PROJECT NAME: IRONS 9

PROJECT NUMBER: 2025020053

APPLICATION: MAJOR SITE PLAN #32713

1 DEPARTMENT: ENGDRN - STORMWATER REVIEW REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI

STATUS OF REVIEW: INFO

REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.

2 DEPARTMENT: ENGDRN - STORMWATER REVIEW REVIEW ITEM: Copy of District Permit (County Interest)

STATUS OF REVIEW: INFO

REMARKS: Please provide a copy of the District permit prior to construction.

3 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Additional Stormwater comments

STATUS OF REVIEW: INFO

REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact

Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.

4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval

STATUS OF REVIEW: INFO

REMARKS: 4/11/25-add waivers if requested in future

5 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: Additional Development Review Comments

STATUS OF REVIEW: INFO

REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

6 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REVIEW ITEM: Additional Health comments

STATUS OF REVIEW: INFO

REMARKS: Central Sewer/Central Water

7 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.4.L(3) - All applicable Developer's Agreements listed?

STATUS OF REVIEW: INFO

REMARKS: None shown on cover page.

8 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.4.L(2,3, & 5)/6.3.1C(15)(g) - DRI/FOD Compliance Note?

STATUS OF REVIEW: INFO

REMARKS: Please provide if applicable.

9 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 6.5 & 6.6 - Habitat Preservation/Mitigation Provided?

STATUS OF REVIEW: INFO

REMARKS: If listed species present during assessment, preservation and/or mitigation will be needed.

10 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.21/6.3.1.C(10) - Land use and zoning on project and on adjacent properties shown

STATUS OF REVIEW: INFO

REMARKS: Initial - Please indicate OTOW DRI as abutting Future Land Use (FLU) designation. Please

indicate all applicable PUD agreements for Bay Laurel development.

8/5/25 - Please specify PUD Case No. 250304ZP. If applicable, please indicate all proposed/current waivers.

11 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.32 - Modified Environmental Assessment for Listed Species (LDC 6.5.4) -OR- EALS

Exemption Application (LDC 6.5.3) submitted (including habitat assessment as necessary per LDC 6.6.4)

STATUS OF REVIEW: INFO

REMARKS: Within OTOW DRI. As such, please provide EALS exemption for this specific project, per LDC Sec. 6.5. If any listed species present during original assessment, preservation/mitigation will be

needed.

8/6/25 - EALS provided and transmitted to FWC.

12 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.4.L(10) - Parking requirements, service entrances, space size paved parking isle and access to parking area/6.11.8 - Off-street parking requirements/6.11.7 - Loading Areas/ 6.11.6 - Construction access/route

STATUS OF REVIEW: INFO

REMARKS: Initial - Please indicate construction route(s) on site plan, per LDC Sec. 6.11.6.

8/6/25 - Construction route indicated. For purposes of LDC Sec. 6.8.7.A, please indicate distance between

parking lot and property boundary.

13 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: Additional Zoning comments

STATUS OF REVIEW: INFO

REMARKS: [INFO] OTOW DRI Map H (part of DRI development order) indicates plans to extend SW 96th Court Road/SW 63rd Street Road where the project currently sits. Although PUD Case No. 250304ZP changes this corridor to allow the proposed facility, Staff notes that such changes, if not already done, must be reflected in an update to the OTOW DRI development order.

14 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Major Site Plan STATUS OF REVIEW: INFO

REMARKS: Verified owner with Sunbiz and project list. HR 4/10/25// EMW 7.31.25

IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]." Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec. 6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

- 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."
- 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
- 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."



A. PROJECT INFORMATION:

Marion County Board of County Commissioners

Office of the County Engineer

AR 32713

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

DEVELOPMENT REVIEW PLAN APPLICATION

Date: 4/8/2025

Project Name: Irons 9			
Parcel Number(s): 35300-000-17			
Section 11 Township 16S Range 20E Land	Use OTOW DRI Zonin	g Classification	on ^{PUD}
Commercial Residential Industrial Institut	ional ☐ Mixed Use 🗸	Other Reside	ntial
Type of Plan: MAJOR SITE PLAN			
Type of Plan: MAJOR SITE PLAN Property Acreage 4.25 Number of Lo	ots N/A	Miles of Road	s N/A
Location of Property with Crossroads Northeast of inter-	section of SW 80th Street Road	and SW 92nd Cou	rt Road
Additional information regarding this submittal:			
B. CONTACT INFORMATION (Check the appropri	riate box indicating the poi	nt for contact for	this project. Add <u>all</u> emails
to receive correspondence during this plan review.)			
✓ Engineer:		E Englis E	\ <u></u>
Firm Name: Kimley-Horn and Associates, Inc.	Contact Name: G	race E. Ergie, F	7.E.
Mailing Address: 1700 SE 17th Street, Suite 200	City: Ocala	State: FL	_Z1p Code: 34471
Mailing Address: 1700 SE 17th Street, Suite 200 Phone # 352.438.3000 Alter Email(s) for contact via ePlans: ocala.permits@kimley	nate Phone #		
Email(s) for contact via ePlans: ocaia.permits@kimley	-nom.com		
Surveyor:			
Firm Name:	Contact Name:	G :	7' 0 1
Mailing Address:Alter	City:	State:	_Zip Code:
Phone #Alter	nate Phone #		
Email(s) for contact via ePlans:			
Property Owner:		annath D. Calar	_
Owner: On Top of the World Communities, L.L.C.	Contact Name: K	enneth D. Cole	7: 0 1 24404
Mailing Address: 8445 SW 80th Street	City: Ocala	State: FL	_Zip Code: 34481
Phone # (352) 387-7480 Alter	nate Phone #		
Email address:			
.			
Developer:			
Developer: Same as Owner	Contact Name:	~	F! 0 1
Mailing Address:	City:	State:	_Zıp Code:
Phone #Alter	nate Phone #		
Email address:			

Revised 6/2021

GENERAL NOTES

LAND USE DEVELOPMENT DATA
PARCEL IDENTIFICATION NUMBER: 35300-000-17

OTOW DRI 10.27 ACRES EXISTING IMPERVIOUS AREA: 0.25 AC PROPOSED IMPERVIOUS AREA: 1,08 AC (10,5%)

NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.

ALL IMPROVEMENTS SHOWN ON THESE PLANS, INCLUDING ALL ROADS AND DRA'S ARE PRIVATELY OWNED AND SHALL BE MAINTAINED BY THE OWNER.

MAJOR SITE PLAN FOR IRONS 9



Kimley » Horn

SHEET COVER

IRONS 9
PREPARED FOR
ON TOP OF THE WORLD
COMMUNITIES, L.L.C.

C01.00

MARION COUNTY, FLORIDA

SECTIONS 11, TOWNSHIP 16S, RANGE 20E

JULY 2025





DRAWING INDEX

C01.00 - COVER SHEET
C01.02 - GENERAL NOTES
C02.01 - EXISTING CONDITIONS AND DEMOLITION PLAN

C02.01 - EXISTING CONDITIONS AND DEMOLITION PLAN
C03.01 - AERIAL MASTER PLAN
C04.01 - C04.05 - SITE PLAN
C04.01 - C04.05 - SITE PLAN
C07.01 - C04.05 - SITE PLAN
C07.01 - C07.02 - EROSION CONTROL PLAN
C07.01 - C07.02 - EROSION CONTROL PLAN
C07.03 - EROSION CONTROL DETAILS
C07.04 - EROSION CONTROL NOTES
C07.03 - EROSION CONTROL NOTES
C08.01 - C07.01 DETAILS
C09.01 - C09.03 - UTILITY DETAILS
C09.01 - C09.03 - UTILITY DETAILS
C10.01 - LIFT ASTICHN DETAILS

KENNETH D. COLEN
PRESIDENT
ON TOP OF THE WORLD COMMUNITIES, L.L.C.

TOPOGRAPHIC SURVEY (BY JCH CONSULTING GROUP, INC.)

UTILITY CONTACT LISTING

PROJECT OWNER AND CONSULTANTS



GENERAL NOTES:

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH ALL RELATIVE MARION COUNTY LAND DEVELOPMENT CODES, BLCCOD SPECIFICATIONS, FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), AND FDEP REGULATIONS, EXCEPT AS MODIFIED HEREIN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE REQUIRED FOR THE WORK.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION OF THE SITE PRIOR TO THE BEGINNING OF THE WORK. CONTRACTOR SHALL INFORM THE OWNER, COMPANY REPRESENTATIVE, UTILITY AUTHORITY AND INTERSITED COUNTY AGENCIES AT LEAST 48 HOURS PRIOR TO THE SCHEDULED INSPECTION.
- THE LOCATION OF UITLITES SHOWN ON THE PRANNICS ARE FROM THE SURPEY PROVIDED BY AND CONSULTING FOROUP, INC. ON AUGUST 28, 2024. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPRIM, IN THE FIELD, THE LOCATION AND LECKATION OF THE CONTRACTOR'S THE PROPERTY OF CONTRIBUTIONS WAYS FROM THOSE SHOWN ON THE FLINS, THE CONTRIBUTIONS WAYS FROM THOSE SHOWN ON THE FLINS, THE CONTRIBUTIONS WAYS FROM THOSE SHOWN ON THE FUNS, THE CONTRIBUTIONS.
- CONTRACTOR SHALL LOCATE, VERIFY AND IDENTIFY ALL EXISTING UNDERGROUND UTILITIES SHOWN, OR NOT SHOWN, ON THE PLANS PRIOR TO ANY EXCAVATING ACTIVITIES.
- CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT EXISTING AND NEMLY CONSTRUCTED UTILITIES DURING THE CONSTRUCTION. SHOULD ANY UTILITY LINE OR COMPONIT BECOME DAMAGED OR REQUIRE RELOCATION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE RESPONSIBLE UTILITY COMPANY AND THE ENDORSHIP.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES CAUSED BY HIS OPERATIONS.
- CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH OTHER WORK WHICH MAY BE ONGOING ADJACENT TO, OR AFFECTING, THIS CONSTRUCTION, CONTRACTOR SHALL COOPERATE WITH OTHER CONTRACTORS AND ALL AFFECTED UTILITY COMPANIES.
- CONTRACTOR SHALL NOTIFY ALL APPLICABLE UTILITY COMPANIES AND THE ENGINEER 48 HOURS PRIOR TO THE INITIATING OF ANY EXCAVATION ACTIVITIES, OR AS SPECIFIED BY THE UTILITY COMPANY AND ANY PERMITS REQUIRED FOR THE WORK.
- 10. CONTRACTOR SHALL PROTECT EXISTING SURVEY MARKERS, MONUMENTS, DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE/REPLACE ANY SURVEY MARKERS DAMAGED DURING CONSTRUCTION ACTIVITIES.
- 11. CONTRACTOR SHALL BE RESPONSIBLE FOR THE BEMOVAL/DISPOSAL OF ANY UNSUITABLE MATERIAL FROM THE CONSTRUCTION OFERATION, FURNISHING AND COMPACTING SUITABLE REPLACEMENT BACKFUL MATERIAL. USPOSAL OF UNSUITABLE MATERIAL SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- 12. CONSTRUCTION WARNING SIGNS SHALL BE MOUNTED AND ERECTED BEFORE CONSTRUCTION CAN COMMENCE. THESE, AND ALL TRAFFIC CONTROL DEVICES, SHALL FOLLOW THE STANDARDS SET FORTH BY THE MANUAL OF UNIFORM TRAFFIC DEVICES (MUTCD) AND FLORIDA DEPARTMENT OF TRANSPORTATION (CONT.) CENTRAL PROPERTY
- 13. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARLY IDENTIFYING THE AREA OF CONSTRUCTION AND SAFELY ROUTING ALL VEHICULAR AND PEDESTRIAN TRAFFIC ACOUND THE CONSTRUCTION AREA. THE CONSTRUCTION AREA SHALL BE CLEARLY MARKED AT ALL TIMES.
- 14. CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE EROSION AND TURBIDITY CONTROLS IN ACCORDANCE WITH FORP DURING AND FOLLOWING CONSTRUCTION, UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED TO A ADVERSE ENVIRONMENTAL IMPACTS TO OFF-SITE PROPERTY AND DRAINAGE
- 15. CONTRACTOR SHALL SEED AND MULCH (OR SOD AS APPLICABLE) ALL AREAS DISTURBED BY THE CONSTRUCTION OF THIS PROJECT ACCORDING TO LOCAL REGULATIONS.
- 16. CONTRACTOR SHALL GIVE THE ENGINEER AND BLCCDD A MINIMUM OF 48 HOURS NOTICE OF ALL MEETINGS OR TESTING MEASURES REQUIRED TO BE WITNESSED BY THE CONSTRUCTION ACTIVITIES RELATED TO THE WORK.
- 17. THE CONTRACTOR SHALL SUBMIT THREE (3) SETS OF STANDARD SHOP DRAWNES AND MANUFACTURER'S CATALOGS WITH THE MODEL NUMBER OR SHALL BEAR THE APPROVAL OF THE INDEPENDANT UNTILITY CONTRACTOR. A UTILITY SHOP DRAWNES WILL NEED TO BE APPROVED BY THE ENGINEER OF RECORD AND BUCCOD PRIOR TO CONSTRUCTION.
- 18. THE CONTRACTOR SHALL SUBMIT THERE (3) SETS OF COMPLETE DETAILED SHOP DRAWINGS FOR ALL SHATMAY MANHOLES, KET WELLS, OTHER CASTINGS, AND PUMPS. THE SUBMITTALS SHALL BEAR THE APPROVAL OF THE UNDERFECTION DUTLIFY CONTRACTOR OR EACH SHEET, A COMMETTE SET OF APPLICABLE. ALL UTILITY SHOP DEARWINGS MILL NEED TO BE APPROVED BY THE ENGINEER OF RECORD AND ELCOD PRIOR TO CONSTRUCTION.

GENERAL UTILITY NOTES:

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MARION COUNTY LAND DEVELOPMENT CODE, AND BLCCOD DETAILS AND SPECIFICATIONS, AS WELL AS ALL APPLICABLE STATE AND LOCAL REGULATIONS, EXCEPT AS MODIFIED HERBIN.
- IF SOLVENT CONTAMINATION IS FOUND IN ANY TRENCH, WORK WILL BE STOPPED AND THE PROPER AUTHORITIES NOTIFED. THE MARRON COUNTY STOPPED AND THE PROPER AUTHORITIES NOTIFED. THE MARRON THE PROPERTY OF THE PROPERT
- 3. VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN AND PROFILE SHEETS HAVE BEEN ASSUMED. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCANATION NEAR EXISTING UTILITIES SHOWN ON THE PLANS AND NOTIFY THE ENGNEER IF THE LOCATION DIFFERS FROM THAT SHOWN BEFORE CONTRIBUTION OF
- UNSUITABLE MATERIALS UNDER PROPOSED PIPING SHALL BE REMOVED AND REPLACED WITH SELECT BACKFILL, PROPERLY COMPACTED TO 95% OF MAXIMUM DENSITY PER AASHTO T-180.
- FITTINGS SHALL BE USED AT LOCATIONS INDICATED ON THE PLANS, UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- THE LENGTH OF TRENCH OPEN AT ANY ONE TIME SHALL BE CONTROLLED BY THE PARTICULAR SURROUNDING CONDITIONS, BUT SHALL BE LIMITED TO 300 LINEAR FEET UNLESS APPROVED BY THE ENGINEER IN WRITING.
- 7. NO CONNECTIONS TO EXISTING POTABLE WATER SYSTEMS SHALL BE ALLOWED UNTIL ALL PROPOSED WATER LINES HAVE BEEN PRESSURE TESTED, DISINFECTED, CLEARED FOR SERVICE AND ACCEPTED BY THE BLCCDD AND FDEP.
- 8. THE BACTERIOLOGICAL SAMPLE POINTS SHALL BE INDICATED IN RED ON THE "AS BUILT" DRAWINGS PRIOR TO THE REQUEST FOR A LETTER OF RELEASE TO PLACE THE CONSTRUCTION INTO SERVICE. THE SAMPLE NUMBERS WILL CORRESPOND TO THOSE ON THE BACTERIOLOGICAL SAMPLE LAB SHEETS.

WATER / SEWER SEPARATION:

- PURSUANT TO F.A.C. 62-555.314, SANITARY SEWERS (INCLUDING LATERALS), FORCE MAINS, AND STORM SEWERS SHALL CROSS UNDER WATER MAINS FORCE MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM METRICAL DISTANCE OF THE LINCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. GRAVITY SEWERS CROSSING WATER MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM VERTICAL CLEARANCE OF 6" BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE.
- PURSUANT TO F.A.C. 62-555.314, WHERE SANITARY SEWERS, FORCE MAINS AND STORM SEWERS MUST CROSS A WATER MAIN THE LENGTH OF PVC OR DUCTILE IRON PIPE BEING GROSSED SHALL BE A MINIMUM OF IR FEET. THE POINT OF CROSSING SHALL BE CENTERED SO THAT THE JOINTS WILL BE EQUAL DISTANCE AND FAR AS POSSIBLE FROM WATER MAIN.
- 3. PURSUANT TO F.A.C. 62-555.314, WATER MAINS SHALL BE LOCATED AT LEAST 6 FEET (PREFERABLY 10 FEET) HORIZONTALLY FROM PIPES CARRYING RAW WASTEWATER, AND 3 FEET HORIZONTALLY FROM PIPES CARRYING RECLAIMED WATER, UNLESS OTHERWISE SPECIFICALLY SHOWN ON THE PLANS. THE DISTANCE SHALL BE MEASURED FROM INSIDE EDGE OF PIPE TO INSIDE EDGE OF PIPE.

