



## SUBMITTAL SUMMARY REPORT WaiverSTA-000580-2026

<b>PLAN NAME:</b> Bahia Terrace Fourplex – Waiver to Major Site Plan Request	<b>LOCATION:</b>
<b>APPLICATION DATE:</b> 04/01/2026	<b>PARCEL:</b> 9007-0088-15
<b>DESCRIPTION:</b> Waiver request from Marion County Land Development Code Section 2.21.1 for the proposed fourplex residential infill project (Bahia Terrace). The project includes approximately 8,600 square feet of impervious area (29.34%), which does not exceed the thresholds requiring a Major Site Plan. The project is small in scale, consistent with surrounding residential development, and similar projects in the area have been approved without requiring a Major Site Plan review.	

CONTACTS	NAME	COMPANY
Applicant	ALDO ALVAREZ MARTINEZ	A3MS CORP

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Waiver Request to Major Site Plan v.1	04/07/2026	04/16/2026	04/15/2026	Approved

### SUBMITTAL DETAILS

#### OCE: Waiver Request to Major Site Plan v.1

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Fire Marshal (Plans) (Fire)	Roxanna Coleman	04/16/2026	04/07/2026	Approved
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Xinyi Chen	04/16/2026	04/09/2026	Informational
<i>Comments</i>	4 units multifamily. Land Use: UR. Zoning: R-3. Impervious area: 8,600 SF (29%). Note that existing lot width is less than 100 ft. For residential more than 3 units without central water and sewer, min lot width is 100 ft. With central water, min lot width is 70ft. Need to verify if City of Bellevue will provide central water and sewer for this area.			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	04/16/2026	04/10/2026	Informational
<i>Comments</i>	The applicant owns a 0.68-acre parcel (9007-0088-15) and according to the MCPA, there is approximately 0 sf existing impervious area on-site. The applicant is proposing to add 8,600 sf for a quadplex. The total existing and proposed impervious area is 8,600 sf. The site will be approximately 400 sf under the allowed 9,000 sf per the Marion County LDC. Stormwater staff is unsure why the applicant applied for a waiver to a major site plan.			
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	04/16/2026	04/07/2026	Approved
Utilities (OCE Plans) (Utilities)	Carrie Hyde	04/16/2026	04/09/2026	Approved
<i>Comments</i>	The fourplex is outside sewer connection distance, but WITHIN connection distance to existing MCU water main. IF THE MAJOR SITE PLAN IS NOT REQUIRED, MCU WILL REQUIRE A UTILITY PLAN TO IDENTIFY/APPROVE THE WATER MAIN TAP AND SHOW SERVICE(S) AND METER BANK. If the MaSP waiver is denied and is required, the utility connections must be shown on the Major Site Plan & the Utility Plan is no longer required.			



# Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

## DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 03/31/2026 Parcel Number(s): 9007-0088-15 Permit Number: 2025072052

### A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: BAHIA TERRACE Commercial  Residential   
Subdivision Name (if applicable): SILVER SPRINGS SHORES  
Unit 7 Block 88 Lot 15-16 Tract \_\_\_\_\_

### B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): JAOME HOLDING COMPANY LLC  
Signature: [Signature]  
Mailing Address: 2481 OLD DIXIE HWY City: AUBURNDALE  
State: FL Zip Code: 33823 Phone # \_\_\_\_\_  
Email address: \_\_\_\_\_

### C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): A3MS CORP Contact Name: ALDO ALVAREZ  
Mailing Address: 8810 COMMODITY CIR STE 17-F City: ORLANDO  
State: FL Zip Code: 32819 Phone # 407-8610800  
Email address: a3msmarioncounty@gmail.com

### D. WAIVER INFORMATION:

Section & Title of Code (be specific): Marion County Land Development Code Section 2.21.1 – Major Site Plan Requirements

Reason/Justification for Request (be specific): This waiver request is submitted for the proposed fourplex residential project (Bahia Terrace). Pursuant to Marion County Land Development Code Section 2.21.1(A), a Major Site Plan is required when impervious area equals or exceeds 35% of the site or 9,000 square feet. The proposed project includes approximately 8,600 square feet of impervious area (29.34%), which does not exceed these thresholds. The project is a small-scale residential infill development with minimal impact to stormwater, traffic, and surrounding properties. The scale and intensity of the development are consistent with projects typically reviewed under a Minor Site Plan process. Additionally, there are similar residential developments within the surrounding area that have been reviewed and approved without requiring a Major Site Plan. The proposed project is consistent in scale, layout, and impact with those developments. Requiring a Major Site Plan review for this project would be disproportionate to its impact and would not provide additional public benefit. Therefore, the requested waiver is reasonable and consistent with the intent of the Land Development Code.

### DEVELOPMENT REVIEW USE:

Received By: \_\_\_\_\_ Date Processed: \_\_\_\_\_ Project # \_\_\_\_\_ AR # \_\_\_\_\_

ZONING USE: Parcel of record: Yes  No  Eligible to apply for Family Division: Yes  No   
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ P.O.M. \_\_\_\_\_ Land Use: \_\_\_\_\_ Plat Vacation Required: Yes  No   
Date Reviewed: \_\_\_\_\_ Verified by (print & initial): \_\_\_\_\_

## **WAIVER JUSTIFICATION LETTER**

**Project:** Bahia Terrace Fourplex

**Location:** 9007-0088-15 (Parcel Numbers)

**Subdivision:** Silver Springs Shores

**Applicant:** A3MS Corp

**Owner:** JAOME Holding Company LLC

**Date:** 04/01/2026

To whom it may concern,

This letter is submitted as a formal request for a waiver to a Major Site Plan requirements for the proposed fourplex residential project known as Bahia Terrace.

The project consists of a four-unit residential building on a parcel of approximately 29,308 square feet, including associated parking and driveway improvements. The proposed development results in a total impervious area of approximately 8,600 square feet, representing 29.34% of the site.

Pursuant to Marion County Land Development Code Section 2.21.1(A), a Major Site Plan is required when impervious area equals or exceeds 35% of the site or 9,000 square feet. The proposed project does not exceed these thresholds.

The project is a small-scale residential infill development with minimal impact to stormwater, traffic, and surrounding properties. The scale and intensity of the development are consistent with similar residential projects typically reviewed under a Minor Site Plan process.

Additionally, there are similar residential developments within the surrounding area that have been approved without requiring a Major Site Plan review. The proposed project is consistent in scale, layout, and impact with those developments.

Requiring a Major Site Plan review for this project would be disproportionate to its impact and would not provide additional public benefit. The requested waiver is reasonable and consistent with the intent of the Land Development Code.

The applicant intends to proceed with a Minor Site Plan application upon approval of this waiver.

Based on the above, we respectfully request approval of this waiver.

