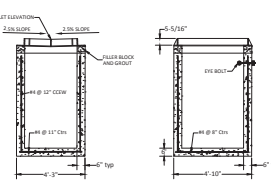
POND CROSS-SECTION 'C-C'
N.T.S.



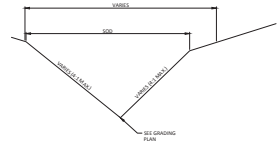
WEIR DETAIL
N.T.S.



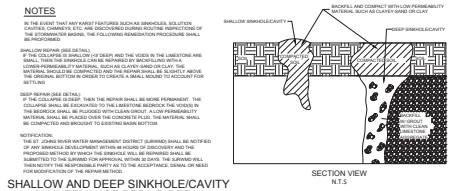
- GENERAL NOTES**
1. THIS INLET IS DESIGNED FOR VILLAGE DRAINAGE, STORM, OR OTHER AREAS SUBJECT TO HEAVY WEIR. LOCAL WEIRING SHALL BE SUBJECT TO FLOODING AND/OR OTHER TYPICAL PRECAST STRUCTURE SHOWN CAST IN PLACE STRUCTURE MUST ADHERE TO FLORIDA DOT REBAR NO. 221.
 2. REINFORCING: ALL BARS AT 12\"/>



TYPE 'V' INLET
N.T.S.



TYPICAL DRAINAGE SWALE SECTION
N.T.S.



SHALLOW AND DEEP SINKHOLE/CAVITY
MAINTENANCE REPAIR DETAIL

- NOTES**
1. THE INLET IS DESIGNED FOR VILLAGE DRAINAGE, STORM, OR OTHER AREAS SUBJECT TO HEAVY WEIR. LOCAL WEIRING SHALL BE SUBJECT TO FLOODING AND/OR OTHER TYPICAL PRECAST STRUCTURE SHOWN CAST IN PLACE STRUCTURE MUST ADHERE TO FLORIDA DOT REBAR NO. 221.
 2. REINFORCING: ALL BARS AT 12\"/>

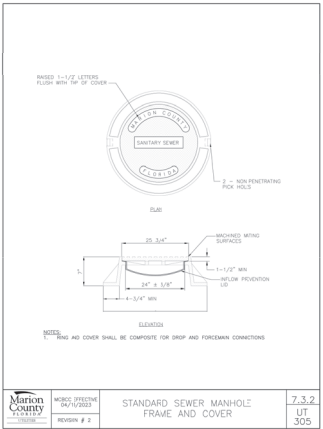
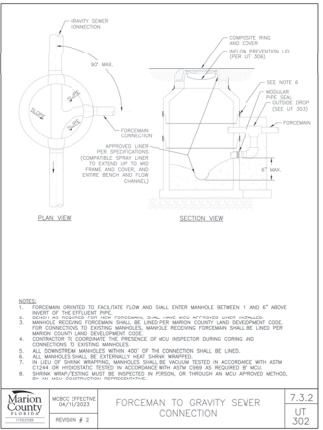
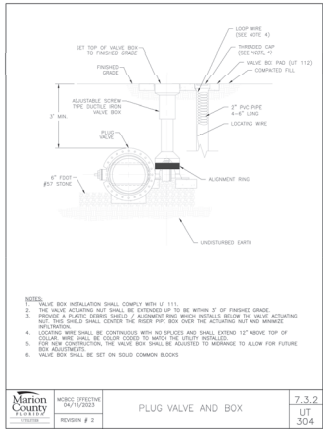
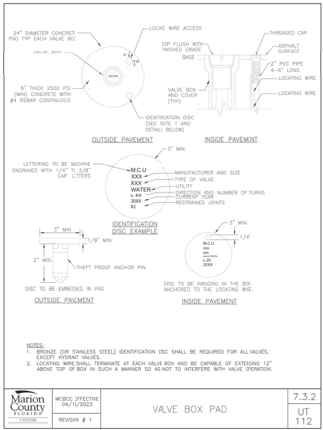
Marion County, Florida
CIVIL ENGINEERING - A PROFESSIONAL ENGINEER'S SEAL IS REQUIRED FOR ALL WORK.
1720 SE 16TH AVE, SUITE 100, OPAWA, FL 33471
PHONE: 407-444-4444
FAX: 407-444-4444
WWW.MARIONCOUNTYFLORIDA.COM

Marion County Approval Stamp

DESIGNER'S SEAL

DATE: 03/14/2024
DRAWN BY: JPL
CHECKED BY: JPL
JOB NO: 24-001

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



Marion County
ENGINEERING

CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 16TH AVE. SUITE 100, OPAWA, FL 33471
PHONE: 813-241-1111
FAX: 813-241-1112
WWW.MARIONCOUNTYFLA.GOV

