

August 29, 2025

PROJECT NAME: IRONS 9

PROJECT NUMBER: 2025020053

APPLICATION: MAJOR SITE PLAN #32713

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: INFO
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 4/11/25-add waivers if requested in future
- 5 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
- 6 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: Central Sewer/Central Water
- 7 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.12.4.L(3) - All applicable Developer's Agreements listed?
STATUS OF REVIEW: INFO

REMARKS: None shown on cover page.

- 8 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.12.4.L(2,3, & 5)/6.3.1C(15)(g) - DRI/FQD Compliance Note?
STATUS OF REVIEW: INFO
REMARKS: Please provide if applicable.
- 9 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 6.5 & 6.6 - Habitat Preservation/Mitigation Provided?
STATUS OF REVIEW: INFO
REMARKS: If listed species present during assessment, preservation and/or mitigation will be needed.
- 10 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.21/6.3.1.C(10) - Land use and zoning on project and on adjacent properties shown
STATUS OF REVIEW: INFO
REMARKS: Initial - Please indicate OTOW DRI as abutting Future Land Use (FLU) designation. Please indicate all applicable PUD agreements for Bay Laurel development.
8/5/25 - Please specify PUD Case No. 250304ZP. If applicable, please indicate all proposed/current waivers.
- 11 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.32 - Modified Environmental Assessment for Listed Species (LDC 6.5.4) -OR- EALS Exemption Application (LDC 6.5.3) submitted (including habitat assessment as necessary per LDC 6.6.4)
STATUS OF REVIEW: INFO
REMARKS: Within OTOW DRI. As such, please provide EALS exemption for this specific project, per LDC Sec. 6.5. If any listed species present during original assessment, preservation/mitigation will be needed.
8/6/25 - EALS provided and transmitted to FWC.
- 12 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.4.L(10) - Parking requirements, service entrances, space size paved parking isle and access to parking area/6.11.8 - Off-street parking requirements/6.11.7 - Loading Areas/ 6.11.6 - Construction access/route
STATUS OF REVIEW: INFO
REMARKS: Initial - Please indicate construction route(s) on site plan, per LDC Sec. 6.11.6.
8/6/25 - Construction route indicated. For purposes of LDC Sec. 6.8.7.A, please indicate distance between parking lot and property boundary.
- 13 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: Additional Zoning comments
STATUS OF REVIEW: INFO
REMARKS: [INFO] OTOW DRI Map H (part of DRI development order) indicates plans to extend SW 96th Court Road/SW 63rd Street Road where the project currently sits. Although PUD Case No. 250304ZP changes this corridor to allow the proposed facility, Staff notes that such changes, if not already done, must be reflected in an update to the OTOW DRI development order.
- 14 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW
REVIEW ITEM: Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: Verified owner with Sunbiz and project list. HR 4/10/25// EMW 7.31.25
IF APPLICABLE:
Sec. 2.18.1.I - Show connections to other phases.
Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

AR 32713

DEVELOPMENT REVIEW PLAN APPLICATION

Date: 4/8/2025

A. PROJECT INFORMATION:

Project Name: Irons 9
Parcel Number(s): 35300-000-17
Section 11 Township 16S Range 20E Land Use OTOW DRI Zoning Classification PUD
Commercial ☐ Residential ☐ Industrial ☐ Institutional ☐ Mixed Use ☒ Other Residential
Type of Plan: MAJOR SITE PLAN
Property Acreage 4.25 Number of Lots N/A Miles of Roads N/A
Location of Property with Crossroads Northeast of intersection of SW 80th Street Road and SW 92nd Court Road
Additional information regarding this submittal: _____

B. CONTACT INFORMATION *(Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.)*

☒ **Engineer:**
Firm Name: Kimley-Horn and Associates, Inc. Contact Name: Grace E. Ergle, P.E.
Mailing Address: 1700 SE 17th Street, Suite 200 City: Ocala State: FL Zip Code: 34471
Phone # 352.438.3000 Alternate Phone # _____
Email(s) for contact via ePlans: ocala.permits@kimley-horn.com

☐ **Surveyor:**
Firm Name: _____ Contact Name: _____
Mailing Address: _____ City: _____ State: _____ Zip Code: _____
Phone # _____ Alternate Phone # _____
Email(s) for contact via ePlans: _____

Property Owner:
Owner: On Top of the World Communities, L.L.C. Contact Name: Kenneth D. Colen
Mailing Address: 8445 SW 80th Street City: Ocala State: FL Zip Code: 34481
Phone # (352) 387-7480 Alternate Phone # _____
Email address: _____

Developer:
Developer: Same as Owner Contact Name: _____
Mailing Address: _____ City: _____ State: _____ Zip Code: _____
Phone # _____ Alternate Phone # _____
Email address: _____

Revised 6/2021

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GENERAL NOTES

LAND USE DEVELOPMENT DATA
PARCEL IDENTIFICATION NUMBER: 35300-000-17

PRESENT ZONING: PUD (ORDINANCE 25-09
AS 3/23/19)

ABUTTING ZONING: NORTH- PUD
EAST- PUD
SOUTH- PUD
WEST- PUD

LAND USE: OTOW DR

IRONS 9 AREA: 10.27 ACRES

EXISTING IMPERVIOUS AREA: 0.25 AC

PROPOSED IMPERVIOUS AREA: 1.08 AC (10.5%)

NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.

ALL IMPROVEMENTS SHOWN ON THESE PLANS, INCLUDING ALL ROADS AND DRA'S ARE PRIVATELY OWNED AND SHALL BE MAINTAINED BY THE OWNER.

MARION COUNTY SPRINGS PROTECTION ZONE:
SECONDARY ZONE

FEMA DESIGNATION:
THE PROJECT LIES WITHIN FEMA FLOOD ZONE "X", AS PER FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NOS. 12083C0013E, EFFECTIVE APRIL 19, 2017.

LOCAL BENCHMARK:
VERTICAL DATUM BASED ON FOUND 5/8" IRON ROD WITH A PLASTIC CAP STAMPED "WOOLPERT TRAVELER" APPROXIMATELY 0.35 MILES NORTH STATE ROAD 200 ON THE WEST SIDE OF S.W. 80TH AVENUE BENCHMARK IS LOCATED IN THE NORTHWEST CORNER OF THE INTERSECTION OF S.W. 80TH AVENUE AND THE CONSTRUCTION ENTRANCE FOR "ON TOP OF THE WORLD COMMUNITIES, INC.", ELEVATION = 49.27 (DATUM MDD 1993)

CONCURRENCY:
DEVELOPMENT OF THE PROPERTY AS SHOWN ON THIS SITE PLAN IS SUBJECT TO THE TERMS AND CONDITIONS OF THE ON TOP OF THE WORLD DEVELOPMENT OF REGIONAL IMPACT PURSUANT TO CHAPTER 160A, FLA. AND ITS CORRESPONDING DEVELOPMENT ORDER AS MAY BE AMENDED FROM TIME TO TIME INCLUDING PROVISIONS REGARDING THE CONCURRENCY OF PUBLIC FACILITIES AND FLORIDA LAND USES. REFERENCE MARION COUNTY OFFICIAL RECORD BOOK/PAGES 6445/1300-1428, AND 6950/487-497.

MAJOR SITE PLAN FOR IRONS 9

MARION COUNTY, FLORIDA SECTIONS 11, TOWNSHIP 16S, RANGE 20E

JULY 2025



PROJECT
LOCATION



UTILITY CONTACT LISTING

WATKINS & SCHEIDT
PLANNING & DESIGN CENTER, LLC
8445 SW 80TH STREET, SUITE 3
OCALA, FL 33481
(352) 387-7460

DMK
DOM CABLE
JEFF HAGER
(352) 401-6555

PROJECT OWNER AND CONSULTANTS

OWNER/APPLICANT:
ON TOP OF THE WORLD COMMUNITIES, L.L.C.
8445 SW 80TH STREET, SUITE 3
OCALA, FL 33481
(352) 387-7460

CIVIL ENGINEERING CONSULTANT:
KIMLEY-HORN AND ASSOCIATES, INC.
1700 SE 17TH STREET, SUITE 200
OCALA, FLORIDA 34471
(352) 438-3000

SUBCONTRACTOR:
JCH CONSULTING GROUP, INC.
3128 NW INDIAN ROAD
OCALA, FLORIDA 34475
(352) 405-1482

GEOTECHNICAL ENGINEER:
GEO-TECH, INC.
1016 SE 3RD AVENUE
OCALA, FLORIDA 34471
(352) 694-7711



I HEREBY CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

KENNETH D. COLEN
PRESIDENT
ON TOP OF THE WORLD COMMUNITIES, L.L.C.

I HEREBY CERTIFY THAT THESE PLANS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS WAIVED.

LICENSED PROFESSIONAL

GRACE ELIZABETH COLE, P.E.
JULY 2025
SCALE: AS SHOWN
DESIGNED BY: KHA
DRAWN BY: JAM
CHECKED BY: JAM

DATE

DRAWING INDEX

- C01.00 - COVER SHEET
- C02.01 - GENERAL NOTES
- C02.01 - EXISTING CONDITIONS AND DEMOLITION PLAN
- C03.01 - AERIAL MASTER PLAN
- C04.01 - C04.05 - SITE PLAN
- C05.01 - C05.04 - PAVING, GRADING, AND DRAINAGE PLAN
- C06.01 - C06.03 - UTILITY PLAN
- C07.01 - C07.02 - EROSION CONTROL PLAN
- C07.03 - EROSION CONTROL DETAILS
- C07.04 - EROSION CONTROL NOTES
- C08.01 - CIVIL DETAILS
- C09.01 - C09.03 - UTILITY DETAILS
- C10.01 - LIFT STATION DETAILS

TOPOGRAPHIC SURVEY (BY JCH CONSULTING GROUP, INC.)

COVER SHEET

IRONS 9
PREPARED FOR
ON TOP OF THE WORLD
COMMUNITIES, L.L.C.

FLORIDA

MARION COUNTY

MAJOR SITE PLAN

SHEET NUMBER
C01.00

Kimley»Horn
© 2025 KIMLEY-HORN AND ASSOCIATES, INC.
1700 SE 17TH STREET, SUITE 200
OCALA, FL 34471
PHONE: 352-438-3000
WWW.KIMLEY-HORN.COM REGISTRY NO. 35006

DATE

REVISIONS

NO

Printed By:Edgar, Grace Sheet: Section Layout:CD1.02 GENERAL NOTES June 25, 2025 10:21:26am K:\CADD_Civil\2424246014-OTOW Irons 9\CADD\Plan\Sheet\CD02 GENERAL NOTES.dwg
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GENERAL NOTES:

1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH ALL RELATIVE MARION COUNTY LAND DEVELOPMENT CODES, BLOOD SPECIFICATIONS, FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), AND FDEP REGULATIONS, EXCEPT AS MODIFIED HEREIN.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE REQUIRED FOR THE WORK.
3. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION OF THE SITE PRIOR TO THE BEGINNING OF THE WORK. CONTRACTOR SHALL INFORM THE OWNER, COMPANY REPRESENTATIVE, UTILITY AUTHORITY AND INTERESTED COUNTY AGENCIES AT LEAST 48 HOURS PRIOR TO THE SCHEDULED INSPECTION.
4. THE LOCATION OF UTILITIES SHOWN ON THE DRAWINGS ARE FROM THE SURVEY PROVIDED BY JCH CONSULTING GROUP, INC. ON AUGUST 28, 2024. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM, IN THE FIELD, THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SHOULD CONDITIONS VARY FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO CONTINUING CONSTRUCTION.
5. CONTRACTOR SHALL LOCATE, VERIFY AND IDENTIFY ALL EXISTING UNDERGROUND UTILITIES SHOWN, OR NOT SHOWN, ON THE PLANS PRIOR TO ANY EXCAVATING ACTIVITIES.
6. CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT EXISTING AND NEWLY CONSTRUCTED UTILITIES DURING THE CONSTRUCTION. SHOULD ANY UTILITY LINE OR COMPONENT BECOME DAMAGED OR REQUIRE RELOCATION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE RESPONSIBLE UTILITY COMPANY AND THE ENGINEER.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES CAUSED BY HIS OPERATIONS.
8. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH OTHER WORK WHICH MAY BE ONGOING ADJACENT TO OR AFFECTING THIS CONSTRUCTION. THE CONTRACTOR SHALL COOPERATE WITH OTHER CONTRACTORS AND ALL AFFECTED UTILITY COMPANIES.
9. CONTRACTOR SHALL NOTIFY ALL APPLICABLE UTILITY COMPANIES AND THE ENGINEER 48 HOURS PRIOR TO THE BEGINNING OF ANY EXCAVATION ACTIVITIES, OR AS SPECIFIED BY THE UTILITY COMPANY AND ANY PERMITS REQUIRED FOR THE WORK.
10. CONTRACTOR SHALL PROTECT EXISTING SURVEY MARKERS, MONUMENTS, ETC. DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE/REPLACE ANY SURVEY MARKERS DAMAGED DURING CONSTRUCTION ACTIVITIES.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL/DISPOSAL OF ANY UNSUITABLE MATERIAL FROM THE CONSTRUCTION OPERATION, FURNISHING AND COMPACTING SUITABLE REPLACEMENT BACKFILL MATERIAL. DISPOSAL OF UNSUITABLE MATERIAL SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
12. CONSTRUCTION WARNING SIGNS SHALL BE MOUNTED AND ERECTED BEFORE CONSTRUCTION CAN COMMENCE. THESE, AND ALL TRAFFIC CONTROL DEVICES, SHALL FOLLOW THE STANDARDS SET FORTH BY THE MANUAL OF UNIFORM TRAFFIC DEVICES (MUTCD) AND FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD INDEX.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARLY IDENTIFYING THE AREA OF CONSTRUCTION AND SAFELY ROUTING ALL VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE CONSTRUCTION AREA. THE CONSTRUCTION AREA SHALL BE CLEARLY MARKED AT ALL TIMES.
14. CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE EROSION AND TURBIDITY CONTROLS IN ACCORDANCE WITH FDEP DURING AND FOLLOWING CONSTRUCTION UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED TO AVOID ADVERSE ENVIRONMENTAL IMPACTS TO OFF-SITE PROPERTY AND DRAINAGE SYSTEMS.
15. CONTRACTOR SHALL SEED AND MULCH (OR SOO AS APPLICABLE) ALL AREAS DISTURBED BY THE CONSTRUCTION OF THIS PROJECT ACCORDING TO LOCAL REGULATIONS.
16. CONTRACTOR SHALL GIVE THE ENGINEER AND BLOOD A MINIMUM OF 48 HOURS NOTICE OF ALL MEETINGS OR TESTING MEASURES REQUIRED TO BE WITNESSED BY THE CONSTRUCTION ACTIVITIES RELATED TO THE WORK.
17. THE CONTRACTOR SHALL SUBMIT THREE (3) SETS OF STANDARD SHOP DRAWINGS AND MANUFACTURER'S CATALOGS WITH THE MODEL NUMBER OR TYPE OF THE ITEM ENCLOSED OR OTHERWISE DESIGNATED. THE SUBMITTALS SHALL BEAR THE APPROVAL OF THE UNDERGROUND UTILITY CONTRACTOR. ALL UTILITY SHOP DRAWINGS WILL NEED TO BE APPROVED BY THE ENGINEER OF RECORD AND BLOOD PRIOR TO CONSTRUCTION.
18. THE CONTRACTOR SHALL SUBMIT THREE (3) SETS OF COMPLETE DETAILED SHOP DRAWINGS FOR ALL SANITARY MANHOLES, WET WELLS, OTHER CASTINGS, AND PUMPS. THE SUBMITTALS SHALL BEAR THE APPROVAL OF THE UNDERGROUND UTILITY CONTRACTOR ON EACH SHEET. A COMPLETE SET OF THE LIFT STATION ELECTRICAL SHOP DRAWINGS IS ALSO REQUIRED IF APPLICABLE. ALL UTILITY SHOP DRAWINGS WILL NEED TO BE APPROVED BY THE ENGINEER OF RECORD AND BLOOD PRIOR TO CONSTRUCTION.

GENERAL UTILITY NOTES:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MARION COUNTY LAND DEVELOPMENT CODE, AND BLOOD DETAILS AND SPECIFICATIONS, AS WELL AS ALL APPLICABLE STATE AND LOCAL REGULATIONS, EXCEPT AS MODIFIED HEREIN.
2. IF SOLVENT CONTAMINATION IS FOUND IN ANY TRENCH, WORK WILL BE STOPPED AND THE PROPER AUTHORITIES NOTIFIED. THE MARION COUNTY HEALTH DEPARTMENT MAY GRANT APPROVAL OF THE USE OF DUCTILE IRON PIPE, FITTINGS AND APPROVED SOLVENT RESISTANT GASKET MATERIAL IN THE CONTAMINATED AREA. DUCTILE IRON PIPE SHALL EXTEND AT LEAST 100 FEET BEYOND ANY CONTAMINATED AREA.
3. VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN AND PROFILE SHEETS HAVE BEEN ASSUMED. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION NEAR EXISTING UTILITIES SHOWN ON THE PLANS AND NOTIFY THE ENGINEER IF THE LOCATION DIFFERS FROM THAT SHOWN BEFORE CONTINUING WITH THE CONSTRUCTION.
4. UNSUITABLE MATERIALS UNDER PROPOSED PIPING SHALL BE REMOVED AND REPLACED WITH SELECT BACKFILL, PROPERLY COMPACTED TO 95% OF MAXIMUM DENSITY PER AASHTO 1-180.
5. FITTINGS SHALL BE USED AT LOCATIONS INDICATED ON THE PLANS, UNLESS OTHERWISE APPROVED BY THE ENGINEER.
6. THE LENGTH OF TRENCH OPEN AT ANY ONE TIME SHALL BE CONTROLLED BY THE PARTICULAR SURROUNDING CONDITIONS, BUT SHALL BE LIMITED TO 300 LINEAR FEET UNLESS APPROVED BY THE ENGINEER IN WRITING.
7. NO CONNECTIONS TO EXISTING POTABLE WATER SYSTEMS SHALL BE ALLOWED UNTIL ALL PROPOSED WATER LINES HAVE BEEN PRESSURE TESTED, DISINFECTED, CLEARED FOR SERVICE AND ACCEPTED BY THE BLOOD AND FDEP.
8. THE BACTERIOLOGICAL SAMPLE POINTS SHALL BE INDICATED IN RED ON THE "AS BUILT" DRAWINGS PRIOR TO THE REQUEST FOR A LETTER OF RELEASE TO PLACE THE CONSTRUCTION INTO SERVICE. THE SAMPLE NUMBERS WILL CORRESPOND TO THOSE ON THE BACTERIOLOGICAL SAMPLE LAB SHEETS.

WATER / SEWER SEPARATION:

1. PURSUANT TO F.A.C. 62-555.314, SANITARY SEWERS (INCLUDING LATERALS), FORCE MAINS, AND STORM SEWERS SHALL CROSS UNDER WATER MAINS WHENEVER POSSIBLE. FORCE MAINS AND STORM SEWERS CROSSING WATER MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 12 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. GRAVITY SEWERS CROSSING WATER MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM VERTICAL CLEARANCE OF 6" BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE.
2. PURSUANT TO F.A.C. 62-555.314, WHERE SANITARY SEWERS, FORCE MAINS AND STORM SEWERS MUST CROSS A WATER MAIN THE LENGTH OF PVC OR DUCTILE IRON PIPE BEING CROSSED SHALL BE A MINIMUM OF 10 FEET. THE POINT OF CROSSING SHALL BE CENTERED SO THAT THE JOINTS WILL BE EQUAL DISTANCE AND FAR AS POSSIBLE FROM WATER MAIN.
3. PURSUANT TO F.A.C. 62-555.314, WATER MAINS SHALL BE LOCATED AT LEAST 6 FEET (PREFERABLY 10 FEET) HORIZONTALLY FROM PIPES CARRYING RAW WASTEWATER, AND 3 FEET HORIZONTALLY FROM PIPES CARRYING RECLAIMED WATER, UNLESS OTHERWISE SPECIFICALLY SHOWN ON THE PLANS. THE DISTANCE SHALL BE MEASURED FROM INSIDE EDGE OF PIPE TO INSIDE EDGE OF PIPE.