WASTEWATER COLLECTION SYSTEMS

MITERIALS AND MISTALIATION FOR WASTEWITER COLLECTION SYSTEM MICLIBRICA, BET NOT LIABTID TO, GRAATIN SERREY, LAMMICES, ESPIME LATERIALS, FORCEMANS, LET STATIONS, AND TESTING REQUIREMENTS SHALL CONFORM TO SECTIONS 7.2 AND 7.3 OF THE MRRON COUNTY LOND DEVELOPMENT CODE AND ALL APPLICABLE FIDER REGULATIONS. ALL PVC GRAVITY SEME SHALL BE SERVE.26.

WATER DISTRIBUTION SYSTEMS

AMITERIALS AND INSTALLATION FOR WATER DISTIBUTION SYSTEM INCLUDING, BUT NOT LIMITED TO, PIPE ITTINOS, YALVES, SIGNIT RESTRAINS, FOR HYDRONIS, STRUCE LIMES, TESTING, AND DISTINETION CONFIGM TO SECTIONS 7.2 AND 7.3 O'T THE MARTON COUNTY LAND DEVELOPMENT CODE AND ALL APPLICABLE POEP REGULATIONS. ALL PVC PIPE SHALL BE DR-18 UNLESS SPECIPED OTHERWISE.

AS-BUILT NOTES:

- 1. CONTRACTOR SHALL MAINTAIN "AS-BUILT" INFORMATION ON A REGULAR BASIS. CONTRACTOR SHALL EMPLOY THE SERVICES OF A SURVEYOR REGISTERED IN THE STATE OF FLORIDA TO DETERMINE ALL "AS-BUILT" INFORMATION. WITHIN 14 DAYS OF THE COMPLETION OF THE WORK, CONTRACTOR SHALL PROVIDE SIGNED AND SEALED COPIES AND THE DIGITAL CAD FILE OF THE "AS-BUILT" DRAWINGS AND SUPPORTING SURVEY RECORDS TO THE ENGINEER.
- 2 IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PRODUCE AS-BUILT DRAWINGS FOR ANY JURISDICTIONAL AGENCIES AS MAY BE REQUIRED FOR PROJECT CERTIFICATION.
- 3. AS-BUILT LAYERING SHALL FOLLOW BLCCDD STANDARDS AS SHOWN BELOW:

- *SYSTEM VALVES (MAIN VALVES PLUG'S ETC.)
- · CONTROL VALVES (ARV'S, PRV'S, ETC.) • FITTINGS
- WATER SERVICE (SIZES 3/4", 1", 1-1/2", 2", ETC./MATERIAL, ETC.) •WATER MAIN (SIZES 3/4", 1", 1-1/2", 2", ETC./MATERIAL, ETC.)

WASTEWATER

- · CLEAN OUTS
- ·SYSTEM VALVES (MAIN VALVES, PLUG'S, ETC.)
- CONTROL VALVES (ARV'S, PRV'S, ETC.) • FITTINGS
- · MANHOLES (INVERT ELEVATIONS, RIM ELEVATIONS, ETC.)
- SEWER LATERALS (SIZES 3/4", 1", 1-1/2", 2", ETC./MATERIAL, ETC.) •GRAVITY SEWER MAIN (SIZES 3/4", 1", 1-1/2", 2", ETC./MATERIAL, ETC.)
- •FORCE MAINS (SIZES 3/4", 1", 1-1/2", 2", ETC./MATERIAL, ETC.)

Kimley»Horn 5 5 E 200, OCALA, F 438-3000 REGISTRY NO. 3 SUITE 352-43 H STREET,
PHONE: 3
EY-HORN,CC 1700 SE 17TH S Ph.

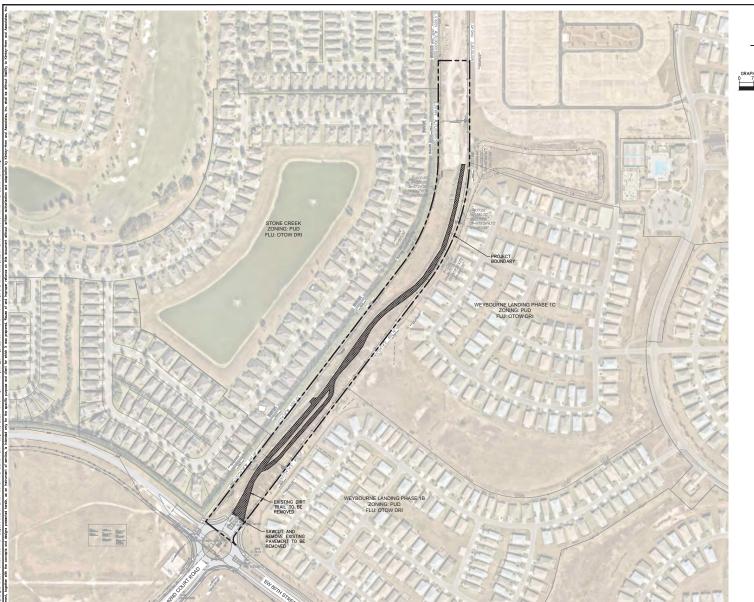
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PREPARED FOR
ON TOP OF THE WORLD
COMMUNITIES, L.L.C.

C01.02



Kimley >> Horn

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1.00 SET THE STREET SHEET

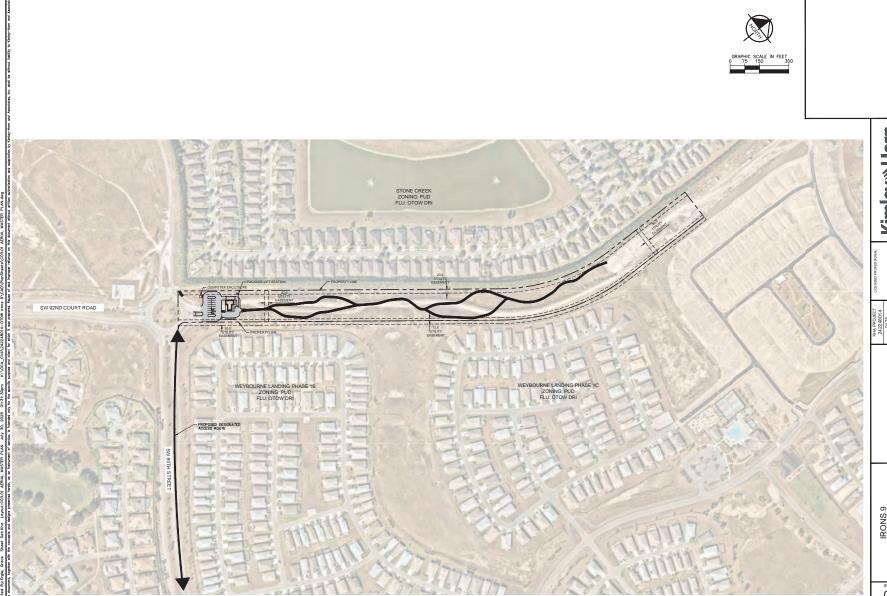
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GENE BRUNO LOSITO

EXISTING
CONDITIONS AND

BLCCDD WTP 4 PHASE 1
PREPARED FOR
ON TOP OF THE WORLD
COMMUNITIES, LLC

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Kimley >> Horn

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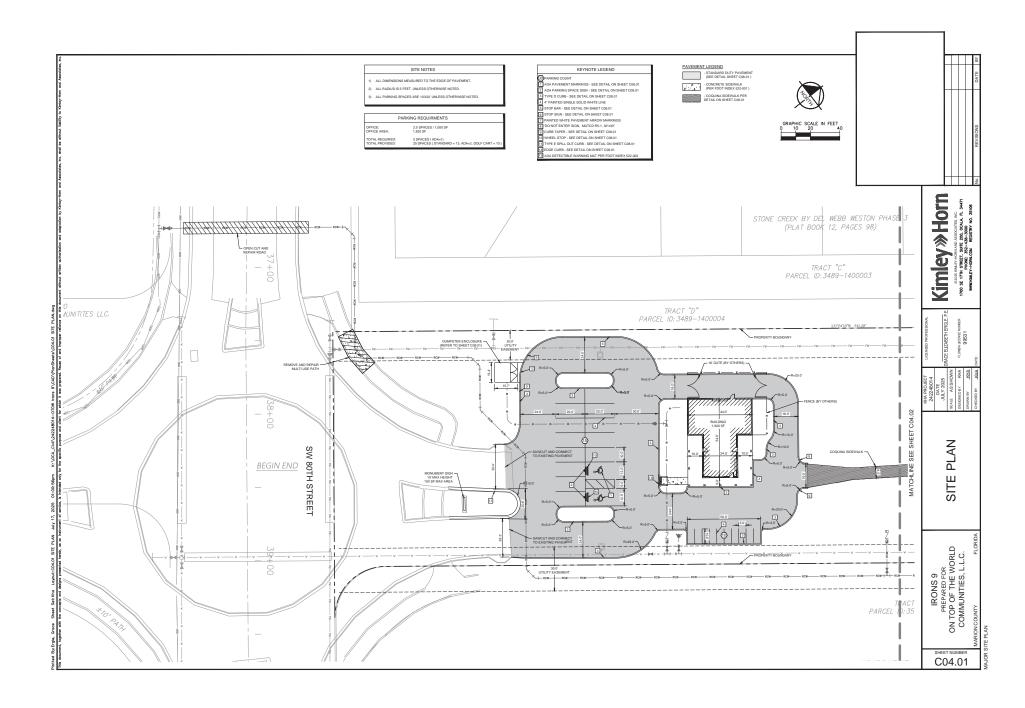
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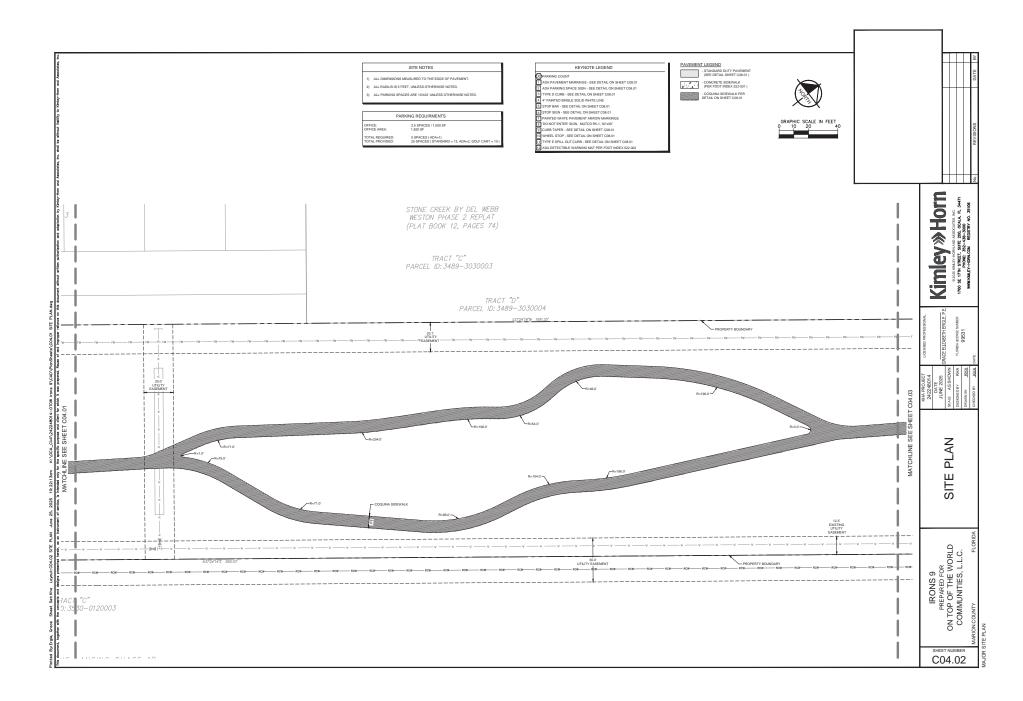
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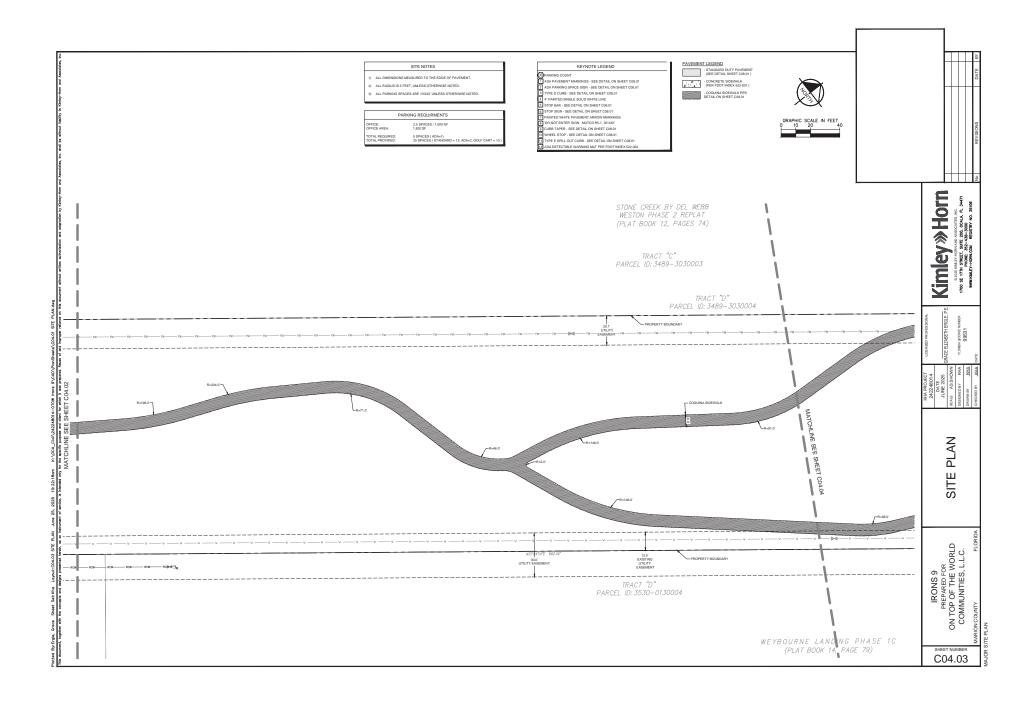
AERIAL MASTER PLAN