Marion County Approval Stamp

REVISIONS

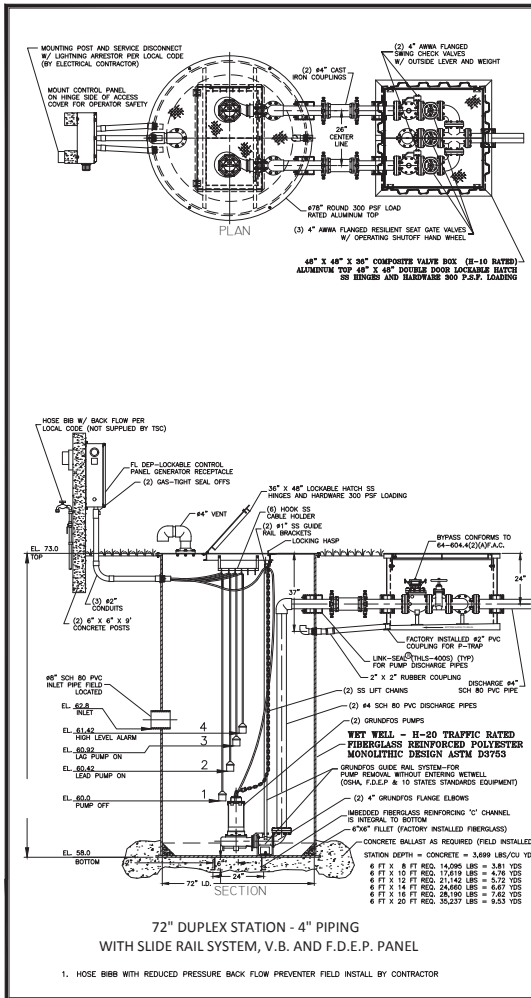
DATE

PLANNING DEPARTMENT
TERRY L. LANGE
CITY OF BELLAVILLE, FLORIDA

SANITARY SEWER DETAILS

DATE: 04/10/2023
DRAWN BY: JPL
CHECKED BY: JPL
JOB NO.: 21-8311

SHEET 12.02



GENERAL NOTES

FURNISH AND INSTALL GRUNDFOSS SUBMERSIBLE PUMPS;

DESIGN CONDITIONS:

MODEL SLV 30 A30 B0	8 HP
GPM 208	41.9' FT/TH
VOLTAGE 480V	THREE PHASE
DISCHARGE 4"	6.02" IMPELLER

SEWAGE PUMP: 1. RATED FOR TWENTY (20) STARTS PER HOUR.

2. AIR FILLED MOTOR DESIGNED FOR SEWAGE APPLICATION WITH CLASS F INSULATION.

3. DUAL MECHANICAL SHAFT SEALS (SILICON CARBIDE / SILICON CARBIDE) LOCATED OUT OF THE PUMPAGE, IN A SEPARATE OIL FILLED CHAMBER.

4. HIGH TEMPERATURE BALL BEARINGS B-10 RATING OF 60,000 HOURS, UPPER AND LOWER BEARINGS - SINGLE ROW TYPE.

5. PUMP SHAFT HORSEPOWER (BHP) SHALL NOT EXCEED MOTOR RATED HORSEPOWER THROUGHOUT THE ENTIRE OPERATING RANGE OF THE PUMP PERFORMANCE CURVE.

6. SINGLE PHASE MOTORS SHALL BE DUAL WOUND, CAPACITOR START-RUN AND CAPABLE OF OPERATING ON 208/230 VOLT WITH A 10% TOLERANCE VOLTAGE (180 TO 260). THREE PHASE MOTORS SHALL BE DUAL WOUND AND CAPABLE OF OPERATING ON 208/230 VOLT WITH A 10% TOLERANCE VOLTAGE (195 TO 260) OR OPERATE ON 480 VOLT BY CHANGING THE MOTOR LEADS INSIDE THE PUMP.

FIBERGLASS WET WELL SHALL BE A ONE PIECE UNIT WITH INTEGRAL BOTTOM, WALL AND UPPER FLANGE. THE ENTIRE FIBERGLASS WET WELL SHALL HAVE A DYNAMIC LOAD RATING OF 16,000 FT/LBS. EACH UNIT MUST BE SERIAL NUMBERED TO IDENTIFY THIS TEST PROCEDURE. ASTM D 3753 B IN-SP-INSPECTOR'S SHALL BE REQUIRED AS MINIMUM.

ALUMINUM HATCH: TSC MODEL-78R (75") ROUND WITH 36" X 48" LOCKABLE HATCH, REINFORCED FOR LOAD RATING OF 300 LBS/FT² WITH HOLD OPEN SAFETY ARM, LOCKING DEVICE FOR HASP TYPE PADLOCK AND STAINLESS STEEL HARDWARE.

VALVE BOX: FIBERGLASS COMPOSITE (H-10 TRAFFIC RATED) WITH INTEGRAL BOTTOM. (FOR 4" DISCHARGE PIPING FIVE HEADER SYSTEM)

SHALL BE 48" X 48" X 36" WITH ALUMINUM TOP 48" X 48" DOUBLE DOOR LOCKABLE HATCH, REINFORCED FOR LOAD RATING OF 300 LBS/FT², LOCKING DEVICE FOR HASP TYPE PADLOCK AND STAINLESS STEEL HARDWARE.

ACCESSORIES: #304 5/8" - GUIDE RAILS, UPPER GUIDE RAIL BRACKETS, CABLE HOLDER, ANCHOR BOLTS AND PUMP LIFTING CHAINS.

