



## SUBMITTAL SUMMARY REPORT MajorSite-000232-2026

<b>PLAN NAME:</b> Belleview Substation	<b>LOCATION:</b>
<b>APPLICATION DATE:</b> 01/09/2026	<b>PARCEL:</b> 4217-223-000
<b>DESCRIPTION:</b> Application for Major Site Plan of a proposed electrical substation.	

CONTACTS	NAME	COMPANY
Applicant	Biniam Tsegay	SECO Energy, Inc.
Engineer of Record	Biniam Tsegay	SECO Energy, Inc.
Landscape Architect	Suzanne Stancil	MICHAEL PAPE & ASSOCIATES, PA.

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.3	05/29/2026	06/05/2026	06/05/2026	Requires Re-submit
OCE: Plan Review (DR) v.2	04/07/2026	04/14/2026	04/29/2026	Requires Re-submit
OCE: Plan Review (DR) v.1	01/12/2026	01/27/2026	02/10/2026	Requires Re-submit
OCE: Plan Review (DR) v.4				Not Received

### SUBMITTAL DETAILS

#### OCE: Plan Review (DR) v.3

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Sarah Gurczynski	06/05/2026	06/01/2026	Approved
Environmental Health (Plans) (Environmental Health)	Evan Searcy	06/05/2026	05/29/2026	Approved
Fire Marshal (Plans) (Fire)	Jonathan Kenning	06/05/2026	05/29/2026	Approved
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Erik Kramer	06/05/2026	06/02/2026	Approved

- Corrections** Additional Growth Services Comments (**Resolved**) - **Corrective Action:** There is a previously approved Special Use Permit (SUP) with no expiration date. The current plan is not consistent with the SUP's concept plan. The applicant's intent seems to be following today's code regulations for electric substations. If adhering to today's code, specifically Section 4.3.26.A-D, a meeting with DRC would've been required. Strongly recommend scheduling a Development Review Committee (DRC) Thursday staff meeting to discuss a path forward for this project with all reviewing departments. - Additional Growth Services Comments
- Corrections** 2.12 - Land Use Designation-subject property (**Resolved**) - **Corrective Action:** On drawing # BV-02-121, please change land use designation from "MED" to "MR". See project data table.
- The land use is medium residential, MR for short. - 2.12 - Land Use Designation-subject property: Show existing land use designation the subject property.
- Corrections** 4.4 - Show proposed signs to meet LDC Sec 4.4 (**Resolved**) - **Corrective Action:** Indicate if sign(s) is proposed on site. If so, show proposed sign's location and design. A sign would need to be at least 5 feet setback from the property line and comply with sight triangle regulations for roadway safety. If sign is proposed, staff will review in next submittal. If no sign is proposed, staff will remove this comment. - 4.4 - Show proposed signs to meet LDC Sec 4.4: If sign(s) is proposed on site, show proposed sign's location and design. The signs shall comply with LDC Sec. 4.4. A master sign plan and/or permit may be required.
- Corrections** 2.12.24 - Landscape requirements/6.8.6 - Buffering (**Resolved**) - **Corrective Action:** Location of buffer is not consistent with SUP's condition, and the location of the continuous hedge does is not consistent with Section 4.3.26.E(2). However, proposed buffering/screening meets intent of code Section 4.3.26.E(1). Please discuss at a DRC staff meeting to determine an appropriate path forward. - 2.12.24 - Landscape requirements/6.8.6 - Buffering: Show buffer types, locations, and dimensions of required buffering on plan. Show buffer descriptions and illustrations of each proposed buffer (including longitudinal and transverse cross-sections)
- Corrections** 2.12.5/1.8.2.A - Traffic Capacity Available (**Resolved**) - **Corrective Action:** See OCE Traffic's comment on 6.11.3 - Traffic Impact Analysis - 2.12.5/1.8.2.A - Traffic Capacity Available?: The adjoining roadway(s) are currently identified as exceeding their acceptable Level of Service, as such they are not eligible for further development unless and until sufficient capacity is demonstrated to be available or alternative approaches for the proposed development are proposed for consideration and potential approval (e.g., proportionate share, etc.).
- Corrections** 2.12/4.2 - Lot setback (**Resolved**) - **Corrective Action:** Provided setbacks shown on BV-02-128 are not consistent with the provided setbacks listed on BV-02-126 Site Data table. East shown = 102 feet. West shown = 216 feet. Fractions over .5 were rounded up. - 2.12/4.2 - Lot setback: Provide required setback and proposed setback in the site data table and show them on the plan.

# SUBMITTAL SUMMARY REPORT (MajorSite-000232-2026)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Erik Kramer	06/05/2026	06/02/2026	Approved
<i>Corrections</i>	2.12.5/1.8.2.F - Concurrency Deferral Statement ( <b>Resolved</b> ) - <b>Corrective Action:</b> Provide the concurrency statement on the cover sheet. Replace brackets with "Building Permitting" - 2.12.5/1.8.2.F - Concurrency Deferral Statement: Please provide a concurrency statement on the cover sheet according to LDC Sec. 1.8.2 (F) - Concurrency Deferral. An owner may elect to defer required concurrency review and approval for a development application identified in Section 1.8.2.A to a subsequent development application review stage by executing the following "Concurrency Deferral Statement" on the development application plan, or in a separate sworn and notarized affidavit, a copy of which shall be provided to Growth Services and the original shall be recorded in Marion County's Public Records, as applicable: "This project has not been granted concurrency approval and/or granted and/or reserved any public facility capacities. Future rights to develop the resulting property(ies) are subject to a deferred concurrency determination, and final approval to develop the property has not been obtained. The completion of concurrency review and/or approval has been deferred to later development review stages, such as, but not limited to, [list subsequent applications expected pursuant to Section 1.8.2.C as applicable]."			
<i>Corrections</i>	2.12.4/6.11.8 - Parking ( <b>Resolved</b> ) - <b>Corrective Action:</b> Number and calculation of required and proposed parking spaces is missing. Please provide correct information in table format. And show area/dimensions of where employees will park. - 2.12.4/6.11.8 - Parking: Provide number and calculation of required and proposed parking spaces in table format, per LDC Sec. 6.11.8. - Parking requirements.			
<i>Corrections</i>	2.12.4.L & Article 5 - Overlay zones ( <b>Resolved</b> ) - <b>Corrective Action:</b> Provide note that the site is located within the Secondary Springs Protection Overlay Zone.. - 2.12.4.L & Article 5 - Overlay zones: Provide a statement showing all applicable overlay zones on the subject properties such as Airport Overlay Zones (AOZ), Environmentally Sensitive Overlay Zone (ESOZ), Floodplain, Springs Protection Overlay Zone (SPOZ), Military Operating Area (MOA), Scenic Roads Area (SRA), Wellhead/Wellfield Protection Area (WHPA), Silver Springs Community Redevelopment Area (SSCRA), and CR 475A Visual Enhancement Gateway Development Overlay, etc. Refer to LDC Article 5 - OVERLAY ZONES AND SPECIAL AREAS.			
<i>Corrections</i>	2.12.4/6.11.6 - Construction access ( <b>Resolved</b> ) - <b>Corrective Action:</b> New construction in an existing residential area, please show construction access per 6.11.6A: "For any phased development, or development within an existing residential area, a plan for the construction access and construction route to the nearest Collector or Arterial road shall be approved by the County prior to construction." - 2.12.4/6.11.6 - Construction access: Show proposed construction access and route on plan, per Sec. 6.11.6. - Construction access/route,.			
<i>Corrections</i>	2.12 - Special Use Permits ( <b>Resolved</b> ) - <b>Corrective Action:</b> Site has a previously approved special use permit for an electrical substation. Case number 050817SU, Resolution number 05-R-334. Resolution and application materials are uploaded to "Attachments" for applicant's review. - 2.12 - Special Use Permits: List of all approved special use permits, case number, conditions, and the date of approval.			
<i>Corrections</i>	6.5 & 6.6 - Habitat Preservation/Mitigation ( <b>Resolved</b> ) - <b>Corrective Action:</b> If any listed species are observed/potentially located on site, coordinate with FWC and get required permits. Habitat preservation/mitigation plan shall be submitted to County for records at later stage.			
	Environmental report indicates 18 potentially occupied gopher tortoise burrows and indicates that at least one gopher tortoise was observed on site. Report seems to indicate that relocation permits would be acquired. Please add a note to the site plan indicating how mitigation would take place in accordance with LDC 6.6.4, please state the page number where the note is added. - 6.5 & 6.6 - Habitat Preservation/Mitigation: Refer to LDC Sec. 6.6 for requirements and design standards if the site contains open water, wetland, listed species, native habitat vegetation, and/or natural open space. When a proposed development or land clearing site is found to include listed species, the application shall identify species and habitat protection as on-site or off-site. The selected option shall be a condition of approval and shall be completed at time of final inspection.			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	06/05/2026	05/29/2026	Approved
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	06/05/2026	06/04/2026	Approved

# SUBMITTAL SUMMARY REPORT (MajorSite-000232-2026)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)	Delenie Roman	06/05/2026	06/05/2026	Informational
<i>Comments</i>	Checked map/Sunbiz. ----- IF APPLICABLE: Sec. 2.18.1.I - Show connections to other phases. Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc. Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public." Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]." Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate: 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."  2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."  3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]." - DR 6/5/26			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	06/05/2026	05/29/2026	Informational
<i>Comments</i>	Please provide a copy of the NPDES permit or NOI as well as the District permit prior to construction			
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	06/05/2026	06/02/2026	Approved
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	06/05/2026	05/31/2026	Requires Re-submit
<i>Corrections</i>	6.11.4.E - Sight triangle ( <b>Resolved</b> ) - <b>Corrective Action:</b> Provide a statement on the cover sheet the driveway meets FDOT sight distance criteria and show that sight triangles on the plan to confirm that. - 6.11.4.E - Sight triangle: Show sight triangle at the intersections as specified in Section 6.11.4.E.			
<i>Corrections</i>	6.11.3 - Traffic Impact Analysis ( <b>Resolved</b> ) - <b>Corrective Action:</b> Provide a traffic statement on the cover sheet. If the traffic exceeds 49 peak hour trips additional analysis may be required. - 6.11.3 - Traffic Impact Analysis: Provide a Traffic Impact Analysis			
<i>Corrections</i>	6.12.12 - Sidewalks ( <b>Not Resolved</b> ) - <b>Corrective Action:</b> Sidewalk is required on both CR 475 A and SE 36th Avenue. Staff supports a waiver to construction of the sidewalk. The waiver has to be approved by the Development Review Committee. Please contact the Development Review Manager at aaron.pool@marionfl.org or 352-671-8338 to get on the Development Review Committee agenda to consider this waiver. - 6.12.12 - Sidewalks: Show sidewalk on the plans as required in section 6.12.12.			
<i>Corrections</i>	6.11.5 - Driveway access ( <b>Resolved</b> ) - <b>Corrective Action:</b> The driveways do not meet spacing requirements. The spacing requirement on CR 475A is 440 feet and the spacing requirement on SE 36th Avenue is 660 feet. A driveway deviation will be issued for the driveway on CR 475A; however, the driveway on SE 36th Avenue must be removed. - 6.11.5 - Driveway access: The driveways must meet the requirements of section 6.11.5.			
Utilities (OCE Plans) (Utilities)	Heather Proctor	06/05/2026	06/03/2026	Approved
<i>Comments</i>	Previously approved - Parcel 4217-223-000 is within the Marion County Utilities service area but is outside of connection distance to public water and sewer. Proposed irrigation will be served by a private well. No other additional flows have been proposed with this project. The project is outside of the Primary Springs Protection Zone and the Urban Growth Boundary.			



June 15, 2026

Office of the County Engineer  
Marion County Board of County Commissioners  
412 SE 25th Ave  
Ocala, FL 34471

Re: Belleview Substation - MajorSite-000232-2026  
Waiver Request to Major Site Plan in Review  
PARCEL NUMBER: 4217-223-000

**LDC 6.12.12. - Sidewalks.**

**CODE States:**

- A. Sidewalks shall be provided in the Urban Area, Rural Activity Centers, and Specialized Commerce Districts along arterial, collector, and major local streets where these streets adjoin the project and minimally along one side of the internal streets. Sidewalks shall be constructed with all-weather surfaces and shall meet Americans with Disabilities Act, Florida Building Code, and FDOT Design Standards.
- B. Sidewalks outside the right-of-way and independent of the street system are encouraged as an alternative to sidewalks parallel to a roadway, provided equivalent pedestrian needs are met.
- C. The sidewalk system shall provide connectivity between existing and proposed developments.
- D. At the discretion of the Development Review Committee, in lieu of construction along external streets, the developer may pay a sidewalk fee to the County in an amount necessary to complete construction. This amount shall be determined by the project engineer and approved by the County with payment required prior to final plan approval. The County may use these funds toward the construction of sidewalks throughout the County based on priorities established by the Board.

### **SECO's Reason for the Waiver Request:**

SECO respectfully requests approval of the waiver from the sidewalk requirement of LDC 6.12.12, which has received staff support, based on the following statutory and project-specific considerations.

SECO requests non-application of Section 6.12.12 of the Marion County Land Development Regulations, as the requirement is not applicable to the proposed electric substation use, which is governed by Florida Statute §163.3208.

Pursuant to §163.3208:

- §163.3208(3) states:

“Local governments may adopt and enforce reasonable land development regulations for new and existing electric substations, addressing only setback, landscaping, buffering, screening, lighting, and other aesthetic compatibility-based standards.”

- §163.3208(6)(b) states:

“A local government’s review of an application for the placement or construction of a new electric substation or for changes to an existing electric substation shall only address land development, zoning, or aesthetic compatibility-based issues.”