WASTEWATER COLLECTION SYSTEMS

1. MATERIALS AND INSTALLATION FOR WASTEWATER COLLECTION SYSTEM INCLUDING, BUT NOT LIMITED TO, GRAVITY SEWERS, MANHOLES, SERVICE LATERALS, FOREMANS, LIFT STATIONS, AND TESTING REQUIREMENTS SHALL CONFORM TO SECTIONS 7.2 AND 7.3 OF THE MARION COUNTY LAND DEVELOPMENT CODE AND ALL APPLICABLE FDEP REGULATIONS. ALL PVC GRAVITY SEWER SHALL BE SDR-26.

WATER DISTRIBUTION SYSTEMS

1. MATERIALS AND INSTALLATION FOR WATER DISTRIBUTION SYSTEM INCLUDING, BUT NOT LIMITED TO, PIPE FITTINGS, VALVES, JOINT RESTRAINTS, FIRE HYDRANTS, SERVICE LINES, TESTING, AND DISINFECTION SHALL CONFORM TO SECTIONS 7.2 AND 7.3 OF THE MARION COUNTY LAND DEVELOPMENT CODE AND ALL APPLICABLE FDEP REGULATIONS. ALL PVC PIPE SHALL BE DR-18 UNLESS SPECIFIED OTHERWISE.

AS-BUILT NOTES:

1. CONTRACTOR SHALL MAINTAIN "AS-BUILT" INFORMATION ON A REGULAR BASIS. CONTRACTOR SHALL EMPLOY THE SERVICES OF A SURVEYOR REGISTERED IN THE STATE OF FLORIDA TO DETERMINE ALL "AS-BUILT" INFORMATION. WITHIN 14 DAYS OF THE COMPLETION OF THE WORK, CONTRACTOR SHALL PROVIDE SIGNED AND SEALED COPIES AND THE DIGITAL CAD FILE OF THE "AS-BUILT" DRAWINGS AND SUPPORTING SURVEY RECORDS TO THE ENGINEER.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PRODUCE, AS-BUILT DRAWINGS FOR ANY JURISDICTIONAL AGENCIES AS MAY BE REQUIRED FOR PROJECT CERTIFICATION.
3. AS-BUILT LAYERING SHALL FOLLOW BLOOD STANDARDS AS SHOWN BELOW:

WATER

- SYSTEM VALVES (MAIN VALVES, PLUG'S, ETC.)
- CONTROL VALVES (ARV'S, PRV'S, ETC.)
- FITTINGS
- HYDRANTS
- WATER SERVICE (SIZES 3/4", 1", 1-1/2", 2", ETC./MATERIAL, ETC.)
- WATER MAIN (SIZES 3/4", 1", 1-1/2", 2", ETC./MATERIAL, ETC.)

WASTEWATER

- CLEAN OUTS
- SYSTEM VALVES (MAIN VALVES, PLUG'S, ETC.)
- CONTROL VALVES (ARV'S, PRV'S, ETC.)
- FITTINGS
- MANHOLES (INVERT ELEVATIONS, RIM ELEVATIONS, ETC.)
- SEWER LATERALS (SIZES 3/4", 1", 1-1/2", 2", ETC./MATERIAL, ETC.)
- GRAVITY SEWER MAIN (SIZES 3/4", 1", 1-1/2", 2", ETC./MATERIAL, ETC.)
- FORCE MAINS (SIZES 3/4", 1", 1-1/2", 2", ETC./MATERIAL, ETC.)

Kimley»Horn
4700 W. 17TH AVENUE, SUITE 340
DENVER, CO 80202
WWW.KIMLEY-HORN.COM
PHONE: 303-438-2000
FAX: 303-438-2000
REGISTRY NO. 3006

ISSUED FOR PROJECT
2424246014
DATE
JUNE 2025
SCALE
AS SHOWN
DESIGNED BY
KHA
DRAWN BY
JAM
CHECKED BY
JAM
DATE
JUNE 2025
LICENSER PROFESSIONAL
GRACE ELIZABETH COLE, P.E.
FLORIDA LICENSE NUMBER
98031

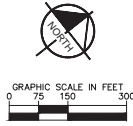
GENERAL NOTES

IRONS 9
PREPARED FOR
ON TOP OF THE WORLD
COMMUNITIES, L.L.C.
MARION COUNTY
FLORIDA

SHEET NUMBER
C01.02

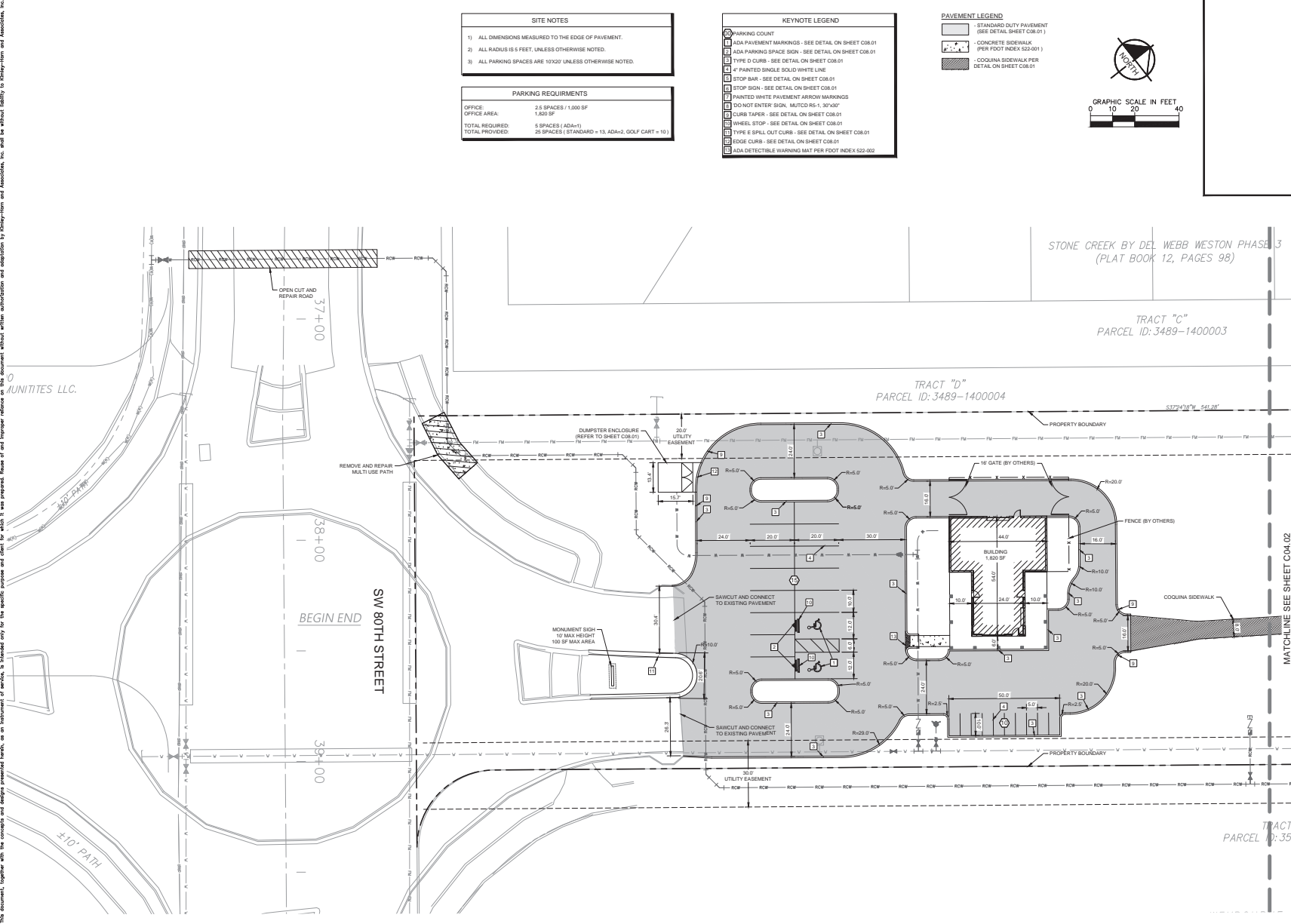
MAJOR SITE PLAN

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MAJOR SITE PLAN

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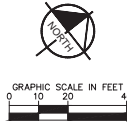


SITE NOTES	
1)	ALL DIMENSIONS MEASURED TO THE EDGE OF PAVEMENT.
2)	ALL RADII IS 5 FEET, UNLESS OTHERWISE NOTED.
3)	ALL PARKING SPACES ARE 10X20' UNLESS OTHERWISE NOTED.

PARKING REQUIREMENTS	
OFFICE:	2.5 SPACES / 1,000 SF
OFFICE AREA:	1,800 SF
TOTAL REQUIRED:	5 SPACES (ADA=1)
TOTAL PROVIDED:	25 SPACES (1 STANDARD = 13, ADA=2, GOLF CART = 10)

KEYNOTE LEGEND	
1	PARKING COUNT
2	ADA PAVEMENT MARKINGS - SEE DETAIL ON SHEET C08.01
3	ADA PARKING SPACE SIGN - SEE DETAIL ON SHEET C08.01
4	TYPE D CURB - SEE DETAIL ON SHEET C08.01
5	4" PAINTED SINGLE SOLID WHITE LINE
6	STOP BAR - SEE DETAIL ON SHEET C08.01
7	STOP SIGN - SEE DETAIL ON SHEET C08.01
8	PAINTED WHITE PAVEMENT ARROW MARKINGS
9	DO NOT ENTER SIGN, MUTCD RS-1, 30"x30"
10	CURB TAPER - SEE DETAIL ON SHEET C08.01
11	WHEEL STOP - SEE DETAIL ON SHEET C08.01
12	TYPE E SPILL OUT CURB - SEE DETAIL ON SHEET C08.01
13	EDGE CURB - SEE DETAIL ON SHEET C08.01
14	ADA DETECTIBLE WARNING MAT PER FOOT INDEX S22-002

PAVEMENT LEGEND	
1	STANDARD DUTY PAVEMENT (SEE DETAIL SHEET C08.01)
2	CONCRETE SIDEWALK (PER FOOT INDEX S22-001)
3	COQUINA SIDEWALK PER DETAIL ON SHEET C08.01



Kimley»Horn
20205 KIMLEY HORN AND ASSOCIATES, INC.
1700 SE 17TH AVENUE, SUITE 1447
PHOENIX, AZ 85008
WWW.KIMLEY-HORN.COM REGISTRY NO. 30106

LICENSURE PROFESSIONAL
GRACE ELIZABETH EGLE, P.E.
JULY 2025
SCALE AS SHOWN
DESIGNED BY KHA
DRAWN BY JAM
CHECKED BY JAM
FLORIDA LICENSE NUMBER 98031
DATE

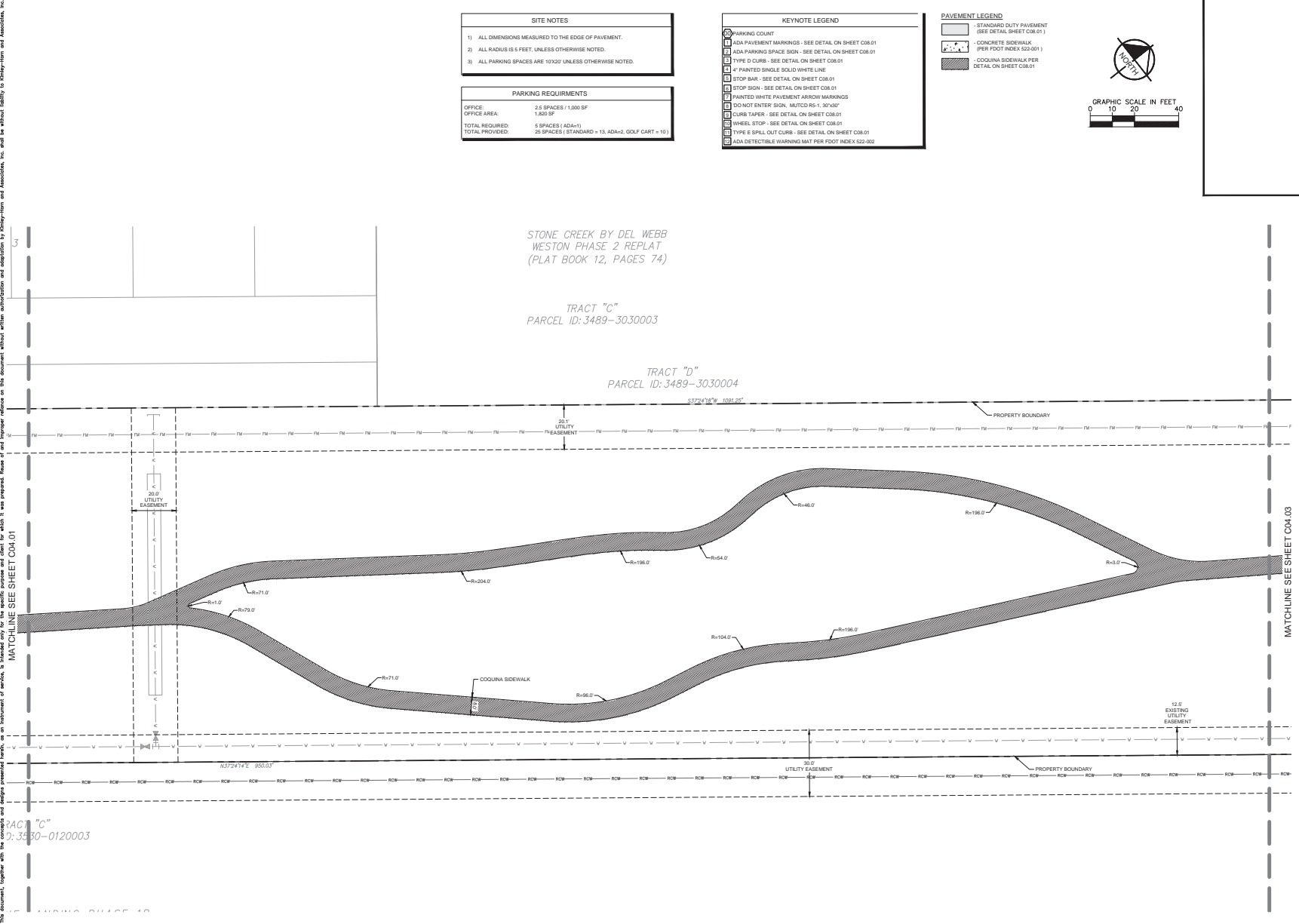
SITE PLAN

IRON 9
PREPARED FOR
ON TOP OF THE WORLD
COMMUNITIES, L.L.C.
MARION COUNTY
FLORIDA

SHEET NUMBER
C04.01

MAJOR SITE PLAN

Printed By: Egle, Grace Sheet: Sct: 04 Layout: C04.02 SITE PLAN June 25, 2025 10:22:13am K:\VOCAL\04\24248014-C04.02 SITE PLAN.dwg © 2025 KIMLEY-HORN AND ASSOCIATES, INC. All rights reserved. This document, together with the concepts and designs presented herein, is an instrument of service, it is intended only for the specific purpose and client for which it was prepared. None of the information contained herein shall be used for any other purpose without the written authorization and signature of Kimley-Horn and Associates, Inc. and be without liability to Kimley-Horn and Associates, Inc.

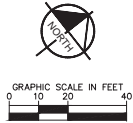


SITE NOTES	
1)	ALL DIMENSIONS MEASURED TO THE EDGE OF PAVEMENT.
2)	ALL RADIIUS IS 5 FEET, UNLESS OTHERWISE NOTED.
3)	ALL PARKING SPACES ARE 10X20' UNLESS OTHERWISE NOTED.

PARKING REQUIREMENTS	
OFFICE:	2.5 SPACES / 1,000 SF
OFFICE AREA:	1,800 SF
TOTAL REQUIRED:	5 SPACES (ADA=1)
TOTAL PROVIDED:	25 SPACES (1 STANDARD = 13, ADA=2, GOLF CART = 10)

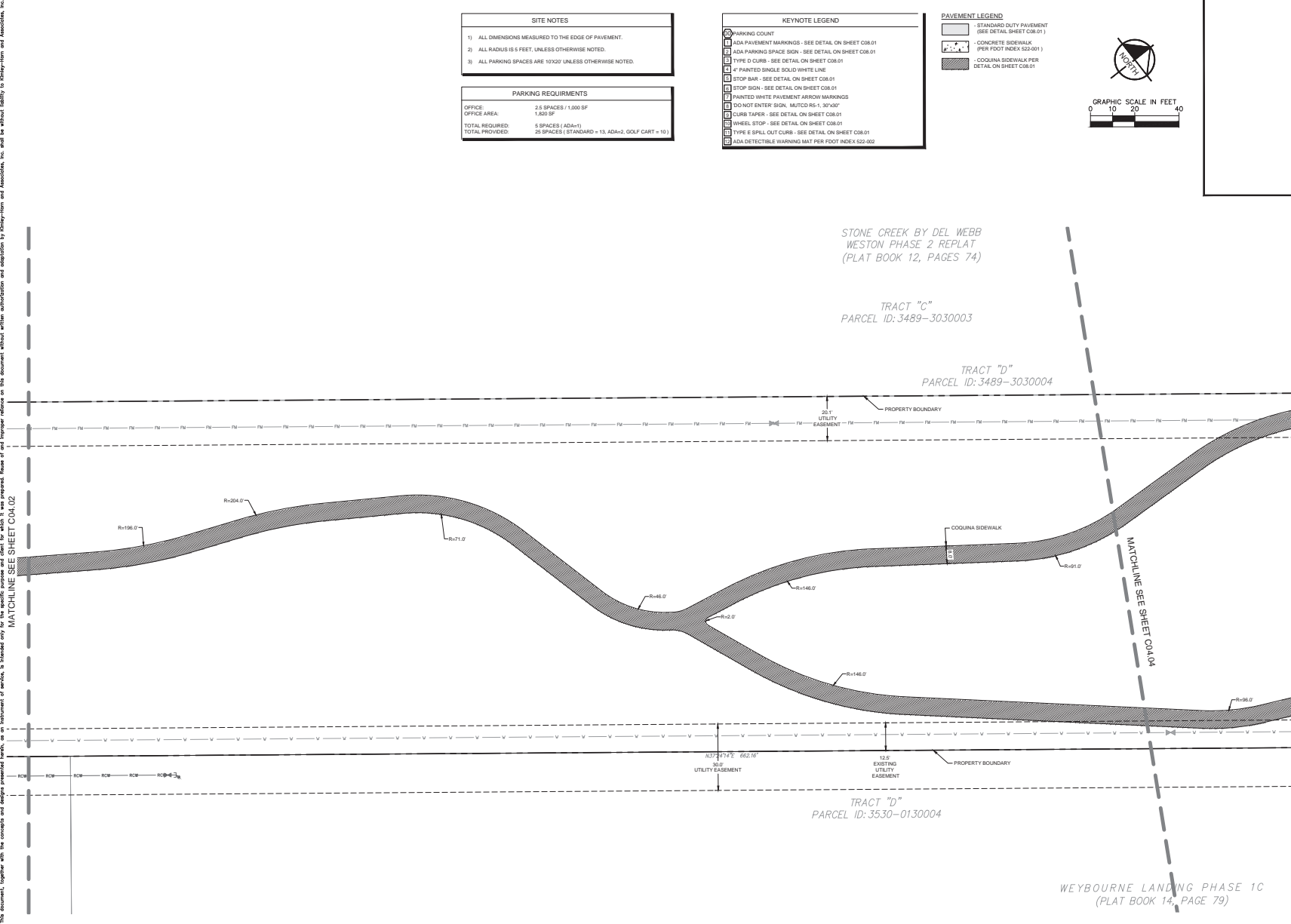
KEYNOTE LEGEND	
1	PARKING COUNT
2	ADA PAVEMENT MARKINGS - SEE DETAIL ON SHEET C08.01
3	ADA PARKING SPACE SIGN - SEE DETAIL ON SHEET C08.01
4	TYPE D CURB - SEE DETAIL ON SHEET C08.01
5	4" PAINTED SINGLE SOLID WHITE LINE
6	STOP BAR - SEE DETAIL ON SHEET C08.01
7	STOP SIGN - SEE DETAIL ON SHEET C08.01
8	PAINTED WHITE PAVEMENT ARROW MARKINGS
9	DO NOT ENTER SIGN - MUTCD RS-1, 30"x30"
10	CURB TAPER - SEE DETAIL ON SHEET C08.01
11	WHEEL STOP - SEE DETAIL ON SHEET C08.01
12	TYPE E SPILL OUT CURB - SEE DETAIL ON SHEET C08.01
13	ADA DETECTIBLE WARNING MAT PER FOOT INDEX 525-002

PAVEMENT LEGEND	
1	STANDARD DUTY PAVEMENT (SEE DETAIL SHEET C08.01)
2	CONCRETE SIDEWALK (PER FOOT INDEX 525-001)
3	COQUINA SIDEWALK PER DETAIL ON SHEET C08.01



IRONSON 9 PREPARED FOR ON TOP OF THE WORLD COMMUNITIES, L.L.C.	KIMLEY-HORN	
	PROJECT NO. 24248014	DATE: JUNE 2025
SHEET NUMBER C04.02	SCALE: AS SHOWN	FLORIDA LICENSE NUMBER: 98031
	DESIGNED BY: JAH	CHECKED BY: JAH
MARION COUNTY, FLORIDA		DATE:

Printed By: E694, Grace Sheet: Sct:04a Layout: C04.03 SITE PLAN June 25, 2025 10:22:18am K:\VOCAL\04\24248014-C04.03 SITE PLAN.dwg
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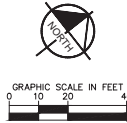


SITE NOTES	
1)	ALL DIMENSIONS MEASURED TO THE EDGE OF PAVEMENT.
2)	ALL RADII IS 5 FEET, UNLESS OTHERWISE NOTED.
3)	ALL PARKING SPACES ARE 10X20' UNLESS OTHERWISE NOTED.