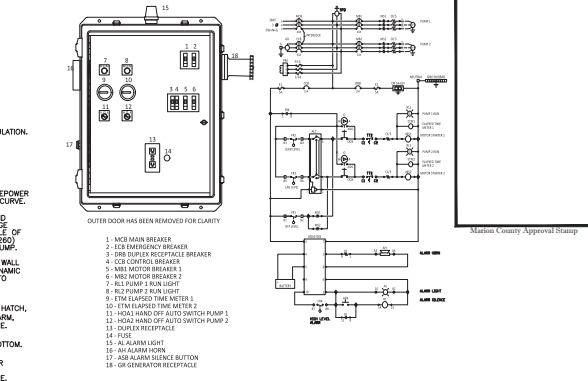
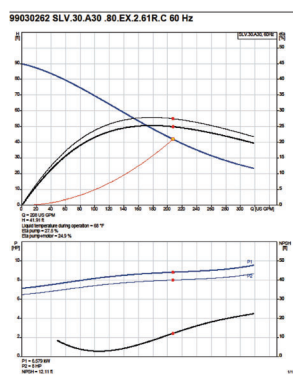
VALVES: SHALL BE SEWAGE SERVICE DESIGN LEVER AND WEIGHT CHECK VALVES AND RESILIENT SEAT GATE VALVES OPEN 100% WITH 2" SQUARE OPERATING NUT.

PIPING: 4" - SCHEDULE 80 PVC.

FLOAT SWITCHES: UL LISTED SJ ELECTRO MODEL (SJ 30 SWNO).

PUMP SUPPLIER SHALL PROVIDE SUBMERSIBLE PUMPS, SLIDE RAIL ASSEMBLIES, CONTROL PANEL, JUNCTION BOX, FLOAT SWITCHES, ALUMINUM HATCHES AND ACCESSORIES TO INSURE PROPER OPERATION AND WARRANTY.

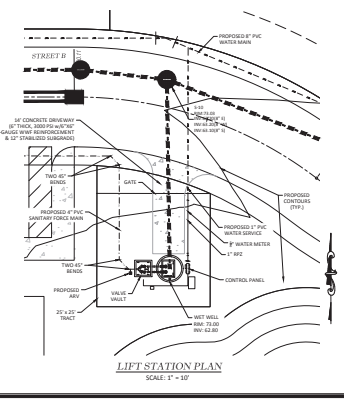
THE COMPLETE PACKAGE PUMPING STATION SHALL HAVE PUMP BASES, SLIDE RAIL ASSEMBLIES AND DISCHARGE PIPING ASSEMBLED BY TECHNICAL SALES CORPORATION READY TO SHIP FOR FIELD INSTALLATION. THE MANUFACTURER OF PRE-FAB PUMP SOLUTIONS®.



WASTE WATER PUMP STATION SPECIFICATIONS

GENERAL NOTES:

- MANHOLE AND WETWELL SHALL HAVE 18" DIA. 10' MIN. DEPTH.
- ALL EQUIPMENT SHALL BE INSTALLED IN A MANNER AS TO BE PROTECTED FROM FLOODING.
- CONCRETE FROM CONTROL PANEL SHALL BE 7" DIAMETER MINIMUM. PRECAST PRESTRESSING SHALL BE 7" MINIMUM. THERE SHALL BE A MINIMUM OF ONE CONCRETE FOR EACH CONCRETE MANHOLE.
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THOMAS & ASSOCIATES
ENGINEERING, INC.

CIVIL ENGINEERING - SURVEYING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 18TH AVE. SUITE 100, OPAWA, FL 33471
PHONE: (407) 841-1111 FAX: (407) 841-1112
WWW.TOMAS-ENGINEERING.COM

REVISIONS

NO.	DATE	DESCRIPTION
1	01.06.21	ISSUED FOR PERMIT

DATE: 01.06.21
DRAWN BY: JPL
CHECKED BY: JPL
JOB NO.: 16-0311

THOMAS & ASSOCIATES
ENGINEERING, INC.
CITY OF BELLFLOW, FLORIDA

DATE: 01.06.21
DRAWN BY: JPL
CHECKED BY: JPL
JOB NO.: 16-0311

THOMAS & ASSOCIATES
ENGINEERING, INC.
CITY OF BELLFLOW, FLORIDA

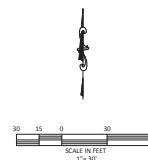
DATE: 01.06.21
DRAWN BY: JPL
CHECKED BY: JPL
JOB NO.: 16-0311

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6. THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE, IN THE OPINION OF THE ENGINEER, THE MINIMUM THAT MAY BE REQUIRED. ACTUAL FIELD CONDITIONS MAY REQUIRE EITHER ADDITIONAL OR REDUCED EROSION CONTROL MEASURES TO BE IMPLEMENTED. THE CONTRACTOR IS DIRECTED TO FOLLOW STANDARD BEST MANAGEMENT PRACTICES IN IMPLEMENTING A SUCCESSFUL EROSION CONTROL PLAN.
7. ALL DISTURBED AREAS TO BE SOILED OR SEEDS AND MULCHED WITHIN 7 DAYS AFTER FINAL GRADING.

