

July 29, 2025

PROJECT NAME: MARION OAKS TOWNHOMES

PROJECT NUMBER: 2024110024

APPLICATION: MAJOR SITE PLAN #32203

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.B(8) - Calculation & Plan Consistency
STATUS OF REVIEW: INFO
REMARKS: Several pages in both the separately uploaded files as well as the drainage report are displaying as blank pages.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.
- 4 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: INFO
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Alexander Turnipseed at (352) 671-8376 or at alexander.turnipseed@marionfl.org.
- 5 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 11/22/24-add waivers if requested in future
- 6 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
- 7 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.D - Hydraulic Analysis
STATUS OF REVIEW: INFO
REMARKS: 4/22/25 – MCU has no concerns. Ultimately, it is the responsibility of the Engineer of Record (EOR) to ensure the safety and functionality of the lift station. MCU is not responsible for any future changes

in system pressure that could impact the lift station. Previous Comment: Lift Station Book (documents) Show the modeling of the existing force main

- 8 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.6.E - Meter Easements
STATUS OF REVIEW: INFO
REMARKS: 4.22.25 PG08 - PWS/ Irrigation Meters need to be in ROW or granted an easement that is called out on the plans.
- 9 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities
STATUS OF REVIEW: INFO
REMARKS: 4.22.25 Re-submittal plan review \$130.00 Previous comment: \$130 - to pay by phone call 352-671-8686 & reference Utility Review fee for AR 32203
- 10 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities comments
STATUS OF REVIEW: INFO
REMARKS: 4.22.25 Acknowledged. 6.14.5.C - DEP permits will not be signed out by MCU until this Major Site Plan is approved by DRC. When approved, you can email the EoR-signed DEP permits to Carrie.Hyde@MarionFL.org for processing. No utility construction may commence until the DEP permits are issued, and the engineer and contractor have conducted the pre-construction meeting with MCU.
- 11 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities comments
STATUS OF REVIEW: INFO
REMARKS: 4.22.25 - PG08 No vegetation can be planted within three feet of meter boxes. Needs to be called out on PG08 and IR Permit Plan.
- 12 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities comments
STATUS OF REVIEW: INFO
REMARKS: The lift station is located in an area where it may be impacted by vehicles parking outside of driveways. Please evaluate and consider protective measures or relocation to prevent potential access or maintenance issues.
- 13 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities comments
STATUS OF REVIEW: INFO
REMARKS: For any questions regarding this review, please contact Heather Proctor, Utilities Development Review Officer, at Heather.Proctor@marionfl.org or by phone at (352) 438-2896.
- 14 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: Central Water/Central Sewer
- 15 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: 6.18.5 - Access Control Box
STATUS OF REVIEW: INFO
REMARKS: Any commercial building which contains a fire sprinkler system and or fire alarm system must install an access control box. The access control box must be ordered on a specific form signed by MCFR to

ensure the correct box is ordered for the jurisdiction. Please contact our office to obtain the form 352-291-8000.

- 16 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.12.4.L(2,3, & 5)/6.3.1C(15)(g) - DRI/FQD Compliance Note?
STATUS OF REVIEW: INFO
REMARKS: Will be a requirement on cover of final plat.
- 17 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.12.4.L(6) - Gross/wetland/floodplain acreage listed?
STATUS OF REVIEW: INFO
REMARKS: None.
- 18 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 6.12.12 - [Sidewalks Internal/External Provided?]
STATUS OF REVIEW: INFO
REMARKS: Staff will support a waiver to pay 'fee-in-lieu-of' for sidewalk requirement.
- 19 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW
REVIEW ITEM: Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: Verified with Sunbiz and project list. HR 12/17/24
IF APPLICABLE:
Sec. 2.18.1.I - Show connections to other phases.
Sec.2.19.2.H – Legal Documents
Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.
Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)
For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."
Sec. 6.3.1.B.2 – Required Right of Way Dedication
For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."
Sec. 6.3.1.D.3 - Cross Access Easements
For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."
Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)
"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."
Sec. 6.3.1.C.2 – Utility Easements
"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:
1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."
2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private

or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

20 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 2.12.13/14/15 - General Exhibits

STATUS OF REVIEW: NO

REMARKS: Please provide a FEMA flood map

21 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.A(12)/6.12.5 - Stormwater Details, Cross Sections, References

STATUS OF REVIEW: NO

REMARKS: Please provide a copy of the structural detail for inlet D-MO-01

22 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 7.1.3 - Drainage Construction Specifications

STATUS OF REVIEW: NO

REMARKS: The material for the pipe connected to Manhole #D-MO-04 has not been updated to RCP per the RAI comment.

23 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.

STATUS OF REVIEW: NO

REMARKS: After all stormwater comments are resolved, please upload a scanned copy of the digitally signed and sealed certification page of the stormwater report to ePlans. Alternatively, a hard copy can be submitted. If you choose to submit a hard copy, you only need to submit the certification page of the report. A full report is not necessary. However, full reports are accepted if desired.

24 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.12.12 - Sidewalks

STATUS OF REVIEW: NO

REMARKS: 5/1/25 - Staff supports fee in-lieu-of waiver for sidewalks along Marion Oaks Blvd which must be approved by DRC. If approved, fee comes out to \$4,400.00 and must be paid prior to final approval.
11/27/24 - Sidewalks are required along Marion Oaks Blvd and must provide on-site connectivity.

25 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.2.A - Water Connection Requirements

STATUS OF REVIEW: NO

REMARKS: 4.22.25 PG08 - 8"x4" connections needs to be a tapping sleeve. Prev. (2) 1" Gate Valve needs to be 3/4" curb stop on both meter banks. (3) What material are you using for cross, reducer, tee, bend, etc.
Comment. Sheets 08, 09 - see changemarks

- 26 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2.A - Sewer Connection Requirements
STATUS OF REVIEW: NO
REMARKS: 4.22.25 PG08 - ARV must be on top of the pipe or offset to the inside. Prev. Comment. Sheets 08, 09 - see changemarks
- 27 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.A(1) - Submittal Requirements - Existing on-site & off-site mains and service connections
STATUS OF REVIEW: NO
REMARKS: 4.22.25 PG08 - The 6.50' measurement from FM to PWS. MUST be measured from center of pipe. Not the exterior walls.
- 28 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.A(2) - Submittal Requirements - Proposed on-site & off-site mains and service connections
STATUS OF REVIEW: NO
REMARKS: 4.22.25 PG08 - End if County maintenance needs to be called out on plan sheet for both water and sewer. Water - ends at meters. Sewer - ends at plug 2" plug valve.
- 29 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.B - Construction Notes - UT DETAILS - current LDC version
STATUS OF REVIEW: NO
REMARKS: 4.22.25 PG11 Missing UT316 (2) UT208 not needed if Fire Protection is not required. Please defer fire requirements to MCFR. (3) UT305 - manholes are to be private, MCU covers not necessary. Previous comment: Sheet 11 - find .pdf & .dwg UT details (rev 4/13/23) here -> <https://utilities.marionfl.org/i-want-to/find-construction-related-forms>
- 30 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.6.B - Irrigation Water Metering - size
STATUS OF REVIEW: NO
REMARKS: 4.22.25 PG08 - Change gate valve to 3/4" curbstop.
- 31 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.7 - Cross Connection Control and Backflow Prevention
STATUS OF REVIEW: NO
REMARKS: 4.22.25 PG08 (1) Backflow preventer needed for irrigation meter. (2) Backflow preventers not required for residential units. MCU will install Dual Check valves after meters.
- 32 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.16.5.A & B - Private Wastewater Pump Stations
STATUS OF REVIEW: NO
REMARKS: 4.22.25 - (1) Will HOA be formed to maintain responsibility of lift station? (2) What water will be used for maintenance of lift station. Prev. Comment - Addressed and listed: Sheet 13 - call out lift station is private ownership (or identify where this is stated)
- 33 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: 6.18.2.D - Fire Department Connections
STATUS OF REVIEW: NO
REMARKS: If the proposed project contains a fire sprinkler system. The fire department connection must be out of the collapse zone which is defined as a minimum of 1 and ½ times the height of the highest portion of

the building. A fire hydrant is required to be within 100 feet of a fire department connection (Per NFPA 14 Chapter 6.4.5.4.1).