The sidewalk requirement under Section 6.12.12 constitutes transportation infrastructure rather than an aesthetic or compatibility-based standard identified in §163.3208(3). As such, it falls outside the scope of permissible local regulation applicable to electric substations and should therefore not be applied to this project.

In addition, the proposed substation is an unmanned and secured utility facility that is not intended for public access or pedestrian activity. The installation of sidewalks adjacent to high-voltage electrical infrastructure does not support the operational nature of the facility and may encourage unnecessary pedestrian proximity to utility infrastructure, which is inconsistent with accepted safety practices.

Accordingly, due to the nature of substation operations and in the interest of enhancing public safety, discouraging pedestrian activity immediately adjacent to the facility is appropriate.

Based on the foregoing, SECO respectfully maintains that the governing state statute preempts local requirements extending beyond the limited criteria applicable to electric substations. Therefore, Section 6.12.12 should not be applied to this project, and approval of the requested waiver is respectfully requested.

Sincerely,

Sumter Electric Cooperative, Inc.





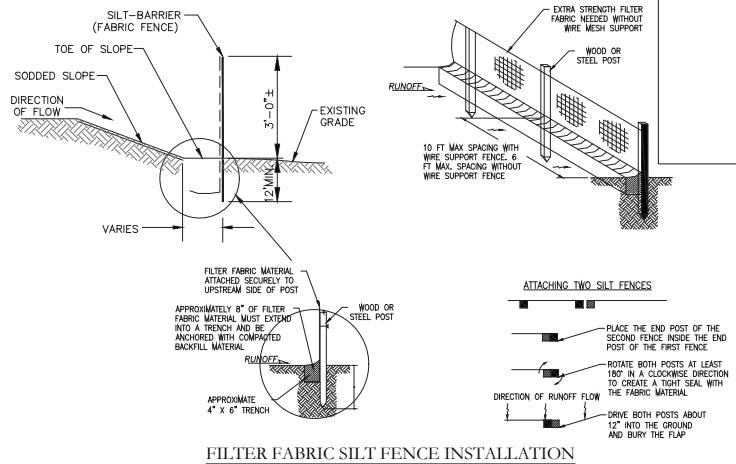
**SWPPP NOTES**

1. THE PROJECT INVOLVES THE DEVELOPMENT AND CONSTRUCTION OF A NEW ELECTRICAL SUBSTATION TO SUPPORT POWER DISTRIBUTION INFRASTRUCTURE. THE PROJECT LOCATION IS AT LATITUDE 29°07'37.4406" N & LONGITUDE 82°05'16.1347" W.
2. THE TOTAL LOT AREA IS 6.64 ACRES, BUT THE DISTURBED AREA IS 5.49 ACRES. STORM WATER DESIGN DATA IS SHOWN BELOW.
3. THE EXISTING ON-SITE SOILS, AS IDENTIFIED BY THE NRCS SOIL SURVEY MAP, ARE LISTED BELOW. PER GEOTECHNICAL REPORT OF THE SITE PREPARED BY GEO-TECH, INC. PROJECT NUMBER 25-3954.20.1 DATED 10/27/2025, THE AVERAGE SHWT IS APPROXIMATELY AT ELEVATION 82 TO 51.5, BASED ON NAVD 1988 DATUM.
4. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO USE THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH SECTION 403.0885, FLORIDA STATUTES (F.S.) AND RULE 62-421.300(4), FLORIDA ADMINISTRATIVE CODE (F.A.C.). THIS PERMIT IS COMMONLY REFERRED TO AS THE NPDES NOI. THE CONTRACTOR SHALL BE THE PERMIT APPLICANT AND THE DESIGNATED RESPONSIBLE AUTHORITY FOR THE PROJECT. THE CONTRACTOR SHALL EMPLOY, AND MAKE AVAILABLE TO THE PROJECT, AN INDIVIDUAL WHO IS LEGALLY QUALIFIED TO ACT IN THIS CAPACITY.
5. THE CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THIS PROJECT. A SIGNED COPY OF THE SWPPP SHALL BE SUBMITTED TO THE OWNER PRIOR TO THE START OF CONSTRUCTION IF EROSION CONTROL MEASURES CHANGE, OR IF ADDITIONAL CONTRACTORS ARE BROUGHT ONTO THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR UPDATING THE SWPPP ACCORDINGLY AND ENSURING THAT ALL NEW CONTRACTORS REVIEW AND SIGN IT. A COPY OF THE AMENDED SWPPP MUST BE APPENDED TO THE ORIGINAL, WITH ONE COPY PROVIDED TO THE OWNER AND ONE RETAINED ON SITE. IF A SWPPP HAS NOT YET BEEN PREPARED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING IT PRIOR TO CONSTRUCTION.
6. THROUGHOUT THE CONSTRUCTION PERIOD, THE CONTRACTOR SHALL CONDUCT MONITORING AND INSPECTIONS AND PREPARE INSPECTION REPORTS IN ACCORDANCE WITH THE APPLICABLE STATUTES AND PERMIT REQUIREMENTS. THIS INCLUDES CONDUCTING INSPECTIONS AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS OF ANY STORM EVENT PRODUCING 0.50 INCHES OF RAINFALL OR MORE. ALL INSPECTIONS MUST BE DOCUMENTED USING THE NPDES INSPECTION FORM (A COPY IS PROVIDED AT THE END OF THE SWPPP). AT THE CONCLUSION OF CONSTRUCTION, THE CONTRACTOR SHALL COMPLETE AND SUBMIT THE NOTICE OF TERMINATION (NOT) TO OFFICIALLY CLOSE OUT PERMIT COVERAGE.
7. PRIOR TO EACH PAY REQUEST, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER AND OWNER COPIES OF ALL RELATED DOCUMENTATION, INCLUDING INSPECTION REPORTS, SWPPP AMENDMENTS, AND RELEVANT CORRESPONDENCE. THE OWNER RESERVES THE RIGHT TO WITHHOLD OR REDUCE PAYMENT IF REQUIRED DOCUMENTATION IS NOT PROPERLY COMPLETED AND SUBMITTED BEFORE FINAL PAYMENT IS APPROVED. THE CONTRACTOR MUST SUBMIT ANY OUTSTANDING DOCUMENTATION TO THE ENGINEER AND OWNER, INCLUDING A COPY OF THE COMPLETED NOTICE OF TERMINATION (NOT).
8. THE CONTRACTOR SHALL INSTALL SILT FENCE/EROSION CONTROL MEASURES AND INLET/OUTLET PROTECTION PER BEST MANAGEMENT PRACTICES BEFORE BEGINNING CLEARING OR GRUBBING OPERATIONS.
9. TEMPORARY AND PERMANENT STABILIZATION PRACTICES SHALL INCLUDE SODDING OF ALL DISTURBED AREAS. MULCHING AND SODDING SHALL BE APPLIED AS NECESSARY TO ENSURE PROPER SITE STABILIZATION.
10. CONTRACTOR TO MAINTAIN ALL EROSION AND SEDIMENT CONTROL DEVICES UNTIL CONSTRUCTION IS COMPLETE.
11. EROSION CONTROL TO BE INSTALLED ON OR WITHIN PROPERTY BOUNDARY. CONTRACTOR IS RESPONSIBLE FOR CONTROL OF WINDBORNE SEDIMENT TRANSPORT. SHOULD DRY WINDY CONDITIONS OCCUR DURING CONSTRUCTION THAT CREATE THE POTENTIAL FOR WINDBORNE SEDIMENT TRANSPORT.
12. THE CONTRACTOR SHALL TAKE NECESSARY STEPS TO MINIMIZE ADVERSE EFFECTS, INCLUDING PROVIDING WATER FOR SEDIMENT CONTROL AND/OR TEMPORARY SODDING.
13. IF CONSTRUCTION ACTIVITY CEASES FOR MORE THAN SEVEN DAYS THE CONTRACTOR SHALL STABILIZE THE AREA WITH SEED OR SOO.
14. THE SOIL TRACKING DEVICE SHALL BE INSTALLED IF, IN THE OPINION OF THE ENGINEER, PERMITTING AGENCY, OR OWNER, SOIL TRACKING BECOMES A PROBLEM.

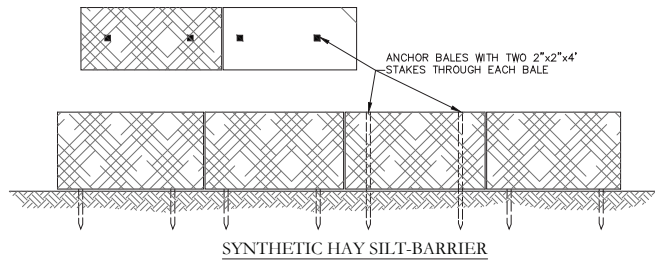
**MAINTENANCE AND INSPECTION PROCEDURES**

1. ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSPECTED EVERY 7 DAYS OR WITHIN 24 HOURS OF A STORM OF 0.5 INCHES OR MORE IN DEPTH. ALL CONTROLS MUST BE IN GOOD OPERATING CONDITION UNTIL THE AREA THEY PROTECT HAS BEEN COMPLETELY STABILIZED AND THE CONSTRUCTION IS COMPLETE.
2. BUILT UP SEDIMENT WILL BE REMOVED FROM THE SILT FENCE WHEN IT HAS REACHED ONE HALF OF THE HEIGHT OF THE FENCE.
3. SILT FENCE SHALL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, IF FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND IF FENCE POSTS ARE FIRMLY IN THE GROUND. SILT FENCE AND ALL OTHER EROSION AND SEDIMENT CONTROLS WILL BE INSTALLED AND MAINTAINED PER MANUFACTURER SPECIFICATIONS.
4. TEMPORARY AND PERMANENT SEEDING AND PLANTING SHALL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.

SOIL CLASSIFICATION		DESIGN DATA	
SOIL #	SOIL NAME	LOT AREA	6.64 ACRES
11	PEDRO-ARREDONDO COMPLEX, 0 TO 5 PERCENT ARREDONDO SAND, 0 TO 5 PERCENT SILTS	DISTURBED AREA	5.49 ACRES
		POST DEVELOPMENT SHED AREA	4.70 ACRES
		DESIGN STORM	
		100 YR. 24 HR STORM	11 INCHES
		POST DEVELOPMENT COMPOSITE CNF	79.84
		POST DEVELOPMENT RUNOFF COEFFICIENT	0.77



**FILTER FABRIC SILT FENCE INSTALLATION**



**SYNTHETIC HAY SILT-BARRIER**

**PERIMETER EROSION AND SEDIMENT CONTROL**

NOTE: ADDITIONAL CONTROLS TO BE UTILIZED AS NEEDED, DEPENDENT UPON ACTUAL SITE CONDITIONS AND CONSTRUCTION OPERATIONS. N.T.S.

**SECO Energy, Inc.**  
330 SOUTH US HIGHWAY 301  
SUMTERTVILLE, FL 33585  
E. Brian@secoenergy.com  
D. 352-560-8640

Revision:	BY:	Date:
	BHT	
	NTS	

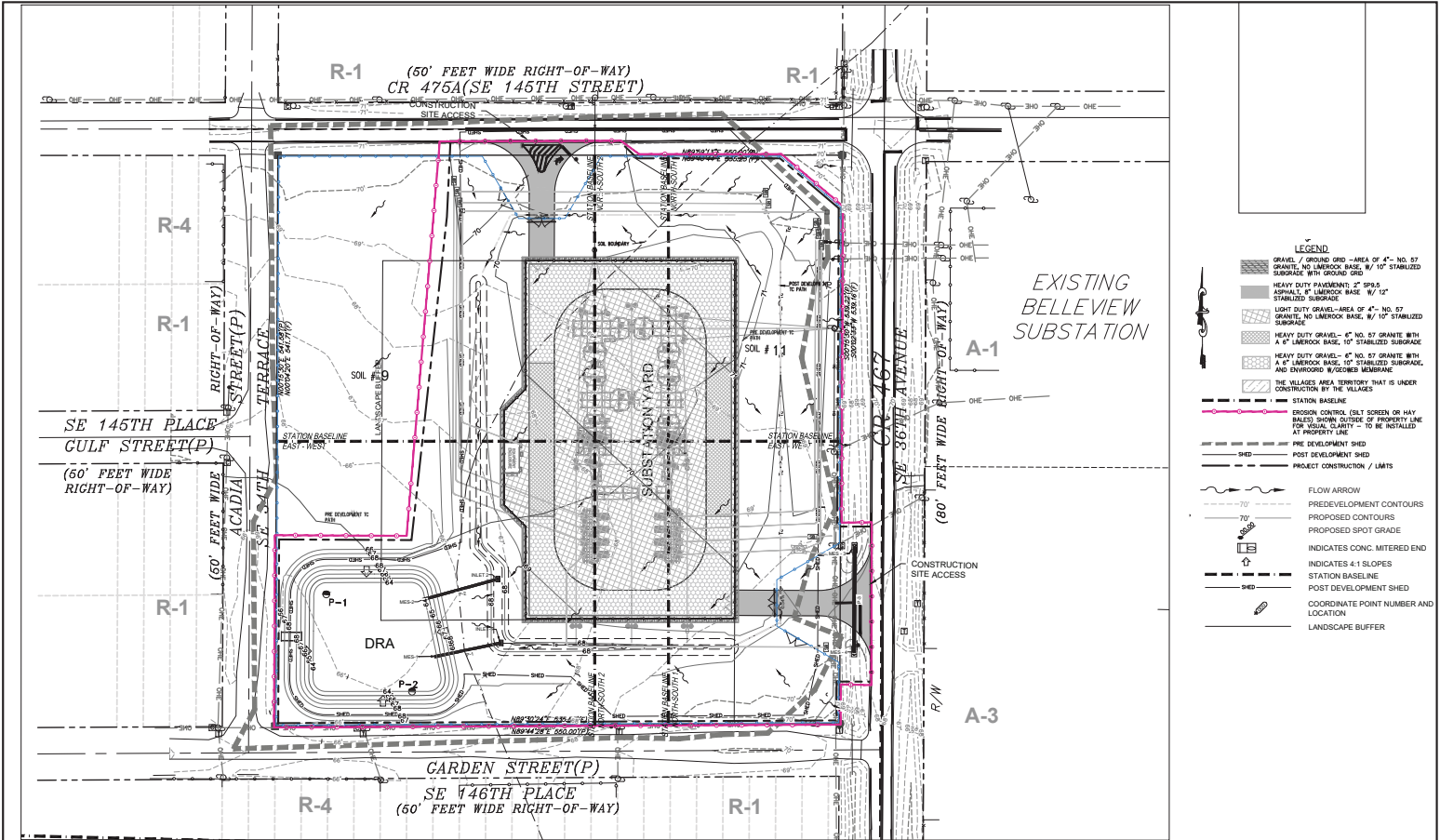
Drawn by: BHT  
Scale: NTS  
Provided by: SECO ENERGY  
A MEMBER OF THE  
FLORIDA POWER & LIGHT  
CORPORATION