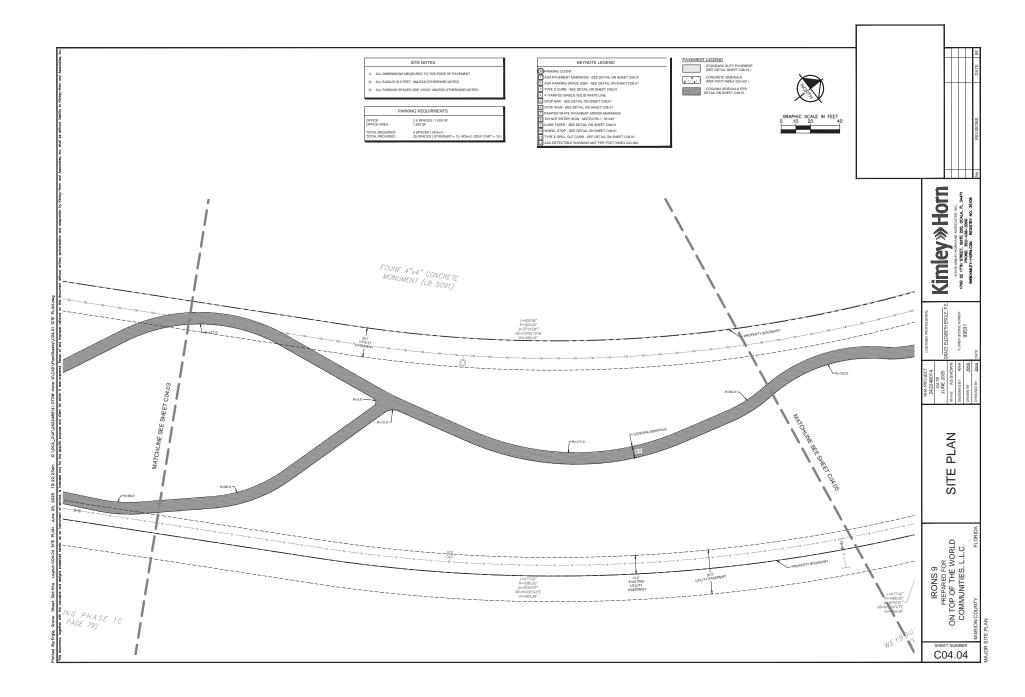
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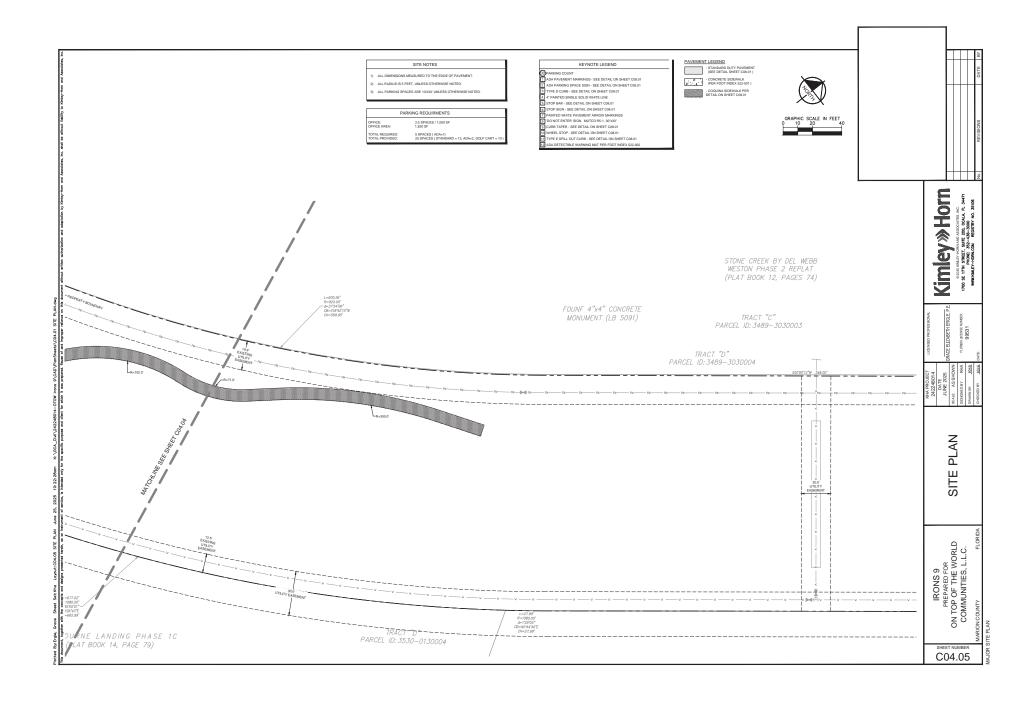
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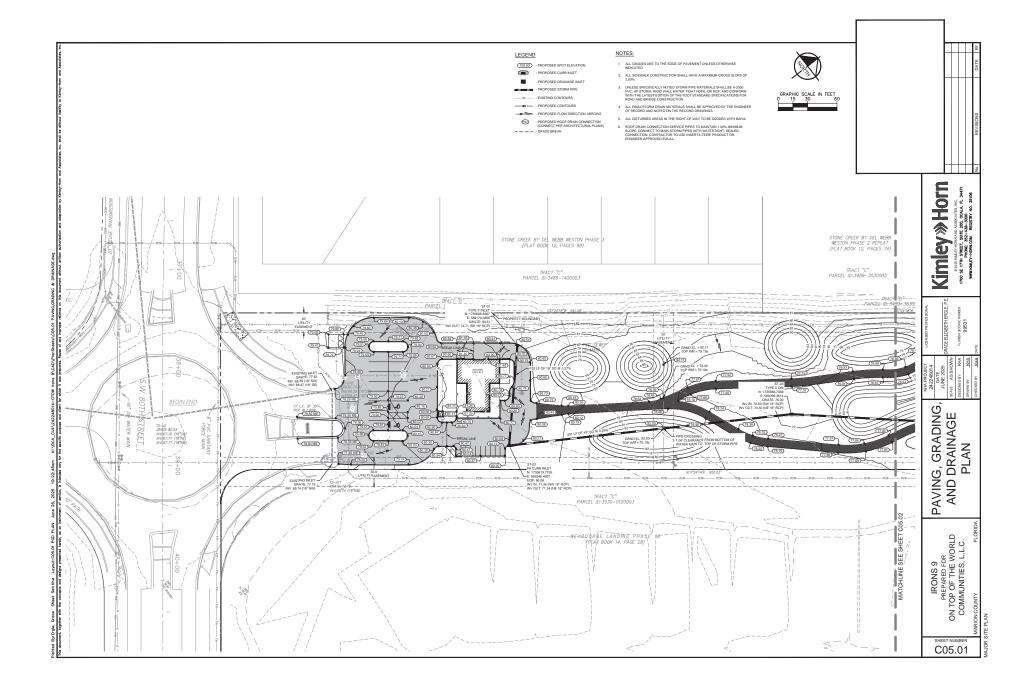