34 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REVIEW ITEM: Additional Fire comments

STATUS OF REVIEW: NO

REMARKS: Although the proposed units may be considered townhomes under Florida Building Code, Marion County Fire Prevention has adopted the Florida Fire Prevention Code for the minimum building requirements for fire review and inspections by the State of Florida. Based on the information provided the residential units will not be individually parceled and sold as a town homes. Per the Florida Fire Prevention Code NFPA 101 Chapter 6.1.8.1.5 An Apartment Building is defined as a building or portion thereof containing three or more dwelling units with independent cooking and bathroom facilities. The buildings as proposed are apartments and will be required to have additional fire protection systems.

35 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 2.12.4.F.(2) - Surveyor and Mapper certification

STATUS OF REVIEW: NO

REMARKS: Please provide the following: I hereby certify that the survey represented hereon is in accordance with all applicable requirements of the LDC and meets the minimum technical standards as set forth by the Florida Board of Professional Surveyors and Mappers.

36 DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 2.12.32 - Provide site analysis map depicting the existing (100-year) flood plain

STATUS OF REVIEW: NO

REMARKS: Please provide.

37 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.24 - Landscape requirements/6.8.6 - Buffering

STATUS OF REVIEW: NO

REMARKS: Buffering along ROW not shown.

5/2 - Staff acknowledges that the buffers are shown on LS Permit Plan SS; however, the Type C buffer area must be shown (type/label and dimensions) on the 06 Site Plan sheet. Please ensure the setback area and buffer area are shown as distinct from each other. Revise site plan as needed.

Feel free to contact us at (352) 671-8686 or DevelopmentReview@marionfl.org with questions.

Sincerely,

Your Development Review Team
Office of the County Engineer



**Marion County
Board of County Commissioners**

32203

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: _____ Parcel Number(s): 8004-0433-19 Permit Number: 32203 - CURRENT

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Marion County Townhomes Project Commercial ☐ Residential ☒
Subdivision Name (if applicable): Marion Oaks
Unit 4 Block 433 Lot 19 Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Juan Ortega
Signature: _____
Mailing Address: 755 Crandon Blvd City: Key Biscayne
State: FL Zip Code: 331494 Phone # (321) 888-2686
Email address: Jortega@unityknows.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Clymer Farner Barley, Inc Contact Name: Tyler Counts
Mailing Address: 7413 Alford Ave City: Middleton
State: FL Zip Code: 34762 Phone # 352-748-3126
Email address: tcunts@cfb-inc.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): _____ 6.12.12 - Sidewalks
Reason/Justification for Request (be specific): We are requesting a fee-in-lieu-of waiver.

DEVELOPMENT REVIEW USE:

Received By: email 7/28/25 Date Processed: 7/29/25 Project # 2024110024 AR # 32203

ZONING USE: Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐ Zoned: _____
ESOA: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes ☐ No ☐
Date Reviewed: _____ Verified by (print & initial): _____

DATE	REVISIONS	BY

TIME PERIOD	ITE TRIP GENERATION RATE	PROJECT TRIPS
WEEKDAY DAILY	6.74 TRIPS / DU	94
WEEKDAY AM PEAK HOUR	0.47 TRIPS / DU	7
WEEKDAY PM PEAK HOUR	0.57 TRIPS / DU	8

OWNER/DEVELOPER
MOLUNTY HOMES LLC
755 CRANDON BLVD
KEY BISCAYNE, FL 33149
JUAN D ORTEGA
(321) 430-1331

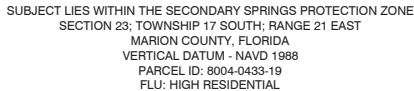
CIVIL ENGINEER
CLYMER FARNER BARLEY, INC.
7413 ALFORD AVENUE
MIDDLETON, FL 34762
TYLER D. COUNTS, PE
FL LIC. NO. 99025
(352) 748-3126

SURVEYOR
CLYMER FARNER BARLEY SURVEYING, LLC
7413 ALFORD AVENUE
MIDDLETON, FL 34762
JAMES H. BLAIR, PSM
FL REG NO 6917

WATER AND WASTE WATER UTILITIES
MARION COUNTY UTILITIES
11800 SE U.S. HIGHWAY 441
BELLEVUE, FL 34420
(352) 307-6000

SOLID WASTE COLLECTION
MARION COUNTY APPROVED FRANCHISE

SUMTER ELECTRIC
COOPERATIVE, INC. (SECO)
P.O. BOX 301
SUMTERVILLE, FL 33585
(352) 793-3801; EXT. 1330



Sheet Number	Sheet Title
01	COVER
02	GENERAL NOTES
03	PRE-DEVELOPMENT BASIN MAP
04	POST-DEVELOPMENT BASIN MAP
05	MASTER PLAN
06	SITE PLAN
07	GRADING & DRAINAGE PLAN
08	UTILITY PLAN
09	FORCE MAIN EXTENSION P&P
10	DETAILS
11	UTILITY DETAILS
12	ADS STORMTECH DETAILS
13	LIFT STATION DETAILS
EC-1	EROSION CONTROL PLAN

NOTE:
NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS
SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE
OFFICE OF THE COUNTY ENGINEER.

PROPOSED BUILDINGS	=	13,251 SQ. FT. (0.30 AC.)	33.0%
PROPOSED CONCRETE	=	5,108 SQ. FT. (0.12 AC.)	12.8%
PROPOSED ASPHALT	=	4,201 SQ. FT. (0.09 AC.)	10.5%
TOTAL IMPERVIOUS AREA	=	22,560 SQ. FT. (0.51 AC.)	56.3%
EXISTING OPEN AREA	=	40,000 SQ. FT. (0.92 AC.)	100.0%
OPEN AREA	=	17,440 SQ. FT. (0.41 AC.)	43.7%
PROJECT AREA	=	40,000 SQ. FT. (0.92 AC.)	100.0%

LICENSED DESIGN PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS WAIVED.

