

August 28, 2025

PROJECT NAME: 8005-0849-25 DUPLEXES SFM EXT/WM CNX (FKA SAS LAND TRUST DUPLEX PROJECT)

PROJECT NUMBER: 2025030048

APPLICATION: UTILITY PLAN #32625

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Utility Plan
STATUS OF REVIEW: INFO
REMARKS: Defer to Marion County Utilities.
Note: Please ensure Contractor restores the ROW back to existing grade.
- 2 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, conditions, date of approval
STATUS OF REVIEW: INFO
REMARKS: 4/24/25-add waivers if requested in future
- 3 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After plan approval, contact the ROW Permitting at the Office of the County Engineer at (352) 671-8686 to obtain a ROW Utilization Permit application
- 4 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW
REVIEW ITEM: Utility Plan
STATUS OF REVIEW: INFO
REMARKS: If any easements are required, please submit originals to ROW for review and recording.
4/25/25 HR// 8.7.25 EMW
- 5 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: Utility Plan
STATUS OF REVIEW: INFO
REMARKS: N/A
- 6 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.7 - Construction Inspection
STATUS OF REVIEW: INFO
REMARKS: MCU personnel are to inspect any work performed on or around existing MCU infrastructure. A pre-construction meeting is required to be held a minimum of 48 hours prior to start of any construction. If the pre-construction meeting is not completed, any work may be halted. To schedule, contact MCU's Construction Coordinator, Brandy Raymond at 352-371-6013 or Brandy.Raymond@MarionFl.Org
- 7 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.8 - Completion and Closeout
STATUS OF REVIEW: INFO
REMARKS: For any Utility assets between the water main and the meter, Marion County will require a Bill of Sale and As-builts of the service, prior to meter(s) being installed. A final hold has been placed on permit, if applicable. All as-builts shall comply with the current Marion County LDC, section 6.14.8

- 8 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.9 - Transfer of Facilities to Marion County
STATUS OF REVIEW: INFO
REMARKS: Any assets to be conveyed to Marion County Utilities as part of the public utility system shall be coordinated PRIOR TO Marion County Utilities through the Bill of Sale, and prior to MCU's authorization of the DEP connection/Clearance Package. The Bill of Sale for any Lift Station(s) MUST include the first electric bill to capture necessary data prior to transfer to Marion County Utilities. ALLOW A MINIMUM OF 5 WORKING DAYS for processing the Bill of Sale information.
- 9 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Utility Plan
STATUS OF REVIEW: INFO
REMARKS: Central Sewer/Central Water
- 10 DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: Utility Plan
STATUS OF REVIEW: INFO
REMARKS: N/A
- 11 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: Utility Plan
STATUS OF REVIEW: INFO
REMARKS: 5/8 Review:
[1] Sheet 3 states "Springs Protection Overlay Zone: No" - please revise to say "Springs Protection Overlay Zone: Secondary"
[2] This parcel is zoned R-PUD, not PUD. The R-PUD for this parcel allows for 2 dwelling units, which is proposed. R-PUD setbacks are based on R-3 setback standards. Since water and sewer are being provided, the minimum required front and rear setbacks 20 feet instead of 25 feet. See LDC 4.2.11.E which covers setbacks for R-3 zoning. Please revise accordingly.
[3] Buffers are not required for this project. However, buffers may be provided if desired.
6/30
1. Sheet 3 states secondary springs protection zone.
2. Zoning has been revised and statw R-PUD
- 12 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: Utility Plan
STATUS OF REVIEW: INFO
REMARKS: n/a
- 13 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: Utility Plan
STATUS OF REVIEW: INFO
REMARKS: plan is for utilities only. Defer to MCU



Marion County Board of County Commissioners

AR #32625

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW PLAN APPLICATION

Date: March 13, 2024

A. PROJECT INFORMATION:

Project Name: SAS Land Trust Duplex Project

Parcel Number(s): 8005-0849-25

Section 23 Township 17S Range 21E Land Use Residential Zoning Classification RPUD

Commercial ☐ Residential ☒ Industrial ☐ Institutional ☐ Mixed Use ☐ Other ☐

Type of Plan: UTILITY PLAN

Property Acreage 0.25 Number of Lots 1 Miles of Roads

Location of Property with Crossroads 3517 SW 157th Loop, Ocala, FL 34473

Additional information regarding this submittal:

B. CONTACT INFORMATION *(Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.)*

☒ Engineer:

Firm Name: Ardurra Group, Inc Contact Name: Chuck Pigeon

Mailing Address: 925 SE 17th Street, Suite A City: Ocala State: FL Zip Code: 34471

Phone # (352) 861-7799 Alternate Phone #

Email(s) for contact via ePlans: cpigeon@ardurra.com, grosa@ardurra.com

☒ Surveyor:

Firm Name: H & H Survey Consultants, LLC Contact Name: Dustin Holloway

Mailing Address: 131 W Broadway, Suite 1001 City: Oviedo State: FL Zip Code: 32765

Phone # 407-542-4977 Alternate Phone #

Email(s) for contact via ePlans:

Property Owner:

Owner: SAS Land Trust Contact Name: Michael Sirounis

Mailing Address: 116 Island View Drive City: Indian Harbour Bx State: FL Zip Code: 32937

Phone # 321-863-0877 Alternate Phone #

Email address: hcbbmike@gmail.com

Developer:

Developer: Florida Pro Brokers, LLC Contact Name: Jason Sirounis

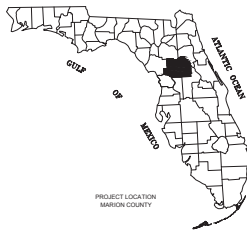
Mailing Address: 618 E South Street, Suite 500 City: Orlando State: FL Zip Code: 32801

Phone # 407-790-7341 Alternate Phone #

Email address: jason@flprobros.com

Revised 6/2021

JAN 10, 2024 10:58 AM - See Record(s) for this plan at the Marion County, Florida Clerk of Court's Office.