PROJECT BOUNDARY
PROPOSED SALT FENCE

PROJECT BOUNDARY
PROPOSED SALT FENCE



Mathematical Consistency Assumptions

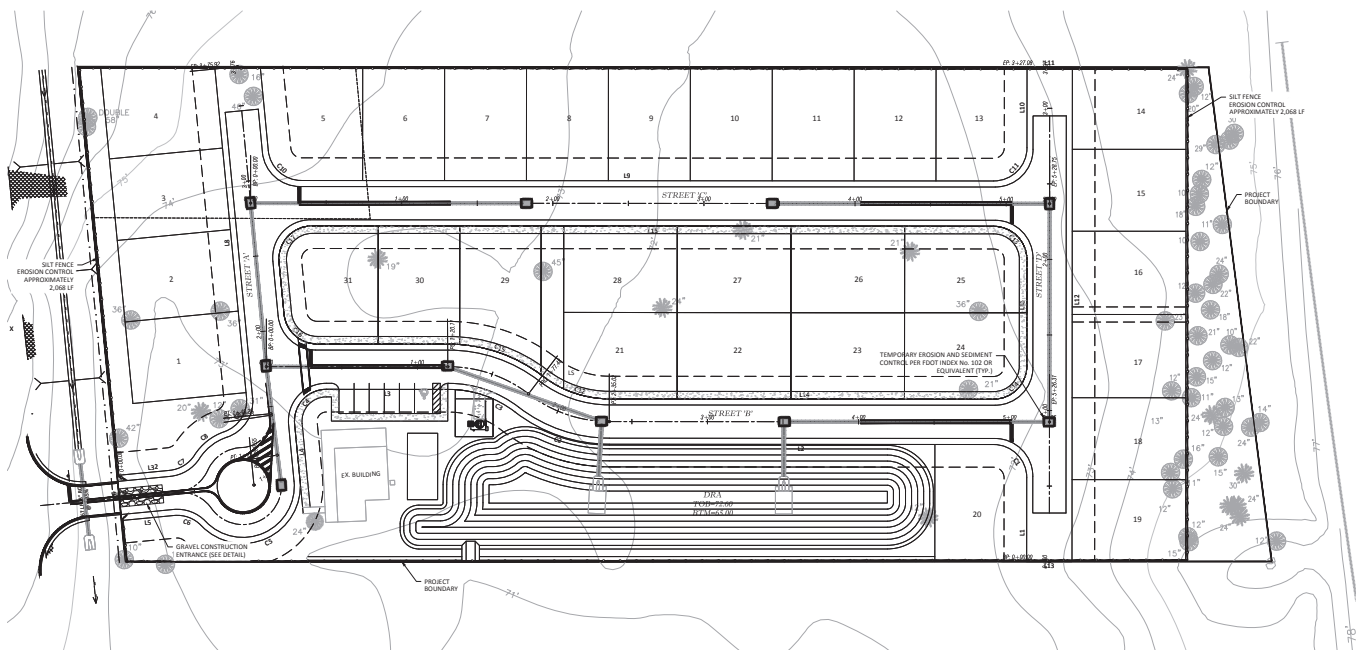
Timmons & Associates
— ENGINEERING, LLC. —
CIVIL ENGINEERING • PLANNING • LANDSCAPE ARCHITECTURE • ENVIRONMENTAL
1720 SE 16th Ave. Bldg 100, Ocala, FL 34471
Office: (352) 387-4640 Fax: (352) 387-4545
COURTESY OF THE UNIVERSITY OF FLORIDA

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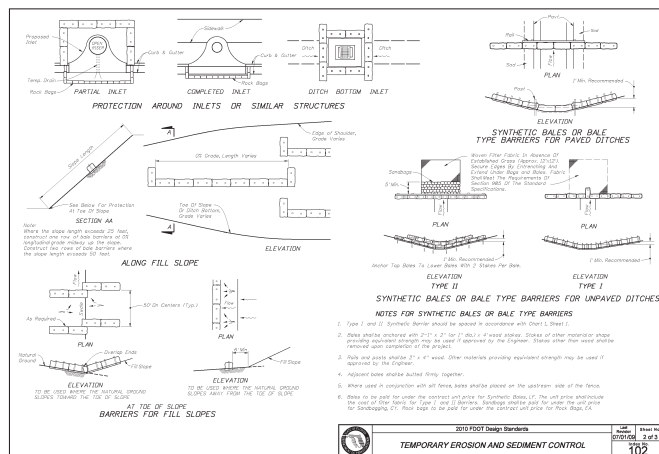
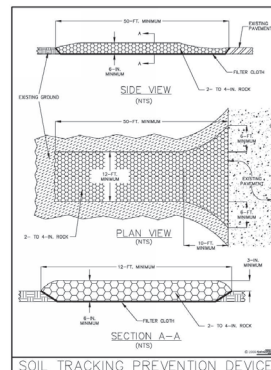
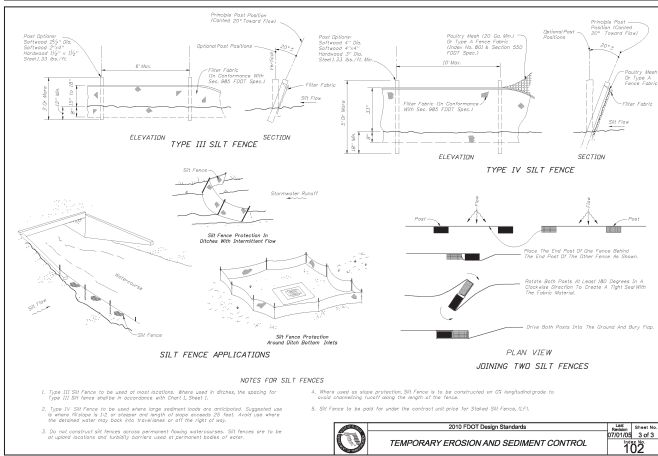
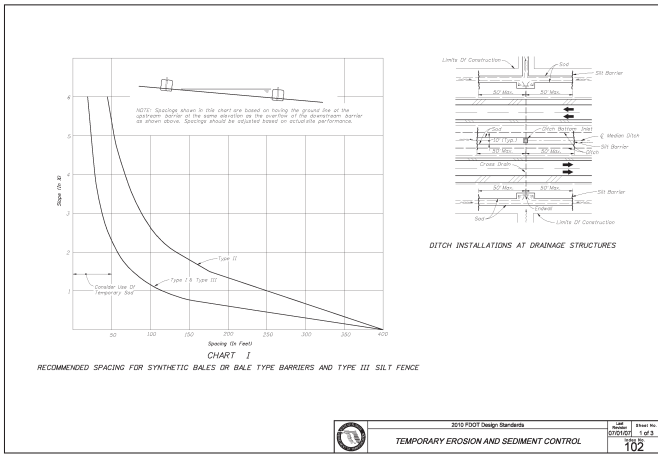
MAJOR SITE PLAN
THE OLE OAK VILLAGE
CITY OF BELLEVUE, FLORIDA