OWNER'S CERTIFICATION:

I HEREBY CERTIFY THAT I, MY SUCCESSORS,
AND ASSIGNS SHALL PERPETUALLY MAINTAIN
THE IMPROVEMENTS AS SHOWN ON THIS PLAN



MARION OAKS TOWNHOMES

THIS DRAWING IS A PART OF A SET OF DRAWINGS. IT IS THE RESPONSIBILITY OF THE USER TO OBTAIN ALL PARTS OF THE SET. NO PART OF THIS DRAWING IS TO BE USED IN ISOLATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

GENERAL NOTES:

1. THESE GENERAL NOTES APPLY TO ALL WORK IN THIS SET OF DRAWINGS
2. THE APPLICANT (MOLLINITY HOMES LLC) WILL OWN AND MAINTAIN THE IMPROVEMENTS ON SAID PARCEL PER LEGAL DESCRIPTION
3. THE STANDARD DETAILS FOR THIS PROJECT SHALL BE FOUND IN:
 - MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) (LATEST EDITION)
 - FOOT STANDARD PLANS FOR ROAD CONSTRUCTION
 - MARION COUNTY STANDARD WATER AND SEWER DETAILS
 - MARION COUNTY LAND DEVELOPMENT REGULATIONS
 - MARION COUNTY STANDARD SPECIFICATIONS
5. ALL SIGNAGE, PAVEMENT MARKING, AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH FHWA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS' AND LOCAL REGULATIONS.
6. REGULATORY SIGNS (STOP, ETC.) SHALL BE IN PLACE PRIOR TO FINAL INSPECTION OF PAVING IMPROVEMENTS.
7. CONTRACTOR SHALL REVIEW ALL PERMITS PRIOR TO CONSTRUCTION FOR ANY CHANGES TO THE DESIGN INCLUDED THEREIN. NOTIFY ENGINEER/OWNER OF ANY REQUIRED CHANGES PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR(S) SHALL ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL ABIDE BY ALL CONDITIONS CONTAINED THEREIN. PERMITS INCLUDED (BUT NOT NECESSARILY LIMITED TO) ARE:
 - COUNTY
 - CITY
 - WATER MANAGEMENT DISTRICT ENVIRONMENTAL RESOURCE PERMIT (ERP)
 - FDEP WATER AND SEWER
 - LOCAL UNDERGROUND UTILITIES
 - FDEP WATERS STORMWATER
9. ALL MATERIALS, MACHINERY, AND VEHICLES SHALL BE STORED ON SITE IN AN ORDERLY ORGANIZED FASHION.
10. CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS, INCLUDING BUT NOT LIMITED TO WATER, SEWER, POWER, TELEPHONE, GAS, AND CABLE TV COMPANIES.
11. PRIOR TO COMMENCEMENT, CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER WITH CONSTRUCTION SCHEDULE FOR VARIOUS SITE WORK ELEMENTS.
12. CONTRACTOR SHALL FURNISH THE ENGINEER/OWNER WITH ACCURATE SURVEY RECORD DRAWINGS SHOWING AS-CONSTRUCTED HORIZONTAL AND VERTICAL DIMENSIONING OF THE WORK. ALL INFORMATION WHICH IS UNCHANGED AND CURRENT SHALL BE NOTED BY CHECKING OFF OR CIRCULING. ALL REVISED INFORMATION SHALL BE CROSSED THROUGH AND NEW DATA ADDED.
13. AT THE BEGINNING OF CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES CRITICAL TO COMPLETING THE PROJECT (INCLUDING WATER, SEWER, POWER, TELEPHONE, GAS, AND CABLE TV) AND SHALL EVALUATE POTENTIAL CONFLICTS. ALL SUCH CONFLICTS SHALL BE REPORTED TO ENGINEER/OWNER IMMEDIATELY UPON DISCOVERY.
14. THE LOCATIONS OF EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS FOR FIELD LOCATIONS AND FOR ANY RELOCATIONS OF THE VARIOUS EXISTING UTILITIES WITH THE UTILITY OWNERS, WHICH SHALL BE DONE IN A TIMELY FASHION TO MINIMIZE THE IMPACT ON THE CONSTRUCTION SCHEDULE. ANY DELAY OR INCONVENIENCE CAUSED BY THE RELOCATION OF THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
15. ANY DIFFERING SITE CONDITION FROM THAT WHICH IS REPRESENTED HEREIN, WHETHER ABOVE, ON, OR BELOW THE SURFACE OF THE GROUND, SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER AND OWNER IN WRITING PRIOR TO CONSTRUCTION IN THE AREA IMPACTED BY THE CONFLICT. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO DIFFERING SITE CONDITIONS WILL BE ALLOWED IF THE CONTRACTOR FAILS TO PROVIDE THE REQUIRED WRITTEN NOTIFICATION OF SUCH CONDITIONS FOR REVIEW BY THE ENGINEER AND OWNER.
16. ALL RECOMMENDATIONS AND REQUIREMENTS OF INSPECTION PERSONNEL OTHER THAN OWNER'S SHALL BE REPORTED TO ENGINEER/OWNER PRIOR TO IMPLEMENTATION. COMPENSATION WILL NOT BE ALLOWED FOR WORK WHICH IS NOT AUTHORIZED BY ENGINEER/OWNER.
17. ALL WORK SHALL BE OPEN TO AND SUBJECT TO INSPECTION BY AUTHORIZED PERSONNEL OF THE LOCAL JURISDICTION, OWNER, INVOLVED UTILITY COMPANIES, PROJECT ENGINEER AND REGULATORY AGENCIES.
18. CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE INFORMATION PROVIDED IN THESE PLANS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLETELY STAKE AND CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL AND VERTICAL, PRIOR TO THE INSTALLATION OF ANY IMPROVEMENT.
19. CONTRACTOR SHALL CONFIRM COMPATIBILITY OF PIPE SIZES AND WEIGHTS DURING SHOP DRAWING AND MATERIALS ORDERING PHASE OF PROJECT AND ADVISE ENGINEER OF ANY DISCREPANCIES.
20. NO EXISTING MATERIAL SHALL BE USED IN NEW CONSTRUCTION UNLESS APPROVED DURING THE SHOP DRAWING APPROVAL PROCESS.
21. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ENGINEER APPROVAL PRIOR TO PROCUREMENT OF MATERIALS.
22. CONTRACTOR TO SUBMIT COPIES OF ALL TESTING REPORTS TO THE OWNER AND ENGINEER FOR ACCEPTANCE AND CERTIFICATIONS.
23. CONTRACTOR TO PRESERVE ALL MONITORING WELLS IDENTIFIED ON SITE.
24. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING PROPER TRAFFIC MAINTENANCE AND CONTROLS IN ACCORDANCE WITH REGULATORY STANDARDS WHERE A TRAFFIC MAINTENANCE PLAN REQUIRED BY IT SHALL BE PREPARED BY AN FOOT CERTIFIED DESIGNER AND SUBMITTED BY CONTRACTOR FOR APPROVAL BY OWNER, ENGINEER, AND CITY OR COUNTY.
25. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE PROJECT SITE DURING CONSTRUCTION, TO PREVENT TRESPASSING OF UNAUTHORIZED PEDESTRIANS AND/OR VEHICLES IN ALL WORK AREAS. THE CONTRACTOR SHALL POST SIGNS, CONSTRUCT BARRIERS, OR IMPLEMENT OTHER METHODS NECESSARY TO CONTROL ACCESS. THE CONTRACTOR ASSUMES NO RESPONSIBILITY FOR TRESPASSING ON THE CONSTRUCTION SITE OR DAMAGES TO ANY WORK RELATED THERE TO.
26. CONTRACTOR SHALL PROTECT ALL ADJACENT WETLANDS, WATERBODIES, AND PROPERTIES FROM DAMAGE BY SEDIMENTATION OR OTHER POTENTIAL CONSTRUCTION RELATED CAUSES.
27. CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES WHICH ARE TO BE SAVED. WHETHER SHOWN IN THE PLANS OR DESIGNATED IN THE FIELD, CONTRACTOR SHALL BECOME FAMILIAR WITH AND CONFORM WITH ALL TREE PROTECTION/PRESERVATION PROVISIONS OF THE CONTRACT DOCUMENTS AND LOCAL GOVERNMENT.
28. ALL FOOT DESIGN INDICES ARE HEREBY INCORPORATED AS PLAN REFERENCES HEREIN. CONTRACTOR IS RESPONSIBLE FOR OBTAINING COMPLETE COPIES OF ALL APPLICABLE INDEX DRAWINGS AND CONSTRUCTING ALL WORKS IN CONFORMANCE WITH THE FOOT DESIGN STANDARDS, LATEST EDITION.