UTILITY PLAN FOR TRIPLE CROWN, LLC 3519 SW 157TH LOOP

SECTION 23, TOWNSHIP 17 S, RANGE 21 E
MARION COUNTY, FLORIDA

LEGAL DESCRIPTION:

SEC 23 TWP 17S RGE 21E
LOT 24, BLOCK 849,
MARION CROWN, UNIT 5,
AS RECORDED IN PLAT BOOK (O), PAGES 81-106,
PUBLIC RECORDS OF MARION COUNTY, FLORIDA

DEVELOPER/OWNER:

FL PRO BROKERS, LLC
618 E SOUTH ST, SUITE 500
ORLANDO, FL 32801
CONTACT: JASON GROUNDS
PHONE: 407-790-7341
EMAIL: jason@flprobrokers.com

ENGINEER:

ARDURRA GROUP, INC.
925 SE 17TH ST, SUITE A
OCALA, FL 34471
CONTACT: CHUCK A. PISEON
PHONE: 352-861-7799
EMAIL: info@ardurra.com

SURVEYOR:

H & H SURVEY CONSULTANTS, LLC
131 W. BROADWAY, SUITE 1001
DUNEDIN, FL 33515
CONTACT: DAVID W. HOLLOWAY
PHONE: 407-562-6677
EMAIL: info@hhsurvey.com

UTILITY CONTACTS:

WATER & SEWER:

MARION COUNTY UTILITIES
CUSTOMER SERVICE 24/7/365
1800 US-441
BELLEVILLE, FL 34420
PHONE: 352-307-8000

ELECTRIC:

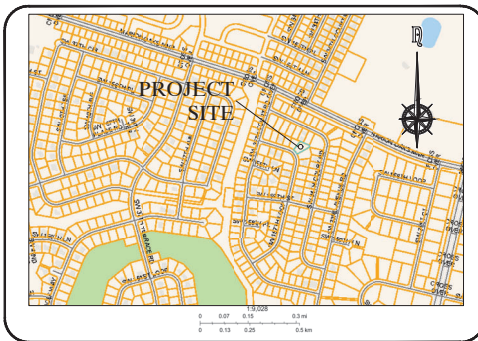
DUKIE ENERGY
4350 SE MARICAMP RD
OCALA, FL 34480
CONTACT: WESLEY DUBOSE
PHONE: 800-700-8744
EMAIL: wesley.dubose@duke-energy.com

NOTES:

- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE.
- CONTRACTOR SHALL IMMEDIATELY CONTACT PROJECT ENGINEER, IF PLANS ARE UNCLEAR, REQUIRING INTERPRETATION, OR CONFLICTING INFORMATION IS DISCOVERED.



PARCEL ID#
8005-0849-24



VICINITY MAP

PREPARED FOR:

FL PRO BROKERS, LLC

618 E SOUTH ST, SUITE 500
ORLANDO, FL 32801
407-790-7341



925 S.E. 17th Street
Suite A
Ocala, Florida 34471
Phone: (352) 861-7799
www.Ardurra.com
License #2610

Permit Type	Permit No.	Status
ACCE		
SWP/MD		
FDWP (WATER)		
FDWP (SEWER)		
NPDES NOI		

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C1.01	COVER SHEET
C1.02	NOTES & LEGEND
C2.01	OVERALL SITE PLAN
C2.02	UTILITY PLAN
C8.02	WATER DETAILS
C8.03	SEWER DETAILS
C8.04	LIFT STATION DETAILS

ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT THE WATER AND SEWER WERE DESIGNED IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE LAND DEVELOPMENT CODE OF MARION COUNTY. I HAVE SUBMITTED A PLAN TO PREP FOR APPROVAL OF WATER AND SEWER CONNECTIONS.

DATE SIGNED: _____

CHUCK A. PISEON
REGISTERED ENGINEER #27338
STATE OF FLORIDA

OWNER / DEVELOPER:

I HEREBY CERTIFY THAT I AND ALL MY SUCCESSORS AND AGENTS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THE ATTACHED PLAN.

DATE SIGNED: _____

JASON GROUNDS
FL PRO BROKERS, LLC
618 E SOUTH STREET, SUITE 500
ORLANDO, FLORIDA 32801

				JOB NO: 000.00
				DATE: 07/10/2024
				C1.01
				3519 SW 157TH LOOP

GENERAL SITE PLAN NOTES:

1. THE CONTRACTOR SHALL SEND TO AND ABIDE BY ALL PERMIT CONDITIONS AND ALL ORDINANCES, RULES, REGULATIONS AND ADMINISTRATIVE DIRECTIONS FOR ANY ADDITIONAL REQUIREMENTS OF SAID AGENCIES.

2. ANY DEVIATION FROM THESE PLANS REQUIRES PRIOR WRITTEN APPROVAL FROM THE PROFESSIONAL ENGINEER OF RECORD AND, IF APPLICABLE, FROM MARION COUNTY.

3. THE GENERAL CONTRACTOR FOR THE PROJECT IS REQUIRED, AS PART OF THE PROJECT, TO REVEAL THE EXISTING SET AND STUDY THEIR CORRELATION PROJECT TO BIDDING & CONSTRUCTION.

4. THE GENERAL CONTRACTOR IS HEREBY REQUIRED TO IMPLEMENT SITE SAFETY MEASURES TO PROTECT THE EXISTING SET.

5. CONTRACTOR SHALL CONTACT FLORIDA SUNSHINE CALL AT 1-800-432-4770 PRIOR TO COMMENCING ANY UNDERGROUND EXCAVATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, COMPANIES, FIELD VERIFY THE EXACT LOCATION, BOTH HORIZONTAL AND VERTICAL, OF ALL UTILITIES AND RECORD THE LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITIES OF ANY WORK TO BE DONE BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF TRUNCING.

6. THE CONTRACTOR SHALL COMPLY WITH ALL CITY OF MARION APPLICABLE PERMITS. THIS PLAN FALLS WITHIN THE JURISDICTION OF THE FOLLOWING REGULATORY AGENCIES:

- MARION COUNTY, FLORIDA
- SOUTH WEST FLORIDA WATER MANAGEMENT DISTRICT
- FLORIDA DEPARTMENT OF TRANSPORTATION
- FLORIDA FIRE AND WILDLIFE CONSERVATION COMMISSION

7. ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) NO. 120838C0805E AS ISSUED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) LASTED DATE: AUGUST 28, 2006, THE PROPERTY DESCRIBED HEREON APPEARS TO BE IN THE UNDESIGATED FLOOD HAZARD ZONE.

8. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MINIMAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY DESIGN STANDARDS MANUAL.

9. THE CONTRACTOR SHALL IMMEDIATELY CONTACT PROJECT ENGINEER, AND/ORIA GROUP, INC. IF PLANS ARE UNCLEAR, REQUIRING INTERPRETATION OR CORRECTION.

10. THE CONTRACTOR SHALL COORDINATE ON SITE WORK ACTIVITY, ACCESS AND MATERIALS STORAGE LOCATION WITH OTHER ON-SITE CONTRACTORS SO THAT ALL PROJECTS PROPOSED TO OCCUR CONCURRENTLY CAN BE COMPLETED WITHOUT OTHER SITE DEVELOPMENT ACTIVITIES.