Sincerely,

Aldo Alvarez

A3MS Corp

Phone: 407-861-0800

Email: [a3msmarioncounty@gmail.com](mailto:a3msmarioncounty@gmail.com)



# NEW RESIDENTIAL PROJECT FOUR-PLEX

Owner: JAOME HOLDING COMPANY LLC  
 Parcel ID: 9007-0088-15  
 Legal Description: SEC 08 TWP 16 RGE 23 SEC 05 TWP 16 RGE 23 PLAT BOOK J PAGE 094 SILVER SPRINGS SHORES UNIT 7 BLK 88 LOTS 15.16  
 Parent Parcel: 9007-0088-00

Scope of Work: NEW FOUR-PLEX RESIDENTIAL PROJECT, THE EXTERIOR WALL WILL BE IN CONCRETE BLOCK, INTERIOR PARTITIONS IN WOOD FRAMING, THE ROOF WILL BE WITH PRE-ENGINEERED TRUSSES.

Building Department: MARION COUNTY



SITE LOCATION

SCALE : N.T.S.

## GENERAL NOTES

ALL WORK SHOULD BE PERFORMED IN ACCORDANCE WITH ALL CODES, RULES, REGULATIONS, AND RESTRICTIONS HAVING JURISDICTION ON THIS PROJECT. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. THE ARCHITECT OR ENGINEER SHALL BE NOTIFIED OF ANY DEVIATION FROM THE PLANS PRIOR TO CONSTRUCTION. DRAWINGS SHALL NOT BE SCALED. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS FROM THE CONST. AREA. DEVIATION FROM THE CONSTRUCTION DOCUMENTS DISCOVERED AT THIS TIME SHALL BE REPORTED BY THE CONTRACTOR IMMEDIATELY TO THE ARCHITECT OR ENGINEER. IF ANY ERROR OR MISSING APPEAR IN THE DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF SUCH OMISSIONS OR ERROR PRIOR TO PROCEEDING WITH ANY WORK WHICH APPEARS IN QUESTION. IN THE EVENT OF THE CONTRACTOR FAILING TO GIVE SUCH NOTICE, HE SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY SUCH ERROR OR OMISSIONS AND THE COST OF RECTIFYING THEM.

## GENERAL NOTES



## PERMIT SET

REVISIONS:  
 NO. DATE  
 ① 2025-09

## PROJECT NUMBER

2025-402  
 INSTRUMENTS OF SERVICE OWNERSHIP:  
 ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, NOTES, INSTRUMENTS PREPARED BY THE ARCHITECT AND/OR OTHER DOCUMENTS AND RELATED INSTRUMENTS PREPARED BY THE ARCHITECT OR ENGINEER SHALL REMAIN THE PROPERTY OF THE ARCHITECT OR CONSULTANT. THE ARCHITECT AND/OR THE CONSULTANT SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT THERE TO.

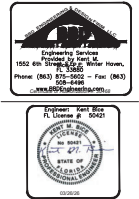
NEW RESIDENTIAL PROJECT - FOURPLEX  
 PROJECT FOR: JAOME HOLDING COMPANY LLC.

PROJECT ADDRESS:  
 PARCEL ID: 9007-0088-15

## COVER

Sheet No. 01 - This sheet has been electronically signed and sealed by the Architect. Please refer to the Architect's Office for more information.  
 A01

SHEET  
**A01**



## INDEX

- A01 - COVER
- A02 - FLOOR PLAN
- A03 - FOUNDATION PLAN
- A04 - ELECTRICAL PLAN
- A05 - PLUMBING PLAN
- A06 - MECHANICAL PLAN
- A07 - FRAMING PLAN
- A08 - ELEVATIONS PLAN

## INDEX

## DESIGN CRITERIA

THIS IMPROVEMENTS FOR NEW RESIDENTIAL STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2023 (8 TH EDITION), RESIDENTIAL, CHAPTER 3, SECTION R301 DESIGN CRITERIA AND ASCE 7-22.

### WIND LOAD REQUIREMENTS EMPLOYED IN THE DESIGN OF THE STRUCTURE:

1. BASIC WIND SPEED - (3 SECOND GUST) 140 MPH (53 m/s)  
 $V_{ult} = 140 \text{ mph}$ ,  $V_{ref} = 108 \text{ mph}$
2. BUILDING CATEGORY R-2, ENCLOSED
3. IMPORTANCE FACTOR 1.00, WIND EXPOSURE B
4. INTERNAL PRESSURE COEFFICIENT IS 0.18
5. DESIGN PRESSURE (WORST CASE CONDITION) - COMPONENTS & CLADDING:  $-36.1 \text{ PSF} / -41.4 \text{ PSF}$
6. UNIFORMLY DISTRIBUTED LIVE LOADS EMPLOYED IN THE DESIGN - 40 LIVE LOAD
- LIVING AREAS - FLOORS - 30 PSF
- FACTOR 0.43 PSF - 0.73 PSF
- ROOF LIVE LOADS - 20 PSF - EXPOSURE B
- FACTOR 0.4 PSF - 0.92 PSF
- NO WIND-BORNE DEBRIS REGION