PAVING, GRADING & DRAINAGE NOTES:

29. CONTRACTOR SHALL APPLY FOR A RIGHT-OF-WAY UTILIZATION PERMIT, AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE SCHEDULED START DATE, FOR ANY WORK TO BE DONE WITHIN THE CITY'S RIGHT-OF-WAY.
30. NO VERTI-PACK COMPACTORS PROPOSED.
31. NO ROLL OFF COMPACTORS PROPOSED.
32. NO FREESTANDING COMMERCIAL SIGN PROPOSED.
30. SITE PAVING AND DRAINAGE MATERIALS AND CONSTRUCTION SHALL CONFORM TO FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITIONS, INsofar AS THEY APPLY TO THESE DESIGNS HEREIN, AND THE LOCAL JURISDICTION REGULATIONS AND SPECIFICATIONS, WHERE SUCH SPECIFICATIONS DIFFER, THE MORE STRINGENT SHALL APPLY, SUBJECT TO DETERMINATION OF THE ENGINEER.
31. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SURVEY MONUMENTATION. DISTURBED MONUMENTATION SHALL BE RESTORED BY A FLORIDA-LICENSED LAND SURVEYOR SELECTED BY THE OWNER AT CONTRACTOR'S EXPENSE.
32. DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO ENSURE AGAINST POLLUTING, SALTING, OR DISTURBING TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO THE EXISTING ONSITE AND OFF-SITE DRAINAGE SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL PERMIT REQUIREMENTS RELATED TO SUCH MEASURES. ANY MEASURES SHOWN OR DETAILED IN THESE DRAWINGS SHALL BE CONSIDERED MINIMUMS AND SHALL NOT ALLEVATE CONTRACTOR FROM THE RESPONSIBILITY TO IMPLEMENT ANY MEASURES NECESSARY TO PROVIDE PROTECTION.
33. THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY HAS AUTHORIZED THE STATE OF FLORIDA TO ADMINISTER THE NATIONAL POLLUTANTS DISCHARGE ELIMINATION SYSTEM (NPDES). CONTRACTOR IS ADVISED THAT OPERATORS ARE REQUIRED TO FILE WITH FDEP A NOTICE OF INTENT TO USE THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES THAT DISTURB ONE OR MORE ACRES OF LAND. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SUBMIT THE NOTICE OF INTENT (NOI) TO FDEP WITH A COPY TO THE OWNER AND THE ENGINEER AT LEAST 60 HOURS BEFORE INITIATING CONSTRUCTION.
34. CONTRACTOR SHALL PROVIDE ACCURATE AS-BUILT DIMENSIONS AND ELEVATIONS OF THE STORMWATER MANAGEMENT AREAS AFTER FINAL GRADING AND PRIOR TO GRASSING THE SLOPES. CONTRACTOR MUST OBTAIN ENGINEER'S APPROVAL PRIOR TO GRASSING. IF ANY MODIFICATIONS ARE NEEDED, ADDITIONAL AS-BUILTS MUST BE FURNISHED.
35. GEOTECHNICAL SERVICES HAVE BEEN PROVIDED DIRECTLY TO THE OWNER. GEOTECHNICAL RECOMMENDATIONS ARE NOT THE RESPONSIBILITY OF CLYMER FARNER BARLEY, INC. (CFB). CFB ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS, COMPLETENESS, OR ACCURACY OF GEOTECHNICAL INFORMATION.
36. ELEVATIONS OF GRASSED AREAS ARE GIVEN AT FINISHED GRADE (TOP OF SOD OR SEEDED SURFACE).
37. ALL DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS INDICATED OTHERWISE.
38. PIPE LENGTHS SHOWN REPRESENT DISTANCES BETWEEN CENTERLINES OF DRAINAGE STRUCTURE AND FROM INVERTS OF ENDWALLS AND/OR PIPE ENDS. BIDDER SHALL ADJUST FOR PIPE LENGTHS WHEN BIDDING PIPE ENDS.
39. ALL OFF-SITE DISTURBED AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION, OR BETTER.
40. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND DISPOSING OF ALL WASTE MATERIALS CONSISTENT WITH ALL RULES AND REGULATIONS APPLICABLE TO THE SPECIFIC MATERIAL FOUND.
41. CONTRACTOR SHALL INSTRUCT THE GEOTECHNICAL TESTING LABORATORY PERFORMING CONSTRUCTION TESTING TO PROVIDE CFB WITH COPIES OF ALL SITE-WORK TEST REPORTS AS THEY ARE GENERATED. RECEIPT OF COPIES OF GEOTECHNICAL REPORTS BY CFB IN NO WAY OBVIATES CFB TO ANY REVIEW, COMMENTS OR ACTIONS REGARDING THE WORK.
42. DURING CONSTRUCTION, THE GEOTECHNICAL ENGINEER PERFORMING TESTING SHALL MONITOR GROUNDWATER CONDITIONS AND PROVIDE RECOMMENDATIONS FOR ADDITIONAL ROADWAY UNDERDRAINS AS NEEDED. ENGINEER SHALL BE NOTIFIED OF ANY SUCH RECOMMENDATIONS.
43. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD STAKE AND PROTECT CONSERVATION AREA LIMITS. OWNER RESERVES THE RIGHT TO CHECK THE STAKING AND PROTECTIONS AND REQUIRE IT TO BE RELOCATED IF NECESSARY. PROTECTIONS SHALL REMAIN IN PLACE UNTIL ADJACENT CONSTRUCTION IS COMPLETE.
44. NO WATER VALVE BOXES, METERS, PORTIONS OF MANHOLES, OR OTHER APPURTENANCES RELATING TO ANY UNDERGROUND UTILITIES SHALL BE LOCATED IN ANY PORTION OF ANY TYPE OF CURB. ADVISE ENGINEER IMMEDIATELY UPON DISCOVERY OF A POTENTIAL CONFLICT.
45. CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENTS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE A SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. SHOULD AREAS OF POOR DRAINAGE BE OBSERVED, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PLACEMENT OF CURBS OR PAVEMENT, SO THAT RECOMMENDATIONS FOR CORRECTION MAY BE MADE.
46. CONTRACTOR SHALL COORDINATE WITH ENGINEER FOR PRE-PUR INSPECTION PRIOR TO ANY SIDEWALK AND/OR RAMP CONCRETE POURS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL RAMP TEXTURED SURFACES AND SIDEWALK LONGITUDINAL AND CROSS SLOPES ARE IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL A.D.A. STANDARDS.
47. ALL DISTURBED PUBLIC AND PRIVATE RIGHTS OF WAY SHALL BE RESTORED. SOD SHALL BE REPLACED FROM BACK OF CURB OR EDGE OF PAVEMENT TO RIGHT-OF-WAY AND ALL AREAS SHALL MATCH OR EXCEED PRE-CONSTRUCTION CONDITIONS.
48. CONTRACTOR SHALL NOT COMPACT, STABILIZE, OR CONSTRUCT BASE COURSE WITHIN LANDSCAPE ISLANDS, TRACTS, OR MEDIANS, WHERE SUCH TREATMENT DOES OCCUR. IT SHALL BE REMOVED AND REPLACED WITH SUITABLE PLANTING SOILS ACCEPTABLE TO OWNERS LANDSCAPE ARCHITECT.
49. CONTRACTOR SHALL REMOVE ALL UNSUITABLE SOILS IN CONSTRUCTION AREAS AND AREAS TO BE FILLED. REFER TO GEOTECHNICAL REPORT FOR REQUIREMENTS.
50. ENGINEER RESERVES THE RIGHT TO WITHHOLD APPROVALS FOR PAYMENT FOR ANY ROADWORK WHICH HAS NOT BEEN TESTED BY A FLORIDA-REGISTERED GEOTECHNICAL ENGINEER AND REPORTED TO CONFORM TO PROJECT SPECIFICATIONS.
51. SITE CONTRACTOR SHALL GRADE ANY UTILITY EASEMENTS, AS SHOWN OR NOTED ON THE PLAN OR CONSTRUCTION DRAWINGS, ADJACENT TO THE RIGHT-OF-WAY LINE TO FINAL DESIGN GRADE.
52. CONTRACTOR SHALL STABILIZE AND PROTECT ALL END WALL, MITERED END SECTION, FLARED END SECTION, ETC. STRUCTURES THROUGHOUT THE PROJECT UNTIL THE POND SLOPES ARE STABILIZED AND ACCEPTED BY OWNER.
53. CONTRACTOR/BIDDER SHALL OBSERVE OFF-SITE ROADWAYS FOR FRICTION COURSE REMOVAL AND RESTORATION REQUIREMENTS AND FOR LEVELING COURSE REQUIREMENTS WHICH SHALL BE INCLUDED IN THE BID AND IN THE WORK.
54. OVER EXCAVATION OF RETENTION BASINS SHALL NOT BE ALLOWED UNLESS SPECIFICALLY AUTHORIZED BY ENGINEER/OWNER. SHOULD UNAUTHORIZED OVER EXCAVATION OCCUR, IT SHALL BE BACKFILLED, REGRADED, RESEEDDED, AND/OR RESEDED AS REQUIRED BY OWNER AT CONTRACTOR'S EXPENSE TO OWNER'S SPECIFICATIONS.