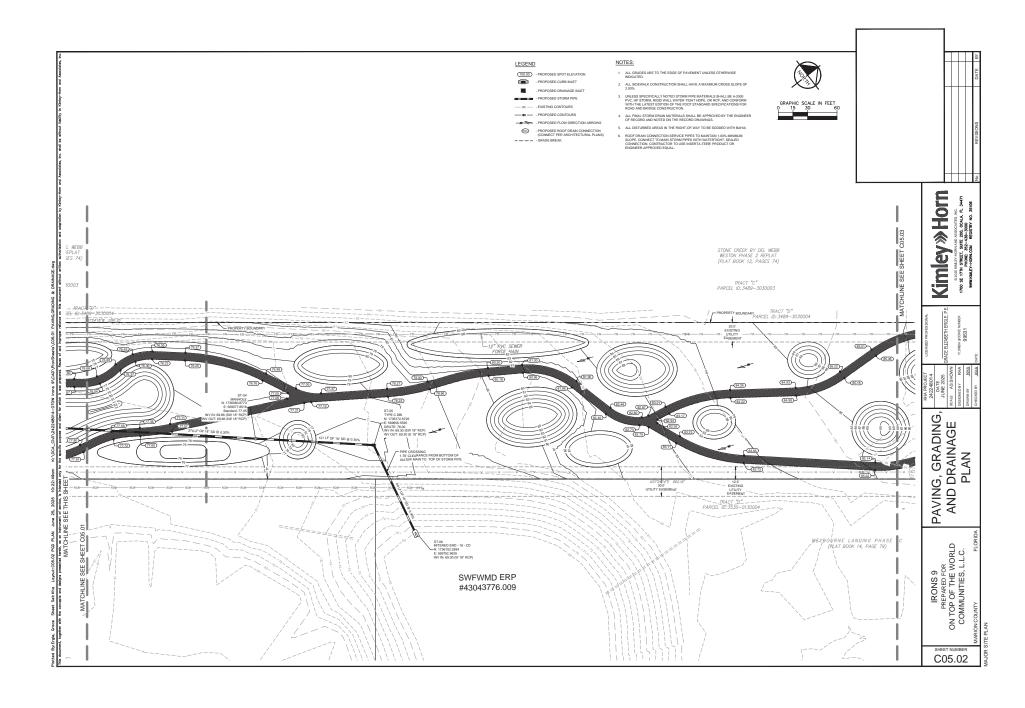


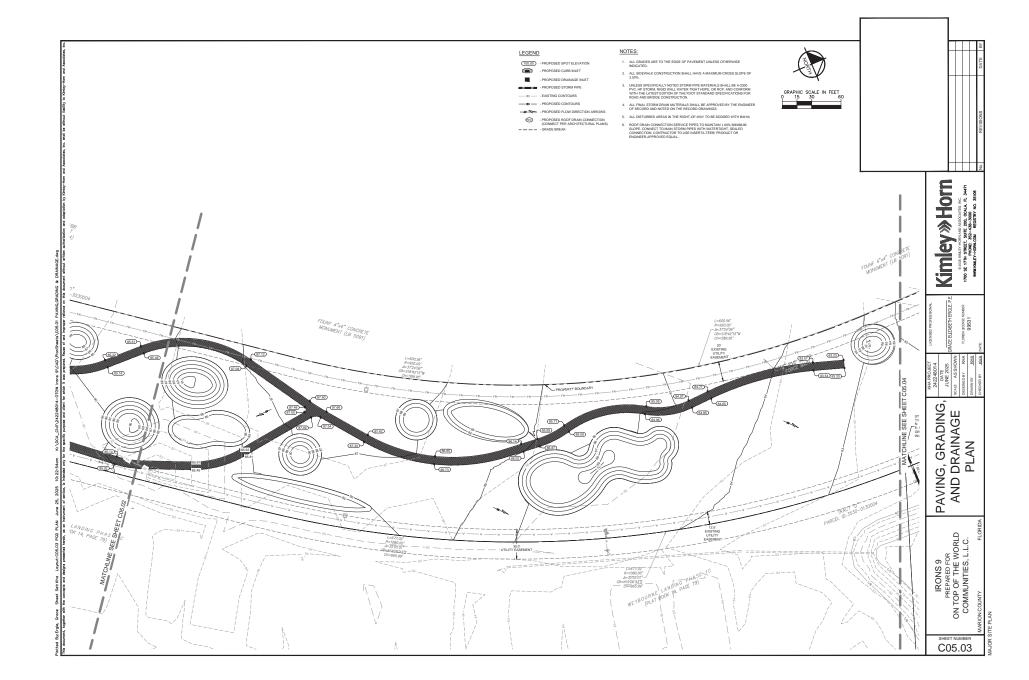


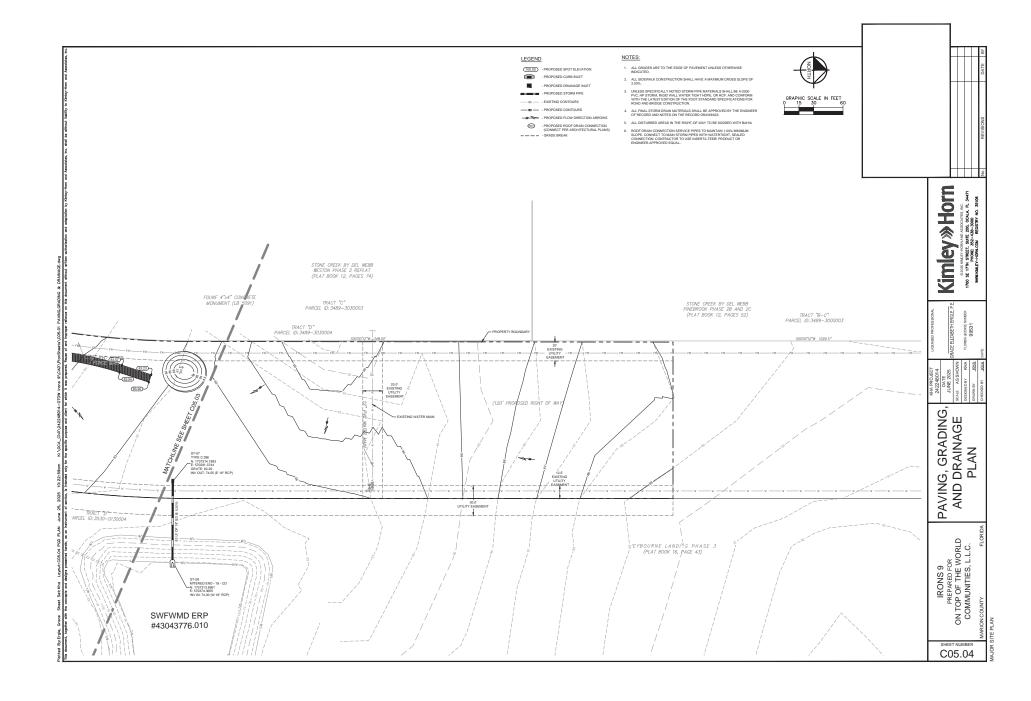


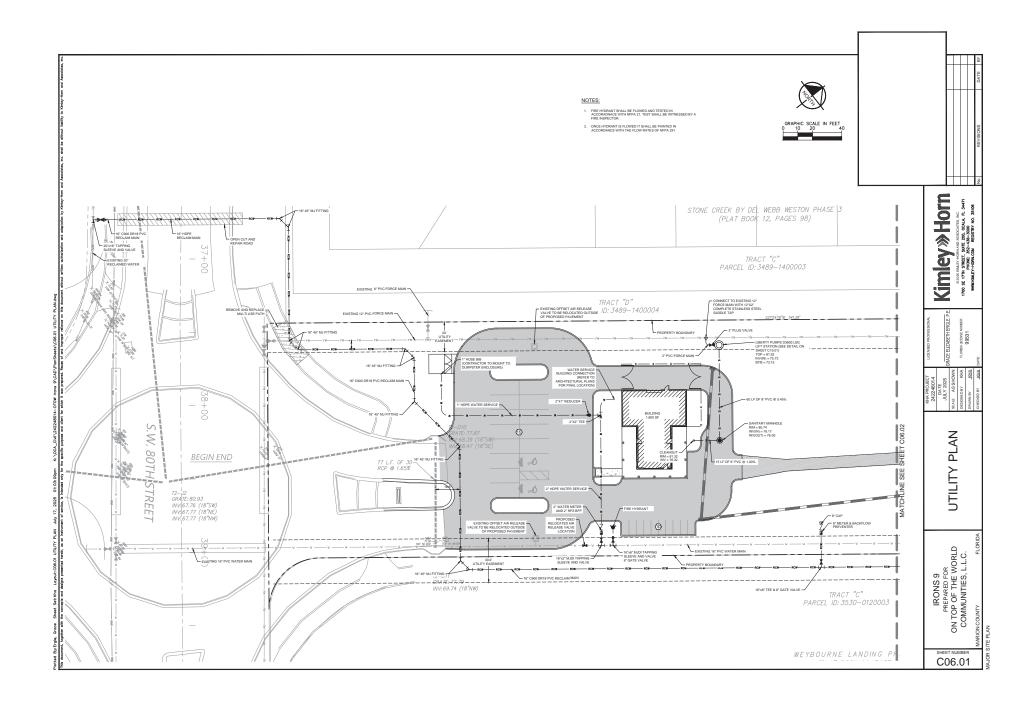


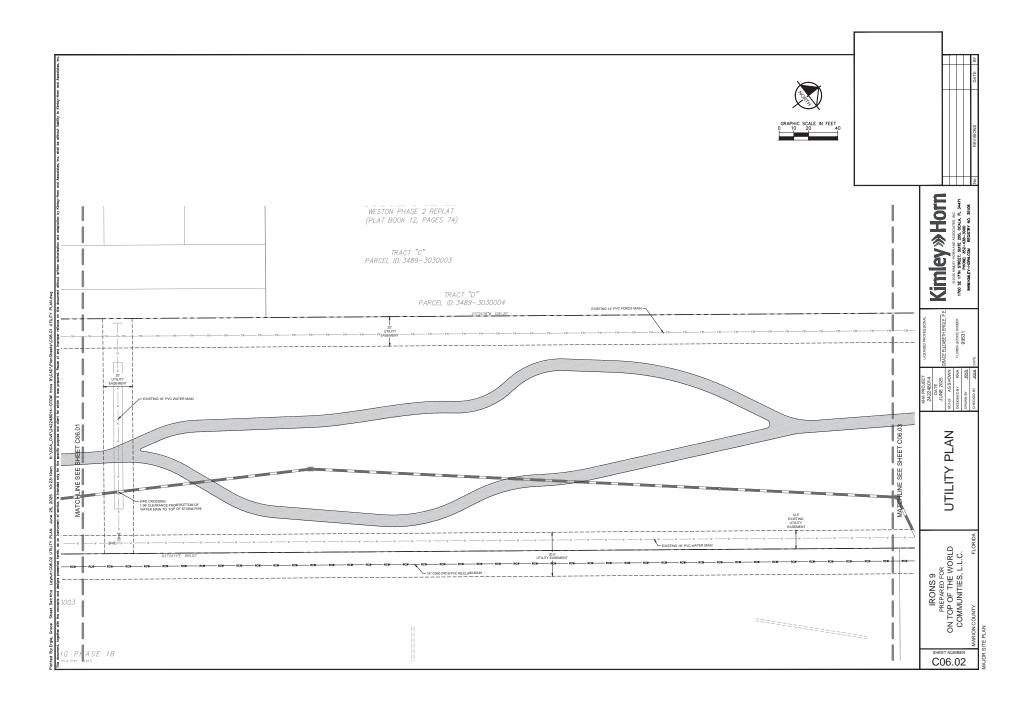


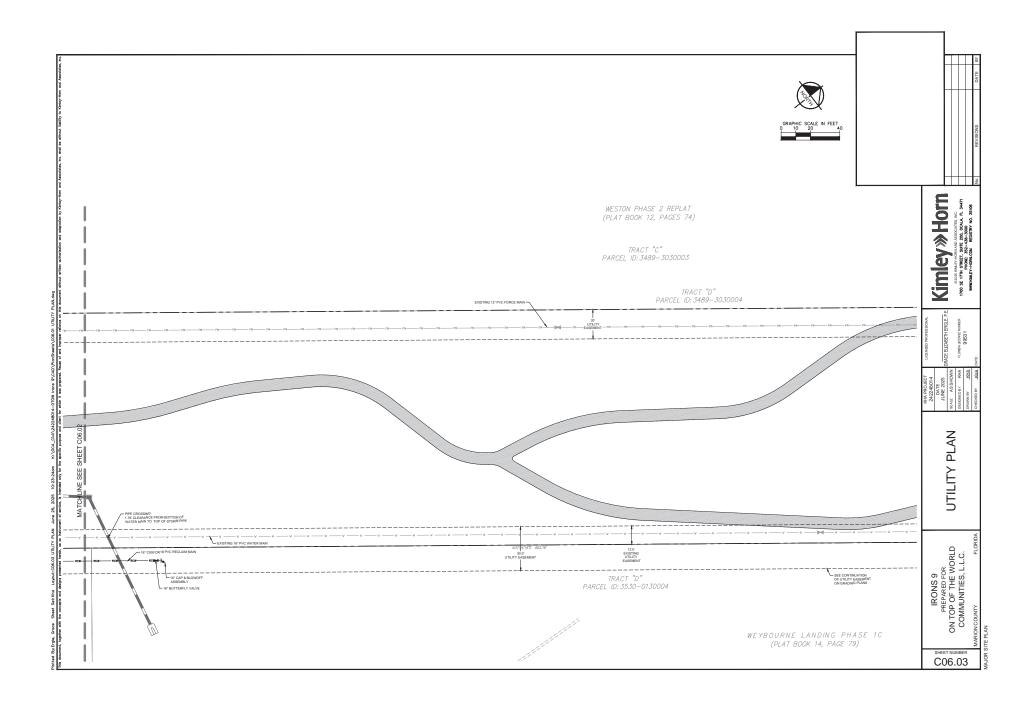


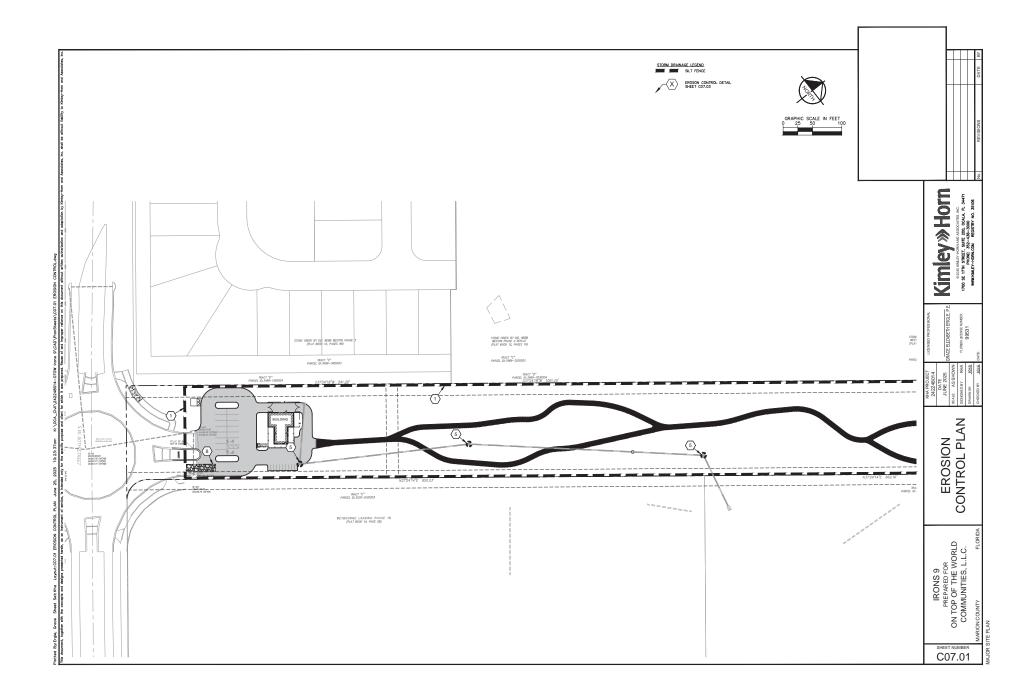


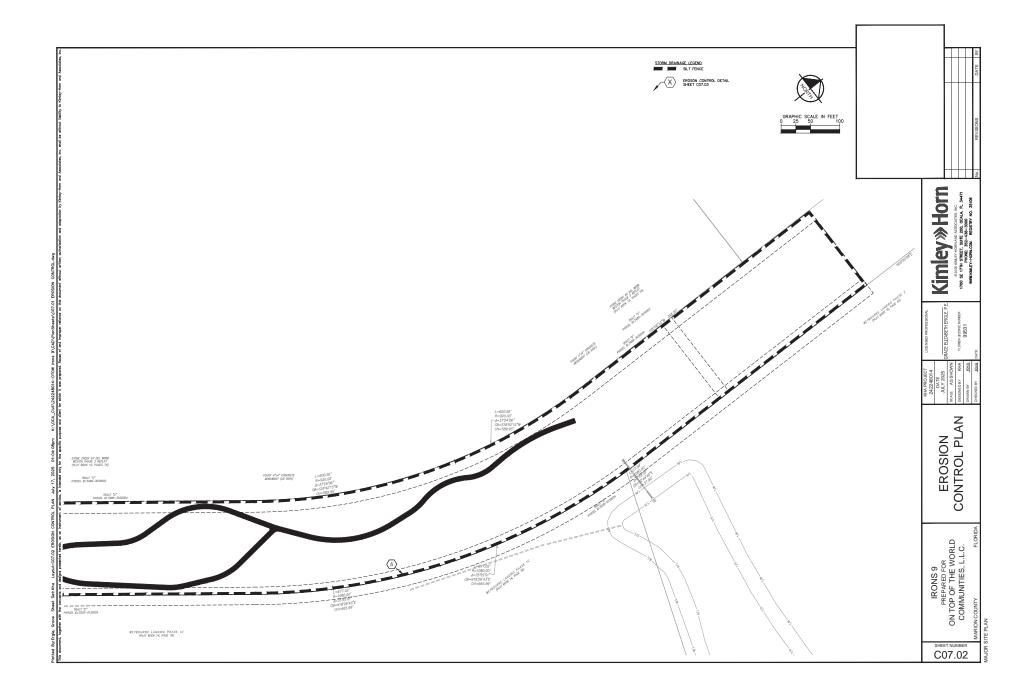


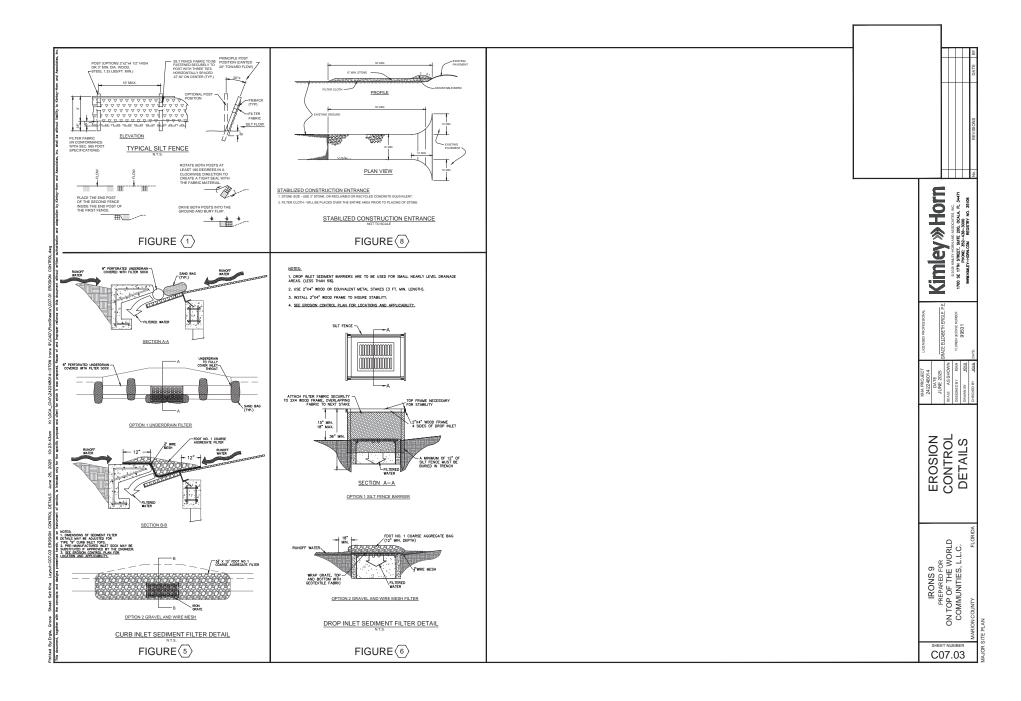












SETTLING FACILITIES, PERIMETER CONTROLS, AND OTHER PRACTICES INTENDED TO TRAP SEDIMENT SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION LINTIL THE LIPSLOPE DEVELOPMENT AREA IS RESTABILIZED.

STABILIZATION OF NON STRUCTURAL PRACTICES:

CONTROL PRACTICES SHALL PRESERVE EXISTING VEGETATION WHERE ATTAINABLE AND DISTURBED AREAS SHALL BE RE-VEGETATED AS SOON AS PRACTICAL AFTER GRADING OR CONSTRUCTION, BUT NO LATER THAN SEVEN DAYS

PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE, AND SHALL ALSO BE APPLIED TO DENUDED AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT UNDISTURBED FOR LONGER THAN SEVEN DAYS.

SEDIMENT BARRIERS:

SHEET FLOW RUNOFF FROM DENUDED AREAS SHALL BE INTERCEPTED BY SEDIMENT

SEDIMENT BARRIERS SUCH AS SEDIMENT FENCE OR DIVERSIONS TO SETTLING FACILITIES SHALL PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SEDIMENT TRANSPORTED BY SHEET FLOW.

INLET PROTECTION:

ALL STORM SEWER INLETS WHICH ACCEPT WATER RUNOFF FROM THE DEVELOPMENT AREA SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER WILL NOT ENTER THE STORM SYSTEM WITHOUT FIRST BEING FILTERED.

MAINTENANCE:

TEMPORARY EROSION CONTROL FEATURES SHALL BE ACCEPTABLY MAINTAINED AND TEMPORARY ENGISION CONTROL FEATURES STAILL BE ACCEPTABLY MAIN JAINED AND SHALL BE REMOVED OR REPLACED AT COMPLETION IN ACCORDANCE WITH THE INPOS GENERAL PERMIT CONDITIONS. MAINTENANCE SHALL BE PAID FOR UNDER THE "POLLUTION AND PREVENTION CONTROL! LINE ITEM.

ALL SOIL STOCKPILES SHALL BE PROTECTED FROM EROSION BY PERIMETER CONTROL DEVICES SUCH AS STRAW BALE DIKES OR FILTER FABRIC FENCES. THESE PERIMETER CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.

PERMANENT VEGETATION:

PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL GROUND COVER IS ACHIEVED WHICH IN THE OPINION OF THE ENGINEER PROVIDES ADEQUATE COVER AND IS MATURE ENOUGH TO CONTROL SOIL EROSION SATISFACTORILY AND TO SURVIVE ADVERSE WEATHER CONDITIONS.

CONSTRUCTION ACCESS ROUTES:

MEASURES SHALL BE TAKEN TO PREVENT SOIL TRANSPORT ONTO SURFACES OR PUBLIC

INSPECTION SCHEDULE:

- DIVERSION SWALE AND STRUCTURAL PROTECTION INSPECT EVERY 7 DAYS AND AFTER EACH RAINSTORM 1/2" OR GREATER. REPAIR AS REQUIRED.
- 2. INLET PROTECTION INSPECT FOR SEDIMENT ACCUMULATION EVERY SEVEN DAYS AND AFTER EACH RAINFALL 1/2" OR GREATER AND DAILY DURING CONTINUED RAINFALL REPAIR OR REPLACE WHEN WATER FLOW IS RESTRICTED BY SEDIMENT
- 3. VEGETATIVE PLANTING INSPECT AFTER SPROUTING OCCURS AND REPLANT BARE VEGETATIVE PLANTING - INSPECT AFTER SPROUTING OCCORS AND REPLANT BARE
 AREAS, INSPECT ESTABLISHED COVER EVERY 15 DAYS FOR DAMAGE; REPLANT A
 REQUIRED. MAINTAIN ESTABLISHED COVER AT MAXIMUM 6" HEIGHT. IRRIGATE AS REQUIRED DURING DRY PERIODS TO MAINTAIN LIVE VEGETATION

CONSTRUCTION SEQUENCE:

- 1. INSTALL SEDIMENT CONTROL MEASURES.
- 2 CLEAR & GRUB AND STOCKPILE TOPSOIL
- 3. INSTALL UNDERGROUND UTILITY LINES.
- 4 CONSTRUCT ROADWAYS
- 5. FINAL GRADING.
- 6. INSTALL PERMANENT VEGETATION.
- 7. PERFORM CONTINUING MAINTENANCE THROUGHOUT ALL CONSTRUCTION OPERATIONS.

DITCH BARRIERS:

SYNTHETIC BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE, ORIENTED PERPENDICULAR TO THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER

THE SYNTHETIC BALES SHALL BE INSTALLED SUCH THAT UNDERCUTTING BENEATH THE BALES IS MINIMIZED BY THE USE OF ROCK CHECK DAMS PLACED ADJACENT TO THE SYNTHETIC BALES.

THE BARRIER SHALL BE EXTENDED TO SUCH A LENGTH THAT THE BOTTOMS OF THE END BALES ARE HIGHER IN ELEVATION THAN THE TOP OF THE LOWEST MIDDLE BALE TO ASSURE THAT SEDIMENT-LADEN RUNDFF WILL FLOW EITHER THROUGH OR OVER THE

MAINTENANCE

SYNTHETIC BALES SHALL BE INSPECTED IMMEDIATELY AFTER EACH ONE-HALF INCH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL

CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES.

NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SYNTHETIC BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED OR SODDED AS PER PLAN.

SEDIMENT FENCE:

THIS SEDIMENT BARRIER LITHURES STANDARD STRENGTH OR EXTRA STRENGTH THIS SEDIMENT BARKIER UTILIZES STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS. IT IS DESIGNED FOR SITUATIONS IN WHICH ONLY SHEET OR OVERLAND FLOWS ARE EXPECTED.

- THE HEIGHT OF A SEDIMENT FENCE SHALL NOT EXCEED 36-INCHES (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE
- 2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST. WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED.
- 3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET.
- 4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
- 5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED. A WIRE MESH SUPPORT FENCE WHEN O FINDARD STEPHONE TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST I-INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE STAPLES AT LEAST I-INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- 6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8-INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES
- 7. WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSURE POST SPACING ARE USED. THE WIRE MESH SUPPORT FENCE MAY BE FLIMINATED IN SUCH A CASE, THE FILTER WIRE MESH SUPPORT PENCE WAT BE ELIMINATED IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF ITEM NO. 6 APPLYING.
- 8. THE TRENCH SHALL BE BACKFILLED AND SOIL COMPACTED OVER THE FILTER FABRIC.
- SEDIMENT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY

MAINTENANCE

SEDIMENT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH ONE-HALF INCH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SHOULD THE FABRIC ON A SEDIMENT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SEDIMENT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED, AND SEEDED OR SODDED AS PER PLAN.

ADDITIONAL MEASURES:

THIS PLAN AND NARRATIVE REPRESENTS THE MINIMUM AMOUNT OF EROSION AND SEDIMENT CONTROL MEASURES. IN THE OPINION OF THE ENGINEER. THAT MAY BE NECESSARY UNDER FAVORABLE WEATHER CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL MEASURES OR PRACTICES THAT MAY BE NECESSARY TO CONTROL EROSION, TURBID DISCHARGE, FUGITIVE PARTICULATES, ETC.
TO FULLY COMPLY WITH ALL GOVERNMENTAL RULES AND/OR PERMIT REQUIREMENTS.

TREE PROTECTION:

FOR ALL TREES SHOWN TO REMAIN:

NO BUILDING MATERIALS, TRASH, EQUIPMENT, WASTE OR OTHER OBJECTS SHALL BE PLACED, PARKED, DUMPED, OR STORED INSIDE TREE BARRIERS. NO VEHICULAR TRAFFIC OR PARKING IS ALLOWED WITHIN THE ROOT ZONES OF THE TREES BEFORE, DURING OR AFTER CONSTRUCTION.