## DESIGN CRITERIA

- A. 2023 FLORIDA BUILDING CODE (8th EDITION)
- B. 2023 FLORIDA BUILDING CODE EXISTING BUILDING (8th EDITION)
- C. 2023 FLORIDA BUILDING CODE ACCESSIBILITY (8th EDITION)
- D. 2023 FLORIDA BUILDING CODE MECHANICAL (8th EDITION)
- E. 2023 FLORIDA BUILDING CODE PLUMBING (8th EDITION)
- F. 2023 FLORIDA BUILDING CODE ENERGY CONSERVATION (8th EDITION)
- G. 2020 FLORIDA NATIONAL ELECTRICAL CODE (NEC NFPA 70)
- H. 2023 FLORIDA FIRE PREVENTION CODE (8th EDITION)
- I. 2021 NFPA1 (UNIFORM FIRE CODE)
- J. 2021 NFPA11 (FIRE SAFETY CODE)
- K. 2021 NFPA10, 2019 NFPA 13, 2019 NFPA 15, 2019 NFPA 17A, 2019 NFPA 17B, 2019 NFPA 17C, 2019 NFPA 17D, 2019 NFPA 17E, 2019 NFPA 17F, 2019 NFPA 17G, 2019 NFPA 17H, 2019 NFPA 17J, 2019 NFPA 17K, 2019 NFPA 17L, 2019 NFPA 17M, 2019 NFPA 17N, 2019 NFPA 17O, 2019 NFPA 17P, 2019 NFPA 17Q, 2019 NFPA 17R, 2019 NFPA 17S, 2019 NFPA 17T, 2019 NFPA 17U, 2019 NFPA 17V, 2019 NFPA 17W, 2019 NFPA 17X, 2019 NFPA 17Y, 2019 NFPA 17Z, 2019 NFPA 17AA, 2019 NFPA 17AB, 2019 NFPA 17AC, 2019 NFPA 17AD, 2019 NFPA 17AE, 2019 NFPA 17AF, 2019 NFPA 17AG, 2019 NFPA 17AH, 2019 NFPA 17AI, 2019 NFPA 17AJ, 2019 NFPA 17AK, 2019 NFPA 17AL, 2019 NFPA 17AM, 2019 NFPA 17AN, 2019 NFPA 17AO, 2019 NFPA 17AP, 2019 NFPA 17AQ, 2019 NFPA 17AR, 2019 NFPA 17AS, 2019 NFPA 17AT, 2019 NFPA 17AU, 2019 NFPA 17AV, 2019 NFPA 17AW, 2019 NFPA 17AX, 2019 NFPA 17AY, 2019 NFPA 17AZ, 2019 NFPA 17BA, 2019 NFPA 17BB, 2019 NFPA 17BC, 2019 NFPA 17BD, 2019 NFPA 17BE, 2019 NFPA 17BF, 2019 NFPA 17BG, 2019 NFPA 17BH, 2019 NFPA 17BI, 2019 NFPA 17BJ, 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NFPA 17DU, 2019 NFPA 17DV, 2019 NFPA 17DW, 2019 NFPA 17DX, 2019 NFPA 17DY, 2019 NFPA 17DZ, 2019 NFPA 17EA, 2019 NFPA 17EB, 2019 NFPA 17EC, 2019 NFPA 17ED, 2019 NFPA 17EE, 2019 NFPA 17EF, 2019 NFPA 17EG, 2019 NFPA 17EH, 2019 NFPA 17EI, 2019 NFPA 17EJ, 2019 NFPA 17EK, 2019 NFPA 17EL, 2019 NFPA 17EM, 2019 NFPA 17EN, 2019 NFPA 17EO, 2019 NFPA 17EP, 2019 NFPA 17EQ, 2019 NFPA 17ER, 2019 NFPA 17ES, 2019 NFPA 17ET, 2019 NFPA 17EU, 2019 NFPA 17EV, 2019 NFPA 17EW, 2019 NFPA 17EX, 2019 NFPA 17EY, 2019 NFPA 17EZ, 2019 NFPA 17FA, 2019 NFPA 17FB, 2019 NFPA 17FC, 2019 NFPA 17FD, 2019 NFPA 17FE, 2019 NFPA 17FF, 2019 NFPA 17FG, 2019 NFPA 17FH, 2019 NFPA 17FI, 2019 NFPA 17FJ, 2019 NFPA 17FK, 2019 NFPA 17FL, 2019 NFPA 17FM, 2019 NFPA 17FN, 2019 NFPA 17FO, 2019 NFPA 17FP, 2019 NFPA 17FQ, 2019 NFPA 17FR, 2019 NFPA 17FS, 2019 NFPA 17FT, 2019 NFPA 17FU, 2019 NFPA 17FV, 2019 NFPA 17FW, 2019 NFPA 17FX, 2019 NFPA 17FY, 2019 NFPA 17FZ, 2019 NFPA 17GA, 2019 NFPA 17GB, 2019 NFPA 17GC, 2019 NFPA 17GD, 2019 NFPA 17GE, 2019 NFPA 17GF, 2019 NFPA 17GG, 2019 NFPA 17GH, 2019 NFPA 17GI, 2019 NFPA 17GJ, 2019 NFPA 17GK, 2019 NFPA 17GL, 2019 NFPA 17GM, 2019 NFPA 17GN, 2019 NFPA 17GO, 2019 NFPA 17GP, 2019 NFPA 17GQ, 2019 NFPA 17GR, 2019 NFPA 17GS, 2019 NFPA 17GT, 2019 NFPA 17GU, 2019 NFPA 17GV, 2019 NFPA 17GW, 2019 NFPA 17GX, 2019 NFPA 17GY, 2019 NFPA 17GZ, 2019 NFPA 17HA, 2019 NFPA 17HB, 2019 NFPA 17HC, 2019 NFPA 17HD, 2019 NFPA 17HE, 2019 NFPA 17HF, 2019 NFPA 17HG, 2019 NFPA 17HH, 2019 NFPA 17HI, 2019 NFPA 17HJ, 2019 NFPA 17HK, 2019 NFPA 17HL, 2019 NFPA 17HM, 2019 NFPA 17HN, 2019 NFPA 17HO, 2019 NFPA 17HP, 2019 NFPA 17HQ, 2019 NFPA 17HR, 2019 NFPA 17HS, 2019 NFPA 17HT, 2019 NFPA 17HU, 2019 NFPA 17HV, 2019 NFPA 17HW, 2019 NFPA 17HX, 2019 NFPA 17HY, 2019 NFPA 17HZ, 2019 NFPA 17IA, 2019 NFPA 17IB, 2019 NFPA 17IC, 2019 NFPA 17ID, 2019 NFPA 17IE, 2019 NFPA 17IF, 2019 NFPA 17IG, 2019 NFPA 17IH, 2019 NFPA 17II, 2019 NFPA 17IJ, 2019 NFPA 17IK, 2019 NFPA 17IL, 2019 NFPA 17IM, 2019 NFPA 17IN, 2019 NFPA 17IO, 2019 NFPA 17IP, 2019 NFPA 17IQ, 2019 NFPA 17IR, 2019 NFPA 17IS, 2019 NFPA 17IT, 2019 NFPA 17IU, 2019 NFPA 17IV, 2019 NFPA 17IW, 2019 NFPA 17IX, 2019 NFPA 17IY, 2019 NFPA 17IZ, 2019 NFPA 17JA, 2019 NFPA 17JB, 2019 NFPA 17JC, 2019 NFPA 17JD, 2019 NFPA 17JE, 2019 NFPA 17JF, 2019 NFPA 17JG, 2019 NFPA 17JH, 2019 NFPA 17JI, 2019 NFPA 17JJ, 2019 NFPA 17JK, 2019 NFPA 17JL, 2019 NFPA 17JM, 2019 NFPA 17JN, 2019 NFPA 17JO, 2019 NFPA 17JP, 2019 NFPA 17JQ, 2019 NFPA 17JR, 2019 NFPA 17JS, 2019 NFPA 17JT, 2019 NFPA 17JU, 2019 NFPA 17JV, 2019 NFPA 17JW, 2019 NFPA 17JX, 2019 NFPA 17JY, 2019 NFPA 17JZ, 2019 NFPA 17KA, 2019 NFPA 17KB, 2019 NFPA 17KC, 2019 NFPA 17KD, 2019 NFPA 17KE, 2019 NFPA 17KF, 2019 NFPA 17KG, 2019 NFPA 17KH, 2019 NFPA 17KI, 2019 NFPA 17KJ, 2019 NFPA 17KL, 2019 NFPA 17KM, 2019 NFPA 17KN, 2019 NFPA 17KO, 2019 NFPA 17KP, 2019 NFPA 17KQ, 2019 NFPA 17KR, 2019 NFPA 17KS, 2019 NFPA 17KT, 2019 NFPA 17KU, 2019 NFPA 17KV, 2019 NFPA 17KW, 2019 NFPA 17KX, 2019 NFPA 17KY, 2019 NFPA 17KZ, 2019 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2019 NFPA 17XA, 2019 NFPA 17XB, 2019 NFPA 17XC, 2019 NFPA 17XD, 2019 NFPA 17XE, 2019 NFPA 17XF, 2019 NFPA 17XG, 2019 NFPA 17XH, 2019 NFPA 17XI, 2019 NFPA 17XJ, 2019 NFPA 17XK, 2019 NFPA 17XL, 2019 NFPA 17XM, 2019 NFPA 17XN, 2019 NFPA 17XO, 2019 NFPA 17XP, 2019 NFPA 17XQ, 2019 NFPA 17XR, 2019 NFPA 17XS, 2019 NFPA 17XT, 2019 NFPA 17XU, 2019 NFPA 17XV, 2019 NFPA 17XW, 2019 NFPA 17XX, 2019 NFPA 17XY, 2019 NFPA 17XZ, 2019 NFPA 17YA, 2019 NFPA 17YB, 2019 NFPA 17YC, 2019 NFPA 17YD, 2019 NFPA 17YE, 2019 NFPA 17YF, 2019 NFPA 17YG, 2019 NFPA 17YH, 2019 NFPA 17YI, 2019 NFPA 17YJ, 2019 NFPA 17YK, 2019 NFPA 17YL, 2019 NFPA 17YM, 2019 NFPA 17YN, 2019 NFPA 17YO, 2019 NFPA 17YP, 2019 NFPA 17YQ, 2019 NFPA 17YR, 2019 NFPA 17YS, 2019 NFPA 17YT, 2019 NFPA 17YU, 2019 NFPA 17YV, 2019 NFPA 17YW, 2019 NFPA 17YX, 2019 NFPA 17YY, 2019 NFPA 17YZ, 2019 NFPA 17ZA, 2019 NFPA 17ZB, 2019 NFPA 17ZC, 2019 NFPA 17ZD, 2019 NFPA 17ZE, 2019 NFPA 17ZF, 2019 NFPA 17ZG, 2019 NFPA 17ZH, 2019 NFPA 17ZI, 2019 NFPA 17ZJ, 2019 NFPA 17ZK, 2019 NFPA 17ZL, 2019 NFPA 17ZM, 2019 NFPA 17ZN, 2019 NFPA 17ZO, 2019 NFPA 17ZP, 2019 NFPA 17ZQ, 2019 NFPA 17ZR, 2019 NFPA 17ZS, 2019 NFPA 17ZT, 2019 NFPA 17ZU, 2019 NFPA 17ZV, 2019 NFPA 17ZW, 2019 NFPA 17ZX, 2019 NFPA 17ZY, 2019 NFPA 17ZZ