PAVING, GRADING & DRAINAGE MATERIAL SPECIFICATIONS:

1. STORM DRAINS SHALL BE CONSTRUCTED WITH FOOT-APPROVED MATERIALS. PIPE JOINTS SHALL BE WRAPPED PER FOOT INDEX 430-001.
2. ALL STORM STRUCTURES SHALL BE IN CONFORMANCE WITH FOOT STANDARD INDEX DRAWINGS. GRATES SHALL BE CAST IRON UNLESS OTHERWISE SPECIFIED OR APPROVED.
3. ALL TYPE "P" STRUCTURE BOTTOMS SHALL BE ROUND UNLESS OTHERWISE SPECIFIED AND SHALL HAVE A 4 FT. DIAMETER.
4. ALL TYPE "J" STRUCTURE BOTTOMS SHALL BE ROUND UNLESS OTHERWISE SPECIFIED AND SHALL HAVE AN 8 FT. DIAMETER.
5. ALL CONCRETE WORK SHALL BE 3,000 PSI MINIMUM, UNLESS OTHERWISE SPECIFIED.
6. HDPE PIPE (WHERE SPECIFIED) SHALL BE INSTALLED BY A CERTIFIED HDPE CONTRACTOR.
7. CONTRACTOR SHALL COORDINATE WITH ENGINEER FOR INSPECTION OF STORM SEWERS PRIOR TO PAVING. CONTRACTOR SHALL PROVIDE COUPON FOR LAMPING SPECIFICATION BY ENGINEER. FURTHER TESTING WITH MANHOLES OR VIDEO TAPING OF PIPES MAY BE REQUIRED BY ENGINEER.
8. PAVING MATERIALS SHALL CONFORM WITH FOOT STANDARD SPECIFICATIONS LATEST EDITION.
9. UNDERDRAIN SHALL BE HEAVY-DUTY CORRUGATED POLYETHYLENE PIPE WITH FACTORY INSTALLED FABRIC AS MANUFACTURED BY ADVANCE DRAINAGE SYSTEMS (ADS), OR APPROVED EQUAL.
10. UNDERDRAIN DISCHARGE PIPE SHALL BE PVC PER ASTM D3034 SDR 35 WITH ELASTOMERIC JOINTS, NOT PERFORATED.
11. FILL PLACEMENT AND SPECIFICATIONS SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECT'S GEOTECHNICAL CONSULTANT.
12. CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE FROM SUBGRADE THROUGH FINAL LIFT OF ASPHALT. STRUCTURE BASES SHALL BE FABRICATED IN ACCORDANCE WITH FOOT STANDARD INDEX 425-00. TEMPORARY DRAINS FOR SUBGRADE AND BASE, AS NOTED IN THE INDEX, WILL BE CONSIDERED INCIDENTAL TO THE PRICE OF THE STRUCTURE.
13. SOIL TESTING RESULTS SHALL BE PROVIDED FOR THE PAVEMENT CONSTRUCTION. AFTER PLACEMENT AND FIELD COMPACTON, THE WEARING SURFACE SHALL BE CORED TO EVALUATION MATERIAL THICKNESS AND TO PERFORM LABORATORY DENSITIES. THE LOCATION AND NUMBER OF SAMPLE CORES SHALL BE DETERMINED BY THE GEOTECHNICAL CONSULTANT. THE TESTING REPORT SHALL DENOTE THE TEST LOCATIONS.