Project Location <b>MARION COUNTY</b>	
Approved Date <b>12/08/2025</b>	Date <b>11/24/2025</b>
Approved By <b>LBJ</b>	Engineer <b>BHT</b>

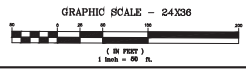
Type of Application <b>MAJOR SITE PLAN</b>	
Belleview Substation 2026 New Ring Bus Station SWPP PLAN NOTES AND DETAILS	

Engineer of Record <b>BINIAM TSEGAY, P.E.</b> FLORIDA P.E. LICENSE NO. 81411
Work Order <b>212342</b>
Drawing # <b>BV- 02 - 123</b>





- LEGEND**
- GRAVEL / GROUND GRID - AREA OF 4" - NO. 57 GRANITE, NO LIMEROCK BASE, 8" / 10" STABILIZED SUBGRADE WITH GROUND GRID
  - HEAVY DUTY PAVEMENT - 12" SPSG ASPHALT, 4" LIMEROCK BASE, 8" / 12" STABILIZED SUBGRADE
  - HEAVY DUTY GRAVEL - AREA OF 4" - NO. 57 GRANITE, NO LIMEROCK BASE, 10" STABILIZED SUBGRADE
  - HEAVY DUTY GRAVEL - 4" NO. 57 GRANITE WITH A 4" LIMEROCK BASE, 10" STABILIZED SUBGRADE
  - HEAVY DUTY GRAVEL - 4" NO. 57 GRANITE WITH A 4" LIMEROCK BASE, 10" STABILIZED SUBGRADE, AND ENVIROGARD 8/2000S WEARING SURFACE
  - THE VILLAGES AREA TERRITORY THAT IS UNDER CONSTRUCTION BY THE VILLAGES
  - STATION BASELINE
  - EROSION CONTROL (SILT SCREEN OR HAY BALES SHOWN OUTSIDE OF PROPERTY LINE FOR VISUAL CLARITY - TO BE INSTALLED)
  - PRE DEVELOPMENT SHED
  - POST DEVELOPMENT SHED
  - PROJECT CONSTRUCTION / LIMITS
  - FLOW ARROW
  - PREDEVELOPMENT CONTOURS
  - PROPOSED CONTOURS
  - PROPOSED SPOT GRADE
  - INDICATES CONC. MITERED END
  - INDICATES 4:1 SLOPES
  - STATION BASELINE
  - POST DEVELOPMENT SHED
  - COORDINATE POINT NUMBER AND LOCATION
  - LANDSCAPE BUFFER

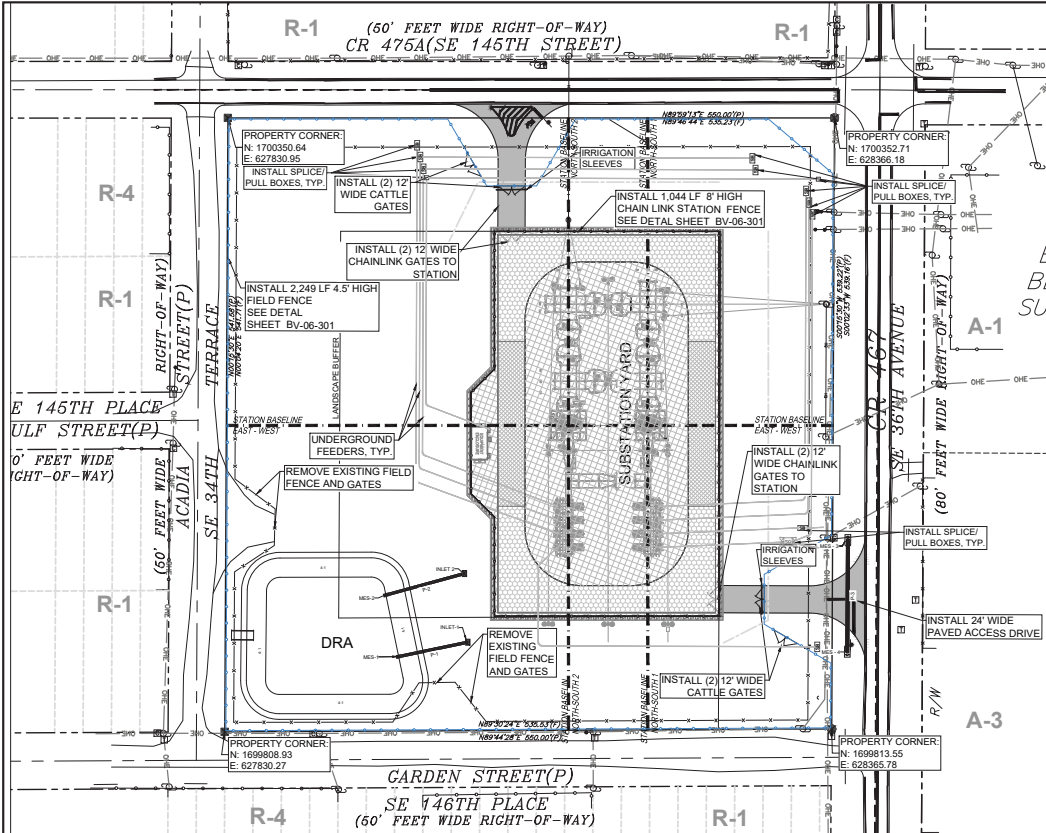


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Revision:	BY:	Date:	Drawn by:	Provided by:
			BHT	SECO ENERGY
			Scale:	
			1:40	

Project Location		Type of Application	
MARION COUNTY		MAJOR SITE PLAN	
Approved Date	Date	Engineer of Record	
12/08/2025	11/24/2025	BNIAM TSEGAY, P.E.	
Approved By	Engineer	FLORIDA P.E. LICENSE NO. 81411	
LBJ	BHT	Work Order	212342
		Drawing #	BV- 02 - 125

Type of Application	
MAJOR SITE PLAN	
Belleview Substation	
2026 NEW RING BUS STATION	
SURFACE WATER POLLUTION	
PREVENTION PLAN	



**LEGEND**

- GRAVEL / GROUND GRID - AREA OF 4" NO. 57 GRANITE, NO LIMEROCK BASE, W/ 10' STABILIZED SUBGRADE
- HEAVY DUTY PAVEMENT: 2" SP-9 ASPHALT, 4" LIMEROCK BASE, W/ 10' STABILIZED SUBGRADE
- LIGHT DUTY GRAVEL - AREA OF 4" NO. 57 GRANITE, NO LIMEROCK BASE, W/ 10' STABILIZED SUBGRADE
- HEAVY DUTY GRAVEL - 4" NO. 57 GRANITE WITH A 4" LIMEROCK BASE, 10' STABILIZED SUBGRADE, AND ENVIRODOR W/ GEOTEXTILE MEMBRANE
- THE RELIEVED AREA TERRITORY THAT IS UNDER CONSTRUCTION BY THE VILLAGES
- STATION BASELINE

SITE DATA	
SITE ADDRESS	XXXX, SUMMITVILLE, MARION COUNTY, FL 34401
PARCEL ID	4217-223-000
GROSS PROPERTY AREA (SQFT)	298,238 SF
ZONING / FUTURE LAND USE (SUBJECT PROPERTY)	SINGLE FAMILY DWELLING (R-1)/MEDIUM RESIDENTIAL (RM)
ZONING / FUTURE LAND USE (ADJACENT PARCELS)	PARCELS 41827-001-00, 41827-004-00 (A-1); 41827-001-01 (A-2)/MEDIUM LAND (ML)
LAND USE OF SUBJECT PROPERTY	SUBSTATION - ELECTRIC UTILITY
PROPOSED LAND USE OF SUBJECT PROPERTY	EXISTING
TOTAL OWNED AREA	298,238 SF 6.64 AC
EXISTING BUILDING AREA	0 SF 0.00 AC
EXISTING IMPERVIOUS AREA	0 SF 0.00 AC
EXISTING PERVIOUS AREA	298,238 SF 6.64 AC
EXISTING IMPERVIOUS SURFACE PERCENTAGE	0.00
EXISTING OPEN SPACE PERCENTAGE	100%
	PROPOSED
PROPOSED EQUIPMENT ENCLOSURE (C.E.E.) AREA	430 SF 0.01 AC
PROPOSED EQUIPMENT FOUNDATION AREA	2740 SF 0.63 AC
PROPOSED PAVED ROCK AREA	4464 SF 1.02 AC
PROPOSED ASPHALT AND GRAVEL DRIVEWAY AREA	3321 SF 0.76 AC
TOTAL NEW IMPERVIOUS AREA	1,486 SF 0.34 AC
TOTAL PROPOSED IMPERVIOUS AREA (INCLUDES EXISTING IMPERVIOUS AREA)	81,061 SF 1.86 AC
TOTAL PROPOSED PERVIOUS AREA	208,177 SF 4.78 AC
TOTAL AREA	298,238 SF 6.64 AC
PROPOSED IMPERVIOUS SURFACE RATIO (INCLUDES EXISTING IMPERVIOUS AREA)	0.28
PROPOSED FLOOR AREA RATIO (INCLUDES EXISTING FLOOR AREA)	0.001
PROPOSED OPEN SPACE PERCENTAGE	72%
EQUIPMENT ENCLOSURE HEIGHT	10 FT
TRANSMISSION POLE HEIGHT	70 FT
INTERNAL STRUCTURE W-FRAME HEIGHT	00 FT
SETBACKS FOR SUBSTATION	REQUIRED / PROVIDED
FRONT SETBACK (EAST)	100 FT / 100 FT
SIDE SETBACK (NORTH)	100 FT / 100 FT
SIDE SETBACK (SOUTH)	100 FT / 100 FT
REAR SETBACK (WEST)	100 FT / 235 FT
NOTES:	1. THE PROPOSED FACILITY INCLUDING THE CONTROL EQUIPMENT ENCLOSURE (C.E.E.) BUILDING IS UNMANNED. NO PARKING IS REQUIRED OR PROVIDED.

**NOTE:**

- SEE LANDSCAPE PLAN FOR REQUIRED BUFFERS.
- IRRIGATION SLEEVES: INSTALL (1) 4" & (2) 2" DIA SCHEDULE 40 PVC PIPES 30" BELOW THE PAVEMENT.
- THE ENVIRONMENTAL & BIOLOGICAL REPORT SHALL BE UPDATED FOR GOPHER TORTOISES NOT MORE THAN 90 DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

**GENERAL NOTES:**

- THERE WILL BE MINIMAL IMPACT OR INCREASE IN TRAFFIC ANTICIPATED ON THIS SITE.
- SITE IS A REMOTE, NON-MANNED SITE. VEHICULAR TRAFFIC IS LIMITED TO MAINTENANCE VEHICLE ON AN AS NEEDED BASIS.
- THERE ARE NO DESIGNATED PARKING AREAS.