## APPLICABLE CODES

## AREA CALCULATIONS

DESCRIPTION	AREA (S.F.)
LIVING AREA A	1,114.00 SF.
LIVING AREA B	1,114.00 SF.
LIVING AREA C	1,114.00 SF.
LIVING AREA D	1,114.00 SF.
<b>TOTAL LIVING AREAS</b>	<b>4,456.00 SF. 4,456.00 SF.</b>
ENTRY A	58.00 SF.
ENTRY B	58.00 SF.
ENTRY C	58.00 SF.
ENTRY D	58.00 SF.
<b>TOTAL NO LIVING AREA</b>	<b>232.00 SF. 232.00 SF.</b>
<b>TOTAL ROOFED AREA</b>	<b>4,688.00 SF.</b>

## TABLE OF AREAS

DESCRIPTION	AREA (S.F.)	% OF TOTAL
LOT AREA	29,308.00 SF.	100%
<b>PROPOSED</b>		
LIVING AREA	4,456.00 SF.	15.20%
ENTRY	232.00 SF.	0.79%
CONCRETE DRIVE & PARKING	3,250.00 SF.	11.09%
CONCRETE WALKWAY	662.00 SF.	2.26%
<b>TOTAL IMPERVIOUS</b>	<b>8,600.00 SF.</b>	<b>29.34%</b>
PERVIOUS AREA	20,708.00 SF.	70.66%
<b>TOTAL AREA</b>	<b>29,308.00 SF.</b>	<b>100.00%</b>

## AREA CALCULATIONS

## SITE PLAN

## IRRIGATION NOTES:

- THE DESIGN OF THIS IRRIGATION SYSTEM IS BASED ON THE MINIMUM AVAILABILITY OF 30 GPM AND PRESSURE AT THE BACKFLOW PREVENTER.
- ALL PIPE FOR THE SYSTEM SHALL BE NEW PVC CLASS 200 (SOR 3) OR BETTER FOR LATERAL LINES AND CLASS 300 FOR MAINLINES.
- PIPPES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. THE MAXIMUM LATERAL PIPE SIZE TO A SINGLE SPRAY OR ROTOR HEAD SHALL BE 1/4".
- ALL PVC MAINLINE PIPE SHALL BE BURIED WITH A MINIMUM COVER OF 18 INCHES AND LATERAL PIPE SHALL BE BURIED WITH A MINIMUM COVER OF 12 INCHES.
- ALL SLEEVES UNDER VEHICULAR ROUTES SHALL BE A MINIMUM OF 18" BELOW FINISHED SURFACES.
- ALL VALVES SHALL BE INSTALLED IN VALVE BOXES OF APPROPRIATE SIZE.

SYMBOL CODES:  
 a) VALVE NUMBER  
 b) VALVE SIZE  
 c) OPERATING GALLONS PER MINUTE

- CONTRACTOR SHALL INSTALL ALL BACKFLOW PREVENTION DEVICES AND ALL PIPING BETWEEN THE FRONT OF CONNECTION AND THE BACKFLOW PREVENTER AS PER LOCAL CODES.
- INSTALL ALL PIPING BETWEEN DIFFERENT PIPE SIZES AS THE LARGEST SIZED PIPE LATERAL PIPING AT THE EXTREMITY OF EACH ZONE SHALL BE THE SMALLEST DIAMETER SPECIFIED, UNLESS OTHERWISE NOTED.
- ALL IRRIGATION SYSTEM EQUIPMENT INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- RAIN SENSOR SHALL BE LOCATED IN AN AREA THAT IS OPEN TO NATURAL RAINFALL AND REMOVED FOR EXPOSURE TO IRRIGATION SYSTEMS AND OTHER UNNATURAL FORMS OF NOISE.

## NOZZLE CHART:

LETTER	NOZZLE	AT 30 PSI	AT 40 PSI	PATTERN
A	8000-8F	3.7	18"	FLAT
B	8000-8TQ	2.8	18"	THREE QTR.
C	8000-8TT	2.9	18"	TWO THIRD
D	8000-8H	1.9	18"	HALF
E	8000-8T	1.2	18"	ONE THIRD
F	8000-8Q	1.0	18"	QUARTER
G	8000-8SQ	3.73	23" X 23"	SQUARE
H	8000-8ST	41"	4" X 8"	END STRIP
I	8000-8SST	1.2	4" X 30"	CENTER STRIP
J	8000-8SBT	1.2	4" X 30"	SIDE STRIP
K	8000-8SST	1.3	9" X 18"	SIDE STRIP
L	8000-8P	2.6	12"	LOW FILL
M	8000-8TQ	1.85	12"	LOW THREE QTR.
N	8000-8TT	1.74	12"	LOW TWO THIRD
O	8000-8H	1.3	12"	LOW HALF
P	8000-8T	.81	12"	LOW THIRD
Q	8000-8Q	.69	12"	LOW QUARTER
R	8000-8F	1.86	10"	LOW FILL
S	8000-8H	1.79	10"	LOW HALF
T	8000-8T	.93	10"	LOW THIRD
U	8000-8Q	.39	10"	LOW QUARTER
V	8000-8HANS	-	4" TO 18"	ADJUSTABLE
W	8000-8P	1.09	8"	FLAT FILL
X	8000-8H	.92	8"	FLAT HALF
Y	8000-8T	.36	8"	FLAT THIRD
Z	8000-8Q	.26	8"	FLAT QUARTER
AA	8000-8P	.41	9"	FLAT FILL
BB	8000-8H	.2	9"	FLAT HALF
CC	8000-8T	.13	9"	FLAT THIRD
DD	8000-8Q	.1	9"	FLAT QUARTER
EE	1402 BUBBLER	.5	3"	
FF	NOZZLE F	.4	3.5	SQUARE