PARKING REQUIREMENTS	
OFFICE:	2.5 SPACES / 1,000 SF
OFFICE AREA:	1,800 SF
TOTAL REQUIRED:	5 SPACES (ADA=1)
TOTAL PROVIDED:	25 SPACES (STANDARD = 13, ADA=2, GOLF CART = 10)

KEYNOTE LEGEND	
1	PARKING COUNT
2	ADA PAVEMENT MARKINGS - SEE DETAIL ON SHEET C08.01
3	ADA PARKING SPACE SIGN - SEE DETAIL ON SHEET C08.01
4	TYPE D CURB - SEE DETAIL ON SHEET C08.01
5	4" PAINTED SINGLE SOLID WHITE LINE
6	STOP BAR - SEE DETAIL ON SHEET C08.01
7	STOP SIGN - SEE DETAIL ON SHEET C08.01
8	PAINTED WHITE PAVEMENT ARROW MARKINGS
9	DO NOT ENTER SIGN, MUTCD RS-1, 30"x30"
10	CURB TAPER - SEE DETAIL ON SHEET C08.01
11	WHEEL STOP - SEE DETAIL ON SHEET C08.01
12	TYPE E SPILL OUT CURB - SEE DETAIL ON SHEET C08.01
13	ADA DETECTIBLE WARNING MAT PER FOOT INDEX 525-002

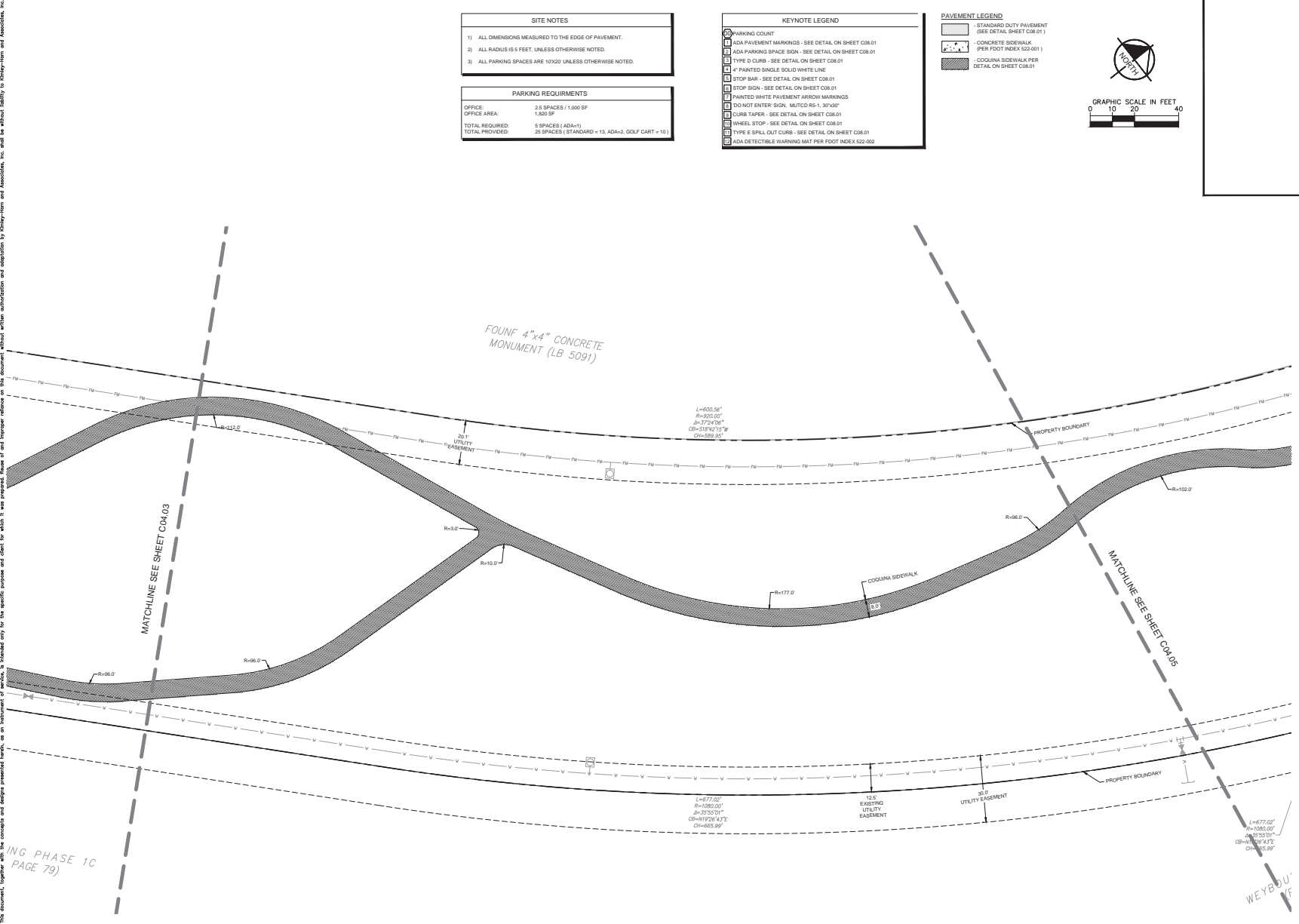
PAVEMENT LEGEND	
1	STANDARD DUTY PAVEMENT (SEE DETAIL SHEET C08.01)
2	CONCRETE SIDEWALK (PER FOOT INDEX 522-001)
3	COQUINA SIDEWALK PER DETAIL ON SHEET C08.01



IRON 9 PREPARED FOR ON TOP OF THE WORLD COMMUNITIES, L.L.C.		FLORIDA MARION COUNTY	
C04.03		SHEET NUMBER	
SITE PLAN		LICENSED PROFESSIONAL SPACE ELIZABETH GROLE P.E. JUNE 2025 SCALE AS SHOWN DESIGNED BY KHA DRAWN BY JAM CHECKED BY JAM	
Kimley»Horn		98031 FLORIDA LICENSE NUMBER	
© 2025 KIMLEY-HORN AND ASSOCIATES, INC. 1700 SE 17TH AVENUE, SUITE 1447 PINE BLUFF, AR 71601 WWW.KIMLEY-HORN.COM		REGISTRY NO. 30106	
REVISIONS		DATE	
DATE		BY	

MAJOR SITE PLAN

Printed By: Egle, Grace Sheet: S0100 Layout: C04.04 SITE PLAN June 25, 2025 10:22:23am K:\LOCAL\04\24248014-01\04 SITE PLAN.dwg
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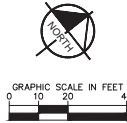


SITE NOTES	
1)	ALL DIMENSIONS MEASURED TO THE EDGE OF PAVEMENT.
2)	ALL RADII IS 5 FEET, UNLESS OTHERWISE NOTED.
3)	ALL PARKING SPACES ARE 10'X20' UNLESS OTHERWISE NOTED.

PARKING REQUIREMENTS	
OFFICE:	2.5 SPACES / 1,000 SF
OFFICE AREA:	1,800 SF
TOTAL REQUIRED:	5 SPACES (ADA=1)
TOTAL PROVIDED:	25 SPACES (STANDARD = 13, ADA=2, GOLF CART = 10)

KEYNOTE LEGEND	
1	PARKING COUNT
2	ADA PAVEMENT MARKINGS - SEE DETAIL ON SHEET C08.01
3	ADA PARKING SPACE SIGN - SEE DETAIL ON SHEET C08.01
4	TYPE D CURB - SEE DETAIL ON SHEET C08.01
5	4\"/>

PAVEMENT LEGEND	
1	STANDARD DUTY PAVEMENT (SEE DETAIL SHEET C08.01)
2	CONCRETE SIDEWALK (PER FOOT INDEX 522-001)
3	COQUINA SIDEWALK PER DETAIL ON SHEET C08.01



Kimley»Horn
22022 KIMLEY-HORN AND ASSOCIATES, INC.
1700 SE 17TH AVENUE, SUITE 340
FORT LAUDERDALE, FL 34471
PHONE: 352-438-2000
WWW.KIMLEY-HORN.COM REGISTRY NO. 30106

FLORIDA PROJECT NO.	242248014
DATE	JUNE 2025
SCALE	AS SHOWN
DESIGNED BY	KHA
DRAWN BY	JAM
CHECKED BY	JAM
DATE	

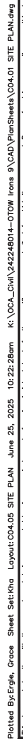
SITE PLAN

IRONS 9
PREPARED FOR
ON TOP OF THE WORLD COMMUNITIES, L.L.C.
MARION COUNTY
FLORIDA

SHEET NUMBER	C04.04
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MAJOR SITE PLAN

Plotted By: Grace Sheet Set: Kna Layout: C04.05 SITE PLAN June 25, 2025 10:22:28am K:\OCA_Civil\242248014-OTOW Irons 9\CAD\PlanSheets\C04.01 SITE PLAN.dwg




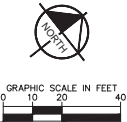
SITE NOTES	
1)	ALL DIMENSIONS MEASURED TO THE EDGE OF PAVEMENT.
2)	ALL RADIUS IS 5 FEET, UNLESS OTHERWISE NOTED.
3)	ALL PARKING SPACES ARE 10'X20' UNLESS OTHERWISE NOTED.

PARKING REQUIREMENTS	
OFFICE:	2.5 SPACES / 1,000 SF
OFFICE AREA:	1,820 SF
TOTAL REQUIRED:	5 SPACES (Ada+1)
TOTAL PROVIDED:	25 SPACES (STANDARD = 13, ADA=2, GOLF CART = 10)

KEYNOTE LEGEND	
	PAVING COUNT
	ADA PAVEMENT MARKINGS - SEE DETAIL ON SHEET C08.01
	ADA PARKING SPACE SIGN - SEE DETAIL ON SHEET C08.01
	TYPE D CURB - SEE DETAIL ON SHEET C08.01
	4" PAINTED SINGLE SOLID WHITE LINE
	STOP BAR - SEE DETAIL ON SHEET C08.01
	STOP SIGN - SEE DETAIL ON SHEET C08.01
	PAINTED WHITE PAVEMENT ARROW MARKINGS
	DO NOT ENTER SIGN, MUTCD R-5, 30"x30"
	CURB TAPER - SEE DETAIL ON SHEET C08.01
	WHEEL STOP - SEE DETAIL ON SHEET C08.01
	TYPE E SPLIT OUT CURB - SEE DETAIL ON SHEET C08.01
	ADA DETECTIBLE WARNING MAT PER FDOT INDEX S22-002

PAVEMENT LEGEND


	- STANDARD DUTY PAVEMENT (SEE DETAIL SHEET C08.01)
	- CONCRETE SIDEWALK (PER FOOT INDEX 522-001)
	- COQUINA SIDEWALK PER DETAIL ON SHEET C08.01



STONE CREEK BY DEL WEBB
WESTON PHASE 2 REPLAT
(PLAT BOOK 12, PAGES 74)










TRACT "C"
PARCEL ID: 3489-3030003

TRACT "D"
PARCEL ID: 3489-3030004

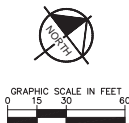
SHEET NUMBER C04.05	IRONS 9 PREPARED FOR ON TOP OF THE WORLD COMMUNITIES, L.L.C. MARION COUNTY FLORIDA	SITE PLAN	RWA PROJECT 2422-80114	LICENSED PROFESSIONAL	
			SCALE: AS SHOWN DATE: JUNE 2025	GRACE ELIZABETH EGLE, P.E. FLORIDA LICENSE NUMBER 95631	
			DESIGNED BY: RWA DRAWN BY: JGA CHECKED BY: JGA	DATE:	1700 SE 17TH STREET, SUITE 200, Ocala, FL 34471 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

MAJOR SITE PLAN



-  - PROPOSED SPOT ELEVATION
-  - PROPOSED CURB INLET
-  - PROPOSED DRAINAGE INLET
-  - PROPOSED STORM PIPE
-  - EXISTING CONTOURS
-  - PROPOSED CONTOURS
-  - PROPOSED FLOW DIRECTION ARROWS
-  - PROPOSED ROOF DRAIN CONNECTION (CONNECT PER ARCHITECTURAL PLANS)
-  - GRADE BREAK

1. ALL GRADES ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED.
2. ALL SIDEWALK CONSTRUCTION SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.00%.
3. UNLESS SPECIFICALLY NOTED STORM PIPE MATERIALS SHALL BE A-2000 PVC-HD STORM RIGID WALL WATER TIGHT HOPE, OR RCP, AND CONFORM WITH THE LATEST EDITION OF THE FDOT STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGE CONSTRUCTION.
4. ALL FINAL STORM DRAIN MATERIALS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND NOTED ON THE RECORD DRAWINGS.
5. ALL DISTURBED AREAS IN THE RIGHT-OF-WAY TO BE SOODED WITH BAHIA.
6. ROOF DRAIN CONNECTION SERVICE PIPES TO MAINTAIN 1.00% MINIMUM SLOPE. CONNECT TO MAIN STORM PIPES WITH WATERTIGHT, SEALED CONNECTION. CONTRACTOR TO USE INSERT-A-TEEG® PRODUCT OR EQUIVALENT APPROVED EJECT.



SHEET NUMBER C05.01	IRONS 9 PREPARED FOR ON TOP OF THE WORLD COMMUNITIES, L.L.C. MARION COUNTY FLORIDA	PAVING, GRADING, AND DRAINAGE PLAN	KWA PROJECT 242248014	LICENSED PROFESSIONAL GRADE ELIZABETH BRADLEY	 Kimley-Horn 67305 STREET-HORN ASSOCIATES INC. 1700 SE 17TH STREET, SUITE 200, OCALA, FL 34747 PHONE 352-243-5300 FAX 352-243-5301 WWW.KIMLEY-HORN.COM REGISTRATION NO. 35106
			DATE JUNE 2005	FLORIDA LICENSE NUMBER 916531	
			SCALE AS SHOWN	DESIGNED BY KWA	CHECKED BY JABA
					DATE JABA

Kimley»Horn

1700 SE 17TH STREET, SUITE 200, OCALA, FL 34471
PHONE: 352-438-3000
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106
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KHA PROJECT 24.22.48014	DATE JUNE 2025	SCALE AS SHOWN	DESIGNED BY KHA	DRAWN BY KHA	CHECKED BY KHA	DATE:	FLORIDA LICENSE NUMBER 99531	GRACE ELIZABETH ERGLE, P.E.	LICENSED PROFESSIONAL
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PAVING, GRADING,
AND DRAINAGE

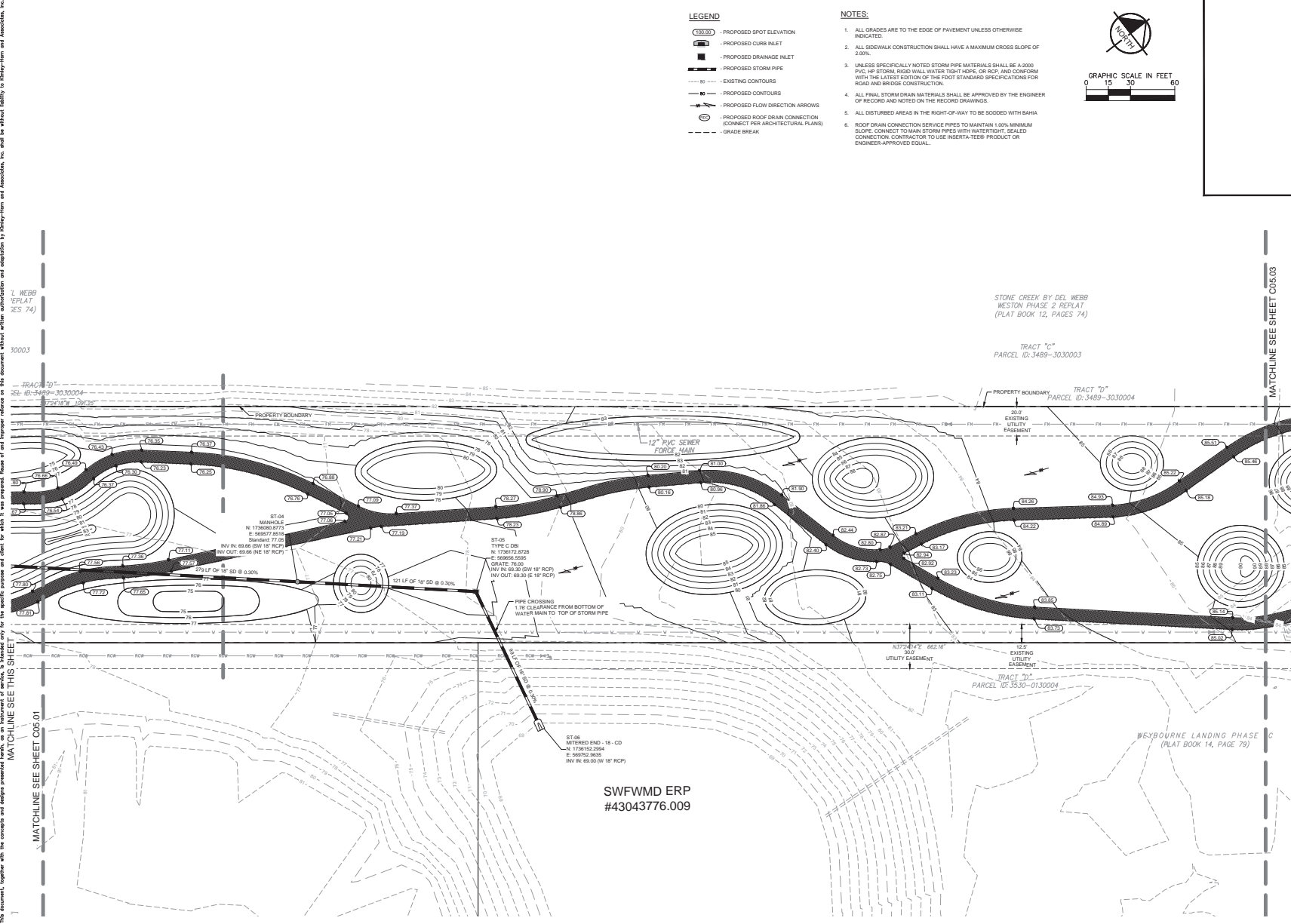
PLAN

IRONS 9
PREPARED FOR
ON TOP OF THE WORLD
COMMUNITIES, L.L.C.