11. THE CONTRACTOR SHALL SUBMIT TO THE MARION COUNTY ENGINEER, RULE CERTIFICATIONS, CERTIFIED TEST RESULTS, AND OATH MANUALS (IF APPLICABLE), TO OBTAIN CERTIFICATIONS AS NEEDED FROM ALL STATE AND LOCAL AGENCIES, A. ANY WORKS PROPOSED TO BE CONSTRUCTED SHALL BE IN ACCORDANCE WITH THE DRAWING INFORMATION SHALL INCLUDE BUT NOT BE LIMITED TO FINISHED GRADE, EXISTING ELEVATIONS, EXISTING AND PROPOSED ELEVATIONS, EXISTING STRUCTURE RISE AND INVERT, ELEVATIONS, STORMWATER RETENTION POND RISE AND INVERT ELEVATIONS, EXISTING AND PROPOSED ELEVATIONS, AND OTHER CONSTRUCTION COMPONENTS THAT VARY FROM THE DESIGN PLANS.

12. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS BEFORE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR'S PLAN INFORMATION SHALL BE REPORTED TO ENGINEER IMMEDIATELY.

13. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A DRAINAGE PERMIT FROM THE MARION COUNTY ENGINEER FOR DRAINAGE MANAGEMENT DESIGN, IF APPLICABLE.

14. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND USAGE OF EXISTING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT. ALL TRAFFIC CONTROL, TRUCK CONTROL, AND TRUCK TRAILER CONTROL SHALL BE IN ACCORD WITH THE STANDARD PLANS FOR ROAD CONSTRUCTION, INDEX NO. 102 SERIES FOR TRUCK TRAILER CONTROL.

15. UNDERGROUND CONTRACTOR SHALL MINIMIZE THE WORK AREA AND WIDTH OF

22. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE OWNER'S REPRESENTATIVE UPON DISCOVERY OF CONFLICTS BETWEEN THE CONTRACT REQUIREMENTS AND ANY APPLICABLE CITY, COUNTY, STATE OR FEDERAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR WORK. THE CONTRACT SHALL BE AMENDED TO REFLECT ANY CHANGES TO THE WORK. THE CONTRACT SHALL BE AMENDED TO REFLECT ANY CHANGES TO THE WORK. THE CONTRACT SHALL BE AMENDED TO REFLECT ANY CHANGES TO THE WORK.
23. ALL BURNED PIPELINES, CONDUITS, CABLES, ETC. SHALL HAVE A MINIMUM COVER OF 18 INCHES OF GRANULAR FILL OR GRADE UNLESS OTHERWISE CALLED FOR.
24. ALL DUST SHALL BE CONTROLLED ON SITE. ONLY AREAS SCHEDULED FOR IMMEDIATE CONSTRUCTION SHALL BE CLEARED OR STRIPPED OF VEGETATION OR OBSTRUCTIONS. DUST CONTROL SHALL BE EMPLOYED TO PREVENT THE EXHAUSTION OF DUST FROM CONSTRUCTION ACTIVITIES. DUST CONTROL SHALL BE EMPLOYED TO PREVENT THE EXHAUSTION OF DUST FROM CONSTRUCTION ACTIVITIES. DUST CONTROL SHALL BE EMPLOYED TO PREVENT THE EXHAUSTION OF DUST FROM CONSTRUCTION ACTIVITIES.
25. THE CONTRACTOR SHALL IMPLEMENT STORMWATER POLLUTION PREVENTION AND EROSION CONTROL PRACTICES FOR THE DURATION OF CONSTRUCTION ACTIVITIES.
26. CONTRACTOR SHALL RESTORE RIGHT OF WAY BACK TO EXISTING GRADE.
27. CONTRACTOR SHALL APPLY FOR RIGHT OF WAY PERMIT BEFORE PERFORMANCE OF ANY CONSTRUCTION ACTIVITIES.

CLEARING NOTES:

1. REFERENCE LOCAL CODE FOR NATIVE VEGETATION REQUIREMENTS. CLEARING SHALL EXTEND ONLY TO THE LIMITS IDENTIFIED ON THE PLANS. TREES IDENTIFIED TO BE SAVED, IF APPLICABLE AND WITHIN THE CLEARING LIMITS, OF THE CONSTRUCTION LIMITS SHALL BE IDENTIFIED AND PROTECTED PRIOR TO AND DURING CLEARING.
2. ALL EXOTIC VEGETATION AS DEFINED BY LOCAL CODE SHALL BE REMOVED FROM THE SITE STRUCTURE LIMITS. THE SITE SHALL BE MAINTAINED EXOTIC FREE DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL DISPOSE OF ALL CLEARED AND GRUBBED MATERIALS BY HAULING, OR CHIPPING AND GRINDING AND TRANSPORT OFF-SITE.

SITE PLAN NOTES:

1. EXISTING DRAINAGE STRUCTURES WITHIN CONSTRUCTION LIMITS SHALL REMAIN UNLESS OTHERWISE NOTED, IF APPLICABLE.
2. GAS, POWER, PHONE AND CABLE TELEVISION UTILITIES TO BE ADJUSTED AND/OR INSTALLED BY OTHERS. CONTRACTOR SHALL COORDINATE WITH EACH RESPECTIVE UTILITY TO HAVE UTILITIES ADJUSTED OR ALTERED TO FACILITATE SITE AND SWALE GRADING REQUIREMENTS.
3. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE PROTECTED. IF A CORNER MONUMENT, POST OR OTHER IDENTIFICATION IS IN DANGER OF BEING DESTROYED, AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHALL EMPLOY THE SERVICES OF A PROFESSIONAL REGISTERED SURVEYOR TO REESTABLISH THE MONUMENT, AND REFERENCES AND RECORDS. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC AGENCIES AND FILE ALL REQUIRED DOCUMENTATION ALL IN ADDITIONAL COST TO THE OWNER.

GEOTECHNICAL NOTES:

3. THE CONTRACTOR WILL ENGAGE THE SERVICES OF A RECOGNIZED SOILS AND MATERIALS TESTING LABORATORY FOR COMPLIANCE TESTING. THE COST OF ANY RE-TESTING REQUIRED, OR IMPACTS OF TIME DELAYS CAUSED BY WORK, OR MATERIALS NOT MEETING STATED CONTRACT REQUIREMENTS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL SCHEDULE TESTING SO THAT CONSTRUCTION ACTIVITIES ARE NOT DISRUPTED. MISCELLANEOUS TESTING ABOVE AND BEYOND NORMALLY SCHEDULED TESTING MAY BE REQUESTED BY THE OWNER AT ANY TIME. THE CONTRACTOR SHALL COOPERATE WITH SUCH ACTIVITIES. TESTING WILL INCLUDE DENSITY TESTING OF COMPACTED SUBGRADE AND CONCRETE TESTING OF CONCRETE PAVING.