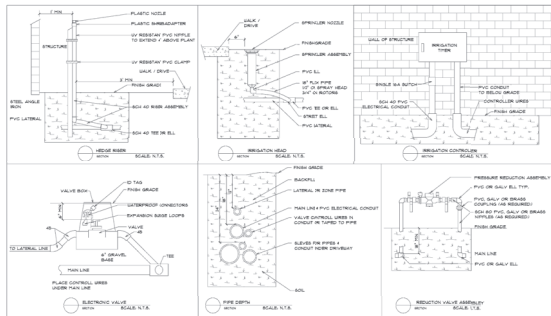
THE DESIGN OF THE IRRIGATION SYSTEM IS BASED ON MIN. OF 30 GPM 4.43 PSL AT BACKFLOW PREVENTER

- CONTRACTOR SHALL COMPLY WITH REQUIREMENTS OF THE HEALTH DEPARTMENT (P.A.) AND OTHER GOVERNING BODIES FOR THE INSTALLATION OF THE COMPONENTS IN AREA OF DRAIN FIELD.
- IRRIGATION HEADS SHALL BE LOCATED MINIMUM ONE (1) FOOT FROM ANY BUILDING AND SIX (6) INCHES FROM WALKS, DECKS AND CURBS.
- ALL VALVES SHALL BE BRANCHED OFF OF THE MAINLINE, EXCEPT WHERE THE MAINLINE TERMINATES AT THE VALVE.
- POPOUP SPRAY SPRINKLERS, INSTALLED USING MIN. 18" LONG 1/2" PVC FLEX PIPE CONNECTION.
- ALL PVC RISERS ABOVE GRADE SHALL BE SCHEDULE 40.

- NOTE: REFER TO "NOZZLE SELECTION CHART" FOR PROPER NOZZLE FOR THE ABOVE SPRINKLERS AND SHRUB ADAPTER PROTECTED IF OUTDOORS.
- IRRIGATION SLEEVE AS REQUIRED SEE DETAIL.

LANDSCAPING PLAN	#
PODOCARPUS	8
CROTON MULCH	6

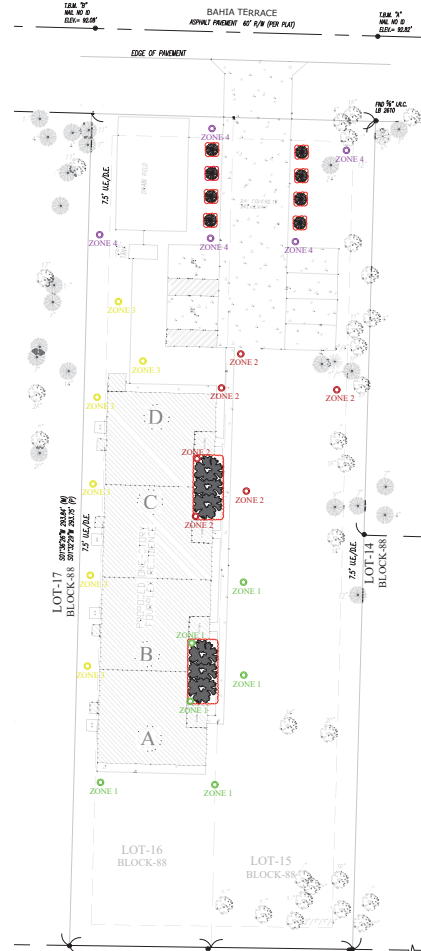
IRRIGATION PLAN	
ZONE 1	1 1/4" PVC PIPE
ZONE 2	1 1/4" PVC PIPE
ZONE 3	1 1/4" PVC PIPE
ZONE 4	1 1/4" PVC PIPE



## LANDSCAPING NOTES:

- Contractor shall not recommend and install invasive species as replacement for plants on planting plan. See [www.invasive.org](http://www.invasive.org) for proper species.
- All existing plant beds and trees to remain within the construction limit line shall be left undisturbed. Existing trees, as noted on the drawings, shall be left undisturbed and protected by wooden barricades erected at the perimeter of the tree drip line(s). No vehicle shall traverse the area nor shall any storage of materials or equipment be permitted within the area. Any existing plant beds or trees damaged by construction activity shall be replaced by the most desirable plant at their root systems.
- Every possible safeguard shall be taken to protect building surfaces, equipment, furnishings and existing plant areas to remain (including lawn). The LANDSCAPE CONTRACTOR is responsible for any damage or injury to person or property that may occur as a result of negligence in the execution of the LANDSCAPE CONTRACTOR'S work. GENERAL CONTRACTOR shall be responsible for removal of construction debris within one (1) foot of building foundation.
- All existing areas shall be free graced by the LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR shall notify OWNER of site grading is inappropriate for the health of the plant material.
- No plant or material substitutions or modifications to practices specified or detailed in these documents will be permitted without prior written consent of the OWNER.
- The plant quantities shown on the landscape context documents are for the convenience of the LANDSCAPE CONTRACTOR.

- All plants shall be hardy under climatic conditions similar to those in the locality of the project.
- All installation of plant material and related construction activity shall comply with applicable jurisdictional codes.
- The LANDSCAPE CONTRACTOR shall field make the location of all shrub and ground cover plant beds outlines and individual trees, palms and accent shrubs in accordance with the plans.
- No trees shall be planted within designated utility corridors or public rights of way (unless RIGHT OF WAY UTILIZATION PERMIT). No plants root balls shall be located within five (5) feet of any existing utility or within 5 feet of water curbs (as identified on the drawings) if practical as necessary.
- All proposed planting areas for trees, palms, shrubs, and groundcovers shall be top dressed with three (3) inches of color "mush spread uniformly in depth over the planting beds as delineated on the plans.
- The LANDSCAPE CONTRACTOR shall vary the extent of sod work in the field. The LANDSCAPE CONTRACTOR shall be responsible for providing grass seed in the areas shown on the plan and disturbed by construction activity in sufficient quantity to provide full coverage. The surface of all areas to be grassed or sodded shall be prepared for the placement of sod by the LANDSCAPE CONTRACTOR.
- All other areas disturbed during construction shall be sodded or seeded and mulched with Argentine Blank grass unless otherwise specified on the plans, details or specifications.