AMERICANS WITH DISABILITIES ACT NOTES:

THE CONTRACTOR & OWNER WILL BE HELD ACCOUNTABLE DURING THE CONSTRUCTION FOR ALL SITE IMPROVEMENTS. COMPLIANCE WITH SECTION 553.503 FLORIDA STATUTES (FS), AND THE 8TH EDITION (2023 FLORIDA ACCESSIBILITY CODE) FOR BUILDING CONVENIENCE (FABC), IS MANDATORY IF INCORRECT AT FINAL INSPECTION, CONTRACTOR WILL BE REQUIRED TO MODIFY CONSTRUCTION TO COMPLY WITH FS AND FABC. THE FOLLOWING ITEMS TAKE PRECEDENCE AND SUPERSEDE OTHER SITE DETAILS ON DRAWINGS:

1. ACCESSIBLE PARKING SPACE SHALL BE LOCATED ON AN ACCESSIBLE ROUTE NO LESS THAN 44" WIDE SO THAT USERS WILL NOT BE COMPELLED TO WALK OR WHEEL BEHIND PARKED VEHICLES EXCEPT BEHIND HIS OR HER OWN VEHICLE. §508.1.1 AND §502.2, FABC AND FS 553.504.1.
2. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SERVING A PARTICULAR BUILDING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE FROM THE ACCESSIBLE (HVC) PARKING TO AN ACCESSIBLE ENTRANCE. §508.3.1, FABC AND FS 553.504.1 (S08).
3. ACCESSIBLE PARKING SPACES SHALL BE 12' WIDE, AND OUTLINES WITH BLUE PAINT. §502.2 AND §502.6, FABC.
4. ACCESS AISLES REQUIRED ADJACENT TO PARKING SPACES SHALL BE 5' WIDE WITH DIAGONAL STRIPING. §502, FABC.
5. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL (NOT TO EXCEED 1/48" ON A STABLE, FIRM AND SLIP RESISTANT SURFACE. RE: §502.1 AND §502.3, FABC.
6. ACCESSIBLE PARKING SIGNS SHALL BE FOOT APPROVED AND SHALL READ PARKING BY DISABLED PERMIT ONLY AND SHALL INDICATE A \$250 FINE FOR ILLEGAL USE. INSTALL SIGNS A MINIMUM 40" (INCHES) FROM THE GROUND TO THE BOTTOM OF THE SIGN(S). RE: §502.6, FABC AND FS 553.504.1.
7. CURB RAMPS SHALL NOT EXCEED 1:12 SLOPE, AND CURB RAMP FLARES SHALL NOT EXCEED 1:10 SLOPE. CURB RAMPS AND FLARED SIDES SHALL NOT ENCRoACH UPON PARKING SPACES, ACCESS AISLES, OR VEHICULAR TRAFFIC LANES. THE COUNTER SLOPE OF ADJACENT ROAD SURFACES AND GUTTERS SHALL NOT EXCEED 1:20. RE: §405.2, §406.2 AND §5, FABC.
8. A LANDING WITH A MINIMUM CLEAR LENGTH OF 36" SHALL BE LOCATED AT THE TOP SIDE OF EACH CURB RAMP WITH A CLEAR WIDTH AT LEAST AS WIDE AS THE CURB RAMP (EXCLUDING FLARED SIDES) LEADING TO IT. EXCEPTION: FOR ALTERNATIONS, WHERE THERE IS NO LANDING, CURB RAMP FLARES SHALL BE PROVIDED, AND SHALL NOT BE STEEPER THAN 1:12 SLOPE. RE: §406, FABC.
9. ALL RAMPS WITH A RISE GREATER THAN 6" SHALL PROVIDE EDGE PROTECTION COMPLYING WITH §405.9 FABC. RAMPS SHALL HAVE A 60" MIN LEVEL LANDINGS AT THE TOP AND BOTTOM. RE: §405.7, FABC.
10. ALL RAMPS WITH A RISE GREATER THAN 6" SHALL HAVE HANDRAILS ON BOTH SIDES WITH 12" HORIZONTAL EXTENSIONS AT THE TOP AND BOTTOM OF THE RAMP. RE: §1010.9 FBC-8 (FLORIDA BUILDING CODE - BUILDING AND §505.10 FABC).
11. ACCESSIBLE ROUTES TO "MAIN ENTRY" FROM AN ACCESSIBLE PARKING SPACE, AND FROM THE "PUBLIC WAY," SHALL NOT EXCEED 1:20 SLOPE (UNLESS RAMPS AND HANDRAILS ARE PROVIDED) WITH CROSS SLOPE NOT IN EXCESS OF 1:48. RE: §506, §406 AND §403, FABC.
12. CONNECT BUILDINGS WITHIN THE SAME SITE WITH AN ACCESSIBLE ROUTE WHICH SHALL NOT EXCEED 1:20 SLOPES (UNLESS RAMPS AND HANDRAILS ARE PROVIDED) AND A MAXIMUM CROSS SLOPE OF 1:48. RE: §506, FABC.
13. EXCEPTION: AN ACCESSIBLE ROUTE SHALL NOT BE REQUIRED BETWEEN ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES IF THE ONLY MEANS OF ACCESS BETWEEN THEM IS A VEHICULAR WAY NOT PROVIDING PEDESTRIAN ACCESS. RE: §506.2.2, FABC.

HORIZONTAL/VERTICAL GEOMETRY NOTES:

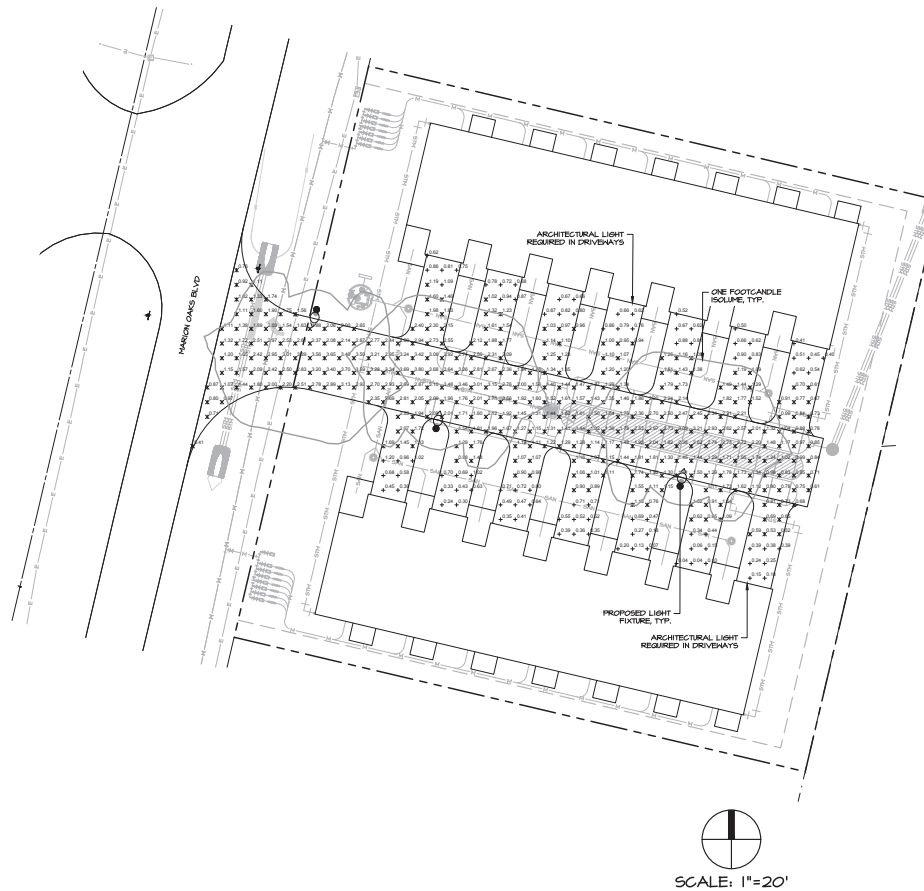
1. ELEVATIONS SHOWN HEREON ARE PURSUANT TO THE NORTH AMERICAN VERTICAL DATUM OF 1988. THE ORIGINATING BENCHMARK FOR THE ELEVATIONS DEPICTED HEREON IS NATIONAL GEODETIC SURVEY (NGS) BENCHMARK 17573 A80, SAID POINT HAVING AN ELEVATION OF 81.57 FEET.
2. BEARINGS SHOWN HEREON (NOT DETONED WITH (D)) ARE BASED ON GRID NORTH AS ESTABLISHED BY THE NATIONAL OCEAN SERVICE (NOS) THROUGH ITS PROGRAM OFFICE NATIONAL GEODETIC SURVEY (NGS), AS A REFERENCE FOR THIS SURVEY, THE EASTERLY RIGHT OF WAY LINE OF MARION OAKS BOULEVARD HAS A BEARING OF NORTH 13°15'06" EAST.
3. SURVEY INFORMATION
SURVEYOR: CLYMER FARNER BARLEY SURVEYING, LLC
PROJECT NO.: SP0204.01143
DATED: 06/13/2024