FROSION AND SEDIMENT CONTROL NARRATIVE

KIMI EYJHORN AND ASSOCIATES INC. ENGINEER: 1700 SE 17TH STREET, SUITE 200 OCALA, FL 34471 PHONE: (352) 438-3000

ON TOP OF THE WORLD COMMUNITIES, L.L.C. 8445 SE 80TH STREET ROAD OWNER/

OCALA, FL 34481 (352) 387-7480

NORTH: FUTURE RESIDENTIAL DEVELOPMENT SOUTH: SW 80TH STREET RIGHT OF WAY ADJACENT AREAS: EAST: BAY LAUREL PUD WEST: STONE CREEK PUID

EROSION AND SITE RUNOFF WILL BE CONTROLLED BY THE USE OF SEDIMENT FENCE AND STABILIZED VEGETATION WHERE NEEDED. FROSION

SITE CONTACT: BOE STEPP

BOE STEPP
ON TOP OF THE WORLD COMMUNITIES, L.L.C.
8445 SE 80TH STREET ROAD
OCALA, FL 34481 (352) 387-7480

POLLUTION PREVENTION:

THE NATIONAL POLITITANT DISCHARGE FLIMINATION SYSTEM (NPDES) PROGRAM IS THE NATIONAL POLLD FANT DISCHARGE ELIMINATION SYSTEM (RIPDES) PROGRAM IS REGULATED THROUGH THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP). IF YOUR CONSTRUCTION ACTIVITY MEETS THE FOLLOWING GRITERIA, THEN YOU MILL BE REQUIRED TO SUBMIT A NOTICE OF INTENT (NO) AND PREPARE A STORMWATER. POLLUTION PREVENTION PLAN (SWPPP). FOR MORE INFORMATION PLEASE VISIT FDEP'S WEBSITE AT WWW.DEP.STATE.FL.US/WATER/STORMWATER/NPDES:

- CONTRIBUTES STORMWATER DISCHARGE TO SURFACE WATERS OF THE STATE OR INTO A MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4); AND
- 2. DISTURBS ONE OR MORE ACRES OF LAND INCLUDING LESS THAN ONE ACRE IF ACTIVITY IS PART OF A LARGE COMMON PLAN OF DEVELOPMENT OR SALE THAT WILL MEET OR EXCEED A ONE ACRE THRESHOLD. DISTURBANCE INCLUDES CLEARING. GRADING AND EXCAVATING

Kimley » Horn SUITE 200, OCALA, I SUITE 200, OCALA, I 352-438-3000 SOM REGISTRY NO. 4 STREET.
PHONE: 3 00 SE 17TH S P WWW.KGMLEY-

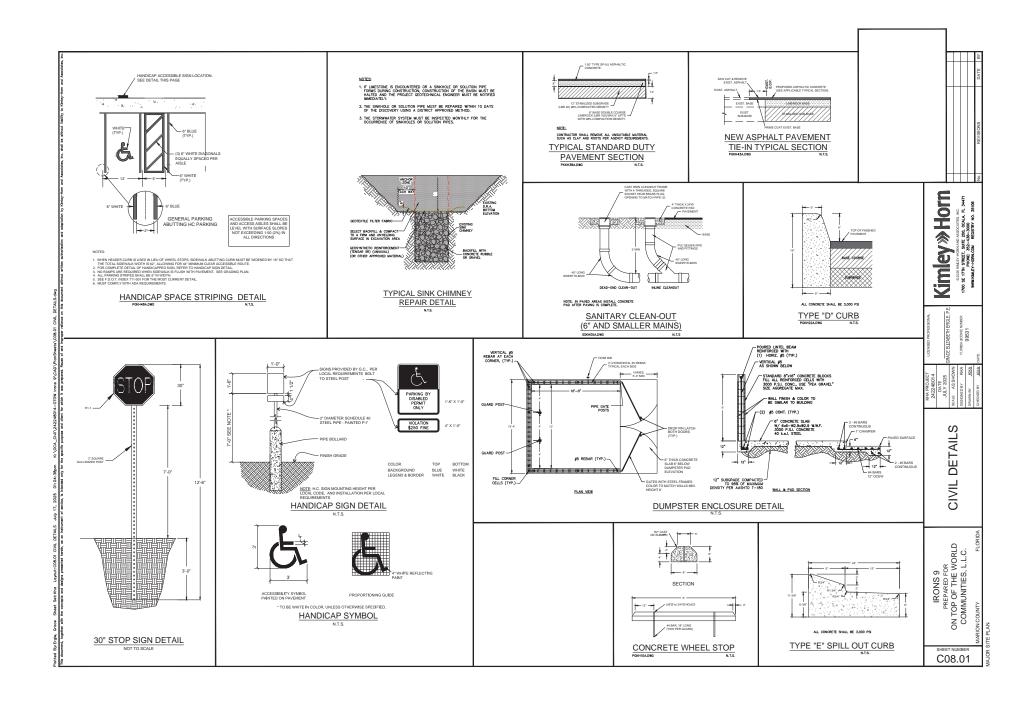
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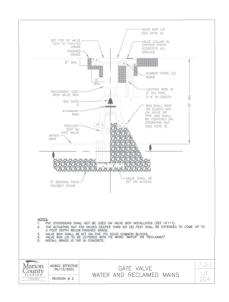
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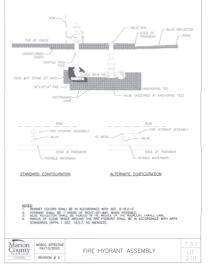
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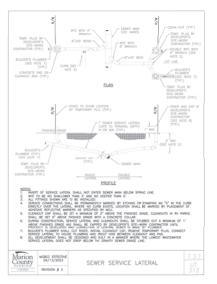
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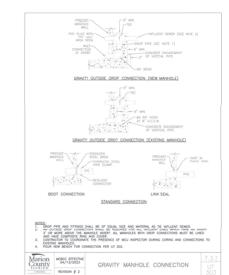
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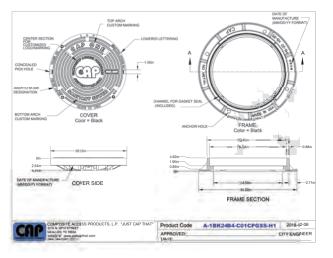


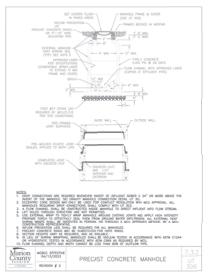












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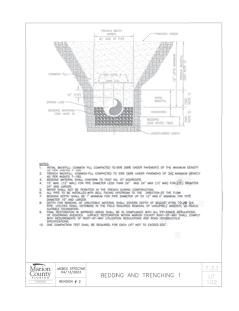
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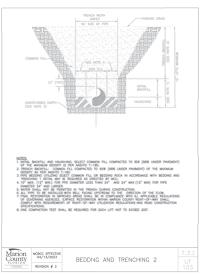
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DATE
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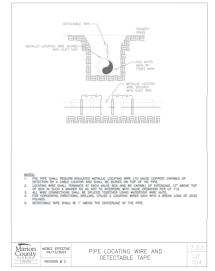
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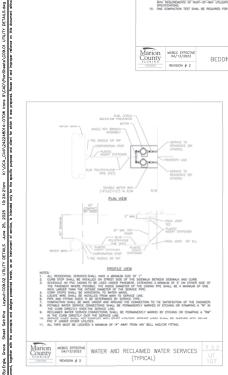
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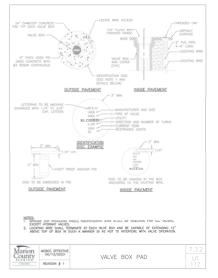
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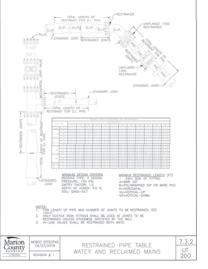


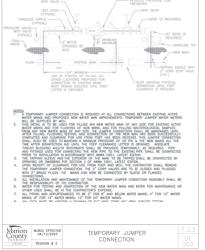














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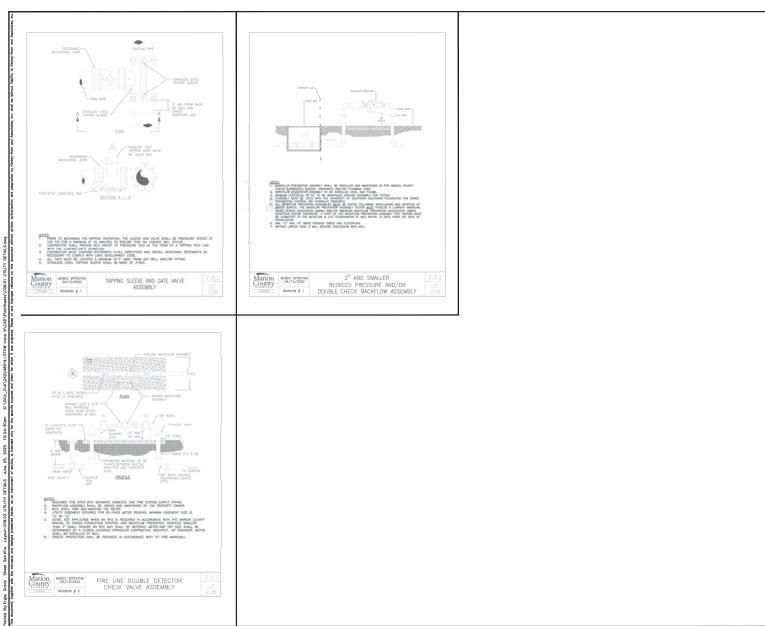
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MCSCC EFFECTIVE
04/13/2023

REVISION

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2 FIRE LINE DOUBLE DETECTOR CHECK VALVE ASSEMBLY

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COMMUNITIES, L.L.C.

Kimley»Horn D 2025 MALEY-HORN AND ASSOCIATES, INC.
1700 SE 17TH STREET, SUITE 200, COLLA, FL. 34471
PHONE: 322-438-3000
WWILKARLEY-HORN.COM. REGISTRY NO. 35106

SRACE ELIZABETH ERGLE, P.E.

KHA PROJECT
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DATE
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DESIGNED BY KHA

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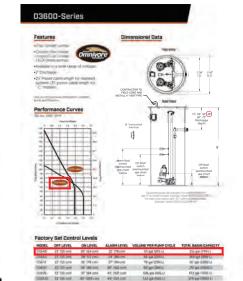
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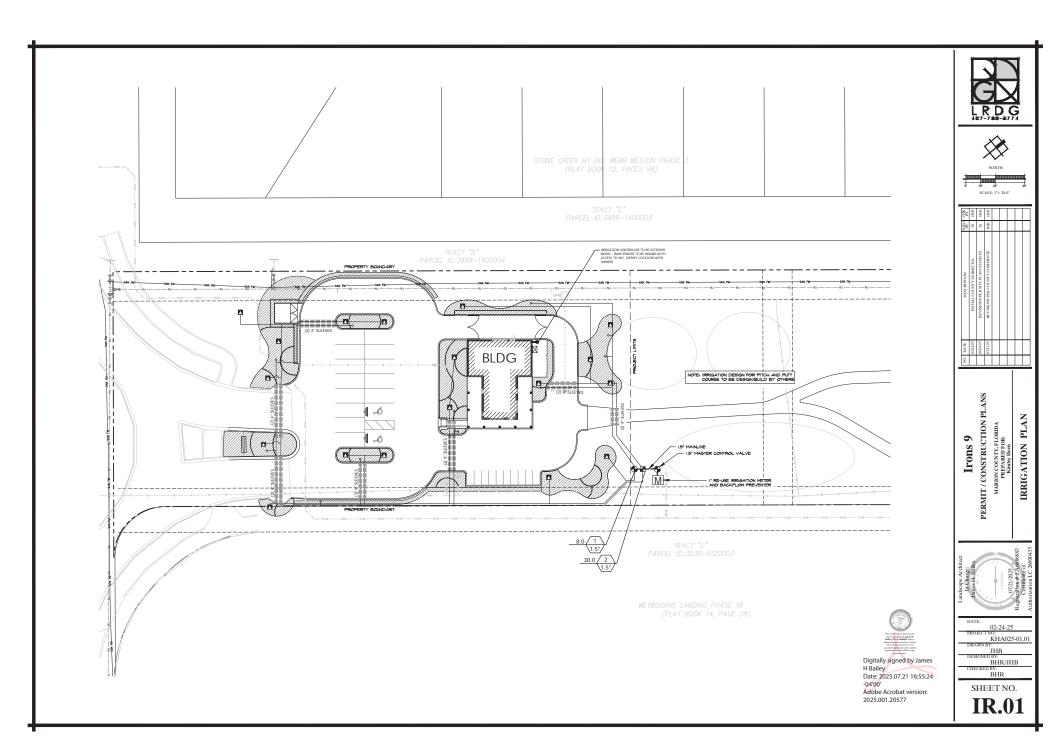
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This document layerer with the concept and designs presented hereb, as an indocument of service, it intended only for the specific purpose and client for which it was proposed. Reser of and improper relations on this document although

MARION COL



IRRIGATION NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR:

- TOLLOWING ALL APPLICABLE CODES AND REGILATIONS CONCERNING THE WORK, WHITTERS THEY ARE MINISTED OR TRACKARD TO THE CONSTRUCTION BOOGRAMS.

 SIMPLATION IN THE CONSTRUCTION BOOGRAMS.

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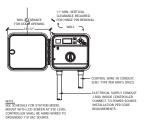
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- ALL IRRIGATION INSTALLATION/ MAINTENANCE PROFESSIONALS SHALL BE LICENSED AND CERTIFIED IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.

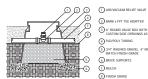
IRRIGATION WATERING RESTRICTIONS, NON-RESIDENTIAL

- MEGRATION WITH CLINION CHAIR THRESS WE AS A MAY LED THE MEGRATION OF MEGRATION AND ALLOWED EXTENSIVE WEST AND A MEDICAL STREET OF MEGRATION MAY COLOR DAY OF MEGRATION OF FROM MAY COLOR DAY OF DESCRIPTION OF THE MEGRATION OF THE MEGRATIC OF THE MEGRATION OF THE

NOTE: IBRIGATION OF A NEW LANDSCAPE IS ALLOWED AT ANY TIME OF DAY FOR THE INITIAL THIRTY (30) DAYS, AND EVERY OTHER DAY FOR THE NEXT THIRTY (30) DAYS, FOR A TOTAL OF ONE SIXTY (60) DAY PERIOD.



HUNTER CONTROLLER



- 2 BARB x FPT TEE ADAPTER 3 6" ROUND VALVE BOX WITH LID CUSTOM SIDE OPENINGS AS RE
- 4 PLD/POLY TUBING 5 3/4" WASHED GRAVEL, 4" MIN MATCH FINISH GRADE
- 6 BRICK SUPPORTS (7) MULCH
- AIR/ VACUUM RELIEF VALVE ON GRADE



9 9

FINISH GRADE
 STANDARD VALVE BOX

3 REMOTE CONTROL VALVE MODEL ICV WITH FLOW CONTROL (SEE PLAN FOR SIZE) WATERPROOF CONNECTORS (2) (5) 18-24" COILED WIRE

6 SCH 80 T.O.E. NIPPLE MAIN LINE PIPE & FITTINGS 8 BRICK SUPPORTS (4) 3 3/4" WASHED GRAVEL, 3" MIN.

HUNTER ICV ELECTRIC GLOBE VALVE COMMERCIAL / MUNICIPAL



LATERAL ZONE LINE PIPE SIZING DOWNSTREAM OF EACH ZONE VALVE (UNLESS OTHERWISE NOTED ON THESE PLANS)

CONTECTS OF THE RENDER OF THE WAY BY A RECEIVED AND THE SELON GUIDE GIVES A GENERAL OUTLINE FOR LATERAL ZONE LINE PIPE SEZING. SIZING SHOULD BE STARTED FROM THE FURTHEST MOST THE ZONE VALVE. CASE SHOULD BE TAKEN TO TOTAL ZONE AND WORKED BACK TO THE ZONE VALVE. CASE SHOULD BE TAKEN TO TOTAL ZONE HITERSECTION OF LETBRAL ZONE LINE TO SEZE AN ACCURATE ACCOUNT OF OWN ALL THE WAY BACK TO THE VALVE. THE GAM FOR EACH ZONE IS GIVEN THE ZONE VALVE. ALL COLUTION THE FARMS.

GPM FOR EACH ZONE IS GIVEN AT	EACH VALVE CALL-OUT ON THE PLANS
GALLONS PER MINUTE (GPM)	APPROPRIATE PIPE SIZE
0-10 GPM	3/4" PVC
11-16 GPM	1" PVC
17-25 GPM	1 1/4" PVC
26-35 GPM	1 1/2" PVC
36-55 GPM	2° PVC
56-85 GPM	2 1/2" PVC
86-120 GPM	3" PWC
121-220 GPM	4" PVC

- VALVE NUMBER

= PROVIDE WATER AT EDGE OF ROOTBALL

FINISH GRADE
 VALVE BOX - JUMBO/ SUPER JUMBO SEE SCHEDULE FOR SIZE

3 DRIP ZONE KIT, WITH FILTER (TIP 45 DEGREES) AND REGULATOR

5 18-24" COILED WIRE

(6) SCH 80 T.O.E. NIPPLE

BRICK SUPPORTS (7)

(7) MAIN LINE PIPE & FITTINGS

9 3/4" WASHED GRAVEL, 3" MIN.

(10) LATERAL PIPE AND FITTINGS

VALVE CALLOUT

EMITTER PLACEMENT AT SHRUBS

GPM - VALVE FLOW (GPM) VALVE SIZE (INCHES)

VALVE LOCATION SYMBOL

5 1.9 5 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9					_		
PRESSURE CLOSS POT TO DOCK				1		VALVE	SIZING
	MITTER LINE LE (FOR 1.0 GPH EMITT SI 126 5 126 10 169 15 197 10 218 15 240 10 263 15 271 10 288 (LENGTH ON	NGTH EMITT 176 235 276 308 337 362 384 401	IN FEET ERS) ACING 24" 222 295 346 349 425 452 486 503 OPE)		PGV PFION GPM 1 5 10 10 15 20 30 35 35 40 50 100 125 125 125 125 125 125 125 125 125 125	PRESSURE L 1" Globe 1.1 1.9 1.9 1.6 3.3 9.1	OSS IN PSI 11/5" Globe 3 3 3 3 4 5 5







IRRIGATION SCHEDULE SYMBOL MANUFACTURER / MODEL

Hunter PCB-50 (1 bubbler per tree)

Trickle TREE 15-70 psi 1 @ 0.50 apm Bed planting area to Receive POINT SOURCE IRRIGATION

TYPE ARC PSI GPM*

1) BARB VALVE
2) POLY TUBING, 3' MIN. LENGTH
3) POLY TUBING

(7) BRICK SUPPORTS (4) (8) 3/4" WASHED GRAVEL, 3" MIN

MULCH (10 FINISH GRADE

(4) BARB ELL

S SINGLE POLY LINE 6 STANDARD VALVE BOX

(9)

Hunter HE point source emitters at each plant: HE-10-8 (black; 1 gph) = 1 assigned to each #1 plant HE-20-8 (red; 2 gph) = 1 assigned to each #3 plant HE-20-8 (red; 2 gph) = 2 assigned to each #7+ plant Lateral line to emitters = Hunter blank tubing PLD-BLNK 17mm Notes: Pierce blank tubing with emitters at each plant

1" Irrigation reuse meter , Backflow prevention per county code, and Hunter Flow Sync Sensor.