SCALE 1:16



## PERMIT SET

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 NO. DATE

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2025-402

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NEW RESIDENTIAL PROJECT - FOURPLEX

PROJECT FOR: JAOME HOLDING COMPANY LLC.

PROJECT ADDRESS: PARCEL ID: 9007-0088-15

IRRIGATION & LANDSCAPING PLAN

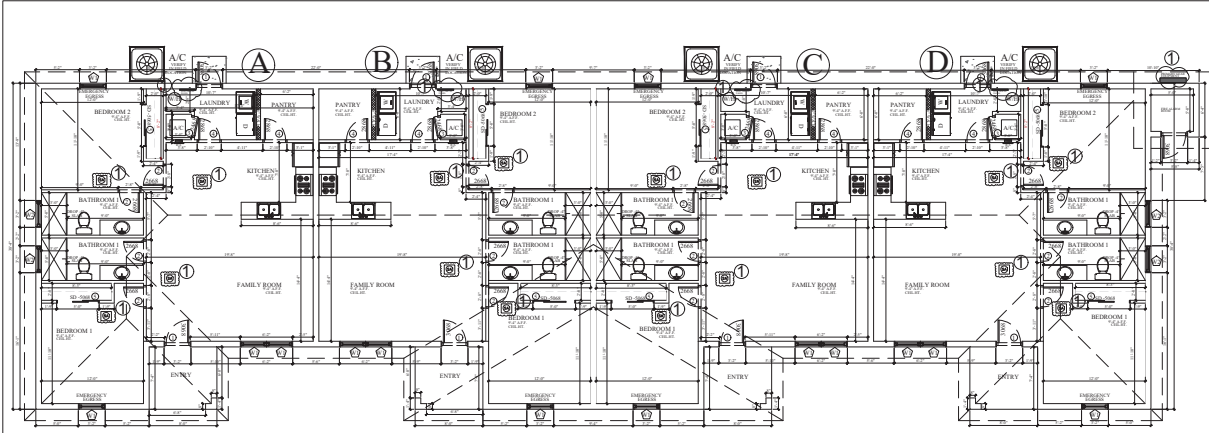
Sheet No. C01 - This form has been electronically approved and sealed by the State of Florida using a Digital Signature. Printed copies of this document are not considered signed and sealed as per the regulations.

SHEET  
**C01**



LANDSCAPING & IRRIGATION PLAN

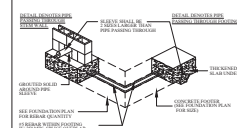
1



WALL SHEATHING:  
1/2" CDX DRYWALL  
OR 1/2" OSB  
NAILING SCHEDULE  
FOR INTERIOR



WALL SHEATHING SCALE: N.T.S. 2



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REVISIONS:  
NO. DATE  
① 2025-09

PROJECT NUMBER  
**2025-402**

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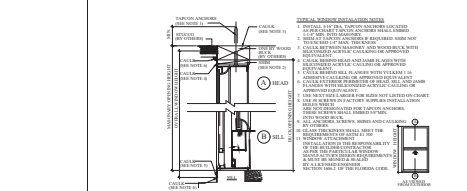
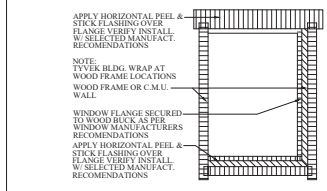
NEW RESIDENTIAL  
PROJECT - FOURPLEX

FLOOR PLAN SCALE: 3/16" = 1'-0" 1

PIPES PASSING DETAIL SCALE: N.T.S. 3

WINDOW SCHEDULE					
WINDOW #	SIZE	QTY	MATERIAL	REMARKS	MANUF.
W-1	3'-0" X 3'-0"	16	ALUMINUM OR VINYL	SINGLE FLUNG	PHI INDUSTRIES
W-2	3'-0" X 2'-0"	4	ALUMINUM OR VINYL	SINGLE FLUNG	PHI INDUSTRIES

DOOR SCHEDULE					
DOOR #	SIZE	QTY	MATERIAL	FRAME	MANUF.
D-1	2'-0" X 2'-0"	4	WOOD	WOOD	PHI INDUSTRIES
D-2	2'-0" X 2'-0"	4	WOOD	WOOD	PHI INDUSTRIES
D-3	2'-0" X 2'-0"	4	WOOD	WOOD	PHI INDUSTRIES
D-4	2'-0" X 2'-0"	4	WOOD	WOOD	PHI INDUSTRIES



DOOR & WINDOW SCHEDULE SCALE: N.T.S. 4

FLASHING INSTALLATION DETAIL SCALE: N.T.S. 5

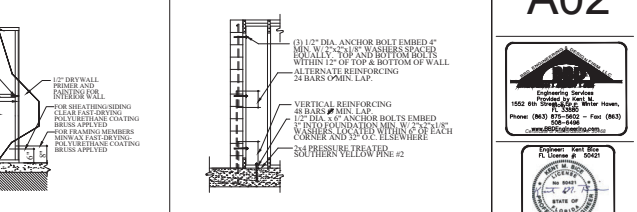
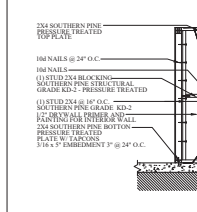
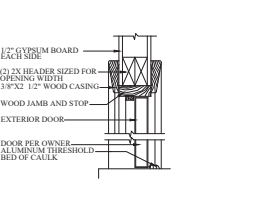
TYP. WINDOW INSTALLATION NOTES SCALE: N.T.S. 6

**SAFETY GLAZING:**  
ALL GLAZING IN SLEEPING AND SWINGING DOORS, INCLUDING SHOWER AND TUB ENCLOSURES, TO BE SAFETY GLAZED AS PER 2021 IBC 2403 & 2404 & 2405. ALL GLAZING IN ANY PORTION OF A BUILDING WITH HILL LESS THAN 6' 0" SHALL BE SAFETY GLAZED AS PER 2021 IBC 2403.1 & 2403.4 (1) ALL GLAZING WITHIN 24" OF AND PARALLEL TO A DOOR SHALL BE TEMPERED.

**FIXED WINDOWS:**  
FIXED WINDOWS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS. FIXED WINDOWS SHALL HAVE A MINIMUM NET OPENING OF THREE (3) SQUARE FEET PER WINDOW. NET AREA OF 7.5 SF PER TWO FLOOR WINDOWS AND 4.5 SF FOR SIX FLOOR WINDOWS. THE NET HEIGHT SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR LATCH AT 48" MAX. IN VOID AREAS WHERE THERE IS MORE THAN 4" OF HEAD THE NET HEIGHT SHALL BE NOT LESS THAN 60" OR PROVIDE AN APPROVED SAFETY GLAZED AS PER IBC 2403.1.

**SHOWERS:**  
SHOWER COMPARTMENTS SHALL HAVE FLOORS AND WALLS CONSTRUCTED OF SMOOTH CORROSION RESISTANT AND NON-ABRASIVE WATER RESISTANT MATERIALS TO A HEIGHT OF NOT LESS THAN WINDOWS ABOVE THE COMPARTMENT FLOOR. ALL SHOWERS SHALL BE 18" AFF.