SURVEY DATA AND BENCH MARK NOTES:

1. SEE TITLE SHEET C1.01 FOR SURVEY CONTACT INFORMATION.
2. THE TOPOGRAPHIC SURVEY UPON WHICH THESE PLANS ARE BASED WAS PREPARED BY H & H SURVEY CONSULTANTS, LLC. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.

LANDSCAPE AND GRASSING NOTES:

1. AREAS DISTURBED BY CONSTRUCTION SHALL BE SODED, UNLESS OTHERWISE NOTED ON THE PLANS. A FULL STAND OF PERENNIAL GRASS WILL BE REQUIRED PRIOR TO RECEIVING PROJECT FINAL APPROVAL.
2. ALL DISTURBED AREAS BY THE CONSTRUCTION OF THIS PROJECT, NOT OTHERWISE PAVED, SHALL BE IMMEDIATELY SODED FOLLOWING FINAL GRADING. ALLOW FOR THICKNESS OF SOD WITH 2-INCH UNDERCUT. SOD SHALL BE ARGENTINE BAHIA, AND SHALL BE REGULARLY WATERED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION DURATION.

SIGNAGE NOTES:

1. ANY AND ALL PROJECT SIGNAGE SHALL COMPLY WITH THE CODE OF ORDINANCES OF "MARION COUNTY".

16. ALL UNDERGROUND UTILITIES AND INFRASTRUCTURE TO BE LOCATED BEFORE THE STABILIZED PORTION OF THE ROAD BED.

17. CONTRACTOR SHALL NOT INTERRUPT OPERATION OF EXISTING UTILITIES UNLESS THE OWNER HAS DETERMINED AND TENDERS OTHERWISE TO THE EFFECTED CONTRACTOR.

18. TESTING: ALL TESTS SHALL BE IN ACCORDANCE WITH LOCAL AGENCY AND INDUSTRY STANDARDS. TESTING SHALL BE CONDUCTED BY THE EFFECTED CONTRACTOR. SHALL OBTAIN THROUGH AN INDEPENDENT TESTING COMPANY ALL MATERIALS AND EQUIPMENT FOR TESTING. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING:

19. CONTRACTOR TO GUARANTEE WITH WARRANTY ALL WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS AND IN NO CIRCUMSTANCES LESS THAN FOR A PERIOD OF ONE YEAR.

20. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH ALL FEDERAL, STATE, LOCAL, AND PRIVATE ENTITIES POTENTIALLY AFFECTED. THE DESIGN AND CONSTRUCTION SHALL PROCEED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONSTRUCTION WILL COMMENCE IN THE AREA, TO ENABLE FIELD LOCATION OF UTILITIES AND INFRASTRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND POTENTIALLY REPRESENT ALL UTILITIES POTENTIALLY AFFECTED. ALL UTILITIES SHALL BE IDENTIFIED AND PROTECTED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE EXISTING UTILITIES AND INFRASTRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTRACTOR'S ACTIVITIES, SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

21. THE CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW THE SITE TO DETERMINE THE LOCATION OF UTILITIES AND INFRASTRUCTURE. THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTRACTOR'S ACTIVITIES, SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

22. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE OWNER'S REPRESENTATIVE UPON DISCOVERY OF CONFLICTS BETWEEN THE CONTRACT REQUIREMENTS AND ACTUAL CONSTRUCTION CONDITIONS AND SHALL NOT PROCEED WITH ANY WORK FOR WHICH THE CONFLICT HAS ARISEN UNTIL CONFLICT IS RESOLVED WITH THE OWNER'S REPRESENTATIVE.
23. ALL BURIED PIPELINES, CONDUITS, CABLES, ETC. SHALL HAVE A MINIMUM COVER OF 30 INCHES BELOW FINISHED GRADE UNLESS OTHERWISE CALLED FOR.
24. ALL DUST SHALL BE CONTROLLED ON SITE ONLY ARES SCHEDULED FOR IMMEDIATE CONSTRUCTION SHALL BE CLEARED OR STRIPPED OF PAVEMENT OR VEGETATION WATERING, APPLICATION OF CALCIUM CHLORIDE, OR OTHER PRIOR APPROVED MEANS OF DUST CONTROL SHALL BE EMPLOYED TO PREVENT THE EMANATION OF DUST FROM THE SITE. THE SITE SHALL BE MAINTAINED IN A GRASSY CONDITION, AND OTHER SITE WORK SHALL BE INCORPORATED AS SOON AS POSSIBLE.

25. CONSTRUCTION SHALL BE CARRIED OUT 'IN THE DRY'. THE CONTRACTOR SHALL REVIEW SITE CONDITIONS AND DETERMINE METHODS AND EXTENT OF Dewatering NECESSARY. NO ADDITIONAL COMPENSATION SHALL BE PROVIDED FOR CONTROL OF GROUND OR SURFACE WATER, OR FOR ADDITIONAL MATERIALS OR TIME REQUIRED AS A RESULT OF INADEQUATE OR INSUFFICIENT Dewatering.
26. CONTRACTOR SHALL IMPLEMENT STORMWATER POLLUTION PREVENTION AND EROSION CONTROL PRACTICES FOR THE DURATION OF CONSTRUCTION ACTIVITIES.
27. CONTRACTOR SHALL RESTORE RIGHT OF WAY BACK TO EXISTING GRADE

28. CONTRACTOR SHALL APPLY FOR RIGHT OF WAY PERMIT BEFORE PERFORMING WORK IN RIGHT OF WAY.

- CLEARING NOTES:**
1. REFERENCE LOCAL CODE FOR NATIVE VEGETATION REQUIREMENTS. CLEARING SHALL EXTEND ONLY TO THE LIMITS IDENTIFIED ON THE PLANS. TREES IDENTIFIED TO BE SAVED, IF APPLICABLE AND WITHIN THE CLEARING LIMITS, OF THE CONSTRUCTION LIMITS SHALL BE IDENTIFIED AND PROTECTED PRIOR TO AND DURING CLEARING.

2. ALL EXOTIC VEGETATION AS DEFINED BY LOCAL CODE SHALL BE REMOVED FROM THE SITE CONSTRUCTION LIMITS. THE SITE SHALL BE MAINTAINED EXOTIC FREE DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL DISPOSE OF ALL CLEARED AND GRUBBED MATERIALS BY HAULING, OR CHIPPING AND GRINDING AND TRANSPORT OFF-SITE.