SHEET NUMBER
C05.01

MAJOR SITE PLAN

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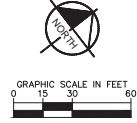


LEGEND

- PROPOSED SPOT ELEVATION
- PROPOSED CURB INLET
- PROPOSED DRAINAGE INLET
- PROPOSED STORM PIPE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED FLOW DIRECTION ARROWS
- PROPOSED ROOF DRAIN CONNECTION (CONNECT PER ARCHITECTURAL PLANS)
- GRADE BREAK

NOTES:

- ALL GRADES ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED.
- ALL SIDEWALK CONSTRUCTION SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.00%.
- UNLESS SPECIFICALLY NOTED STORM PIPE MATERIALS SHALL BE A-2000 PVC 18\"/>



Kimley»Horn
20205 KIMLEY HORN AND ASSOCIATES, INC.
1700 SE 17TH AVENUE, SUITE 1447
MIAMI, FL 33135
PHONE: 305-438-2000
WWW.KIMLEY-HORN.COM REGISTRY NO. 30106

LICENSED PROFESSIONAL
KHA PROJECT
242248014
JUNE 2025
SCALE: AS SHOWN
DESIGNED BY: KHA
DRAWN BY: JAM
CHECKED BY: JAM
DATE: 6/25/25
SPRACE ELIZABETH GOSSETT
FLORIDA LICENSE NUMBER: 98031

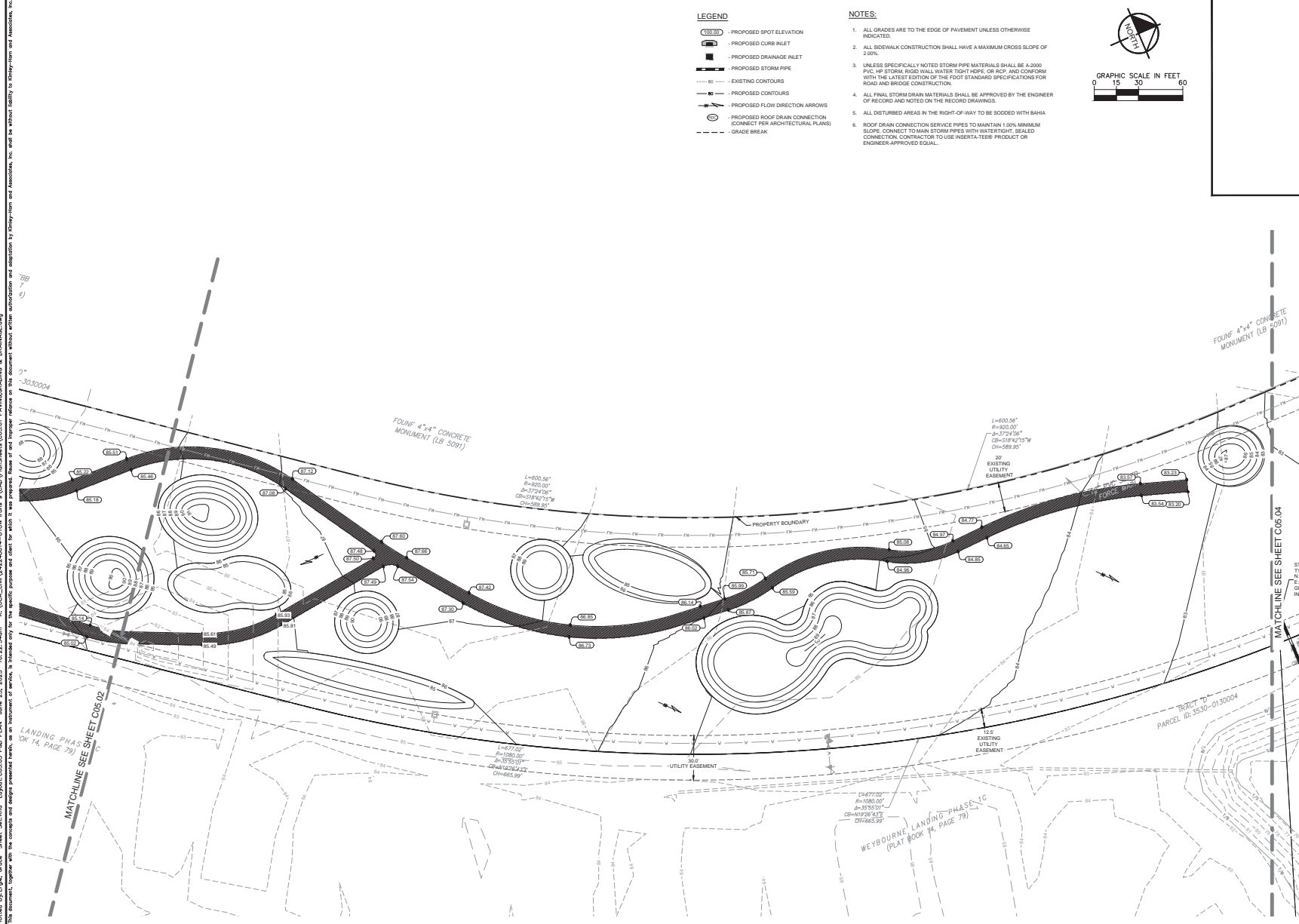
PAVING, GRADING,
AND DRAINAGE
PLAN

IRONS 9
PREPARED FOR
ON TOP OF THE WORLD
COMMUNITIES, L.L.C.
MARION COUNTY
FLORIDA

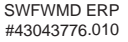
SHEET NUMBER
C05.02










MAJOR SITE PLAN

REVISIONS	DATE	BY

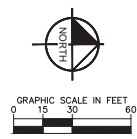


SHEET NUMBER		C05.03	
IRONS 9 PREPARED FOR ON TOP OF THE WORLD COMMUNITIES, L.L.C.		PAVING, GRADING, AND DRAINAGE PLAN	
MARION COUNTY		FLORIDA	
KHA PROJECT 242248014		LICENSED PROFESSIONAL	
DATE JUNE 2005		GRACE ELIZABETH EGLE, P.E.	
SCALE: AS SHOWN		FLORIDA LICENSE NUMBER 95051	
DESIGNED BY KHA		DRAWN BY JAMA	
CHECKED BY JAMA		Kimley»Horn 62020 KIMLEY-HORN AND ASSOCIATES, INC. 1700 SE 17TH STREET, SUITE 200A, FLA. 33471 PHONE: 407-596-4600 WWW.KIMLEY-HORN.COM REGISTRY NO. 30106	
No		REVISIONS	
DATE		BY	



-  - PROPOSED SPOT ELEVATION
-  - PROPOSED CURB INLET
-  - PROPOSED DRAINAGE INLET
-  - PROPOSED STORM PIPE
-  - EXISTING CONTOURS
-  - PROPOSED CONTOURS
-  - PROPOSED FLOW DIRECTION ARROWS
-  - PROPOSED ROOF DRAIN CONNECTION
(CONNECT PER ARCHITECTURAL PLANS)
-  - GRADE BREAK

1. ALL GRADES ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED.
2. ALL SIDEWALK CONSTRUCTION SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.00%.
3. UNLESS SPECIFICALLY NOTED STORM PIPE MATERIALS SHALL BE A-2000 PVC, 8" STORM, RIGID WALL WATER TIGHT HOPE, OR RCP, AND CONFORM WITH THE LATEST EDITION OF THE FOOT STANDARD SPECIFICATIONS FOR RIGID PIPE FOR CONSTRUCTION.
4. ALL FINAL STORM DRAIN MATERIALS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND NOTED ON THE RECORD DRAWINGS.
5. ALL DISTURBED AREAS IN THE RIGHT-OF-WAY TO BE SOODED WITH BAHIA.
6. ROOF DRAIN CONNECTION SERVICE PIPES TO MAINTAIN 1/4" MINIMUM SLOPE, CONNECT TO MAIN STORM PIPES WITH WATERTIGHT, SEALED CONNECTIONS. CONTRIBUTE TO USE INSERT-A-TUBE PRODUCT OR ENGINEER-APPROVED EQUIV.

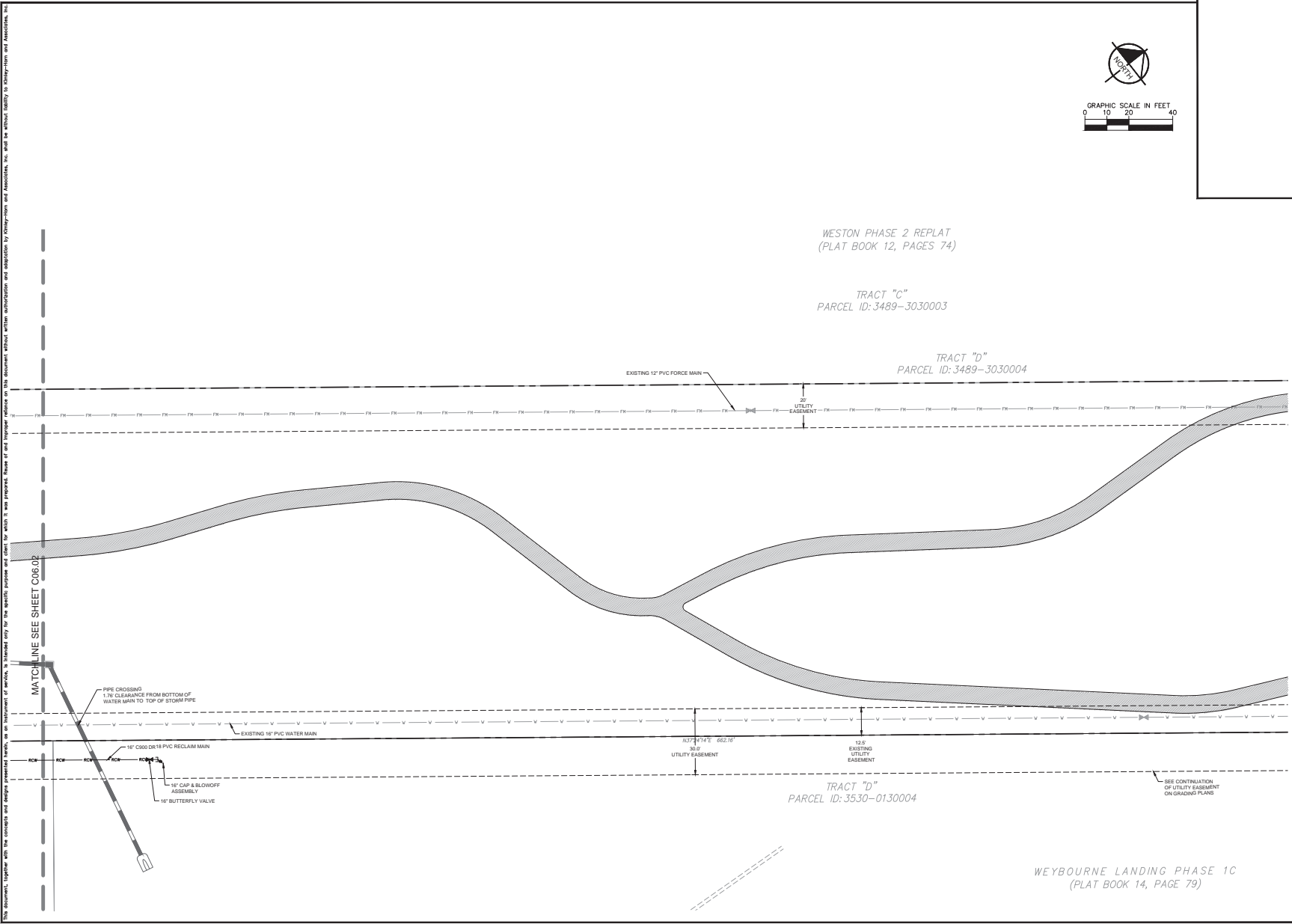


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1700 SE 17TH STREET, SUITE 200, OCALA, FL 34471
PHONE: 352-438-2000
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MAJOR SITE PLAN

Printed By: Ege, Grace Sheet: Section Layout: C06.03 UTILITY PLAN June 25, 2025 10:23:24am K:\ODA_Civil\242248014-OTDR Irons 9\CAD\Drawings\C06.03 UTILITY PLAN.dwg
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Kimley»Horn © 2025 KIMLEY-HORN AND ASSOCIATES, INC. 1700 SE 17TH AVENUE, SUITE 340 PINE BLUFF, SC 29122 WWW.KIMLEY-HORN.COM REGISTRY NO. 30106	LICENSED PROFESSIONAL	
	NAME GRACE ELIZABETH GROLE	FLORIDA LICENSE NUMBER 98031
IRONS 9 PREPARED FOR ON TOP OF THE WORLD COMMUNITIES, L.L.C. MARION COUNTY FLORIDA	MAJOR PROJECT 242248014	
	DATE JUNE 2025	
C06.03	SCALE AS SHOWN	
	DESIGNED BY KHA	
DRAWN BY JMA		CHECKED BY JMA
DATE		DATE

MAJOR SITE PLAN

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DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	DATE:
JUNE 2025	AS SHOWN	KHA	KHA	KHA	

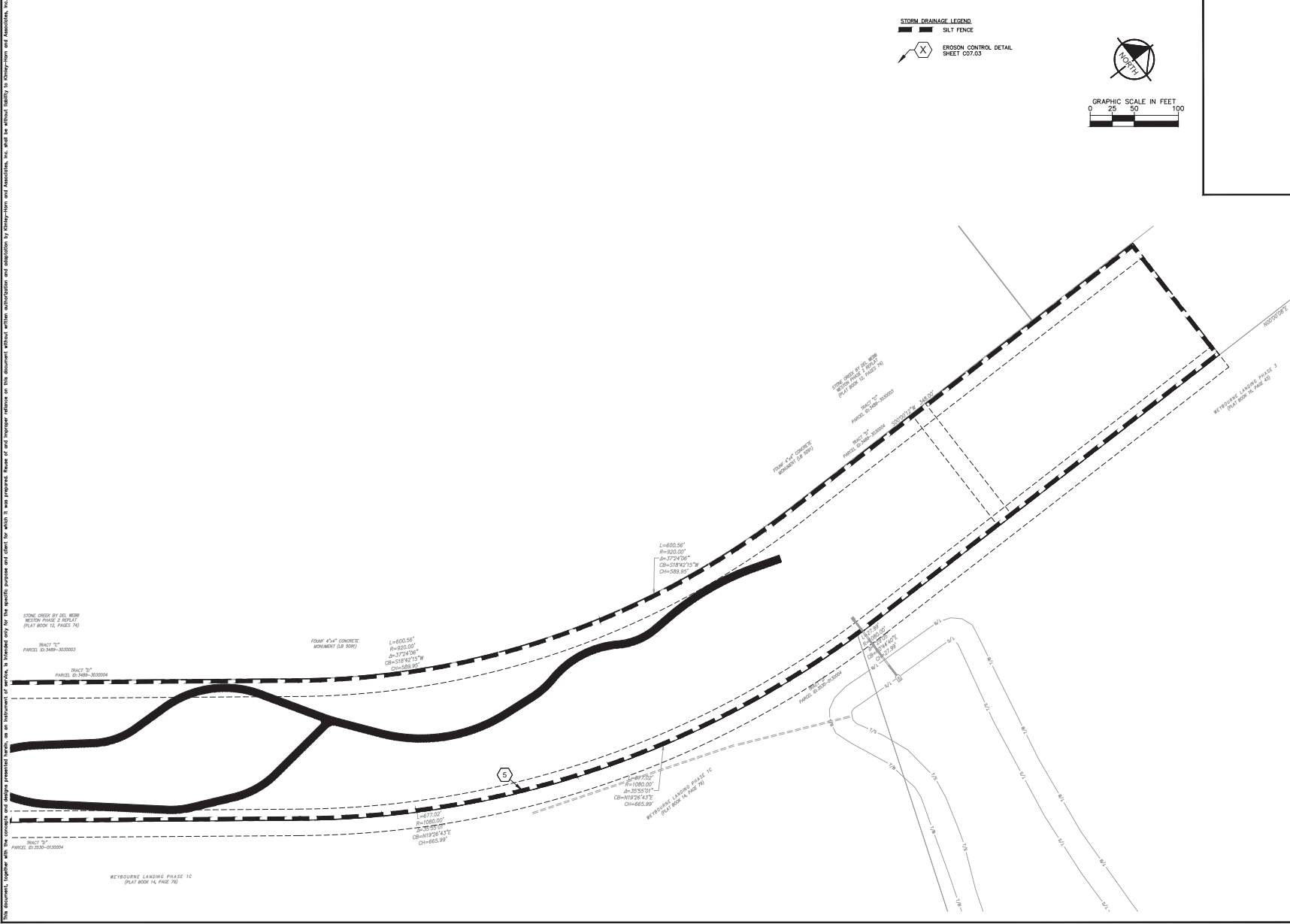
KHA PROJECT
 242248014
 LICENSED PROFESSIONAL
 GRACE ELIZABETH EGGLE, P.E.
 FLORIDA LICENSE NUMBER
 99631

Kimley»»Horn
©2025 KIMLEY-HORN AND ASSOCIATES, INC.
1700 SE 17TH STREET, SUITE 200, OCALA, FL 34471
PHONE: 352-438-3000
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

No.	REVISIONS	DATE	BY

MAJOR SITE PLAN

Printed By: E694, Grace Sheet: Section Layout: C07.02 EROSION CONTROL PLAN July 17, 2022 01:04:08pm K:\CADD\cadd\242248014-OTOW Irons 9\OAD\PlanSheet\C07.01 EROSION CONTROL.dwg
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IRON 9 PREPARED FOR ON TOP OF THE WORLD COMMUNITIES, L.L.C.	MARION COUNTY FLORIDA	EROSION CONTROL PLAN		KIMLEY-HORN 242248014 JULY 2022 SCALE: AS SHOWN DESIGNED BY: KHA DRAWN BY: JAM CHECKED BY: JAM	LICENSED PROFESSIONAL SPACE ELIZABETH ERIC LEE FLORIDA LICENSE NUMBER 98031	KIMLEY-HORN 2300 N. MILITARY AVENUE, SUITE 1447 TALLAHASSEE, FL 32310 WWW.KIMLEY-HORN.COM REGISTRY NO. 30106
		SHEET NUMBER C07.02				

MAJOR SITE PLAN

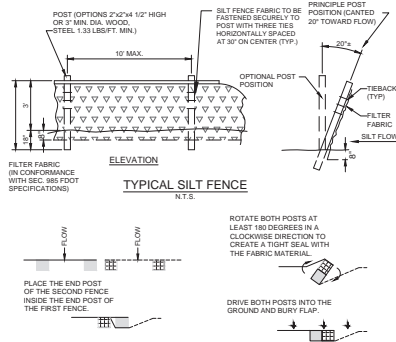


FIGURE 1

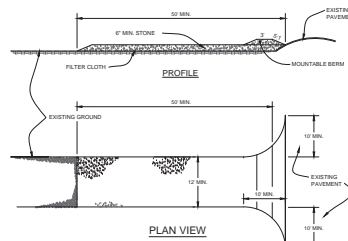


FIGURE 8

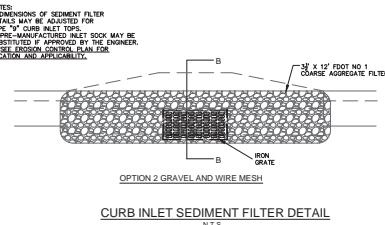
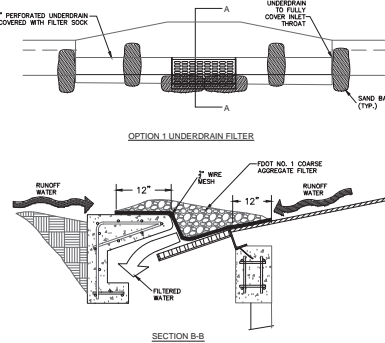
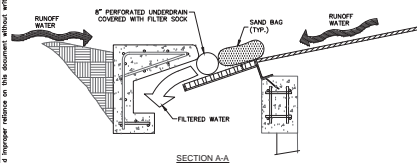


FIGURE 5

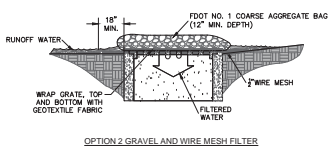
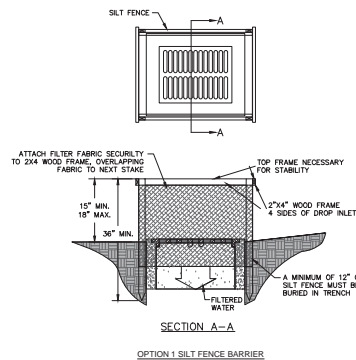
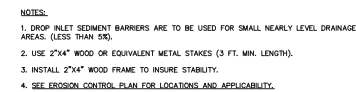
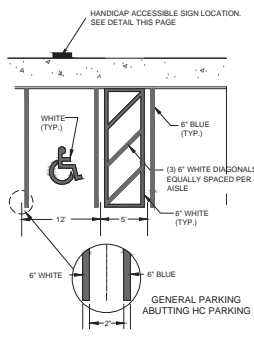


FIGURE 6

No.	REVISIONS	DATE	BY

SHEET NUMBER C07.03	IRON 9 PREPARED FOR ON TOP OF THE WORLD COMMUNITIES, L.L.C. MARION COUNTY FLORIDA	EROSION CONTROL DETAILS				LICENSED PROFESSIONAL			
		KMA PROJECT 242248014	DATE JUNE 2025	SCALE AS SHOWN	DESIGNED BY KMA	GRACE ELIZABETH ERGLE, P.E.			KIMLEY-HORN 6225 KIMLEY-HORN ASSOCIATES, INC. 1700 SE 17TH STREET, SUITE 200, OCALA, FL 34771 PHONE: 352-438-3500 WWW.KIMLEY-HORN.COM REGISTRATION NO. 35096
		DRAWN BY JAMA	FLORIDA LICENSE NUMBER 91653.1						
		CHECKED BY JAMA		DATE					

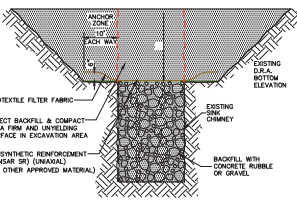
Printed By: Ergle, Grace Sheet: Section Layout: C08.01 Date: July 17, 2025 01:04:38pm K:\VCA_Civil\24245014-C08.01 Civil Details\DWG C08.01 CIVIL DETAILS.dwg K:\VCA_Civil\24245014-C08.01 Civil Details\DWG C08.01 CIVIL DETAILS.dwg This document, together with the concepts and designs presented herein, is an instrument of service, to be used only for the specific purpose and client for which it was prepared. Reuse of any part of this document without written authorization and signature of Kimley-Horn and Associates, Inc. and be without liability to Kimley-Horn and Associates, Inc.