DATE 05/09/2025
DRAWN BY PV
CHKD. BY KLA
JOB NO. 23-8111

SHT. 13.01



NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



[illegible]

- [illegible]

7. THE LABORER/CONTRACTOR shall interfere with other work being performed by other contractors or subcontractors on the project and shall not be responsible for any delays or cost overruns that may result from such interference.
8. THE LABORER/CONTRACTOR shall control runoff and erosion during construction through the use of erosion control measures and shall be responsible for any delays or cost overruns that may result from such failure to control runoff and erosion.
9. THE LABORER/CONTRACTOR shall complete or otherwise manually apply water to affected construction areas to prevent erosion and sedimentation.
10. THE LABORER/CONTRACTOR shall at all times keep the premises free from accumulation of materials or debris caused by his work during the performance of the work. THE LABORER/CONTRACTOR shall be responsible for the removal of any materials or debris that are not his own and all equipment from the project site, on a daily basis.
11. THE LABORER/CONTRACTOR shall be responsible for obtaining permits, applying for coverage, preparing planning areas prior to installation of plant materials.
12. THE LABORER/CONTRACTOR shall insure adequate vertical drainage in all planted areas. Where necessary, the LABORER/CONTRACTOR shall be responsible for the installation of drainage systems. THE LABORER/CONTRACTOR shall insure that his work does not impact uncollected or proposed drainage systems.
13. THE LABORER/CONTRACTOR, in coordination with the LABORER/CONTRACTOR, shall meet a projected area, or areas, of the site which are free of construction-related vegetation or debris during the construction period.

11. Any new or additional lights brought on site shall all be in the pit range of 4.5 to 6.5, prior to the start of construction. The contractor shall be responsible to support, protect, and maintain all support shall be between 5K and 15K, with pit of 4.5 - 6.5. The LANDSCAPE CONTRACTOR shall test project soils for pH and nutrient levels. The LANDSCAPE CONTRACTOR shall be responsible for providing adequate drainage in plant beds and planters. The LANDSCAPE CONTRACTOR shall coordinate the location and procurement of existing on-site samples and replacement soils with the LANDSCAPE ARCHITECT. The LANDSCAPE CONTRACTOR shall be responsible for providing adequate drainage in plant beds and planters. The LANDSCAPE CONTRACTOR shall be responsible for providing adequate drainage in plant beds and planters.
12. The findings shall be reviewed and approved by the OWNER or LANDSCAPE ARCHITECT prior to the start of construction. The LANDSCAPE CONTRACTOR shall be responsible for providing adequate drainage in plant beds and planters. The LANDSCAPE CONTRACTOR shall be responsible for providing adequate drainage in plant beds and planters.
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14. For all new construction, soil in parking islands and within eight feet of curb and buildings shall be removed to a minimum depth of three inches and replaced with fresh soil and amended with organic matter. The LANDSCAPE CONTRACTOR shall be responsible for providing adequate drainage in plant beds and planters. The LANDSCAPE CONTRACTOR shall be responsible for providing adequate drainage in plant beds and planters.

- When working within existing tree canopy drop lines, LANDSCAPE CONTRACTOR shall take precautions to ensure that no damage to existing trees occurs. The following shall be followed:
- 1. No equipment shall be used to strip, trim, or remove any limbs or branches of trees. Limbs or branches may be cut to avoid damaging tree roots. Use an air knife or other device to lift and blow out the way to find structural roots. Hydrolytic roots may grow, immediately. If poked and damaged, the roots will die. The process shall be done with care, not 12 inches of the trunk grade to avoid root loss.
 - 2. Run outside of tree drip lines, any roots of existing trees encountered during installation, and electrical conduits shall be run with care, with close observation of the existing tree's existing tree system. Where possible, avoid nearest existing tree's existing tree system.
 - 3. The installation shall be done with care, with close observation of the existing tree's existing tree system, with special care, include or vulnerable, and all work 10% approximately 5-6 ft. No removal or removal shall be permitted. Measurements appropriate for the plant species shall be used.
 - 4. All existing plant life and trees to remain within the construction limit shall be left undisturbed. Existing trees, as noted on the drawing, shall be left undisturbed and protected by the contractor. The contractor shall be responsible for the protection of the existing trees and shall take any storage of materials or equipment as permitted within the area. Any existing plant life and trees to remain within the construction limit shall be left undisturbed and protected by the contractor. The contractor shall be responsible for the protection of the existing trees and shall take any storage of materials or equipment as permitted within the area. Any existing plant life and trees to remain within the construction limit shall be left undisturbed and protected by the contractor. The contractor shall be responsible for the protection of the existing trees and shall take any storage of materials or equipment as permitted within the area.