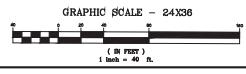
**FENCING INFORMATION**  
(DETAILS ARE SHOWN ON SHEET BV-06-301)

4.5" FIELD FENCE FACILITY FENCING 2,153 LF  
(4)-SETS CATTLE GATES FOR 24' WIDE OPENING

8" HIGH CHAIN LINK STATION FENCING 1,044 LF  
(2)-SETS GATES FOR 24' WIDE OPENINGS (EA)

**ZONING CLASSIFICATION LEGEND**  
(ZONING AND FUTURE LAND USE)

A-1 - GENERAL AGRICULTURE  
A-3 - RESIDENTIAL AGRICULTURE ESTATE  
R-1 - SINGLE FAMILY DWELLING  
R-4 - MIXED RESIDENTIAL



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			BHT	1:40	SECO ENERGY

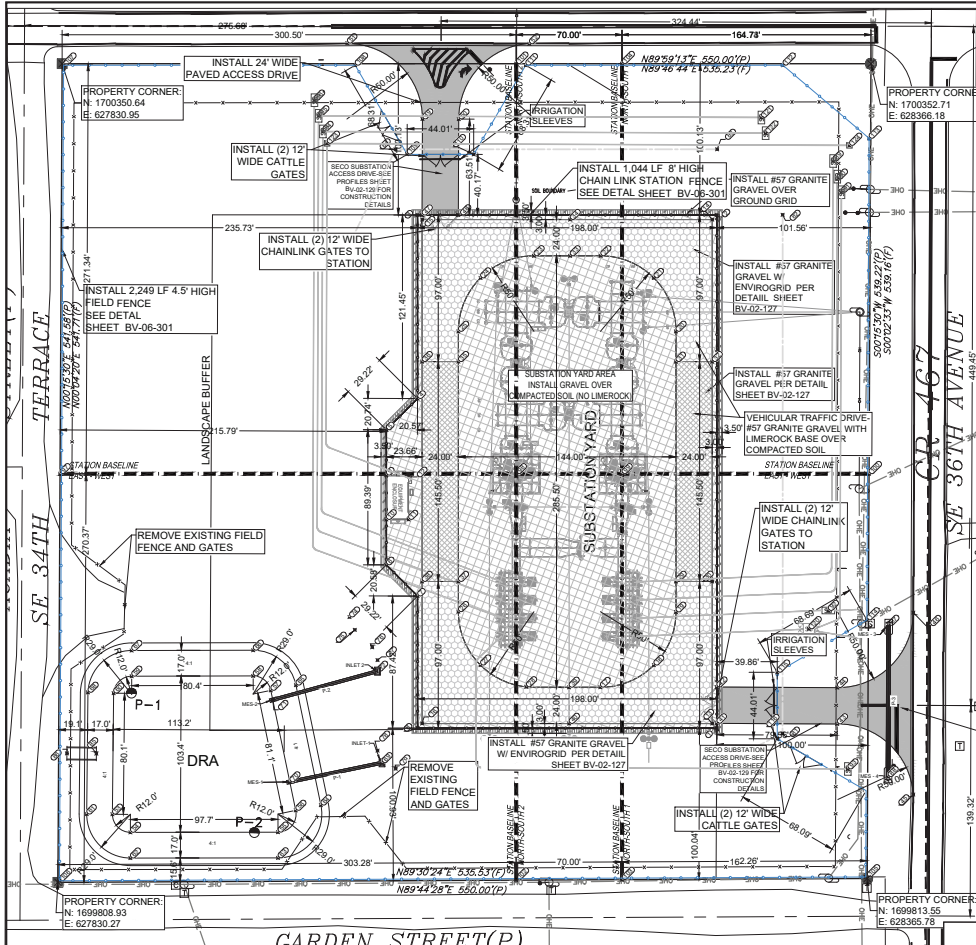
Project Location		Type of Application	
MARION COUNTY		MAJOR SITE PLAN	
Approved Date	Date	Belleview Substation	
12/08/2025	11/24/2025	2026 NEW RING BUS STATION	
Approved By	Engineer	SITE PLAN	
LBJ	BHT	MASTER SITE PLAN	

Engineer of Record  
**BINIAM TSEGAY, P.E.**  
FLORIDA P.E. LICENSE NO. 81411

Sheet Order  
**212342**

Drawing #  
**BV-02-126**





- LEGEND**
- GRAVEL / GROUND GRID - AREA OF 4" - NO. 57 GRANITE, NO LIMEROCK BASE, W/ 10" STABILIZED SUBGRADE WITH GROUND GRID
  - HEAVY DUTY PAVEMENT; 2" SP9.5 ASPHALT, 8" LIMEROCK BASE, W/ 12" STABILIZED SUBGRADE
  - LIGHT DUTY GRAVEL - AREA OF 4" - NO. 57 GRANITE, NO LIMEROCK BASE, W/ 10" STABILIZED SUBGRADE
  - HEAVY DUTY GRAVEL - 6" NO. 57 GRANITE WITH A 6" LIMEROCK BASE, 10" STABILIZED SUBGRADE
  - HEAVY DUTY GRAVEL - 6" NO. 57 GRANITE WITH A 6" LIMEROCK BASE, 10" STABILIZED SUBGRADE, AND ENVIRODOR W/GEOTEX MEMBRANE
  - THE VILLAGES AREA TERRITORY THAT IS UNDER CONSTRUCTION BY THE VILLAGES
- COORDINATE POINT NUMBER AND LOCATION

**FENCE CORNER COORDINATE POINTS**

Point #	Northing	Easting	Elevation
1	1699912.69	628365.79	69.68
2	1700252.19	628364.54	71.33
3	1700251.42	628366.54	70.38
4	1700203.97	628367.01	69.92
5	1700193.23	628366.43	69.70
6	1700194.69	628366.70	69.21
7	1699969.26	628367.52	69.21
8	1699911.93	628367.86	68.73

**CEE COORDINATE POINTS**

Point #	Northing	Easting	Elevation
9	1700079.22	628366.05	69.54
10	1700069.89	628364.66	69.38
11	1700049.91	628361.32	69.45
12	1700079.28	628361.21	69.61

**BASELINE COORDINATE POINTS**

Point #	Northing	Easting	Elevation
97	1700079.30	628363.61	69.54
98	1700069.47	628362.49	69.38
99	1700069.74	628362.49	70.34
100	1700081.36	628365.96	69.01
101	1700081.46	628371.45	70.69
102	1699911.56	628373.93	68.00
103	1699819.15	628303.53	69.16
104	1700392.08	628301.45	70.73

**VEHICULAR DRIVE COORDINATE POINTS**

Point #	Northing	Easting	Elevation
13	1699919.68	628362.84	69.67
14	1700246.18	628261.92	71.33
15	1700248.43	628366.62	70.40
16	1699914.96	628370.84	68.76
17	1699959.41	628188.67	69.49
18	1699954.17	628224.05	69.75
19	1699959.39	628238.58	70.02
20	1700175.08	628237.79	70.97
21	1700219.38	628223.08	71.00
22	1700224.89	628187.84	70.84
23	1700224.72	628143.65	70.61
24	1700209.94	628108.35	70.41
25	1700174.53	628093.84	70.24
26	1699989.96	628094.53	69.29
27	1699959.73	628109.34	69.17
28	1699959.48	628139.73	69.24
29	1700009.58	628238.46	70.13
30	1700069.67	628232.42	70.26
31	1700165.08	628237.97	70.92
32	1700165.18	628291.86	71.05

**VEHICULAR DRIVE COORDINATE POINTS**

Point #	Northing	Easting	Elevation
33	1700224.89	628187.59	70.73
34	1700248.81	628187.50	70.78
35	1700154.43	628363.92	70.19
36	1700154.44	628369.92	70.07
37	1700059.03	628364.49	69.40
38	1700059.04	628364.48	69.27
39	1699959.27	628187.99	69.39
40	1699919.31	628188.13	69.26

**FULL BOX COORDINATE POINTS**

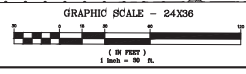
Point #	Northing	Easting	Elevation
99	1700298.24	628341.26	71.59
100	1700279.27	628344.33	71.65
101	1700279.27	628347.32	70.82
102	1699959.77	628329.26	69.91
103	1699959.97	628332.69	69.54
104	1700306.49	628303.85	70.39
105	1700319.83	628300.85	70.24
106	1700327.16	627998.01	70.68
120	1699976.60	628326.56	69.65
121	1700318.83	628293.83	70.65
122	1700306.49	628296.66	70.74
123	1700298.57	628306.52	70.35
124	1700298.57	628352.16	70.15

**PAVEMENT COORDINATE POINTS**

Point #	Northing	Easting	Elevation
41	1699915.83	628265.84	69.66
42	1699939.79	628265.74	69.82
43	1699919.73	628345.55	69.73
44	1699919.74	628345.55	69.74
45	1699989.60	628395.03	69.04
46	1699989.60	628395.03	69.01
47	1700251.38	628369.51	70.37
48	1700251.53	628369.51	70.49
49	1700314.99	628369.54	69.97
50	1700315.01	628369.57	70.00
51	1700364.98	628189.63	71.01
52	1700365.00	628140.08	71.01

**FIELD FENCE COORDINATE POINTS**

Point #	Northing	Easting	Elevation
105	1699811.55	628341.71	68.22
106	1699811.55	628341.71	68.11
107	1700319.83	628140.08	70.92
108	1700319.83	628140.08	70.76
109	1700319.83	628140.08	68.59
110	1700319.83	628140.08	69.79
111	1700319.83	628140.08	70.71
112	1700319.83	628140.08	70.70
113	1700319.83	628140.08	70.69
114	1699811.55	628341.71	68.51
115	1699811.55	628341.71	68.45
116	1699811.55	628341.71	68.38



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Revision:

BY:	Date:
BHT	11/24/2025

Scale: 1:30

Drawn by: **BHT**  
 Scale: 1:30



Project Location: **MARION COUNTY**

Approved Date: **12/08/2025**

Approved By: **LBJ**

Type of Application: **MAJOR SITE PLAN**

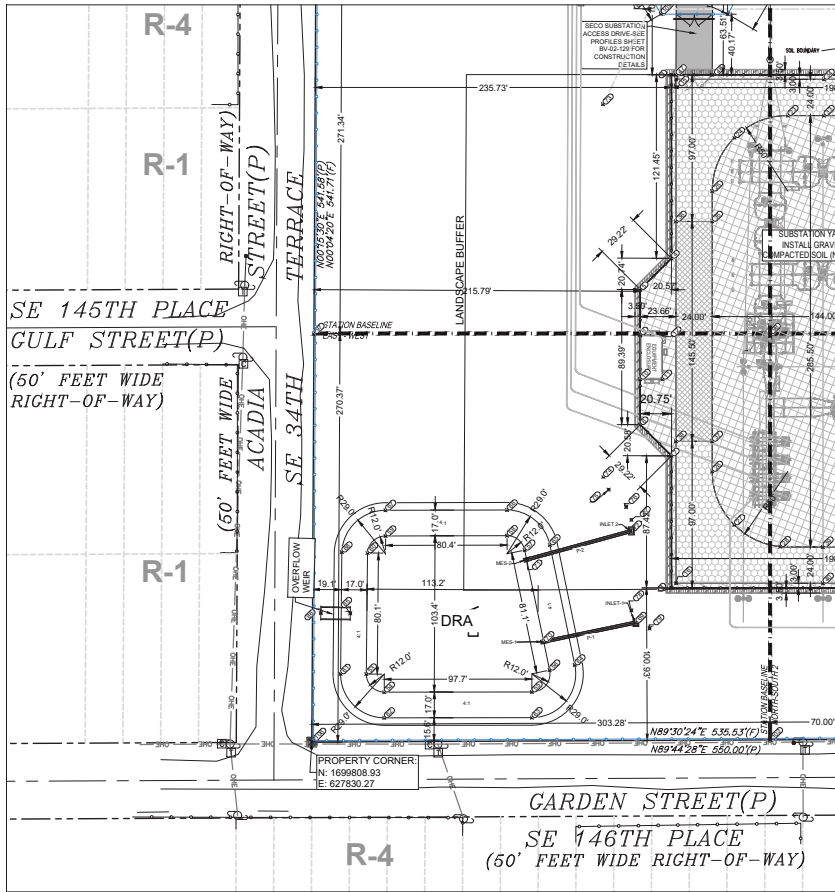
Site Plan: **BELLEVUE SUBSTATION 2026 NEW RING BUS STATION SITE PLAN**

Site Geometry Plan: **SITE GEOMETRY PLAN**

Engineer of Record: **BINIAM TSEGAY, P.E.**  
 FLORIDA P.E. LICENSE NO. 81411

Work Order: **212342**

Drawing #: **BV- 02 - 128**

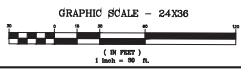


- LEGEND**
- GRAVEL / GROUND GRID - AREA OF 4" - NO. 57 GRANITE, NO LIMEROCK BASE, W/ 10" STABILIZED SUBGRADE WITH GROUND GRID
  - HEAVY DUTY PAVEMENT: 2" SPB.5 ASPHALT, 6" LIMEROCK BASE W/ 12" STABILIZED SUBGRADE
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COORDINATE POINT NUMBER AND LOCATION

DRA COORDINATE POINTS			DRAINAGE COORDINATE POINTS				
Point #	Northing	Easting	Elevation	Point #	Northing	Easting	Elevation
53	1699854.11	627866.13	64.00	69	1699888.87	628044.42	67.60
54	1699842.15	627878.10	64.00	70	1699875.97	627983.45	64.00
55	1699842.67	627975.76	64.00	71	1699930.21	627971.96	64.00
56	1699857.15	627987.43	64.00	72	1699949.46	628041.19	67.60
57	1699936.50	627970.63	64.00	73	1700231.82	628021.30	69.28
58	1699946.01	627958.93	64.00	74	1699985.21	628022.51	67.81
59	1699945.50	627878.54	64.00	75	1699976.75	628026.06	67.75
60	1699934.23	627866.63	64.00	76	1699965.27	628037.63	67.65
61	1699854.15	627849.13	68.25	77	1699956.79	628041.18	67.60
62	1699825.15	627878.13	68.25	78	1699884.91	628041.41	67.60
63	1699825.67	627975.85	68.25	79	1699884.96	628053.46	67.60
64	1699860.67	628004.06	68.25	80	1699885.84	628263.46	68.37
65	1699940.02	627987.26	68.25	81	1699905.36	628309.37	68.92
66	1699963.01	627958.89	68.25	82	1700252.51	628308.12	70.51
67	1699962.50	627878.43	68.25	83	1700295.69	628264.61	70.14
68	1699934.71	627849.64	68.25	84	1700298.87	628051.80	69.61
				85	1699894.18	627855.36	66.76
				86	1699894.29	627835.87	66.22
				87	1699891.09	628379.38	68.56
				88	1699880.95	628379.29	68.50

PULL BOX COORDINATE POINTS			
Point #	Northing	Easting	Elevation
89	1700288.24	628341.36	71.09
90	1700276.27	628344.19	71.10
91	1700287.58	628347.02	70.82
92	1699990.77	628339.36	69.91
93	1699885.97	628352.69	69.54
94	1700306.49	628003.68	70.39
95	1700316.83	628000.89	70.24
96	1700327.16	627998.01	70.08
100	1699978.60	628328.56	69.85
101	1700316.83	628293.83	70.65
102	1700306.49	628296.66	70.74
103	1700298.57	628006.52	70.35
104	1700298.57	628352.16	70.15



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Revision:	BY:	Date:	Drawn by:	Scale:	Provided by:
			BHT	1:30	SECO ENERGY



Project Location MARION COUNTY		Type of Application MAJOR SITE PLAN	
Approved Date 12/08/2025	Date 11/24/2025	Belleview Substation 2026 NEW RING BUS STATION SITE PLAN DRA	
Approved By LBJ	Engineer BHT		

Engineer of Record BINIAM TSEGAY, P.E. FLORIDA P.E. LICENSE NO. 81411	
Work Order 212342	
Drawing # BV- 02 - 129	

















THE COMPLETION OF THIS WORK.

4. ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED BEFORE COMMENCING CONSTRUCTION WORK, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. COST TO BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION TO BE ALLOWED.

5. ALL AREAS DESIGNATED TO RECEIVE STRUCTURAL FILL SHALL BE PROOFROLLED USING A LARGE VIBRATORY ROLLER (DYWIDAG CA-25 OR EQUIVALENT). PROOFROLLING OF THIS AREA SHALL CONSIST OF TWELVE (12) OVERLAPPING PASSES IN EACH OF TWO (2) PERPENDICULAR DIRECTIONS. THIS PROCESS SHALL BE REVIEWED AND INSPECTED BY THE PROJECT ENGINEER. ANY MATERIALS WHICH YIELD EXCESSIVELY DURING THE PROOFROLLING SHALL BE UNDERCUT AND REPLACED WITH WELL-COMPACTED STRUCTURAL FILL.

6. ALL SUBGRADES RECEIVING FILL SHALL BE COMPACTED TO A MINIMUM NINETY-FIVE PERCENT (95%) OF THE SOILS MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557) FOR A DEPTH OF TWELVE (12) INCHES.

7. ALL STRUCTURAL FILL SHALL CONSIST OF INORGANIC, NON-PLASTIC GRANULAR SOIL WHICH CONTAINS LESS THAN TEN PERCENT (10%) FINES PASSING THE NO. 200 SIEVE (CLEAN SAND). ALL FILL MATERIAL SHALL BE PLACED IN LEVELS NOT TO EXCEED TWELVE (12) INCHES. COMPACTION SHALL CONTINUE UNTIL THE SOIL AT TWELVE (12) INCHES BELOW THE COMPACTION SURFACE ATTAINS A MINIMUM DENSITY OF NINETY-FIVE PERCENT (95%) OF THE MAXIMUM MODIFIED PROCTOR DENSITY (ASTM D-1557).

8. CONTRACTOR SHALL INSTALL TEMPORARY RETENTION PONDS, SWALES AND/OR BERMS NECESSARY TO PREVENT DISCHARGE OF STORMWATER RUNOFF FROM THE SITE DURING CONSTRUCTION.

9. UTILITY CONTACTS  
CONTRACTOR TO CONTACT TELEPHONE COMPANY PRIOR TO AND DURING CONSTRUCTION FOR LINE RELOCATION, PROTECTION, AND SLEEVE INSTALLATION WHERE NEEDED.  
CONTRACTOR TO CONTACT POWER COMPANY PRIOR TO AND DURING CONSTRUCTION FOR LINE RELOCATION, PROTECTION AND SLEEVE INSTALLATION WHERE NEEDED.  
CONTRACTOR TO CONTACT CABLE COMPANY PRIOR TO AND DURING CONSTRUCTION FOR LINE RELOCATION, PROTECTION AND SLEEVE INSTALLATION WHERE NEEDED.  
CONTRACTOR TO CONTACT GAS COMPANY PRIOR TO AND DURING CONSTRUCTION FOR LINE RELOCATION, PROTECTION AND SLEEVE INSTALLATION WHERE NEEDED.

THE CONTRACTOR WILL BE EXPECTED TO MEET ALL REQUIREMENTS OF THE APPLICABLE REGULATORY AGENCY INCLUDING A FORTY-EIGHT (48) HOUR ADVANCE NOTIFICATION TO THE APPLICABLE REGULATORY AGENCY AND THE ENGINEER SO THAT THEY CAN WITNESS ALL REQUIRED TESTS.

### SECTION 3

#### SITE GRADING, PAVING AND DRAINAGE

- SITE GRADING**  
THE SITE SHALL BE BROUGHT TO THE ELEVATIONS SHOWN ON THE DRAWINGS. IF THERE IS EXCESS EXCAVATION IT SHALL BE SPREAD ON SITE AS DIRECTED BY THE ENGINEER. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE SOODED.
- ROADWAY EARTHWORK**  
EARTHWORK FOR ROADS SHALL CONFORM TO THE PROVISIONS OF SECTION 120 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION.
- WATER RETENTION AREAS**  
WATER RETENTION AREAS SHALL BE CONSTRUCTED TO THE LINES AND GRADES SHOWN ON THE PLANS.
- PAVING WORK**
  - SCOPE**  
THE WORK SPECIFIED IN THIS SECTION CONSISTS OF FURNISHING ALL LABOR, EQUIPMENT, AND MATERIALS REQUIRED TO CONSTRUCT A STABILIZED SUBGRADE, A LIMEROCK BASE AND ASPHALT SURFACE COURSE, AS SPECIFIED HEREIN AND IN CONFORMITY WITH THE LINES, GRADES, NOTES, AND TYPICAL CROSS-SECTIONS SHOWN ON THE DRAWINGS.
  - PAVING**
    - STABILIZED SUBGRADE**  
A SUBGRADE OF THICKNESS AND TYPE AS SHOWN ON THE DRAWING

- SHALL BE CONSTRUCTED AND COMPACTED, AS NECESSARY, TO OBTAIN NO LESS THAN NINETY-EIGHT (98%) PERCENT OF THE MAXIMUM DENSITY AS OBTAINED BY AASHTO METHOD T-180 AND A LIMEROCK BEARING RATIO OF 40. THE WORK SHALL COMPLY WITH SECTION 160 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION. STABILIZATION MATERIAL, IF REQUIRED, SHALL BE BROUGHT IN TO COMPLETE THE STABILIZATION AND PAID FOR BY THE CONTRACTOR. SUBGRADE SHALL HAVE ALL UNSUITABLE MATERIAL REMOVED TO A DEPTH OF 2 FEET BELOW TOP OF SUBGRADE AND 3 FEET BEYOND BACK OF CURB OR EDGE OF PAVEMENT. SUITABLE MATERIAL IS DEFINED AS NON-PLASTIC, INORGANIC, GRANULAR SOIL CONTAINING LESS THAN 10 PERCENT MATERIAL PASSING THE NO. 200 MESH SIEVE (I.E., RELATIVELY CLEAN FINE SAND).
- LIMEROCK BASE**  
A LIMEROCK BASE OF THICKNESS AND TYPE AS SHOWN ON THE DRAWINGS SHALL BE CONSTRUCTED ON THE PREPARED SUBGRADE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 200 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION. COMPACTION SHALL NOT BE LESS THAN 98% OF MAXIMUM DENSITY AS OBTAINED BY AASHTO METHOD OF TEST T-180 AND A LBR OF 100.
  - PRIME AND TACK COATS FOR BASE COURSE**  
A PRIME AND TACK COAT OF BITUMINOUS MATERIAL SHALL BE APPLIED TO THE PREPARED LIMEROCK BASE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 300 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION.
  - SURFACE COURSE**  
AN ASPHALTIC CONCRETE SURFACE COURSE OF THICKNESS AND TYPE AS SHOWN ON THE DRAWING SHALL BE CONSTRUCTED ON THE PREPARED BASE IN ACCORDANCE WITH THE PROVISIONS OF THE APPLICABLE SECTION(S) OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION.  
THE FINISHED SURFACE SHALL BE SUCH THAT IT WILL NOT VARY MORE THAN 3/16 INCH FROM A 15 FOOT STRAIGHTEDGE APPLIED PARALLEL TO THE CENTERLINE OF THE PAVEMENT. ANY IRREGULARITIES OF THE SURFACE EXCEEDING THE ABOVE LIMITS SHALL BE CORRECTED AT THE CONTRACTORS EXPENSE.
  - ASPHALT RESURFACE**  
AN ASPHALTIC CONCRETE SURFACE COURSE OF THICKNESS AND TYPE AS SHOWN ON THE DRAWING SHALL BE CONSTRUCTED ON THE EXISTING SURFACE IN ACCORDANCE WITH THE PROVISIONS OF THE APPLICABLE SECTION(S) OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION.  
WHERE THE EXISTING SURFACE IS IRREGULAR THE EXISTING SURFACE SHALL BE BROUGHT TO PROPER GRADE AND CROSS SECTION BY THE APPLICATION OF PATCHING OR LEVELING COURSES.
  - GRAVEL**  
GRAVEL SHALL BE COMPOSED OF #57 WASHED GRANITE.
  - TESTING**  
THE CONTRACTOR SHALL PROVIDE LABORATORY TESTS AND/OR FIELD MEASUREMENTS FOR THE FOLLOWING:
    - SUBGRADE**  
DEPTH, DENSITY AND LIMEROCK BEARING RATIO.
    - BASE**  
DEPTH, DENSITY AND LIMEROCK BEARING RATIO.
    - SURFACE**  
WIDTH, DEPTH, EXTRACTION AND STABILITY.
    - LOT FILL**  
STRUCTURAL FILL AREA IN PROPOSED LOTS SHALL OBTAIN DENSITY TESTS ON AT LEAST EVERY THIRD LOT. THE FREQUENCY OF THESE TESTS SHALL CONFORM TO THE CITY OF WILDWOOD LAND DEVELOPMENT CODE.
  - CONCRETE STRUCTURES**
    - CONCRETE**  
CONCRETE FOR ALL STRUCTURES SHALL HAVE A COMPRESSIVE STRENGTH OF AT LEAST 4,000 PSI AT TWENTY-EIGHT (28) DAYS, AS MEASURED BY THE STANDARD SIX (6) INCH TEST CYLINDER AND SHALL CONFORM TO THE PROVISIONS OF SECTION 400 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION, EXCEPT THAT READY-MIX CONCRETE CONFORMING TO THE PROVISIONS OF SECTION 345 OF THE

- SAME SPECIFICATIONS MAY BE USED, UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- REINFORCING STEEL**  
REINFORCING STEEL USED IN CONCRETE STRUCTURES SHALL CONFORM TO THE PROVISIONS OF SECTION 415 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION.
  - CURB WORK**  
ALL CONCRETE GUTTERS AND CURB ELEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 520 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION, AND IN ACCORDANCE WITH THE LINES AND GRADE AS SHOWN ON THE DESIGNATED PLANS.
  - STORM DRAINAGE**
    - SCOPE**  
THE WORK SPECIFIED IN THIS SECTION CONSISTS OF FURNISHING ALL LABOR, EQUIPMENT, AND MATERIALS REQUIRED TO CONSTRUCT STORM INLETS, STORM SEWERS, AND CULVERTS, AS SPECIFIED HEREIN AND IN CONFORMITY WITH THE LINES, GRADES, NOTES AND TYPICAL CROSS-SECTION SHOWN ON THE DRAWINGS.
    - CATCH BASINS**  
CATCH BASINS FOR THE STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 425 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION, EXCEPT THAT THE CONCRETE COMPRESSIVE STRENGTH SHALL BE AT LEAST 4000 psi.
    - STORM SEWER**
      - REINFORCED CONCRETE PIPE** SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 430 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION. ALL RCP PIPE SHALL BE CLASS II OR BETTER.
      - BITUMINOUS COATED CORRUGATED METAL PIPE** SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 430 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION. PIPE THICKNESS SHALL MEET THE REQUIREMENTS OF SECTION 945 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION.
      - ALUMINUMIZED PIPE** SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 430 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION. PIPE THICKNESS SHALL BE BASED ON FLORIDA DEPARTMENT OF TRANSPORTATION INDEX 205, LATEST REVISION.
      - PVC STORM PIPE** SHALL BE PERMALOC LARGE DIAMETER PVC STORM DRAIN MANUFACTURED TO A.A.S.H.T.O. M 304M-91 SPECIFICATIONS.
      - ALL JOINTS SHALL BE WATER-TIGHT.**
  - STREET NAME MARKERS**  
STREET MARKERS SHALL MEET FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR APPEARANCE AND SHALL BE INSTALLED AS DESIGNATED ON THE PLANS.
  - TRAFFIC STRIPES**  
TRAFFIC STRIPES SHALL BE DONE AS SHOWN ON THE DRAWINGS, AND IN ACCORDANCE WITH SECTION 711 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION, AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, INCLUDING AREAS IN FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY WHERE ALL STRIPING SHALL CONFORM TO SECTION 711 OF SAID DOCUMENT.

### SECTION 4

#### GRASSING AND SODDING MATERIALS

- THE FOOT (FLORIDA DEPARTMENT OF TRANSPORTATION) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTIONS 570 AND 575, RESPECTIVELY FOR GRASSING AND SODDING WILL APPLY TO ALL SEEDING AND SODDING WORK WITHIN THIS PROJECT.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE SOODED, UNLESS OTHERWISE INDICATED.