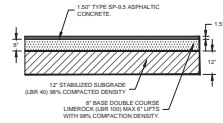
- NOTES:
1. WHEN HEADER CURB IS USED IN LIEU OF WHEEL STOPS, SIDEWALK ABUTTING CURB MUST BE WIDENED BY 18" SO THAT THE TOTAL SIDEWALK WIDTH IS 6' ALLOWING FOR 4" MINIMUM CLEAR ACCESSIBLE ROUTE.
 2. FOR COMPLETE DETAIL OF HANDICAPPED SIGN, REFER TO HANDICAP SIGN DETAIL.
 3. NO RAMP IS REQUIRED WHEN SIDEWALK IS FLUSH WITH PAVEMENT. SEE GRADING PLAN.
 4. ALL PARKING STRIPES SHALL BE 6" IN WIDTH.
 5. SEE F.O.D.T. INDEX T11.601 FOR THE MOST CURRENT DETAIL.
 6. MUST COMPLY WITH ADA REQUIREMENTS.

HANDICAP SPACE STRIPING DETAIL
P00148A.DWG N.T.S.

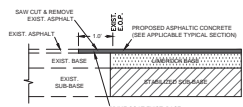
- NOTES:
1. IF LIMESTONE IS ENCOUNTERED OR A SINKHOLE OR SOLUTION PIPE FORMS DURING CONSTRUCTION, CONSTRUCTION OF THE BASIN MUST BE HALTED AND THE PROJECT GEOTECHNICAL ENGINEER MUST BE NOTIFIED IMMEDIATELY.
 2. THE SINKHOLE OR SOLUTION PIPE MUST BE REPAIRED WITHIN 10 DAYS OF THE DISCOVERY USING A DISTRICT APPROVED METHOD.
 3. THE STORMWATER SYSTEM MUST BE INSPECTED MONTHLY FOR THE OCCURRENCE OF SINKHOLES OR SOLUTION PIPES.



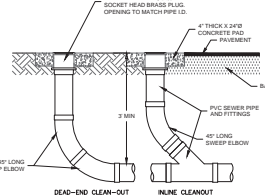
TYPICAL SINK CHIMNEY REPAIR DETAIL
N.T.S.



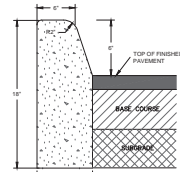
TYPICAL STANDARD DUTY PAVEMENT SECTION
P00138A.DWG N.T.S.



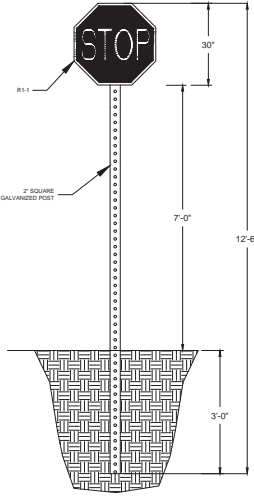
NEW ASPHALT PAVEMENT TIE-IN TYPICAL SECTION
P00143A.DWG N.T.S.



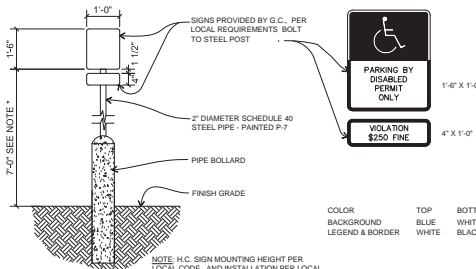
SANITARY CLEAN-OUT (6" AND SMALLER MAINS)
S00050A.DWG N.T.S.



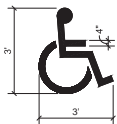
TYPE "D" CURB
P00122A.DWG N.T.S.



30" STOP SIGN DETAIL
NOT TO SCALE



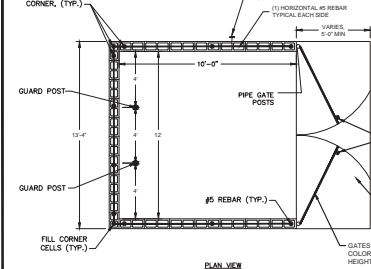
HANDICAP SIGN DETAIL
N.T.S.



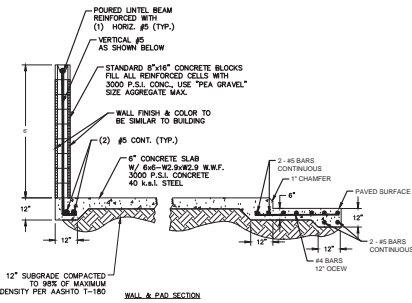
HANDICAP SYMBOL
N.T.S.



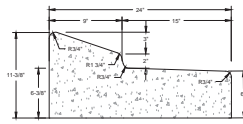
PROPORTIONING GUIDE



DUMPSTER ENCLOSURE DETAIL
N.T.S.



CONCRETE WHEEL STOP
P00105A.DWG N.T.S.



TYPE "E" SPILL OUT CURB
N.T.S.

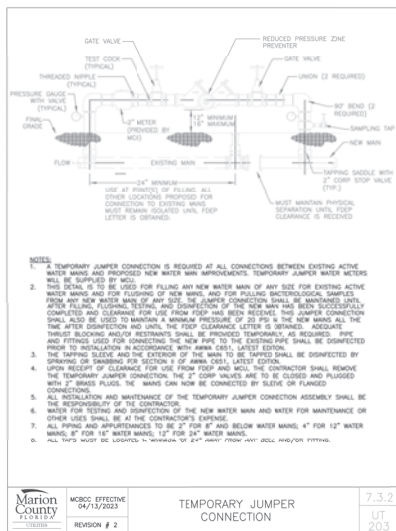
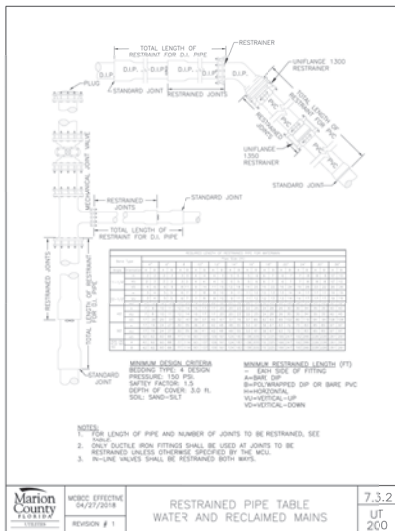
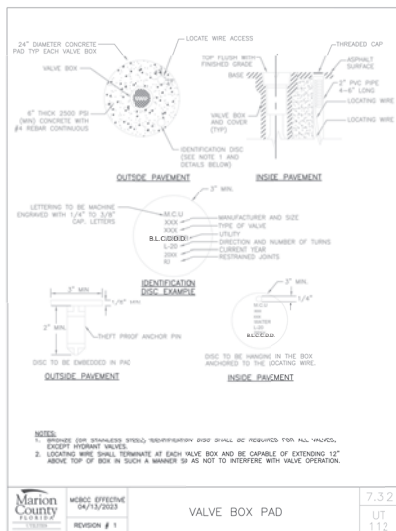
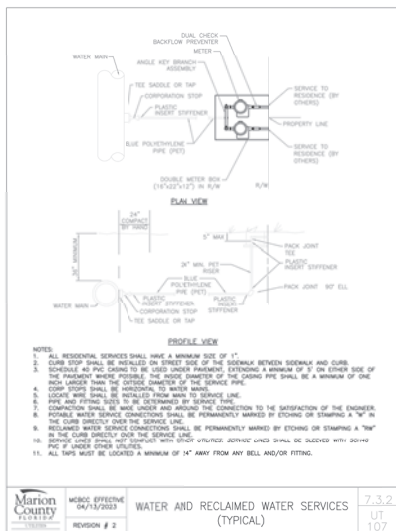
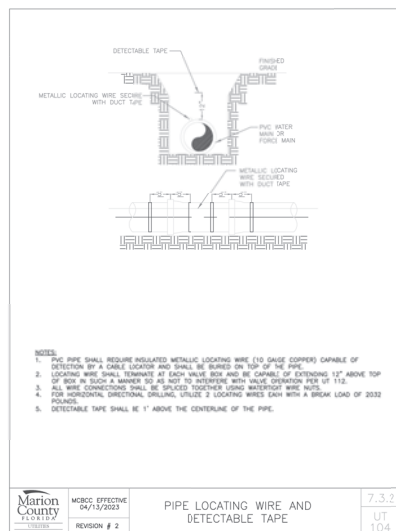
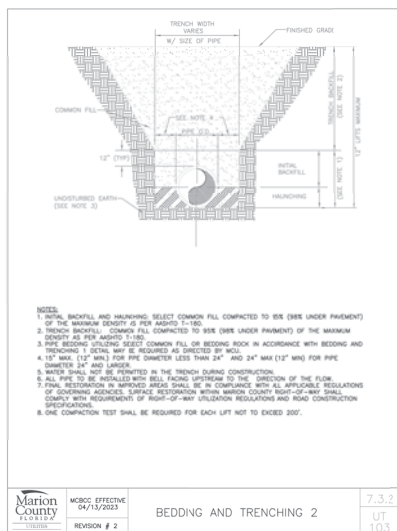
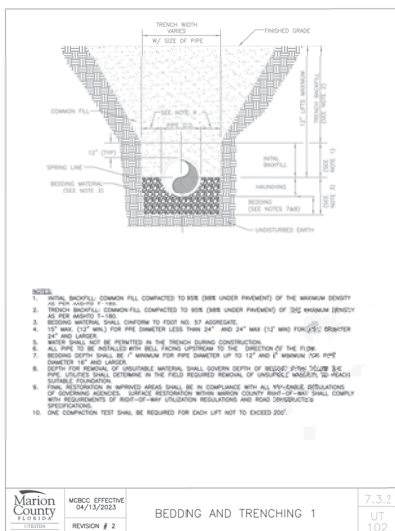
Kimley»Horn
2025 KIMLEY-HORN AND ASSOCIATES, INC.
1700 SE 17TH AVE., SUITE 1447
FORT LAUDERDALE, FL 33471
PHONE: 352-438-3000
WWW.KIMLEY-HORN.COM REGISTRY NO. 35006

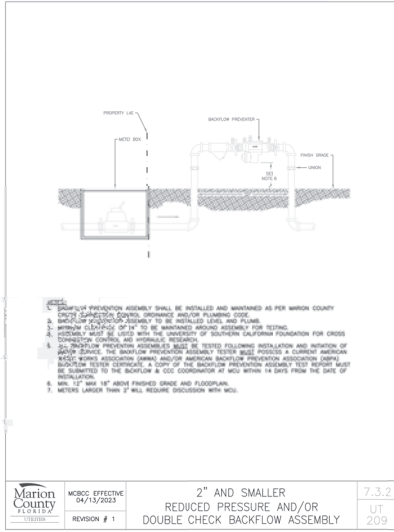
LICENSED PROFESSIONAL
KIMLEY-HORN PROJECT
24245014
JULY 2025
SCALE: AS SHOWN
DESIGNED BY: KHA
DRAWN BY: JSA
CHECKED BY: JSA
DATE: 9/8/21
SPICE ELIZABETH GROLE, P.E.
FLORIDA LICENSE NUMBER
99831

CIVIL DETAILS

IRON 9
PREPARED FOR
ON TOP OF THE WORLD
COMMUNITIES, L.L.C.
MARION COUNTY
FLORIDA
SHEET NUMBER
C08.01
MAJOR SITE PLAN







NOTES:

1. ELECTRICAL SYSTEM COMPONENTS IN THE WET WELL SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE REQUIREMENTS

NOTE: To receive the 10-hour course credit, you will be given an exam. Contact your local chapter for more information.

Factory Set Control Levels					
MODELS	OFF LEVEL	ON LEVEL	ALARM LEVEL	VOLUME PER PUMP CYCLE	TOTAL BASIN CAPACITY
D14-40	17-133 mm	20-164 mm	52-179 mm	85 gal (321 L)	251 gal (959 L)
D14-50	17-133 mm	20-164 mm	54-183 mm	86 gal (324 L)	264 gal (999 L)
D14-75	17-133 mm	21-178 mm	57-188 mm	91 gal (343 L)	274 gal (1036 L)
D14-100	17-133 mm	24-96 mm	60-193 mm	92 gal (348 L)	282 gal (1068 L)
D14-150	17-133 mm	27-94 mm	63-197 mm	106 gal (401 L)	302 gal (1138 L)
D14-200	17-184 mm	41-109 mm	69-224 mm	126 gal (480 L)	326 gal (1238 L)

MAJOR SITE PLAN

41.1 Reclaimed Water

41.2 Standards

41.22.1 In addition to the current Marion County Land Development Code (LDC) minimum requirements, the District has adopted the Florida Friendly Landscaping Practices for all customers utilizing the District's potable water and/or irrigation quality water systems for irrigation purposes. All customer landscaping and irrigation systems must be designed, constructed, and operated in accordance with these specifications as outlined in "The Florida Yard & Neighborhood Handbook - 2015" and "The Florida Friendly Landscaping™ Guide to Plant Selection & Landscape Design". These documents are available for review at the District's administrative office or online at the following locations:

Any requests for deviations from these specifications may be requested in writing to the District. Authorization for the deviation, if approved, shall be in writing from the District. Verbal communications shall not constitute a valid request and only written approvals or authorizations to proceed with the changes will be recognized.

41.2.4 All uses of reclaimed water shall be in accordance with applicable rules of the FDEP, other regulatory bodies having jurisdiction, and the District's Cross Connection Control Program.

41.2.6 The District shall require meters for all irrigation connections unless already metered by a residential connection. It is the intent of the District to maximize the use of irrigation quality water in lieu of potable water. However, at times it may be necessary to limit a customer's use of potable water or irrigation quality water based on supply availability.

The following additional requirements shall apply to all customers installing new landscaping, or retrofitting or replacing an existing commercial irrigation system.

41.4.2 Irrigation for all shrub beds shall be point source drip irrigation not exceeding two (2) gph for shrubs three (3) gallon and larger, shrubs one (1) gallon and smaller shall be irrigated with low volume emitters. Subsurface drip line with preexisting emitters may be authorized at the Districts discretion based on the spacing of plant material.

41.4.4 All irrigation systems shall be installed with a "normally closed" master valve assembly and flow monitoring controller;

41.4.8 All irrigation zones shall have matched precipitation rates for best coverage;

41.4.10 All irrigation installations will include backflow prevention assembly approved by the District. If a chemical injection system is present for any reason, a reduced pressure principle backflow assembly is required, see the District's cross

41.4.14 All additional or more stringent landscape/irrigation requirements imposed by the Water Management District, and/or Marion County Land Development Code, as amended from time to time, are incorporated into and made a part of this policy and shall control over less stringent requirements in this policy.

[illegible]

PREPARED FOR:
Kimley Horn

IRRIGATION SPECIFICATIONS

ley

argued. But



PROJECT NO.:
KHA025-01.01

DRAWN BY: JHB

DESIGNED BY:
DUD / III

CHECKED BY:

SHEET NO

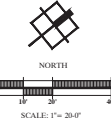
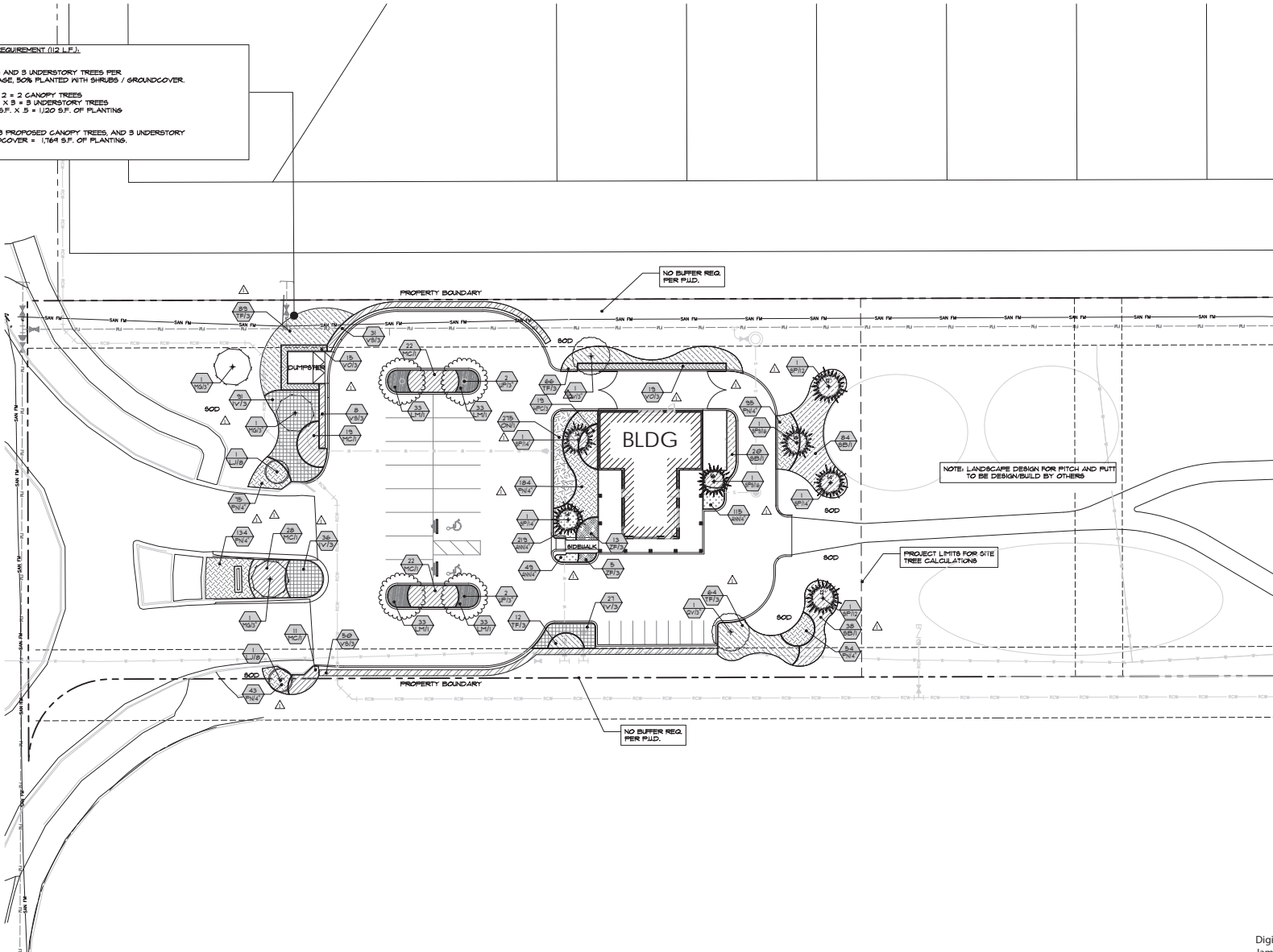
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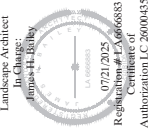
TYPE C' BUFFER REQUIREMENT (112 L.F.)