 \boxtimes Hunter ICC2 Modular Station Controller Model: ICC Outdoor

Hunter Solar Sync Wireless Rain Sensor - WSS-SEN Mount in location with open view to sky Irrination Mainline: 1.5" PVC Class 200 SDR 21

Irrigation Lateral Line: PVC Class 160 SDR 26 (Not shown, Size per chart) Sch 40 Irrigation Sleeve

> NOTE: CONTRACTOR RESPONSIBLE FOR HIS OWN TAKE-OFFS. THE IRRIGATION PLAN IS DIAGRAMMATIC IN NATURE. LOCATIONS OF PIPING AND OTHER APPURTENANCES ARE SHOWN FOR CLARITY. FIELD CHANGES MAY BE REQUIRED TO ACHIEVE PROPER IRRIGATION COVERAGE.

ALL PIPE SHALL BE LOCATED WITHIN PROPERTY BOUNDARIES



HUNTER DRIP EMITTER
INSTALL USING POCKET
PUNCH TOOL 2) HUNTER 17MM BLANK PLD TUBING 3 TIE-DOWN STAKE

(4) PLANTING SOIL

2) PVC REDUCER AS REQUIRED 3 MPT TO POLY ADAPTER

A POLY TUBING, 3' MIN, LENGTH

5) PVC LATERAL OR FLUSH HEADER

(6) MPT CONNECTION FROM LATERA

STANDARD VALVE BOX

3/4" WASHED GRAVEL, 3" MIN.

(8) BRICK SUPPORTS (4)

HUNTER EMITTER WITH TUBING ON GRADE



MANUAL FLUSH VALVE - POLY END RUN WIRELESS RAIN SENSOR NOTE:
MOUNT TO SUITABLE SURFACE WHERE SENSOR IS
EXPOSED TO UNIORSTRUCTED RAINFALL CAN
RECEIVE FULL SUM, AND IS OUT OF IRRIGATION
SPRAY PATTERN SEE CONTROLLER DETAIL FOR
SOLAR SYNC MODULE LOCATION

HUNTER SOLAR SYNC SENSOR

10 MULCH (1) FINISH GRADE

17 MM BARB TEE (3) POLY SUPPLY TUBING 3

HUNTER DRIP CONTROL KIT

PVC TO POLY ADAPTER MPT x BARB (5) PVC TEE S x S x FPT 6 PVC LATERAL OR SUPPLY HEADER 7 MULCH (8) FINISH GRADE START CONNECTION; ABOVE GRADE HUNTER PLD

HUNTER PCB BUBBLER

MANUAL FLUSH VALVE - PVC

PVC LATERAL

POINT-SOURCE IRRIGATION - END FEED LAYOUT



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HB HB HB 2 2 E

PLANS and PERMIT / CONSTRUCTION MARION COUNTY, FLORIDA PREPARED FOR: Pitch

OTOW

NOTES

IRRIGATION SCHEDULE, & DETAILS

02-24-25 KHA025-01.01 JHB BHR/JHB CHECKED BY: BHR

SHEET NO.

IRD.01

41. Irrigation

41.1 Reclaimed Water

The use of reclaimed water for irrigation is necessary and is in the best interest of the District and the public All wastewater customers of the District are required to take back and utilize for irrigation purposes on their property, at such times and in such a continuous property of the property of

41.2Standards

- 41.2.1 All residential and commercial irrigation shall comply with the irrigation performance standards detailed below:
- 412.1.1 In addition to the current Marion County Land Development Code (LDC) minimum requirements, the District has adopted the Florida District has adopted the Florida District Spatials water and/or irrigation quality water systems for irrigation purposes. All customer landscaping and irrigation systems must be designed, constructed, and operated in accordance with these specifications as outlined in "The Florida Yards & Neighborhoods Handbook" 2015 and "The Florida Friendy Landscaping" Guide available for review at the District's administrative office or online at the following locations:
- $41.2.1.2 http://www.floridayards.org/landscape/The_Florida_Yards_and_Neighborhoods_Handbook_Web.pdf$
- 41.2.1.3https://www.swfwmd.state.fl.us/sites/default/files/store_products/fynplantguide-web.pdf

Any requests for deviations from these specifications may be requested in writing to the District. Authorization for the deviation, if approved, shall be in writing from the District. Verbal communications shall not constitute a valid request and only written approvals or authorizations to proceed with the changes will be recognized.

- 41.2.2 Each customer installing a new irrigation system or retrofitting or replacing an existing irrigation system shall utilize the design criteria set forth in this document and the Florida Friendly design standards pursuant to section 373.228, Florida Statutes, as amended from time to time.
- 41.2.3 The source of irrigation water shall be District supplied potable water or irrigation quality water, including reclaimed water or other designated sources of water as determined by the District for irrigation in its discretion. BLCCDD Uniform Service Policy 45
- 41.2.4 All uses of reclaimed water shall be in accordance with applicable rules of the FDEP, other regulatory bodies having jurisdiction, and the District's Cross Connection Control Program.
- 41.2.5 Each customer shall be solely responsible for maintaining the customer's irrigation system in good working condition. The customer shall pay the cost of all such maintenance required.
- 41.2.6 The District shall require meters for all irrigation connections unless already metered by a residential connection. It is the intent of the District to maximize the use of irrigation qualify water in lieu of potable water. However, at times it may be necessary to limit a customer's use of potable water or irrigation quality water based on supply availability.
- 1.2 Commercial Irrigation Additional Requirements
 The following additional requirements shall apply to all customers installing new landscaping, or retrofitting or replacing an existing commercial irrigation system.
- 41.4.1 Sod irrigation zones shall be separate from shrub irrigation zones, and no irrigation zone shall include both sod and shrub irrigation;
- 41.4.2 Irrigation for all shrub beds shall be point source drip irrigation not exceeding two (2) gap for shrubs three (3) gallon and larger, shrubs one (1) gallon and smaller shall be irrigated with low volume entitles. Subsurface drip law preexisting entitlers may be authorized at the Districts discretion based on the spacing of plant material.
- 41.4.3 Irrigation systems shall be hydro-zoned and matched precipitation rates by us of Multi-Stream/Multi-Trajectory (MSMT) nozzles to achieve maximum efficiency;
- 41.4.4 All irrigation systems shall be installed with a "normally closed" master valve assembly and flow monitoring controller;
- 41.4.5 Irrigation installations shall use pressure regulated irrigation heads with built in check valves approved by the District;
- 41.4.6 Where coverage is limited due to proximity of adjacent structures, the use of end strip/side strip nozzles shall be required;
- 41.4.7 Large sod zones shall be irrigated using rotors or similar device to achieve maximum irrigating efficiency:
- $41.4.8 \ \hbox{All irrigation zones shall have matched precipitation rates for best coverage};$
- 41.4.9 A rain sensor shall be installed and control all irrigation zones, and shall be an evapotranspiration sensor, or equal sensor-based technology that automatically adjust watering schedule and flow according to aimsopherior or soil conditions, or equal "smart irrigation technology" approved by the District. Rain sensor and related hardware shall be installed or manufacturer specifications;
- 41.4.10 All irrigation installations will include backflow prevention assembly approved by the District. If a chemical injection system is present for any reason, a reduced pressure principle backflow assembly is required, see the District's cross

connection control program for additional details;

- 41.4.11 All commercial irrigation systems shall be installed utilizing purple pipe for the irrigation lines and identification tags installed on the solenoid valves identifying the water source as non-protable (if applicable);
- 41.4.12 Customers will be allowed a thirty (30) day grow in period upon installation of landscape material and sod; after thirty (30) days customers will be responsible for adhering to irrigation restrictions;
- 41.4.13 All landscape and irrigation construction drawings shall be reviewed and approved by the District prior to submittal to Marion County. The District shall have ten (10) days to review the submittal;
- 41.4.14 All additional or more stringent landscape/irrigation requirements imposed by the Water Management District, and/or Marion County Land Development Code, as amended from time to time, are incorporated into and made a part of this policy and shall control over less stringent requirements in this policy.



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DESCRIPTION	INITIAL COUNTY SUBMITTAL	REVISIONS PER SITE PLAN CHANGES			
DATE	03/04/25	06/24/25			
NO.					

OTOW Pitch and Putt PERMIT / CONSTRUCTION PLANS MARION COUNTY, ELORDA PREPAREN FORD. SPECIFICATIONS

IRRIGATION

Landscape Architect
Landscape Architect
James 44, 870pg

Regulation 44, 2606883

Regulation 44, 25066883

DATE: 02-24-25
PROJECT NO: KHA025-01.01
DRAWN BY: JHB

SHEET NO.

BHR/JHB

IRD.02

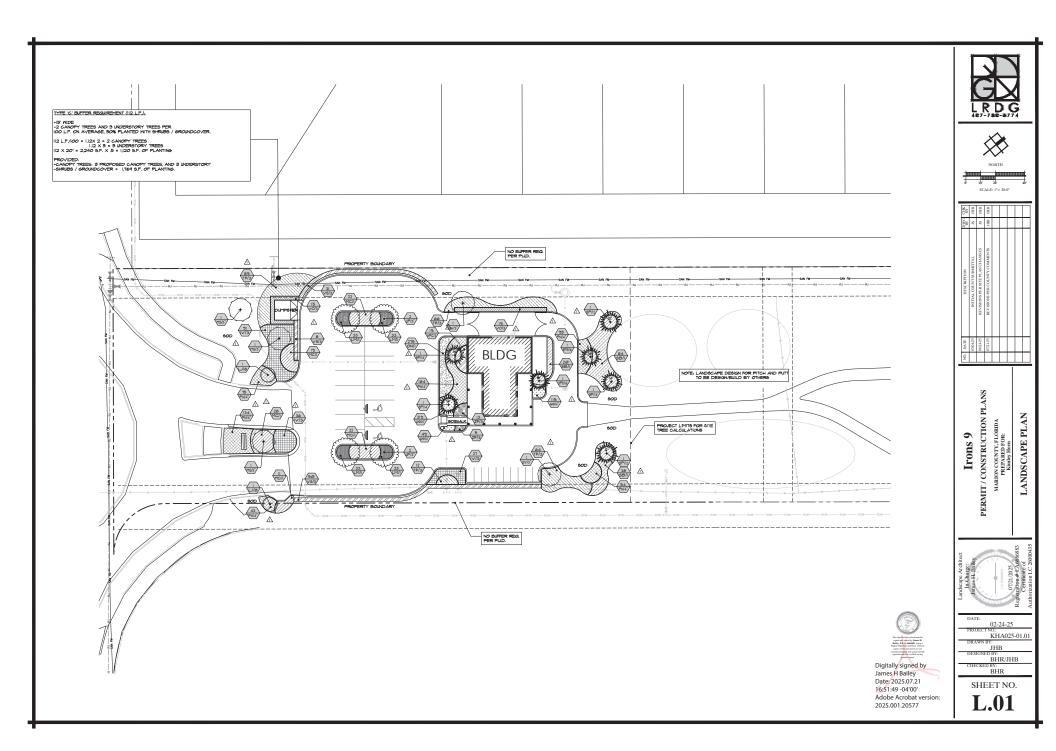
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	PLAN	1 901	HEDULE		
	CODE	QTY	BOTANICAL NAME	COMMON NAI	ME REMARKS
- 11	CANOP	TREE	ES Tmagnolia grandiflora	A SOUTHERN MAGE	NOLIA CONT. OR RPG 15"HT., 1"-8" SPR.
H	MG/3°	2	QUERCUS VIRGINIANA	SOUTHERN LIVE	3.5" CAL MIN. OAK 65 GAL, OR RPG, 12'-13' HT., 6'-1'
١,	UP/3"	4	ULMUS PARVIFOLIA 'EMER	R II' 'EMER II' ALLEE I	
ł					5'-6' SPRD., 3.5" CAL MN.
ľ	UNDERS	2	LIGUSTRUM JAPONICUM	JAPANESE PRIV	RPG, 8'-9 x 8'-9', MULTI-TRUNK, TRUNKS MN, 1' CAL PER TRUNK, TOTAL OF 5' CAL FOR ALL TRUNKS COMBINED, TIGHTLY AND SYMMETRICALLY PRUNED
Ī	PALM T	REES	•		
ı	5P/12	2	SABAL PALMETTO	CABBAGE PALI	HURRICANE-CUT
•	5P5/16	2	SABAL PALMETTO	CABBAGE PALI	REGENERATED HEADS
ļ	5P/14'	3	SABAL PALMETTO	CABBAGE PALI	1ETTO 14° C.T., NON-BOOTED, REGENERATED HEADS; NATIVE
	SHRUB .	AREAS			
l	HPC/3	19	HAMELIA PATENS 'COMP.		HT MIN, 30" O.C.
l	IV/3	154	ILEX VOMITORIA 'NANA'	DWARF YAUPON	HT MIN, 30" O.C.; NATIVE
H	TF/3	231	TRIPSACUM FLORIDANUM		3 GAL, 24" × 24", 30" O.C.
ŀ	VO/3	34	VIBURNUM ODORATISSIMU		MIN, 36" O.C.
ļ	V9/3	89	ZAMIA FLORIDANA	SANDANKWA VIE	MIN, FULL 36" O.C.
ŀ	ZF/3	18	ZAMA FLORIDANA	COONTE PALIT	3 GAL, 18"-24" × 18"-24", 3@" O.0
	ORNAM	ENTAL	GRASSES	en lenne sens	1
ļ	MC/I	102	MUHLENBERGIA CAPILLAI		I GAL, 18" HT. X 18"-20",18" HT M SPR. 36" O.C. 1 GAL, 24"-36" HT.18" HT MIN.
ļ	5B/I	142	SPARTINA BAKERI	SAND CORD GR	FULL, 36° O.C.
	GROUNE	cov	ER6		1.6
ŀ	ANN/4"	383	ANNUALS ANNUALS	ANNUAL5	4" POTS, I@" O.C. TO BE SELECTED BY LANDSCAPE ARCHITECT/GUNER
1	LM/I	132	LIRIOPE MUSCARI 'AZTEC		I GAL, 12"-18" HT., FULL, 18" O.C.
Š.	ON/I	275	OPHIOPOGON JAPONICUS		I GAL, FULL, 12° O.C.
1	PN/4°	585	PERENNIALS FLOWERS	PERENNIALS	I GAL 18*O.C. TO BE SELECTED E OWNER
-	ABBREV		BOTANICAL NAME	COMMON NAME	SIZE # SPACING

MULCH		Pinestran	3' Thick Layer
500	Paspalum Natatum 'Argentine'	Argentine Bahia	Palletted, need free
	•	•	•

HE CONTRACTOR IS RESPONSIBLE FOR VERBICATION OF QUANTITIES IN THE PLANT LIST. IN THE EVENT OF A COMPLICT BETWEEN QUANTITIES IN THE LIST AND THE FLANS, THE FLANS SHALL CONTROL, AND THE DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE RECHTECT PRIOR TO BID. ANY DEVALUATION PRIOR THESE FLANS HAS BE APPRIVADED BY THE LANDSCAPE REACHTECT OR QUANTION FROM THE PLANS THE PRIOR THE PARTICAL TO RECHT.

THE OWNER RESERVE THE RIGHT TO REDUCE PLANT SIZES AND QUANTITIES TO THE MINIMUM REQUIRED WITHOUT ADDITIONAL APPROVAL FROM

NATIVE PLANT CALCULATIONS

TOTAL PLANTS (TREES/SHRUBS/GROUNDCOVER): 1,199
TOTAL NATIVE PLANTS (TREES/SHRUBS/GROUNDCOVER): 618 (31% NATIVE)
(DOES NOT INCLUDE ANNUALS)

SITE TREE REQUIREMENTS:

PROJECT LIMITS = 130 ACRES (56,769 SF)

OPEN SPACE REQUIRED : 20% = 0.26 AC (11,354, S.F.)

OPEN SPACE PROVIDED: Ø.46 AC (2Ø,122 SF.)

9ITE SHADE TREES I SHADE TREE PER 3,000 SF OF PROJECT AREA REQUIRED = 19 SHADE TREES (56.769 / 3,000 SF = 19.)

SHADE TREES PROVIDED: 9 PROPOSED SHADE TREES
(10 TREE CREDITS TO BE USED FROM OTOW TREE BANK TO MEET SITE TREE REQUIREMENTS!