### SECTION 5

#### UTILITY EXCAVATION, TRENCHING AND BACKFILLING

- GENERAL**  
THE PROVISIONS SET FORTH IN THIS SECTION SHALL BE APPLICABLE TO ALL UNDERGROUND WATER, SANITARY SEWER, AND STORM SEWER PIPING OR BURIED CONDUIT INSTALLATIONS, REGARDLESS OF LOCATION, UNLESS PRIOR APPROVAL IS RECEIVED FROM THE OWNER AND THE ENGINEER.
- MATERIALS**
  - SHEETING AND BRACING**
    - WOOD SHEETING TO BE LEFT IN PLACE SHALL BE PRESSURE TREATED WITH PRESERVATIVE IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE AMERICAN WOOD PRESERVERS ASSOCIATION MANUAL, OF RECOMMENDED PRACTICE. THE CREOSOTE OIL USED SHALL CONFORM TO THE REQUIREMENTS OF THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION, WHEN TESTED IN ACCORDANCE WITH AASHTO T-60.
    - STEEL SHEETING TO BE LEFT IN PLACE SHALL BE AS SPECIFIED IN ASTM DESIGNATION A-328.
  - CONCRETE**
    - REQUIRED CONCRETE FOR ANCHORS, THRUST BLOCKS, ENCASEMENTS OR PROTECTIVE SLABS SHALL HAVE A MINIMUM 2500 POUNDS PER SQUARE INCH (P.S.I.) COMPRESSIVE STRENGTH.
- WORKMANSHIP**
  - CONSTRUCTION METHODS**
    - VERTICAL CLEARANCE AT CROSSINGS:  
GRAVITY SEWERS OR FORCE MAINS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS AND WATER JOINTS WILL BE EQUIDISTANT FROM THE POINT OF CROSSING WITH NO LESS THAN 10 FEET BETWEEN ANY TWO JOINTS. WHERE THE MINIMUM IS IN SEPARATION CANNOT BE OBTAINED, THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE FOR 20 FEET CENTERED ON THE POINT OF CROSSING.  
WHERE THERE IS NO ALTERNATIVE TO SEWER PIPES CROSSING OVER WATER MAINS, THE PIPES SHALL BE CENTERED AT THE CROSSING AS INDICATED ABOVE, AND THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE FOR 20 FEET CENTERED ON THE POINT OF CROSSING. ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT DAMAGE TO THE WATER MAIN.
    - HORIZONTAL SEPARATION BETWEEN PARALLEL LINES:  
GRAVITY SEWERS SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. IN CASES WHERE IT IS NOT PRACTICAL TO MAINTAIN A 10 FT. SEPARATION, THE WATER MAIN SHALL BE INSTALLED IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELVE LOCATED ON ONE SIDE OF THE SEWER AND AT AN ELEVATION SO THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, AND THE WATER AND SEWER JOINTS SHALL BE STAGGERED.  
FORCE MAINS SHALL BE INSTALLED AT LEAST 10 FT. HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN.

NOTE: ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE CITY OF WILDWOOD LAND DEVELOPMENT CODE.

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Project Location		Type of Application	
MARION COUNTY		MAJOR SITE PLAN	
Approved Date	Date	Bellevue Substation	
12/08/2025	11/24/2025	2026 NEW RING BUS STATION	
Approved By	Engineer	INSTALLATION	
LBJ	BHT	SPECIFICATIONS	

Engineer of Record	
BINIAM TSEGAY, P.E. FLORIDA P.E. LICENSE NO.81411	
Work Order	212342
Drawing #	BV- 02 - 138

(3) MINIMUM COVER OVER ALL PIPE SHALL BE 36" TO FINISH GRADE FROM TOP OF PIPE.

(4) COMPLETE "AS-BUILT" INFORMATION RELATIVE TO LOCATION OF ALL VALVES, FITTINGS, MAINS AND SERVICES, SHALL BE ACCURATELY RECORDED ON FIELD DRAWINGS BY THE CONTRACTOR AND SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO FINAL INSPECTION OF WORK.

**B. TRENCH DIMENSIONS**  
 THE MINIMUM WIDTH OF THE TRENCH SHALL BE EQUAL TO THE OUTSIDE DIAMETER OF THE PIPE AT THE JOINT PLUS EIGHT (8) INCHES FOR UNSHEEDED TRENCH, OR TWELVE (12) INCHES FOR SHEEDED TRENCH, AND THE MAXIMUM WIDTH OF TRENCH, MEASURED AT THE TOP OF THE PIPE, SHALL NOT EXCEED THE OUTSIDE PIPE DIAMETER PLUS TWO (2) FEET, UNLESS OTHERWISE SHOWN ON DRAWINGS DETAILS OR APPROVED BY THE APPLICABLE REGULATORY AGENCY AND THE ENGINEER. TRENCH WALLS SHALL BE MAINTAINED VERTICAL FROM THE BOTTOM OF THE TRENCH TO A LINE MEASURED ONE (1) FOOT ABOVE THE TOP OF THE PIPE. FROM ONE (1) FOOT ABOVE THE TOP OF THE PIPE TO THE SURFACE, THE TRENCH WALLS SHALL BE APPROXIMATELY VERTICAL.

**C. TRENCH GRADE**  
 STANDARD TRENCH GRADE SHALL BE DEFINED AS THE BOTTOM SURFACE OF THE UTILITY TO BE CONSTRUCTED OR PLACED WITHIN THE TRENCH. TRENCH GRADE FOR UTILITIES IN ROCK OR OTHER NON-CUSHIONING MATERIAL, SHALL BE DEFINED AS SIX (6) INCHES BELOW THE OUTSIDE OF THE BOTTOM OF THE UTILITY, WHICH SIX (6) INCHES SHALL BE BACKFILLED WITH EXTRA UTILITY BEDDING MATERIAL. EXCAVATION BELOW TRENCH GRADE THAT IS DONE IN ERROR SHALL BE BACKFILLED TO TRENCH GRADE AND COMPACTED.

**D. UTILITY BEDDING**  
 CLASS B (MINIMUM UTILITY BEDDING): THE BOTTOM OF THE TRENCH SHALL BE SHAPED TO PROVIDE A FIRM BEDDING FOR THE UTILITY PIPE. THE UTILITY SHALL BE FIRMLY BEDDED IN UNDISTURBED FIRM SOIL, OR HAND-SHAPED UNWEIGHED MATERIAL. THE BEDDING SHALL BE SHAPED SO THAT THE PIPE WILL BE IN CONTINUOUS CONTACT THEREWITH FOR ITS FULL LENGTH AND SHALL PROVIDE A MINIMUM BOTTOM SEGMENT SUPPORT FOR THE PIPE EQUAL TO 0.8 OF THE OUTSIDE DIAMETER OF THE BARREL.

CLASS A (SPECIAL UTILITY BEDDING): SHOULD SPECIAL BEDDING BE REQUIRED, DUE TO DEPTH OF COVER, IMPACT LOADINGS, OR OTHER CONDITIONS, "CLASS A" BEDDING SHALL BE INSTALLED, CONSISTING OF SAND OR SUITABLE CRUSHED ROCK. "CLASS A" BEDDING SHALL RECEIVE PRIOR APPROVAL BY THE ENGINEER OR REGULATORY AGENCY.

**E. UNSUITABLE MATERIAL BELOW TRENCH GRADE**  
 SOIL UNSUITABLE FOR A PROPER FOUNDATION ENCOUNTERED AT OR BELOW TRENCH GRADE, SUCH AS MUCK OR OTHER DELETTERIOUS MATERIAL, SHALL BE REMOVED FOR THE FULL WIDTH OF THE TRENCH AND TO THE DEPTH REQUIRED TO REACH SUITABLE FOUNDATION MATERIAL, UNLESS SPECIAL DESIGN CONSIDERATIONS RECEIVE PRIOR APPROVAL FROM THE APPLICABLE REGULATORY AGENCY AND ENGINEER. BACKFILLING BELOW TRENCH GRADE SHALL BE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF SUB-SECTION N, "BACKFILL", WITH MATERIAL AS SPECIFIED UNDER PARAGRAPHS N (1) AND N (2) OF THAT SECTION. BACKFILL LAYERS SHALL NOT EXCEED SIX (6) INCHES IN THICKNESS FOR THE FULL TRENCH WIDTH AND COMPACTION SHALL EQUAL NINETY-EIGHT (98) PERCENT MAXIMUM DENSITY, AS DETERMINED BY AASHTO SPECIFICATION T-190. COMPACTION DENSITY TESTS SHALL BE MADE AT ALL SUCH BACKFILL AREAS WITH SPACING NOT TO EXCEED FIFTY (50) FEET APART.

**F. EXTRA UTILITY-BEDDING MATERIAL**  
 WHEN ROCK OR OTHER NON-CUSHIONING MATERIAL IS ENCOUNTERED AT TRENCH GRADE, EXCAVATION SHALL BE EXTENDED TO SIX (6) INCHES BELOW THE OUTSIDE OF THE BOTTOM OF THE UTILITY, AND A CUSHION OF SAND OR SUITABLE CRUSHED ROCK SHALL BE PROVIDED. UTILITY-BEDDING MATERIAL SHALL BE AS SPECIFIED UNDER PARAGRAPH N (2).

**G. SHEETING AND BRACING**  
 IN ORDER TO PREVENT DAMAGE TO PROPERTY, INJURY TO PERSONS, EROSION, CAVE-INS, OR EXCESSIVE TRENCH WIDTHS, ADEQUATE SHEETING AND BRACING SHALL BE PROVIDED, AS REQUIRED, AND/OR DIRECTED BY THE APPLICABLE OWNER AND ENGINEER, IN ACCORDANCE WITH ACCEPTED STANDARD PRACTICE. SHEETING SHALL BE REMOVED WHEN THE TRENCH HAS BEEN BACKFILLED TO AT LEAST ONE-HALF (1/2) ITS DEPTH, OR WHEN REMOVAL WOULD NOT ENDANGER THE CONSTRUCTION OF ADJACENT STRUCTURES. WHEN REQUIRED, TO ELIMINATE EXCESSIVE TRENCH WIDTH OR OTHER DAMAGE, SHEETING, BRACING OR SHORING SHALL BE LEFT IN PLACE AND THE TOP CUT OFF AT AN ELEVATION OF 2.5 FEET BELOW FINISHED GRADE, UNLESS OTHERWISE DIRECTED.

**H. EXCAVATED MATERIAL**  
 EXCAVATED MATERIAL TO BE USED FOR BACKFILL SHALL BE NEATLY DEPOSITED AT THE SIDES OF THE TRENCHES WHERE SPACE IS AVAILABLE. WHERE STOCKPILING OF EXCAVATED MATERIAL IS REQUIRED, THE

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE SITES TO BE USED AND SHALL MAINTAIN HIS OPERATIONS TO PROVIDE FOR NATURAL DRAINAGE AND NOT PRESENT AN UNSIGHTLY APPEARANCE.

**I. MATERIAL DISPOSAL**  
 EXCESS, UNSUITABLE, OR CLEARED AND GRUBBED MATERIAL, RESULTING FROM THE UTILITY INSTALLATION, SHALL BE IMMEDIATELY REMOVED FROM THE WORK SITE AND DISPOSED OF AT LOCATION(S) APPROVED BY THE OWNER AND ENGINEER. EXCESS EXCAVATED MATERIAL SHALL BE SPREAD ON THE DISPOSAL SITE AND GRADED IN A MANNER TO DRAIN PROPERLY AND NOT DISTURB EXISTING DRAINAGE CONDITIONS, AS APPROVED BY THE ENGINEER. DISPOSAL OF CLEARED AND GRUBBED MATERIALS SHALL COMPLY WITH CITY AND/OR COUNTY REQUIREMENTS AS TO BURNING OR DEPOSIT AT DESIGNATED LANDFILL SITE(S).

**J. BORROW**  
 SHOULD THERE BE INSUFFICIENT SATISFACTORY MATERIAL FROM THE EXCAVATIONS TO MEET THE REQUIREMENTS FOR FILL MATERIAL, BORROW SHALL BE OBTAINED FROM PITS SECURED BY THE CONTRACTOR AND APPROVED BY THE OWNER AND THE ENGINEER.

**K. ROCK EXCAVATION**  
 ROCK EXCAVATION SHALL BE DEFINED AS EXCAVATION OF ANY HARD NATURAL SUBSTANCE WHICH REQUIRES THE USE OF EXPLOSIVES AND/OR SPECIAL IMPACT TOOLS SUCH AS JACK HAMMERS, SLEDGES, CHISELS OR SIMILAR DEVICES SPECIFICALLY DESIGNED FOR USE IN CUTTING OR BREAKING ROCK, BUT EXCLUSIVE OF TRENCH EXCAVATING MACHINERY.

**L. DEWATERING**  
 UTILITIES SHALL BE LAID "IN THE DRY", UNLESS OTHERWISE APPROVED. TRENCH EXCAVATIONS MAY BE DEWATERED BY USING ONE OR MORE OF THE FOLLOWING METHODS: WELL POINT SYSTEM, SLUMPS WITH PUMPS, OR OTHER METHODS) AS APPROVED BY THE OWNER AND ENGINEER. DEWATERING SYSTEMS SHALL BE UTILIZED IN ACCORDANCE WITH GOOD STANDARD PRACTICE AND MUST BE EFFICIENT ENOUGH TO LOWER THE WATER LEVEL IN ADVANCE OF THE EXCAVATION AND MAINTAIN IT CONTINUOUSLY TO KEEP THE TRENCH BOTTOM AND SIDES FIRM AND DRY. IF THE MATERIAL ENCOUNTERED AT TRENCH GRADE IS SUITABLE FOR THE PASSAGE OF WATER WITHOUT DESTROYING THE SIDES OR UTILITY FOUNDATION OF THE TRENCH, SLUMPS MAY BE PROVIDED AT INTERVALS AT THE SIDE OF THE MAIN TRENCH EXCAVATION, WITH PUMPS USED TO LOWER THE WATER LEVEL, BY TAKING THEIR SUCTION FROM SAID PUMPS. DISCHARGE FROM DEWATERING SHALL BE DISPOSED OF IN SUCH A MANNER THAT IT WILL NOT INTERFERE WITH THE NORMAL DRAINAGE OF THE AREA IN WHICH THE WORK IS BEING PERFORMED, CREATE A PUBLIC NUISANCE, OR FORM PONDING.