- erecting plant areas to remain (include) the LANDSCAPE CONTRACTOR is responsible for any damage or injury to persons or property that may occur as a result of negligence in the execution of the work. The LANDSCAPE CONTRACTOR shall be held responsible for any damages to persons or structures within one (1) foot of building foundation.
20. All plantings are to be done by the LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR shall be responsible for the quality of the work.
21. The OWNER shall have the right to inspect any and all work and materials which is the OWNER'S responsibility. The LANDSCAPE CONTRACTOR shall be responsible for the quality of the work and materials.
22. The LANDSCAPE CONTRACTOR shall replace rejected work and/or construct modified materials and materials as required. The LANDSCAPE CONTRACTOR shall remove rejected materials and materials from the site.
23. No plant or material modifications or modifications to practices specified or detailed in these specifications shall be made without the written approval of the OWNER. The LANDSCAPE CONTRACTOR shall be responsible for the quality of the work and materials. The LANDSCAPE CONTRACTOR shall identify the extent and quantity of any modifications to the specifications. The LANDSCAPE CONTRACTOR shall be responsible for or exceeds the initial requirement. If use of an larger plant is required, the root ball shall be increased in proportion to the size of the plant per Underhill and Shuman. Minimum container or root ball size shall be specified in the specifications. The LANDSCAPE CONTRACTOR shall be responsible for the quality of the work and materials.
24. Prior to planting information, the LANDSCAPE CONTRACTOR shall confirm the availability of the

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- 30 All plants shall be hardy under climatic conditions similar to those in the locality of the project.
- 31 As per these drawings and specifications, the "B" (height) of proposed plant material, unless otherwise specified, shall mean the actual height as measured from the top of the stem to the base on the trunk or base of the plant to the top elevation of the plant. All plants shall be supplied with flexible and durable construction tags, relative to specified plant height and width.
- 32 All installation of plant material and related construction activity shall comply with applicable codes and standards. LANDSCAPE CONTRACTOR is responsible for obtaining all permits associated with this work.
- 33 THE LANDSCAPE CONTRACTOR shall field locate the location of all shrubs and ground cover laid out between and individual trees, palms, and accent shrubs in accordance with the plant schedule. The LANDSCAPE CONTRACTOR shall be responsible for obtaining the plant schedule approval to collect and maintain, prior to delivery and installation of the plant material. The LANDSCAPE CONTRACTOR shall be responsible for field cut on shown on plans. Notify the LANDSCAPE ARCHITECT or OWNER immediately.
- 34 All proposed trees shall be installed either entirely in or entirely out of planting bed. Pruning bed outlines shall not be obstructed and shall be smooth and flowing. If trees are to be installed in bed or not, maintain a minimum 5' wide offset of planting bed for mowers to maneuver.

- 3) No trees shall be planted within designated utility or public right of way (without RST or WAT installation permits). No plants root balls shall be located within the easement area. All plantings must be identified by name and size as specified on the drawings. Field-aided adjustment in necessary and repair adjustments with approved materials.
- 4) The LANDSCAPE CONTRACTOR shall be responsible for the stability and growth conditions of all installed plant material and repairing any damaged plant material with plants of same size and condition of remaining transplanting plants, at no cost to the owner. At his additional cost to the extent it shall be the contractor's responsibility to protect plants and trees from falling or being blown over and to replace all plants damaged due to inadequate grading or staking.
- 5) All proposed shrubs, small trees, palms, and groundcovers shall be well drained with 2" layers of either Fine sand or Light Fast Flow Blue Hugel mulch spread uniformly in depth under the planting beds as delineated on the plan. Mulch shall be applied evenly with a minimum of 6 inches of depth. Mulch shall be free of twigs and debris and shall be free of any other foreign matter. Mulch shall be free of any other foreign matter. Mulch shall be free of any other foreign matter.

- [illegible]

- NOTES: - CONTRACTOR SHALL USE A CLEAN, SHARP BLADE OR HAND TO
ELIMINATE THE SOLE FROM NEEDED TO REMOVE ROOTS OF
POPPERS OF ROOT BALL.
- THE CAR OF THE PREFERRED PLANTS IN THE HOLE.
- NOT ONLY KNOWN TO THE TREE TRUNK.
- BRIDGE FOOTBALL AND SURROUNDING SOIL THOROUGHLY, WITH
HEAVY FOLLOWING ROOT PRESSURE AND TREE WEEDS FOR
- TREES THAT OBTAIN ENVELOPING LATERAL MOVES AFTER PLANTING
NOT ACCEPTABLE.
- BEFORE PLANTING PLANTING PLANT
- 
- 

-
- Diagram illustrating the typical root ball shape and size. The top view shows a circular root ball with a central trunk and several roots extending to the periphery. The side view shows a cylindrical root ball with a central trunk and several roots extending to the periphery. Labels indicate: "SHAPE: ROOT BALL HERE IS TYPICAL ALL ROOTS GROWING ON PERIPHERY." and "SHAPE: OUTER PERIPHERY OF ROOT BALL A MAXIMUM OF 2" THICK."