- ### **SITE PLAN NOTES:**
1. EXISTING DRAINAGE STRUCTURES WITHIN CONSTRUCTION LIMITS SHALL REMAIN UNLESS OTHERWISE NOTED, IF APPLICABLE.
 2. GAS, POWER, PHONE AND CABLE TELEVISION UTILITIES TO BE ADJUSTED AND/OR DELETED. OTHERS CONTRACTOR SHALL COORDINATE WITH EACH RESPECTIVE UTILITY TO HAVE UTILITIES HED, ADJUSTED OR ALTERED TO FACILITATE SITE AND SWALE GRADING REQUIREMENTS.
 3. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE PROTECTED. IF A CORNER MONUMENT, POST OR OTHER IDENTIFICATION IS THE DANGER OF BEING DESTROYED, AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHALL EMPLOY THE SERVICES OF A PROFESSIONAL REGISTERED SURVEYOR TO REESTABLISH THE MONUMENT AND REFERENCES AND PROPERLY IDENTIFY THE PUBLIC ADJACENT LAND. ALL REQUIRED DOCUMENTATION ALL PROPERLY FILED WITH THE COUNTY CLERK.
- NO ADDITIONAL COST TO THE OWNER.

- GEOTECHNICAL NOTES:**
1. THE CONTRACTOR WILL ENGAGE THE SERVICES OF A RECOGNIZED SOILS AND MATERIALS TESTING LABORATORY FOR COMBUSTIVE TESTING. THE COST OF ANY

- MATERIALS TESTING LABORATORY FOR COMPLIANCE TESTING. THE COST OF ANY RE-TESTING REQUIRED, OR IMPACTS OF TIME DELAYS CAUSED BY WORK, OR MATERIALS NOT MEETING STATED CONTRACT REQUIREMENTS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL SCHEDULE TESTING SO THAT CONSTRUCTION ACTIVITIES ARE NOT DISRUPTED. MISCELLANEOUS TESTING ABOVE AND BEYOND NORMALLY SCHEDULED TESTING MAY BE REQUESTED BY THE OWNER AT ANY TIME. THE CONTRACTOR SHALL COOPERATE WITH SUCH

- ACTIVITIES. TESTING WILL INCLUDE DENSITY TESTING OF COMPACTED SUBGRADE AND CONCRETE TESTING OF CONCRETE PLACED.

- SURVEY DATA AND BENCH MARK NOTES:

1. SEE TITLE SHEET C1.01 FOR SURVEY CONTACT INFORMATION.
2. THE TOPOGRAPHIC SURVEY UPON WHICH THESE PLANS ARE BASED WAS PREPARED BY H & H SURVEY CONSULTANTS, LLC. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.

- LANDSCAPE AND GRASSING NOTES:

1. AREAS DISTURBED BY CONSTRUCTION SHALL BE SODED, UNLESS OTHERWISE NOTED ON THE PLANS. A FULL STAND OF PERENNIAL GRASS WILL BE REQUIRED PRIOR TO RECEIVING PROJECT FINAL APPROVAL.
2. ALL DISTURBED AREAS BY THE CONSTRUCTION OF THIS PROJECT, NOT OTHERWISE PAVED, SHALL BE IMMEDIATELY SODED FOLLOWING FINAL GRADING. ALLOW FOR THICKNESS OF SOD WITH 2-INCH UNDERCUT. SOD SHALL BE ARGENTINE BAHIA, AND SHALL BE REGULARLY WATERED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION DURATION.

- SIGNAGE NOTES:**
1. ANY AND ALL PROJECT SIGNAGE SHALL COMPLY WITH THE CODE OF ORDINANCES OF "MARION COUNTY".



Piquon-Ardura, LLC
925 S.E. 17th Street, Suite A
Ocala, Florida 34471
Phone: (352) 861-7799
www.Ardura.com
License #26531

FL PRO BROKERS, LLC
618 E SOUTH ST, SUITE 500
ORLANDO, FL 32801
407-790-7341

WATER AND SEWER UTILITY NOTES:

1. ALL EXISTING WATER AND SEWER APPURTENANCES INTENDED TO BE AT FINISH GRADE LEVEL AND AFFECTED BY THIS SITE DEVELOPMENT, SHALL BE ADJUSTED TO PROPOSED FINISH GRADE.

WATER NOTES:

1. WATER SERVICES SHALL BE IN ACCORDANCE WITH WATER SERVICES DETAIL ON SHEET C8.02.
2. WATER PIPING AFTER METER SHALL BE BLUE PE PIPE AND HAVE A MINIMUM PRESSURE CLASS OF 150 PSI. ALL WATER PIPING SHALL BE PRESSURE TESTED AT A MINIMUM PRESSURE OF 150 PSI FOR 2 CONSECUTIVE HOURS.