THE OPERATIONS SHALL NOT CAUSE INJURY TO ANY PORTION OF THE WORK COMPLETED, OR IN PROGRESS, OR TO THE SURFACE OF STREETS, OR TO PRIVATE PROPERTY. THE PROPOSED DEWATERING METHOD(S) AND SCHEDULE SHALL BE COORDINATED WITH, AND APPROVED BY, THE OWNER AND THE ENGINEER AND OTHER NECESSARY REGULATORY AGENCIES PRIOR TO CONSTRUCTION. ADDITIONALLY, WHERE PRIVATE PROPERTY WILL BE INVOLVED, ADVANCE PERMISSION SHALL BE OBTAINED BY THE CONTRACTOR.

**M. OBSTRUCTIONS**  
 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ACQUAINT HIMSELF WITH ALL EXISTING CONDITIONS AND TO LOCATE ALL STRUCTURES AND UTILITIES ALONG THE PROPOSED UTILITY ALIGNMENT IN ORDER TO AVOID CONFLICTS, WHERE ACTUAL CONFLICTS ARE UNAVOIDABLE, WORK SHALL BE COORDINATED WITH THE FACILITY OWNER AND PERFORMED SO AS TO CAUSE AS LITTLE INTERFERENCE AS POSSIBLE WITH THE SERVICE RENDERED BY THE FACILITY DISTURBED. FACILITIES OR STRUCTURES DAMAGED IN THE PROSECUTION OF THE WORK SHALL BE REPAIRED AND/OR REPLACED IMMEDIATELY, IN CONFORMANCE WITH CURRENT STANDARD PRACTICES OF THE INDUSTRY, OR ACCORDING TO THE DIRECTION OF THE OWNER OF SUCH FACILITY, AT THE CONTRACTOR'S EXPENSE.

**N. BACKFILL**

(1) GENERAL  
 BACKFILL MATERIAL SHALL BE CLEAN EARTH FILL COMPOSED OF SAND, CLAY AND SAND, SAND AND ROCK, CRUSHED ROCK, OR AN APPROVED COMBINATION THEREOF. BACKFILLING SHALL BE ACCOMPLISHED UNDER TWO (2) SPECIFIED REQUIREMENTS: FIRST LIFT, FROM TRENCH GRADE TO A POINT TWELVE (12) INCHES ABOVE THE TOP OF THE UTILITY, AND SECOND LIFT, FROM THE TOP OFF THE FIRST LIFT TO THE GROUND SURFACE, WHERE THRUST BLOCKS, ENCASEMENTS, OR OTHER BELOW GRADE CONCRETE WORK HAVE BEEN INSTALLED. BACKFILLING SHALL NOT PROCEED UNTIL THE CONCRETE HAS OBTAINED SUFFICIENT STRENGTH TO SUPPORT THE BACKFILL LOAD.

(2) FIRST LIFT  
 FINE MATERIAL SHALL BE CAREFULLY PLACED AND TAMPED AROUND THE LOWER HALF OF THE UTILITY. BACKFILLING SHALL BE CAREFULLY CONTINUED IN LAYERS NOT EXCEEDING SIX (6) INCHES

IN THICKNESS FOR THE FULL TRENCH WIDTH. UNTIL THE FILL IS TWELVE (12) INCHES ABOVE THE TOP OF THE UTILITY, USING THE BEST AVAILABLE MATERIAL FROM THE EXCAVATION, IF APPROVED. THE MATERIAL FOR THESE FIRST LAYERS OF BACKFILL SHALL BE LOWERED TO WITHIN TWO (2) FEET ABOVE THE TOP OF PIPES BEFORE IT IS ALLOWED TO FALL UNLESS THE MATERIAL IS PLACED WITH APPROVED DEVICES THAT PROTECT THE PIPES FROM IMPACT. THE "FIRST LIFT" SHALL BE THOROUGHLY COMPACTED AND COMPLETED BEFORE THE "SECOND LIFT" IS PLACED. COMPACTION SHALL EQUAL NINETY EIGHT (98) PERCENT OF MAXIMUM DENSITY, AS DETERMINED BY AASHTO SPECIFICATION T-190 (ASTM D-1557). THE "FIRST LIFT" BACKFILL SHALL EXCLUDE STONES, OR ROCK FRAGMENTS LARGER THAN THE FOLLOWING:

PIPE SIZE	FRAGMENT SIZE (GREATEST DIMENSION - INCHES)
CONCRETE	3
STEEL	3
CAST IRON	3
DUCTILE IRON	3
CORRUGATED METAL	3
VITRIFIED CLAY	1-1/2
PLASTIC (PVC, ABS, ETC.)	3/4

(3) SECOND LIFT THE REMAINDER OF THE TRENCH, ABOVE THE "FIRST LIFT", SHALL BE BACKFILLED IN LAYERS NOT EXCEEDING NINE (9) INCHES, THE MAXIMUM DIMENSION OF A STONE, ROCK OR PAVEMENT FRAGMENT SHALL BE SIX (6) INCHES. WHEN TRENCHES ARE CUT IN PAVEMENTS OR AREAS TO BE PAVED, COMPACTION AS DETERMINED BY AASHTO SPECIFICATION T-190 (ASTM D-1557), SHALL BE ACCOMPLISHED TO NOT LESS THAN NINETY-EIGHT (98) PERCENT OF MAXIMUM DENSITY, WITH COMPACTION IN OTHER AREAS NOT LESS THAN NINETY (90) PERCENT MAXIMUM DENSITY.

(4) COMPACTION METHODS THE ABOVE SPECIFIED COMPACTION SHALL BE ACCOMPLISHED USING ACCEPTED STANDARD METHODS (POWERED TAMPERS, VIBRATORS, ETC.), WITH THE EXCEPTION THAT THE FIRST TWO (2) FEET OF BACKFILLING OVER THE PIPE SHALL BE COMPACTED BY HAND-OPERATED TAMPING DEVICES. FLOODING OR PUDDLING WITH WATER TO CONSOLIDATE BACKFILL IS NOT ACCEPTABLE, EXCEPT WHERE SAND IS ENCOUNTERED AND THE OPERATION HAS BEEN APPROVED BY THE OWNER AND THE ENGINEER.

(5) TESTING DENSITY TESTS FOR DETERMINATION OF THE ABOVE SPECIFIED COMPACTION SHALL BE MADE BY A TESTING LABORATORY APPROVED BY THE OWNER AND AT THE EXPENSE OF THE CONTRACTOR. TEST LOCATIONS WILL BE DETERMINED BY THE APPLICABLE REGULATORY AGENCY AND THE ENGINEER, BUT IN ANY CASE, SHALL BE SPACED NOT MORE THAN 300 FEET APART WHERE THE TRENCH CUT IS CONTINUOUS IN PAVEMENTS OR AREAS TO BE PAVED. TESTS SHALL ALSO BE MADE WHERE A TRENCH CROSSES A PAVED ROADWAY OR FUTURE PAVED ROADWAY. IF ANY TEST RESULTS ARE UNSATISFACTORY, THE CONTRACTOR SHALL RE-EXCAVATE AND RE-COMPACT THE BACKFILL AT HIS EXPENSE UNTIL THE DESIRED COMPACTION IS OBTAINED. ADDITIONAL COMPACTION TESTS SHALL BE MADE TO EACH SIDE OF AN UNSATISFACTORY TEST, AS DIRECTED, TO DETERMINE THE EXTENT OF RE-EXCAVATION AND RE-COMPACTION NECESSARY.

(6) PROTECTIVE CONCRETE SLAB PROTECTIVE CONCRETE SLABS SHALL BE INSTALLED OVER THE TOP OF TRENCHES, WHERE REQUIRED, OR THE PLANS AND DETAILED THEREON, TO PROTECT THE INSTALLED UTILITY AGAINST EXCESSIVE LOADS, OR WHERE INSUFFICIENT COVER EXISTS.

(7) SIDEWALK AND DRIVEWAY RESTORATION EXISTING SIDEWALKS AND DRIVEWAYS REMOVED, DISTURBED OR DESTROYED BY CONSTRUCTION, SHALL BE REPLACED OR REPAIRED. THE FINISHED WORK SHALL BE EQUAL IN ALL RESPECTS TO THE ORIGINAL AND SHALL BE APPROVED BY THE APPLICABLE REGULATORY AGENCY AND THE ENGINEER.

**Q. ROADWAY AND PAVEMENT RESTORATION**

(1) GENERAL PAVEMENT OR ROADWAY SURFACES CUT OR DAMAGED SHALL BE REPLACED BY THE CONTRACTOR IN EQUAL OR BETTER CONDITION THAN THE ORIGINAL, INCLUDING STABILIZATION, BASE COURSE, SURFACE COURSE, CURB AND GUTTER, OR OTHER APPURTENANCES. THE CONTRACTOR SHALL PROVIDE ADVANCE NOTICE TO THE APPROPRIATE AUTHORITY, AS REQUIRED, PRIOR TO CONSTRUCTION OPERATIONS.

(2) ROADWAY RESTORATION RESTORATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THESE STANDARDS. THE MATERIALS OF CONSTRUCTION AND METHOD OF INSTALLATION, ALONG WITH THE PROPOSED RESTORATION DESIGN FOR ITEMS NOT REFERRED OR SPECIFIED HEREIN, SHALL RECEIVE PRIOR APPROVAL FROM THE REGULATORY AGENCY AND THE ENGINEER.

(a) WHERE EXISTING PAVEMENT IS TO BE REMOVED, THE SURFACING SHALL BE MECHANICALLY SAW CUT PRIOR TO TRENCH EXCAVATION LEAVING A UNIFORM AND STRAIGHT EDGE, WITH MINIMUM DISTURBANCE TO THE REMAINING ADJACENT SURFACING. THE WIDTH OF CUT FOR THIS PHASE OF EXISTING PAVEMENT REMOVAL

SHALL BE MINIMAL AND PARALLEL, IMMEDIATELY FOLLOWING THE SPECIFIED BACKFILLING

(b) AND COMPACTION, A TEMPORARY SAND SEAL COAT SURFACE SHALL BE APPLIED TO THE CUT AREAS. THIS TEMPORARY SURFACING SHALL PROVIDE A SMOOTH TRAFFIC SURFACE WITH THE EXISTING ROADWAY AND SHALL BE MAINTAINED UNTIL FINAL RESTORATION. SAID SURFACING SHALL REMAIN FOR TEN (10) DAYS IN ORDER TO ASSURE THE STABILITY OF THE BACKFILL UNDER NORMAL TRAFFIC CONDITIONS. FOLLOWING THIS PERIOD AND PRIOR TO FIFTEEN (15) DAYS AFTER APPLICATION, THE TEMPORARY SURFACING SHALL BE REMOVED AND FINAL ROADWAY SURFACE RESTORATION ACCOMPLISHED.

(c) IN ADVANCE OF FINAL RESTORATION, THE TEMPORARY SURFACING SHALL BE REMOVED AND THE EXISTING PAVEMENT MECHANICALLY SAVED STRAIGHT AND CLEAN TO THE SPECULATED DIMENSIONS, FOLLOWING THE ABOVE OPERATION, THE CONTRACTOR SHALL PROCEED IMMEDIATELY WITH FINAL PAVEMENT RESTORATION IN ACCORDANCE WITH THESE STANDARDS.

(3) ROADWAY RESTORATION (OTHER LOCATIONS) WORK WITHIN THE RIGHTS-OF-WAY OF PUBLIC THROUGHOUT FARES SHALL CONFORM TO THE REQUIREMENTS OF THE GOVERNMENTAL AGENCY HAVING JURISDICTION AND THE ENGINEER.

**R. PROTECTION AND RESTORATION OF PROPERTY**

DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR SHALL TAKE SPECIAL CARE AND PROVIDE ADEQUATE PROTECTION IN ORDER TO MINIMIZE DAMAGE TO VEGETATION, SURFACED AREAS AND STRUCTURES WITHIN THE CONSTRUCTION RIGHT-OF-WAY, EASEMENT OR SITE, AND TAKE FULL RESPONSIBILITY FOR THE REPLACEMENT OR REPAIR THEREOF. THE CONTRACTOR SHALL IMMEDIATELY REPAIR ANY DAMAGE TO PRIVATE PROPERTY CREATED BY ENCROACHMENT THEREON. SHOULD THE REMOVAL OR TRIMMING OF VALUABLE TREES, SHRUBS OR GRASS BE REQUIRED TO FACILITATE THE INSTALLATION WITHIN THE DESIGNATED CONSTRUCTION AREA, THIS WORK SHALL BE DONE IN COOPERATION WITH THE REGULATORY AGENCY AND THE ENGINEER AND/OR AUTHORITY FROM THE LOCAL COMMUNITY IN WHICH THE WORK TAKES PLACE. SAID VALUABLE VEGETATION, REMOVED OR DAMAGED, SHALL BE REPLANTED, IF POSSIBLE, OR REPLACED BY ITEMS OF EQUAL QUALITY, AND MAINTAINED UNTIL GROWTH IS RE-ESTABLISHED. TOP SOIL DAMAGED IN THE COURSE OF WORK SHALL BE REPLACED WITH AT LEAST A FOUR (4) INCH LAYER OF SUITABLE MATERIAL. FOLLOWING CONSTRUCTION COMPLETION, THE WORK AREA ALONG THE ROUTE OF THE INSTALLATION SHALL BE FINISH GRADED TO ELEVATIONS COMPATIBLE WITH THE ADJACENT SURFACE, WITH GRASSING OR HAND RAKING REQUIRED WITHIN DEVELOPED AREAS.