-

42. THE LANDSCAPE CONTRACTOR shall water, mulch, weed, prune, and otherwise maintain the landscape for the life of the project. The irrigation system is fully operated and final acceptance of the system shall be made by the OWNER and the LANDSCAPE CONTRACTOR, in accordance with "Florida Grapes and Standards for Nursery Plants 2015".
43. Upon completion of the work, the LANDSCAPE CONTRACTOR shall notify the OWNER and the ARCHITECT that the work is complete. The LANDSCAPE CONTRACTOR shall be responsible for any items that are judged incomplete or unacceptable by the OWNER or the LANDSCAPE ARCHITECT.
44. THE LANDSCAPE CONTRACTOR shall guarantee all shrubs and groundcovers for a period of one hundred eighty (180) calendar days from the date of final acceptance of the landscape. The LANDSCAPE CONTRACTOR shall be responsible for any items that are judged incomplete or unacceptable by the OWNER or the ARCHITECT.
45. (1) day guarantee period commences. Trees shall be guaranteed for one (1) year. Any materials which have died during this period shall be promptly replaced. The LANDSCAPE CONTRACTOR shall be responsible for the cost of replacement. The LANDSCAPE CONTRACTOR shall not be held responsible for death or damage resulting from drought, flooding, mulching, or other acts of God. The OWNER shall be responsible for watering and otherwise maintaining plants during the guarantee period of a maintenance agreement is not accepted from the LANDSCAPE CONTRACTOR.

42. Contractor shall not recommend and install invasive species as replacement for plants on planting plan. See sepp.org and invasivespecies.org for problem species.
43. All landscape plants shall be furnished with the amounts based on per plant unit price, including delivery, installation, watering, and maintenance. The contractor shall include the change the total amount of the CONTRACT FEE based on the above mentioned unit price.
44. See landscape specifications for further requirements.
45. The LANDSCAPE CONTRACTOR shall submit a separate proposal for a one (1) year maintenance agreement.
46. If these plants are reproduced in a different size, the costs may not be accurate.
47. See tree survey or Engineer's foundation plan for further details concerning existing trees.
48. All trees shall be provided with uninterrupted soil volume to a depth of 5', and with no limitations such as a high water table, poor drainage, compaction, etc. Trees with a trunk diameter of less than 10" shall receive 100 1/2" of uninterrupted open surface area. Trees with mature height and spread of between 10' and 50' shall require 400 1/2" of uninterrupted open surface area. Trees with a trunk diameter of 10" or greater shall require 1000 1/2" of uninterrupted open surface area. If necessary, trees may be planted in soil depths

- to measure up to 20 inches, but open surface space shall be increased in proportion to the amount of soil volume required for respective tree sizes. If the soil volume and open space are not available, the LC shall provide the LA and Owner with estimates for the provision of adequate soil volume through the use of structural soils, root paths, etc. under adjacent pavement.

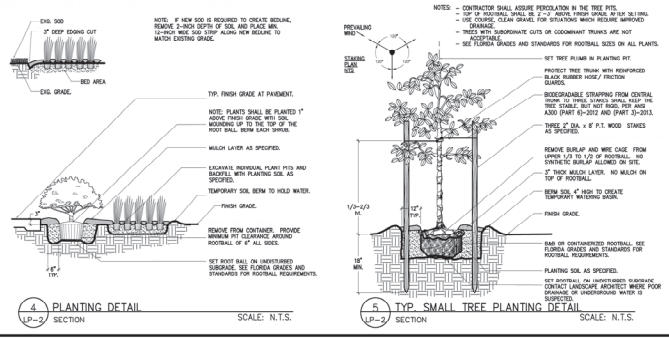
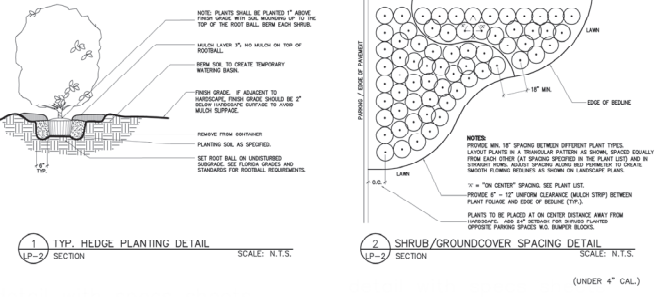
-
- 14' HEDGE SECTION

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-
- ROOT TIPS EXPOSED AT PERIMETER OF ROOT BALL. ALL ROOTS GROWING AROUND PERIMETER ARE SEVERED.
- 4
P-2 SECTION

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PLANT LIST					
Symbol	Scientific and Common	Size	Space	Qty	Notes
CF	Coreopsis Florida Desmodium	3' tall, 8" W, 2.5'	A.S.	3 Y	
IVT	Yucca filamentosa "Yucca filida"	3' tall, 2' dia, 4' C.S.T. or C.M.T.	A.S.	6 N	
LM	Lagerströmia indica "Mastuge" Linden Tree Plant	10' W, 4' tall, 4' C.S.T.	A.S.	2 N	
MG	Magnolia grandiflora Southern Magnolia	14' x 4.5' tall, 3" C.S.T., 1.5'	A.S.	0 Y	
PA	Prunus americana Little Leaf Magnolia	12' tall, 2.5' dia, 3" C.L. Full, 2.5' dia, 15' tall	A.S.	5 Y	
FS	Forbesia speciosa Shrub, Ground Cover, & Sod	7-10'; 30"x15"	A.S.	108 Y	
IVE	Yucca filamentosa "Stake Dwarf"	3' dia, 2' x 10"	24' 0.0	273 Y	
IV	Yucca filamentosa "Yucca filida"	3' dia, 2' x 10"	24' 0.0	26 Y	
LME	Liriodendron "Emerald Goddess" Emerald Goddess Gold Linpe	1-6d, 9' PRRP, Full	1' 0.0	360 N	
VO	Viburnum acerifolium Sweet Viburnum	7-10'; 30"x15"	3' 0.0	152 N	
ZP	Zinnia mexicana Candle Plant	3' dia, 18"x18"	3' 0.0	153 Y	
SOD	Stachytarpheta jamaicensis "Buckeye"	Solid Gold, 15' Florida	3' 0.0	153 Y	