-15' WIDE
-2 CANOPY TREES AND 3 UNDERSTORY TREES PER
100 L.F. ON AVERAGE, 50% PLANTED WITH SHRUBS / GROUND COVER.
112 L.F./100' = 112 X 2 = 2 CANOPY TREES
112 X 3 = 3 UNDERSTORY TREES
112 X 20' = 2240 S.F. X 3 = 6720 S.F. OF PLANTING
PROVIDED:
-CANOPY TREES, 3 PROPOSED CANOPY TREES, AND 3 UNDERSTORY
-SHRUBS / GROUND COVER = 1,164 S.F. OF PLANTING.



NO.	DATE	DESCRIPTION
1	04/14/25	INITIAL CONCEPT SUBMITTAL
2	06/24/25	REVISIONS PER SITE PLAN CHANGES
3	07/21/25	REVISIONS PER COUNTY COMMENTS
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Irons 9
PERMIT / CONSTRUCTION PLANS
MARION COUNTY, FLORIDA
PREPARED FOR:
KIMLEY HORN
LANDSCAPE PLAN



DATE: 02-24-25
PROJECT NO: KHA025-01.01
DRAWN BY: JHB
DESIGNED BY: BHR/JHB
CHECKED BY: BHR

SHEET NO.
L.01

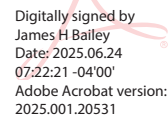
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James H Bailey
Date: 2025.07.21
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CODE	QTY	BOTANICAL NAME	COMMON NAME	REMARKS
CANOPY TREES				
MGA15'	3	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	CONT. OR RFG. 15' HT., 7"-8" SFR., 3.5" CAL. MN.
QV15'	2	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	65 GAL. OR RFG. 12"-13" HT., 6"-7" SFR., 3.5" CAL. MN.
UP15'	4	ULMUS PARVIFLUA 'EMER I'	EMER I' ALLEE ELM	65 GAL. OR RFG. 12"-14" HT. X 5"-6" SFRD., 3.5" CAL. MN.
UNDERSTORY TREES				
LJ18'	2	LIQUISTRUM JAPONICUM	JAPANESE PRIVET	RFG. 8"-9" X 8"-9", MULTI-TRUNK, 5 TRUNKS MN. 1" CAL. PER TRUNK, TOTAL OF 5" CAL. FOR ALL TRUNKS COMBINED, TIGHTLY AND SYMMETRICALLY PRUNED
PALM TREES				
SP112'	2	SABAL PALMETTO	CABBAGE PALMETTO	12' CT., NON-BOOTED, HURRICANE-CUT
SP616'	2	SABAL PALMETTO	CABBAGE PALMETTO	18' CT., NON-BOOTED, REGENERATED HEADS
SP114'	3	SABAL PALMETTO	CABBAGE PALMETTO	14' CT., NON-BOOTED, REGENERATED HEADS; NATIVE
SHRUB AREAS				
IPC13'	15	WAMELIA PATENS 'COMPACTA'	DWARF SCARLET BUSH	3 GAL/15"-18" HT., 15"-18" SFR., 14" HT MN., 30" O.C.
WV15'	154	ALEX VOMITORIA 'NANA'	DWARF YALPON	3 GAL., 14"-15" HT., 14"-18" SFR./14" HT MN., 30" O.C. NATIVE
TF13'	231	TRIPSSACUM FLORIDANUM	DWARF FAKAHATCHEE GRASS	3 GAL., 24" X 24", 30" O.C.
VO13'	34	VIURNUM COORATISSIMUM	SWEET VIURNUM	3 GAL., 18"-24" X 18"-24", 18" HT MN., 36" O.C.
VS13'	89	VIURNUM SUSPENSUM	SANDANKUWA VIURNUM	3 GAL., 18"-20" X 18"-20", 18" HT MN., FULL 36" O.C.
ZP13'	18	ZAMIA FLORIDANA	COONIE PALM	3 GAL., 18"-24" X 18"-24", 30" O.C.
ORNAMENTAL GRASSES				
MC110'	102	PULENBERGIA CAPILLARIS	PINK MULEY	1 GAL., 18" HT X 18"-20"/18" HT MN. SFR. 36" O.C.
SB114'	142	SPARTINA BAKERI	SAND CORD GRASS	1 GAL., 24" X 36" HT./18" HT MN., FULL 36" O.C.
GROUND COVERS				
ANN14"	583	ANNUALS ANNUALS	ANNUALS	4" POTS, 16" O.C. TO BE SELECTED BY LANDSCAPE ARCHITECT/OWNER
LM111	132	LIROPE MUSCARI 'ALTEG GRASS'	ALTEG GRASS	1 GAL., 12"-18" HT., FULL, 18" O.C.
ON1	275	OPHIOGLOSSUM JAPONICUS	MONDO GRASS	1 GAL., FULL, 12" O.C.
PN14"	585	PERENNIALS FLOWERS	PERENNIALS	1 GAL/18" O.C. TO BE SELECTED BY OWNER
ADDITIONAL PLANTING				
ABBRV.	BOTANICAL NAME		COMMON NAME	SIZE & SPACING
MUCH	Pseudea		Phacelia	8" Thick Layer
SOD	Paspalum Notatum 'Argentine'		Argentine Bahoa	Pollinated, seed free

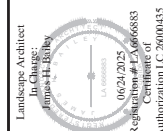
SHADE TREES PROVIDED: 9 PROPOSED SHADE TREES
(10 TREE CREDITS TO BE USED FROM OTOW
TREE BANK TO MEET SITE TREE REQUIREMENTS)

17. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL A COMPLETE, SELF-CERTIFICATION CHECKLIST, AS WELL AS A CLEAR AND ACCURATE AS-BUILT SKETCH, HAVE BEEN SUBMITTED AND ACCEPTED BY THE COUNTY; AND THE FINAL INSPECTION AND LANDSCAPE/IRRIGATION RELEASE HAS BEEN RECEIVED OR THE COUNTY HAS CONDUCTED AND CERTIFIED A FINAL INSPECTION PER MARION COUNTY LDC SEC. 6.9.1.

THE CONTRACTOR SHALL PROVIDE CONFIRMATION THAT THE OWNER HAS RECEIVED:
WRITTEN MAINTENANCE, PRUNING, AND FERTILIZER INSTRUCTIONS AND SCHEDULE.

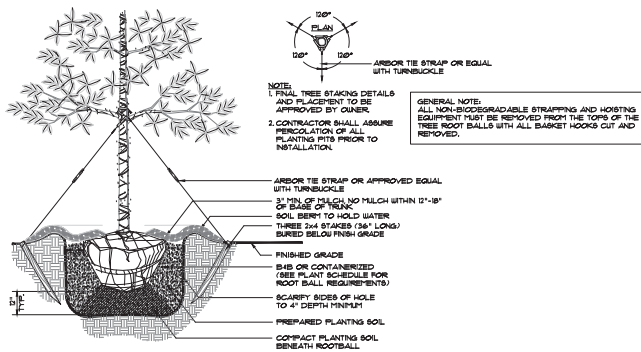
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Irons 9 **PERMIT / CONSTRUCTION PLANS** **MARION COUNTY, FLORIDA** **PREPARED FOR:** **Kimley Horn** --- **PLANT LIST, NOTES, AND SPECIFICATIONS**

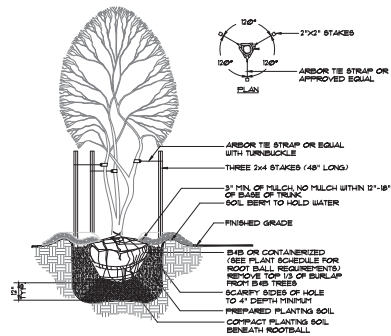


DATE: 02-24-25
PROJECT NO: KHA025-01.01
DRAWN BY: JHB
DESIGNED BY: BHR/JHB
CHECKED BY: BHR

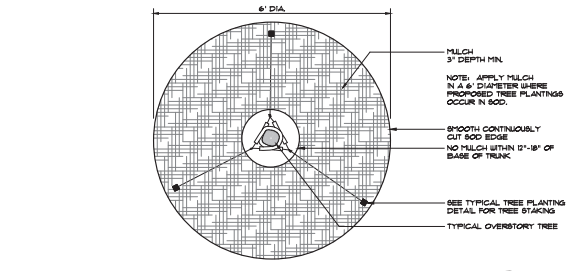
SHEET NO.
LD.01



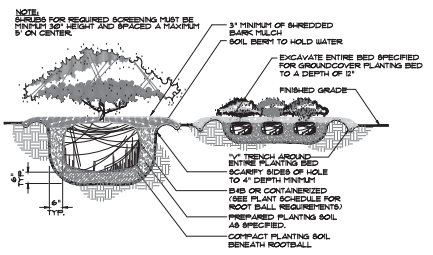
LARGE TREE PLANTING DETAIL
NOT TO SCALE LD.02



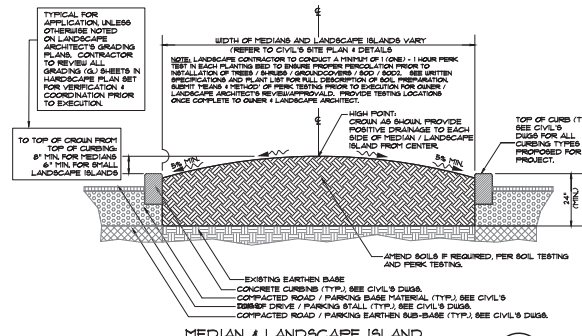
MULTI-STEM TREE PLANTING DETAIL
NOT TO SCALE LD.02



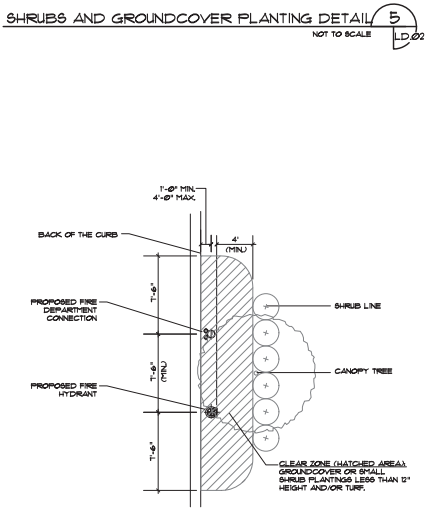
TYPICAL TREE MULCHING DETAIL IN SOD AREAS
NOT TO SCALE LD.02



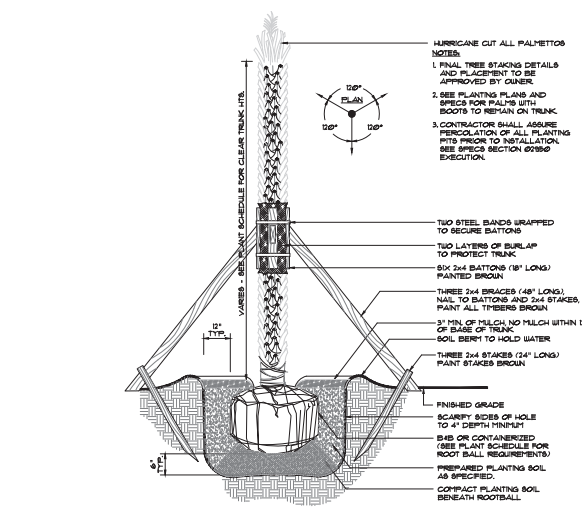
SHRUBS AND GROUNDCOVER PLANTING DETAIL
NOT TO SCALE LD.02



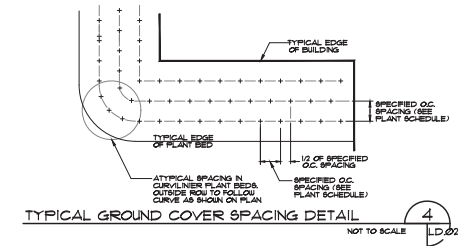
MEDIAN & LANDSCAPE ISLAND PLANTING BED PREPARATION DETAIL
NOT TO SCALE LD.02



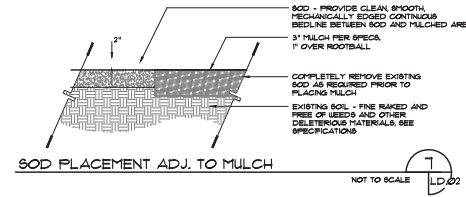
FIRE HYDRANT / FDC PLANTING DETAIL
NOT TO SCALE LD.02



PALM TREE PLANTING DETAIL
NOT TO SCALE LD.02



SOD PLACEMENT ADJ. TO MULCH
NOT TO SCALE LD.02



SOD PLACEMENT ADJ. TO PAVEMENT
NOT TO SCALE LD.02



Digitally signed by James H Bailey
Date: 2025.06.24 07:22:48 -0400
Adobe Acrobat version: 2025.001.2053 1

NO.	DATE	DESCRIPTION
1	06/24/25	INITIAL CLIENT SUBMITTAL
2	06/24/25	REVISIONS PER CLIENT PLANS CHANGES
3		
4		
5		
6		
7		
8		
9		
10		

Irons 9
PERMIT / CONSTRUCTION PLANS
MARION COUNTY, FLORIDA
PREPARED FOR: Kaimly Item
LANDSCAPE DETAILS



DATE: 02-24-25
PROJECT NO: KHA025-01.01
DRAWN BY: JHB
DESIGNED BY: BHR/JHB
CHECKED BY: BHR

SHEET NO.
LD.02

HORIZONTAL CONTROL:

THE FLORIDA STATE PLANE COORDINATES SHOWN HEREON ARE NORTH AMERICAN DATUM OF 1983 (1983 ADJUSTMENT), FLORIDA WEST ZONE AS DERIVED FROM GPS STATIC SURVEY AND TRADITIONAL TRAVERSE METHODS AND ESTABLISHED FROM MARION COUNTY, FLORIDA CONTROL MONUMENTS "761852" AND "7686", PURSUANT TO SECTION 177.151, FLORIDA STATUTES.

THE NORTHWEST CORNER OF SECTION 12, TOWNSHIP 16 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA - FOUND 4" X 4" CONCRETE MONUMENT WITH NAIL & DISC STAMPED 1 2 11 12.
NORTHING: 1740427.4059 FEET
EASTING: 970381.5670 FEET
LATITUDE: 29°10'16.2201" N
LONGITUDE: 82°10'07.2300" W
CONVERGENCE: -0°01'00.7"

FOUND STAINLESS STEEL ROD STAMPED 1086 1990
NORTHING: 174575.9082 FEET
EASTING: 943817.8667 FEET
LATITUDE: 29°10'16.2201" N
LONGITUDE: 82°10'06.9130" W
CONVERGENCE: -0°01'01.68"



LEGEND AND ABBREVIATIONS:

- ± MORE OR LESS
- EL ELEVATION
- LB LICENSED BUSINESS
- NO. NUMBER
- LS LAND SURVEYOR
- LD IDENTIFICATION
- ORB OFFICIAL RECORDS BOOK
- C CENTERLINE
- R RADIUS
- L ARC LENGTH
- Δ DELTA (CENTRAL ANGLE)
- (P) PLAT MEASURE
- (D) DEED MEASURE
- (C) CALCULATED MEASURE
- C.D. CHORD LENGTH
- CHORD BEARING
- FEMA FEDERAL EMERGENCY MANAGEMENT AGENCY
- NAVD NORTH AMERICAN VERTICAL DATUM
- NGVD NATIONAL GEODETIC VERTICAL DATUM
- FB PLAY BOOK
- ORB OFFICIAL RECORDS BOOK
- POS(S) POS(S)
- SEC SECTION
- REC RECOVERED
- COR CERTIFIED CORNER RECORD
- RLS REGISTERED LAND SURVEYOR
- CURB INLET GRATE
- ⊗ CATCH BASIN
- ⊗ STORM MANHOLE
- ⊗ WATERED END SECTION
- ⊗ SANITARY MANHOLE
- ⊗ SANITARY CLEANOUT
- ⊗ ELECTRIC MANHOLE
- ⊗ ELECTRIC JUNCTION BOX
- ⊗ ELECTRIC RISER BOX
- ⊗ CABLE TELEVISION RISER BOX
- ⊗ TELEPHONE RISER BOX
- ⊗ UTILITY RISER
- ⊗ WELL
- ⊗ WATER SPOUT
- ⊗ IRRIGATION CONTROL VALVE
- ⊗ WATER METER
- ⊗ WATER VALVE
- ⊗ FIRE HYDRANT
- ⊗ BACK FLOW PREVENTER
- ⊗ AIR CONDITIONER PAD
- ⊗ GAS VALVE
- ⊗ GAS METER
- ⊗ GAS LINE MARKER
- ⊗ FIBER OPTIC VAULT
- ⊗ FIBER OPTIC LINE MARKER
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- ⊗ METAL UTILITY POLE
- ⊗ WOOD UTILITY POLE
- ⊗ UTILITY POLE GUY ANCHOR
- ⊗ LIGHT POLE
- ⊗ SPOT/GROUND LIGHT
- ⊗ ELECTRIC TRANSFORMER
- ⊗ WETLAND FLAG
- ⊗ SON
- ⊗ BOLLARD
- ⊗ FLAG POLE
- ⊗ MALBOX
- ⊗ APPROXIMATE TOP OF BANK
- ⊗ APPROXIMATE TOE OF SLOPE
- ⊗ EXISTING CONTOUR
- ⊗ UNDERGROUND SANITARY SEWER
- ⊗ UNDERGROUND FORCE MAIN
- ⊗ UNDERGROUND WATER MAIN
- ⊗ OVERHEAD UTILITY LINE
- ⊗ UNDERGROUND ELECTRIC LINE
- ⊗ STORM DRAINAGE LINE
- ⊗ FOUND 5/8" IRON ROD & CAP (AS NOTED)
- ⊗ FOUND 4"x4" CONCRETE MONUMENT (AS NOTED)
- ⊗ FOUND NAIL & DISC (AS NOTED)

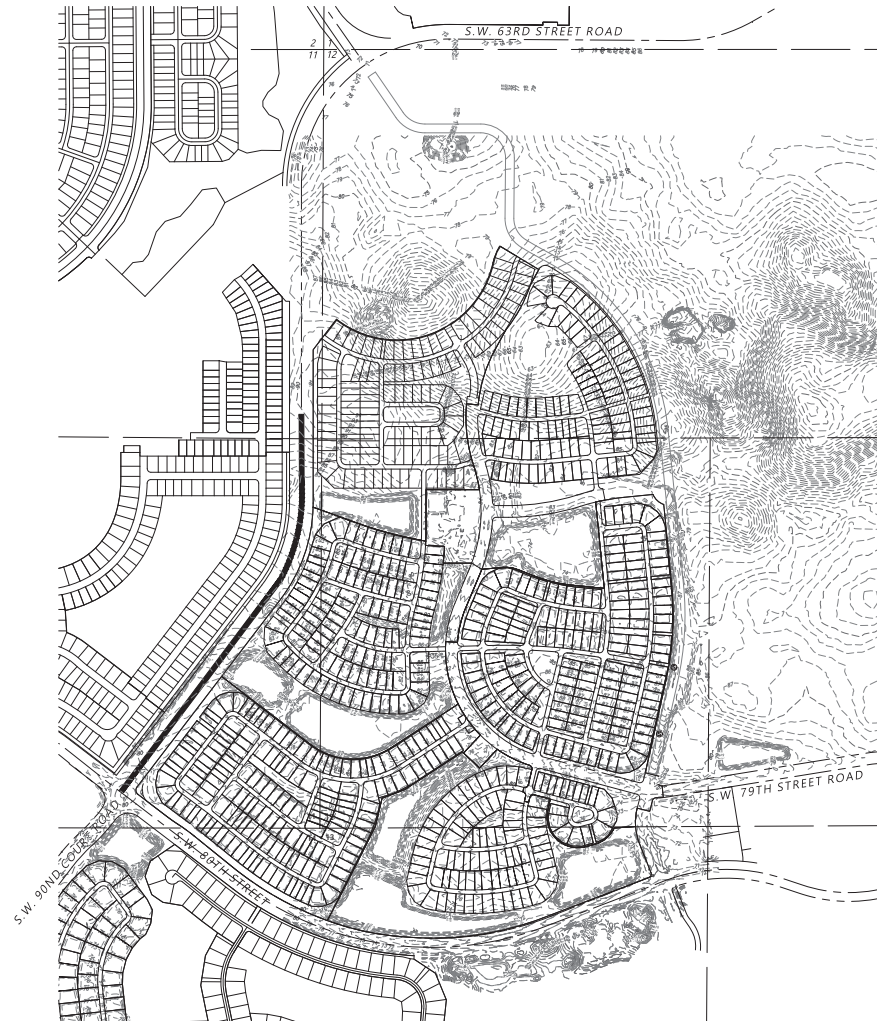
STORM STRUCTURES

- B-# GRADE: 75.30
INV: 68.41 (24" NE)
INV: 68.25 (18" N)
INV: 68.25 (24" S)
- B-# GRADE: 75.33
INV: 68.23 (24" N)
INV: 68.23 (24" SW)
- B-10 GRADE: 74.83
INV: 68.80 (24" SW)
INV: 68.89 (E)
- B-11 GRADE: 74.75
INV: 68.37 (W)
INV: 68.47 (SE)
- B-20 GRADE: 74.10
INV: 68.64 (18" ROP NW)
INV: 68.69 (18" ROP E)
- B-27 GRADE: 76.91
INV: 70.46 (S)
- B-28 GRADE: 75.43
INV: 70.39 (18" ROP W)
INV: 70.35 (18" ROP E)