LEGAL DESCRIPTION:

LOT 19, OF BLOCK 433, OF MARION OAKS UNIT FOUR, A SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 0, PAGES 53 THROUGH 80, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

BY	DATE	REVISIONS	CLYMER FARNER BARLEY BARTLEY	CFB	CLYMER FARNER BARLEY, INC. CLYMER FARNER BARLEY, INC. 1715 ALFORD AVENUE MIDDLETON, FL 34702	GENERAL NOTES
MARION OAKS TOWNHOMES MAJOR SITE PLAN MARION COUNTY, FL						
SAVE DATE	5/16/2025	DATE	5/16/2025	FILE NAME	SP0204.01143	
DRAWN BY	M.F.	CHECKED BY	TDC			
PROJECT #	SP0204.01143					
SHEET NUMBER	02					

CLYMER FARNER BARLEY, INC.
1715 ALFORD AVENUE
MIDDLETON, FL 34702
TYLER D. COUNTS, P.E.
FL LIC. NO. 99025
(352) 348-3124



LIGHTING LEGEND

1. SHOEBOX LIGHT: CURRENT SINGLE VOLTAGE BALS SERIES LED,
 EALS-09-0-F4-AH-1-30-N-A-1-CL-BL-G-L-T-V4-M, 3000K, 14
 DISTRIBUTION, 20° MOUNTING HT, ROUND, BLACK, TAPERED, MEDIUM
 DUTY, STRESSCRACK POLY.
- ROTATE OPTICS AS SHOWN ON LIGHT SYMBOL.
- SECO HAS LEASABLE OPTIONS IF NEEDED
- CONFIRM SPECIFICATIONS WITH SUBMITTAL OF GUTSHEETS AND FULL PRODUCT
 CODE NUMBERS TO OWNER.
- LIGHTS HAVE BEEN CAREFULLY LOCATED TO ACHIEVE REQUIRED LIGHT
 LEVELS/DESIGN CRITERIA, AND TO AVOID EXCESSIVE AND PROPOSED
 UTILITIES. IF ANY CHANGES ARE REQUIRED, CONTACT MPA FOR
 DIRECTION/COORDINATION.

Notes

- 1. Architectural lighting will be required for areas around the building to maintain adequate lighting for safety and security, and such lighting is not included in the estimate on this line item.
- 2. Any changes or substitutions made to this plan shall not be evaluated to ensure adequate light levels are provided.
- 3. Illuminance values shown are for design purposes only. Variance in actual illuminance changes to the plan or specifications may cause the actual measured values to vary.
- 4. Orient fixtures and arms as shown on plan.
- 5. Buildings have been included in this calculation as non-reflective obstructions.
- 6. All point by point values shown are maintained (a light depreciation factor has been included). Light levels are measured at finished grade.
- 7. Only fixtures shown have been included in this calculation. Light installations not shown, including landscape and site lighting properties are not included.
- 8. All electrical engineering, cabling, installation details and installation specifications, etc. shall be in accordance.
- 9. Lighting shall be installed by a contractor with the lighting plan by a licensed electrical engineer. The contractor shall be responsible to design and install the electrical components necessary to supply power to the proposed lights. All electrical work is under the jurisdiction of the electrical contractor and is not included in this estimate. The contractor shall bid as lump sum and includes all work necessary to complete the project.

Statistics
Site Average: 1.78 fc
Min: 0.41 fc (paved surfaces)
Max: 3.80 fc (paved surfaces)
Light Loss Factor: 0.7
*Statistics have driveway removed

[illegible]

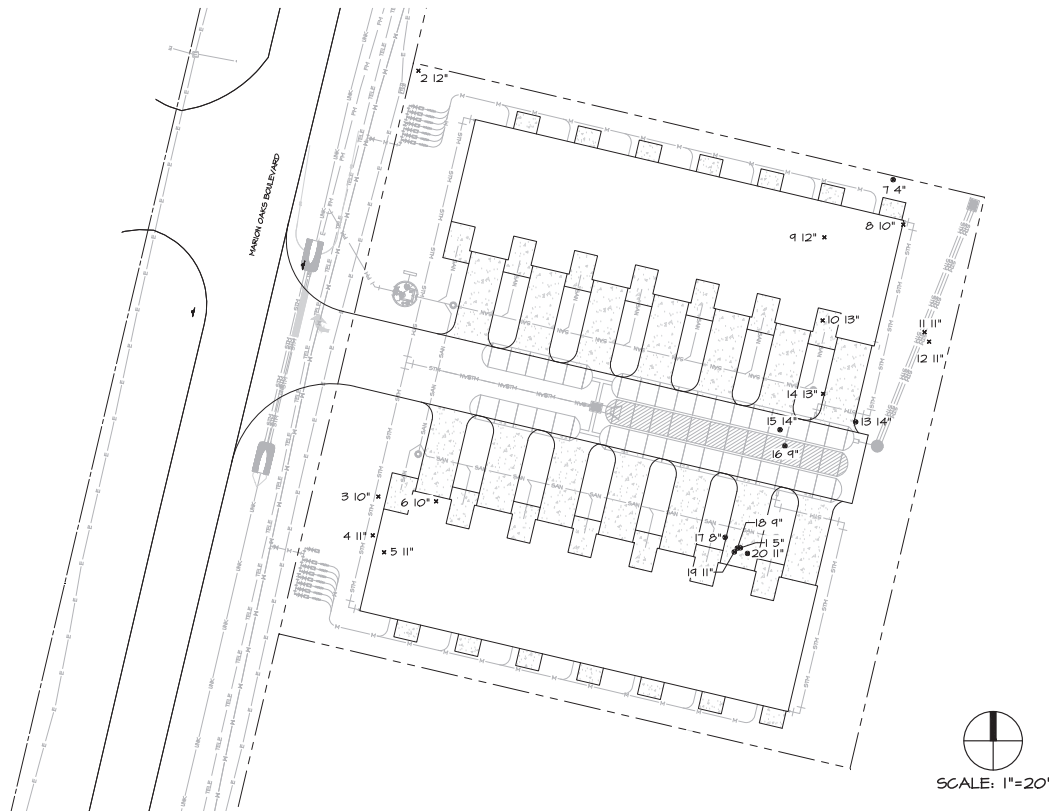
MPA Michael Pape
& Associates, PA
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2351 SE 17th Street, Ocala, FL • 352.351.3500 • www.MPA-LA.com