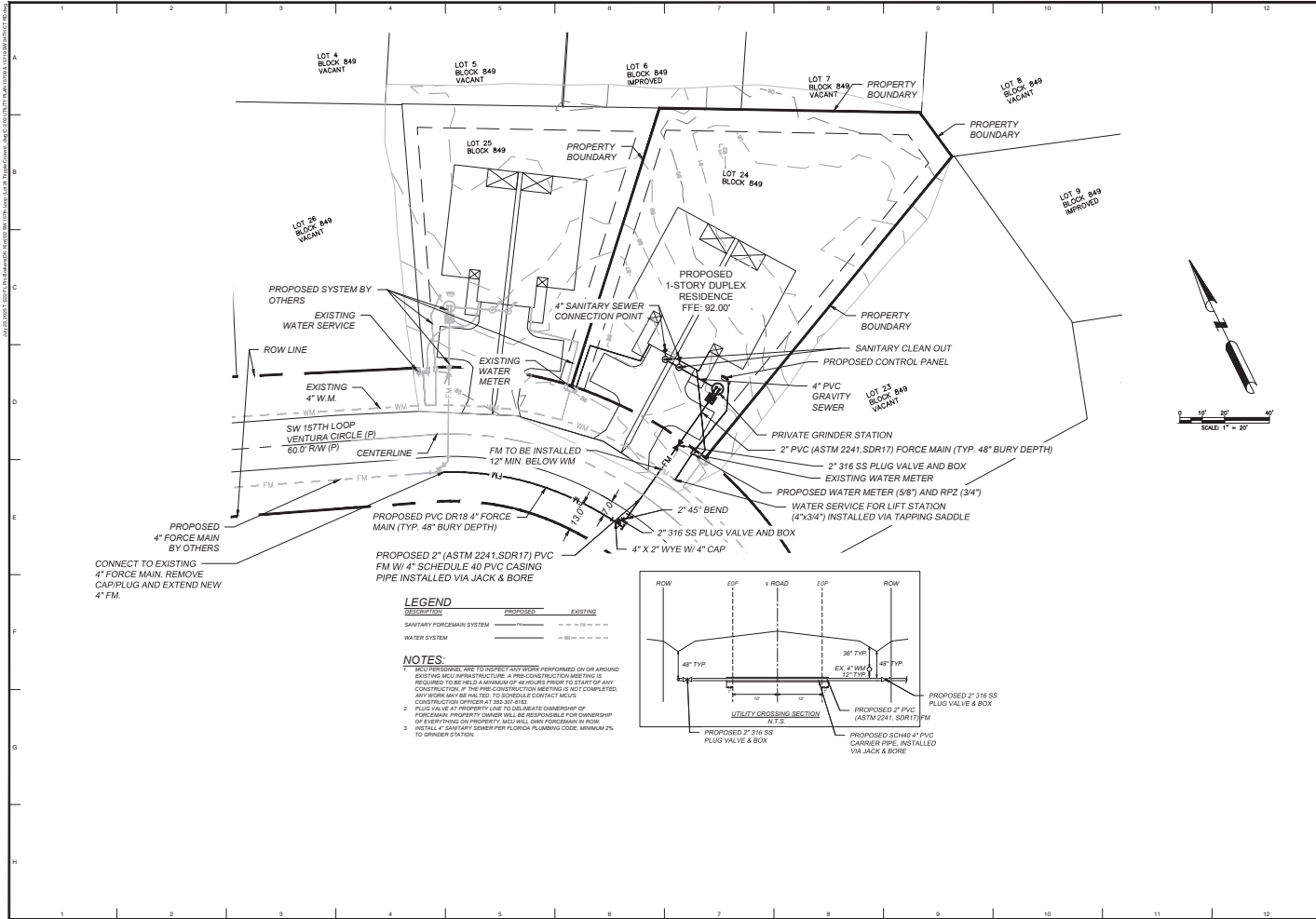
SANITARY SEWER NOTES

- | | |
|--|----------|
| 1. SANITARY GRAVITY SEWER MAINS SHALL BE PVC ASTM D-3034, SDR 35 UNLESS OTHERWISE SPECIFIED ON THE CONSTRUCTION PLANS. | REVISION |
| 2. SANITARY SEWER SHALL BE SLOPED AT A MINIMUM 0.25 INCH PER FOOT (2%) UNLESS OTHERWISE NOTED. | |
| 3. SANITARY SEWER FOREMAINS LESS THAN 4" SHALL BE PVC ASTM D-2241, SDR 17. FOREMAINS 4" AND LARGER SHALL BE PVC JUVENI CRD, DR18. ALL FOREMAINS SHALL BE PRESSURE TESTED AT A MINIMUM PRESSURE OF 200 PSI FOR 3 CONSECUTIVE HOURS. | |
| 4. SEWER FORCE MAIN FITTINGS SHALL BE PVC, SOLVENT WELD AND HAVE A MINIMUM PRESSURE CLASS OF 150 PSI. | DATE |

FL PRO BROKERS, LLC

NOTES & LEGENDS

C1.02



IN GOD WE TRUST

ARDURRA

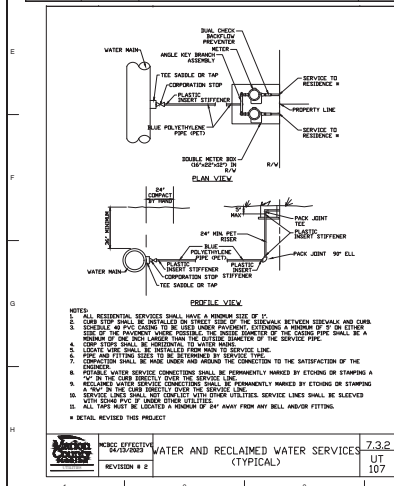
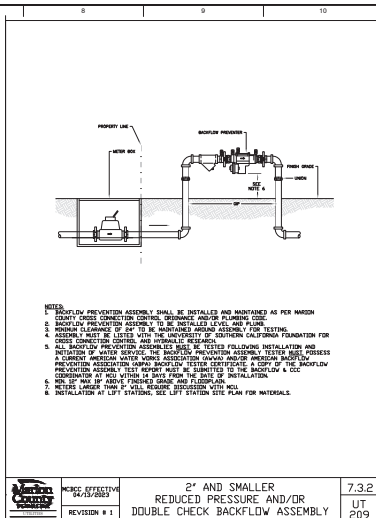
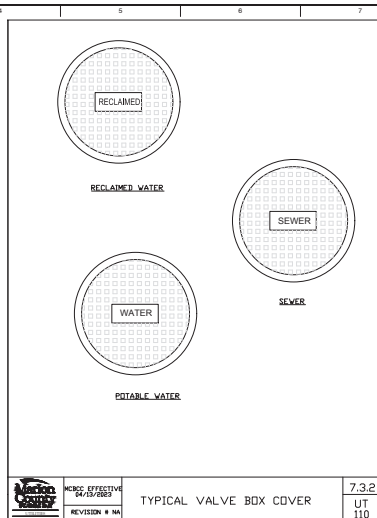
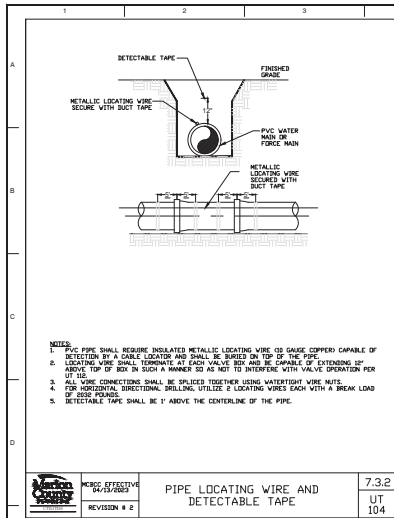
Regina Arduro, LLC
521 N.E. 17th Street, Suite A
Orlando, Florida 32801
Phone: (407) 860-7799
www.ardurra.com
Estate: 705007