**WINDOWS & DOORS:**  
ALL NON-TEMPERED GLAZING TO BE 1/2" THICK UNLESS OTHERWISE NOTED. ALL WINDOWS & FRENCH DOORS TO HAVE TINTED SINGLE PANE GLASS. WINDOWS AND DOORS SELECTED BY OTHERS.



FLOOR PLAN NOTES SCALE: N.T.S. 7

BUCK DETAIL SCALE: N.T.S. 8

FRAMING WALL @ CONCRETE WALL SCALE: N.T.S. 9

FRAMING WALL @ CONCRETE WALL SCALE: N.T.S. 10

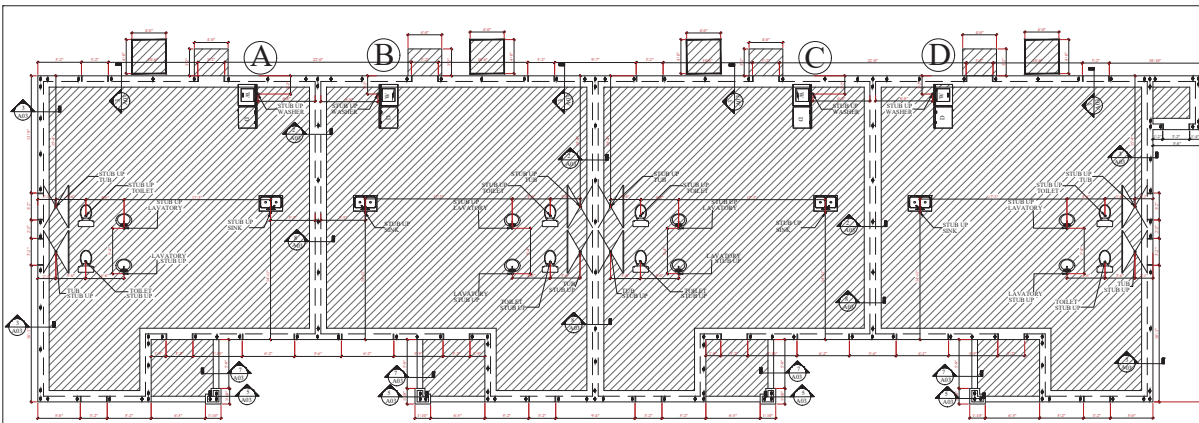
PROJECT ADDRESS:  
PARCEL ID: 9007-0088-15

FLOOR PLAN

Sheet Size: 11' x 17' - This item has been electronically approved and sealed by Jaome Holding Company LLC using Digital Signatures. Printed copies of this document are not considered signed and sealed and are subject to digital signature verification.

**A02**

Engineering Seal  
1502 No. Jaome Holding Company LLC  
P.O. Box 5550  
Tampa, FL 33650  
Phone: (813) 875-3622 Fax: (813) 875-3622  
www.jaome.com



**GENERAL FOUNDATION NOTES**

- FOUNDATION DESIGN ASSUMES 2000 P.S.F. MIN. ALLOWABLE BEARING CAPACITY. ALL CONCRETE SHALL BE 4000 PSI.
- ALL CONCRETE SHALL BE CAST IN PLACE AND SHALL BE FINISHED WITH A 1/4" FINISH.
- ALL REINFORCEMENT SHALL BE #4 OR #5 BARS UNLESS OTHERWISE NOTED.
- ALL REINFORCEMENT SHALL BE TYPICALLY 18" ON CENTER UNLESS OTHERWISE NOTED.
- REINFORCED STEEL SHALL BE A603 GRADE OR TYPICALLY 18" ON CENTER UNLESS OTHERWISE NOTED.
- CONCRETE SHALL BE CAST IN PLACE AND SHALL BE FINISHED WITH A 1/4" FINISH.
- ALL REINFORCEMENT SHALL BE TYPICALLY 18" ON CENTER UNLESS OTHERWISE NOTED.
- ALL REINFORCEMENT SHALL BE TYPICALLY 18" ON CENTER UNLESS OTHERWISE NOTED.
- ALL REINFORCEMENT SHALL BE TYPICALLY 18" ON CENTER UNLESS OTHERWISE NOTED.
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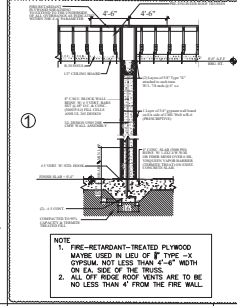


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NO. DATE  
 (1) 2025-09

PROJECT NUMBER  
 2025-402

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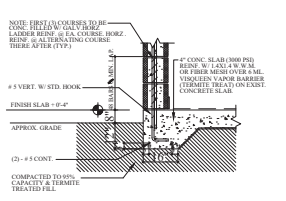


FOUNDATION PLAN

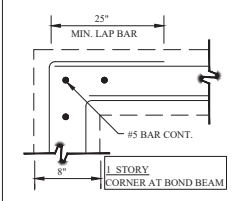
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INTERIOR PARTITION WALL DETAIL

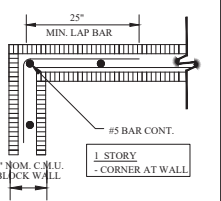
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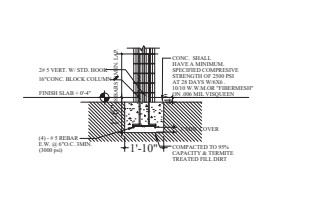
FOOTING DETAIL



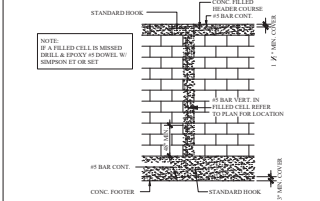
REINFORCED CORNERS



REINFORCED CORNERS



FOOTING DETAIL



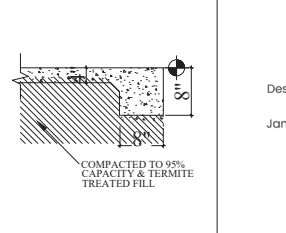
C.M.U. WALL DETAIL

PROJECT FOR: JAOME HOLDING COMPANY LLC.

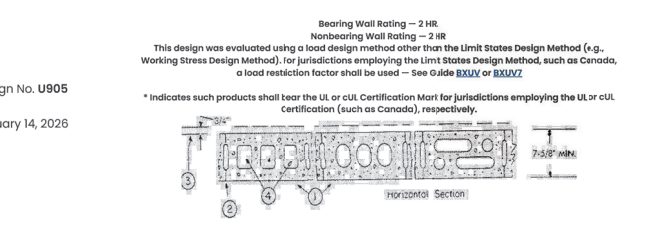
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 PARCEL ID: 9007-0088-15

FOUNDATION PLAN

Scale 1/8" = 1'-0"



FOOTING DETAIL



FIRE WALL DETAILS - ANSI/UL 263 DESIGN No. U905

1. Concrete Blocks - Various designs. Classification D-2 (2 hr). See Concrete Blocks category for list of eligible manufacturers.