GENERAL NOTES: (REFER TO SEPERATE SPECIFICATIONS SHEET FOR COMPLETE REQUIREMENTS

- I. ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. I OR BETTER AS SPECIFIED IN <u>GRADES AND STANDARDS FOR NURSERY PLANTS</u>, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, AND SHALL CONFORM TO <u>AMERICAN ISTANDARDS FOR NURSERY</u> STOCK, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, LATEST EDITION.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF QUANTITIES IN THE PLANT LIST. IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES IN THE THE CONTRACTOR REPORTS REPORTED FOR FRANCE AND THE PLANT LIGHT, IN THE EYEMT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT LIGHT AND THE PLANS, THE PLANS SHALL CONTROL. AND THE DISCREPANCY SHALL BE REQUEST TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BID. ANY DEVIATION FROM THESE PLANS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR QUINER'S REPRESENTATIVE.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND LOCAL REGULATIONS, AND IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THE WORK.
- 4. ALL LANDSCAPE INSTALLATION/ MAINTENANCE PROFESSIONALS SHALL BE LICENSED AND CERTIFIED IN ACCORDANCE WITH STATE AND LOCAL
- 5. THE CONTRACTOR SHALL EXAMINE EXISTING SITE CONDITIONS AND PROMPTLY REPORT ALL DISCREPANCIES AND UNSUITABLE CONDITIONS (WETNESS, MUCK, DEBRIS, OBSTRUCTIONS, ETC.) TO THE LANDSCAPE ARCHITECT PRIOR TO BIDDING. THE CONTRACTOR IS RESPONSIBLE FOR SOIL ANALYSIS PRIOR TO INSTALLATION OF PLANTINGS, AND SHALL ENSURE ALL SOIL AMENDMENTS CONFORMED TO SPECIFICATIONS.
- 6. THE CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE SITE AND ALL UTILITIES (INCLUDING WATER SEWER AND ELECTRICAL SUPPLY). THE THE CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE SHE AND ALL UTILITIES, (INCLUDING WATER, SEWER AND ELECTRICAL SUPPLY). THE
 CONTRACTOR SHALL CALL <u>FLORIDA</u> SUNSHINE BI AND AREA WILLIES NOT LISTED ON THE LOCATE TICKET. THE EXACT LOCATION OF ALL EXISTING
 ABOVE GROWND AND INDERGROWND STRUCTURES, UTILITIES, SPRINKLERS AND PIPE MAY NOT BE NDICATED ON DRAWINGS, THE CONTRACTOR
 SHALL CONDUCT HIS WORK IN A MANNER TO PROTECT AND PREVENT INTERRUPTION OR DAMAGE TO EXISTING SYSTEMS AND UTILITY SERVICES WHICH
 MUST REMAIN OPERATIONAL. THE CONTRACTOR IS RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED BY HIM AT NO ADDITIONAL COST TO THE
- 1. CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN, AND IS RESPONSIBLE FOR THEIR COMPARABLE REPLACEMENT IF DAMAGED BY HIM AT NO ADDITIONAL COST TO THE CHINER.
- 8. ALL TREE MATERIAL SHALL BE CONTAINER GROWN UNLESS OTHERWISE SPECIFIED.
- 9. 90IL PROVIDED SHALL BE FREE OF LIMEROCK, PEBBLES OR OTHER CONSTRUCTION DEBRIS.
- 10. ALL PLANTING BEDS SHALL RECEIVE A 3" LAYER OF MULCH (I" OVER ROOTBALL), MEASURED AFTER MULCH HAS SETTLED.
- II. ALL PLANT BEDS SHALL BE FREE OF WEEDS, ROCKS, AND CONSTRUCTION DEBRIS, ETC., AT TIME OF INSPECTION BY LANDSCAPE ARCHITECT/ OWNER/
- 12. MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH THE FLORIDA YARDS & NEIGHBORHOODS HANDBOOK http://ffl.ifas.ufl.edu
- 13. ALL LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH MARION COUNTY LDC SEC. 6.8.13.
- 14. FERTILIZER AND LANDSCAPE CHEMICAL USE SHALL COMPLY WITH MARION COUNTY LDC SEC. 6.8.14.
- 15. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED, OPERATED, AND MAINTAINED IN ACCORDANCE WITH MARION COUNTY LDC DIV. 9 IRRIGATION 6.9.6.
 AND ALL OTHER STATE AND LOCAL STATUES THAT APPLY. AN IRRIGATION PLAN SHALL BE PROVIDED PRIOR TO ISSUANCE OF A DEVELOPMENT
 ORDER OR BUILDING PERMIT, IF REQUIRED, IRRIGATION DESIGN AND AS-BUILT PLANS SHALL BE PROVIDED BY OTHERS, UPON COMPLETION OF THE
 IRRIGATION SYSTEM INSTALLATION AND ACCEPTANCE OF THE AS-BUILT PLANS AND OPERATIONAL IRROGATION, A FINAL LAND SCAPE? IRRIGATION RELEASE SHALL BE SIGNED AND SEALED BY THE PROJECT LANDSCAPE ARCHITECT AND SUBMITTED TO MARION COUNTY.
- 16. ALL CERTIFICATION AND LICENSING OF LANDSCAPE PROFESSIONALS AND IRRIGATION INSTALLATION/MAINTENANCE PROFESSIONALS SHALL BE IN ACCORDANCE WITH MARION COUNTY LDC SEC. 6.8.15 AND SEC. 6.9.10.
- NO CERTIFICATE OF OCCUPANCY SHALL BE 18SUED UNTIL A COMPLETE, SELF-CERTIFICATION CHECKLIST, AS WELL AS A CLEAR AND ACCURATE
 AS-BUILT SKETCH, HAVE BEEN BUBHTITED AND ACCEPTED BY THE COUNTY AND THE INALL INSPECTION AND LANDSCAPE/IRRIGATION RELEASE HAS
 BEEN RECIPIED OR THE COUNTY HAS CONDUCTED AND CERTIFIED A FINAL INSPECTION PER TAKEON COUNTY LOS CESC. 69.1.

LANDSCAPE COMPLETION INSPECTION REQUIREMENTS

- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL DOCUMENT THE ACTUAL FIELD PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL DOCUMENT THE ACTUAL FIELD INSTALLATION OF THE LANDSCAPE AND SUBMIT TO MARION COUNTY A REQUIRED LANDSCAPE 49-BUILT CERTIFICATION FLAN, SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT (MARION COUNTY LDC DIV 8. SEC 8.82). HOW CONTRACTOR SHALL PROVIDE A CLEAR AND LEGIBLE AS-BUILT DIAGRAPH THAT ACCURATELY REPRESENTS THE LANDSCAPE PLAN AS INSTALLED, AND REQUEST AN ON-SITE INSPECTION BY THE LANDSCAPE ARCHITECT, THE AS-BUILT PLANS WILL BE APPROVED AND A FINAL INSPECTION AND LANDSCAPE RELEASE GRANTED.

THE CONTRACTOR SHALL MARK-UP A COPY OF THE APPROVED LANDSCAPE DESIGN PLAN WITH THE FOLLOWING AS-BUILT INFORMATION: (NOTE PRE-APPROVAL BY THE DESIGN PROFESSIONAL IS REQUIRED FOR ANY DESIGN CHANGE (INCLUDING PLANT SUBSTITUTIONS, LAVOUT, QUANTIES, MATERIALS, ETC.)

NOTALLED PLANT SHECIES AND SIZES

NISTALLED PLANT OFFICES AND SIZES

- OTHER INSTALLED MATERIALS DOCUMENTATION

THE CONTRACTOR SHALL PROVIDE CONFIRMATION THAT THE OWNER HAS RECEIVED:
- WRITTEN MAINTENANCE, PRUNING, AND FERTILIZER INSTRUCTIONS AND SCHEDULE.



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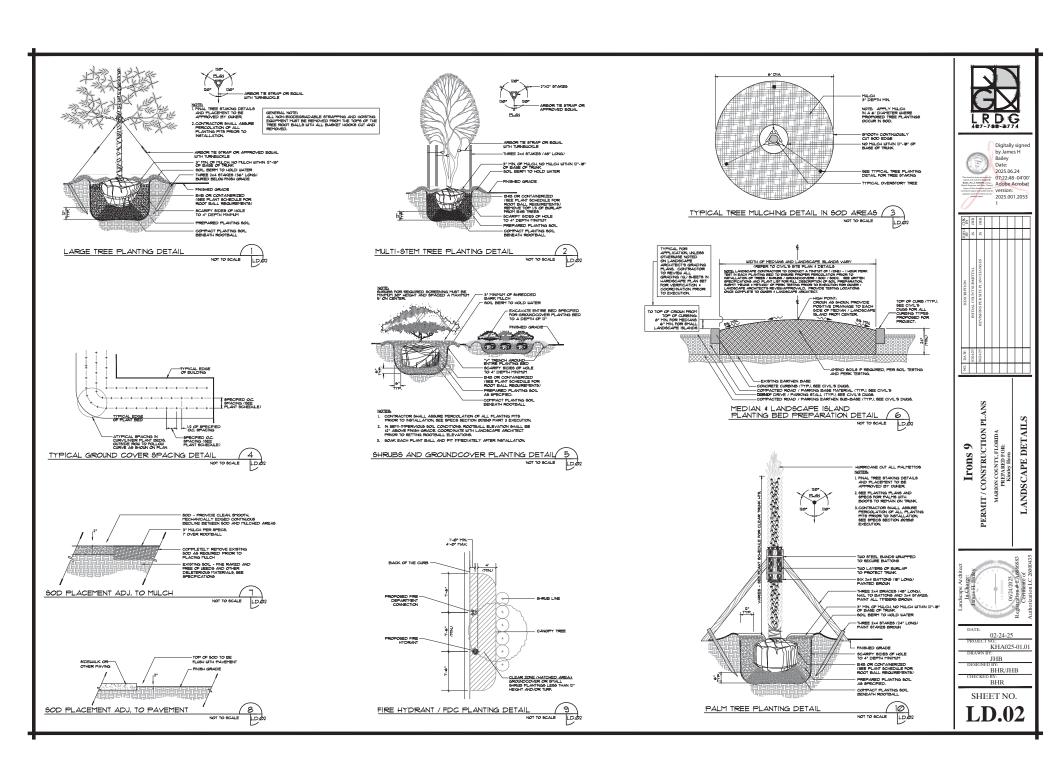
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LANDSCAPE WORK- SECTION 02950

- WORK INCLUDED

 - AROCCAPIA

 ROVIGE all bloom neartisk plant neartisk, soil adoltives, soil preparation, seerents and the gending featuring, sudding planting, societing, cleaning, and preparation of all featuring planting, and specifically cleaning and specifically sufficient of the Indigential of all featuring and specified.

 The Connector will be required to obtain a ROU sufficient preparation of all featuring and specifically sufficient and an advantage of the specific specifically sufficient and an advantage of the specific specific specifically seems will be a route and appropriate for some presentative will be concluded by the route and appropriate for sub-permit.
 - B. RELATED WORK SPECIFIED ELSEWHERE

BID DOCIMENTS

- For bidding purposes, the value of the contract shall be based on the contractor's take offs from the graphically drawn plane. If quantities differ from plan list, the drawn plan controls.
- Bid documents shall include unit prices to justify the stated lump sums and provide unit costs in case of additions and for deletions required children continuous.

QUALITY ASSURANCE

- A REFERENCE SPECIFICATIONS AND STANDARDS
 L Standards as established by the Florida Nursery Grouers Association (RNGA).

- TRAY ALC INVENCENCE.

 Please shall be acknown.

 Representative at place of growth endor upon deliving for conforming to generative at place of growth endor upon deliving for conforming to generative and appropriate shall be appeared to the proposal shall be appeared to the proposal shall be upon the shall be appeared to the proposal shall be upon the proposal shall be u

- PERFORMANCE

 I all planting shall be performed by personnel familiar with planting procedure and under expervation of a qualified landscape forman.

 I all such shall comply with applicable codes and regulations.

 The such shall be econfinited with other todas to prevent conflicts.

SUBMITTALS

- or pean interest. Contractor whill be responsible for all natural listed on the plant list interes noted othersites, day and all additionations due to unavailability may be requested in the second othersites, and the second othersites are second or second

PROJECT CONDITIONS

- Sequencing: Do not commerce planting until site grading, soil import, and breodration has been completed.
- preparation real ceen completed.

 Impact and sprove all sprinkler suck and finish grading prior to the start of shub and groundcover planting as specified. These may be planted in advance of irrigation system installation provided adequate provision is made for interin satering at the Contractor's our expense.

- ARRANATY

 The Convactor hall guaranea all tree and shipligroundcover plantings for a period of teather (17) anoths, and all load for three (1) nonths after the date of fival period of teather (17) anoths, and all load for three (1) nonths after the date of fival plants and guarantees such The Conscious field leaths tondly decreation, reports to the Cherr sith a copy to the Landscape Architect during the guarantee period. The propose of three reports is to set date systematic and conficiencies guarantees. Faither to extent reports eitherited any claim bit the guarantee is not valid due to the company of the conficiency of the confici
- The Contractor shall notify the Owner and Landscape Architect tan ((6)) days prior to the and of the guarantee period and such guarantee shall be extended until notification.
- D. At the end of the guarantee period, all plants that are dead or in unsatisfactory growth shall be replaced uithin two weeks.

LØT PRODUCT HANDLING

- Delivery:
 Plant transportation shall comply with all Federal and State regulations.
- Deliver fertilizer to site in original unopened containers bearing manufacturer's guaranteed chemical analysis, name, trademark and conformance to State Lau.
- The Contractor shall furnish Owner's Representative receipts for all amendments. Deliver all plants with legible identification labels.
- Label trees, evergreers, bundles of containers of like shrubs or groundcover plants.
- b. State correct plant name and size indicated on plant list.
- use durable usterproof labels with water-resistant ink, which will remain legible for at least 60 days.
- Protect plant material during delivery to prevent danage to root ball or deslocation of leaves.
- The Contractor shall notify the Queen's Representative three (3) days in advance of delivery of all plant naterials and shall submit an Itemized list of the plants in each delivery.
- B. Storage: Store plant material in shade and protect from weather.
- C. Hardling: The Contractor is caustioned to exercise care in handling, loading, unleading, and storing of platn statralis. Plant statralis that have been danaged in any say shall be clearded. If they have been retailed, they shall be replaced alth underaged raterals at the Contractor's expense.

LØS VERIFICATION OF DIMENSIONS AND QUANTITIES

All scaled dimensions are approximate. Before proceeding with any work, carefully check and verify all dimensions and quantities, immediately inform the Camera Representative of any discrepancies between the Prawings, Specifications, and actual

conditions. Do not do work in any area where there is a significant discrepancy until approval to proceed has been received from the Quier's Representative.

109 OWNER TAGGED MATERIALS

Contractor shall leave all tags on naterial previously tagged by the Owner's Representative until final acceptance.

UP JOB CONDITIONS

A. Protection. The Landscape Contractor shall protect all naterials and work against highly from any causes and shall provide and national all accessing safeguards for the protection of the public. Healthe shall be had responsible for any dataset or highly to person or property, which may occur as a result of his negligence in the procedurion of the work.

- Existing Conditions: Entity Conditions.

 The Landscape contractor shall exercise care in digging and other sonk so as not to cleage anstering sonk holdering, but not limited to plant seateral, from the condition of the condition of
- Should any objectionable naterials such as old concrete, bricks or other deb be encountered during planting operations, the Landscape Contractor shall be it to the attention of the Owner to coordinate removal of the material from
- The Landscape Contractor shall be responsible for proper plant grouth in real unastactive deviation where the important for properly plant growth in dealing on-the solid. Any unastative conjugation is will be brought to the temporal attention of the Owner/Lendacope Architect for possible remedial ex-or plant natural isolational. The Counter/Lendacope Architect reserves the right to make changes or substitutions in plant type or quantities for the purposes of insuring proper plant growth.

UI SAMPLES AND TESTS

A Curer's Representative reserves the right to take and analyze seeples of naterials for conformity to specifications at any time. Contractor shall furnish seeples upon request of Ower's Representative. Rejected saterials shall be inequitable precised from the site at Contractor's experse. Contractor shall pay cost of testing of

PART 2.1 - PRODUCTS

201 MATERIALS

- All trees, sinuse shall be not placed shall be true to rate as hostilization by the Asercan Oldon Constitute on the Institutional Homendature publication "Standard Plant Nemes". The designated authority for the identification of all naterals shall be the two policitations of LH Ballay, "Hortus III" and "Manual of Cultivated Plants", and all specimers shall be true to type, neme, ca, se described thresh.
- Grade Standards and Cuality. All plants shall be rursery groun and shall comply with all required inspection, grading standards and plant regulations as set forth in the Bridda Department of Agriculture. 'Grades and Standards for Nursery Plants', Parts I and 2 including revisions.
- The striking grade for all trees and shade shall be Borida No. I unless otherwise indicated and all plans shall be sound, healthy and vigorous, sell branched and densely follated when health, they shall have health, until densely controlled when health, they shall have health, until developed not systems and shall be free of classes and insect peats, eggs or larvas.

- ascrements. The minimum accoptable size of all plans, neasured after pruning, sith branches in nomal positions, shall conform to the specified sizes as alroun expension of the position of the specified sizes as alroun expension of the specified sizes as alroun expension of the specified size of the specified size of the specification. Specification regist, presend callings, constanting at size approvided by junicidency architect. Calipser of the strust shall be approved by junicidency architecture. Calipser of the strust shall be set of the specified size of the spe
- in cauper.

 Clear trurk of all types of pains shall be neasured from the finished grade to the beginning of the fronds. The booted portion of the head of the pain shall be in proportion to the overall height of the pain.
- Plant Protection: Plants shall be protected upon arrival at the site, by being thoroughly ustered, kept molet, and properly maintained until planted. B. Plant Materials. In reference to method of cultivation, root system status, etc., plants for landscaping shall be classified under the following designations:
 - for landscaping will be classified under the following designations makener from Filentias shill have been grown in a container large enough and for sufficient that for the root system to have developed last to fold and for sufficient that for the root system to have developed last to fold Filents, which have become root bound or for which the system is too large for the size of the constaint, will not be acceptable.
 - All containers shall be cut and opened fully, in a namer such as utill not danage the root system. Container group plants shall not be removed from the container until immediately before planting, when all due care shall be taken to prevent danage to the root system.
 - Any container groun material that was previously tagged for the Job by the Owner/Landscape Architect, shall have the looking tag visible on the tree until substantial completion has been asserded.
- 2. Balled and Burlapped Trees (if applicable):
- attes and Brispped Press (I replicable). Pellars so classified will be dig shift in matural rootabilis of earth comits from shifts clients and soll conditions as brose or the project costs. The rootability of the proper shifts of the proper
- b. Burlap: Shall be pure burlap, II % organic material with the ability to
- Roots Plus. All Oak trees classified as balled and burlap shall be tagged as a roots plus product and the tag shall remain until substantial completion has been auericade. Any natural inerviously languaged at a narrany by the Curent-landscape Architect shall have the nursery's looking tag visible on the three until substantial completion has been auericad.
- 3. Bare Root Plants: No bare root plants shall be used unless otherwise specified.

- reported that it are in risk between the control of the control of
- Soil testing shall be performed and analyzed by a laboratory registered by the state. Testing shall include famility and suitability analysis with unition recommendations for familiars or assendment, which shall take precedence over rates or analysis specified in this section, Soil testing shall be the Contractor's responsibility. Soint test results to the Landscape Architect.
- Soil Preparation: Prior to placing mix and backfill, or commercing with planting, rototill any or all areas that have been previously compacted over 30 percent for other construction ourposes.

- Fertilizer. Fertilizer shall be a complete balanced blend formula, introgen, phrosphorus and postashun as usell as recommended reconstrictes auch as integers, and postashun as usell as recommended reconstrictes such as ingestaut, non, oppore, sinc, boron, end negagenese in selfate form. Nitrogen shall be applied over all turi, shall and trea areas at a rate of 1 by the Landscape Architect. The complete fertilizer andiglice shall be approved by the Landscape Architect.
- . Weed Control. All planting bads shall be treated with the pre-emergent Treflan, as narufactured by Elanco Products Company, Division of Ell-Lilly Company, Indianspoils, Indianspoils, Indians, or approved equal. Contractor shall apply the pre-emergent prior to mulching as per induffacturer's instructions.
- Mulch: Wood mulch shall be designer brown, grade ¶, clean, bright and free of weeds, moss, sticks and other debris unless specified otherwise.
- Ulaten Suitable water for the imigation of the new plantings during the progress of construction shall be provided and paid for the by the Contractor, who shall also furnish adequate water southment.
- Stakes and Ties: Stakes and tree ties shall be provided in accordance with the recurrements of Paragraph 3,03,019 hereinsflor.

PART 3.1 - EXECUTION

3.01 INSPECTION

- Insure that final grades to 4–0.6 in $(o.20^\circ)$ have been established prior to commoning planting operations. Provide for inclusion of all amendments, settling, etc. Landscape Contractor shall be responsible for finish grading all planting areas as indicated on Civil Engineer's plans and as directed by the Ouner's Representative
- Inspect trees, shrubs and liner stock plant material for injury, insect infestation and trees and shrubs for improper pruning. C. Do not begin planting of trees until deficiencies are corrected or plants replaced.

PREPARATION

- Soil Preparation:
 All planted areas to be planted shall be locemed to 360m (12*) except 2:1 or steeper slopes.
- or steeper slopes.

 2. Soit to be used for planting shall be free of nocks over 18 on (12") in distinct, and free of foreign district, refuse, plants or roots, clock, useds, stoke, solvents, perclates procedus, concrete, bear cod, or other distinctions, stokes, solvents, solvents, solvents, solvents, or other distinctions of usualitying healthy plant life. Materials not nesting these specifications shall be removed.

- be recoved.

 Service of the processor of

- grading prior to any planting.

 In all Gradese

 Thorn grades any planting to the property of t
- Remove or reclastribute excess soil before application of fertilizer. Make allouances when establishing finished grades for earth excavation from planting pits and nulch.
- and much literating. Before and during preliminary and final grading, dig out all seads and grasses by the roots and dispose-of off the sits. Grasses not of the perential type less than 1/42 high and not bearing seeds, nay be turned uniform. Ferential useds and grasses to be renoved include, but are not limited to the following.

- A. Nat greate.
 B. Augustine.
 B. Augustine.
 In Forming Glory.
 In Forming Glory.
 In Forming Glory.
 In Forming Glory.
 In All Commonwealth of the Commonwealth of the siles.
 In Allow removes of the Section of Invision and Invitation to the siles.
 The Commonwealth of the
- Disposal of excess soil: Dispose of any unacceptable or excess soil at an off-site location approved by Ower.

MATERIALS CONDITION

- All plant materials shall be approved by the Cuner's Representative as they are delivered to the job site, or other site inspections, and in all cases:
- Conditions. Flores will be generated as spicel for the virtig and species in a condition of healthy and vigorous growth free from plast disease, heact peaks, or their geges and with healthy, moral root systems call filling their container, but not to the point of being rootboard. Pleats shall not be privately from the shall not be private of their backless and fungua, and apply follar anti-vaniphese prior to deliberate.
- prior to delivery.

 Chemicons: The height and spread of all plants shall be neasured atth branches in their normal position, there are insensions of any plant neaterals are central from the Pfeel. List, plants and lib erroral stock for type listed central from the Pfeel. List, plants and lib erroral stock for type listed.

 Actual planting shall be performed during those periods when seather and soil conclision are validation and in social with bealth supported practices.
- Only as many plants as can be planted and ustered on that same day shall be distributed in a planting area.
- Containers shall be opened and plants shall be removed in such a namer that the bell of earth surrounding the roots is not broken and they shall be planted and ustered as herein specified immediately after removal from the containers. Containers shall not be opened prior to placing the plants in the planting area.
- Do not do any plante, other than specime rose, util all operations the plants in the plants of the p
- The relative position of each tree and plant is subject to approval by the Ounce's Representative, and shall, if necessary to achieve project design objectives, be relocated as directed.
- Recover each plant from its container and plant in such a namer that shen settled it still bear the sean relation to the constructed finished grade as it is allowed to the constructed finished grade as it is the center of the plant and backful uses of offering specified, with when the prepared coil. Filling util not be permitted around trurks or steen, Property out of all broken or Region to the partitled around trurks or steen, Property out of all broken or Region tools.
- on a crosse or regar cross.

 Liquid of skip persings. Locations for plants and outlines of areas to be planted attill be ansked on the ground by the contractor before any planting plus are duly contractor before any planting plus are duly construction or all this plant and the exact plus of planting reads of the contraction or all this plant and planting the second to the contraction of the planting reads of the contraction of the planting reads and the planting planting the accomplished by Regard grade stakes hoticating plant rates and specified to accomplished bit Regard grade stakes hoticating plant rates and specified

container size on each stake or alternate approved nethod. It shall be the contractor's responsibility to confirm with the Ower and governing agencies the location and diepth of all underground utilities and obstructions.

- Planting of trees, shrulps and groundcovers-Excavation for planting shall include the stripping and stacking of all acceptable topsoll encountered within the areas to be excavated for trenches, tree holes, plant pits and planting beds
- Excess soil generated from the planting holes and not used as backfill or in establishing the final grades, shall be removed from the site.
- Protect all areas from excessive compaction when trucking plants or other material to the planting site. Compacted areas shall be cross-ripped to 12" and
- 4. Center plants to pit or trench
- 5. Face plants with fullest growth toward the best public views.
- Set plant plumb and hold rigidly in position until soil has been tamped firmly around ball or roots.
- around bell or roots.

 All excavated roles shall have vertical sides with roughesed surfaces and shall be of a size that its tutice the clanets and one-half times the depth of the rootball for all shrints. Trees its gallion and shaller to be plained as shows, trees \$0 gallion or larger to be excavated for the depth of the rootball (railled). The resulting and as space allows, \$4^*\$ clear of the rootball calls.
- Layout areas and set stakes/flags for trees at locations indicated on Drawings Secure approval from Owner's Representative before excavating pits, Make necessary adjustments as directed.
- rootabil.

 When hirdpan or muck is encountered, break through to clean soil and backfill on this paperand backfill as directed. Loosen corpected soil at sides and bottom by scarling or other approved nethod. Set tree to tribled grade and fill the pit uith prepared soil, progressively settling the soil about the rootball by sater jetting and flooring to remove voting.
- (8) Set tree in center of pit in a vertical position so that crown of ball will be level with finished grade after allowing for watering and settling.
- Prepare satering been seen uicht as tree plant ball. Water thoroughly inmediately following planting. Backfill all voide shich develop uith additional prepared planting soil to bring to finish grade. Remove all basins in laun areas, and snooth to finished grade prior to laying sool.
- 1. Monitor tree and shall root ball for adequate noisture content. Deep sater and/or provides coller hoses to relatifiath notiture apply.
 All plants with relatic deeper than the amounting greate shall be raised to the context level. After the plant has been placed, additional bookful shall be add to the hole to cover approximating, and-after the relation of the relation of the root of the relation of
- an removals

 Cut cans on two sides with an acceptable can cut

 Do not injure rootball.

 Do not cut cans with spade or ax.

- Pleat sabilities

 A During installation, then Please T gate or Approximal green tablets, or

 During installation from Please T gate or Approximal green tablets, or

 approximation of the manufactures specification of the manufactures specification.

 Finding tablets will be set with each pleat on the top of the recolosial while the pleates will be set with each pleat on the cape of the recolosial while the pleates are still in their containers so the required number of tablets to be used in each role can be easily verified by the Curer's

Representative. Plant tablets shall be located I/3 depth of the rootball

- c. Plant states will be occurred to support to the control of the plant of the p

- latting of Florering Annalès
 Florering Annalès shall be grown in 4° pots as indicated on the plans, Annalès
 shall remain in their flats until transplanting. The flat's soil shall contain
 sufficient moleture so that it sull not fall apart shan lifting the plants.
- artification notices as that it will not fall apers then Thing the plants.

 The Annual will be planted in strategies care and evenly specials consistent and evenly specials consistent and evenly special to the consistence of the plants.

 The annual register of the plants of the pla

- Preparing soil: Remove rocks, useds, and debris from area to be sodded. If drit is compacted, work up soil to a depth of 6 inches and break up all clods soil prep all areas as noted elsewhere in specifications.
- Grading and rolling: Carefully smooth all surfaces to be sodded. Roll areas to expose soil depressions or surface tregularities. Regrade as required.
- expose soil depression or surface hegalanties. Negrides de recipred. L'aping soil. Light visit upor los deliser doing a sergigli his lore a suring in his proprietation de la company de la company
- and to uster will installation is complete. Rolling social, here signifies and to finding social here signified all social signifies to eliminate irregularities and to find good contact beausement was social and social. Anotal a very resury rolline or the properties of the social socia
- Replacements Replace all dead or dying sod with equal naterial as directed by the Ouner's Representative.

3,04 CLEAN-UP

- After all planting operations have been completed, remove all triah excess soil, empty plant containers and rubbish from the property. All scars, ruts or other naries in the ground caused by this sun's wall be repaired and the ground last in a read and or the last sorting day of each used. All trash shall be removed completely from the sides.
- The Contractor shall leave the site area broom-clean and shall wash down all paved areas within the Contract area, leaving the previous in a clean condition. All wake shall be left in a clean and safe condition.

OBSERVATION SCHEDULE

- A. The Contractor shall be responsible for notifying the Owner's Representative in advance for the following site visits, according to the time indicated:

- adviance for the following site visits, according Pre-job conference 1 days Tree Tagging 1 days Final grader review 48 hours Final review 48 hours Final layout review 48 hours Substantial completion walk-through 1 days Substantial completion walk-through 1 days
- T. Phild talk:-through 1 clays
 When observations are conducted by comeone other than the Owner's Representative, the Contractor shall show evidence in uniting of when and by whom these observations were made.

FIELD QUALITY CONTROL

A All inspections herein specified shall be made by the Quner's Representative or his representative as the uorit progresses.

B. Protect work completed by other trades from damage 3.01 PROTECTION

 Continuously protect all laun areas, plant materials, and supports until final acceptance of the work. acceptance or the circle. Inspect and approve all landscape irrigation sunk and finish gracing prior to the start of shub planting as specified. Trees may be planted in advance of irrigation system installation provided adequate provision is made for Intentin satering at the Contractor's own expense.

- FINAL ACCEPTANCE OF INSTALLATION Maintain all planted areas free of deloris and freects. Mos, cultivate, used and sater all areas until final acceptance of sork by the Osner's
- Authorized Representative Prior to final approval of work, do the following: I. Reseed, resod or replant areas where necessary for full and ever
- coverage.
 Remove all debris resulting from landscape work.
- Regrade, lightly compact and replant around sprinkler heads where neccessry to relation proper vertical positioning in relation to
- Fill all depressions and eroded ch ArN ets sith sufficient soil ritx to adjust grade to assure proper drainage, compact lightly and replant the filled areas in accord with Prawity frequirement.
 Address any term noted in the punch list from the substantial completion saft-through.



SPECIFICATIONS CONSTRUCTION ON COUNTY, FLORIDA PREPARED FOR:

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KHA025-01.01 DRAWN BY IHB BHR/JHB

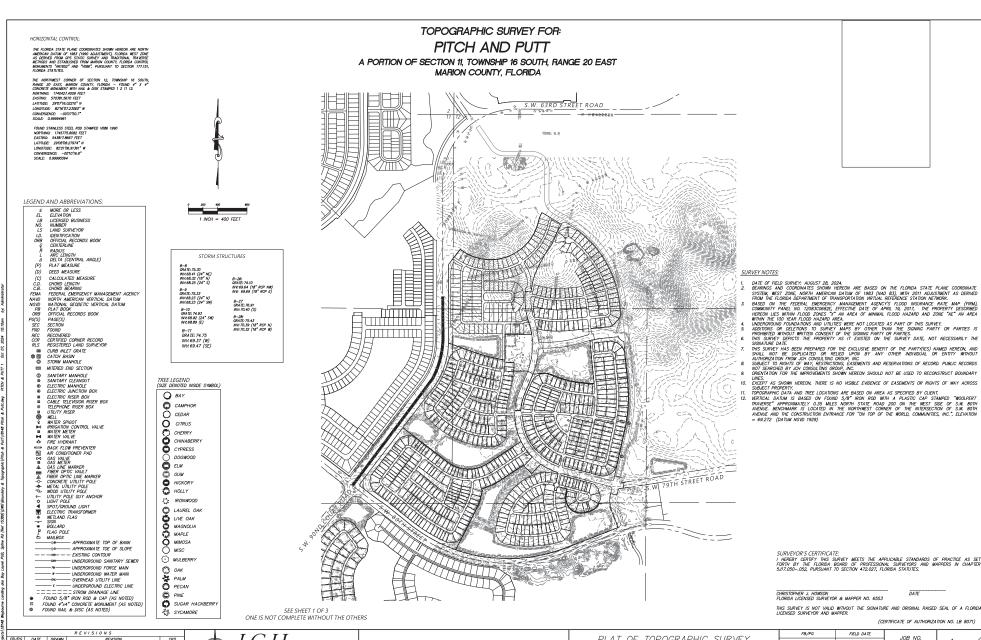
BHR SHEET NO. **LD.03**

Digitally signed by James H Bailey

Date: 2025.06.24

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SURVEYOR'S CERTIFICATE:
I HERBEY CERTIFY THIS SURVEY METS THE APPLICABLE STANDARDS OF PRACTICE AS SET FORTH BY THE CURRON BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5.17.050-052, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

CHRISTOPHER J. HOWSON FLORIDA LICENSED SURVEYOR & MAPPER NO. 6553

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

eta		REVISIONS									
*	FB/PG	DATE	DRAWN	REVISION	CKD						
Z:\Proje		9/16/24	M.A	TOPOGRAPHIC SURVEY FOR PROPOSED ROAD	C.J.H.						
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LOCATED IN SECTION 12 AND 13, TOWNSHIP 16 SOUTH, RANGE 20 EAST

MARION COUNTY, FLORIDA

PLAT OF TOPOGRAPHIC SURVEY -FOR-ON TOP OF THE WORLD COMMUNITIES. L.L.C.

FB/PG		FIE	LD DATE	JOB NO.	
18-4/7-14		0-	4/18/18	18148TOPO	
DRAWING DATE		BY	APPROVED	SCALE	1
5/24/18	M.A.		C.J.H.	1" = 400'	

OF 3