Ecotone Land Design

Landscape Architectural Site Planning

1850 Ridge Court • Marietta, Florida • 34121
 Phone: 772-225-1100 Fax: 850-730-0844

PLANTING NOTES & DETAILS

THE OLE OAK VILLAGE

FLORIDA

MARIETTA COUNTY

24019 MLJ

DATE 9/27/2024

AS SHOWN

SHEET LP-2

MLJ

CF

MARK LAMER ARCHITECT, INC. 1850 RIDGE COURT, MARIETTA, FL 34121
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1 TREE BARRICADE
LP-3 DETAIL





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REVISIONS

NO.	DATE	BY	DESCRIPTION
1	12/15/2025	MLJ	AS SHOWN

FLORIDA

MFLA

THE OLE OAK VILLAGE

MARION COUNTY

25007

2/5/2025

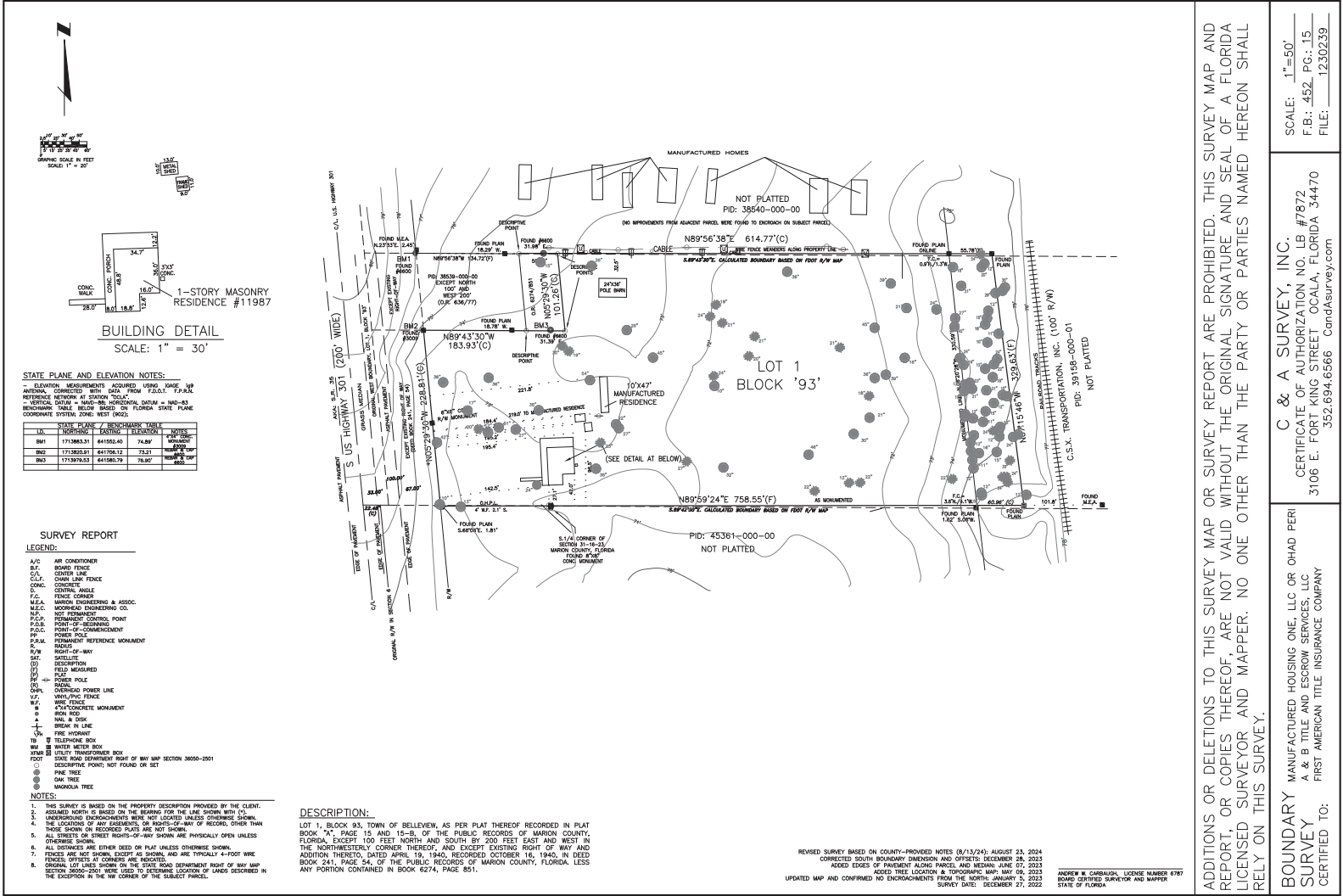
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SHEET 4 OF 4

LP-4

REVIEW PURPOSES ONLY
NOT FOR CONSTRUCTION USE

MARK LAMERS, OWNER



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SCALE: 1"=50'
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FILE: 1230239

C & A SURVEY, INC.
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352.694.6566 CandAsurvey.com

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FIRST AMERICAN TITLE INSURANCE COMPANY
CERTIFIED TO: