



Marion County

Development Review Committee

Meeting Agenda

Monday, July 6, 2026

9:00 AM

Office of the County Engineer

MEMBERS OF THE PUBLIC ARE ADVISED THAT THIS MEETING / HEARING IS A PUBLIC PROCEEDING, AND THE CLERK TO THE BOARD IS MAKING AN AUDIO RECORDING OF THE PROCEEDINGS, AND ALL STATEMENTS MADE DURING THE PROCEEDINGS, WHICH RECORDING WILL BE A PUBLIC RECORD, SUBJECT TO DISCLOSURE UNDER THE PUBLIC RECORDS LAW OF FLORIDA. BE AWARE, HOWEVER, THAT THE AUDIO RECORDING MAY NOT SATISFY THE REQUIREMENT FOR A VERBATIM TRANSCRIPT OF THE PROCEEDINGS, DESCRIBED IN THE NOTICE OF THIS MEETING, IN THE EVENT YOU DESIRE TO APPEAL ANY DECISION ADOPTED IN THIS PROCEEDING.

1. **ROLL CALL**
2. **PLEDGE OF ALLEGIANCE**
3. **ADOPT THE FOLLOWING MINUTES:**
 - 3.1. **June 29, 2026**
4. **PUBLIC COMMENT**
5. **CONSENT AGENDA: STAFF HAS REVIEWED AND RECOMMENDS APPROVAL**
 - 5.1. **Fifth Third Bank Mulberry The Villages - Major Site Plan**
Parcel #: 6722-200-001 # MajorSite-000405-2026
6. **SCHEDULED ITEMS:**
 - 6.1. **Tractor Supply - Major Site Plan 33238 - Waiver to Major Site Plan in Review**
Parcel #: 12438-002-01 # WaiverPIR-000981-2026
Dynamic Engineering

LDC 6.12.12 - Sidewalks

CODE states Sidewalks shall be provided in the Urban Area, Rural Activity Centers, and Specialized Commerce Districts along arterial, collector, and major local streets where these streets adjoin the project and minimally along one side of the internal streets. Sidewalks shall be constructed with all-weather surfaces and shall meet Americans with Disabilities Act, Florida Building Code, and FDOT Design Standards.

APPLICANT - The client request a waiver to pay a fee in-lieu of sidewalk construction because there are no existing sidewalks in the vicinity of the site along N US Hwy 27 nor along W Hwy 326.

- 6.2. Modern Day - Single Family Residence - Waiver Request to Connection Requirements**
Parcel #: 8006-0592-01 # WaiverSTA-000932-2026
Modern Day Construction Services, Inc.

LDC 6.14.2.B(1)(a) Connection requirements

CODE states New development in the Urban or Rural area shall connect to a centralized water system with available capacity if a water line is within a connection distance of 400 feet times the total number of Equivalent Residential Connections (ERCs)

APPLICANT requests a waiver from the requirements of Marion County Land Development Code Section 6.14.2 requiring connection to the public water system. The subject property is proposed for a single-family residential dwelling. Marion County Utilities has indicated that compliance would require the extension of approximately 250 linear feet of water main at an estimated cost of \$25,000, in addition to meter and connection fees. Due to the significant cost associated with extending the public water main to serve a single-family residence, the applicant respectfully requests approval to utilize a private potable well as the primary water source for the property in lieu of extending the public water system. The proposed well will be permitted and installed in accordance with all applicable Marion County, Florida Department of Environmental Protection, and Water Management District requirements. The requested waiver will allow reasonable development of the property while maintaining compliance with all applicable health and safety standards.

7. **CONCEPTUAL REVIEW ITEMS:**
8. **DISCUSSION ITEMS:**
9. **OTHER ITEMS:**
10. **ADJOURN:**



Marion County

Development Review Committee

Agenda Item

File No.: 2026-23542

Agenda Date: 7/6/2026

Agenda No.: 3.1.

SUBJECT:
June 29, 2026



Marion County

Development Review Committee

Meeting Minutes

412 SE 25th Ave
Ocala, FL 34471
Phone: 352-671-8686

Monday, June 29, 2026

9:00 AM

Office of the County Engineer

MEMBERS OF THE PUBLIC ARE ADVISED THAT THIS MEETING / HEARING IS A PUBLIC PROCEEDING, AND THE CLERK TO THE BOARD IS MAKING AN AUDIO RECORDING OF THE PROCEEDINGS, AND ALL STATEMENTS MADE DURING THE PROCEEDINGS, WHICH RECORDING WILL BE A PUBLIC RECORD, SUBJECT TO DISCLOSURE UNDER THE PUBLIC RECORDS LAW OF FLORIDA. BE AWARE, HOWEVER, THAT THE AUDIO RECORDING MAY NOT SATISFY THE REQUIREMENT FOR A VERBATIM TRANSCRIPT OF THE PROCEEDINGS, DESCRIBED IN THE NOTICE OF THIS MEETING, IN THE EVENT YOU DESIRE TO APPEAL ANY DECISION ADOPTED IN THIS PROCEEDING.

1. ROLL CALL

MEMBERS PRESENT:

Ken McCann, Vice Chairman (Fire Marshal)
John Pearson (Building Safety)
Steven Cohoon (County Engineer)
Chuck Varadin (Growth Services Director)
Tony Cunningham (Utilities Director)

OTHERS PRESENT:

Chris Rison (Planning/Zoning)
Liz Madeloni (Planning/Zoning)
Jared Rivera (Planning/Zoning)
Susan Heyen (Landscape/Parks)
Linda Blackburn (Legal)
Alex Turnipseed (Office of the County Engineer)
Chris Zeigler (Office of the County Engineer)
Aaron Pool (Office of the County Engineer)
Kelly Hathaway (Office of the County Engineer)
Kelsey Giesing (Office of the County Engineer)

2. PLEDGE OF ALLEGIANCE

3. ADOPT THE FOLLOWING MINUTES:

3.1. June 22, 2026

Motion by Chuck Varadin to approve, seconded by Tony Cunningham

Motion carried 5-0

4. PUBLIC COMMENT

5. CONSENT AGENDA: STAFF HAS REVIEWED AND RECOMMENDS APPROVAL

- 5.1. Arden of Ocala - Preliminary Plat**
Parcel #: 9018-0000-06 # PrelimPlat-000463-2026
Dave Schmitt Engineering

- 5.2. Oak Shores Estates - Preliminary Plat**
Parcel #: 9064-0000-02 #PrelimPlat-000713-2026
Tillman and Associates Engineering, LLC

- 5.3. Maro 111 - PUD Master Plan - Plan Revisions**
Parcel #: 35770-055-05 #31051
Tillman & Associates Engineering, LLC

- 5.4. Lockheed Martin Training Village & Building 12 Renovation - Major Site Plan**
Parcel #: 9014-0044-05 # MajorSite-000718-2026
Kimley-Horn and Associates

Motion by Chuck Varadin to approve the consent agenda, seconded by John Pearson

Motion carried 5-0

6. SCHEDULED ITEMS:

- 6.1. Atlas Tranquility Park - Improvement Plan 000635 - Waiver Request to Improvement Plan in Review**
Parcel #: 39279-026-00, 39279-028-00, 39279-000-01
#WaiverPIR-000946-2026
Tillman and Associates Engineering, LLC

LDC 6.12.2 Right-of-way

CODE states A. Right-of-way shall be platted or dedicated, meeting the minimum right-of-way width established in Table 6.12-1, to provide for the necessary access and other needed infrastructure improvements supporting the proposed development. Right-of-way can be provided by easement if approved by DRC.B. Along adjacent arterial and collector roadways to the proposed development, as established in the adopted Comprehensive Plan Functional Classifications Map, the existing pavement centerline of the adjacent road shall be the reference line used to determine the needed right-of-way on each side of said centerline. C. When right-of-way is provided and is not directly related to mitigating impacts caused by the proposed development, the developer may be compensated in a manner acceptable to both the developer and the County consistent with one or more of the

following, subject to approval by the Board upon review and recommendation by the DRC:(1)The Board may enter into an impact fee credit agreement with the developer based upon the fair market value of the provided right-of-way,(2)The Board may enter into an agreement with the developer establishing that the project property remains eligible for the development of the equivalent densities or intensities calculated based upon the pre right-of-way dedication acreage,(3)The Board may enter into an agreement with the developer reducing the property's typically required right-of-way setback and/or buffer in relation to the provided right-of-way,(4)The Board may enter into an agreement with the developer allowing the provided right-of-way be accepted in lieu of off-site improvements caused by the development.

APPLICANT requests a waiver to allow a 30-foot right-of-way with a 15-foot easement on each side (60-foot total).

Motion by Steven Cohoon to approve contingent on the pedestrian features having Green Book required separation from the roadway and the typical section and the drainage utility easement also include a pedestrian access easement, seconded by Tony Cunningham

Motion carried 5-0

**6.2. OTOW Flying Field - Improvement Plan 000435 - Waiver Request to Improvement Plan in Review
Parcel #: 35300-000-00 # WaiverPIR-000965-2026
Kimley-Horn and Associates**

LDC 6.8.4 Non-residential development

CODE states For non-residential development, at least 20 percent of the land to be developed shall be landscaped. A. When a project area is less than the size of the overall parcel to be developed, the required landscape area calculation may be reduced to apply to the project area as authorized by the County Landscape Architect. All other requirements directed by the Board, DRC, or included in this division shall apply. B. Landscape areas shall

include:(1) Buffers;(2) Landscaping required for parking areas;(3) Building landscaping; and (4) Service and equipment area screening. C. Landscape areas may also include planted stormwater management areas with a depth of four feet or less. D. Credit towards the landscape area requirements may be allowed for all or part of preserved native habitat if the applicant demonstrates that it includes one or more of the following:(1) Tree clusters including native vegetative communities are protected from development impact. (2) Vegetative areas with native understory flora are protected from development impact.

APPLICANT requests a waiver to the landscaping requirements for this project. The proposed use as a temporary drone flying field includes minimal parking and open-air pavilions in lieu of enclosed structures, with no lighting and no nighttime activity proposed. The site is internal to the OTOW DRI and 500 feet from any external property lines. The preserved trees will satisfy the required shade tree count. Additional landscaping would interfere with the intended drone flying area.

Motion by Steven Cohoon to approve seconded by Chuck Varadin

Motion carried 5-0

- 6.3. OTOW Weybourne Phase 4 - Improvement Plan 000532 - Waiver Request to Improvement Plan in Review**
Parcel #: 35300-000-17 # WaiverPIR-000964-2026
Kimley-Horn and Associates

LDC 6.12.12(B) Sidewalks

CODE states B. Sidewalks outside the right-of-way and independent of the street system are encouraged as an alternative to sidewalks parallel to a roadway, provided equivalent pedestrian needs are met.

APPLICANT requests a waiver to the requirement for sidewalks along one side of internal streets consistent with other age-restricted communities within On Top of the World. Multi-modal paths are being provided to connect this neighborhood to the extensive multi-modal trail system within On Top of the World.

Motion by Steven Cohoon to approve, seconded by Tony Cunningham

Motion carried 5-0

- 6.4. Ocala Palms 2024 Amenity Improvements - Plan Extension Request**
Parcel #: 2151-000-001 #31601
Michael W. Radcliffe Engineering

On 6/23/26, the Applicant requested a one-year extension for this Major Site Plan. The request is to extend one year from the current expiration date of September 16, 2026. The new expiration date would be September 16, 2027.

Motion by Steven Cohoon to approve the new expiration date of September 16, 2027, seconded by Chuck Varadin

Motion carried 5-0

- 6.5. Berean Baptist Church Addition- Waiver Request to Major Site Plan**
Parcel #: 2335-001-001 # WaiverSTA-000849-2026
Michael W. Radcliffe Engineering

LDC 2.21.1.A(1) - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: 1) Collectively, all existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet.

APPLICANT requests a waiver to a Major Site Plan for the construction of a new 6,000 SF building addition with associated grading, stormwater controls, and erosion control measures. The proposed building will serve as an accessory recreation/gymnasium facility for existing members of Berean Baptist Church. No additional parking is required or proposed. As a condition of the waiver, we would provide signed and sealed stormwater calculations demonstrating that the proposed improvements meet applicable stormwater control requirements.

Motion by Chuck Varadin to approve waiver to Major Site Plan but submit Minor Site Plan with Staff's three standard conditions 1) The applicant must provide stormwater control of the additional runoff from the impervious coverage at the 100-year, 24-hour

storm from the total impervious overage on the property. 2) A permit hold will be in effect until a sketch of the proposed stormwater controls is provided to Stormwater and approved. 3) A Certification Hold will be in effect until: a) Stormwater staff conducts a final inspection. Please note that stormwater controls and all disturbed areas must have vegetative cover established at time of final inspection. b) The applicant must provide a final sketch, noting the horizontal extents and volume capacity of the stormwater controls, seconded by Tony Cunningham

Motion carried 5-0

- 6.6. TWS Bluewater Investments, LLC- Waiver Request to Major Site Plan
Parcel #: 4904-001-006 # WaiverSTA-000892-2026
Davis Dinkins Engineering**

LDC 2.21.1. Applicability

CODE states A Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds:(1)Collectively, all existing and proposed impervious ground coverage equals or exceeds the lesser of 35 percent of the gross site area or 9,000 square feet;(2)The combined driveway trip generation meets or exceeds 50 peak hour vehicle trips; or(3) A 24-inch diameter pipe, its equivalent, or larger is utilized to discharge stormwater runoff from the project area.

APPLICANT requests the waiver because the owner needs a building permit for sheds that were installed or replaced. The added area is de minimis.

Motion by Steven Cohoon to table until July 27, 2026, seconded by Ken McCann

Motion carried 5-0

- 6.7. Diamond A - Final Plat 000699 - Waiver Request to Final Plat in Review
Parcel #: 41200-056-04, 41200-056-12, 41200-056-00
#WaiverPIR-000971-2026
Rogers Engineering & Land Surveying, LLC**

LDC 6.8.6 (i) Buffers

CODE states Arrangement of plantings in buffers shall provide maximum protection to adjacent properties, avoid damage to existing trees and plant material, and take mature growing sizes into consideration regarding shade, root damage, and interference with nearby utilities.

APPLICANT requests to permit the required 20 feet Utility Easement and the CR475A Overlay Buffer to overlap, allowing both requirements to be satisfied within the same 20 feet wide area. Plantings in buffers shall not conflict with utilities. The recently recorded SECO easement along the SW HWY 484 frontage was not discovered until the title work was done for the Opinion of Title that accompanies the Final Plat approval. The proposed 20 ft wide Utility Easement along the SW 49th Court Road frontage was required by SECO for their facilities that were recently installed along the full length of this right-of-way, including the lands north of the shopping center. All SECO's facilities are located in the rear 5 feet of both easements, except for their facilities serving the signalized intersection.

Motion by Chuck Varadin to approve conditioned on the buffer being replaced by the applicant if destroyed by SECO and replace same plantings in 10 feet while leaving 20 feet as the buffer, seconded by John Pearson

Motion carried 4-1 (Steven Cohoon dissenting)

- 6.8. Shades of Metal Shop - Waiver Request to Major Site Plan**
Parcel #: 51149-002-00 # WaiverSTA-000893-2026
IAM Construction, LLC

LDC 2.21.1.A(1) Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds (specifically) (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet.

APPLICANT requests to waive the Major Site Plan because the proposed condition is substantially similar to the previous layout as they are replacing a building that was destroyed by fire.

Motion by Steven Cohoon to deny, seconded by Chuck Varadin

Motion carried 5-0

- 6.9. Rainbow Springs State Park Repave - Waiver Request to a Major Site Plan**
Parcel #: 33177-000-00 #WaiverSTA-000690-2026
Asphalt Icons

LDC 2.21.1.A(1) - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds (select all that are applicable): (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet.

APPLICANT requests a waiver to a Major Site Plan because the project will not be going over the allowable impervious. No expansion of use, intensity, or site layout is proposed; all improvements occur within previously developed and disturbed areas. The project does not include construction of new storm water management systems nor significant alterations of existing drainage. Construction is limited to resurfacing and minor grading to maintain existing conditions.

Motion by Steven Cohoon to approve waiver to Major Site Plan contingent of providing Signed and Sealed drainage memo/letter detailing net decrease in stormwater impervious area, seconded by Chuck Varadin

Motion carried 5-0

- 6.10. Almeida, Felipe Family Division - Family Division Waiver Request**
Parcel #: 50099-009-00 # Fam Div -000766-2026
Felipe Almeida

This item was tabled for two weeks at the 6/15/26 DRC Meeting. A motion to rehear

will be needed.

Motion by Tony Cunningham to un-table, seconded by Chuck Varadin

Motion carried 5-0

LDC 2.16.1.B(10) - Family Division

CODE states a parcel of record as of January 1, 1992 that is not located in a recognized subdivision or an Ag Lot Split. and is located in the Rural Lands may be subdivided for use of immediate family members for their primary residences. Within the Farmland Preservation Area, each of the new tracts and the remaining parent tract must be at least three (3) acres in size. Within the Rural Lands. outside of the Farmland Preservation Area each of the new tracts and the remaining parent tract must be at least one (1) acre in size. In the Urban Area, only parcels of record as of January 1, 1992 which are Low Residential property exceeding two (2) acres in size may be divided for the use of immediate family members for their primary residences up to the maximum density of one (1) dwelling unit per gross acre. Immediate family is defined as grandparent, parent, stepparent, adopted parent, sibling, child, stepchild, adopted child, or grandchild. A parcel of record shall not be divided more than three (3) times as a family division. Minimum access onto a road or street shall be shared access that is at least forty (40) feet in width and shall be provided by recorded deed or by recorded non-exclusive easement. No subdivision and conveyance to the same family member more than once shall be permitted. No new parcel created by way of family division may be sold or offered for sale within five (5) years of the date of recording the deed transferring ownership of the new parcel to the immediate family member, except in the event of such immediate family member's death. During the five-year holding period, the immediate family member receiving the resulting family division parcel may convey ownership and interest in that resulting family division parcel to their spouse, as tenants in common with rights of survivorship, consistent with the Laws of Florida. Any subdividing of a parcel of record for the purpose of family division shall follow the waiver request process pursuant to Article 2, Division 10 of the Code.

APPLICANT requests a waiver for one family division into two lots. Lot 1 for myself, and lot 2 for my sister. Requesting a waiver for the road frontage requirement to allow a family division of parcel 50099-009-00. The property currently possesses 20 feet of frontage on SE 180th St. We propose to satisfy safety and access requirements by recording a 40-foot stated access easement as shown in the attached aerial sketch providing sufficient access for emergency vehicles and residents for both lots.

Motion by Chuck Varadin to deny without support if the item is appealed to the Board of County Commissioners, seconded by Steven Cohoon

Motion carried 5-0

- 6.11. Hannah Weeks - Family Division - Family Division Waiver Request**
Parcel #: 07774-000-00 # Fam Div -000816-2026
Hannah Weeks

LDC 2.16.1.B(10) - Family Division

CODE states a parcel of record as of January 1, 1992 that is not located in a recognized subdivision or an Ag Lot Split. and is located in the Rural Lands may be

subdivided for use of immediate family members for their primary residences. Within the Farmland Preservation Area, each of the new tracts and the remaining parent tract must be at least three (3) acres in size. Within the Rural Lands, outside of the Farmland Preservation Area each of the new tracts and the remaining parent tract must be at least one (1) acre in size. In the Urban Area, only parcels of record as of January 1, 1992 which are Low Residential property exceeding two (2) acres in size may be divided for the use of immediate family members for their primary residences up to the maximum density of one (1) dwelling unit per gross acre. Immediate family is defined as grandparent, parent, stepparent, adopted parent, sibling, child, stepchild, adopted child, or grandchild. A parcel of record shall not be divided more than three (3) times as a family division. Minimum access onto a road or street shall be shared access that is at least forty (40) feet in width and shall be provided by recorded deed or by recorded non-exclusive easement. No subdivision and conveyance to the same family member more than once shall be permitted. No new parcel created by way of family division may be sold or offered for sale within five (5) years of the date of recording the deed transferring ownership of the new parcel to the immediate family member, except in the event of such immediate family member's death. During the five-year holding period, the immediate family member receiving the resulting family division parcel may convey ownership and interest in that resulting family division parcel to their spouse, as tenants in common with rights of survivorship, consistent with the Laws of Florida. Any subdividing of a parcel of record for the purpose of family division shall follow the waiver request process pursuant to Article 2, Division 10 of the Code.

APPLICANT- requests a family division waiver to transfer ownership of three acres to their daughter (Hannah Weeks) to be used for the construction of her permanent residence, which will include separate driveway access.

Motion by Chuck Varadin to approve conditioned that the applicant complete the Family Division process, and provide the survey, legal description, deed, affidavit, and title work, seconded by Tony Cunningham

Motion carried 5-0

7. CONCEPTUAL REVIEW ITEMS:

8. DISCUSSION ITEMS:

**8.1. Planning & Zoning Commission Items for June 29, 2026
Marion County Growth Services Department**

<<https://marionfl.legistar.com/Calendar.aspx>>

9. OTHER ITEMS:

Motion by John Pearson to adjourn, seconded by Ken McCann

Motion carried 5-0

10.ADJOURN: 10:34 AM

Ken McCann, Vice-Chairman

Attest:

Kelly Hathaway
Development Review Coordinator



Marion County

Development Review Committee

Agenda Item

File No.: 2026-23543

Agenda Date: 7/6/2026

Agenda No.: 5.1.

SUBJECT:

Fifth Third Bank Mulberry The Villages - Major Site Plan

Parcel #: 6722-200-001 # MajorSite-000405-2026



SUBMITTAL SUMMARY REPORT MajorSite-000405-2026

PLAN NAME: Fifth Third Bank, Mulberry

LOCATION: 0 SE 91st Phillips CT
The Villages, FL 32162

APPLICATION DATE: 02/23/2026

PARCEL: 6722-200-001

DESCRIPTION: New commercial bank construction - 1900

CONTACTS	NAME	COMPANY
Applicant	Benjamin Lewis	BDG Architects
Engineer of Record	Nisit Sapparkhao	Infinity Engineering Group LLC

CONDITION	DESCRIPTION	CREATED BY	CREATED ON	COMMENTS	SATISFIED?
Conditional Comment(s)		Chris Zeigler	05/26/2026	The \$5,050.00 sidewalk fee must be paid prior to plan approval.	No

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.4	06/22/2026	06/29/2026	06/30/2026	Approved
OCE: Plan Review (DR) v.3	05/26/2026	06/02/2026	06/02/2026	Requires Re-submit
OCE: Plan Review (DR) v.2	04/07/2026	04/14/2026	04/21/2026	Requires Re-submit
OCE: Plan Review (DR) v.1	02/24/2026	03/10/2026	03/16/2026	Requires Re-submit

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.4

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Jamie Waldron	06/29/2026	06/23/2026	Approved
Environmental Health (Plans) (Environmental Health)	Evan Searcy	06/29/2026	06/25/2026	Approved
Fire Marshal (Plans) (Fire)	Jonathan Kenning	06/29/2026	06/22/2026	Approved
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Kathleen Brugnoli	06/29/2026	06/23/2026	Approved
Landscape (Plans) (Parks and Recreation)	Susan Heyen	06/29/2026	06/22/2026	Approved
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	06/29/2026	06/26/2026	Approved
<i>Corrections</i>	6.2.1.B.-F. - Requirements (Resolved) - Corrective Action: D. All sheets shall indicate each sheet number and the total number of sheets. Cross references between sheets is required. - 6.2.1.B.-F. - Requirements: Technical standards and requirements as listed in Section 6.2.1.B. through F. of the LDC			
<i>Corrections</i>	2.12.4 - Front page of the plan (Resolved) - Corrective Action: Missing Type of Application on front page, Missing Owner Phone Number, Missing Certification Verbiage according to LDC, Missing Data Block - 2.12.4 - Front page of the plan: Front page of the plan shall minimally include A through L of this section of the LDC.			
<i>Corrections</i>	2.12.3 - Title block (Resolved) - Corrective Action: Missing Type of Application, and County - 2.12.3 - Title block: Title block on all sheets denoting type of application; project name, location, county, and state; and date of original and all revisions			

SUBMITTAL SUMMARY REPORT (MajorSite-000405-2026)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Property Management (Plans) (Office of the County Engineer)	Delenie Roman	06/29/2026	06/30/2026	Informational
<p><i>Comments</i> Map/Sunbiz checked. IF APPLICABLE: Sec. 2.18.1.1 - Show connections to other phases. Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc. Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public." Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]." Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate: 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities." 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]." - DR 6/30/26</p>				
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	06/29/2026	06/22/2026	Informational
<p><i>Comments</i> Please provide a copy of the NPDES permit or NOI as well as the district permit prior to construction.</p>				
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	06/29/2026	06/22/2026	Approved
<p><i>Corrections</i> 6.4.7. Construction Plans - Survey Requirements (Resolved) - 6.4.7. Construction Plans - Survey Requirements: Survey information to support construction plans, including but not limited to Mass Grading, Improvement, or Major Site plans, shall meet requirements as set forth in Ch. 5J-17 FAC in addition to the following as identified in Section 6.4.7.A. through H. of the LDC. 6.4.7.B(1) - Show a minimum of two intervisible horizontal control points per site 6.4.7.B(2) - Horizontal control points shall be monumented and referenced to the Florida State Plane Coordinate System</p>				
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Sydney Oberdorfer	06/29/2026	06/25/2026	Approved
<p><i>Corrections</i> 6.12.12 - Sidewalks (Resolved) - Corrective Action: Sidewalk is required along CR 42. Staff supports payment of a fee in-lieu of sidewalk construction. The fee option has to be approved by the Development Review Committee. If approved by the Development Review Committee, the fee comes out to \$5,050.00 and must be paid prior to plan approval. - 6.12.12 - Sidewalks: Show sidewalk on the plans as required in section 6.12.12.</p>				
Utilities (OCE Plans) (Utilities)	Heather Proctor	06/29/2026	06/25/2026	Approved
<p><i>Corrections</i> 6.14.8.A - Completion & Closeout - PLAN NOTE: (Resolved) - Corrective Action: Informational: Marion County Utilities requires a PDF copy of the utility as-builts for the preliminary walkthrough and project closeout. MCU's GIS and Construction teams will review the PDF as-builts and provide comments. Once all comments have been addressed and revisions made, a DWG/CAD file will be requested to complete the final closeout process. - 6.14.8.A - Completion & Closeout - PLAN NOTE:</p>				
<p><i>Corrections</i> 6.15.6.A - Potable Water Metering - loc/bank/size (Resolved) - Corrective Action: Label meter size. 1" irrigation, 1" water meter for building - 6.15.6.A - Potable Water Metering - loc/bank/size:</p>				
<p><i>Corrections</i> 6.15.6.B - Irrigation Water Metering - size (Resolved) - Corrective Action: 1" irrigation meter with 1" backflow - 6.15.6.B - Irrigation Water Metering - size:</p>				
<p><i>Corrections</i> 6.14.5.A(8) - Connection to existing sanitary (Resolved) - Corrective Action: See plan comments - 6.14.5.A(8) - Connection to existing sanitary:</p>				
<p><i>Corrections</i> 6.14.5.C - Hydraulic Analysis (Resolved) - Corrective Action: Submit (or revise if marked up) a hydraulic analysis to support the project. - 6.14.5.C - Hydraulic Analysis: The hydraulic analysis is required to analyze the water or wastewater pressures in this area.</p>				

SUBMITTAL SUMMARY REPORT (MajorSite-000405-2026)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Utilities (OCE Plans) (Utilities)	Heather Proctor	06/29/2026	06/25/2026	Approved
<i>Corrections</i>	6.15.6.D - Meter Location (Resolved) - Corrective Action: Located in the ROW with backflows within the property line. - 6.15.6.D - Meter Location:			
<i>Corrections</i>	6.14.5.A(6) - MH locations, rim & invert elevation (Resolved) - 6.14.5.A(6) - MH locations, rim & invert elevation:			
<i>Corrections</i>	Parcel numbers match project area (Resolved) - Corrective Action: Correct: 6722-200-001 - Parcel numbers match project area: The parcels(s) shown on the application and/or site plan must match the project area.			
<i>Corrections</i>	6.14.2 - Connection Requirements (Resolved) - Corrective Action: Connecting to Marion County public water and sewer, - 6.14.2 - Connection Requirements:			
<i>Corrections</i>	MCU Contact Info on Project Cover Sheet (Resolved) - Corrective Action: Correct Contact Info to reflect as provided: Remove individual(s) names - MCU Contact Info on Project Cover Sheet: Marion County Utilities, 11800 S US Hwy 441, Belleview FL 34420 - Customer Service 24/7/365 352-307-6000			
<i>Corrections</i>	7.1.3 - UT DETAILS - current LDC version (Resolved) - Corrective Action: See plan comments - 7.1.3 - UT DETAILS - current LDC version: UT details shall be current version based on latest edition of approved LDC			
<i>Corrections</i>	6.14.4 - Capacity charges - irrigation (Resolved) - Corrective Action: Irrigated SQFT shown as 30,448 on C04.01 - within Water Service Connection detail. - 6.14.4 - Capacity charges - irrigation: Projects using MCU irrigation shall must show the irrigation tap, meter placement, size, and backflow. Indicate total SF of irrigated area in anticipation of the irrigation meter request through Customer Service.			
<i>Corrections</i>	Review Fee as applicable (per Resolution) (Resolved) - Corrective Action: \$130.00 Utilities Resubmittal Review Fee - Review Fee as applicable (per Resolution): MCU review fee for this submittal			
<i>Corrections</i>	6.14.4 - Capacity charges - domestic water/sewer (Resolved) - Corrective Action: Informational: - 6.14.4 - Capacity charges - domestic water/sewer: Capacity charges to be invoiced and collected by MCU Permitting at time of building permit review - Cap Fee Worksheet and interior floor plan may be required.			
<i>Corrections</i>	Additional Utilities Comments (Resolved) - Corrective Action: Genal Notes: Water System Notes #5 - Draw the plans without conflicts. Water, sewer, and presumably storm already exist. Sanitary Sewer #6 - Gravity sewer is a minimum of 36". Force Main cover is 48". Add note: Marion County Utilities (MCU) will require proof of a successful, EOR signed and sealed, hydrostatic leak test for all private manholes and grease traps. MCU inspectors will not perform on-site testing for privately owned systems. A hold will be added to the site's building permit, if applicable. Alternatively, all private manholes may be sealed using the WrapidSeal. (3) All manholes located within 400 feet of the public lift station must be lined and equipped with a composite ring and cover. As-built Survey: Please reference Marion County Land Development Code 6.14.8 - Additional Utilities Comments			
<i>Corrections</i>	6.14.2.C(2) - Industrial Pretreatment/FOG (Resolved) - Corrective Action: Confirm if there will be any type of cooking, food prep or three compartment sinks on site, that would require a grease trap. - 6.14.2.C(2) - Industrial Pretreatment/FOG:			
<i>Corrections</i>	6.14.5.B - FDEP PWS and/or WW permits (Resolved) - Corrective Action: Informational: The Engineer of Record is responsible for requesting and submitting the appropriate FDEP Public Water System (PWS) and/or Wastewater (WW) permit applications, if applicable. All applications must be signed and sealed prior to submission for Marion County Utilities' signature and must be provided before the Utilities Pre-Construction meeting. - 6.14.5.B - FDEP PWS and/or WW permits: If applicable. DEP permits shall be signed by Owner & EOR before sent to MCU; MCU signs last. Leave all plant data blank; MCU will complete.			
<i>Corrections</i>	6.16.4 - Wastewater Collection Systems (Resolved) - Corrective Action: Informational: Marion County Utilities (MCU) will require proof of a successful, EOR signed and sealed, hydrostatic leak test for all private manholes and grease traps. MCU inspectors will not perform on-site testing for privately owned systems. A hold will be added to the site's building permit, if applicable. Alternatively, all private manholes may be sealed using the WrapidSeal. - 6.16.4 - Wastewater Collection Systems:			
<i>Corrections</i>	6.14.6 - Utilities design to be owned by MCU (Resolved) - Corrective Action: Informational: A.All utility systems shall be designed for the estimated tributary population.B.All utility systems shall be designed utilizing components with a minimum 30 year life span.C.Systems intended to be owned and maintained by MCUD shall be designed for the tributary population and in conformance with the adopted Marion County Utilities Master Plan, as amended.D.Water systems shall be designed to satisfy the domestic water demand and fire protection requirements.E.All systems to be owned, operated, or maintained by MCU shall be subject to a pre-design meeting with MCU.F.All meters shall be located in a meter easement located adjacent to or within the public right-of-way.G.All meters in an MCU maintained system shall be installed and inspected by MCU after receiving payment of applicable fees and charges.H.All pipe shall comply with state standards.I.The engineer shall provide the required lengths of mechanically restrained joints in table form on the plans. - 6.14.6 - Utilities design to be owned by MCU:			
<i>Corrections</i>	6.15.3 - Fire Protection/Fire Flow Capacity (Resolved) - Corrective Action: Informational: Water service will be provided by Marion County Utilities. Please consult with Marion County Fire Rescue for any additional comments or requirements related to fire protection. - 6.15.3 - Fire Protection/Fire Flow Capacity:			
<i>Corrections</i>	6.14.5.A(1) - Existing water & sewer mains shown (Resolved) - Corrective Action: Contractor is expected to field verify all water and sewer mains, laterals, etc. (2) Sewer main is shown as an 8" on the as-builts. - 6.14.5.A(1) - Existing water & sewer mains shown: The entire utility system shall be shown on the plan, including existing water systems and all proposed components within the project area.			
<i>Corrections</i>	6.15.7 - Cross Connection Control/Backflow (Resolved) - Corrective Action: Informational: A backflow hold will be placed on the building permit. Backflows must be tested and the results reported to crossconnectioncontrol@marionfl.org before the final hold can be released. (BLDC-26-04-00988) - 6.15.7 - Cross Connection Control/Backflow:			
<i>Corrections</i>	6.14.5.A(2) - Proposed mains & connections shown (Resolved) - Corrective Action: Label "End of County Maintenance" on the utility plans. Water meters and sewer clean out at property line. - 6.14.5.A(2) - Proposed mains & connections shown: Proposed mains shall be marked as private or public (MCU); points of demarcation shall be called out as necessary to identify changes in ownership. Shall include profile views unless otherwise noted.			
<i>Corrections</i>	6.15.4 - Water Distribution System (Resolved) - Corrective Action: 10" main - 6.15.4 - Water Distribution System:			
<i>Corrections</i>	6.14.9.B - Transfer of Assets to MCU - PLAN NOTE: (Resolved) - Corrective Action: Informational: If the project will require a transfer of facilities to Marion County, it must be done PRIOR TO the DEP Clearance Package application being approved by Marion County Utilities. This includes a Bill of Sale with supporting conveyed assets detail, approved. - 6.14.9.B - Transfer of Assets to MCU - PLAN NOTE:			

SUBMITTAL SUMMARY REPORT (MajorSite-000405-2026)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Utilities (OCE Plans) (Utilities)	Heather Proctor	06/29/2026	06/25/2026	Approved
<i>Corrections</i>	6.14.7 - Construction Inspection - PLAN NOTE: (Resolved) - Corrective Action: Add note to Utility Sheet(s) MCU personnel are to inspect any work performed on or around existing MCU infrastructure. A pre-construction meeting is required to be held a minimum of 48 hours prior to start of any construction. If the pre-construction meeting is not completed, any work may be halted. To schedule, contact MCU's Development Review Division (352) 307-6000, ext. 4 or MCUDevelopmentReview@Marionfl.org - 6.14.7 - Construction Inspection - PLAN NOTE:			
<i>Corrections</i>	6.15.5 - Water Service & Connection (Resolved) - Corrective Action: References UT107 for detail of connection - 6.15.5 - Water Service & Connection :			
<i>Corrections</i>	6.14.5.B - Submit permits to MCU (DOT, ROW etc) (Resolved) - Corrective Action: Informational: Copies of all related permit applications and issued permits must be submitted to the Marion County Utilities Department prior to, or at the time of, the Pre-Construction Meeting. - 6.14.5.B - Submit permits to MCU (DOT, ROW etc): A copy of any permit issued to the contractor shall also be submitted to MCU's Construction Manager, or designee.			
<i>Comments</i>	Previously approved. Project will be connecting to Marion County Utilities' water and wastewater systems. A Utilities Pre-Construction Meeting is required after approval of the plans by the Development Review Committee and at least 48 hours prior to commencement of utility construction. Please contact the Utilities Development Review Officer to schedule: Heather.Proctor@MarionFL.org or (352) 438-2846.			

OCE: Plan Review (DR) v.3

CONSTRUCTION / MAJOR SITE PLANS FOR:



FIFTH THIRD

MULBERRY - THE VILLAGES

9171 SE 165TH MULBERRY LN,
THE VILLAGES / MARION COUNTY, FLORIDA 32162

MARION COUNTY NOTE
NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.

SECTION 6.3.1.D (C)(3)
MARION COUNTY IS GRANTED THE RIGHT TO PERFORM EMERGENCY MAINTENANCE ON THE STORMWATER EASEMENT AND/OR MANAGEMENT TRACT, COMPLETE ACCORDING TO THE EASEMENT OF A LOCAL, STATE, OR FEDERAL STATE OF EMERGENCY WHEN THE OCCUPATION HINDERES THE SUBSERVION OF AN EMERGENCY WHEN THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC IS DEEMED TO BE AT RISK.

PRE VS POST SITE AREAS

	ACRE	S.F.	PERCENT
SITE AREA	1.28	54,795	100.00%
PRE-DEVELOPMENT			
PERVIOUS AREA	0.00	00.00	0.00%
IMPERVIOUS AREA	1.28	54,795	100.00%
POST-DEVELOPMENT			
PERVIOUS AREA	0.70	30,286	55.00%
IMPERVIOUS AREA	0.58	24,509	45.00%

NOTE: THIS COMMERCIAL PARCEL SHOULD BE REQUIRED TO CATCH AND CONVEY THEIR SURFACE RUNOFF TO THEIR POINT OF CONNECTION TO MASTER SYSTEM, THEREFORE, NO OFFSITE RUNOFF.

PROJECT TEAM

PROPERTY OWNER:
FIFTH THIRD BANK
38 FOUNTAIN SQUARE PLAZA, MD 10900K
CINCINNATI OH 45202

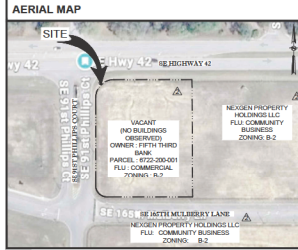
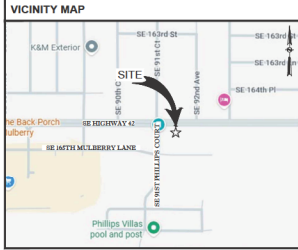
DEVELOPER:
FIFTH THIRD BANK
TAMMILA BROOKS, V.P.
38 FOUNTAIN SQUARE PLAZA, MD 10900K
EMAIL: TAMMILA.BROOKS@f3.com

CIVIL ENGINEER:
INFINITY ENGINEERING GROUP, LLC
1308 EAST KENNEDY BOULEVARD
SUITE 210
TAMPA, FLORIDA 33602
CONTACT: NEST SAPPARAKAD

ARCHITECT:
BLOOMBERG ARCHITECTS
400 N ASHLEY DRIVE
SUITE 100
TAMPA, FLORIDA 33602
CONTACT: MILENA CECONELLO
LANDSCAPE ARCHITECT:
PATRICK D. CUNNINGHAM, LLC
514 SAPPARINE DRIVE
SARASOTA, FLORIDA 34234
PH: (941) 562-7857
CONTACT: PATRICK CUNNINGHAM
EMAIL: P.CUNNINGHAM@PDCAL.COM

SURVEYORS:
AL TAMAK SURVEYING
410 BELLEVUE AVENUE
SUITE 1100
BELLVIEW, FLORIDA 32818
PH: (407) 877-0200
CONTACT: JAMES D. BRAY
EMAIL: JAMES@ALTAMAKSURVEYING.COM

GEOTECHNICAL:
PROFESSIONAL SERVICE INDUSTRIES
1748 38RD STREET
ORLANDO, FLORIDA 32839
PH: (407) 394-5558
CONTACT: ROBERT A. TROMPKE



CONCURRENCY DEFERRAL STATEMENT

LDC SEC. 1.6.2 (F) - CONCURRENCY DEFERRAL: AN OWNER MAY ELECT TO DEFER REQUIRED CONCURRENCY REVIEW AND PERMITS FOR A DEVELOPMENT APPLICATION UNDER THE SECTION 1.6.2 (F) TO A SUBSEQUENT DEVELOPMENT APPLICATION REVIEW STAGE BY EXCLUDING THE FOLLOWING TO A CONCURRENCY DEFERRAL STATEMENT ON THE DEVELOPMENT AND PERMITS FOR AN OFFICIAL OPERABLE REVIEW AND PERMITS APPROVAL. A COPY OF REVIEW SHALL BE PROVIDED TO CITY ENGINEER AND THE OPERATIONAL SHALL BE PROVIDED TO MARION COUNTY ENGINEER. THE DEFERRAL STATEMENT SHALL BE PROVIDED TO MARION COUNTY ENGINEER AND PERMITS FOR AN OFFICIAL OPERABLE REVIEW AND PERMITS APPROVAL. THESE USE PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE RESIDUAL PROPERTY USES ARE SUBJECT TO A DEFERRAL STATEMENT REVIEW AND PERMITS APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN APPROVED. THE COMPLETION OF CONCURRENCY REVIEW AND PERMITS APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, LATE SUBSEQUENT APPLICATIONS EXPECTED PURSUANT TO SECTION 1.6.2 (F) AS APPLICABLE.

DRAWING INDEX

SHEET NO.	SHEET TITLE
C00.00	COVER SHEET
C00.01	CIVIL SPECIFICATIONS
C01.01	DEMOLITION PLAN
C02.01	SITE PLAN
C03.01	GRADING PLAN
C03.02	STORM PIPING PLAN
C04.01	UTILITY PLAN
C05.01	DETAILS
C05.02	THE VILLAGES STANDARD DETAILS
C05.03	THE VILLAGES STANDARD DETAILS
C05.04	THE VILLAGES STANDARD DETAILS
C05.05	MARION COUNTY STANDARD DETAILS
C05.06	MARION COUNTY STANDARD DETAILS
C06.01	SURVEY GENERAL REQUIREMENTS
C06.02	EROSION CONTROL PLAN PHASE I
C06.03	EROSION CONTROL PLAN PHASE II
C06.04	EROSION AND SEDIMENTATION CONTROL DETAILS
LP10.01	LANDSCAPE PLAN
LP10.01	LANDSCAPE SPECIFICATIONS
IR01.01	IRRIGATION PLAN
IR02.01	IRRIGATION DETAILS
S001.01	SITE ACCESS PLAN
1 OF 1	ALTA / MRS LAND TITLE SURVEY

UTILITY AUTHORITIES

WATER AND SEWER PROVIDED BY:
MARION COUNTY UTILITIES
1180 S US HIGHWAY 441
BELLVIEW, FLORIDA 32818
CONTACT: CUSTOMER SERVICE 247
PHONE: (352) 387-0200

TELEPHONE PROVIDED BY:
NET
208 SOUTH WARD STREET
DALLAS, TEXAS 75202
PHONE: (940) 382-1529

ELECTRIC PROVIDED BY:
FLORIDA POWER & LIGHTS (MARION COUNTY)
30 WEST ANDRUE AVENUE
SUITE 100
CORTEZ, FLORIDA 32926
CONTACT: JOSEPH PORTERA
PHONE: (352) 565-5656
EMAIL: JOSEPH.PORTERA@FLORIDAPL.COM

FIRE PROTECTION PROVIDED BY:
MARION COUNTY FIRE PREVENTION
1180 S US HIGHWAY 441
BELLVIEW, FLORIDA 32818
CONTACT: JONATHAN W. HANNING
PHONE: (352) 391-4858
EMAIL: FIREPREVENTION@MARIONFL.COM

MARION COUNTY SINKHOLE REPAIR NOTE

A MINIMUM OF THREE FEET OF UNCONSOLIDATED SOIL MATERIAL SHALL BE PROVIDED BETWEEN THE SURFACE OF ANY LIMESTONE BROOK AND THE BOTTOM AND SIDES OF ANY STORMWATER FACILITY.

LICENSED DESIGN PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE AS DESCRIBED AS SHOWN.

SIGNATURE: _____ DATE: _____

PARCEL ID: 6722-200-001
MARION COUNTY, FLORIDA

MARION COUNTY UTILITY NOTE

ALL NEW OR EXISTING UTILITY SYSTEMS SHALL BE PROTECTED AND PROTECTED BY ALL APPLICABLE PAYMENT OF APPLICABLE FEES AND CHARGES SHALL BE PAID TO THE COUNTY WITH STATE STANDARD. THE ENGINEER SHALL PROVIDE THE REQUIRED EROSION OF BEDDING/ANNUALLY RESTRAINED JOINTS BY VACUUM TIGHTENING THE PLANS. ALL PRESSURE PIPE JOINTS SHALL BE PROPERLY RESTRAINED PER MFL STANDARD.

OWNER'S CERTIFICATION

I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE APPROVEMENTS AS SHOWN ON THIS PLAN. THIS CERTIFICATION MUST BE SIGNED BY THE CURRENT PROPERTY OWNER OR THEIR AUTHORIZED REPRESENTATIVE. IN THE EVENT OF A FUTURE CHANGE OF OWNERSHIP, THE PROPERTY OWNER OR THEIR AUTHORIZED REPRESENTATIVE SHALL BE RESPONSIBLE FOR MAINTAINING THIS CERTIFICATION. THE PROPERTY OWNER OR THEIR AUTHORIZED REPRESENTATIVE SHALL BE RESPONSIBLE FOR MAINTAINING THIS CERTIFICATION. THE PROPERTY OWNER OR THEIR AUTHORIZED REPRESENTATIVE SHALL BE RESPONSIBLE FOR MAINTAINING THIS CERTIFICATION.

SIGNATURE: _____ DATE: _____

VICE PRESIDENT
TAMMILA BROOKS

OVERLAY ZONE: SECONDARY SPRING PROTECTION OVERLAY ZONE (S-SPOZ)



INFINITY ENGINEERING GROUP, LLC

1008 East Kennedy Boulevard
Suite 210
Tampa, Florida 33602
Tel: 813.424.4770
Fax: 813.442.4211
www.infinityeng.com
FL Cert. # of Arch. No. 27889

IEG JOB NO. 15-420-00

NEST SAPPARAKAD, P.E.
FL REG. NO. 64098

DATE: _____

THIS PLAN HAS BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA. I HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA AND I AM NOT PROVIDING ENGINEERING SERVICES TO ANY OTHER PARTY AT THE SAME TIME AS I AM PROVIDING THESE SERVICES TO YOU.

SHEET

C00.00

1 OF 24

GENERAL NOTE

- 1. ALL CONSTRUCTION SHALL BE EXECUTED AS SHOWN ON THESE PLANS... UNLESS OTHERWISE NOTED ON PLAN OR WITHIN THE PROJECT SPECIFICATIONS... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

REGULATORY STANDARDS AND REQUIREMENTS

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

DEMOLITION AND CLEARING

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

SOILWORK SHALL NOT BE COMPLETED UNTIL...

- 1. PROTECT EXISTING FACILITIES AND ADJACENT WALKWAYS, LOADING DOCKS, BUILDING ENTRANCES, AND OTHER EXISTING UTILITIES... 2. ERECT TEMPORARY PROTECTION, SUCH AS FENCING, RAILING, CHANNELS, AND CONTROLled ACCESSWAYS, AS NECESSARY... 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

EROSION AND SEDIMENTATION CONTROL

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

EARTHWORK

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

TREE PROTECTION AND TRIMMING

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

WOODWORK SHALL BE INSTALLED TO MEET...

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

CONCRETE SHALL BE PLACED AND FINISHED...

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

PAVING SHALL BE COMPLETED...

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

WATER SYSTEM NOTES

- 1. A VERTICAL CLAMPING SYSTEM SHALL BE INSTALLED BETWEEN EXISTING SANITARY SEWER AND WATER MAINS... 2. A HORIZONTAL DISTRIBUTION OF STEEL SHALL BE MAINTAINED BETWEEN WATER MAIN AND SANITARY SEWER... 3. ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER...

SANITARY SEWER NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

ASPHALT PAVING

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

GEOTECHNICAL NOTE

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

STORM DRAINAGE

- 1. UNLESS OTHERWISE SHOWN OTHERWISE, ALL PVC PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING... 2. ALL STORM DRAINAGE SHALL BE INSTALLED BETWEEN EXISTING SANITARY SEWER AND WATER MAINS... 3. ALL STORM DRAINAGE SHALL BE INSTALLED BETWEEN EXISTING SANITARY SEWER AND WATER MAINS...

AS-BUILT SURVEY

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS... 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

PROJECT INFORMATION BLOCK

Table with project details including JOB #, DATE, DRAWN BY, CHECKED BY, SHEET TITLE, and CIVIL SPECIFICATIONS.

PROJECT INFORMATION BLOCK

Table with project details including JOB #, DATE, DRAWN BY, CHECKED BY, SHEET TITLE, and CIVIL SPECIFICATIONS.

CIVIL SPECIFICATIONS

Table with project details including JOB #, DATE, DRAWN BY, CHECKED BY, SHEET TITLE, and CIVIL SPECIFICATIONS.

CIVIL SPECIFICATIONS

Table with project details including JOB #, DATE, DRAWN BY, CHECKED BY, SHEET TITLE, and CIVIL SPECIFICATIONS.



400 N. Ashley Blvd., Suite 100, Ft. Lauderdale, FL 33309

Phone: 754.588.1111, Fax: 754.588.1112, Email: info@bogarchitects.com

FIFTH THIRD BANK MULBERRY

1971 SE 145TH MULBERRY LN., THE VILLAGES / MARION COUNTY, FLORIDA 32162

INFINITY ENERGY ENGINEERING

1000 East Broadway, Suite 100, Ft. Lauderdale, FL 33304

Phone: 754.444.1111, Fax: 754.444.1112, Email: info@infinityenergy.com

SEALED AND SIGNED

INSTRUMENTED

DATE: 11/17/2011

PROJECT: 1117218

DATE: 11/17/2011

PROJECT: 1117218

DATE: 11/17/2011

PROJECT: 1117218

DATE: 11/17/2011

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DATE: 11/17/2011

PROJECT: 1117218

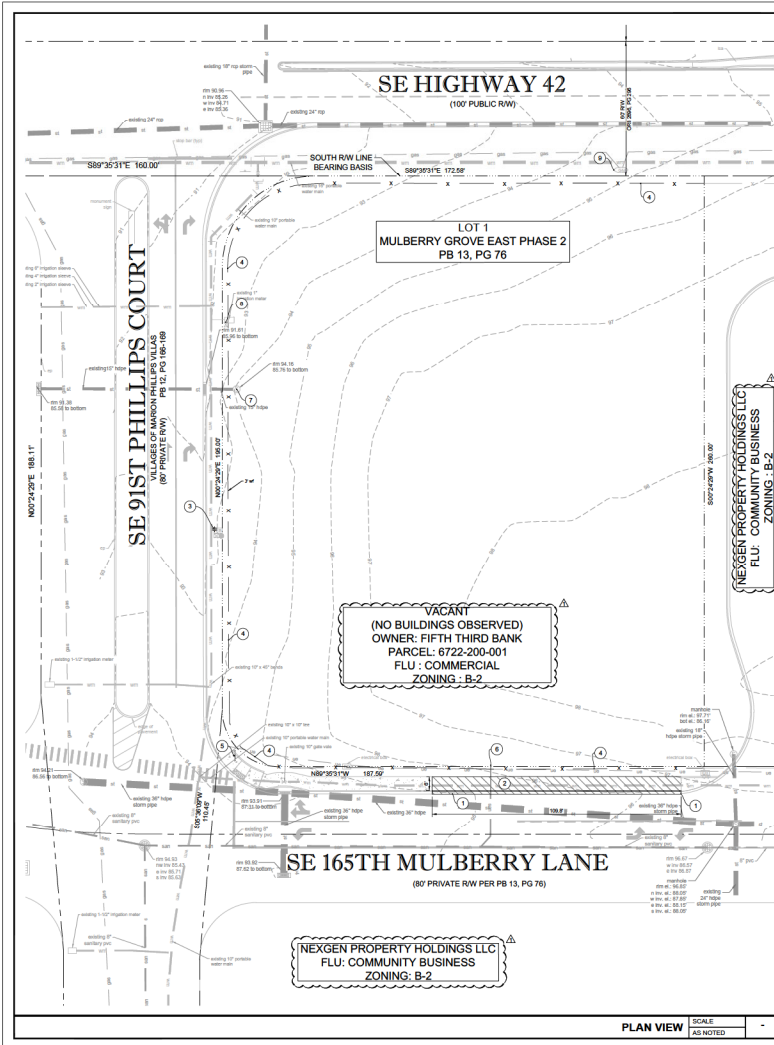
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KEYED NOTES

- 1 EXISTING CURB AND GUTTER TO BE SAWCUT / REMOVED.
- 2 EXISTING CONCRETE SIDEWALK TO BE SAWCUT/ REMOVED.
- 3 EXISTING STREET LIGHT TO BE DE-ENERGIZED AND RELOCATED TO FIFTH THIRD BANK LIGHTING CONTROL SYSTEM TO COORDINATE WITH THE VILLAGES PRIOR TO CONSTRUCTION.
- 4 EXISTING 3-FOOT WOOD FENCE TO BE REMOVED.
- 5 EXISTING SIGN TO BE REMOVED AND RELOCATED.
- 6 EXISTING SANITARY LATERAL TO REMAIN.
- 7 PARTIAL REFORMALTER 3' SECTION RW TO REMAIN AS POINT OF FURNISHMENT FOR MASTER DRAINAGE SYSTEM.
- 8 EXISTING IRRIGATION WATER METERS AND VALVE TO REMAIN. CONTRACTOR TO FIELD VERIFY LOCATION AND CONTACT EOR WITH ANY DISCREPANCY.
- 9 EXISTING GAS METER AND VALVE TO REMAIN.

LEGEND

	PROPERTY LINE
	EXISTING CONCRETE TO REMAIN
	EXISTING TO REMAIN
	EXISTING ASPHALT/CONCRETE TO BE REMOVED
	EXISTING SIDEWALK/CONCRETE TO BE REMOVED
	EXISTING TO BE REMOVED
	THREE BARRIER LINE
	EXISTING GAS
	EXISTING SANITARY
	EXISTING TELEPHONE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD LINE
	EXISTING WATER
	EXISTING CONTOUR
	EXISTING GRADE ELEVATION

DEMOLITION NOTES

1. CONTRACTOR TO ESTABLISH AND PROPERLY FLAG PROPERTY LINES PRIOR TO DEMOLITION.
2. ALL ABOVE AND BELOW GROUND HARDWARE, EQUIPMENT AND MATERIALS TO BE DISPOSED OF IN ACCORDANCE WITH LOCAL MUNICIPALITY REQUIREMENTS.
3. UTILITIES TO BE PLUGGED SHALL BE FILLED WITH A MINIMUM 10' CURING FT. OF NON-SHINK GROUT OR AS OTHERWISE APPROVED BY ENGINEER.
4. TREES SHOWN TO REMAIN SHALL MAINTAIN PROTECTIVE BARRIERS DURING DEMOLITION. THESE BARRIERS SHALL BE IN ACCORDANCE WITH CURRENT LOCAL MUNICIPALITY STANDARDS.
5. THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF EXISTING UTILITIES WITH THE OWNER OF SAID UTILITY. THIS SHALL INCLUDE BUT NOT BE LIMITED TO WATER, SEWER, GAS, CABLE, TV, POWER AND TELEPHONE.
6. THE CONTRACTOR SHALL UTILIZE SUITABLE EROSION CONTROL DURING DEMOLITION. SEE "EROSION & SEDIMENT CONTROL DETAIL".
7. THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO DEMOLITION AND WILL BE RESPONSIBLE FOR THE DAMAGE OF ANY ON-SITE OR OFF-SITE UTILITIES THAT ARE NOT A PART OF THIS PROJECT OR ARE NOT IDENTIFIED TO BE REMOVED.
8. ALL DISTURBED AREA WITH THE RIGHT OF WAY WILL BE RESTORED TO ORIGINAL OR BETTER CONDITION BY GRASSING AND SOODING THE AREA DISTURBED.

TREE NOTE:
CONTRACTOR TO INSTALL TREE BARRICADES SURROUNDING ALL TREES TO REMAIN. IRRIGATE ALL LANDSCAPING AS NEEDED.

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FIFTH THIRD BANK
MULBERRY
THE VILLAGES / MARION COUNTY,
FLORIDA 32162

NEXGEN PROPERTY HOLDINGS LLC
FLU: COMMUNITY BUSINESS
ZONING: B-2

VACANT
(NO BUILDINGS OBSERVED)
OWNER: FIFTH THIRD BANK
PARCEL: 6722-200-001
FLU: COMMERCIAL
ZONING: B-2

NEXGEN PROPERTY HOLDINGS LLC
FLU: COMMUNITY BUSINESS
ZONING: B-2

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E.S. Lic. No. 14430.00

DATE	DESCRIPTION
11/17/24	ISSUE FOR DATE REVIEW
02/17/24	ISSUE FOR DATE REVIEW
04/07/24	ISSUE FOR DATE REVIEW
06/07/24	ISSUE FOR DATE REVIEW
08/07/24	ISSUE FOR DATE REVIEW
10/07/24	ISSUE FOR DATE REVIEW
12/07/24	ISSUE FOR DATE REVIEW

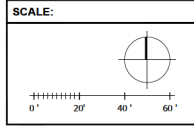
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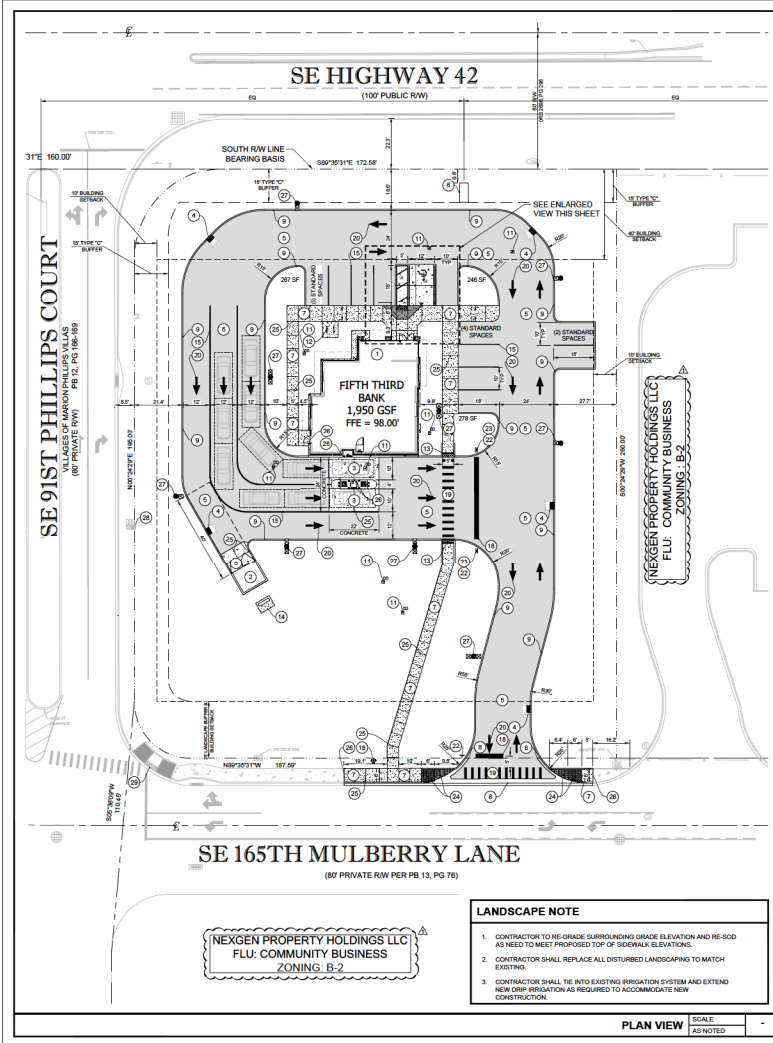
JOB # 28030
DATE 12/17/24
DRAWN BY: BS
CHECKED BY: BS

SHEET TITLE: DEMOLITION PLAN

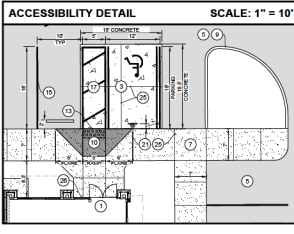
SHEET NUMBER: C01.01

3 OF 24





- ### KEYED NOTES
- NEW FIFTH THIRD BANK BUILDING AND DRIVE-THRU ISLAND (SEE ARCHITECTURAL PLANS).
 - NEW "FRAMING" CURB, SEE THE VILLAGES STANDARD DETAIL R-20.1 CURB/STAIR PAD & ENCLOSURE DETAIL, SHEET C05.02.
 - NEW 7" THICK CONCRETE PAVEMENT, SEE DETAILS, SHEET C05.01.
 - NEW STORM STRUCTURES, SEE STORM PIPING PLAN, SHEET C05.02.
 - NEW ASPHALT PAVEMENT, SEE DETAILS, SHEET C05.01.
 - NEW ID SIGN (DESIGNED AND PERMITTED BY OTHERS).
 - NEW 4" THICK CONCRETE SIDEWALK, SEE PLAN FOR WIDTH, SEE DETAILS, SHEET C05.01.
 - NEW VALLEY GRITTER PER THE VILLAGES STANDARD DETAIL, SEE THE VILLAGES STANDARD DETAILS R-10.1 & R-1.2, SHEET C05.03.
 - NEW TYPE "C" CURB, 24" CUT CURB TRANSITION AT PATHWAYS, SEE THE VILLAGES STANDARD DETAIL R-2.4, SHEET C05.03.
 - NEW ADA RAMP PER THE VILLAGES STANDARD DETAIL, HC-1.7, SEE DETAIL, SHEET C05.02.
 - CLEANOUT WITH CONCRETE COLLAR, SEE STORM PIPING PLAN, SHEET C05.02, AND UTILITY PLAN, SHEET C04.01.
 - NEW FIFTH THIRD STANDARD BICYCLE RACKS, SEE DETAILS, SHEET C05.01. NOTE: FRAME RACK SELECTION TO BE APPROVED BY VILLAGES DESIGN PRIOR TO ORDERING / INSTALLATION.
 - NEW DETECTABLE WARNING, SEE DETAILS, SHEET C05.04.
 - NEW TRANSFORMER PAD, SEE UTILITY PLAN, SHEET C04.01, AND ELECTRICAL SITE PLAN FOR MORE INFORMATION.
 - NEW 6-INCH "WHITE" PARKING/ASILE STRIPE (CONTINUOUS PAINT).
 - NEW PUBLIC FIRE HYDRANT TO BE PAINTED RED, SEE UTILITY PLAN, SHEET C04.01.
 - NEW ACCESSIBLE PARKING SPACE AND ACCESSIBLE PER THE VILLAGES STANDARD DETAIL HC-2.2, SEE DETAIL, SHEET C05.02.
 - NEW 24-INCH "WHITE" STOP BAR (CONTINUOUS PAINT).
 - NEW 5-FOOT WIDE CROSSWALK, 12-INCH "WHITE" STRIPE @ 30" O.C. (CONTINUOUS PAINT).
 - NEW "WHITE" DIRECTIONAL ARROW (CONTINUOUS PAINT).
 - NEW DECORATIVE HANDCAP SIGN POST PER THE VILLAGES STANDARD DETAIL, HC-1.4, SEE DETAILS, SHEET C05.02.
 - NEW 30" R-1 "STOP" SIGN PER THE VILLAGES STANDARD DETAIL, SN-5.3 (TYPICAL OF 3), SEE DETAILS, SHEET C05.04 (PROVIDED AND INSTALLED BY FIFTH THIRD SIGN VENDOR).
 - NEW 30" R-1 "DO NOT ENTER" SIGN PER THE VILLAGES STANDARD DETAIL, SN-4.2 (TYPICAL OF 3), SEE DETAIL, SHEET C05.04 (PROVIDED AND INSTALLED BY FIFTH THIRD SIGN VENDOR).
 - NEW DETECTABLE WARNING AND SIDEWALK CURB CUT RAMP ON THE VILLAGES STANDARD DETAIL, HC-2.0.4 (HC-1.5).
 - SAW-CUT A 1/4" CONTROL JOINT IN NEW SIDEWALK AS SHOWN, NEW CONTROL JOINT DEPTH MUST BE A MINIMUM OF 25% OF THE OVERALL SLAB DEPTH AND BE PERFORMED WITHIN 12 HRS OF POUR, (TYPICAL, SEE DETAILS, SHEET C05.02).
 - EXPANSION JOINTS (TYPICAL).
 - NEW AREA LIGHT POLE, SEE ELECTRICAL SITE PLAN.
 - EXISTING AREA LIGHT POLE TO BE TRANSFERRED TO THE BANK, SEE ELECTRICAL SITE PLAN.



LEGEND

	PROPERTY LINE
	EXISTING TO REMAIN
	EXISTING CONCRETE TO REMAIN
	PROPOSED CONCRETE LESS THAN 4"
	PROPOSED CONCRETE 4" OR GREATER
	NEW ASPHALT PAVEMENT
	SETBACK/BUFFER
	PROPOSED CURB
	PROPOSED CURB AND GUTTER

SITE DATA

SITE ADDRESS: 9171 SE 165TH MULBERRY LN THE VILLAGES / MARION COUNTY, FLORIDA 32162

PARCEL NUMBER: 8722-300-001

OVERLAY ZONE: SECONDARY SPRINGS PROTECTION OVERLAY ZONE (S-SPZ)

311c AREA: 34,765 S.F. (1.26 AC)

BUILDING AREA: 1,950 GSF BUILDING

EXISTING ZONING: COMMUNITY BUSINESS-B-2

FUTURE USE: COMMERCIAL (C-2)

MAX BUILDING HEIGHT: 35 FEET

MAX CANOPY HEIGHT: 35 FEET

PARKING REQUIREMENTS: 1 SPACES PER 300 G.F.A. 1,950 SF x (1 / 300 SF) = 7 SPACES

TOTAL PARKING PROVIDED: STANDARD PARKING = 11 SPACES ACCESSIBLE PARKING = 2 SPACES TOTAL PARKING = 13 SPACES

PARKING SPACE SIZE: 10' x 18' MINIMUM

DRIVE THROUGH QUEUE: NO REQUIREMENTS FOUND

LOADING ZONE: *NOTE: FINANCIAL INSTITUTIONS DO NOT USE LOADING ZONES FOR SECURITY PURPOSES. DELIVERY TRUCK WILL PARK DIRECTLY IN FRONT OF MAIN ENTRANCE.

BUILDING REQUIREMENTS: BUILDING SETBACK - (SEE HIGHWAY 42) = 40' BUILDING SETBACK - (SEE SE 91ST PHILLIPS COURT) = 10' BUILDING SETBACK - (SEE SE 165TH MULBERRY LANE) = 0'

LANDSCAPE REQUIREMENTS: TYPE "C" BUFFER - (SEE HIGHWAY 42) = 15' TYPE "C" BUFFER - (SEE SE 91ST PHILLIPS COURT) = 15' LANDSCAPE BUFFER - (SEE SE 165TH MULBERRY LANE) = 25' LANDSCAPE BUFFER - (SEAS) = 0'

FIRE RESISTANCE REQUIREMENTS PER THE FLORIDA FIRE PREVENTION CODE, 8TH EDITION: CONSTRUCTION TYPE: V8 (PER FBC 8TH EDITION (2022) - TABLE 601) MINIMUM FRS FLOW RATE: 1500 GPM FOR 2 HOURS

FLOOD ZONE: THE DESCRIBED PROPERTY LIES IN FLOOD ZONE "X" PER FEMA INSURANCE RATE MAP NO. 32080C0002, COMMUNITY NO. 32080, UNINCORPORATED MARION COUNTY, FLORIDA, HAVING AN EFFECTIVE DATE 06/06/2006.

LEGAL DESCRIPTION: LOT 1, MULBERRY GROVE EAST PHASE 2, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 13, PAGES 78 AND 77, OF PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

SITE PLAN GENERAL NOTES

- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BUILDING DIMENSIONS ARE TO FACE OF BUILDING.
- EXISTING IMPROVEMENTS SHOWN ARE TAKEN FROM THE SURVEY.
- BUILDING AND SIDEWALK DIMENSIONS ARE TO OUTSIDE EDGE OF WALL.
- ALL TIES TO THE PROPERTY LINE ARE BASED ON THE SURVEY.
- ALL CURB RACKS ARE 2' WALKWAY OVERHEAD MOUNTED.

SCALE: 1" = 10'

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PROJECT INFORMATION BLOCK: JOB # 202303, DATE 12/17/23, DRAWN BY: [redacted], CHECKED BY: [redacted], SHEET TITLE: SITE PLAN, SHEET NUMBER: C02.01, 4 OF 24

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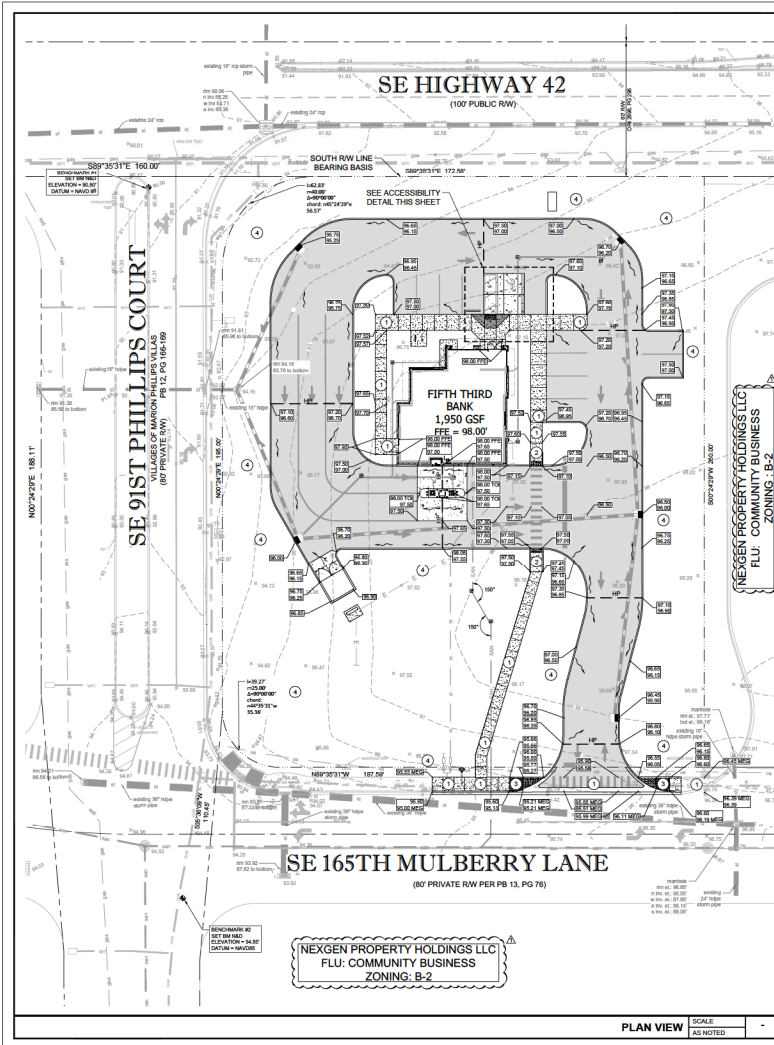
MAIL: NEXGEN PROPERTY HOLDINGS, P.E. FL REG. NO. 94805

DATE:

REVISIONS:

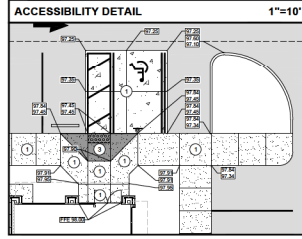
NO.	DATE	DESCRIPTION
1	12/17/23	ISSUE FOR DATE REVIEW
2	12/17/23	FINAL TRAILER SIGN REVIEW
3	02/17/24	ISSUE REVIEW
4	04/01/24	FINAL MAIL ROOM SIGN PLAN REVIEW
5	06/07/24	MAIL ROOM SIGN REVIEW 2

PROJECT INFORMATION BLOCK: JOB # 202303, DATE 12/17/23, DRAWN BY: [redacted], CHECKED BY: [redacted], SHEET TITLE: SITE PLAN, SHEET NUMBER: C02.01, 4 OF 24



- KEYED NOTES:**
- SURFACE SLOPES NOT TO EXCEED 1:48 IN ALL DIRECTIONS.
 - SURFACE SLOPES NOT TO EXCEED 1:48 CROSS SLOPES AND 1:20 RUNNING.
 - SURFACE SLOPES NOT TO EXCEED 1:48 CROSS SLOPES AND 1:12 RUNNING.
 - RE-GRADE SURROUNDING LANDSCAPING GRADE ELEVATION AND RE-CURVE MATCH LINES REQUIRED TO MATCH EXISTING GRADE ELEVATIONS. SLOPES NOT TO EXCEED 4:1.

- ACCESSIBILITY NOTES**
- THE DRAWINGS ARE DESIGNED TO MEET ACCESSIBILITY STANDARDS AT MINIMUM LOCAL AND STATE REQUIREMENTS OR CODES MAY HAVE ADDITIONAL STANDARDS.
 - ACCESSIBLE PARKING SPACES, SIGNAGE, CURBS, WHEEL STOPS AND ACCESSIBLE RAMPES TO MEET ALL OF THE 2010 ADA STANDARDS REQUIREMENTS. PROVIDE SPACES APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION. PROVIDE A MAXIMUM SLOPE IN EITHER DIRECTION OF 1:48 (1:44 RECOMMENDED).
 - ACCESSIBLE PARKING SIGNAGE ON POST. BOTTOM OF SIGNAGE TO BE MINIMUM 80" ABOVE GROUND. VERIFY ALL REQUIREMENTS WITH ACCESSIBILITY REQUIREMENTS AND LOCAL CODE.
 - CONCRETE WHEEL STOP. ALL ACCESSIBLE SPACES. LOCATE FIXED WHEEL STOP SO AS NOT TO REDUCE THE WIDTH OF THE ALLOWING ACCESSIBLE ROUTE.
 - ACCESSIBLE ROUTE TO PUBLIC RIGHT OF WAY (1 REQUIRED). MAXIMUM RUNNING SLOPE OF 1:20 AND MAXIMUM CROSS SLOPE OF 1:48 IS RECOMMENDED. ALL PAVED SURFACES, CURB RAMP AND TRANSITIONS ALONG PATH TO MEET ACCESSIBILITY REQUIREMENTS.
 - ACCESSIBLE PATHWAY TO BE 6' MINIMUM RUNNING SLOPE 1:20 MAXIMUM CROSS SLOPE 1:48 MAXIMUM SLOPE AWAY FROM BUILDING - BROOM FINISH CONCRETE.
 - CURB RAMP TO MEET ALL ACCESSIBILITY REQUIREMENTS. MAXIMUM SLOPE OF RAMP 1:12 IS RECOMMENDED. MINIMUM CROSS SLOPE 1:48 (1:44 RECOMMENDED). REFER TO SITE DETAILS SHEET FOR ADDITIONAL INFORMATION. PROVIDE 36" LONG MINIMUM LANDING AT TOP AND 66" MINIMUM LANDING AT BOTTOM OF RAMP WITH MAXIMUM SLOPE IN EITHER DIRECTION OF LANDING TO BE 1:48 (1:44 RECOMMENDED).
 - SURFACE CONDITIONS AT ACCESSIBLE WALKWAYS AND ACCESSIBLE AREAS (PAVED SYSTEMS AND/OR CONCRETE SURFACES) SHALL NOT ALLOW GAPS GREATER THAN 1/2" OR CRACKS CHANGES AT JOINTS OR BETWEEN JOINTS GREATER THAN 1/4" UNLESS THE JOINT LEVEL CHANGE DOES NOT EXCEED 1/2" AND THE LEVEL CHANGE IS ORIENTED AT 1:2.
 - IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAPPED PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALK CROSINGS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
 - ANY REQUIREMENTS LISTED ABOVE THAT CANNOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT LISTED TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTOR'S COST.



- LEGEND**
- EL. ELEVATION
 - TOP TYPICAL
 - CC CLEANOUT
 - IE INVERT ELEVATION
 - SE SUMP ELEVATION
 - EXISTING ELEVATION
 - PROPOSED PAVEMENT ELEVATION
 - TOP OF SIDEWALK CURB
 - EDGE OF PAVEMENT
 - PROPOSED FINISH
 - DITCH BOTTOM INLET
 - CURB INLET
 - FFE FINISH FLOOR ELEVATION
 - RCP REINFORCED CONCRETE PIPE
 - MED MATCH EXISTING GRADE
 - TOI TOP OF ISLAND
 - DS BUILDING DOWN SPOUT
 - 12" OR GREATER STORMWATER PIPE
 - LESS THAN 12" STORMWATER PIPE
 - PROPOSED SHALE STORMWATER FLOW
 - EXISTING CONTOUR
 - PROPOSED CONTOUR

- CONTROL BENCHMARKS**
- ELEVATIONS SHOWN HEREIN ARE BASED ON BENCHMARK DESIGNATION FLOPS 43 AZ M.B. BENCH 10.86 FEET (MAD) 1981, PUBLISHED BY NATIONAL GEODETIC SURVEY. THE CONVERSION TO VILLAGES DATUM IS 2.55 FEET PER FARMER BARLEY.
- NOTE: CONTRACTOR TO ESTABLISH CONTROL BENCHMARKS BEYOND LIMITS OF DEMOLITION PRIOR TO CONSTRUCTION.

- EROSION CONTROL MEASURE NOTE**
- REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AS NEEDED AND MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. FAILURE TO INSTALL OR PROPERLY MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS, AND WITHDRAWAL OF CIVIL PAVEMENT PROCEDURES.

- PAVING AND GRADING GENERAL NOTES**
- SEE CIVIL SPECIFICATIONS SHEET FOR EROSION AND SILTATION CONTROL, ALONG WITH GENERAL NOTES.
 - SEE SITE PLAN SHEET FOR SITE DATA.
 - SEE SURVEY FOR TEMPORARY BENCH MARK (TBM) LOCATIONS.
 - THE CONTRACTOR SHALL MEET ALL REQUIREMENTS FOR LOCAL MUNICIPALITY AND THE DEPARTMENT OF TRANSPORTATION WITH REGARD TO IMPROVEMENTS WITHIN THEIR RESPECTIVE RIGHTS-OF-WAY.
 - ALL DISTURBED AREAS WITHIN RIGHT-OF-WAY TO BE RETURNED TO MATCH EXISTING CONDITION.
 - ALL CLEARED TOP ELEVATION SHALL MATCH FINISH GRADE ELEVATIONS.
 - CONTRACTOR SHALL INSTALL EROSION CONTROL SILT FENCE AROUND THE PERIMETER OF THE SITE AND MUST MAINTAIN THE SILT FENCE IN GOOD REPAIR UNTIL ALL CONSTRUCTION IS COMPLETE AND THE AREA IS STABILIZED.
 - THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO ANY CONSTRUCTION IF ANY PROBLEMS OR DISCREPANCIES EXIST.

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SCALE:

PROJECT INFORMATION BLOCK

JOB # 28030
DATE 12/17/24
DRAWN BY BS
CHECKED BY BS

SHEET TITLE

GRADING PLAN

SHEET NUMBER
C03.01

5 OF 24

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FIFTH THIRD

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REG. JOB NO. 1543030

DATE

REVISIONS

NO. DATE DESCRIPTION

1 12/17/24 ISSUE FOR DATE REVIEW

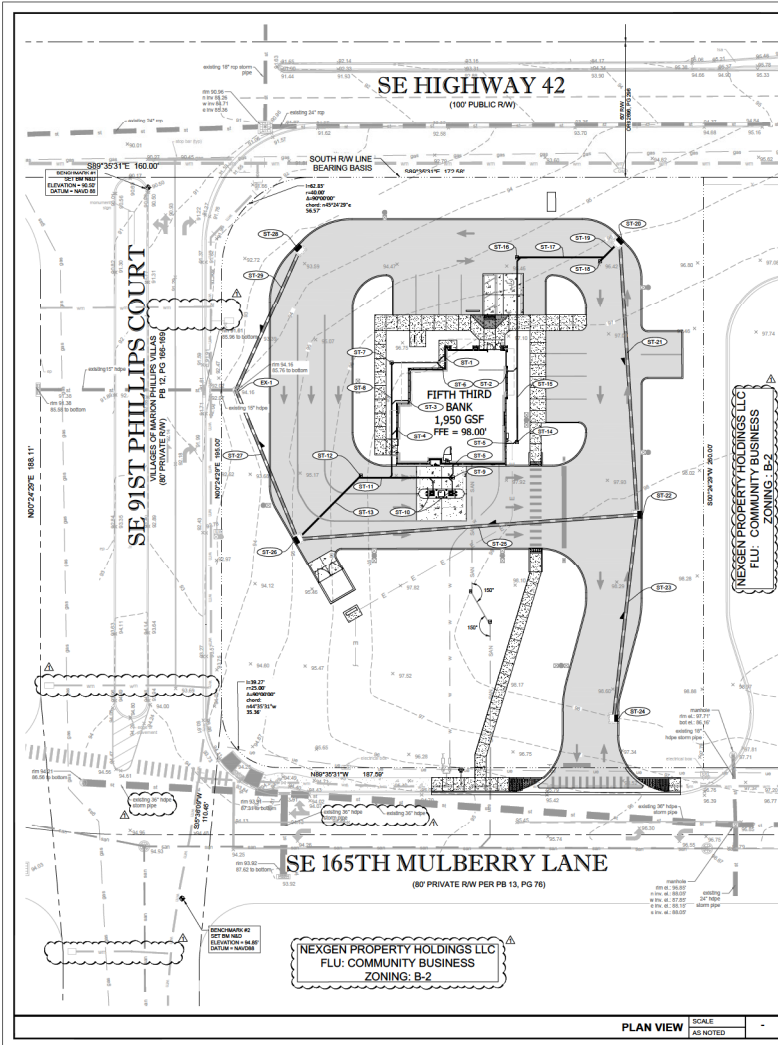
2 02/17/25 INITIAL TRADES REVIEW

3 02/17/25 SITE REVIEW

4 04/01/25 INITIAL TRADES REVIEW

5 04/14/25 PLAN REVIEW

6 06/07/25 MATCH SITE REVIEW 1



EXISTING STORM STRUCTURE/PIPING DATA

EX-1
 EXISTING STORM MANHOLE
 TOP AL
 IE (N) OUT (EXISTING) = 84.10
 IE (S) IN (PROPOSED) = 86.00 (10' HDPE)
 IE (E) IN (PROPOSED) = 86.00 (10' HDPE)

CORE DRILL SE SIDE OF EXISTING STRUCTURE BOTTOM FOR NEW STRUCTURE CONNECTION & SEAL WITH NON-SHRINK GROUT.

STORM STRUCTURE/PIPING DATA

ST-1
 BUILDING DOWNSPOUT AND CLEANOUT
 TOP TO BE SET AT GRADE
 4 LF 4" PVC @ 1.00% MIN SLOPE
 IE = 84.50

ST-2
 BUILDING DOWNSPOUT AND CLEANOUT
 TOP TO BE SET AT GRADE
 4 LF 4" PVC @ 1.00% MIN SLOPE
 IE = 84.50

ST-3
 BUILDING DOWNSPOUT AND CLEANOUT
 TOP TO BE SET AT GRADE
 8 LF 4" PVC @ 1.00% MIN SLOPE
 IE = 84.50

ST-4
 BUILDING DOWNSPOUT AND CLEANOUT
 TOP TO BE SET AT GRADE
 12 LF 4" PVC @ 1.00% MIN SLOPE
 IE = 84.50

ST-5
 BUILDING DOWNSPOUT AND CLEANOUT
 TOP TO BE SET AT GRADE
 24 LF 4" PVC @ 1.00% MIN SLOPE
 IE = 84.50

ST-6
 BUILDING DOWNSPOUT AND CLEANOUT
 TOP TO BE SET AT GRADE
 24 LF 4" PVC @ 1.00% MIN SLOPE
 IE = 84.50

ST-7
 CONSTRUCT CLEANOUT
 TOP TO BE SET AT GRADE
 IE = 84.27

ST-8
 CONSTRUCT CLEANOUT
 TOP TO BE SET AT GRADE
 IE = 84.15

ST-9
 CONSTRUCT CLEANOUT
 TOP TO BE SET AT GRADE
 IE = 84.15

ST-10
 BUILDING DOWNSPOUT AND CLEANOUT
 TOP TO BE SET AT GRADE
 (2) 7 LF 8" PVC @ 1.00% MIN SLOPE
 IE = 85.19

ST-11
 42 LF 8" PVC @ 1.00% MIN SLOPE
 CONSTRUCT CLEANOUT
 TOP TO BE SET AT GRADE
 IE = 83.55

ST-12
 38 LF 8" PVC @ 1.00% MIN SLOPE
 CONSTRUCT CLEANOUT
 TOP TO BE SET AT GRADE
 IE = 84.40

ST-13
 38 LF 8" PVC @ 1.00% MIN SLOPE
 CONSTRUCT CLEANOUT
 TOP TO BE SET AT GRADE
 IE = 84.40

ST-14
 CONSTRUCT CLEANOUT
 TOP TO BE SET AT GRADE
 IE = 84.40

ST-15
 82 LF 8" PVC @ 1.00% MIN SLOPE
 CONSTRUCT CLEANOUT
 TOP TO BE SET AT GRADE
 IE = 84.50

ST-16
 CONSTRUCT CLEANOUT
 TOP TO BE SET AT GRADE
 IE = 83.80

ST-17
 38 LF 8" PVC @ 1.00% MIN SLOPE
 CONSTRUCT CLEANOUT
 TOP TO BE SET AT GRADE
 IE = 84.50

ST-18
 CONSTRUCT CLEANOUT
 TOP TO BE SET AT GRADE
 IE = 84.50

ST-19
 12 LF 8" PVC @ 1.00% MIN SLOPE
 TYPE "N" CURB INLET TOP WITH STRUCTURE BOTTOMS PER THE VILLAGES STANDARD DETAIL SD-4.8.
 GRATE = 86.00
 IE (N) IN = 82.25 (FOR 8" PVC)
 IE (S) IN = 82.25

ST-20
 TYPE "N" CURB INLET TOP WITH STRUCTURE BOTTOMS PER THE VILLAGES STANDARD DETAIL SD-4.8.
 GRATE = 86.00
 IE (N) IN = 81.00
 IE (S) IN = 81.00

ST-21
 120 LF 10" HDPE @ 0.50% SLOPE
 IE = 83.20

ST-22
 TYPE "N" CURB INLET TOP WITH STRUCTURE BOTTOMS PER THE VILLAGES STANDARD DETAIL SD-4.8.
 GRATE = 86.00
 IE (N) IN = 81.00
 IE (S) IN = 81.00

ST-23
 82 LF 8" HDPE @ 0.50% SLOPE
 IE = 84.27

ST-24
 TYPE "N" CURB INLET TOP WITH STRUCTURE BOTTOMS PER THE VILLAGES STANDARD DETAIL SD-4.8.
 GRATE = 86.00
 IE (N) IN = 81.00
 IE (S) IN = 81.00

ST-25
 140 LF 10" HDPE @ 0.7% SLOPE
 IE = 82.00

ST-26
 TYPE "N" CURB INLET TOP WITH STRUCTURE BOTTOMS PER THE VILLAGES STANDARD DETAIL SD-4.8.
 GRATE = 86.00
 IE (N) IN = 82.00 (FOR 8" PVC)
 IE (S) IN = 82.00

ST-27
 70 LF 10" HDPE @ 0.7% MIN SLOPE
 IE = 83.55

ST-28
 TYPE "N" CURB INLET TOP WITH STRUCTURE BOTTOMS PER THE VILLAGES STANDARD DETAIL SD-4.8.
 GRATE = 86.00
 IE (N) IN = 81.00
 IE (S) IN = 81.00

ST-29
 80 LF 8" HDPE @ 0.7% SLOPE
 IE = 84.40

LEGEND

EL ELEVATION
 TYP TYPICAL
 CO CLEANOUT
 IE INVERT ELEVATION
 SE SWAMP ELEVATION
 EX EXISTING ELEVATION
 DTCH BOTTOM INLET
 CI CURB INLET
 FFE FINISH FLOOR ELEVATION
 RCP REINFORCED CONCRETE PIPE
 ST-# STORM SEWER STRUCTURE NUMBER
 DS BUILDING DOWN SPOUT
 12" OR GREATER STORMWATER PIPE
 LESS THAN 12" STORMWATER PIPE
 DIRECTION OF PIPE FLOW
 EX EXISTING CONTOUR
 PR PROPOSED CONTOUR

CONTROL BENCHMARKS & DATUM NOTE

ELEVATIONS SHOWN HEREON ARE BASED ON BENCHMARK DESIGNATION FLOPS 43 AZ M.B. BEING 87.89 FEET (HAND 188), PUBLISHED BY NATIONAL GEODETIC SURVEY. THE CONVERSION TO VILLAGES DATUM IS 2.55 FEET PER FARMER BARLEY.

NOTE:
 CONTRACTOR TO ESTABLISH CONTROL BENCHMARKS BEYOND LIMITS OF DEMOLITION PRIOR TO CONSTRUCTION.

EROSION CONTROL MEASURE NOTE

REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AS NEEDED AND MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. FAILURE TO INSTALL OR PROPERLY MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS AND INITIATION OF CIVIL PENALTY PROCEDURES.

PAVING AND GRADING GENERAL NOTES

- SEE GENERAL NOTES SHEET FOR EROSION AND SILTATION CONTROL ALONG WITH GENERAL NOTES.
- SEE SITE PLAN SHEET FOR SITE DATA.
- SEE SURVEY FOR TEMPORARY BENCH (TBM) LOCATIONS.
- THE CONTRACTOR SHALL MEET ALL REQUIREMENTS FOR LOCAL MUNICIPALITY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION WITH REGARD TO IMPROVEMENTS WITHIN THEIR RESPECTIVE RIGHTS-OF-WAY.
- ALL DISTURBED AREAS WITHIN RIGHTS-OF-WAY TO BE RETURNED TO MATCH EXISTING CONDITION.
- ALL CLEANOUT TOP ELEVATION SHALL MATCH FINISH GRADE ELEVATIONS.
- CONTRACTOR SHALL INSTALL EROSION CONTROL SET 1 FENCE AROUND THE PERIMETER OF THE SITE AND MUST MAINTAIN THE SET FENCE IN GOOD REPAIR UNTIL ALL CONSTRUCTION IS COMPLETE AND THE AREA IS STABILIZED.
- THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO ANY CONSTRUCTION IF ANY PROBLEMS OR DISCREPANCIES EXIST.

STORMWATER PIPING NOTES:

ALL ONSITE WATER, SEWER, AND STORMWATER IS TO BE PRIVATELY OWNED AND MAINTAINED.

DATE: _____

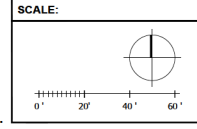
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02/17/25	SS	ISSUE FOR DATE REVIEW
04/01/25	SS	ISSUE FOR DATE REVIEW
05/14/25	SS	ISSUE FOR DATE REVIEW
06/07/25	SS	ISSUE FOR DATE REVIEW

PROJECT INFORMATION BLOCK
 JOB # 28030
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SHEET TITLE
 STORM PIPING PLAN

SHEET NUMBER
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 1208 East Broadway Boulevard
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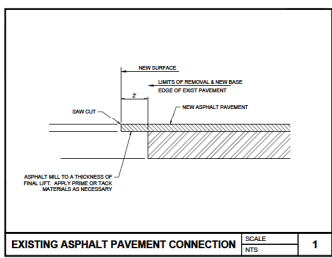
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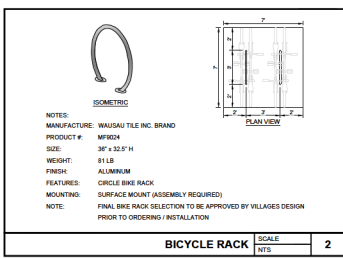
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SHEET NUMBER
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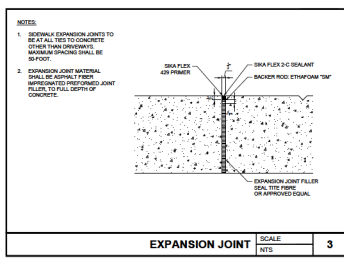
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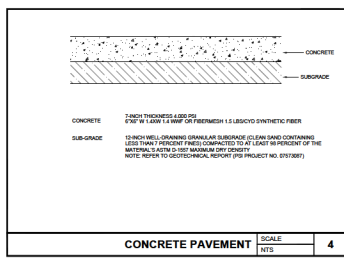
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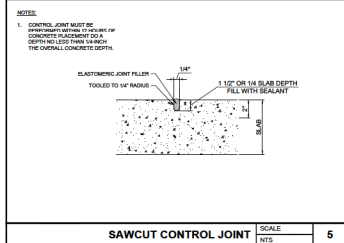
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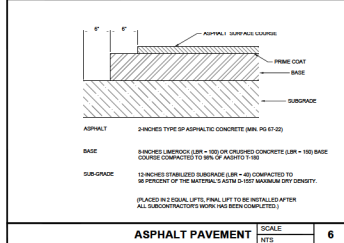
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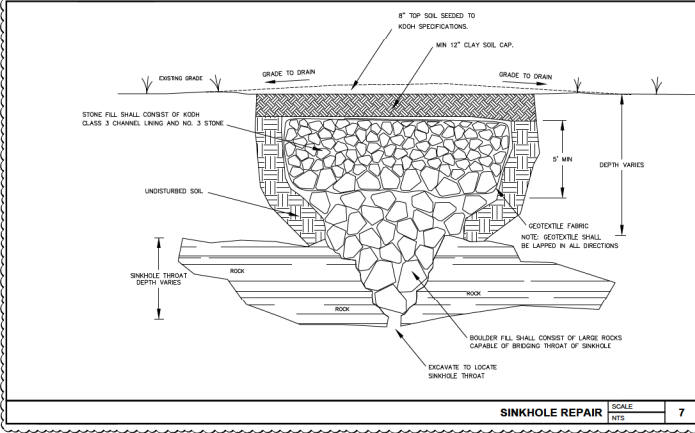
CONCRETE PAVEMENT SCALE: 4



SAWCUT CONTROL JOINT SCALE: 5



ASPHALT PAVEMENT SCALE: 6



SINKHOLE REPAIR SCALE: 7

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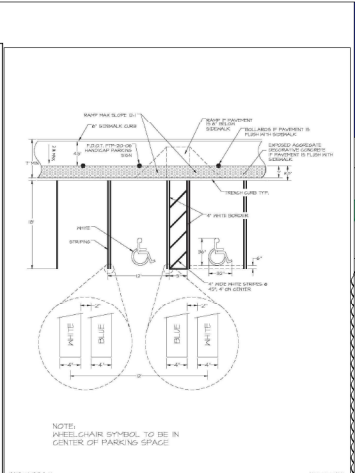
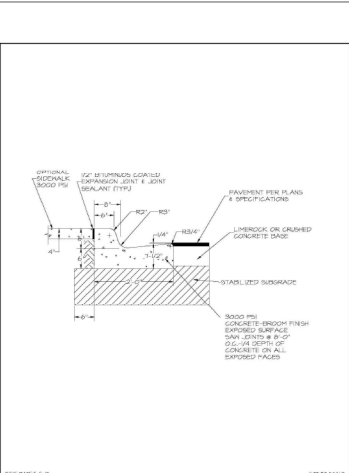
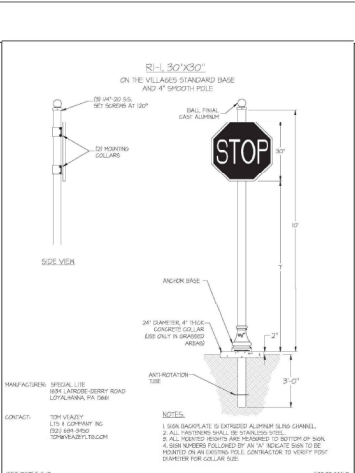
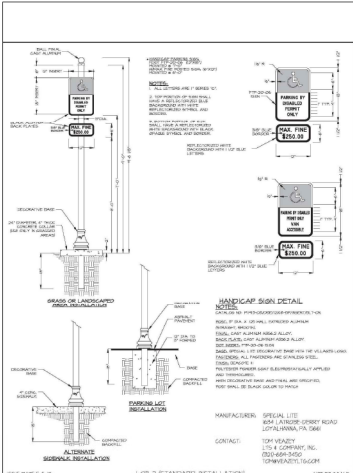
MAJOR SITE PLAN REVIEW
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INFINITY ENGINEERING GROUP, LLC
1280 East Broadway Boulevard
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Fax: 813-988-1001
P.O. Box #1484423
Tampa, Florida 33610
REG. JOB NO. 114243-00
MAIL: NISHI SAPPAPANAKO, P.E.
FL REG. NO. 94865

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11/27/24	ISSUE FOR DATE REVIEW	
12/17/24	ISSUE FOR DATE REVIEW	
04/01/25	ISSUE FOR DATE REVIEW	
06/07/24	MAJOR SITE REVIEW	

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DATE 11/17/24
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CHECKED BY: BGS
SHEET TITLE

DETAILS
SHEET NUMBER
C05.01
8 OF 24

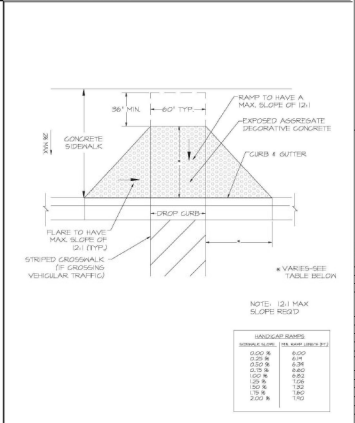
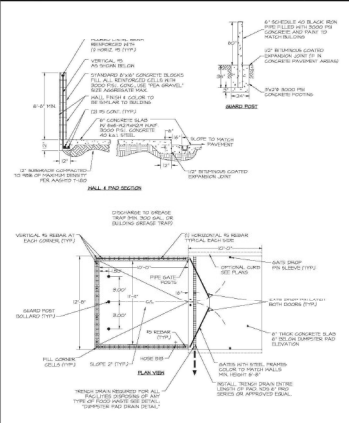
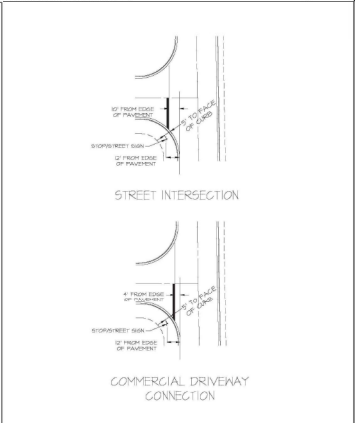
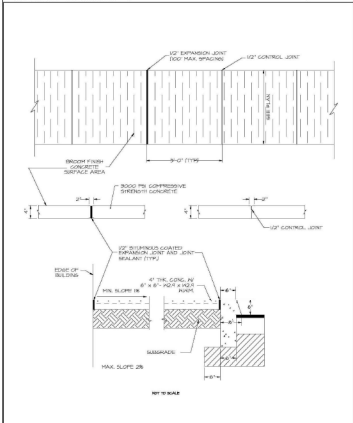


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The Villages	REVISOR	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

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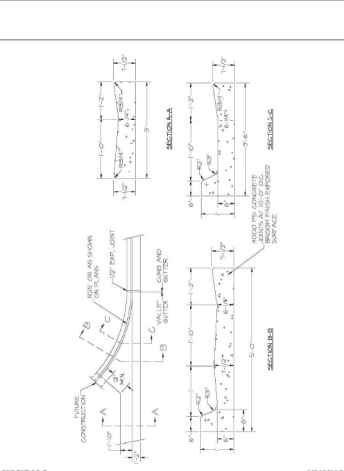
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PROJECT INFORMATION BLOCK

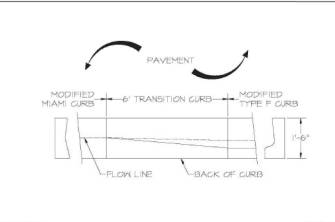
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THE VILLAGES STANDARD DETAILS

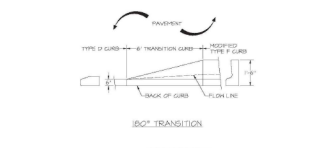
SHEET NUMBER
C05.02
 9 OF 24



ISSUE DATE 9-8-11 NOT TO SCALE
The Villages
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 R-212



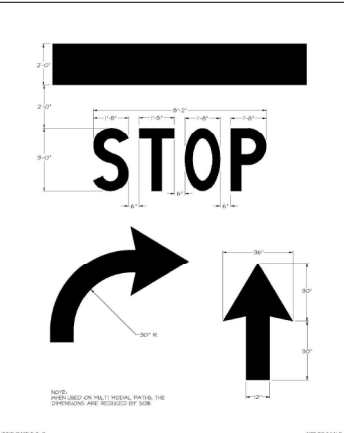
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 TRANSITION CURB MODIFIED MIAMI TO MODIFIED TYPE F DETAIL
 R-213



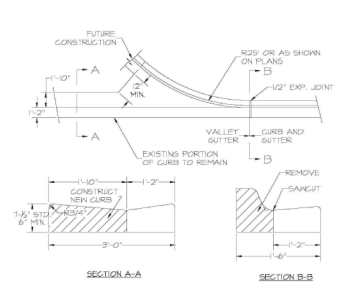
ISSUE DATE 9-8-11 NOT TO SCALE
The Villages
 90° TRANSITION
 R-214

- STORM DRAIN PIPE IS REQUIRED TO COMPLY WITH THE FOLLOWING STANDARDS
- ROAD GROSS DRAIN PIPE
 - A. ACCEPTABLE TYPES-REINFORCED CONCRETE, PVC, OR HDPE.
 - B. MINIMUM SIZE-EIGHTEEN (8) INCHES DIAMETER OR EQUAL.
 - C. INTERNAL 1/2" RIBS, MANHOLE OR INTERIOR END SECTION WITH CONCRETE COLLAR REQUIRED AT EACH END.
 - ROAD SIDE-DRAIN PIPE
 - A. ACCEPTABLE TYPES-REINFORCED CONCRETE, PVC, OR HDPE.
 - B. MINIMUM SIZE-EIGHTEEN (8) INCHES DIAMETER OR EQUAL.
 - STORM SEWER PIPE
 - A. ACCEPTABLE TYPES-REINFORCED CONCRETE, PVC, OR HDPE.
 - B. MINIMUM SIZE-EIGHTEEN (8) INCHES DIAMETER OR EQUAL.
 - C. INLET OR MANHOLE REQUIRED AT EACH CHANGE OF ALIGNMENT OR GRADE.

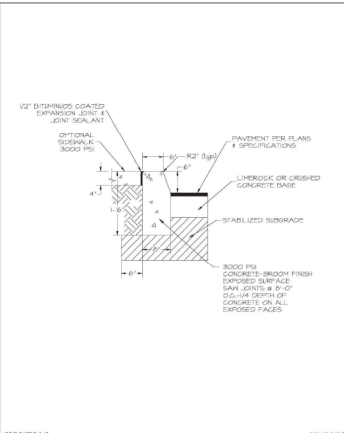
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The Villages
 STORM DRAIN PIPE MATERIALS DETAIL
 SD-21



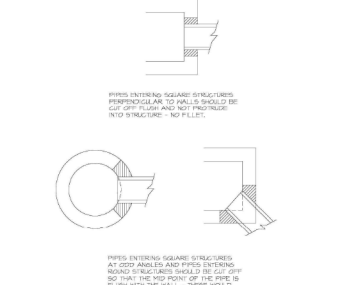
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The Villages
 PAVEMENT MARKING DETAIL
 R-151



ISSUE DATE 9-8-11 NOT TO SCALE
The Villages
 DRIVEWAY CONSTRUCTION DETAIL
 R-101



ISSUE DATE 9-8-11 NOT TO SCALE
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 TYPE 'D' CURB DETAIL
 R-214



ISSUE DATE 9-8-11 NOT TO SCALE
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 STRUCTURE PIPE GROUTING DETAIL
 SD-23

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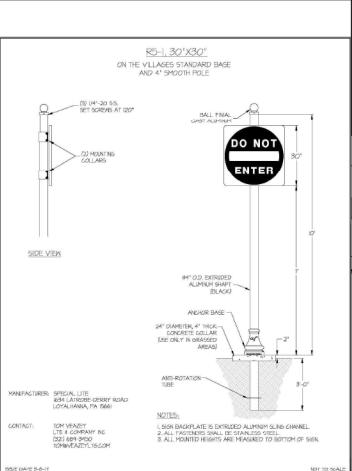
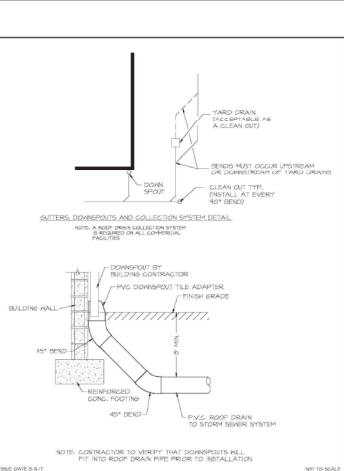
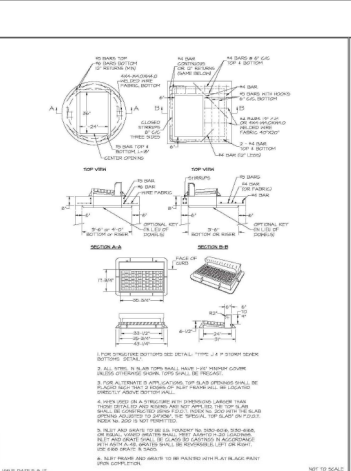
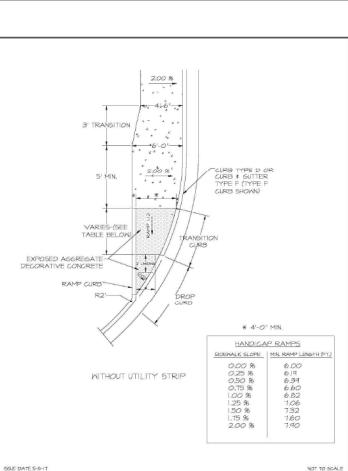
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 SEAL NISH SAPPAPRAPHO, P.E. FL REG. NO. 94887

DATE	DESCRIPTION
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02/17/25	FINAL PLAN REVIEW
02/17/25	ISSUE REVIEW
04/01/25	FINAL MARK FOR THE PLAN REVIEW
04/07/25	MARK FOR REVIEW

PROJECT INFORMATION BLOCK
 JOB # 28030
 DATE 12/17/24
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SHEET NUMBER
THE VILLAGES STANDARD DETAILS
 C05.03
 10 OF 24



REVISION	DATE	BY	NO.

REVISION	DATE	BY	NO.

REVISION	DATE	BY	NO.

REVISION	DATE	BY	NO.

The Villages

HC-1.5

CURB CUT RAMP
DETAIL

The Villages

SD-4.8

TYPE 1ST CURB
INLET TOP DETAIL

The Villages

SD-4.1

ROOF DRAIN DOWNSPOUT
CONNECTION DETAIL

The Villages

SN-B.2

DO NOT ENTER
(30") SIGN DETAIL

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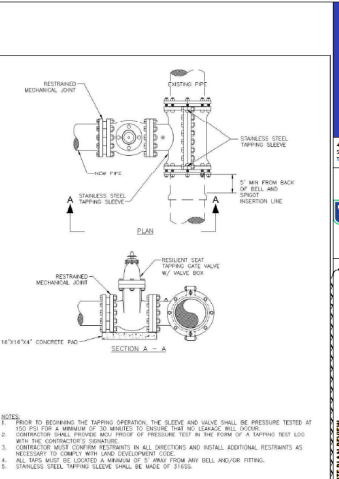
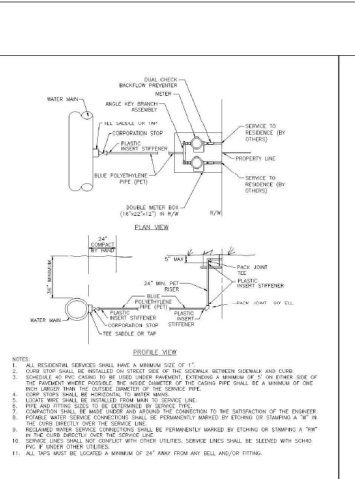
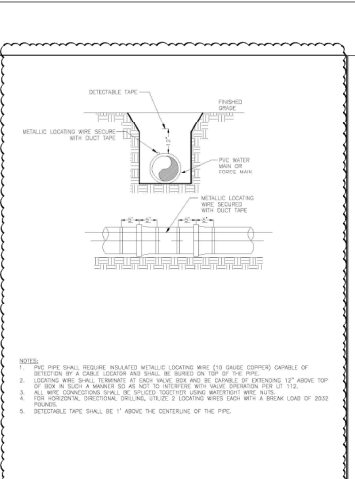
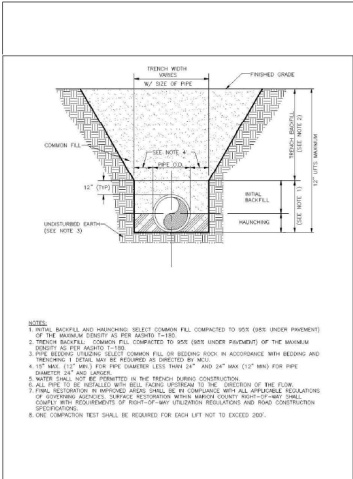
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02/17/24 ISSUE FOR DATE REVIEW
04/09/24 INITIAL MARK FOR
PLAN REVIEW
08/05/24 MAJOR SITE REVIEW

PROJECT INFORMATION BLOCK
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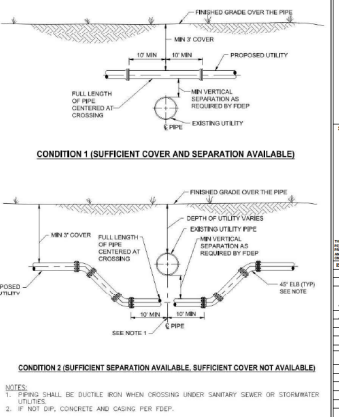
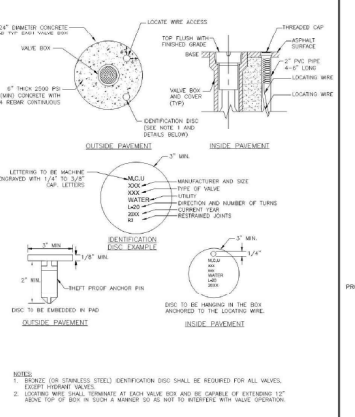
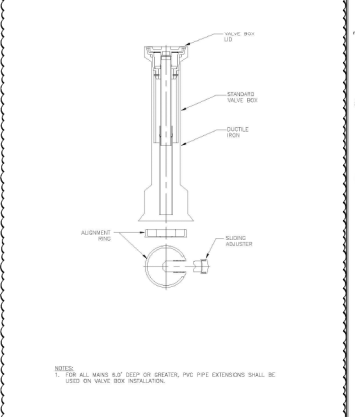
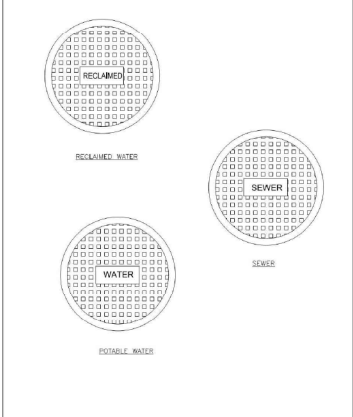


7.3.2 BEDDING AND TRENCHING 2
UT 103

7.3.2 PIPE LOCATING WIRE AND DETECTABLE TAPE
UT 104

7.3.2 WATER AND RECLAIMED WATER SERVICES (TYPICAL)
UT 107

7.3.2 TAPPING SLEEVE AND GATE VALVE ASSEMBLY
UT 108



7.3.2 TYPICAL VALVE BOX COVER
UT 110

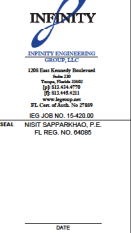
7.3.2 SEALED VALVE BOX, ADJUSTABLE
UT 111

7.3.2 VALVE BOX PAD
UT 112

7.3.2 UTILITY CONFLICT
UT 113



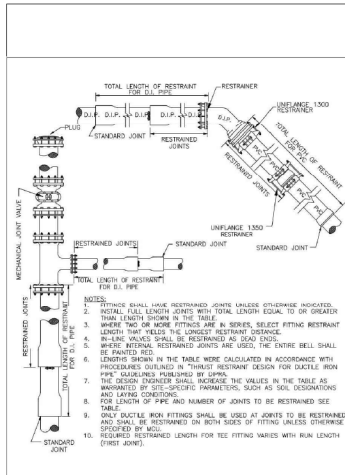
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DATE	
NO. 101	DATE FOR DFC REVIEW
NO. 102	DATE FOR DFC REVIEW
NO. 103	DATE FOR DFC REVIEW
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7.3.2 MARION COUNTY STANDARD DETAILS
UT 113

SHEET NUMBER
C05.05
12 OF 24



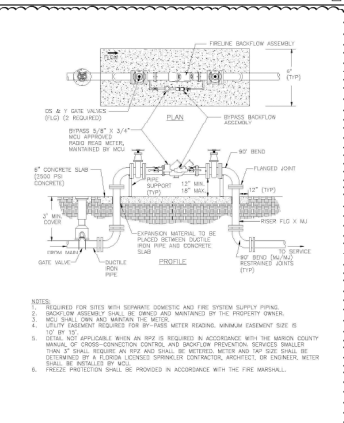
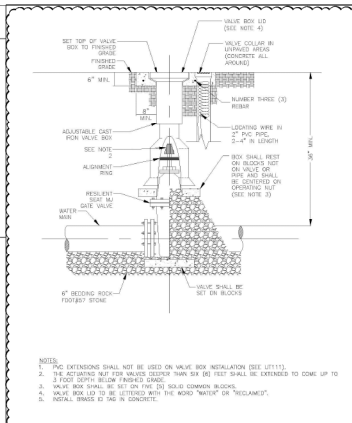
MINIMUM RESTRAINED LENGTH (FT)
 HORIZONTAL
 VERTICAL-UP
 VERTICAL-DOWN

WATER MAIN: PRESSURE: 100 PSI; DEPTH OF COVER: 3.0 FT.

Joint Type	2"	3"	4"	6"	8"	10"	12"	15"	18"	24"
Horizontal	2.0	2.5	3.0	4.0	5.0	6.0	7.0	8.0	10.0	12.0
Vertical-Up	2.0	2.5	3.0	4.0	5.0	6.0	7.0	8.0	10.0	12.0
Vertical-Down	2.0	2.5	3.0	4.0	5.0	6.0	7.0	8.0	10.0	12.0

FORCING MAIN:
 PRESSURE: 100 PSI
 DEPTH OF COVER: 4.0 FT.

Joint Type	2"	3"	4"	6"	8"	10"	12"	15"	18"	24"
Horizontal	2.0	2.5	3.0	4.0	5.0	6.0	7.0	8.0	10.0	12.0
Vertical-Up	2.0	2.5	3.0	4.0	5.0	6.0	7.0	8.0	10.0	12.0
Vertical-Down	2.0	2.5	3.0	4.0	5.0	6.0	7.0	8.0	10.0	12.0

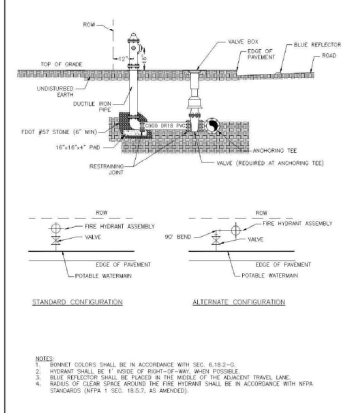
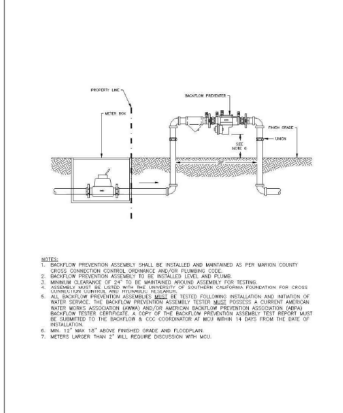
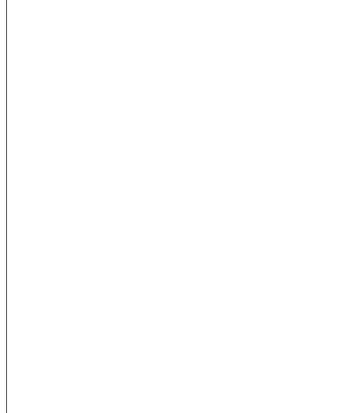


7.3.2
 UT 116A
 RESTRAINED PIPE TABLE

7.3.2
 UT 116B
 RESTRAINED PIPE TABLE

7.3.2
 UT 204
 GATE VALVE WATER AND RECLAIMED MAINS

7.3.2
 UT 208
 FIRE LINE DOUBLE DETECTOR CHECK VALVE ASSEMBLY



7.3.2
 UT 209
 2\"/>

7.3.2
 UT 210
 FIRE HYDRANT ASSEMBLY

7.3.2
 UT 312
 SEWER SERVICE LATERAL

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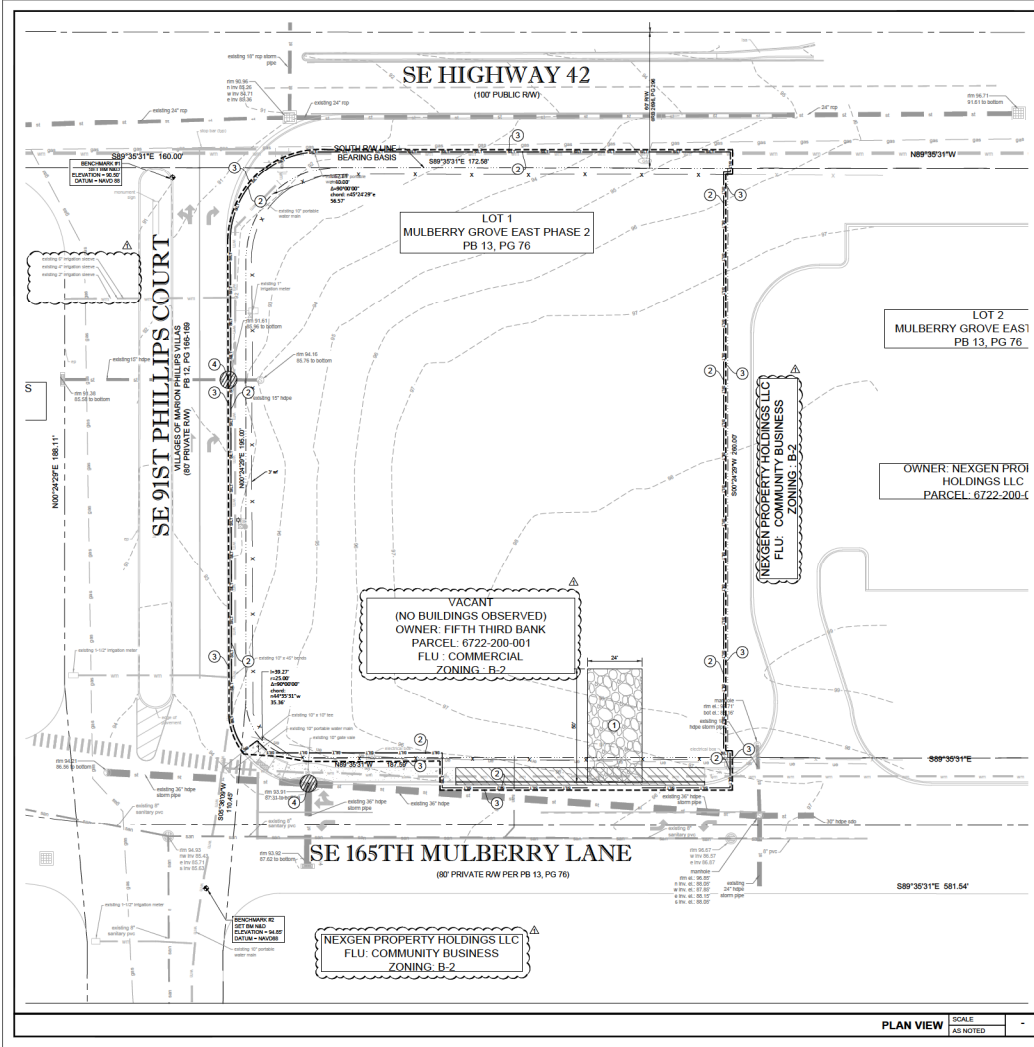
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DATE: 02/17/24
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 04/19/23 INITIAL PROJECT REVIEW
 02/17/24 INITIAL PROJECT REVIEW
 02/17/24 INITIAL PROJECT REVIEW
 02/17/24 INITIAL PROJECT REVIEW
 02/17/24 INITIAL PROJECT REVIEW

PROJECT INFORMATION BLOCK
 JOB # 23030
 DATE 12/17/23
 DRAWN BY: BS
 CHECKED BY: BS

MARION COUNTY STANDARD DETAILS

SHEET NUMBER
C05.06
 13 OF 24



LEGEND

	PROPERTY LINE
	EXISTING CONCRETE TO REMAIN
	EXISTING TO REMAIN
	SILT FENCE
	LIMITS OF CONSTRUCTION
	INLET PROTECTION
	EXISTING CONTOUR
	EXISTING GROUND ELEVATION

GENERAL NOTES

- ALL MATERIALS INCLUDING FILL STOCKPILES SHALL NOT BE PERMANENTLY LOCATED ON THE UNDEVELOPED AREA OF PROPOSED DEVELOPMENT.
- ALL DISTURBED AREAS OF UNDEVELOPED PROPERTY SHALL BE HYDROMULCHED WITH SEED TO ESTABLISH TURF AND PREVENT SILT RUNOFF INTO THE STREETS.

EROSION CONTROL KEYED NOTES

①	CRUSHED STONE CONSTRUCTION ENTRANCE AND CONCRETE TRUCK WASHOUT AREA
②	SILT FENCE
③	LIMITS OF CONSTRUCTION
④	INLET PROTECTION

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MULBERRY
9171 SE 145TH MULBERRY LN.
THE VILLAGES / MARION COUNTY,
FLORIDA 32162

INFINITY

INFINITY ENGINEERING GROUP, LLC

1000 East Broadway Boulevard
Tampa, FL 33602
P: 813-283-7833
www.infinityeng.com

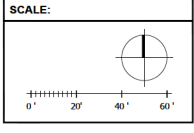
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NORTH SAPPHIRE ROAD, P.E.
FL REG. NO. 94967

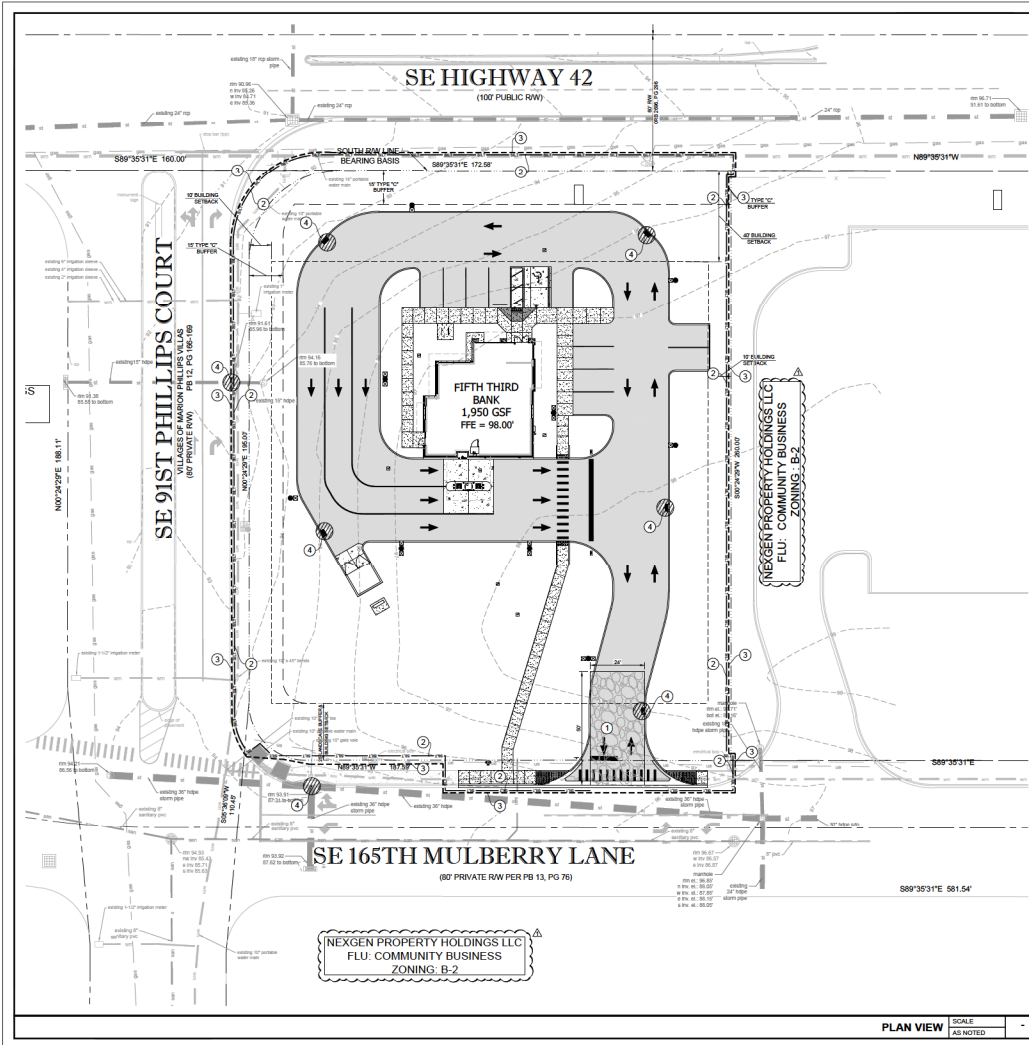
PROJECT INFORMATION BLOCK

DATE:	
PROJECT:	
JOB #:	200230
DATE:	12/17/24
DRAWN BY:	BS
CHECKED BY:	BS
SHEET TITLE:	EROSION CONTROL PLAN PHASE I
SHEET NUMBER:	C06.02
	15 OF 24

811

Know what's below.
Call before you dig.





LEGEND

	PROPERTY LINE
	EXISTING CONCRETE TO REMAIN
	EXISTING TO REMAIN
	SILT FENCE
	LIMITS OF CONSTRUCTION
	INLET PROTECTION
	EXISTING CONTOUR
	EXISTING OFFICE ELEVATION

- GENERAL NOTES**
- ALL MATERIALS INCLUDING FILL STOCKPILES SHALL NOT BE PERMANENTLY LOCATED ON THE UNDEVELOPED AREA OF PROPOSED DEVELOPMENT.
 - ALL DISTURBED AREAS OF UNDEVELOPED PROPERTY SHALL BE HYDROMULCHED WITH SEED TO ESTABLISH TURF AND PREVENT SILT RUNOFF INTO THE STREETS.

EROSION CONTROL KEYED NOTES

①	CRUSHED STONE CONSTRUCTION ENTRANCE AND CONCRETE TRUCK WASHOUT AREA
②	SILT FENCE
③	LIMITS OF CONSTRUCTION
④	INLET PROTECTION

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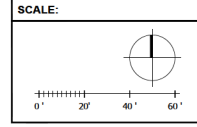
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Tampa, FL 33602
P: 813-444-4232
www.infinityeng.com
P.E. CHESTER W. JAMES, P.E.
REG. NO. 14433-00

PROJECT INFORMATION BLOCK

DATE	
DESIGNER	INFINITY ENGINEERING GROUP, LLC
DATE FOR DESIGN REVIEW	12/17/24
DATE FOR PERMITS REVIEW	02/17/25
DATE FOR CONSTRUCTION REVIEW	04/01/25
DATE FOR MAJOR SITE PLAN REVIEW	06/02/24
DATE FOR MAJOR SITE REVIEW 2	



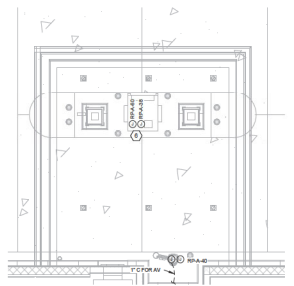
PROJECT INFORMATION BLOCK

JOB # 282339
DATE 12/17/24
DRAWN BY BS
CHECKED BY BS

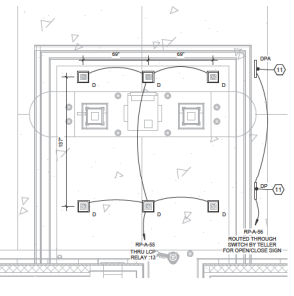
SHEET TITLE
EROSION CONTROL
PLAN PHASE II

SHEET NUMBER
C06.03

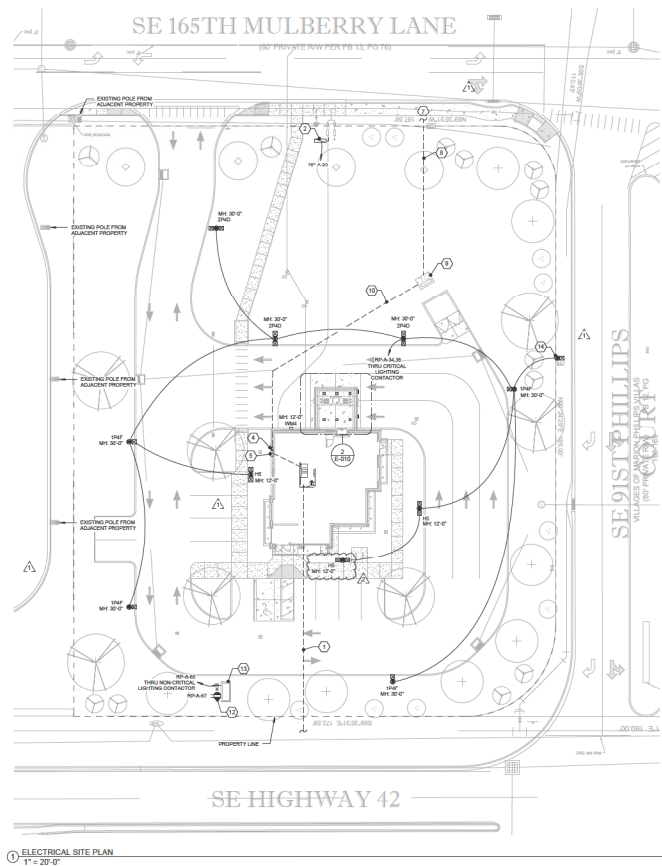
16 OF 24



2 ELECTRICAL POWER & AUXILIARY RDT PLAN
1/4" = 1'-0"



3 ELECTRICAL LIGHTING PLAN - RDT PLAN
1/4" = 1'-0"



1 ELECTRICAL SITE PLAN
1" = 20'-0"

SHEET NOTES:

- COORDINATE ALL SITE CONDUIT ROUTINGS WITH GENERAL CONTRACTOR.
- REFER TO ALL PLANS FOR FINAL LOCATION AND ELECTRICAL REQUIREMENTS OF ALL GROUND, UTILITY CONNECTION POINTS, AND SITE UTILITIES INCLUDING SUGAR CANE STATIONS, IRRIGATION PUMPS, CONTROLLERS, HOT BOXES, ETC.
- ALL UNDERGROUND WIRING SHALL BE LOCATED WITHIN 12" OF BACK OF CURB FULL DEPTH.
- BACKFILL, TAMP, AND RESURFACE ALL EXISTING PAVEMENT/ASPHALT AND RESTORE ALL EXISTING LANDSCAPING DISTURBED AS A RESULT OF TRENCHING AND/OR DIRECTIONAL BORING TO ITS ORIGINAL CONDITION PER TO BEING AND ALL RELATED COSTS SHALL BE INCLUDED IN BID.
- ACTUAL METALLIZATION OF ALL UTILITY SERVICES SHALL BE ACCORDING TO FINAL UTILITY COMPANY PLANS.
- PROVIDE PULLBORES IN ALL EMERY CONCRETE.
- USE JOINT TRENCHING WHEREVER POSSIBLE.

ELECTRICAL UTILITY CONTACT:
SUNBELT ELECTRIC COOPERATIVE
JOSEPH PORTERA, JOSEPH.PORTERA@SUNBELT.COOP
TELEPHONE UTILITY CONTACT:
TBA

KEYED NOTES:

- ROUTE 24" TO 4" TO MAIN TELEPHONE SERVICE ENTRANCE. ROUTE TO CLEAR STRUCTURAL FOOTINGS. CONDUITS SHALL BE FLUSHED UP AND CAPPED 12" A.F. IN BUILDING. AS-BUILT DRAWINGS MUST SHOW CONDUIT LENGTH AND ROUTE.
- IRRIGATION BACKFLOW VERIFY LOCATION - DISCONNECT SHALL BE NEMA 3R. NOT USED.
- ELECTRIC UTILITY METER. PROVIDE ELECTRIC UTILITY METER PER POWER COMPANY REQUIREMENTS. REFER TO ELECTRICAL RISER DIAGRAM FOR ADDITIONAL INFORMATION. EXACT LOCATION TO BE DETERMINED BY UTILITY COMPANY REPRESENTATIVE IN FIELD.
- MANUAL TRANSFER SWITCH (M/T). PROPOSED ELECTRICAL SERVICE DISCONNECT BEAR UP ON BUILDING EXTERIOR. REFER TO ELECTRICAL RISER DIAGRAM FOR ADDITIONAL INFORMATION. PART THE ENCLOSURE TO MATCH TO EXISTING BUILDING. COORDINATE COLOR WITH THE PROJECT MANAGER OR THE ARCHITECT.
- DRIVE PILE IN. PROVIDE CONDUIT AND WIRING FOR ATM. REFER TO DETAIL ON SHEET E-003 FOR ADDITIONAL INFORMATION.
- VERIFY AND TERMINATE PER UTILITY COMPANY REQUIREMENTS. VERIFY LOCATION OF HIGH VOLTAGE SERVICE POINT PRIOR TO BIDDING AND INCLUDE ALL COSTS IN BID.
- DIV-1C FOR HIGH VOLTAGE SERVICE FROM PROPERTY LINE TO TRANSFORMER. BASES VERIFY LOCATION AND PROVIDE HIGH VOLTAGE CONDUIT SHALL BE 4" DEEP. TERMINATE IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS INCLUDING TRENCHING AND BACKFILL TO 50% COMPACTION.
- TRANSFORMER SLAB BOX WITH TRAFFIC GUARDS PER UTILITY COMPANY REQUIREMENTS. VERIFY SIZE, LOCATION AND ORIENTATION WITH UTILITY COMPANY. CONTRACTOR WILL PROVIDE TRANSFORMER SLABS INSTALLED COMPLETE IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS. PROVIDE ADEQUATE GUARD RAILING AROUND POWER TRANSFORMERS IN PARKING AREAS.
- SECONDARY FROM TRANSFORMER TO MAIN DISCONNECT. VERIFY ROUTING WITH UTILITY COMPANY AND ROUTE TO CLEAR STRUCTURAL FOOTINGS. SEE RISER DIAGRAM. TERMINATE IN ACCORDANCE WITH PLANS AND SPECIFICATIONS.
- DRIVE THROUGH LANE OR ENCLOSURE GATE SWITCHES. PROVIDE CONSTANT BEARS WITH 12" SQUARE AND FINISH WITH 1/2" THICK CONCRETE. SHALL BE 24" DEEP. USE COORDINATE PLACEMENT WITH ARCHITECT TO ROUND IN.
- MAINTENANCE RECEPTABLE. PROVIDE 1/2" DIA. 30" WEATHER-RESISTANT DUPLEX RECEPTABLE IN AREA WEATHERPROOF SURFACE MOUNTED BELL BOX WITH EXTRA 1/2" WALL IN 1/2" METAL COVER.
- MONUMENT SIGN POWER. COORDINATE EXACT LOCATION OF SIGNAGE STAKE-UP WITH SIGN VENDOR AND MAKE FINAL ELECTRICAL CONNECTIONS. PROVIDE 1/2" DIA. TOGGLE SWITCH IN METALLIC BELL BOX WITH METALLIC WEATHERPROOF COVER IF DISCONNECT IS NOT PROVIDED WITH MONUMENT SIGN. COORDINATE EXACT LOCATION WITH CIVIL DRAWINGS.
- EXISTING PHILLIPS COURT LIGHT. THE LIGHT IS CURRENTLY LEASED THROUGH SECO, AND RESPONSIBILITY FOR THE POLE WILL TRANSFER TO THE BANK. COORDINATE WITH THE VILLAGES COMMERCIAL PROPERTY MANAGEMENT TO COMPLETE THE LEASE TRANSFER. IT IS ASSUMED THE POLE CAN ACCOMMODATE 120V. NOTIFY THE ENGINEER IF RECORDS IF ANY DISCREPANCIES ARE IDENTIFIED.

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SEAL ANDREW MOHR FL PER 73077

Multi Engineering Group
1208 East Kennedy Boulevard, Suite 200 Tampa, Florida 33602 Phone: 813-843-6475 FL Cert. of Auth. #AHM 2789

ISSUE BY	DATE	DESCRIPTION
1	01/17/2018	ISSUE FOR BIDDING
2	01/16/2018	PERMIT SET
3	01/15/2018	COMMENTS #1
4	01/13/2018	ISSUE COMMAND #2

PROJECT INFORMATION BLOCK
JOB # 20180715-420-00
DATE: 08/19/2018
DRAWN BY: AL
CHECKED BY: AM

SHEET TITLE
ELECTRICAL SITE PLAN AND REMOTE DRIVE THRU

SHEET NUMBER
E-010

EVOLVE

EALS Series
LED Outdoor Area Light

The EALS Area Light Luminaire offers a wide range of optical patterns, color temperatures, lens packages and mounting configurations to enhance your site illumination. As well as a choice of mounting styles, there are also three fixture sizes. They are ideal for commercial property site lighting applications such as retail and commercial entrances.

Construction

Housing: Aluminum die cast enclosure, through hole for convenient heat transfer
 Lens: Impact resistant tempered glass
 Feet: Corrosion resistant stainless steel post, maximum 2.0m maximum height
 Mount: Mounts to steel framing using 3/8" Dia. & 1/2" Dia. (with optional stainless steel) mounting hardware
 Weight: 27 lbs

Optical System

Luminaire: 3000, 4000K
 Photometry: Type I, II, III, IV, V
 Beam Spread: 10°, 15°, 20°, 30°, 40°, 50°, 60°, 70°, 80°, 90°, 100°, 110°, 120°, 130°, 140°, 150°, 160°, 170°, 180°
 CCT: 3000K, 4000K, 5000K
 CRI: 90

Upward Light Output Ratio (ULOR)

ULOR: 0.05 (Standard), 0.10 (Optional)

Electrical

Input Voltage: 120V/277-480V/3-Phase/4W
 Input Frequency: 50/60Hz
 Power Factor (PF): >0.95 at rated loads
 Total Harmonic Distortion (THD): <20% at rated loads

Surge Protection

Surge Protection: 10KA/1000V/1000A

Current

EVOLVE

EALS Series
LED Outdoor Area Light

Ordering Information

EALS 03 0 D4&F4 AF 7 30 N D D1 BLOK

Accessories	Options	Finish	Optical Data	Mounting	ULOR	Color	Control	Photometry	Weight	ULOR	Options
030000	03	03	D4&F4	AF	7	30	N	D	D1	BLOK	

Current

EVOLVE

EALS Series
LED Outdoor Area Light

Ordering Information

EALS 03 0 D4&F4 AF 7 30 N D D1 BLOK

Current

KAB LIGHT BRACKET
STREET LIGHT BRACKET

King Luminaire

The King Luminaire KAB Light Bracket is a simple bracket mount for streetlights available in two lengths and single double, triple, or quadruple arm configurations. The KAB is an ideal solution for a simple mounting configuration.

ARM SPECIFICATIONS

ARM LENGTHS: 10', 15', 20', 25', 30', 35', 40', 45', 50', 55', 60', 65', 70', 75', 80', 85', 90', 95', 100'

HOW TO ORDER

ARM STYLE: KAB
 MOUNTING TYPE: A
 LENGTH: 10'

EPA & WEIGHT

Arm Length	Weight	EPA
10'	15 lbs	1.5
15'	22 lbs	2.2
20'	30 lbs	3.0
25'	38 lbs	3.8
30'	45 lbs	4.5
35'	52 lbs	5.2
40'	60 lbs	6.0
45'	68 lbs	6.8
50'	75 lbs	7.5
55'	82 lbs	8.2
60'	90 lbs	9.0
65'	98 lbs	9.8
70'	105 lbs	10.5
75'	112 lbs	11.2
80'	120 lbs	12.0
85'	128 lbs	12.8
90'	135 lbs	13.5
95'	142 lbs	14.2
100'	150 lbs	15.0

Current

Round Class B - Medium Duty Pole

Physical Details

- Round galvanized steel shaft
- 4" ID diameter pole
- 1.5" wall thickness
- 400 lb. maximum bending moment
- 400 lb. maximum wind load
- 400 lb. maximum moment

Direct Embedment

Pole Height	Pole Diameter	Pole Weight	Pole Length	Pole Weight	Pole Weight
10'	4"	1.5	10'	15	15
15'	4"	2.2	15'	22	22
20'	4"	3.0	20'	30	30
25'	4"	3.8	25'	38	38
30'	4"	4.5	30'	45	45
35'	4"	5.2	35'	52	52
40'	4"	6.0	40'	60	60
45'	4"	6.8	45'	68	68
50'	4"	7.5	50'	75	75
55'	4"	8.2	55'	82	82
60'	4"	9.0	60'	90	90
65'	4"	9.8	65'	98	98
70'	4"	10.5	70'	105	105
75'	4"	11.2	75'	112	112
80'	4"	12.0	80'	120	120
85'	4"	12.8	85'	128	128
90'	4"	13.5	90'	135	135
95'	4"	14.2	95'	142	142
100'	4"	15.0	100'	150	150

Base Plate

Pole Height	Pole Diameter	Pole Weight	Pole Length	Pole Weight	Pole Weight
10'	4"	1.5	10'	15	15
15'	4"	2.2	15'	22	22
20'	4"	3.0	20'	30	30
25'	4"	3.8	25'	38	38
30'	4"	4.5	30'	45	45
35'	4"	5.2	35'	52	52
40'	4"	6.0	40'	60	60
45'	4"	6.8	45'	68	68
50'	4"	7.5	50'	75	75
55'	4"	8.2	55'	82	82
60'	4"	9.0	60'	90	90
65'	4"	9.8	65'	98	98
70'	4"	10.5	70'	105	105
75'	4"	11.2	75'	112	112
80'	4"	12.0	80'	120	120
85'	4"	12.8	85'	128	128
90'	4"	13.5	90'	135	135
95'	4"	14.2	95'	142	142
100'	4"	15.0	100'	150	150

Decor Colors & Finishes

Color	Finish	Weight
Black	Black	1.5
White	White	1.5
Grey	Grey	1.5
Blue	Blue	1.5
Green	Green	1.5
Red	Red	1.5
Yellow	Yellow	1.5
Orange	Orange	1.5
Purple	Purple	1.5
Pink	Pink	1.5
Brown	Brown	1.5
Gold	Gold	1.5
Silver	Silver	1.5

StressCrete

StressCrete

Typical Catalog Numbers

275, BPR, 6, M9, CW, 116

PROJECT INFORMATION BLOCK

JOB # 2004/011-420-00
 DATE 06/27/2004
 DRAWN BY AL
 CHECKED BY AM

SHEET TITLE
EXTERIOR LIGHTING CUTSHEETS

SHEET NUMBER
E-601

bdg architects

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 Tampa, FL 33602

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 813. AA-000330
 www.bdgip.com

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HIGHWAY 42 & SE 91 PHILLIPS CT.,
 THE VILLAGES, FL 32162

StressCrete

PROJECT INFORMATION BLOCK


JOB # 2004/011-420-00
 DATE 06/27/2004
 DRAWN BY AL
 CHECKED BY AM

SHEET TITLE
EXTERIOR LIGHTING CUTSHEETS

SHEET NUMBER
E-601

Client: _____ Date: _____ Project: _____ Type: _____

XSPS LED Soffit Light



OVERVIEW

Series Reference	1000 - 3000
Package Range	48 - 96
Finish Range (RAL)	96 - 144
Height Range	18 - 30

QUICK LINKS

Catalog Guide	Performance	Photometrics	Dimensions
---------------	-------------	--------------	------------

FEATURES & SPECIFICATIONS

Construction:

- Housing is die formed aluminum with anodized finish providing a weather resistant and corrosion resistant exterior. Enclosure conforms factory standard and is suitable for outdoor use.
- Housing is mounted into an enclosed soffit with recessed through the mounting holes. Clearance required for ease of installation.
- Fronted with LED. Operating temperature range without derating of lighting is as approved for the full range. Standard color is silver white.
- Shipping weight: 7.8 lbs. per can.
- Suitable for wet locations.

Optical System:

- Symmetric distribution with excellent uniformity and a 60° beam of 82.5-90 CA. Diffusion lens is standard for maximizing visibility of LEDs.
- Select high brightness LEDs.
- Available in 3000K, 4000K and 5000K.
- Color temperatures per ANSI C183-21.
- Maximum CRI of 90.

Electrical:

- High performance factory programmed driver features over-current, over-temperature protection and thermal protection.
- High performance factory programmed driver features over-current, over-temperature protection and thermal protection.
- High performance factory programmed driver features over-current, over-temperature protection and thermal protection.
- High performance factory programmed driver features over-current, over-temperature protection and thermal protection.

Warranty:

- 5 Year Limited Warranty (See Terms and Conditions for details).
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- 5 Year Limited Warranty (See Terms and Conditions for details).
- 5 Year Limited Warranty (See Terms and Conditions for details).

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Client: _____ Date: _____ Project: _____ Type: _____

XSPS LED Soffit Light

ORDERING GUIDE

Product Code: XSPS 3 LED 30 CW 120 DW1 OPT

Product Code	Series Reference	Height	Finish	Beam Angle	Power	Temp. Range	Weight	Notes
XSPS 3 LED 30 CW 120 DW1 OPT	1000 - 3000	30	96	60°	120W	-40°C to 40°C	7.8 lbs.	Standard color is silver white.

PERFORMANCE

Series Reference	Height	Finish	Beam Angle	Power	Temp. Range	Weight
1000 - 3000	30	96	60°	120W	-40°C to 40°C	7.8 lbs.

REORDERING LED PARTS

Series Reference	Height	Finish	Beam Angle	Power	Temp. Range	Weight
1000 - 3000	30	96	60°	120W	-40°C to 40°C	7.8 lbs.

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Client: _____ Date: _____ Project: _____ Type: _____

ECO 5' LED DOWNLIGHT

ORDERING GUIDE

Product Code: ECO 5' LED 30 CW 120 DW1 OPT

Product Code	Series Reference	Height	Finish	Beam Angle	Power	Temp. Range	Weight	Notes
ECO 5' LED 30 CW 120 DW1 OPT	1000 - 3000	30	96	60°	120W	-40°C to 40°C	7.8 lbs.	Standard color is silver white.

PERFORMANCE

Series Reference	Height	Finish	Beam Angle	Power	Temp. Range	Weight
1000 - 3000	30	96	60°	120W	-40°C to 40°C	7.8 lbs.

REORDERING LED PARTS

Series Reference	Height	Finish	Beam Angle	Power	Temp. Range	Weight
1000 - 3000	30	96	60°	120W	-40°C to 40°C	7.8 lbs.

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Client: _____ Date: _____ Project: _____ Type: _____

Mirada Medium Wall Scone (XWM) Outdoor Wall Scone



OVERVIEW

Series Reference	1000 - 3000
Package Range	24 - 36
Finish Range (RAL)	96 - 144
Height Range	18 - 30

QUICK LINKS

Catalog Guide	Performance	Photometrics	Dimensions
---------------	-------------	--------------	------------

FEATURES & SPECIFICATIONS

Construction:

- Housing is die formed aluminum with anodized finish providing a weather resistant and corrosion resistant exterior. Enclosure conforms factory standard and is suitable for outdoor use.
- Housing is mounted into an enclosed soffit with recessed through the mounting holes. Clearance required for ease of installation.
- Fronted with LED. Operating temperature range without derating of lighting is as approved for the full range. Standard color is silver white.
- Shipping weight: 3.0 lbs. per can.
- Suitable for wet locations.

Optical System:

- Symmetric distribution with excellent uniformity and a 60° beam of 82.5-90 CA. Diffusion lens is standard for maximizing visibility of LEDs.
- Select high brightness LEDs.
- Available in 3000K, 4000K and 5000K.
- Color temperatures per ANSI C183-21.
- Maximum CRI of 90.

Electrical:

- High performance factory programmed driver features over-current, over-temperature protection and thermal protection.
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Client: _____ Date: _____ Project: _____ Type: _____

Mirada Medium Wall Scone (XWM) Outdoor Wall Scone

ORDERING GUIDE

Product Code: XWM 3 LED 30 CW 120 DW1 OPT

Product Code	Series Reference	Height	Finish	Beam Angle	Power	Temp. Range	Weight	Notes
XWM 3 LED 30 CW 120 DW1 OPT	1000 - 3000	30	96	60°	120W	-40°C to 40°C	7.8 lbs.	Standard color is silver white.

PERFORMANCE

Series Reference	Height	Finish	Beam Angle	Power	Temp. Range	Weight
1000 - 3000	30	96	60°	120W	-40°C to 40°C	7.8 lbs.

REORDERING LED PARTS

Series Reference	Height	Finish	Beam Angle	Power	Temp. Range	Weight
1000 - 3000	30	96	60°	120W	-40°C to 40°C	7.8 lbs.

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Client: _____ Date: _____ Project: _____ Type: _____

ECO 5' LED DOWNLIGHT

ORDERING GUIDE

Product Code: ECO 5' LED 30 CW 120 DW1 OPT

Product Code	Series Reference	Height	Finish	Beam Angle	Power	Temp. Range	Weight	Notes
ECO 5' LED 30 CW 120 DW1 OPT	1000 - 3000	30	96	60°	120W	-40°C to 40°C	7.8 lbs.	Standard color is silver white.

PERFORMANCE

Series Reference	Height	Finish	Beam Angle	Power	Temp. Range	Weight
1000 - 3000	30	96	60°	120W	-40°C to 40°C	7.8 lbs.

REORDERING LED PARTS

Series Reference	Height	Finish	Beam Angle	Power	Temp. Range	Weight
1000 - 3000	30	96	60°	120W	-40°C to 40°C	7.8 lbs.

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ECO 5' LED DOWNLIGHT

ECO 5' LED 30 CW 120 DW1 OPT

ORDERING GUIDE

Product Code: ECO 5' LED 30 CW 120 DW1 OPT

Product Code	Series Reference	Height	Finish	Beam Angle	Power	Temp. Range	Weight	Notes
ECO 5' LED 30 CW 120 DW1 OPT	1000 - 3000	30	96	60°	120W	-40°C to 40°C	7.8 lbs.	Standard color is silver white.

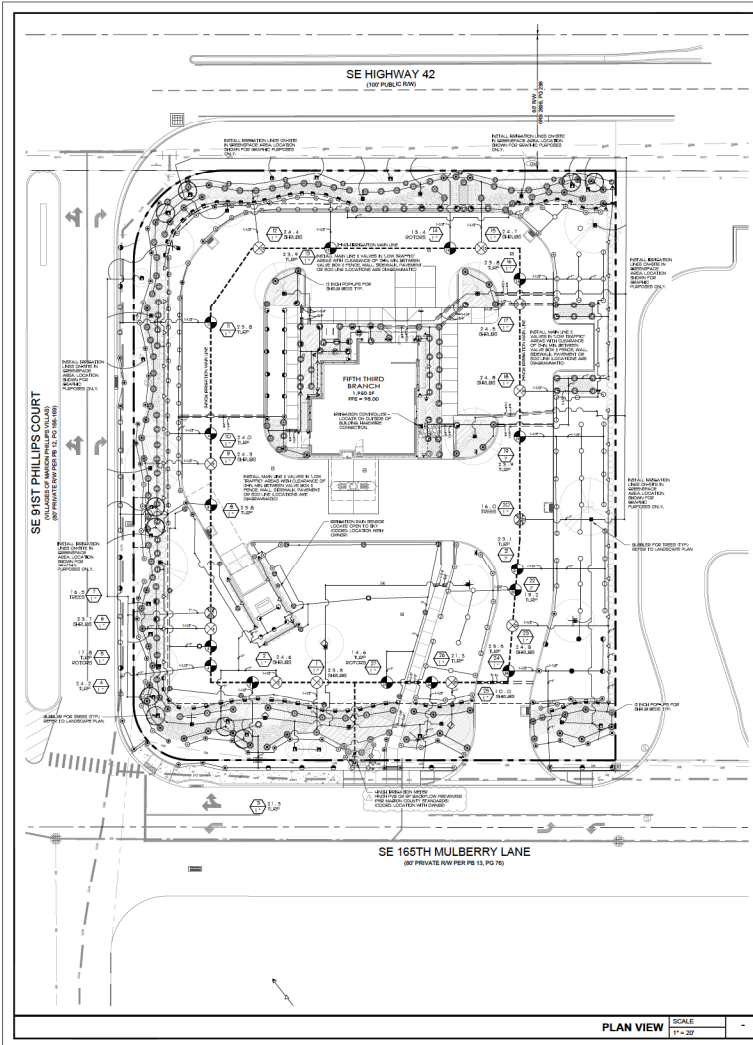
PERFORMANCE

Series Reference	Height	Finish	Beam Angle	Power	Temp. Range	Weight
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REORDERING LED PARTS

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1000 - 3000	30	96	60°	120W	-40°C to 40°C	7.8 lbs.

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Irrigation Legend

PLEASE NOTE: ALL IRRIGATION SPRAY HEADS TO BE 30 PSI REGULATED & RATED FOR 500 AREA, 12' HOURLY FOR SHRUB AREA. COAGULATED NOISE SEAL WITH UV RESISTANT MATERIAL.

1" PIPES

- HUNTER PROS-60-PR330 5' STRIP SPRAY
 - ▲ LCS @ 0.88 GPM
 - ▲ SS @ 0.88 GPM
 - ▲ SS @ 1.30 GPM
 - ▲ H @ 0.45 GPM
- HUNTER PROS-60-PR330 4' RADUS
 - ▲ Q @ 0.81 GPM
 - ▲ H @ 0.98 GPM
- HUNTER PROS-60-PR330 8' RADUS
 - ▲ Q @ 0.84 GPM
 - ▲ H @ 0.87 GPM
 - ▲ F @ 0.97 GPM
- HUNTER PROS-60-PR330 10' RADUS
 - ▲ Q @ 0.82 GPM
 - ▲ H @ 0.88 GPM
 - ▲ F @ 0.97 GPM
- HUNTER PROS-60-PR330 12' RADUS
 - ▲ Q @ 0.87 GPM
 - ▲ H @ 1.00 GPM
 - ▲ F @ 1.09 GPM
- HUNTER PROS-60-PR330 15' RADUS
 - ▲ Q @ 0.97 GPM
 - ▲ H @ 1.09 GPM
 - ▲ F @ 1.18 GPM
- HUNTER PROS-60-PR330 17' RADUS
 - ▲ Q @ 1.15 GPM
 - ▲ H @ 1.37 GPM
 - ▲ F @ 1.46 GPM
- HUNTER PROS-60-PR330 ADJ
 - ▲ 8 @ 0.75 GPM
 - ▲ 10 @ 0.90 GPM
 - ▲ 12 @ 1.05 GPM
 - ▲ 14 @ 1.20 GPM
 - ▲ 16 @ 1.35 GPM
 - ▲ 17 @ 1.50 GPM
- HUNTER PROS-60-PR330 FLOOD SUBBLER, 1/2" PIP.
 - ▲ 8 @ 0.50 GPM
 - ▲ 10 @ 1.00 GPM
- HUNTER MP3000 ROTATOR 13" - 21' RADUS
 - ▲ 21" @ 0.28 GPM
 - ▲ 18" @ 0.24 GPM
 - ▲ 15" @ 0.20 GPM
 - ▲ 12" @ 0.16 GPM
- HUNTER MP3000-R ROTATOR 22" - 30' RADUS
 - ▲ 30" @ 0.26 GPM
 - ▲ 27" @ 0.23 GPM
 - ▲ 24" @ 0.20 GPM
 - ▲ 21" @ 0.17 GPM
- HUNTER MP3000-R ROTATOR 31" - 38' RADUS
 - ▲ 38" @ 0.24 GPM
 - ▲ 34" @ 0.21 GPM
 - ▲ 30" @ 0.18 GPM
 - ▲ 26" @ 0.15 GPM
 - ▲ 22" @ 0.12 GPM

1/2" PIPES

- HUNTER PROS-60-PR330 5' STRIP SPRAY
 - ▲ LCS @ 0.88 GPM
 - ▲ SS @ 0.88 GPM
 - ▲ SS @ 1.30 GPM
 - ▲ H @ 0.45 GPM
- HUNTER PROS-60-PR330 4' RADUS
 - ▲ Q @ 0.81 GPM
 - ▲ H @ 0.98 GPM
- HUNTER PROS-60-PR330 8' RADUS
 - ▲ Q @ 0.84 GPM
 - ▲ H @ 0.87 GPM
 - ▲ F @ 0.97 GPM
- HUNTER PROS-60-PR330 10' RADUS
 - ▲ Q @ 0.82 GPM
 - ▲ H @ 0.88 GPM
 - ▲ F @ 0.97 GPM
- HUNTER PROS-60-PR330 12' RADUS
 - ▲ Q @ 0.87 GPM
 - ▲ H @ 1.00 GPM
 - ▲ F @ 1.09 GPM
- HUNTER PROS-60-PR330 15' RADUS
 - ▲ Q @ 0.97 GPM
 - ▲ H @ 1.09 GPM
 - ▲ F @ 1.18 GPM
- HUNTER PROS-60-PR330 17' RADUS
 - ▲ Q @ 1.15 GPM
 - ▲ H @ 1.37 GPM
 - ▲ F @ 1.46 GPM
- HUNTER PROS-60-PR330 ADJ
 - ▲ 8 @ 0.75 GPM
 - ▲ 10 @ 0.90 GPM
 - ▲ 12 @ 1.05 GPM
 - ▲ 14 @ 1.20 GPM
 - ▲ 16 @ 1.35 GPM
 - ▲ 17 @ 1.50 GPM

VALVE FLOW

- HUNTER PROS-1010 1" PLASTIC ELECTRIC REMOTE CONTROL VALVE FOR RESIDENTIAL/COMMERCIAL USE. MANUAL OFF/RESET/ON. GLOBE CONFIGURATION, WITH FLOW CONTROL.
- MATCH-HIDRCA 814X 1/2" BRASS GATE VALVE. FULL PORT WITH SOLE WRENCH FL. CROSS HANDLE. SAME SIZE AT MAINLINE PIPE.
- PERCO BEST 1/2" REDUCED PRESSURE BACKFLOW PREVENTER
- WEATHERMATIC SL1000 SMARTLINE CONTROLLER W/ SMARTLINE ABCARD
- WEATHERMATIC SL1000 SMARTLINE CONTROLLER W/ SMARTLINE ABCARD
- WEATHERMATIC SLWS WIRELESS ON-SITE WEATHER SENSOR
- IRIGATION SOURCE 1 1/4" METER @ 28 GPM AT 40 PSI REGULATED
- IRIGATION LATERAL LINE, PURPLE PVC CLASS 160 FOR 24" PVC CLASS 100 FOR 1 1/2" PIPE. PVC CLASS 100 FOR 1 1/2" PIPE. PVC CLASS 160 FOR 1" AND ABOVE.
- PLEASE NOTE: ONLY LATERAL W/ IRIGATION PIPE SIZES 1" AND ABOVE ARE INDICATED ON THE PLAN WITH ALL OTHERS BEING 3/4" IN SIZE.
- IRIGATION MAINLINE: PURPLE PVC SCHEDULE 40 IRIGATION PIPE - PURPLE
- PIPE SCHEDULE 40
- VALVE CALL OUT

Irrigation Zone Schedule

ZONE NO.	GPAM	VALVE TYPE	TYPE
1	0.39	1"	SHRUBS - SPRAY
2	0.42	1"	SHRUBS - SPRAY
3	0.13	1"	TURF - SPRAY
4	0.12	1"	TURF - SPRAY
5	0.17	1"	TURF - BOTTLES
6	0.23	1"	SHRUBS - SPRAY
7	0.8	1"	NEED - SUBBLERS
8	0.39	1"	TURF - SPRAY
9	0.23	1"	SHRUBS - SPRAY
10	0.40	1"	TURF - SPRAY
11	0.23	1"	TURF - SPRAY
12	0.44	1"	SHRUBS - SPRAY
13	0.23	1"	TURF - BOTTLES
14	0.8	1"	TURF - BOTTLES
15	0.47	1"	SHRUBS - SPRAY
16	0.39	1"	TURF - SPRAY
17	0.49	1"	SHRUBS - SPRAY
18	0.49	1"	SHRUBS - SPRAY
19	0.39	1"	TURF - SPRAY
20	0.39	1"	TURF - SPRAY
21	0.39	1"	TURF - SPRAY
22	1.60	1"	TREE - SUBBLERS
23	0.39	1"	TURF - SPRAY
24	0.39	1"	TURF - SPRAY
25	1.60	1"	TURF - SPRAY
26	1.60	1"	TURF - SPRAY
27	1.60	1"	TURF - SPRAY
28	0.13	1"	TURF - BOTTLES
29	1.60	1"	TURF - BOTTLES

Sleeve Size Schedule

PIPE SIZE	SLEEVE SIZE
3/4"	1-1/4"
1"	2"
1-1/4"	2-1/2"
1-1/2"	2-1/2"
2"	4"
2-1/2"	4"
3"	6"

IMPORTANT! NOTICE TO CONTRACTORS

THIS PROJECT IS WITHIN THE JURISDICTION OF THE VILLAGES. BEFORE ANY LANDSCAPE PLANS OR SCHEDULES ARE SUBMITTED TO THE VILLAGES, THE VILLAGES DESIGN REVIEW COMMITTEE MUST BE NOTIFIED. ONLY AFTER APPROVAL BY THE VILLAGES DESIGN REVIEW COMMITTEE TO PROCEED THAT ALL REQUIREMENTS HAVE BEEN MET. DESIGNERS, SUBMITTERS, OR DESIGNERS MUST NOT BE CHARGED WITH VIOLATIONS.

DETAILS ABOUT THIS PROCESS SHALL BE OBTAINED BY CONTACTING: MICHAEL PAPE & ASSOCIATES, P.A. (813) 919-1989 OR DESIGN@MPA-LLP.COM

400 N. Ashley Drive, Suite 600 Tampa, FL 33602

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FIFTH THIRD BANK MULBERRY

1000 East Broadway, Suite 100, Tampa, FL 33602

TEL: 813-282-7833

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ISSUE	BY	DATE	DESCRIPTION
1	PCD	08/14/20	ISSUE FOR PERMITS
2	PCD	08/14/20	REVISED PERMITS
3	PCD	08/14/20	REVISED PERMITS
4	PCD	08/14/20	REVISED PERMITS
5	PCD	08/14/20	REVISED PERMITS
6	PCD	08/14/20	REVISED PERMITS
7	PCD	08/14/20	REVISED PERMITS
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28	PCD	08/14/20	REVISED PERMITS
29	PCD	08/14/20	REVISED PERMITS
30	PCD	08/14/20	REVISED PERMITS

PROJECT INFORMATION BLOCK

JOB # 202003

DATE 08/14/20

DRAWN BY PCD

CHECKED BY PCD

SHEET TITLE IRRIGATION PLAN

SHEET NUMBER IRO1.01

21 OF 24

WEATHER-RESISTANT
ENCLOSURE
SUB-PANEL
SUB-PANEL



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FLORIDA 32162



PATRICK O. CUNNINGHAM
FL REG. NO. LA301000

ISSUE LIST

ISSUE NO.	DATE	DESCRIPTION
1	02/15/24	ISSUE FOR PERMIT
2	02/15/24	ISSUE FOR PERMIT
3	02/15/24	ISSUE FOR PERMIT
4	02/15/24	ISSUE FOR PERMIT
5	02/15/24	ISSUE FOR PERMIT
6	02/15/24	ISSUE FOR PERMIT
7	02/15/24	ISSUE FOR PERMIT
8	02/15/24	ISSUE FOR PERMIT
9	02/15/24	ISSUE FOR PERMIT
10	02/15/24	ISSUE FOR PERMIT

PROJECT INFORMATION BLOCK

JOB #	28030
DATE	02/15/24
DRAWN BY	PCD
CHECKED BY	PCD

SHEET TITLE

IRRIGATION DETAILS

SHEET NUMBER

IR02.01

22 OF 24

General Notes

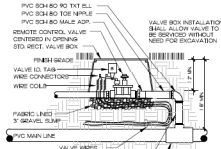
1. IRRIGATION SYSTEM DESIGN REQUIREMENTS AS SHOWN ON THE PLAN OF THE CONTRACTOR SHALL VERIFY THE AVAILABLE GPM AND PRESSURE TO INSTALLATION OF THE SYSTEM.
2. DO NOT INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWING WHEN IT IS CONFLICTED BY THE FIELD OR EXISTING CONDITIONS THAT WOULD NOT HAVE BEEN CONSIDERED IN THE DESIGN. PROVIDE IN THE FIELD AS NECESSARY TO CORRECT THESE CONDITIONS. THESE CORRECTIVE MEASURES SHALL BE SHOWN ON THE LANDSCAPE PLAN TO AVOID CONFLICTS WITH EXISTING TREES OR SHRUBS.
3. TREES MAY REQUIRE BE RELOCATED AS SHOWN LOCATED IN UNDESIRABLE AREAS. USE LAWN BLENDS OR PAINTMENT. CUTTERS OR PROTECTIVE NETS IN LINES OR OBSTACLES ETC. THIS IS DONE FOR BRAINING CLARITY ONLY. WHERE POSSIBLE, TREES TO BE RELOCATED IN PROTECTED AREAS.
4. ALL COMPONENTS ARE SHOWN AND/OR DETICED ON THE PLAN SHEETS. APPROXIMATE LOCATIONS ONLY AND ARE FOR CLARIFICATION PURPOSES. THE FINAL LOCATION OF ALL COMPONENTS SHALL BE SUBJECT TO APPROVAL BY THE OWNER AND/OR DESIGN REPRESENTATIVE.
5. DO NOT SCALE ANY FOR EXACT HEAD LOCATION. LOCATION OF ALL COMPONENTS HEADS SHALL BE SET ADJUSTED TO MAINTAIN WATER DISTRIBUTION CONTROL SURFACES AND MAINTAIN TARGETED VALUES ON EACH ZONE AS REQUIRED TO PROVIDE POWER.
6. PIPE SIZES SHALL CONFORM TO THOSE ON THE DRAWING. SUBSTITUTING WITH SMALLER PIPE SIZES WILL NOT BE PERMITTED.
7. ALL POP-UP SPRINKLER HEADS SHALL BE INSTALLED LEVEL AND FLUSH TO GRADE.
8. MOUNTING FITTINGS SHALL BE PVC SCH 40 JOINT FITTINGS. FITTINGS PLACED IN SUBURBS SHALL BE SCH 40 SCHEDULE 40 WITH WOODRUFF BEARING. FITTING LOCATION USE ACCORDANCE WITH A T ELECTRICAL CODE FOR THE CONTROL WIRING.
9. WIRELESS IS TO BE INSTALLED WITH A MINIMUM OF 6" MIN DEPTH OF COVER. LATERAL LINES ARE TO BE INSTALLED WITH A MINIMUM OF 12" DEPTH OF COVER.
10. VALVES OTHERWISE INDICATED ALL VALVES ARE TO BE PVC SCH 40 AND TWO IN NOMINAL SIZE. LARGER THAN THE PIPE TO BE SERVED. FOR CHANGE, THE SUBURBS FOR A 2" PIPE SHALL BE 2".
11. METAL VALVES IN MOUNTED BENCH AND/OR IN LOW TRAFFIC AREAS. ALL VALVES, PLURA VALVES AND WIRE DEVICES SHALL BE INSTALLED IN SANITARY AND PLUMBING STRUCTURAL, FLOOR PLATED VALVES BOXES. THE BOTTOM AND SIDES OF THE VALVE BOXES SHALL BE LINED WITH LANDSCAPE FABRIC. INSTALL A 3" IN DEPTH OF GRAVEL ON THE LANDSCAPE FABRIC TO CREATE A DRAINAGE SLAP.
12. DWP REGULATION - NOT APPLICABLE.

13. EXACT CONTROLLER LOCATIONS SHALL BE COORDINATED WITH AN OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR THE CONNECTION FROM THE POWER SOURCE TO THE CONTROLLER. PER MANUFACTURER'S SPECIFICATIONS.
14. ALL ELECTRICAL WIRING ABOVE GROUND SHALL BE IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES. ALL ELECTRICAL WIRING SHALL BE INSTALLED IN A MANNER THAT PROTECTS IT FROM DAMAGE AND SHALL BE INSTALLED IN A MANNER THAT PROTECTS IT FROM DAMAGE AND SHALL BE INSTALLED IN A MANNER THAT PROTECTS IT FROM DAMAGE.
15. AT EACH IRRIGATION CONTROLLED INSTALL A SECONDARY SLURGE PROTECTIVE DEVICE (RVD) IN EACH MAIN LINE. PROVIDE A SECONDARY SLURGE PROTECTIVE DEVICE (RVD) IN EACH MAIN LINE. PROVIDE A SECONDARY SLURGE PROTECTIVE DEVICE (RVD) IN EACH MAIN LINE.
16. A WEATHER-BASED SMART IRRIGATION SHALL BE CONNECTED TO IRRIGATION CONTROLLER. THE IRRIGATION CONTRACTOR SHALL PROVIDE AN ASSEMBLY DRAWING ON SEPARABLE PAPER DETAILING THE WIRING CONNECTIONS. THE IRRIGATION CONTRACTOR SHALL PROVIDE AN ASSEMBLY DRAWING ON SEPARABLE PAPER DETAILING THE WIRING CONNECTIONS. THE IRRIGATION CONTRACTOR SHALL PROVIDE AN ASSEMBLY DRAWING ON SEPARABLE PAPER DETAILING THE WIRING CONNECTIONS.
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20. ALL OTHER EQUIPMENT REQUIRED THAT IS NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND LOCAL CODE.
21. THE IRRIGATION SYSTEM IS TO BE INSTALLED TO THE IRRIGATION SYSTEM WHICH WILL BE REDESIGNED TO PROVIDE COVERAGE.
22. IF A WETTER ANALYZER IS USED FOR IRRIGATION, ALL EQUIPMENT IS TO BE SPECIFIED / MARKED AS SUCH IF REQUIRED BY THE JURISDICTION (WATER MAIN HEADS ETC).
23. AN AUTOMATIC IRRIGATION SYSTEM IS TO BE PROVIDED THAT MEETS ALL LOCAL AND STATE REQUIREMENTS OF THE LAND DEVELOPMENT REGULATIONS.
24. THE OWNER WILL SUPPLY ALL PROPOSED PLANT MATERIAL WITH 100% IRRIGATION AUTOMATIC COVERAGE WITH FOR DELIVERY MATERIAL WITH TEN (10) DAYS OF INITIAL INSTALLATION. THE CONTRACTOR SHALL MAKE ALL ADJUSTMENTS TO THE IRRIGATION SYSTEM TO OBTAIN COVERAGE.

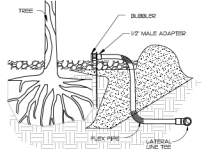
Additional Notes

1. IRRIGATION CONTROLLER IS TO HAVE AN EXTERIOR MOUNTING LOCATION.
2. ELECTRICAL IS TO BE WIRING TO THE CONTROLLER NOT AN ELECTRICAL OUTLET.
3. WEATHER-BASED SMART IRRIGATION CONTROLLER (SEE NOTE 1).
4. INSTALL A WEATHER-BASED SMART IRRIGATION CONTROLLER (SEE NOTE 1) WITH THE UTILITY CONTRACTOR.
5. INSTALL INSTRUCTIONS SLUGG CONTROLLER INSTALLATION INCLUDING WEATHER-BASED SMART IRRIGATION CONTROLLER (SEE NOTE 1).
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95. WEATHER-BASED SMART IRRIGATION CONTROLLER (SEE NOTE 1).
96. WEATHER-BASED SMART IRRIGATION CONTROLLER (SEE NOTE 1).
97. WEATHER-BASED SMART IRRIGATION CONTROLLER (SEE NOTE 1).
98. WEATHER-BASED SMART IRRIGATION CONTROLLER (SEE NOTE 1).
99. WEATHER-BASED SMART IRRIGATION CONTROLLER (SEE NOTE 1).
100. WEATHER-BASED SMART IRRIGATION CONTROLLER (SEE NOTE 1).

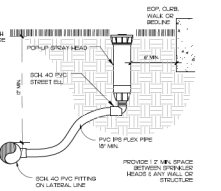
WEATHER-BASED SMART IRRIGATION CONTROLLER
INSTALLATION INSTRUCTIONS
1. WEATHER-BASED SMART IRRIGATION CONTROLLER (SEE NOTE 1).



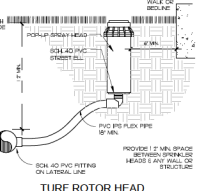
REMOTE CONTROL VALVE
NOT TO SCALE



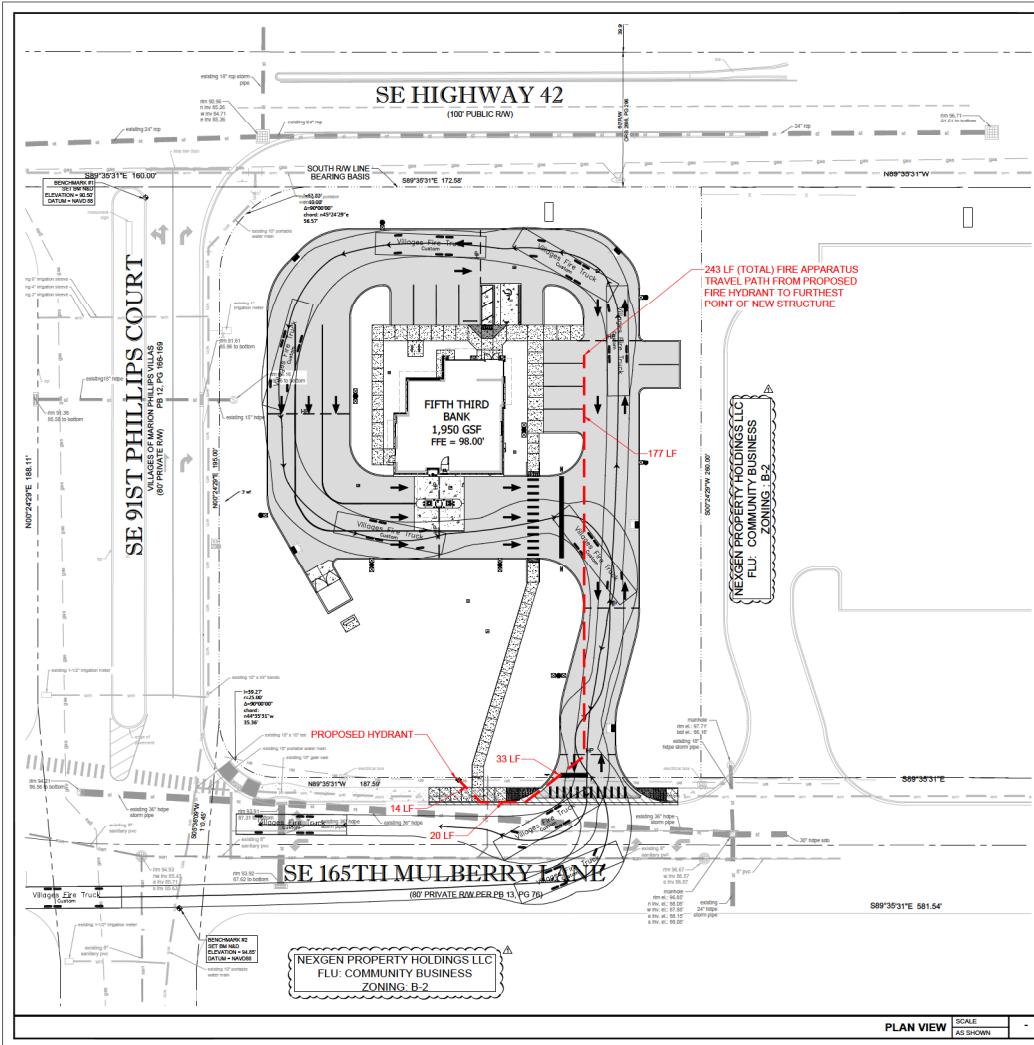
TREE BUBBLER
NOT TO SCALE



TURF SPRAY HEAD
NOT TO SCALE

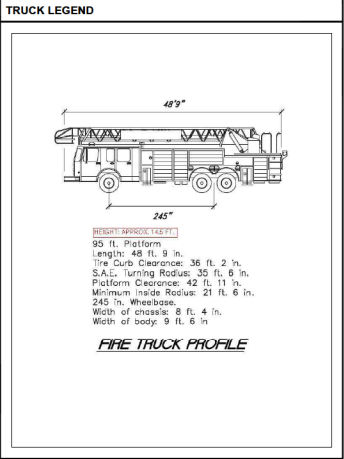


TURF ROTOR HEAD
NOT TO SCALE



SITE PLAN LEGEND:

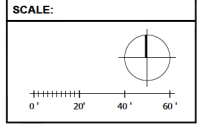
	DIRECTIONAL ARROW
	HANDICAP PARKING
	PROPOSED PAVEMENT STRIPE
	PROPOSED CURB
	EXISTING CURB
	PROPERTY LINE
	NEW CONCRETE
	NEW ASPHALT PAVEMENT
	EXISTING CONCRETE



NOTE: PLAN HAS BEEN PROVIDED PER THE FLORIDA FIRE PREVENTION CODE, 8TH EDITION
 CONSTRUCTION TYPE: 1/9 (PER IFBC 8TH EDITION (2022), TABLE 601)
 MINIMUM FIRE FLOW REQ. 1500 GPM FOR 2 HOUR



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 THE VILLAGES / MARION COUNTY, FLORIDA 32162

INFINITY
 INFINITY ENGINEERING GROUP, LLC
 1280 East Broadway Boulevard
 Suite 200
 32114-4433
 Jacksonville, FL
 P.O. Box #1438
 32202-1438
 904.241.1438
 904.241.1439

DATE		
REVISION		
NO.	DATE	DESCRIPTION
1	11/17/23	ISSUE FOR DATE REVIEW
2	01/17/24	ISSUE FOR DATE REVIEW
3	02/17/24	ISSUE FOR DATE REVIEW
4	04/01/24	ISSUE FOR DATE REVIEW
5	04/01/24	ISSUE FOR DATE REVIEW
6	04/01/24	ISSUE FOR DATE REVIEW

PROJECT INFORMATION BLOCK	
JOB #	230230
DATE	12/17/23
DRAWN BY	BSG
CHECKED BY	BSG
SHEET TITLE	

SITE ACCESS PLAN

SHEET NUMBER
SA01.01

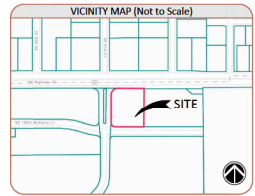
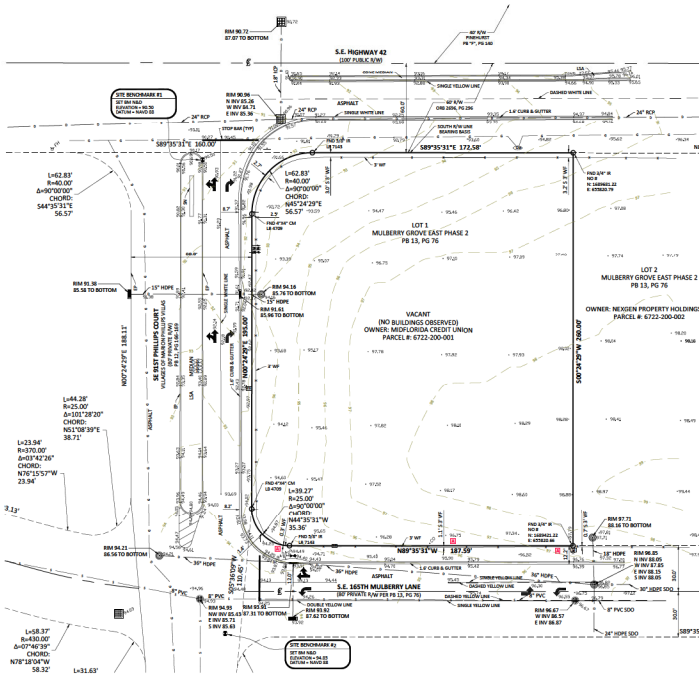
23 OF 24

SHEET 1 OF 1

ALTA/NSPS LAND TITLE SURVEY

GENERAL SURVEY NOTES:

- 1. BEARING STRUCTURE IS BASED ON THE MONUMENTED SOUTH N/W CORNER OF S.E. HIGHWAY 42, BEING S89°33'11" E PER PG 13, PG 76.
2. THIS SURVEY REFLECTS ONLY MATTERS OF RECORD AS PROVIDED BY THE CLIENT OR CLIENTS REPRESENTATIVE.
3. THIS SURVEY WAS MADE ON THE GROUND. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA.
4. THIS SITE LIES IN ZONE "X", BASED ON FLOOD INSURANCE RATE MAP NO. 13083C0085D, COMMUNITY NO. 122656D, UNINCORPORATED MARION COUNTY, FLORIDA, HAVING AN EFFECTIVE DATE OF 6/28/2008.
5. ACCORDING TO FLORIDA STATUTES, CHAPTER 472.025, A LAND SURVEYOR SHALL NOT AFFIX HIS SEAL OR NAME TO ANY PLAN OR DRAWING WHICH DEPicts WORK WHICH HE IS NOT LICENSED TO PERFORM OR WHICH IS BEYOND HIS PROFESSION OR SPECIALTY THEREIN.
6. THIS SURVEY MADE WITH BENEFIT OF COMMITMENT FOR TITLE NO. 06/25/2015, EFFECTIVE: JULY 30, 2015, ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY.
7. THIS "BOUNDARY AND TOPOGRAPHIC SURVEY" WAS MADE IN ACCORDANCE WITH LAWS AND/OR STANDARDS OF PRACTICE FOR THE STATE OF FLORIDA.
8. THIS SURVEY IS VALID ONLY TO THE PARTIES TO WHOM IT IS CERTIFIED AND IS NON-TRANSFERABLE.
9. THE PROPERTY IS CONTIGUOUS WITH SE HIGHWAY 42, A PAVED, PUBLIC RIGHT-OF-WAY AND WITH SE 16TH MULBERRY LANE AND SE 1ST PHILLIPS COURT, BOTH BEING PAVED, PRIVATE ROADS CONNECTING TO SE HIGHWAY 42.
10. OBSERVABLE SURFACE EVIDENCE OF UTILITIES SERVING THE PROPERTY AND STORM DRAINAGE FACILITIES ARE SHOWN HEREON.
11. ALL PARCELS AND/OR LOTS SHOWN HEREON ARE CONTIGUOUS BETWEEN SAID PARCELS AND/OR LOTS AND DO NOT CREATE ANY GAPS, GORES OR NATURES.
12. NO SURFACE EVIDENCE OF SITE USE AS A CEMETERY WAS OBSERVED.
13. ELEVATIONS ARE BASED ON BENCHMARK DESIGNATION FLTPS 43 AZ MK, BEING 87.38 FEET, (NAD 83) 1985, PUBLISHED BY NATIONAL GEODETIC SURVEY. THE CONVERSION TO VILLAGES DATUM IS 1.35 FEET OR 409 MM.
14. THE MAPPED FEATURES SHOWN HEREON ARE RELATIVE TO FLORIDA STATE PLANE COORDINATE SYSTEM WEST ZONE, NAD83(2011) EPOCH 2010.000, ESTABLISHED PER FOOT FPMR. THE COORDINATE SYSTEM AND DISPLAYED UNITS ARE IN U.S. SURVEY FEET.
ITEM 16: NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WAS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
ITEM 17: NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WAS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK. SURVEYOR IS NOT AWARE OF PROPOSED CHANGES IN STREET RIGHT OF WAY LINES.



LEGEND table listing various symbols and their corresponding descriptions for the survey map.

DESCRIPTION: Lot 1, Mulberry Grove East Phase 2, according to the plat thereof as recorded in Plat Book 13, Page(s) 76 and 77, of the Public Records of Marion County, Florida.

SCHEDULE B-2 EXCEPTIONS NOTES:

- 1. Restrictions, reservations, setbacks and easements, if any, as indicated and/or shown on that certain Plat recorded in Plat Book 13, at Page(s) 76. (ON SUBJECT PROPERTY, BLANKET IN NATURE. CONTAIN NO EASEMENTS TO DEFECT.)
2. Restrictions, covenants, conditions, reservations and easements (including therefrom restrictions indicating any preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national ancestry) recorded in Official Records Book 6202, Page 975, and amended in Official Records Book 6263, Page 975. (ON SUBJECT PROPERTY, BLANKET IN NATURE.)
3. Covenants and restrictions contained in Warranty Deed recorded on 06/25/2015 in Official Records Book 6263, Page 916. (ON SUBJECT PROPERTY, BLANKET IN NATURE.)

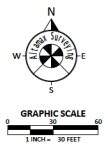


Table with 5 columns: Co., Service Area, Utility/Type(s), Contact, Alternate Contact, Emergency Contact. Lists various utility providers like CenturyLink, Zayo Group, and Sumter Electric.

ZONING INFORMATION: *NO ZONING INFORMATION WAS PROVIDED AT THE TIME OF SURVEY.

SIGNIFICANT OBSERVATIONS: WITHOUT EXPRESSING A LEGAL OPINION AS TO OWNERSHIP OR NATURE, THE FOLLOWING SIGNIFICANT OBSERVATIONS ARE NOTED. ADDITIONAL ITEMS MAY BE DESCRIBED HEREON THAT HAVE NOT BEEN INCLUDED IN THIS LIST.
[Symbol] * NW CORNER SOUTH LOT LINE

Altamax Surveying logo and contact information including address, phone, and website.

LAND AREA: 34,799 SQUARE FEET 1.2579 ACRES MORE OR LESS.

ALTA/NSPS Land Title Survey Certification

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2023 Minimum Standard Detail Requirement for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(A), 6(B), 7(A), 7(B), 8, 9, 10, 11, 16, and 17 of Table A thereof. The field work was completed on 09/29/2025.



Table for ADDRESS, Job Information, and Revisions. Includes fields for address, job number, date, and a table for recording revisions.

This Survey is "NOT VALID" unless the original signature and seal of this Florida Licensed Surveyor and Mapper, unless provided with electronic signature. The seal appearing on this document was authorized by the signing Professional Surveyor and Mapper on the Date of the electronic signature.



Marion County

Development Review Committee

Agenda Item

File No.: 2026-23544

Agenda Date: 7/6/2026

Agenda No.: 6.1.

SUBJECT:

Tractor Supply - Major Site Plan 33238 - Waiver to Major Site Plan in Review

Parcel #: 12438-002-01 # WaiverPIR-000981-2026

Dynamic Engineering

LDC 6.12.12 - Sidewalks

CODE states Sidewalks shall be provided in the Urban Area, Rural Activity Centers, and Specialized Commerce Districts along arterial, collector, and major local streets where these streets adjoin the project and minimally along one side of the internal streets. Sidewalks shall be constructed with all-weather surfaces and shall meet Americans with Disabilities Act, Florida Building Code, and FDOT Design Standards.

APPLICANT - The client request a waiver to pay a fee in-lieu of sidewalk construction because there are no existing sidewalks in the vicinity of the site along N US Hwy 27 nor along W Hwy 326.



SUBMITTAL SUMMARY REPORT 33238

PLAN NAME: TRACTOR SUPPLY BLITCHTON	LOCATION: 13019 N US HWY 27 OCALA,
APPLICATION DATE: 08/19/2025	PARCEL: 12438-002-01
DESCRIPTION: Waiver request for fee payment in-lieu of sidewalk construction.	

CONTACTS	NAME	COMPANY
Applicant	Dillon Goodell	
Engineer of Record	Dillon Goodell	

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Plan Review (DR) v.3	06/03/2026	06/10/2026	06/16/2026	Requires Re-submit
OCE: Plan Review (DR) v.2	02/26/2026	03/05/2026	03/26/2026	Requires Re-submit
OCE: Plan Review (DR) v.1	08/20/2025	09/03/2025	11/13/2025	Requires Re-submit
OCE: Plan Review (DR) v.4				Not Received

SUBMITTAL DETAILS

OCE: Plan Review (DR) v.3

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
911 Management (DR) (911 Management)	Jamie Waldron	06/10/2026	06/03/2026	Requires Re-submit
<i>Corrections</i>	Additional 911 Comments (Not Resolved) - Corrective Action: In the TSC – Blitchton FL – W Hwy 326 Landscape_2026-06-01ss_v3 set, Sheets TD-1, TD-2, LP-1, LP-2, LI-1, & LI-2 have N US HWY 27 incorrectly labeled as US HWY 27. Sheets LP-1 & LI-1 have W HWY 326 incorrectly labeled as County Road 326. - Additional Comments:			
<i>Comments</i>	In the TSC – Blitchton FL – W Hwy 326 Landscape_2026-06-01ss_v3 set, Sheets TD-1, TD-2, LP-1, LP-2, LI-1, & LI-2 have N US HWY 27 incorrectly labeled as US HWY 27. Sheets LP-1 & LI-1 have W HWY 326 incorrectly labeled as County Road 326.			
Environmental Health (Plans) (Environmental Health)	Evan Searcy	06/10/2026	06/05/2026	Approved
<i>Comments</i>	Will require well drilling permit through the Department of Health in Marion County. Septic system will need to be permitted through the Department of Environmental Protection.			
Fire Marshal (Plans) (Fire)	Jonathan Kenning	06/10/2026	06/03/2026	Approved
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Jared Rivera	06/10/2026	06/12/2026	Requires Re-submit
<i>Corrections</i>	2.12.5/1.8.2.F - Concurrency Deferral Statement (Resolved) - [INFO] Concurrency deferral statement provided. Concurrency is deferred to later development review stages, such as, but not limited to, building permit review. Please acknowledge.			
<i>Corrections</i>	2.12.24 - Landscape requirements/6.8.6 - Buffering (Not Resolved) - [6/8/26] Staff incorrectly indicated 8' minimum screening for garbage areas; only 6' is required. Understood that buffer waivers are no longer pursued. Please see mark-ups on landscaping plan and make appropriate adjustments to landscaping and civil plans. [INITIAL] (INFO) Please clarify garbage collection area screening will be 8' in height. Staff was not able to find arch plans as referenced in sheet C1.00. (NO) (1) Civil plan sheets indicate Type D buffer to east while landscaping plan sheets indicate Type C buffer. Type D buffer (inc. wall) is required. Please correct. (2) Staff notes waiver for buffer was heard on 3/5/26. Please provide results of all waivers on cover sheet. (3) Type C buffer required along DRA to south. See LDC Sec. 6.8.6 for COM-PUB buffer requirements.			
<i>Corrections</i>	2.12.4.L & Article 5 - Overlay zones (Resolved) - [INFO] (1) FEMA Flood Zone AE, X; (2) Secondary Springs Protection Zone; (3) No ESOZ			
<i>Corrections</i>	2.12 - Land Use Designation-subject property (Not Resolved) - [6/8/26] Instead of adding FLU designation after RAC in zoning row, please add separate row for FLU designation and indicate RAC. Zoning is RAC and FLU designation is RAC. [INITIAL] RAC zoning is indicated. Please indicate site has Rural Activity Center (RAC) Future Land Use (FLU) designation.			
<i>Corrections</i>	3.2.3/6.6/5.2.5 - RESIDENTIAL - Min/Max Density (Resolved) - [INFO] Residential development within the Rural Activity Centers permitted at a density of up to two dwelling units per gross acre			
<i>Corrections</i>	2.12.27 - Location & screening of outside storage (Resolved) - [INFO] Staff notes display area in front of proposed building. The display of farm tractors, machinery and equipment, farm irrigation equipment, horse trailers and farm wagons, which are for sale or lease, may be exhibited in the front setback. Pursuant to LDC Sec. 4.2.24.D(6), as clarified in LDC Section 4.2.15, screening for any other form of outdoor storage shall form a complete opaque screen up to a point eight feet in vertical height. Please acknowledge this comment.			
<i>Corrections</i>	2.12/4.2 - Lot setback (Resolved) - [6/8/26] Updated. [INITIAL] Please note that RAC zoning has front setbacks of 45', not 40'. Building still meets setbacks			
<i>Corrections</i>	2.12.16/6.5 - EALS or Exemption provided (Resolved) - [INFO] EALS dated to 9/17/25 submitted and transmitted to FWC.			
<i>Corrections</i>	2.12.5/1.8.2.D - Traffic Concurrency Evaluation? (Resolved) - [INFO] Please coordinate with OCE regarding necessary improvements as required by traffic impact analysis			

SUBMITTAL SUMMARY REPORT (33238)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	Jared Rivera	06/10/2026	06/12/2026	Requires Re-submit
<i>Comments</i>	Please see resolved comments for Planning/Zoning information comments. If you have any additional questions regarding this review, please contact jared.rivera@marionfl.org or 352-438-2687.			
Landscape (Plans) (Parks and Recreation)	Susan Heyen	06/10/2026	06/05/2026	Requires Re-submit
<i>Comments</i>	East Buffer does not meet type D requirements, see plans for markup			
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	06/10/2026	06/10/2026	Approved
OCE Property Management (Plans) (Office of the County Engineer)	DeLenie Roman	06/10/2026	06/09/2026	Informational
<i>Comments</i>	Owners Certification/Map checked. ----- IF APPLICABLE: Sec. 2.18.1.I - Show connections to other phases. Sec.2.19.2.H – Legal Documents Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc. Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate) For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public." Sec. 6.3.1.B.2 – Required Right of Way Dedication For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec. 6.3.1.D.3 - Cross Access Easements For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]." Sec. 6.3.1.C.1 - Utility Easements (select as appropriate) "[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider." Sec. 6.3.1.C.2 – Utility Easements "[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate: 1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities." 2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities." 3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk." Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]." - DR 6/9/26			
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	06/10/2026	06/03/2026	Requires Re-submit
<i>Corrections</i>	7.1.3.B. - Drainage Construction Specifications (Not Resolved) - LDC requires the use of RCP pipe for stormwater conveyance piping. To pursue using an alternative material, the engineer needs to submit a request identifying the alternative material type requested, verification that the material is included on the FDOT Approved Products List, and the site specific installation meets install criteria such as depth of cover and UV protection for pipe ends. County will review the request and provide feedback. Some pipes were not updated to RCP per comments response letter.			
<i>Corrections</i>	6.10 - Karst Topography and High Recharge Areas (Not Resolved) - Karst analysis needs to have the engineer's seal.			
<i>Corrections</i>	Additional Stormwater comments (Not Resolved) - (1) 2.12.38 <input type="checkbox"/> Stormwater Maintenance Entity - Please add a section for the owner to sign the owner's certification (2) Info: Please provide a copy of the NPDES permit or NOI as well as the district permit prior to construction. (3) Info: If you have questions or would like to discuss the stormwater review comments, please contact Alexander Turnipseed at (352) 671-8376 or at alexander.turnipseed@marionfl.org.			
<i>Corrections</i>	6.13.2.B(4) - Hydrologic Analysis (Not Resolved) - See comments under "6.13.2.B(6) <input type="checkbox"/> Freeboard"			
<i>Corrections</i>	6.13.4 - Stormwater Quantity Criteria (Not Resolved) - See comments under "6.13.2.B(6) <input type="checkbox"/> Freeboard"			
<i>Corrections</i>	6.13.4.D - Recovery Analysis (Not Resolved) - See comments under "6.13.2.B(6) <input type="checkbox"/> Freeboard"			
<i>Corrections</i>	6.13.2.B(6) - Freeboard (Not Resolved) - Minimum freeboard is 6 inches. None of the DRAs meet this requirement with the report showing DRA 3 overflows			

SUBMITTAL SUMMARY REPORT (33238)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	06/10/2026	06/03/2026	Requires Re-submit
<i>Corrections</i>	Final signed and sealed hard copy signature page (Not Resolved) - After all stormwater comments are resolved, please upload a scanned copy of the digitally signed and sealed certification page of the stormwater report. Alternatively, a hard copy can be submitted. If you choose to submit a hard copy, you only need to submit the certification page of the report. A full report is not necessary. However, full reports are accepted if desired.			
<i>Corrections</i>	6.13.4.C - Discharge Conditions (Not Resolved) - See comments under "6.13.2.B(6) □ Freeboard"			
<i>Corrections</i>	6.13.6 - Stormwater Quality Criteria (Not Resolved) - See comments under "6.13.2.B(6) □ Freeboard"			
<i>Corrections</i>	6.13.2.B(8) - Calculation & Plan Consistency (Not Resolved) - Info: This item will be reviewed upon resubmittal			
<i>Corrections</i>	6.13.2.A.12/6.12.5-Details, X-Sections, References (Not Resolved) - Label the pond cross sections so that they identify what DRA they are for			
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	06/10/2026	06/03/2026	Requires Re-submit
<i>Corrections</i>	6.4.7. Construction Plans - Survey Requirements (Not Resolved) - 6.4.7. Construction Plans - Survey Requirements: Survey information to support construction plans, including but not limited to Mass Grading, Improvement, or Major Site plans, shall meet requirements as set forth in Ch. 5J-17 FAC in addition to the following as identified in Section 6.4.7.A. through H. of the LDC. Provide information as noted on provided survey.			
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	06/10/2026	06/08/2026	Requires Re-submit
<i>Corrections</i>	6.11.4.B - Cross access (Not Resolved) - Corrective Action: Provide 24' wide paved public cross access easements along both US 27 and CR 326. The easement parallel to US 27 needs to connect the convenience store parking lot with the driveway on US 27. The easement parallel to CR 326 needs to connect the the convenience store parking lot with the proposed driveway on CR 326 and extend to the eastern property line. Show the paved cross access easement on the plans. The cross access easement template can be obtained by contacting the Deveopment Review Office at developmentreview@marionfl.org or 352-671-8686. The executed easement and recording fees must be provided to the Development Review Office prior to plan approval. - 6.11.4.B - Cross access: Provide a 24' wide paved cross access easement as specified in 6.11.4.B			
<i>Corrections</i>	6.11.5 - Driveway access (Not Resolved) - Corrective Action: It appears this parcel is being developed by Blichton One LLC which owns the corner lot containing the convenience store. Since there is common ownership the two parcels must be treated as one for access purposes. The driveways for the corner parcel need to be closed and a 24' wide paved cross access easement must be constructed from the two proposed driveways across convenience store parcel to allow access through the proposed driveways. - 6.11.5 - Driveway access: The driveways must meet the requirements of section 6.11.5.			
<i>Corrections</i>	6.12.12 - Sidewalks (Not Resolved) - Corrective Action: The Development Review Committee must approve the option to pay a fee in-lieu of sidewalk construction through the waiver process. If approved by the DRC the fee comes out to \$20,712.25 and must be paid prior to plan approval. - 6.12.12 - Sidewalks: Show sidewalk on the plans as required in section 6.12.12.			
<i>Comments</i>	None of the previous comments were addressed. Please review the detailed corrective action underneath the comments and come to the Thursday morning DRC staff meeting to discuss how to resolve the comments.			
Utilities (OCE Plans) (Utilities)	Heather Proctor	06/10/2026	06/03/2026	Approved
<i>Corrections</i>	6.16.4 - Wastewater Collection Systems (Resolved) - Corrective Action: Onsite septic system(s) permitted - Per Marion County Land Development Code 6.14.2(D)(2)(c) If all buildable lots at build out are five acres or greater, the development may utilize an OSTDS that meets state requirements and Section 6.14.3. - 6.16.4 - Wastewater Collection Systems:			
<i>Corrections</i>	6.15.10 - Water Treatment Plants (Resolved) - Corrective Action: Private Well allowed - Per Marion County Land Development Code 6.14.2(D)(1) The project may use individual on-site wells if:(a)The project contains 31 units or less with a gross density no greater than one unit per 3.5 acres and a minimum lot size of one acre; or(b)All lots contain a minimum buildable area of two acres. - 6.15.10 - Water Treatment Plants:			
<i>Corrections</i>	Parcel numbers match project area (Resolved) - Corrective Action: Correct Parcel Number and project area locations on cover sheet - 12438-002-01 - Parcel numbers match project area: The parcels(s) shown on the application and/or site plan must match the project area.			
<i>Corrections</i>	6.14.2 - Connection Requirements (Resolved) - Corrective Action: Parcel 12438-002-01 is within the Marion County Utility service area, but currently 30,000+ feet away from public water or sewer. - 6.14.2 - Connection Requirements:			
<i>Corrections</i>	Additional Utilities Comments (Resolved) - Corrective Action: Well and septic are shown on the Utility Plan C.400 Informational: Marion County Utilities will not be providing public water to this project. Please defer to Marion County Fire Rescue for any fire requirements. - Additional Utilities Comments			
<i>Corrections</i>	Review Fee as applicable (per Resolution) (Resolved) - Corrective Action: \$130.00 Initial Plan Review - Review Fee as applicable (per Resolution): MCU review fee for this submittal			
<i>Comments</i>	Previously approved. Parcel 12438-002-01 is within the Marion County Utility service area, but outside of connection distance. Site to be served as shown by private well and on-site septic systems			

SUBMITTAL SUMMARY REPORT (33238)

eREVIEW SESSION FILES:

- 2026 01 20 - TSC Blitchton, FL - Site Lighting Plan.pdf
- 2026.05.14 - Blichton Drainage Report.pdf
- 2026.05.28 - TSC Blitchton - Marion County - CRL.pdf
- 2026-05-28 Transmittal - Primax Ocala - Marion County.pdf
- 212972601870ESMT_prelim_2026-5-26.pdf
- 24-0221_ALTA_rev260105_esig.pdf
- 45568-SE CR 326 Lot.pdf
- File Category Placeholder.pdf
- TSC - Blitchton FL - W Hwy 326 Landscape_2026-01-28ss.pdf

REVIEWER	MARKUP	DATE/TIME	FILE NAME	PG #
Theresa S.	<p>Sec. 6.4.7. - Construction plans. Survey information to support construction plans, including but not limited to Mass Grading, Improvement, or Major Site plans, shall meet requirements as set forth in Ch. 5J-17 FAC in addition to the following: B. Horizontal control shall be provided and meet the following: (1) All surveys submitted for the purpose of construction shall show a minimum of two intervisible horizontal control points per site. For linear construction, horizontal control points shall be set at no greater than 1,000-foot intervals and at every change of direction. For large acreage sites, horizontal control points shall include all boundary corners and additional horizontal control points as may be required by the County Surveyor not to exceed a ratio of two intervisible horizontal control points per 20 acres. (2) Horizontal control points shall be monumented and referenced to the Florida State Plane Coordinate System based on a current datum approved by the Office of the County Engineer. (3) Florida State Plane Coordinate values shall be derived from redundant measurements that meet or exceed Third Order, Class I accuracy standards as set forth by the Federal Geodetic Control Committee (FGCC). (4) Plans shall have a statement or table detailing horizontal datum, adjustment, and coordinate values including the origin points with name of the agency responsible for establishing the point, with the date of the field survey used to establish the State Plane information shown. One copy of the horizontal control notes along with reduction reports shall be submitted to the Office of the County Engineer for review. (5) When using stationing, all control points shall be referenced to station and offset information. If multiple line stationing exists, the basis for the station and offsets shall be clearly defined.</p>	06/03/2026 9:05	AM24-0221_ALTA_rev260105_esig.pdf	



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

Development Review Committee Waiver Request Form

Per Section 2.10.1. of the Land Development Code: The Development Review Committee (DRC) may waive certain code requirements when not applicable to the proposed type of development or where alternative standards may promote flexibility, economical flexibility, and environmental soundness in layout and design.

Waiver requests and required documentation may be submitted through Civic Access. Waiver requests will not be processed without required information and applicable fees paid. Please be specific with all entries below.

Section Number & Title of Code:

Section 6.12.12 - Sidewalks

Section Details from Code:

Sidewalks shall be provided in the Urban Area, Rural Activity Centers, and Specialized Commerce Districts along arterial, collector, and major local streets where these streets adjoin the project and minimally along one side of the internal streets. Sidewalks shall be constructed with all-weather surfaces and shall meet Americans with Disabilities Act, Florida Building Code, and FDOT Design Standards.

Reason/Justification for Request:

There are no existing sidewalks in the vicinity of the site along N US HWY 27 nor along W HWY 326. The client wishes to pay a fee in-lieu of sidewalk construction.

Section Number & Title of Code:

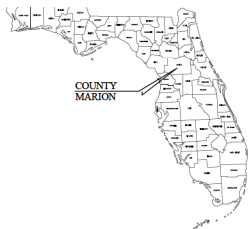
Section Details from Code:

Reason/Justification for Request:

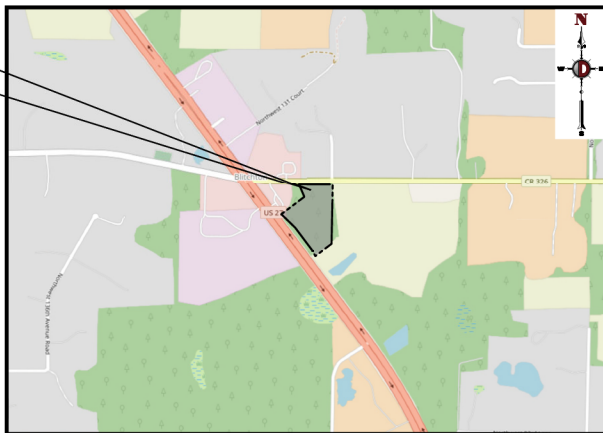
MAJOR SITE PLANS FOR TRACTOR SUPPLY COMPANY - OCALA

PARCEL ID# 12438-002-01
W HIGHWAY 326 & N US HWY 27
OCALA, FLORIDA 34482

PREPARED FOR:
PRIMAX PROPERTIES, LLC
JANUARY 2026



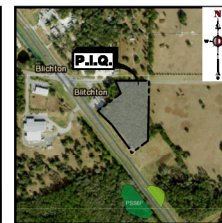
PROJECT LOCATION



VICINITY MAP
SCALE: 1" = 500'
SECTION 18, TOWNSHIP 14S, RANGE 20E



USGS MAP
1" = 1000'



WETLANDS MAP
1" = 500'

DRAWING INDEX	
0100	GENERAL NOTES
0200	EXISTING UTILITIES
0300	PROPOSED UTILITIES
0400	PROPOSED PAVEMENT
0500	PROPOSED CONCRETE
0600	PROPOSED ASPHALT
0700	PROPOSED GRAVEL
0800	PROPOSED EROSION CONTROL
0900	PROPOSED LANDSCAPE
1000	PROPOSED LIGHTING
1100	PROPOSED SIGNAGE
1200	PROPOSED FENCE
1300	PROPOSED SECURITY
1400	PROPOSED SAFETY
1500	PROPOSED MAINTENANCE
1600	PROPOSED UTILITIES
1700	PROPOSED CONCRETE
1800	PROPOSED ASPHALT
1900	PROPOSED GRAVEL
2000	PROPOSED EROSION CONTROL
2100	PROPOSED LANDSCAPE
2200	PROPOSED LIGHTING
2300	PROPOSED SIGNAGE
2400	PROPOSED FENCE
2500	PROPOSED SECURITY
2600	PROPOSED MAINTENANCE
2700	PROPOSED UTILITIES
2800	PROPOSED CONCRETE
2900	PROPOSED ASPHALT
3000	PROPOSED GRAVEL
3100	PROPOSED EROSION CONTROL
3200	PROPOSED LANDSCAPE
3300	PROPOSED LIGHTING
3400	PROPOSED SIGNAGE
3500	PROPOSED FENCE
3600	PROPOSED SECURITY
3700	PROPOSED MAINTENANCE
3800	PROPOSED UTILITIES
3900	PROPOSED CONCRETE
4000	PROPOSED ASPHALT
4100	PROPOSED GRAVEL
4200	PROPOSED EROSION CONTROL
4300	PROPOSED LANDSCAPE
4400	PROPOSED LIGHTING
4500	PROPOSED SIGNAGE
4600	PROPOSED FENCE
4700	PROPOSED SECURITY
4800	PROPOSED MAINTENANCE
4900	PROPOSED UTILITIES
5000	PROPOSED CONCRETE
5100	PROPOSED ASPHALT
5200	PROPOSED GRAVEL
5300	PROPOSED EROSION CONTROL
5400	PROPOSED LANDSCAPE
5500	PROPOSED LIGHTING
5600	PROPOSED SIGNAGE
5700	PROPOSED FENCE
5800	PROPOSED SECURITY
5900	PROPOSED MAINTENANCE
6000	PROPOSED UTILITIES
6100	PROPOSED CONCRETE
6200	PROPOSED ASPHALT
6300	PROPOSED GRAVEL
6400	PROPOSED EROSION CONTROL
6500	PROPOSED LANDSCAPE
6600	PROPOSED LIGHTING
6700	PROPOSED SIGNAGE
6800	PROPOSED FENCE
6900	PROPOSED SECURITY
7000	PROPOSED MAINTENANCE
7100	PROPOSED UTILITIES
7200	PROPOSED CONCRETE
7300	PROPOSED ASPHALT
7400	PROPOSED GRAVEL
7500	PROPOSED EROSION CONTROL
7600	PROPOSED LANDSCAPE
7700	PROPOSED LIGHTING
7800	PROPOSED SIGNAGE
7900	PROPOSED FENCE
8000	PROPOSED SECURITY
8100	PROPOSED MAINTENANCE
8200	PROPOSED UTILITIES
8300	PROPOSED CONCRETE
8400	PROPOSED ASPHALT
8500	PROPOSED GRAVEL
8600	PROPOSED EROSION CONTROL
8700	PROPOSED LANDSCAPE
8800	PROPOSED LIGHTING
8900	PROPOSED SIGNAGE
9000	PROPOSED FENCE
9100	PROPOSED SECURITY
9200	PROPOSED MAINTENANCE
9300	PROPOSED UTILITIES
9400	PROPOSED CONCRETE
9500	PROPOSED ASPHALT
9600	PROPOSED GRAVEL
9700	PROPOSED EROSION CONTROL
9800	PROPOSED LANDSCAPE
9900	PROPOSED LIGHTING
10000	PROPOSED SIGNAGE

PROJECT CONTACTS:
OWNER OF RECORD:
DYNAMIC ENGINEERING CONSULTANTS, P.C.
471 MAIN STREET (OFFICE BUILDING), 1ST FLOOR
OCALA, FL 34482
(772) 474-0000, EXT. 6501
CONTACT: JILLIAN GOODSELL, P.E.

AGENCY CONTACTS:
PLANNING AND ZONING:
MARION COUNTY PLANNING & ZONING
2710 E. SUNNY SPRINGS BLVD.
OCALA, FL 34471
(352) 438-5000
CONTACT: BRUCE VARRON

LAND DEVELOPMENT:
OFFICE OF THE COUNTY ENGINEER
417 E. 20TH AVENUE
OCALA, FL 34471
(352) 471-8983
CONTACT: STEVEN CONDON

THE INSURE:
MARION COUNTY FIRE DEPARTMENT
2631 SE 3RD STREET
OCALA, FL 34471
(352) 291-8000
CONTACT: JAMES BANTA

LANDSCAPE ARCHITECT:
DESIGNER DESIGN GROUP
8270 WOODLAND CENTER BLDG
TAMPA, FL 33614
(800) 685-6630
CONTACT: MARY BATES

SOILS/GEOTECH:
MILNERSON, LLC
2225 53RD AVENUE
VENO BEACH, FL 32966
(772) 339-1858
CONTACT: WILLIAM WRIGHT, PSM

GEOTECHNICAL ENGINEER:
EES FLORIDA, LLC
11554 SHAW CROSS COURT
JACKSONVILLE, FL 32256
(904) 980-0900
CONTACT: JARED HITE, PE

SOILS/FOUNDATION ENGINEER:
DYNAMIC EARTH, LLC
100 NE 3TH AVE, SUITE 82
DEER BEACH, FL 33445
(561) 821-8570
CONTACT: PATRICK GRANITANI, PE, BCPE, PMP

OWNER:
GORDON H. BUTCH SR.
TRUSTEE OF THE GORDON H. BUTCH SR.
TRUST AGREEMENT
692 FRODOX AVENUE
WINTER PARK, FL 32789-5023

PREPARED BY
DYNAMIC ENGINEERING CONSULTANTS, P.C.
100 N.E. 5th AVENUE - SUITE B2
DELRAY BEACH, FLORIDA 33483
WWW.DYNAMICCEC.COM

DYNAMIC ENGINEERING CONSULTANTS, P.C.
LAND DEVELOPMENT CONSULTING • PLANNING
GEOGRAPHICAL • ENVIRONMENTAL
TRAFFIC • SAFETY • PLANNING & ZONING

100 NE 5th Avenue
Suite B2
Deer Beach, FL 33445
T: 844 931 8870
F: 561 821 8570
www.dynamiccec.com

This item has been digitally signed and sealed by Dillon J. Goodell on the date adjacent to the seal:
2026.06.01 15:07:57-0400Z

MICHAEL D. MILES
PROFESSIONAL ENGINEER
FLORIDA LICENSE NO. 61913

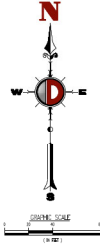
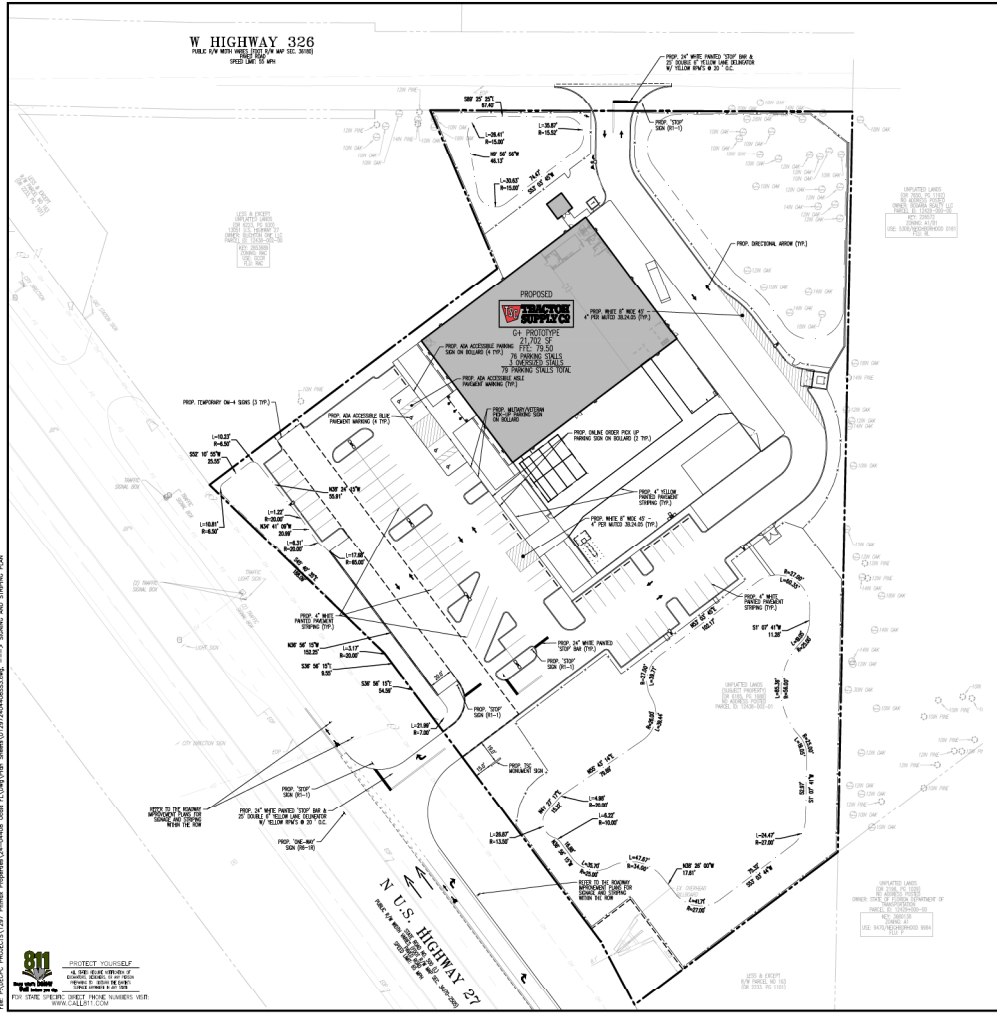
TITLE:
COVER SHEET

DATE: 08/25/2025
PROJECT: 12438-002-01-04-008

HEET NO. **C0.00** OF **3**

PROJECT: 12438-002-01-04-008
DRAWING: COVER SHEET
DATE: 08/25/2025
PROJECT: 12438-002-01-04-008
DRAWING: COVER SHEET
DATE: 08/25/2025

W HIGHWAY 326
PUBLIC FOR WEST HALF SECTION 34, T4N, R23E, S20E




HORIZONTAL CONTROL & STRIPING NOTES

1. ALL CURBS IN THE STRIPING ZONE SHALL BE CONSIDERED TO BE 18\"/>

SIGNING & STRIPING LEGEND

- PROPOSED 12\"/> WHITE PAVED STOP SIGN AND 12\"/> SIGN ON 12\"/> SIGN
- SIGN ON 12\"/> SIGN"/> PROPOSED 12\"/> SIGN ON 12\"/> SIGN
- PROPOSED SIGN
- PROPOSED WHITE PAVED STRIPING WITH PROPOSED STRIPING
- LAYERED WHITE PAVED STRIPING (NOT FOR THIS PROJECT)



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Duluth, GA 30015
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www.dynamiceng.com

DILLON J. GOODELL
PROFESSIONAL ENGINEER
FLORIDA LICENSE NO. 11487
DATE:

MICHAEL D. MILES
PROFESSIONAL ENGINEER
FLORIDA LICENSE NO. 61111
DATE:

TITLE: SIGNING AND STRIPING PLAN

DATE: 08/25/2023
PROJECT: 1337-24-04408

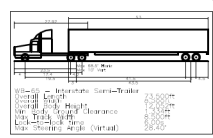
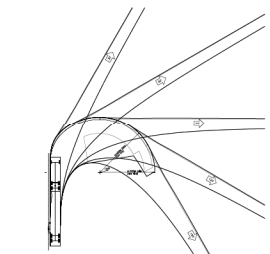
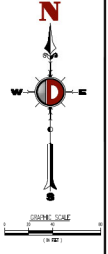
NO. **C1.02** OF **3**

811 PROTECT YOURSELF
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www.callbeforeyoudig.com

W HIGHWAY 326
 PUBLIC ROAD DISTRICT 100, BOX 300
 75050-0300

PROPOSED
WALSH SUPPLY
 27,700 SQ. FT.
 PFC 79.50

N U.S. HIGHWAY 27
 PUBLIC ROAD DISTRICT 100, BOX 300
 75050-0300



PROJECT NO. 2023-001
 PROJECT NAME: WALSH SUPPLY
 PROJECT LOCATION: 27,700 SQ. FT. PFC 79.50
 PROJECT DATE: 08/05/2023
 PROJECT DRAWN BY: [Name]
 PROJECT CHECKED BY: [Name]
 PROJECT APPROVED BY: [Name]
 PROJECT SCALE: AS SHOWN
 PROJECT SHEET NUMBER: 3
 PROJECT TOTAL SHEETS: 3
 PROJECT DATE: 08/05/2023
 PROJECT TIME: 1:37:24-04408
 PROJECT FILE: C1.03

PROTECT YOURSELF
 ALWAYS WEAR YOUR SEATBELT
 NEVER DRINK AND DRIVE
 ALWAYS USE YOUR SAFETY BELT
 ALWAYS WEAR YOUR SEATBELT
 NEVER DRINK AND DRIVE
 ALWAYS USE YOUR SAFETY BELT



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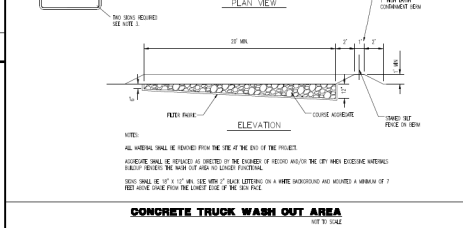
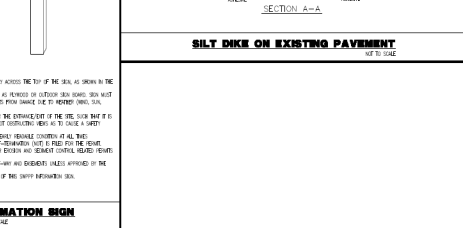
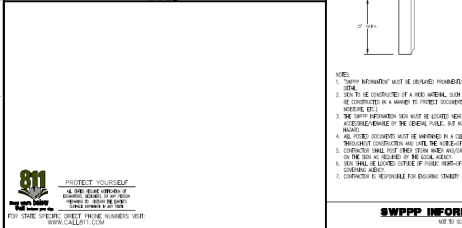
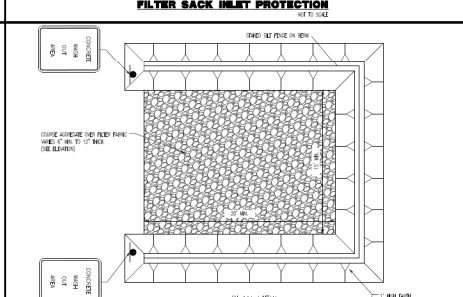
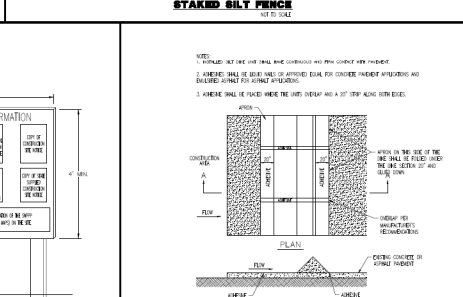
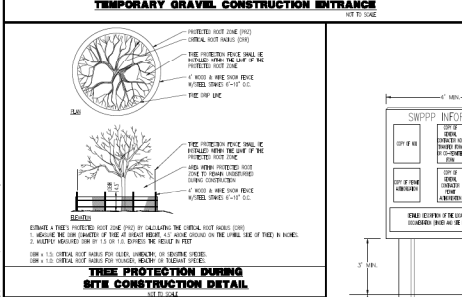
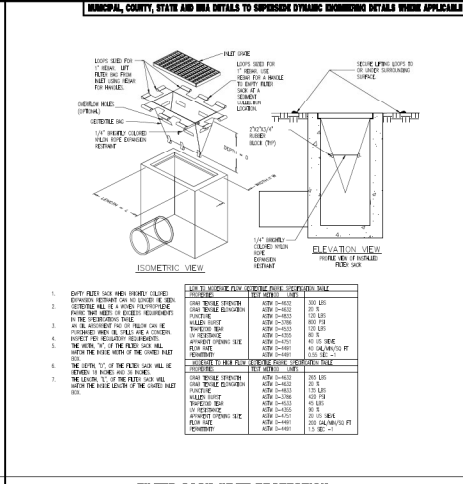
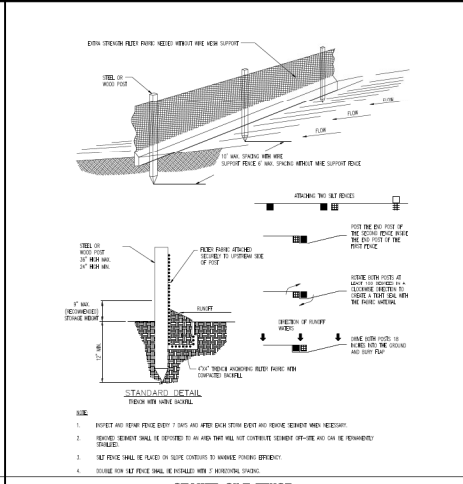
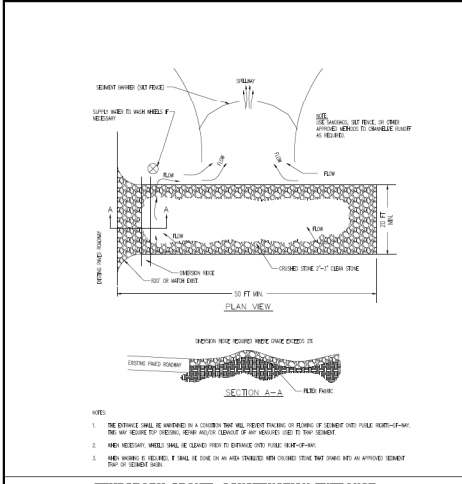
DILLON J. GOODSELL
 PROFESSIONAL ENGINEER
 LICENSE NUMBER: 101187
 DATE:

MICHAEL D. MILES
 PROFESSIONAL ENGINEER
 LICENSE NUMBER: 61113
 DATE:

TITLE: **VEHICLE CIRCULATION PLAN (DELIVERY)**

DATE: 08/05/2023
 TIME: 1:37:24-04408

FILE: **C1.03** SHEET: **3**



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Dulles, Virginia 22024
Tel: 703.271.8870

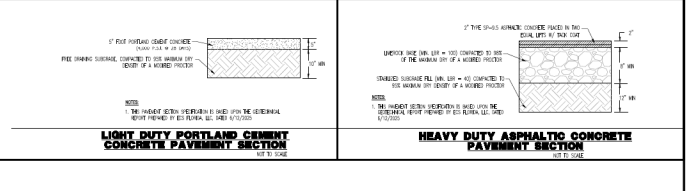
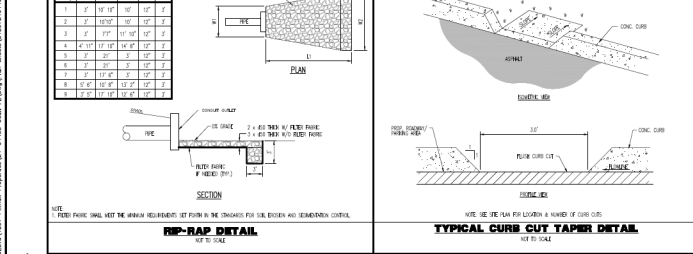
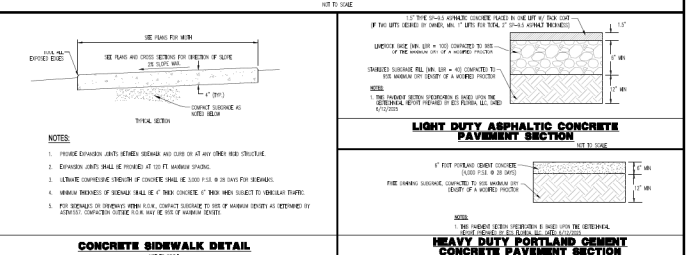
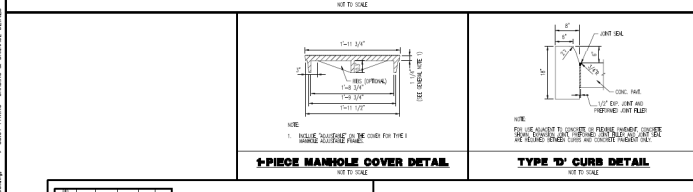
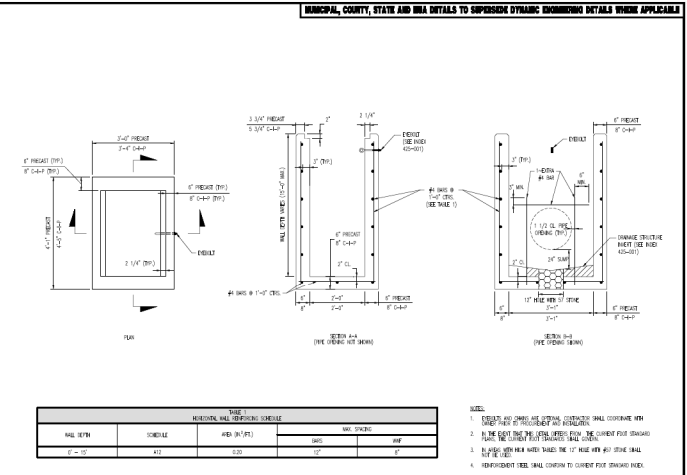
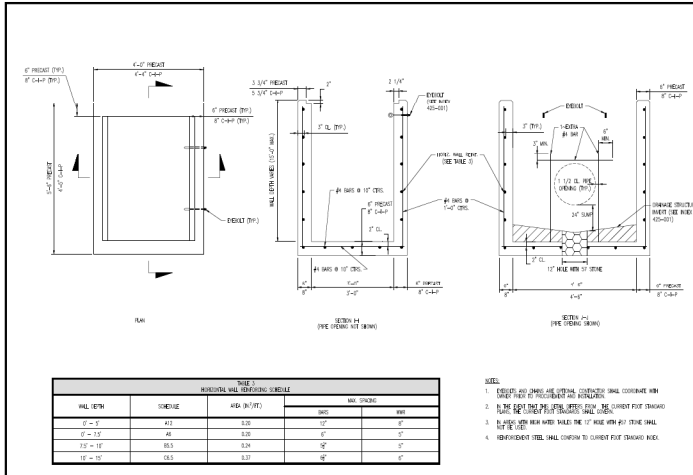
DILLON J. GOODELL
PROFESSIONAL ENGINEER
LICENSE NUMBER: 40101

MICHAEL D. MILES
PROFESSIONAL ENGINEER
LICENSE NUMBER: 40101

FILE: EROSION AND SEDIMENT CONTROL DETAILS


DATE: 08/05/2025
PROJECT: 1337-24-04408

C2.02



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USE THE SAFETY INFORMATION
ON THE BACK OF THIS SHEET.
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HARMFUL SUBSTANCES.
SEE THE SAFETY INFORMATION
ON THE BACK OF THIS SHEET.
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HARMFUL SUBSTANCES.
SEE THE SAFETY INFORMATION
ON THE BACK OF THIS SHEET.

MUNICIPAL, COUNTY, STATE AND BIA DETAILS TO SUPPLEMENT DYNAMIC ENGINEERING DETAILS WHEN APPLICABLE



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Denver, CO 80231
Tel: 303.440.8870
www.dynamiceng.com

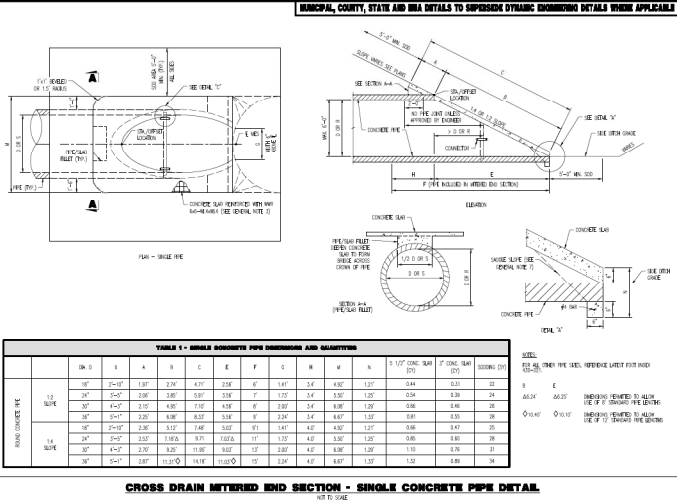
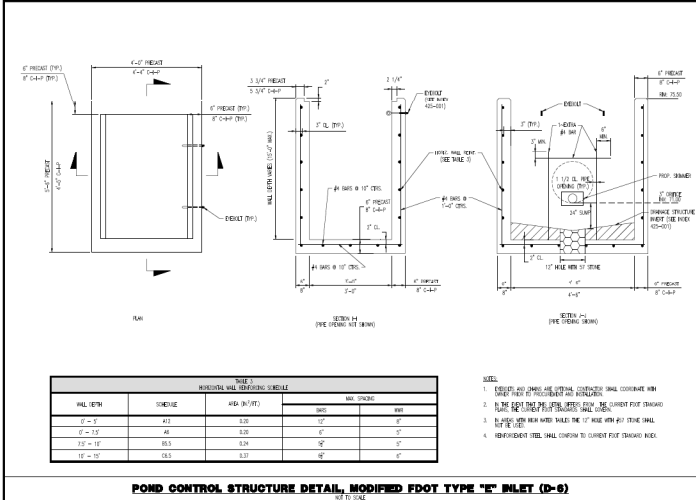
DILLON J. GOODELL
PROFESSIONAL ENGINEER
LICENSE NUMBER: 101010

MICHAEL D. MILES
PROFESSIONAL ENGINEER
LICENSE NUMBER: 101010

FILE: PAVING, GRADING & DRAINAGE DETAILS

DATE: 08/25/2025
PROJECT: 1337-24-04408

HEET NO: **C3.01** OF 3



POND CONTROL STRUCTURE DETAIL, MODIFIED FDOT TYPE "E" INLET (D-6)

CROSS DRAIN METERED END SECTION - SINGLE CONCRETE PIPE DETAIL

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100 NE 8th Avenue
Suite 101
Doral, Florida 33126
T: 305.951.8870
F: 305.951.8871
www.dynamiceng.com

DILLON J. GOODELL
PROFESSIONAL ENGINEER
FLORIDA LICENSE NO. 12127

MICHAEL D. MILES
PROFESSIONAL ENGINEER
FLORIDA LICENSE NO. 61113

TITLE: PAVING, GRADING & DRAINAGE DETAILS

DATE: 08/25/2025
PROJECT: 1337-24-04408

HEET NO. **C3.02** OF 3

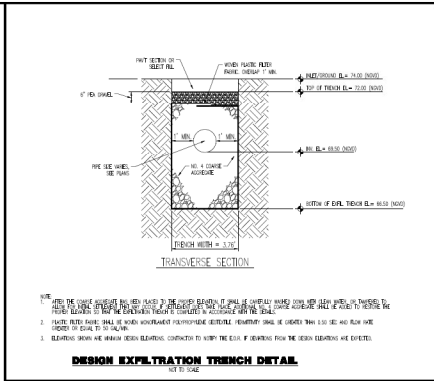
PROJECT: 1337-24-04408
SHEET: C3.02 OF 3
DATE: 08/25/2025
PROJECT: 1337-24-04408

PROTECT YOURSELF
USE THE QR CODE TO VERIFY THE PROJECT'S STATUS AND THE ENGINEER'S LICENSE STATUS.

PROJECT: 1337-24-04408
SHEET: C3.02 OF 3
DATE: 08/25/2025
PROJECT: 1337-24-04408

PROJECT: 1337-24-04408
SHEET: C3.02 OF 3
DATE: 08/25/2025
PROJECT: 1337-24-04408

Plotted: 08/02/2025 - 2:43 PM, by: Administrator, Plot: 13, Project: 13, Sheet: 03 of 03, Date: 08/02/2025, Time: 2:43 PM, User: Administrator, Plot: 13, Project: 13, Sheet: 03 of 03, Date: 08/02/2025, Time: 2:43 PM, User: Administrator

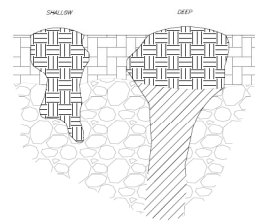


1. AFTER THE TRENCH IS EXCAVATED, THE TRENCH SHOULD BE EXCAVATED TO A MINIMUM OF 18\"/>

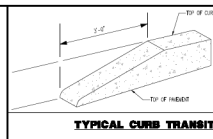
DESIGN EXFILTRATION TRENCH DETAIL
NOT TO SCALE

MUNICIPAL, COUNTY, STATE AND BIA DETAILS TO SUPPLEMENT DYNAMIC ENGINEERING DETAILS WHERE APPLICABLE


- NOTES: THE FOLLOWING SHALL BE PERFORMED IN THE EVENT ANY KARST FEATURES FORM DURING CONSTRUCTION OF THE SOLUTION TRENCH, CHANNEL, OR DRAINAGE:
1. NOTIFY THE BIA AND MUNICIPAL ENGINEERS AND THE APPLICABLE MUNICIPAL OR COUNTY PUBLIC WORKS DEPARTMENT IF ANY OF THE FEATURES ARE DISCOVERED. THE METHOD OF REPAIR SHALL BE DETERMINED FOR PERMANENT, TEMPORARY, AND TEMPORARY REPAIR.
 2. SHALLOW KARST FEATURES ARE TYPICALLY LESS THAN 4\"/>



KARST FEATURE REPAIR DETAIL
SCALE: NTS



TYPICAL CURB TRANSITION DETAIL
NOT TO SCALE



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DILLON J. GOODELL
PROFESSIONAL ENGINEER
FLORIDA LICENSE NO. 91997
STATE: FL

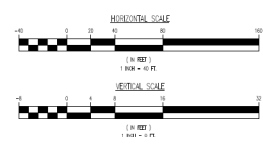
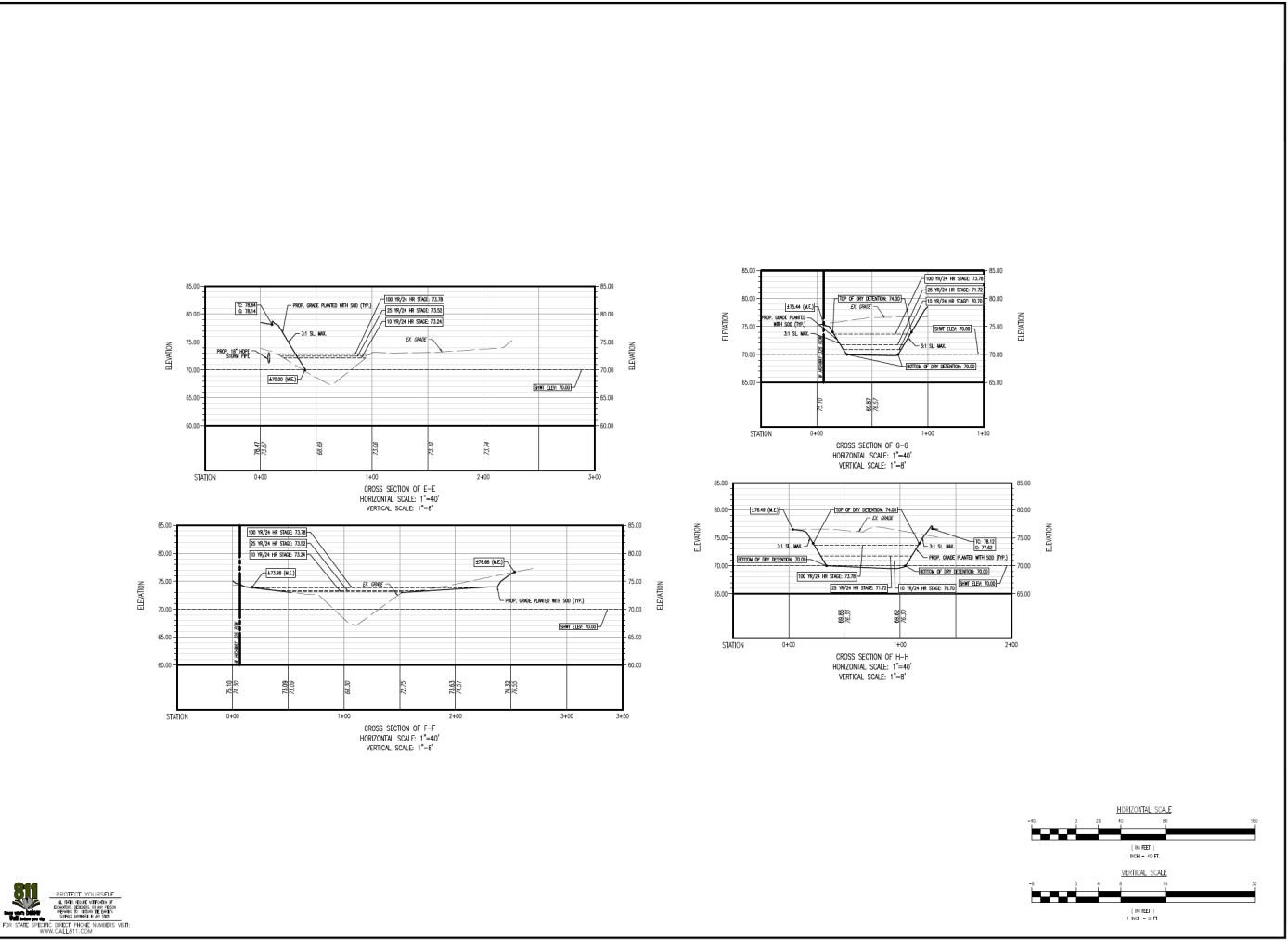
MICHAEL D. MILES
PROFESSIONAL ENGINEER
FLORIDA LICENSE NO. 61113
STATE: FL

TITLE: PAVING, GRADING & DRAINAGE DETAILS

DATE NOTED: 08/05/2025
PROJECT NO: 1337-24-04408

NET No: **C3.03** of 3

Printed: 08/02/2025 10:24:43 AM, Plot: 08/02/2025 10:24:43 AM, Project: 1337-24-04408, Sheet: 3 of 3, Scale: 1"=40', Date: 08/02/2025





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DATE	BY	CHECKED	APPROVED	SCALE

PROJECT: MAJOR SITE PLAN
 PROJECT NO: 1337-24-04408
 SHEET NO: 3 OF 3

DILLON J. GOODELL
 PROFESSIONAL ENGINEER
 LICENSE NO. 10107
 DATE

MICHAEL D. MILES
 PROFESSIONAL ENGINEER
 LICENSE NO. 61111
 DATE

TITLE: CROSS SECTIONS

DATE: 08/05/2025
 PROJECT: 1337-24-04408

SHEET NO: **C3.05** OF 3

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Marion County

Development Review Committee

Agenda Item

File No.: 2026-23545

Agenda Date: 7/6/2026

Agenda No.: 6.2.

SUBJECT:

Modern Day - Single Family Residence - Waiver Request to Connection Requirements

Parcel #: 8006-0592-01 # WaiverSTA-000932-2026

Modern Day Construction Services, Inc.

LDC 6.14.2.B(1)(a) Connection requirements

CODE states New development in the Urban or Rural area shall connect to a centralized water system with available capacity if a water line is within a connection distance of 400 feet times the total number of Equivalent Residential Connections (ERCs)

APPLICANT requests a waiver from the requirements of Marion County Land Development Code Section 6.14.2 requiring connection to the public water system. The subject property is proposed for a single-family residential dwelling. Marion County Utilities has indicated that compliance would require the extension of approximately 250 linear feet of water main at an estimated cost of \$25,000, in addition to meter and connection fees. Due to the significant cost associated with extending the public water main to serve a single-family residence, the applicant respectfully requests approval to utilize a private potable well as the primary water source for the property in lieu of extending the public water system. The proposed well will be permitted and installed in accordance with all applicable Marion County, Florida Department of Environmental Protection, and Water Management District requirements. The requested waiver will allow reasonable development of the property while maintaining compliance with all applicable health and safety standards.



SUBMITTAL SUMMARY REPORT Waiver STA-000932-2026

PLAN NAME: Water Main waiver **LOCATION:** 0
APPLICATION DATE: 06/17/2026 **PARCEL:** 8006-0592-01
DESCRIPTION: The applicant requests a waiver from the requirements of Marion County Land Development Code Section 6.14.2 requiring connection to the public water system.

The subject property is proposed for a single-family residential dwelling. Marion County Utilities has indicated that compliance would require the extension of approximately 250 linear feet of water main at an estimated cost of \$25,000, in addition to meter and connection fees.

Due to the significant cost associated with extending the public water main to serve a single-family residence, the applicant respectfully requests approval to utilize a private potable well as the primary water source for the property in lieu of extending the public water system.

The proposed well will be permitted and installed in accordance with all applicable Marion County, Florida Department of Environmental Protection, and Water Management District requirements. The requested waiver will allow reasonable development of the property while maintaining compliance with all applicable health and safety standards.

Supporting utility maps and related documentation are attached for review.

Respectfully submitted,

Modern Day Construction Services Inc.

CONTACTS	NAME	COMPANY
Applicant	EUGENE CLINTON	MODERN DAY CONSTRUCTION SERVICES INC
Applicant	EUGENE CLINTON	MODERN DAY CONSTRUCTION SERVICES INC

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
OCE: Waiver Request Review v.1	06/18/2026	06/29/2026	06/30/2026	Approved

SUBMITTAL DETAILS

OCE: Waiver Request Review v.1

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Environmental Health (Plans) (Environmental Health)	Evan Searcy	06/29/2026	06/25/2026	Informational
<i>Comments</i> Defer to Marion County Utilities decision. If private well is allowed than a permit will be required through the Department of Health in Marion County.				
Fire Marshal (Plans) (Fire)	Anthony Marino	06/29/2026	06/18/2026	Approved
<i>Comments</i> Defer to Marion County Utilities.				
Growth Services Planning & Zoning (DR) (GS Planning and Zoning)	sarah wells	06/29/2026	06/18/2026	Informational
<i>Comments</i> Defer to MCU				
Landscape (Plans) (Parks and Recreation)	Susan Heyen	06/29/2026	06/18/2026	Not Required
OCE Design (Plans) (Office of the County Engineer)	Gerald Koch	06/29/2026	06/26/2026	Approved
<i>Comments</i> Defer to Utilities				
OCE Property Management (Plans) (Office of the County Engineer)		06/29/2026	06/30/2026	Not Required
<i>Comments</i> ROW is not a reviewer for this type of plan. - DR 6/30/26				
OCE Stormwater (Permits & Plans) (Office of the County Engineer)	Alexander Turnipseed	06/29/2026	06/18/2026	Informational
<i>Comments</i> Defer to Marion County Utilities. Note: If the connection to water is required via WM, please ensure Contractor restores the ROW back to existing grade.				
OCE Survey (Plans) (Office of the County Engineer)	Theresa Smail	06/29/2026	06/22/2026	Not Required
OCE Traffic (Permits & Plans) (Office of the County Engineer)	Chris Zeigler	06/29/2026	06/18/2026	Not Required

SUBMITTAL SUMMARY REPORT (Waiver STA-000932-2026)

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Utilities (OCE Plans) (Utilities)	Heather Proctor	06/29/2026	06/25/2026	Informational

Comments Marion County Utilities does not support this waiver request.

Per the Marion County Land Development Code 6.14.2(a)(3), "When property is within connection distance to water, the water main shall be extended to the farthest property line by Developer. Refer to Sec. 6.15.3.B for fire hydrant installation requirements."

Additionally, per 6.14.2(b)(a), "New development in the Urban or Rural area shall connect to a centralized water system with available capacity if a water line is within a connection distance of 400 feet times the total number of Equivalent Residential Connections (ERCs)."

This parcel is located approximately 130 feet from the nearest public water main, which is well within the required 400-foot connection distance. Therefore, the development is required to extend the water main to the farthest property line, a total of 250', and connect to the public water system in accordance with the Land Development Code.



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

Development Review Committee Waiver Request Form

Per Section 2.10.1. of the Land Development Code: The Development Review Committee (DRC) may waive certain code requirements when not applicable to the proposed type of development or where alternative standards may promote flexibility, economical flexibility, and environmental soundness in layout and design.

Waiver requests and required documentation may be submitted through Civic Access. Waiver requests will not be processed without required information and applicable fees paid. Please be specific with all entries below.

Section Number & Title of Code:

Land Development Code Section 6.14.2(B)(1)(a) – Connection to Public Water System

Section Details from Code:

Properties located within the required connection distance of an existing public water system must extend and connect to the public water main in accordance with Marion County Land Development Code requirements.

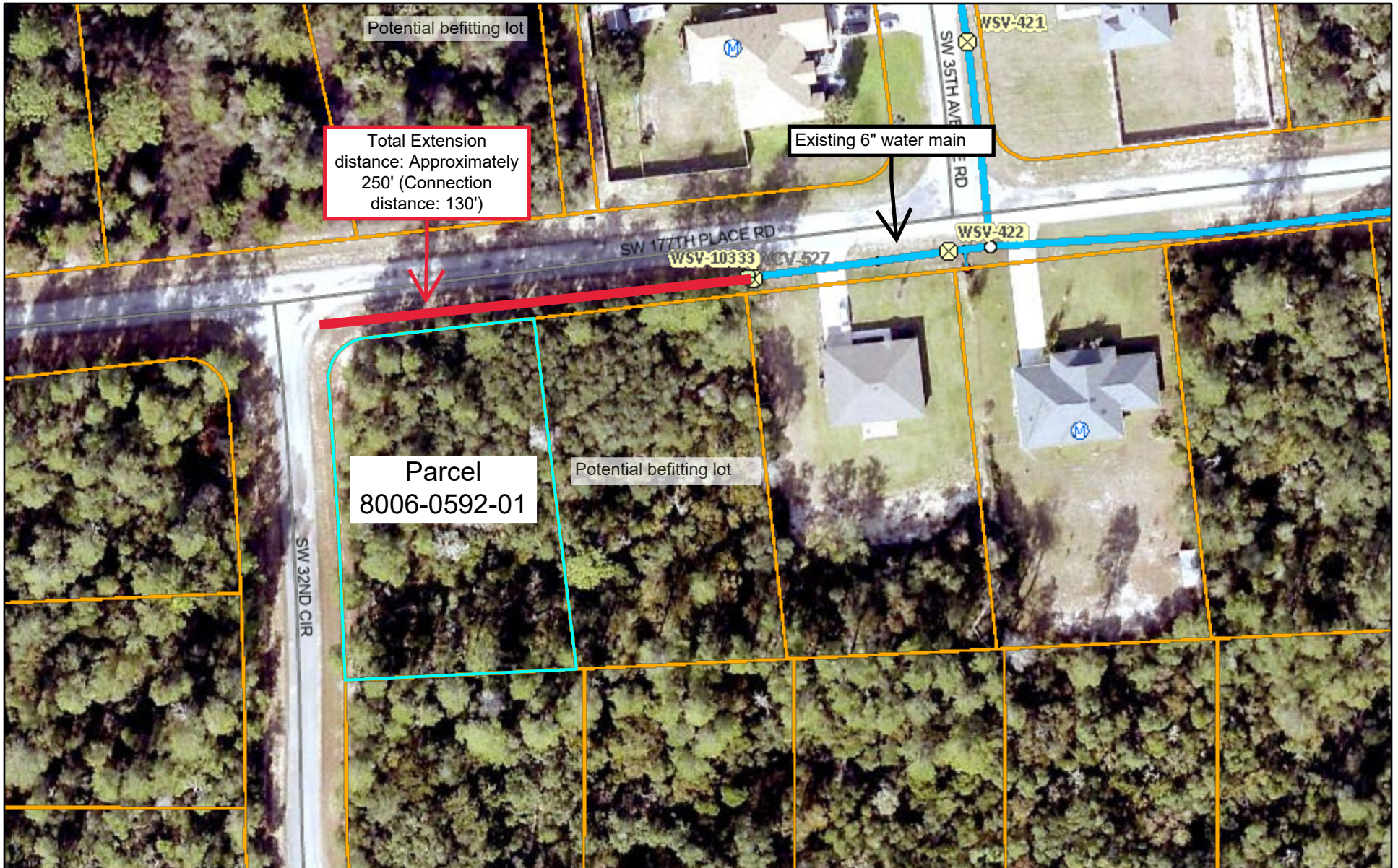
Reason/Justification for Request:

The cost of extending the water main creates a significant financial burden for a single-family residential development and is disproportionate to the impact of the proposed use. The requested waiver will allow reasonable development of the property while maintaining compliance with all applicable health, safety, environmental, and permitting requirements. The proposed well will be installed under all applicable permitting requirements and standards. Furthermore, the applicant acknowledges that if public water becomes available to the property in the future at a substantially lower and economically feasible cost, the property owner intends to connect to the public water system at that time and discontinue use of the private well as required by applicable regulations. Supporting utility maps, correspondence from Marion County Utilities, and related documentation are attached for review.

Section Details from Code:

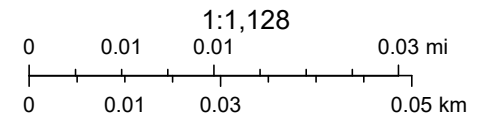
Reason/Justification for Request:

ArcGIS Web Map



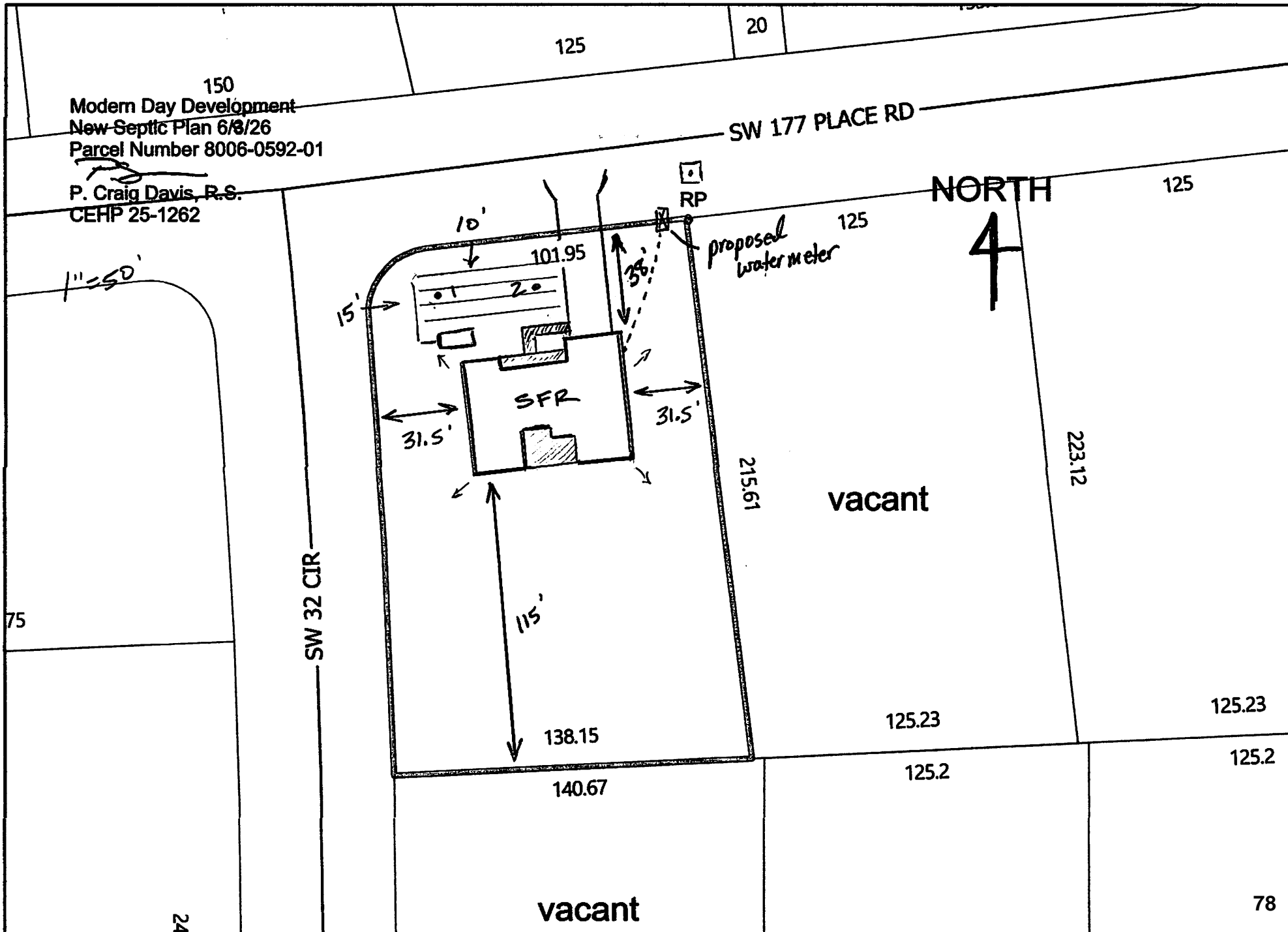
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|---------------------------------|---------------------|---------------------------|---------------|
| Marion County | Water Lateral Lines | Water Fittings | Aerial2024 |
| Parcels | Water Mains | Water Control Valves | Red: Band_1 |
| Streets | Potable Water | Water Service Connections | Green: Band_2 |
| WaterDistribution Net Junctions | Water System Valves | Sewer Service Connections | Blue: Band_3 |
| | Gate | | |



Marion County BOCC, Marion County Board of County Commissioners, Marion County

Marion County Property Appraiser



SW 177 PLACE RD

SW 32 CIR



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