TREE LEGEND
(SIZE DENOTED INSIDE SYMBOL)

- BAY
- CAMPHOR
- CEDAR
- CITRUS
- CHERRY
- CHINABERRY
- CYPRESS
- DOGWOOD
- ELM
- GUM
- HICKORY
- HOLLY
- IRONWOOD
- LAUREL OAK
- LIVE OAK
- MAGNOLIA
- MAPLE
- MIMOSA
- MISC
- MULBERRY
- OAK
- PALM
- PECAN
- PINE
- SUGAR HACKBERRY
- SYCAMORE

TOPOGRAPHIC SURVEY FOR:
PITCH AND PUTT
A PORTION OF SECTION 11, TOWNSHIP 16 SOUTH, RANGE 20 EAST
MARION COUNTY, FLORIDA



SURVEY NOTES:

- DATE OF FIELD SURVEY: AUGUST 28, 2024.
- BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83), WITH 2011 ADJUSTMENT AS DERIVED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION VIRTUAL REFERENCE STATION NETWORK.
- BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 1208300682E, EFFECTIVE DATE OF APRIL 19, 2017, THE PROPERTY DESCRIBED HEREON LIES WITHIN FLOOD ZONES "X" AN AREA OF MINIMAL FLOOD HAZARD AND ZONE "AE" AN AREA WITHIN THE 100 YEAR FLOOD HAZARD AREA.
- UNDERGROUND FOUNDATIONS AND UTILITIES WERE NOT LOCATED AS PART OF THIS SURVEY. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THIS SURVEY DEPICTS THE PROPERTY AS IT EXISTED ON THE SURVEY DATE, NOT NECESSARILY THE SIGNATURE DATE.
- EXCEPT AS SHOWN HEREON, THERE IS NO VISIBLE EVIDENCE OF EASEMENTS OR RIGHTS OF WAY ACROSS SUBJECT PROPERTY.
- TOPOGRAPHIC DATA AND TREE LOCATIONS ARE BASED ON AREA AS SPECIFIED BY CLIENT.
- VERTICAL DATUM IS BASED ON FOUND 5/8" IRON ROD WITH A PLASTIC CAP, STAMPED "WOOLPERT TRAVELER" APPROXIMATELY 0.35 MILES NORTH STATE ROAD 200 ON THE WEST SIDE OF S.W. 80TH AVENUE. BENCHMARK IS LOCATED IN THE NORTHWEST CORNER OF THE INTERSECTION OF S.W. 80TH AVENUE AND THE CONSTRUCTION ENTRANCE FOR "ON TOP OF THE WORLD, COMMUNITIES, INC.," ELEVATION = 69.272 (DATUM NGVD 1929)

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THIS SURVEY MEETS THE APPLICABLE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 501.050-052, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

CHRISTOPHER J. HOWSON
FLORIDA LICENSED SURVEYOR & MAPPER NO. 6553

DATE

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

(CERTIFICATE OF AUTHORIZATION NO. LB 8071)

REVISIONS				
FB/PG	DATE	DRAWN	REVISION	OK'D
--	9/26/24	M.A.	TOPOGRAPHIC SURVEY FOR PROPOSED ROAD	C.J.H.

JCH
CONSULTING GROUP, INC.
LAND DEVELOPMENT - SURVEYING & MAPPING
PLANNING - ENVIRONMENTAL - G.I.S.
2639 17TH STREET, OCELA, FLORIDA 34471
PH: 888.242.4646 FAX: 888.275.8333 www.jchgroup.com
© 2015-2024 JCH, INC. ALL RIGHTS RESERVED. JCH-2024

LOCATED IN SECTION 12 AND 13,
TOWNSHIP 16 SOUTH, RANGE 20 EAST

MARION COUNTY, FLORIDA

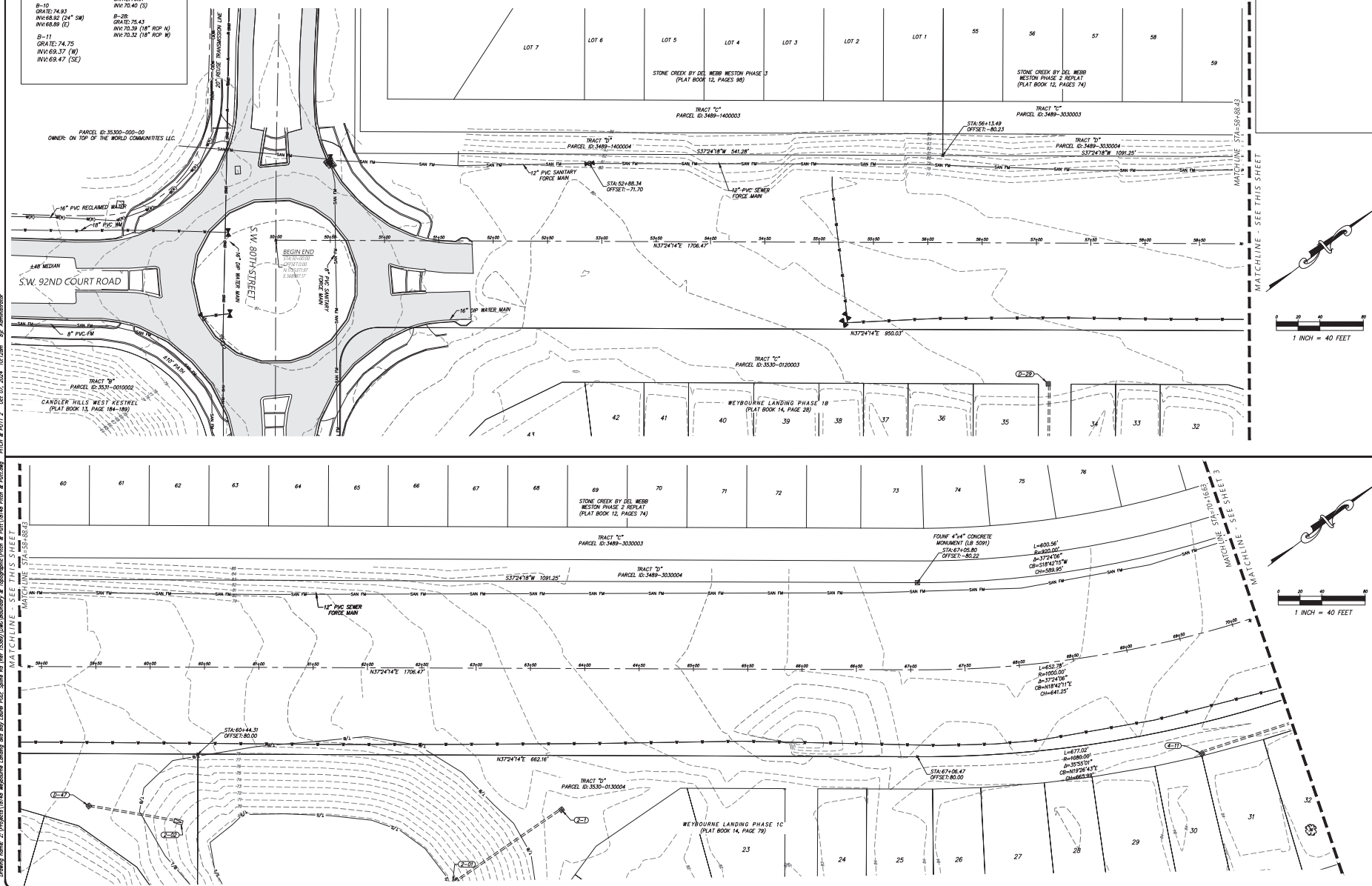
PLAT OF TOPOGRAPHIC SURVEY
-FOR-
ON TOP OF THE WORLD COMMUNITIES,
L.L.C.

FB/PG		FIELD DATE		JOB NO. 181487OPO	1 OF 3
18-4/7-14		04/18/18			
DRAWING DATE	BY	APPROVED	SCALE		
5/24/18	M.A.	C.J.H.	1" = 400'		

SEE SHEET 2 OF 3
ONE IS NOT COMPLETE WITHOUT THE OTHERS

B-9
GRA TE: 75.30
INV: 68.41 (24° NE)
INV: 68.32 (18° N)
INV: 68.25 (24° S)
B-9
GRA TE: 75.33
INV: 68.23 (24° N)
INV: 68.23 (24° SW)
B-10
GRA TE: 74.93
INV: 68.92 (24° SW)
INV: 68.89 (E)
B-11
GRA TE: 74.75
INV: 69.37 (W)
INV: 69.47 (SE)

B-26:
GRA TE: 74.10
INV: 68.64 (18° RCP NW)
INV: 68.69 (18° RCP NE)
B-27
GRA TE: 76.91
INV: 72.40 (S)
B-28:
GRA TE: 75.43
INV: 70.39 (18° RCP N)
INV: 70.32 (18° RCP N)

[illegible]

DRAWN:	M.A.
REVISED:	
REVISED:	
CHECKED:	C.J.H.
APPROVED:	C.J.H.
SCALE: 1" = 40'	



JCH
CONSULTING GROUP, INC.
LAND DEVELOPMENT SURVEYING & MAPPING
PLANNING • ENVIRONMENTAL • GIS
10000 W. 10TH AVE., SUITE 100
CHANDLER, ARIZONA 85224-3000
TEL: 480/948-2000 FAX: 480/948-2001
WWW.JCHGROUP.COM

PLAT OF TOPOGRAPHIC SURVEY
-FOR-
ON TOP OF THE WORLD
COMMUNITIES, L.L.C.

FIELD BOOK/PAGE:

J.O.#18148
DWG.# 18148OVERALL
SHT 2 OF 3

Drawing name: Z:\Projects\16148_Waybourne Lending aka Bay Laurel PUD; Spine Rd (Ref 15369)\DWG\Boundary & Topographic\Pitch & Put\16148 Pitch & Put.dwg PITCH & PUTT 2 Oct 07, 2024 10:12am by Administrator

B-8
GRATE: 75.30
INV: 68.41 (24° NE)
INV: 68.32 (16° N)
INV: 68.25 (24° S)

B-9
GRATE: 75.33
INV: 68.23 (24° N)
INV: 68.23 (24° SW)

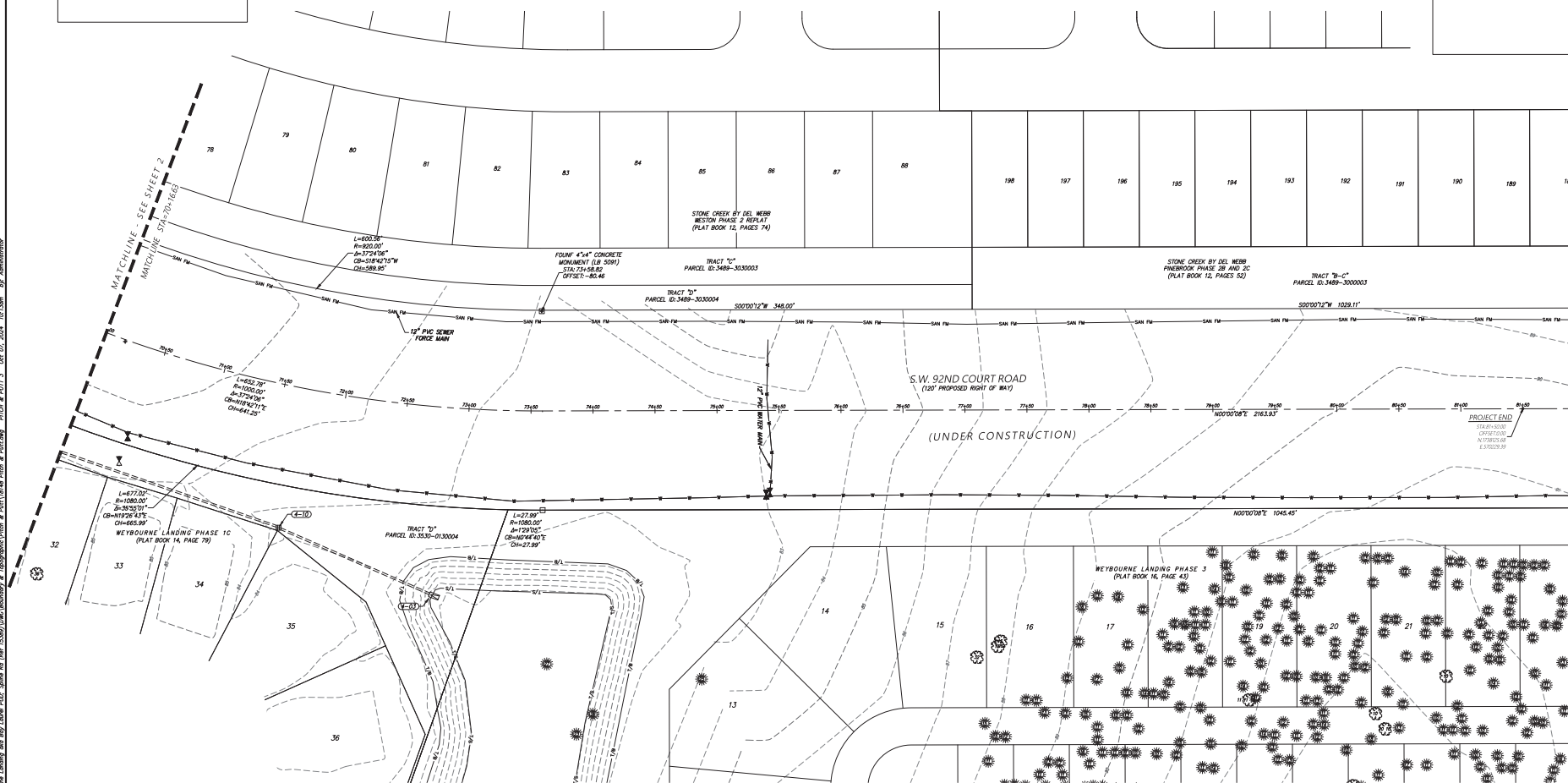
B-10
GRATE: 74.93
INV: 68.92 (24° SW)
INV: 68.89 (E)

B-11
GRATE: 74.75
INV: 69.37 (W)
INV: 69.47 (SE)

B-26:
GRATE: 74.10
INV: 69.64 (18° RCP NW)
INV: 69.69 (18° RCP E)

B-27
GRATE: 76.91
INV: 70.40 (S)

B-28:
GRATE: 75.43
INV: 70.38 (18° RCP N)
INV: 70.32 (18° RCP NW)

[illegible]

DRAWN:	M.A.
REVISED:	
REVISED:	
CHECKED:	C.J.H.
APPROVED:	C.J.H.

JCH
CONSULTING GROUP, INC.
LAND DEVELOPMENT SURVEYING & MAPPING
PLANNING & ENVIRONMENTAL SERVICES
10000 JEFFERSON PARK, SUITE 1100
DALLAS, TEXAS 75238-4111
CONTACT: (214) 343-0100 FAX: (214) 343-0101
WWW.JCHCONSULTING.COM

PLAT OF TOPOGRAPHIC SURVEY
-FOR-
ON TOP OF THE WORLD
COMMUNITIES LLC

FIELD BOOK/PAGE:

J.O.#18148
DWG.# 18148OVERALL
SHEET 1 OF 1

SEE SHEET 3 OF 3
ONE IS NOT COMPLETE WITHOUT THE OTHERS

Working name: Z:\Projects\18148 Waybourne Landing aka Bay Laurel PUD; Spine Rd (Ref 15389)\DWG\Boundary & Topographic\Plat & Putt\18148 Pltch & Putt.dwg PITCH & PUTT 3 Oct 07, 2024 10:13am by Administrator

HORIZONTAL CONTROL:

THE FLORIDA STATE PLANE COORDINATES SHOWN HEREON ARE NORTH AMERICAN DATUM OF 1983 (1983 ADJUSTMENT), FLORIDA WEST ZONE AS DERIVED FROM GPS STATIC SURVEY AND TRADITIONAL TRAVERSE METHODS AND ESTABLISHED FROM MARION COUNTY, FLORIDA CONTROL MONUMENTS "761852" AND "7686", PURSUANT TO SECTION 177.151, FLORIDA STATUTES.

THE NORTHWEST CORNER OF SECTION 12, TOWNSHIP 16 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA - FOUND 4" X 4" CONCRETE MONUMENT WITH NAIL & DISK STAMPED 1 2 11 12.
NORTHING: 1750427.609 FEET
EASTING: 970381.5670 FEET
LATITUDE: 29°07'46.0200" N
LONGITUDE: 82°16'01.23000" W
CONVERGENCE: -0°01'50.7"

FOUND STAINLESS STEEL ROD STAMPED 1086 1990
NORTHING: 174575.9082 FEET
EASTING: 943817.8667 FEET
LATITUDE: 29°07'46.2200" N
LONGITUDE: 82°16'06.9136" W
CONVERGENCE: -0°01'07.68"



LEGEND AND ABBREVIATIONS:

- ± MORE OR LESS
- EL ELEVATION
- LB LICENSED BUSINESS
- NO. NUMBER
- LS LAND SURVEYOR
- LD IDENTIFICATION
- ORB OFFICIAL RECORDS BOOK
- CRB OFFICIAL RECORDS BOOK
- C CENTERLINE
- R RADIUS
- L ARC LENGTH
- Δ DELTA (CENTRAL ANGLE)
- (P) PLAT MEASURE
- (D) DEED MEASURE
- (C) CALCULATED MEASURE
- C.D. CHORD LENGTH
- CHORD BEARING
- FEMA FEDERAL EMERGENCY MANAGEMENT AGENCY
- NAVD NORTH AMERICAN VERTICAL DATUM
- NGVD NATIONAL GEODETIC VERTICAL DATUM
- PLB PLAT BOOK
- ORB OFFICIAL RECORDS BOOK
- POS POS(S)
- SEC SECTION
- FND FOUND
- REC RECOVERED
- COR CERTIFIED CORNER RECORD
- CLS REGISTERED LAND SURVEYOR
- CURB INLET GRATE
- ⊗ CATCH BASIN
- ⊗ STORM MANHOLE
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- ⊗ TELEPHONE RISER BOX
- ⊗ UTILITY RISER
- ⊗ WELL
- ⊗ WATER SPIGOT
- ⊗ IRRIGATION CONTROL VALVE
- ⊗ WATER METER
- ⊗ WATER VALVE
- ⊗ FIRE HYDRANT
- ⊗ BACK FLOW PREVENTER
- ⊗ AIR CONDITIONER PAD
- ⊗ GAS VALVE
- ⊗ GAS METER
- ⊗ GAS LINE MARKER
- ⊗ FIBER OPTIC VAULT
- ⊗ FIBER OPTIC LINE MARKER
- ⊗ CONCRETE UTILITY POLE
- ⊗ METAL UTILITY POLE
- ⊗ WOOD UTILITY POLE
- ⊗ UTILITY POLE GUY ANCHOR
- ⊗ LIGHT POLE
- ⊗ SPOT/GROUND LIGHT
- ⊗ ELECTRIC TRANSFORMER
- ⊗ WETLAND FLAG
- ⊗ SON
- ⊗ BOLLARD
- ⊗ FLAG POLE
- ⊗ MALBOX
- ⊗ APPROXIMATE TOP OF BANK
- ⊗ APPROXIMATE TOE OF SLOPE
- ⊗ EXISTING CONTOUR
- ⊗ UNDERGROUND SANITARY SEWER
- ⊗ UNDERGROUND FORCE MAIN
- ⊗ UNDERGROUND WATER MAIN
- ⊗ OVERHEAD UTILITY LINE
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- ⊗ STORM DRAINAGE LINE
- ⊗ FOUND 5/8" IRON ROD & CAP (AS NOTED)
- ⊗ FOUND 4"x4" CONCRETE MONUMENT (AS NOTED)
- ⊗ FOUND NAIL & DISK (AS NOTED)