2. Mortar - Blocks laid in full bed of mortar, nom. 3/8 in. thick, of not less than 2-1/4" and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.

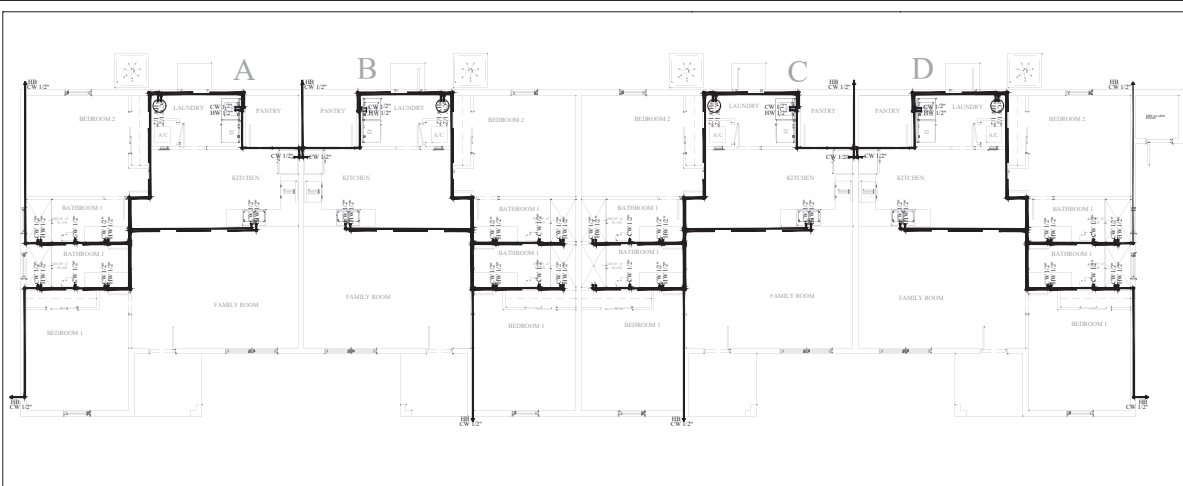
3. Portland Cement Stucco or Gypsum Plaster - Add 1/2 hr to classification if used. Where combustible members are framed in wall, plaster or stucco must be applied on the face opposite framing to achieve a max. Classification of 1-1/2 hr. Attached to concrete blocks (Item 1).

4. Loose Masonry Fill - If all core spaces are filled with loose dry expanded slag, expanded clay or shale (Rotary Kilm Process), water repellent vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr to classification.

A03





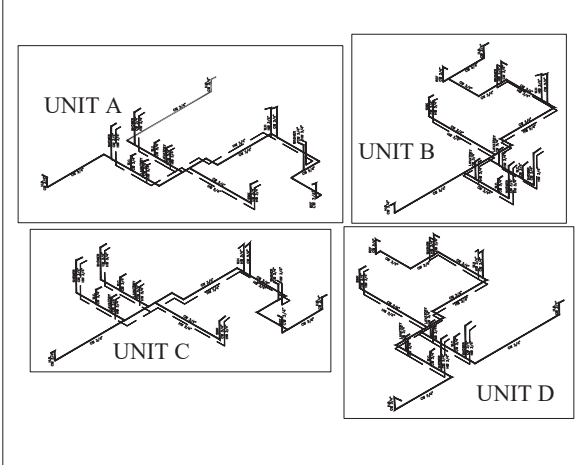


**GENERAL PLUMBING NOTES**

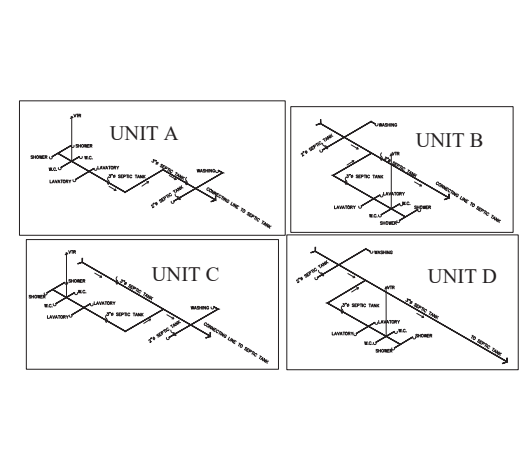
1. PLUMBING CONTRACTOR SHALL COMPLY WITH ALL CITY, STATE, AND FEDERAL CODES AND REGULATIONS.
2. PLUMBING CONTRACTOR SHALL VERIFY ALL EXISTING WORK AND PAY FOR ALL PERMITS AND ALL FEES RELATIVE TO THE INSTALLATION OF HIS WORK.
3. PLUMBING CONTRACTOR SHALL VERIFY ALL EXISTING WORK AND PAY FOR ALL PERMITS AND ALL FEES RELATIVE TO THE INSTALLATION OF HIS WORK.
4. PLUMBING CONTRACTOR SHALL VERIFY ALL EXISTING WORK AND PAY FOR ALL PERMITS AND ALL FEES RELATIVE TO THE INSTALLATION OF HIS WORK.
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6. PLUMBING CONTRACTOR SHALL VERIFY ALL EXISTING WORK AND PAY FOR ALL PERMITS AND ALL FEES RELATIVE TO THE INSTALLATION OF HIS WORK.
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8. PLUMBING CONTRACTOR SHALL VERIFY ALL EXISTING WORK AND PAY FOR ALL PERMITS AND ALL FEES RELATIVE TO THE INSTALLATION OF HIS WORK.
9. PLUMBING CONTRACTOR SHALL VERIFY ALL EXISTING WORK AND PAY FOR ALL PERMITS AND ALL FEES RELATIVE TO THE INSTALLATION OF HIS WORK.
10. PLUMBING CONTRACTOR SHALL VERIFY ALL EXISTING WORK AND PAY FOR ALL PERMITS AND ALL FEES RELATIVE TO THE INSTALLATION OF HIS WORK.

PLUMBING PLAN SCALE: 3/16" = 1'-0" 1

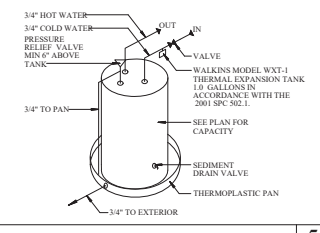
PLUMBING NOTES 2



POTABLE RISER DIAGRAM 3



SANITARY RISER DIAGRAM 4



WATER HEATER DETAIL 5



BXUV FRR - ANSI/UL 263 DESIGN No. U901 6



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NEW RESIDENTIAL PROJECT - FOURPLEX

PROJECT FOR:  
JAOME HOLDING COMPANY LLC.

PROJECT ADDRESS:  
PARCEL ID: 9007-0088-15

PLUMBING PLAN

Sheet No. 10 - This item has been electronically signed and sealed by Jaome Holding Company LLC.

**A05**







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PROJECT NUMBER

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PROJECT FOR:  
JAOME HOLDING COMPANY LLC.

PROJECT ADDRESS:  
PARCEL ID: 9007-0088-15

**ELEVATIONS PLAN**

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or method for any additional copies.

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**A08**