FL PRO BROKERS, LLC
616 S SOUTH ST., SUITE 500
ORLANDO, FL 32801
407-750-7341

FL PRO BROKERS, LLC	UTILITY PLAN
---------------------	--------------

C2.02

PERMIT PLANS
05-10-2023

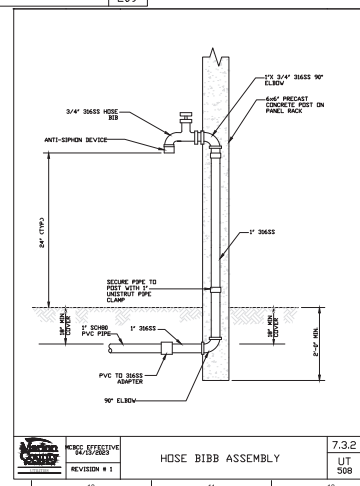


LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555.314

Other Pipe	Horizontal Separation	Crossings (1)	Joint Spacing @ Crossings (Full Joint Centered)
Storm Sewer, Stormwater Force Main, Reclaimed Water (2)	Water Main 3 ft. minimum	Water Main 12 inches is the minimum, except for storm sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 3 ft. minimum
Vacuum Sanitary Sewer	Water Main 10 ft. preferred 3 ft. minimum	Water Main 12 inches preferred 6 inches minimum	Alternate 3 ft. minimum
Gravity or Pressure Sanitary Sewer, Sanitary Sewer Force Main, Reclaimed Water (4)	Water Main 10 ft. preferred 6 ft. minimum (3)	Water Main 12 inches is the minimum, except for gravity sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 6 ft. minimum
On-Site Sewage Treatment & Disposal System	10 ft. minimum	---	---

Notes:
(1) Water mains should cross above other pipe. When water main must be below other pipe, the minimum separation is 12 inches.
(2) Reclaimed water regulated under Part III of Chapter 62-610, F.A.C.
(3) 3 ft. for gravity sanitary sewer where the bottom of the water main is laid at least 6 inches above the top of the gravity sanitary sewer.
(4) Reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.

Disclaimer - This document is provided for your convenience only. Please refer to F.A.C. Rule 62-605.314 or additional construction requirements.



MADISON COUNTY, FLORIDA
"A GOOD WAY TO LIVE"

ARDURRA
Page 1 of 10
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ORLANDO, FL 32801
407-790-7341

FL PRO BROKERS, LLC
WATER DETAILS

C8.02
PERMIT PLANS
05/18/2023

LIFT STATION LOCATION: 3517 SW 157TH LOOP

GENERAL NOTES

PUMPS SHALL BE OF THE SUBMERSIBLE TYPE (MANUFACTURED BY HYDROMATIC OR KENNEDY). EACH PUMP SHALL BE MOUNTED ON A 1/2" RAIL SYSTEM. THE RAIL SYSTEM SHALL BE SELF ENGAGING RESULTING IN A LEANPROOF COUPLING. THE RAIL SYSTEM SHALL INCLUDE THE BASE (ELONG DISCHARGE FLANGE ASSEMBLY), STRESS GUIDE RAILS, STRESS UPPER GUIDE BRACKET, STRESS LIFTING RAIL AND CABLE, AND A SIX-HOOK STRESS CABLE HOLDER. THE RAIL SYSTEM SHALL BE MOUNTED AND PRE-TESTED BY THE PUMP SUPPLIER.

PUMP CONSTRUCTION
THE PUMP, MOTOR, MOTOR AND SEAL HOUSING SHALL BE CONSTRUCTED OF CAST IRON. ALL EXTERNAL FASTENERS SHALL BE STAINLESS STEEL. THE PUMP SHAFT SHALL BE CONSTRUCTED OF STAINLESS STEEL.

IMPELLER
THE IMPELLER SHALL BE OF MULTI-VANE, SEMI-OPEN CONSTRUCTION. THE IMPELLER SHALL BE STATIONARY AND HYDRAULICALLY BALANCED.

CUTTERS
A CUTTER ASSEMBLY SHALL BE MOUNTED ON THE SUCTION SIDE OF THE PUMP WITH DIRECT DISCHARGE INTO THE PUMP IMPELLER. THE CUTTER SHALL BE CAPABLE OF GRINDING MATERIAL FOUND IN NORMAL DOMESTIC SEWAGE. BOTH THE STATIONARY AND ROTATING CUTTERS SHALL BE CONSTRUCTED OF HARDENED STEEL.

MOTOR
THE MOTOR SHALL BE MOUNTED IN A SEALED, SUBMERSIBLE TYPE HOUSING. THE MOTOR SHALL BE SECURELY HELD IN PLACE WITH 4 REMOVABLE AND TWO AND THREADED FASTENERS FOR USE OF REMOVAL WITHOUT THE USE OF HEAT OR A PRESS. THE MOTOR WILL HAVE TWO HEAVY-DUTY BALL BEARINGS (ONE UPPER (DOWN) AND ONE LOWER (THRU)) TO SUPPORT THE SHAFT. THE MOTOR SHALL BE EQUIPPED WITH A WINDING THERMIST THAT IS WIRED TO SHUT THE MOTOR OFF IN CASE OF MOTOR OVERHEATING.

SEAL CHAMBER
THE PUMP SHALL HAVE TWO MECHANICAL SEALS MOUNTED IN TANDUM WITH AN OIL CHAMBER BETWEEN THE SEALS. THE PUMP SHALL BE EQUIPPED WITH A SEAL LEAK DETECTION PROBE AND WARNING SYSTEM BY USING A SEAL FAILURE SENSOR INSTALLED IN THE SEAL CHAMBER.

WET WELL
THE PUMP SUPPLIER SHALL PROVIDE THE WET WELL. THE WET WELL SHALL BE GLASS FIBER-REINFORCED POLYESTER BASKIN SHALL BE CONSTRUCTED OF A COMBINATION GRATE OF GLASS FIBER OR POLY-REINFORCED AND SHALL BE PROVIDED WITH INLET AND AN ANTI-FLOATION RING WITH A MINIMUM DIAMETER OF THREE INCHES LARGER THAN THE BASKIN DIAMETER. THE RAIL SYSTEM, INTERNAL PIPING AND DISCHARGE CONNECTIONS SHALL BE PRE-INSTALLED BY THE PUMP SUPPLIER.

HATCH COVER
THE HATCH COVER SHALL BE 2/3 HINGED TO ALLOW FOR MAXIMUM ACCESS TO THE WET WELL. THE HATCH COVER SHALL BE ALUMINUM WITH STAINLESS STEEL HINGING. HATCH COVER FOR 300 PIP OR GREATER. THE HATCH COVER SHALL INCLUDE A SINGLE OR DUAL DOOR OF DIMENSIONS SPECIFIED BY THE PUMP MANUFACTURER FOR PROPER PUMP CLEARANCE. THE COVER SHALL BE MANUFACTURED BY US FIBERGLASS VAULT, OR EQUAL.

VALVE BOX
THE VALVE BOX SHALL BE FIBERGLASS WITH ALUMINUM LOCKABLE COVER. STANDARD SIZE VALVE BOX IS 32"x30"x25".

VALVES
VALVES SHALL BE SERVED DRIVING CHECK WITH CLEAN-OUT PORTS AND BRASS GATE VALVES.