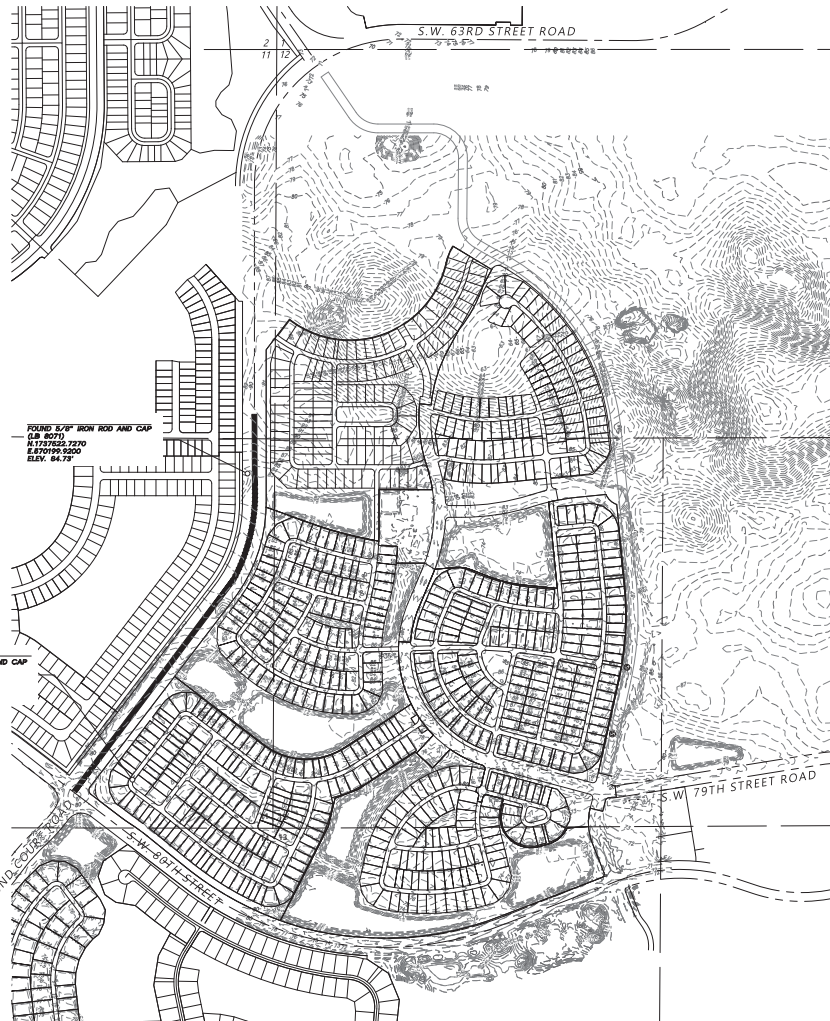
STORM STRUCTURES

- B-# GRADE: 75.30
INV: 68.41 (24" NE)
INV: 68.25 (18" N)
INV: 68.25 (24" S)
- B-# GRADE: 75.33
INV: 68.23 (24" N)
INV: 68.23 (24" SW)
- B-10 GRADE: 74.83
INV: 68.80 (24" SW)
INV: 68.89 (E)
- B-11 GRADE: 74.75
INV: 68.37 (W)
INV: 68.47 (SE)
- B-26 GRADE: 76.91
INV: 70.46 (S)
INV: 70.39 (18" ROP N)
INV: 70.35 (18" ROP W)

TREE LEGEND (SIZE DENOTED INSIDE SYMBOL)

- BAY
- CAMPHOR
- CEDAR
- CITRUS
- CHINABERRY
- CYPRESS
- DOGWOOD
- ELM
- GUM
- HICKORY
- HOLLY
- IRONWOOD
- LAUREL OAK
- LIVE OAK
- MAGNOLIA
- MAPLE
- MIAMI
- MISC
- MULBERRY
- OAK
- PALM
- PECAN
- PINE
- SUGAR HACKBERRY
- SYCAMORE

TOPOGRAPHIC SURVEY FOR: **PITCH AND PUTT** A PORTION OF SECTION 11, TOWNSHIP 16 SOUTH, RANGE 20 EAST MARION COUNTY, FLORIDA



SURVEY NOTES:

1. DATE OF FIELD SURVEY: AUGUST 28, 2024.
2. BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83), WITH 2011 ADJUSTMENT AS DERIVED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION VIRTUAL REFERENCE STATION NETWORK.
3. BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 120830682E, EFFECTIVE DATE OF APRIL 19, 2017, THE PROPERTY DESCRIBED HEREON LIES WITHIN FLOOD ZONES "X" AN AREA OF MINIMAL FLOOD HAZARD AND ZONE "AE" AN AREA WITHIN THE 100 YEAR FLOOD HAZARD AREA.
4. UNDERGROUND FOUNDATIONS AND UTILITIES WERE NOT LOCATED AS PART OF THIS SURVEY. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
5. THIS SURVEY DEPICTS THE PROPERTY AS IT EXISTED ON THE SURVEY DATE, NOT NECESSARILY THE SIGNATURE DATE.
6. THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT OF THE PARTY(IES) NAMED HEREON, AND SHALL NOT BE DUPLICATED OR RELED UPON BY ANY OTHER INDIVIDUAL OR ENTITY WITHOUT AUTHORIZATION FROM JCH CONSULTING GROUP, INC.
7. SUBJECT TO RIGHTS OF WAY, RESTRICTIONS, EASEMENTS AND RESERVATIONS OF RECORD. PUBLIC RECORDS NOT SEARCHED BY JCH CONSULTING GROUP, INC.
8. ORIENTATION FOR THE IMPROVEMENTS SHOWN HEREON SHOULD NOT BE USED TO RECONSTRUCT BOUNDARY LINES.
9. EXCEPT AS SHOWN HEREON, THERE IS NO VISIBLE EVIDENCE OF EASEMENTS OR RIGHTS OF WAY ACROSS SUBJECT PROPERTY.
10. TOPOGRAPHIC DATA AND TREE LOCATIONS ARE BASED ON AREA AS SPECIFIED BY CLIENT.
11. VERTICAL DATUM IS BASED ON FOUND 5/8" IRON ROD WITH A PLASTIC CAP STAMPED "WOOLPERT TRAVESER" APPROXIMATELY 0.35 MILES NORTH STATE ROAD 200 ON THE WEST SIDE OF S.W. 80TH AVENUE. BENCHMARK IS LOCATED IN THE NORTHWEST CORNER OF THE INTERSECTION OF S.W. 80TH AVENUE AND THE CONSTRUCTION ENTRANCE FOR "ON TOP OF THE WORLD, COMMUNITIES, INC.," ELEVATION = 69.272 (DATUM NGVD 1929)

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THIS SURVEY MEETS THE APPLICABLE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 507.050-052, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

CHRISTOPHER J. HOWSON
FLORIDA LICENSED SURVEYOR & MAPPER NO. 6553

DATE

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

(CERTIFICATE OF AUTHORIZATION NO. LB 8071)

REVISIONS				
FB/PG	DATE	DRAWN	REVISION	CHK
---	9/26/24	M.A.	TOPOGRAPHIC SURVEY FOR PROPOSED ROAD	C.J.H.

JCH
CONSULTING GROUP, INC.
LAND DEVELOPMENT - SURVEYING & MAPPING
PLANNING - ENVIRONMENTAL - G.I.S.
2630 17TH STREET, OCEA FLORIDA 34791
PH: 888.232.4646 FAX: 888.275.8333 www.jchgroup.com
4301 10TH AVE, STE. 200, VERO BEACH, FL 34987

LOCATED IN SECTION 12 AND 13,
TOWNSHIP 16 SOUTH, RANGE 20 EAST

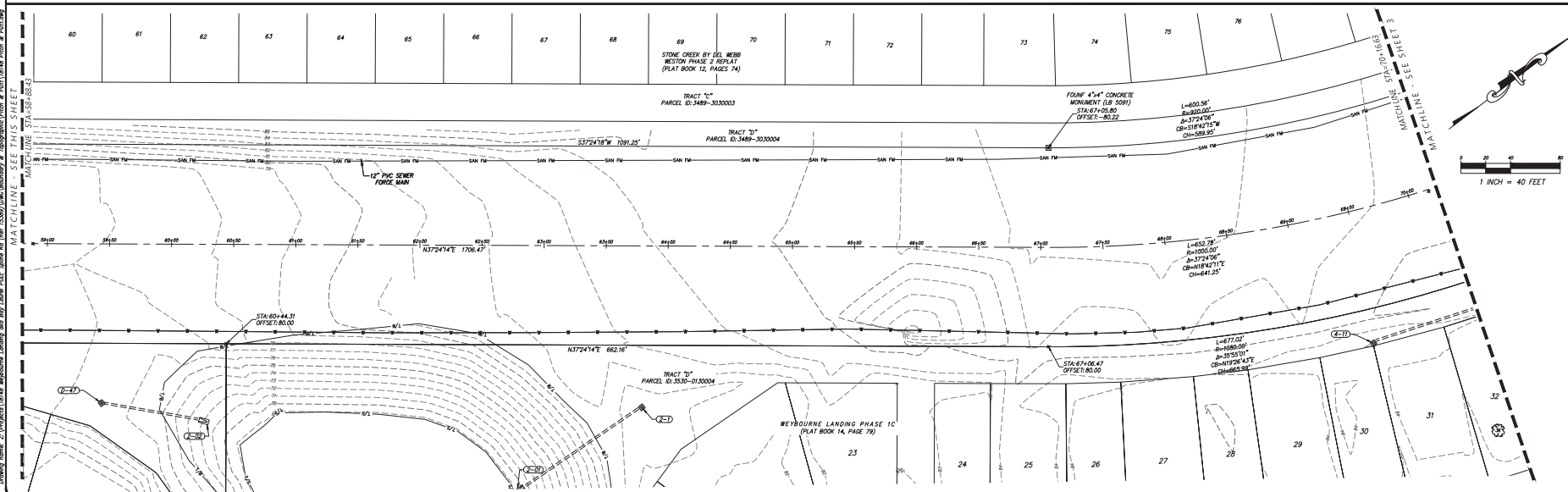
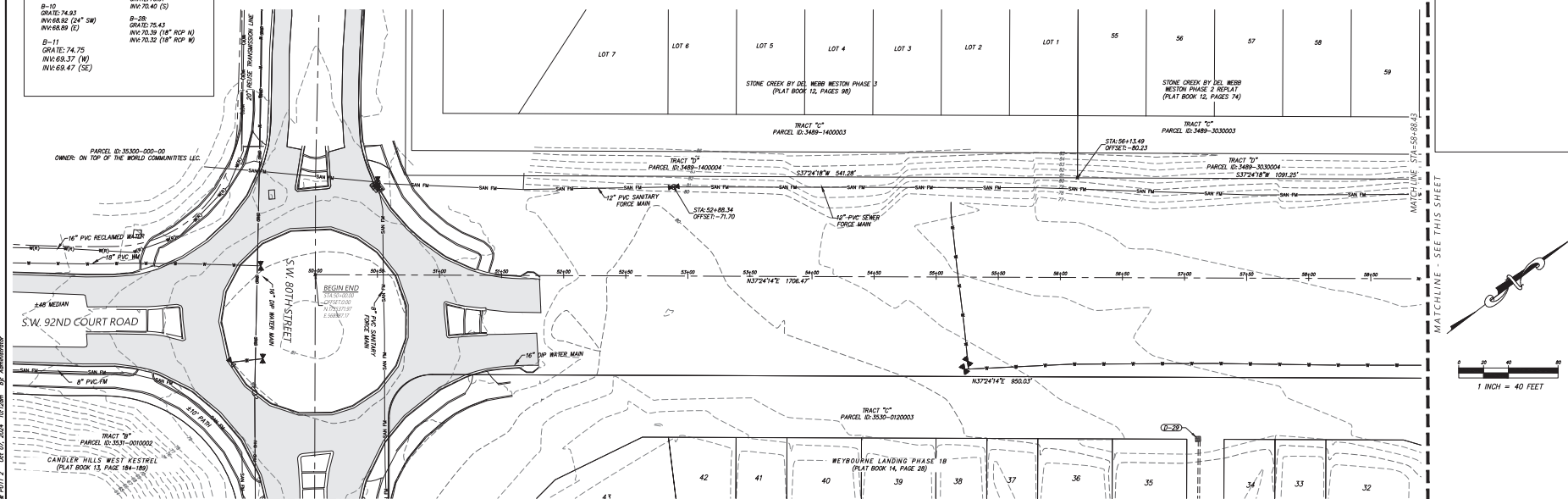
MARION COUNTY, FLORIDA

PLAT OF TOPOGRAPHIC SURVEY
-FOR-
ON TOP OF THE WORLD COMMUNITIES,
L.L.C.

FB/PG		FIELD DATE		JOB NO. 181487OPO	1 OF 3
18-4/7-14		04/18/18			
DRAWING DATE	BY	APPROVED	SCALE		
05/04/25	M.A.	C.J.H.	1" = 400'		

SEE SHEET 2 OF 3
ONE IS NOT COMPLETE WITHOUT THE OTHERS

B-9
GRA7E: 75.30
INV: 68.41 (24° NE)
INV: 68.32 (18° N)
INV: 68.25 (24° S)
B-9
GRA7E: 75.33
INV: 68.23 (24° N)
INV: 68.23 (24° SW)
B-10
GRA7E: 74.93
INV: 68.92 (24° SW)
INV: 68.89 (E)
B-11
GRA7E: 74.75
INV: 69.37 (W)
INV: 69.47 (SE)
B-26:
GRA7E: 74.10
INV: 68.64 (18° RCP NW)
INV: 68.69 (18° RCP NE)
B-27
GRA7E: 76.91
INV: 72.40 (S)
B-28:
GRA7E: 75.43
INV: 70.39 (18° RCP N)
INV: 70.32 (18° RCP N)

[illegible]

DRAWN:	M.A.
REVISED:	
REVISED:	
CHECKED:	C.J.H.
APPROVED:	C.J.H.
SCALE: 1" = 40'	



JCH
CONSULTING GROUP, INC.
LAND DEVELOPMENT, SURVEYING & MAPPING
PLANNING • ENVIRONMENTAL • GIS
10000 W. 10TH AVE., SUITE 100
CHANDLER, ARIZONA 85224 • (480) 948-1440
FAX: (480) 948-1442 • info@jchgroup.com

PLAT OF TOPOGRAPHIC SURVEY
-FOR-
ON TOP OF THE WORLD
COMMUNITIES, L.L.C.

FIELD BOOK/PAGE:

J.O.#18148
DWG.# 18148OVERALL
SHT 3 OF 3

Drawing name: Z: \Projects\18148_Weybourne Landing aka Bay Laurel PUD; Spathe Rd (Ref 15389)\DWG\Boundary & Topographic\Plan & Putt\18148_Plan & Putt.dwg
 10:12am
 Oct 07, 2024
 by Administrator

B-8
GRATE: 75.30
INV: 68.41 (24° NE)
INV: 68.32 (16° N)
INV: 68.25 (24° S)

B-9
GRATE: 75.33
INV: 68.23 (24° N)
INV: 68.23 (24° SW)

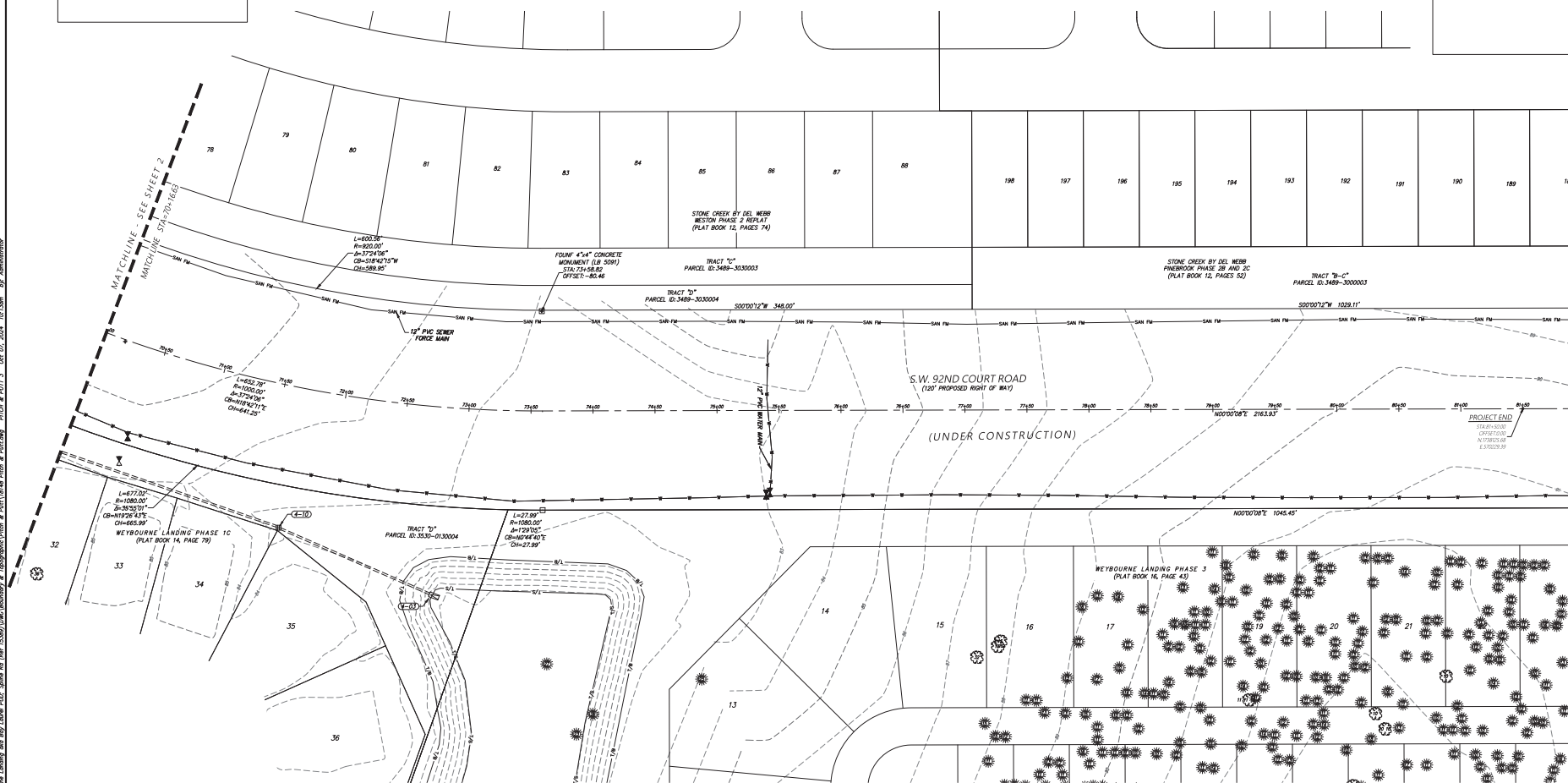
B-10
GRATE: 74.93
INV: 68.92 (24° SW)
INV: 68.89 (E)

B-11
GRATE: 74.75
INV: 69.37 (W)
INV: 69.47 (SE)

B-26:
GRATE: 74.10
INV: 69.64 (18° RCP NW)
INV: 69.69 (18° RCP E)

B-27
GRATE: 76.91
INV: 70.40 (S)

B-28:
GRATE: 75.43
INV: 70.38 (18° RCP N)
INV: 70.32 (18° RCP NW)

[illegible]

DRAWN:	M.A.
REVISED:	
REVISED:	
CHECKED:	C.J.H.
APPROVED:	C.J.H.

JCH
CONSULTING GROUP, INC.
LAND DEVELOPMENT SURVEYING & MAPPING
PLANNING & ENVIRONMENTAL SERVICES
10000 JEFFERSON PARK, SUITE 1100
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CONTACT: (214) 343-7100 FAX: (214) 343-7101
WWW.JCHCONSULTING.COM

PLAT OF TOPOGRAPHIC SURVEY
-FOR-
ON TOP OF THE WORLD
COMMUNITIES LLC

FIELD BOOK/PAGE:

J.O.#18148
DWG.# 18148OVERALL
SHEET 1 OF 1

SEE SHEET 3 OF 3
ONE IS NOT COMPLETE WITHOUT THE OTHERS

Working name: Z:\Projects\18148 Waybourne Landing aka Bay Laurel PUD; Spine Rd (Ref 15389)\DWG\Boundary & Topographic\Plot & Putt\18148 Pltch & Putt.dwg PITCH & PUTT 3 Oct 07, 2024 10:13am by Administrator