**S. CLEAN-UP**

WORK SITE CLEAN-UP AND PROPERTY RESTORATION SHALL FOLLOW BEHIND CONSTRUCTION OPERATIONS WITHOUT DELAY. IN ORDER TO FACILITATE AN ACCEPTABLE CONSTRUCTION SITE, DEBRIS AND WASTE MATERIALS SHALL BE REMOVED FROM THE SITE IMMEDIATELY, AND DAILY TRENCHING LENGTH VERSUS PIPE LAYING SHALL BE COORDINATED TO PROVIDE THE MINIMUM OVERNIGHT TRENCH OPENING. CONSTRUCTION SITE MAINTENANCE, ALONG WITH ON-GOING CLEAN-UP AND FINAL PROPERTY RESTORATION ACCEPTANCE, SHALL BE AS DIRECTED AND APPROVED BY THE REGULATORY AGENCY AND THE ENGINEER.

**NOTE: ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE CITY OF WILWOOD LAND DEVELOPMENT CODE.**

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Revision	BY:	Date:
	BHT	12/08/2025
	NA	11/24/2025

Drawn by: **BHT**  
 Provided by: **SECO ENERGY**  
 Scale: **NA**

Project Location  
**MARION COUNTY**  
 Approved Date: **12/08/2025**  
 Date: **11/24/2025**  
 Approved by: **LBJ**  
 Engineer: **BHT**

Type of Application  
**MAJOR SITE PLAN**  
**BELLEVIEW SUBSTATION**  
**2026 NEW RING BUS STATION**  
**INSTALLATION**  
**SPECIFICATIONS**

Engineer of Record  
**BINIAM TSEGAJ, P.E.**  
 FLORIDA P.E. LICENSE NO.81411  
 Work Order  
**212342**  
 Drawing #  
**BV- 02 - 139**

**GENERAL NOTES**

- See VTS notes with boxes 425-007 and Index 425-010.
- Character all exposed edges and corners to be chamfered or beveled to 1/4" radius.
- All reinforcing is placed and bar ends 2' minimum clear unless otherwise noted. All bar ends for 1"Ø bars are around pipe openings. Provide and install 1/4"Ø bar ends around all pipe ends.
- Use Concrete Area or heavy weight stone and rebar with non-traversable slots with 1/4"Ø bars for 1"Ø bars.
- Dimensions are for informational and not to scale.
- Notes are not permitted to scale with other notes.

**DITCH BOTTOM INLET TYPE C TRaversable**  
(Single Slot - Type B, and 8' Single Slot Connection Bar Sheet)

**DITCH BOTTOM INLET TYPE C NON-TRaversable**  
(Slot - Type B, and 8' Single Slot Connection Bar Sheet)

**TABLE OF CONTENTS:**

Sheet	Description
1	General Notes and Details
2	Type C - Dimensional, Reinforcing, and Steel Details
3	Type D - Dimensional, Reinforcing, and Steel Details
4	Type E - Dimensional, Reinforcing, and Steel Details
5	Type F - Dimensional, Reinforcing, and Steel Details
6	Type G - Dimensional, Reinforcing, and Steel Details
7	Steel Gate Detail
8	Non-Traversable Slot Details
9	Traversable Slot with Slot Details
10	Traversable Slot with Slot Details
11	Traversable Slot with Slot Details
12	Traversable Slot with Slot Details
13	Traversable Slot with Slot Details
14	Traversable Slot with Slot Details

DATE: 8/20/25  
BY: [Signature]

**TABLE I HORIZONTAL BAR REINFORCING SCHEDULE**

BAR	SCHEDULE	AREA	MAX. SPACING
1	4#	1.57	12"
2	4#	1.57	12"
3	4#	1.57	12"
4	4#	1.57	12"

**NOTES:**

- Grids, Concrete Area, and Steel Gate Detail are shown for informational only.
- See Note 1 for additional details.

**TABLE OF CONTENTS:**

Sheet	Description
1	General Notes and Details
2	Type C - Dimensional, Reinforcing, and Steel Details
3	Type D - Dimensional, Reinforcing, and Steel Details
4	Type E - Dimensional, Reinforcing, and Steel Details
5	Type F - Dimensional, Reinforcing, and Steel Details
6	Type G - Dimensional, Reinforcing, and Steel Details
7	Steel Gate Detail

DATE: 8/20/25  
BY: [Signature]

**TABLE B CONCRETE AREA AND SLO QUANTITIES**

TYPE	AREA	QUANTITY
1	1.57	1.57
2	1.57	1.57
3	1.57	1.57
4	1.57	1.57

**NOTES:**

- Concrete Area and Slo Quantities are shown for informational only.
- See Note 1 for additional details.

**TABLE OF CONTENTS:**

Sheet	Description
1	General Notes and Details
2	Type C - Dimensional, Reinforcing, and Steel Details
3	Type D - Dimensional, Reinforcing, and Steel Details
4	Type E - Dimensional, Reinforcing, and Steel Details
5	Type F - Dimensional, Reinforcing, and Steel Details
6	Type G - Dimensional, Reinforcing, and Steel Details
7	Steel Gate Detail

DATE: 8/20/25  
BY: [Signature]

**GENERAL NOTES**

- See VTS notes with boxes 425-007 and Index 425-010.
- Character all exposed edges and corners to be chamfered or beveled to 1/4" radius.
- All reinforcing is placed and bar ends 2' minimum clear unless otherwise noted. All bar ends for 1"Ø bars are around pipe openings. Provide and install 1/4"Ø bar ends around all pipe ends.
- Use Concrete Area or heavy weight stone and rebar with non-traversable slots with 1/4"Ø bars for 1"Ø bars.
- Dimensions are for informational and not to scale.
- Notes are not permitted to scale with other notes.

**DITCH BOTTOM INLET TYPE F**  
(Slot - Single Slot, Plus Connection Bar Sheet)

**TABLE OF CONTENTS:**

Sheet	Description
1	General Notes and Details
2	Type C - Dimensional, Reinforcing, and Steel Details
3	Type D - Dimensional, Reinforcing, and Steel Details
4	Type E - Dimensional, Reinforcing, and Steel Details
5	Type F - Dimensional, Reinforcing, and Steel Details
6	Type G - Dimensional, Reinforcing, and Steel Details
7	Steel Gate Detail

DATE: 8/20/25  
BY: [Signature]

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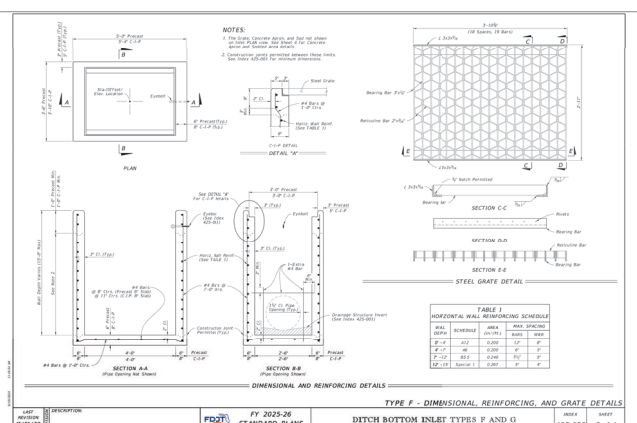
Revision:	BY:	Date:
	BHT	
	NTS	

Drawn by: BHT  
Scale: NTS  
Provided by: SECO ENERGY

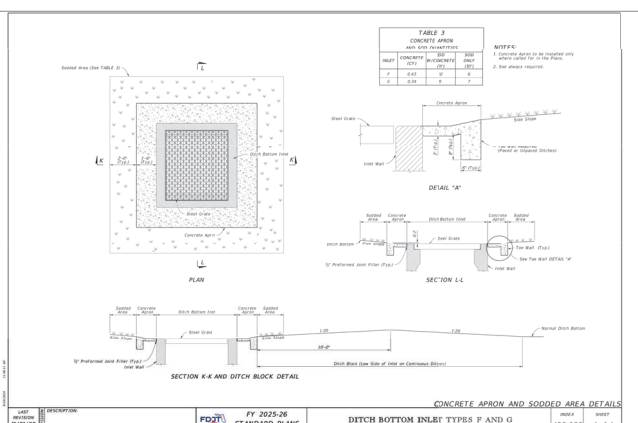
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Approved Date <b>12/08/2025</b>	Date <b>11/24/2025</b>
Approved By <b>LBJ</b>	Engineer <b>BHT</b>

2026 NEW RING BUS STATION  
FDOT  
DETAILS

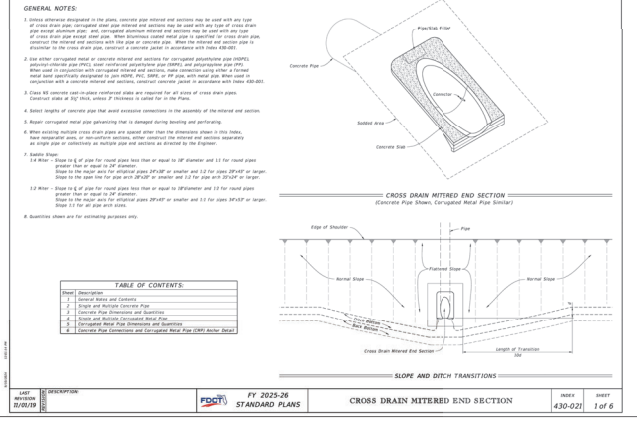
Engineer of Record  
**BINIAM TSEGAY, P.E.**  
FLORIDA P.E. LICENSE NO. 81411  
Work Order:  
**212342**  
Drawing #  
**BV- 02 - 140**



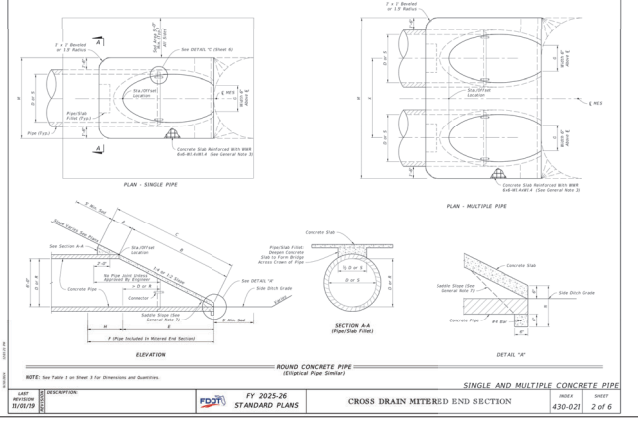
TYPE F - DIMENSIONAL REINFORCING AND GATE DETAILS  
DITCH BOTTOM INLET TYPES F AND G  
425-05-1 4 of 4



CONCRETE APRON AND SODDED AREA DETAILS  
DITCH BOTTOM INLET TYPES F AND G  
425-05-2 4 of 4



CROSS DRAIN MITERED END SECTION  
SLOPE AND DITCH TRANSITIONS  
430-02-1 1 of 6



CROSS DRAIN MITERED END SECTION  
SINGLE AND MULTIPLE CONCRETE PIPE  
430-02-2 2 of 6

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Revision:	BY:	Date:
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Drawn by: BHT  
Scale: NTS  
Provided by: SECO ENERGY

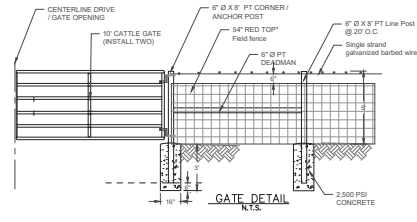
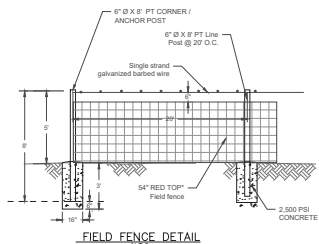
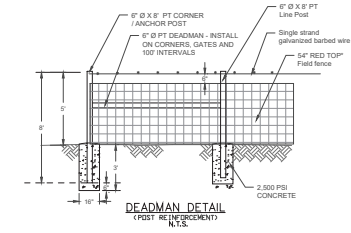
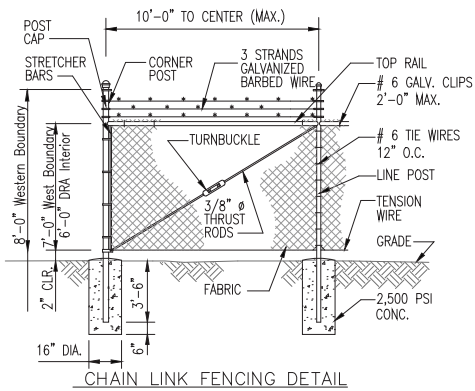
Project Location: MARION COUNTY  
Date: 12/08/2025  
Approved By: LBJ

Type of Application: MAJOR SITE PLAN  
Date: 11/24/2025  
Engineer: BHT

Engineer of Record: BINIAM TSEGAY, P.E.  
FLORIDA P.E. LICENSE NO. 81411  
Work Order: 212342  
Drawing #: BV-02-141







**FIELD FENCE DETAIL**

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Revision:	BY:	Date:

Drawn by: **BHT**  
 Scale: **NTS**  
 Provided by: **SECO ENERGY**  
A MEMBER OF THE SCANA CORPORATION

Project Location <b>MARION COUNTY</b>		Type of Application <b>MAJOR SITE PLAN</b>	
Approved Date <b>12/08/2025</b>	Date <b>11/24/2025</b>	BELLEVUE SUBSTATION 2026 NEW RING BUS STATION FENCE DETAILS	
Approved By <b>LBJ</b>	Engineer <b>BHT</b>		

Engineer of Record <b>BINIAM TSEGAY, P.E.</b> FLORIDA P.E. LICENSE NO. 81411
Work Order <b>212342</b>
Drawing # <b>BV- 06 -301</b>