FLOATS
FLOATS SHALL BE ANCHOR SCIENTIFIC ROTO-FLOATS OR EQUAL.

CONTROLS
THE CONTROL PANEL SHALL BE UL508 LISTED. ENCLOSURE SHALL BE PROVIDED IN 4X POLYCARBONATE. THE PANEL SHALL INCLUDE AN ALTERNATING CONTROL SCHEME (DUPLEX AND ABOVE) MAIN CIRCUIT BREAKER, GENERATOR RECEPTACLE, HIGH LEVEL ALARM LIGHT AND HORN, ELAPSED TIME METER, VOLTAGE OR PHASE MONITOR, SEAL FAILURE AND OVERLOAD SIGNALS. THE LIGHTING ARRESTOR SHALL BE PROVIDED BY SUPPLIER AND INSTALLED BY CONTRACTOR.

ELECTRICAL
ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES AND NATIONAL ELECTRIC CODE (NEC).

SUPPLIER
PUMP SUPPLIER SHALL PROVIDE SUBMERSIBLE PUMPS, BASE RAIL ASSEMBLIES, FIBERGLASS BASKIN AND VALVE BOX, CONTROL PANEL, FLOAT SWITCHES, ALUMINUM HATCHES AND ACCESSORIES TO INSURE PROPER OPERATIONS AND WARRANTY. THE COMPLETE PUMPING STATION SHALL HAVE PUMP BASES, RAIL ASSEMBLIES, AND DISCHARGE PIPING ASSEMBLY BY SUPPLIER READY FOR FIELD INSTALLATION.

PUMP PACKAGE SHALL BE SUPPLIED BY BARNEY'S PUMPS INC. OR ENGINEER APPROVED EQUAL.

EMERGENCY NOTICE SIGN
CONTRACTOR IS TO PROVIDE AND POST AN UNRESTRICTED SIGN MADE OF DURABLE WEATHER RESISTANT MATERIAL AT A LOCATION VISIBLE TO THE PUBLIC WITH A TELEPHONE NUMBER FOR A POINT OF CONTACT IN CASE OF EMERGENCY AS SHOWN HERE.

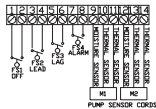
LEGEND

ABBV	DESCRIPTION
ENC	ENCLOSURE, POLYCARBONATE, NEMA 4X
MCB	MAIN CIRCUIT BREAKER
ECB	EMERGENCY CIRCUIT BREAKER
PCB2	PUMP CIRCUIT BREAKER
CCB	CONTROL CIRCUIT BREAKER
GFCB	GFI CIRCUIT BREAKER
GR	GENERATOR RECEPTACLE
GFI	GFI RECEPTACLE
AL	ALARM LIGHT
AH	ALARM HORN
ASB	ALARM SILENCE BUTTON
SFM	SEAL FAIL MODULE
HDA	HAND OFF AUTO SWITCH
RL	RAIN LIGHT, GREEN
ETM	ELAPSED TIME METER

PANEL NOTES

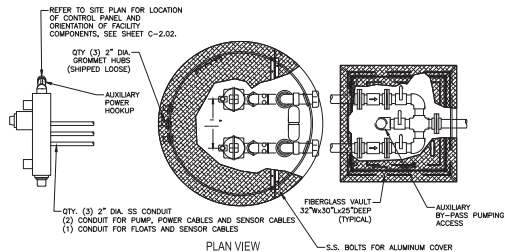
ALL PANELS SHALL BE UL LISTED AND CONFORM TO FLORIDA RULE 62-160.
(1) SOURCE AND LIGHTNING PROTECTION SHALL BE PROVIDED BY CONTRACTOR AND MONITORED.
(2) EXTERNAL TO THE CONTROL PANEL.
(3) PHASE OR VOLTAGE MONITOR SHALL BE PROVIDED IN CONTROL PANEL.
(4) ALL PANELS, WET WELL, VALVE BOX, AND ACCESS DOORS SHALL HAVE LOCKABLE MECHANISMS.
(5) CONTRACTOR TO PROVIDE KEYS LOCKS.
(6) POST UNRESTRICTED SIGN MADE OF DURABLE WEATHER RESISTANT MATERIAL WITH THE FOLLOWING:
PUBLIC NOTICE:
IN CASE OF EMERGENCY CONTACT:
(7) THE CONTROL PANEL SHALL BE SATISFIEDLY INSTALLED TO PREVENT SETTING OR TIPPING.
(8) PUMP FAIL DETECTION REQUIRED TO BE PROVIDED.

FIELD TERMINALS



PUMP SENSOR CORDS

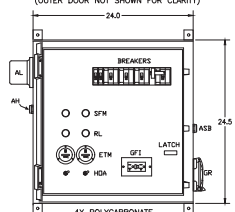
WET WELL/VALVE BOX LAYOUT



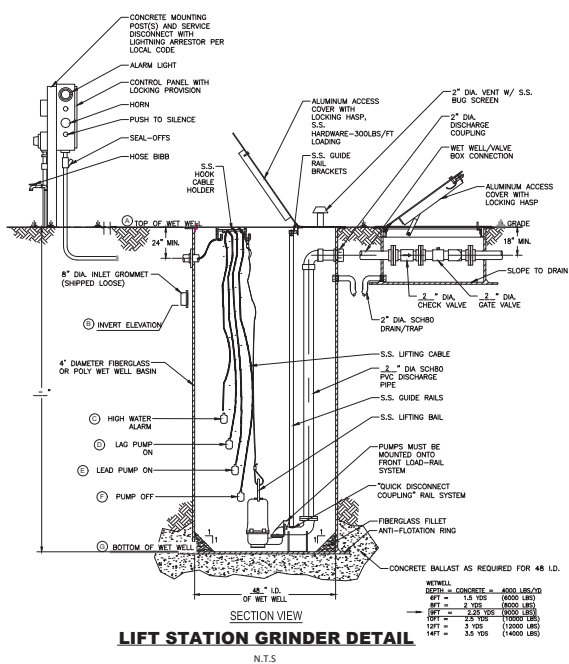
ELECTRICAL

INCOMING POWER: 240 V 1 Ø
(CONTRACTOR TO VERIFY)

ENCLOSURE AND DEADFRONT LAYOUT (TYPICAL)



LIFT STATION GRINDER DETAIL



FL PRO BROKERS, LLC
616 E SOUTH ST, SUITE 500
ORLANDO, FL 32801
407-790-7341

NO.	REVISION	DATE
1	ISSUED	01/15/2020

FL PRO BROKERS, LLC
LIFT STATION DETAILS

DATE	01/15/2020
BY	01/15/2020
SCALE	AS SHOWN
C8.04	
PERMIT PLANS	REVISED