MARION OAKS TOWNHOMES
MARION COUNTY, FLORIDA
PHOTOMETRIC PLAN

DATE 03-06-25
DOWN BY RAZ
CHKD. BY SMS
SHEET 1 OF 1

LTG-1

**KEY**

- * 5 11" TREE TO BE REMOVED - VIABLE
 • 13 14" TREE TO BE REMOVED - NON-VIABLE

SITE DATA

Site Area: 0.92 ACt. (40,000 sf)

Tree Removal and Replacement

(Tree survey provided by Clymer Farmer Barley)

Existing trees have been evaluated by MPA ISA Certified Arborist William Needham FL5846A and Landscape Architect Suzanne Stancil FLA L6666662 and have been categorized as viable or non-viable. Viable trees are healthy and thriving. Non-viable trees include designated invasive/prohibited species, and trees that are damaged, or in decline, and which require removal for protection of the public health, safety, and welfare. Non-viable trees are not included in replacement calculations.

Tree Number	Type	DBH	VIABLE/NON-VIABLE
1	PINE	5"	NON-VIABLE
2	LIVE OAK	12"	VIABLE
3	PINE	10"	VIABLE
4	PINE	11"	VIABLE
5	PINE	11"	VIABLE
6	PINE	10"	VIABLE
7	WATER OAK	4"	NON-VIABLE
8	PINE	10"	VIABLE
9	PINE	12"	VIABLE
10	PINE	13"	VIABLE
11	PINE	11"	VIABLE
12	PINE	11"	VIABLE
13	PINE	14"	NON-VIABLE
14	PINE	13"	VIABLE
15	PINE	14"	NON-VIABLE
16	PINE	9"	NON-VIABLE
17	PINE	8"	NON-VIABLE
18	PINE	9"	NON-VIABLE
19	PINE	11"	NON-VIABLE
20	PINE	11"	NON-VIABLE

*Grey shading indicates non-viable trees.

Tree Mitigation Calculations

Total existing DBH pre-development: 124" (135" per acre)

Total DBH to be removed: 124"

Total DBH to be preserved: 0"

Required Mitigation

Existing Trees 10"-14" = 11 trees (124") = 62" Mitigation
(1" Replacement for 2" Removed)

Total mitigation required: 62" (18 shade trees at 3-1/2" cal)

Provided Mitigation

6 Little Gem Magnolias @ 3-1/2" each = 21"

6 Live Oaks @ 3-1/2" each = 21"

6 Slash Pines @ 3-1/2" each = 21"

Total Mitigation Provided = 63"

REVISIONS

DATE BY

MPA Michael Pape
 & Associates, PA
 LAND PLANNING • SITE DESIGN • LANDSCAPE ARCHITECTURE
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MARION OAKS TOWNHOMES
 MARION COUNTY, FLORIDA
 TREE REMOVAL PLAN

DATE 03-06-25

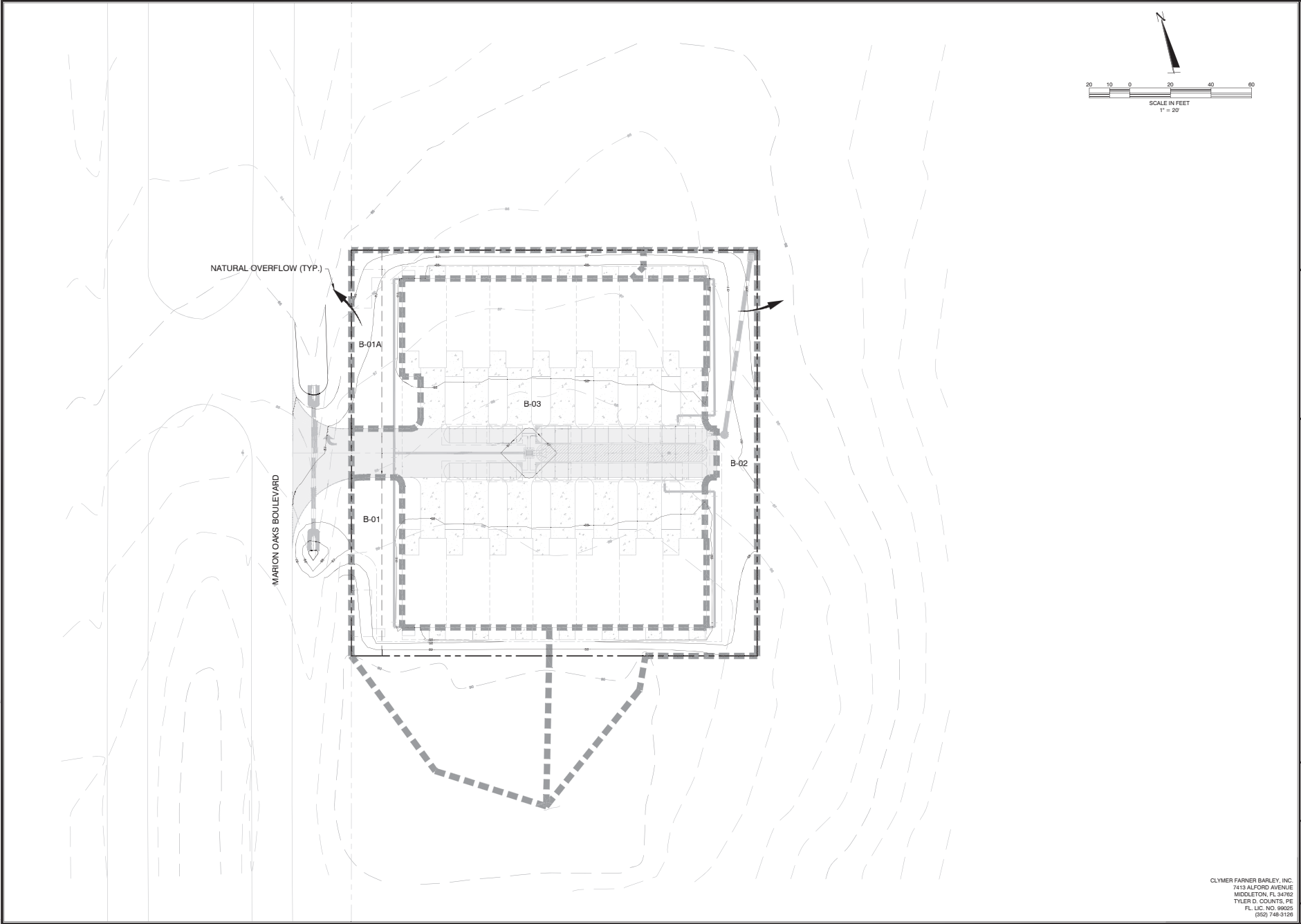
DWN BY JET

CHD BY SJS

SHEET 1 OF 1

TR-1

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CLYMER FARNER BARLEY, INC.
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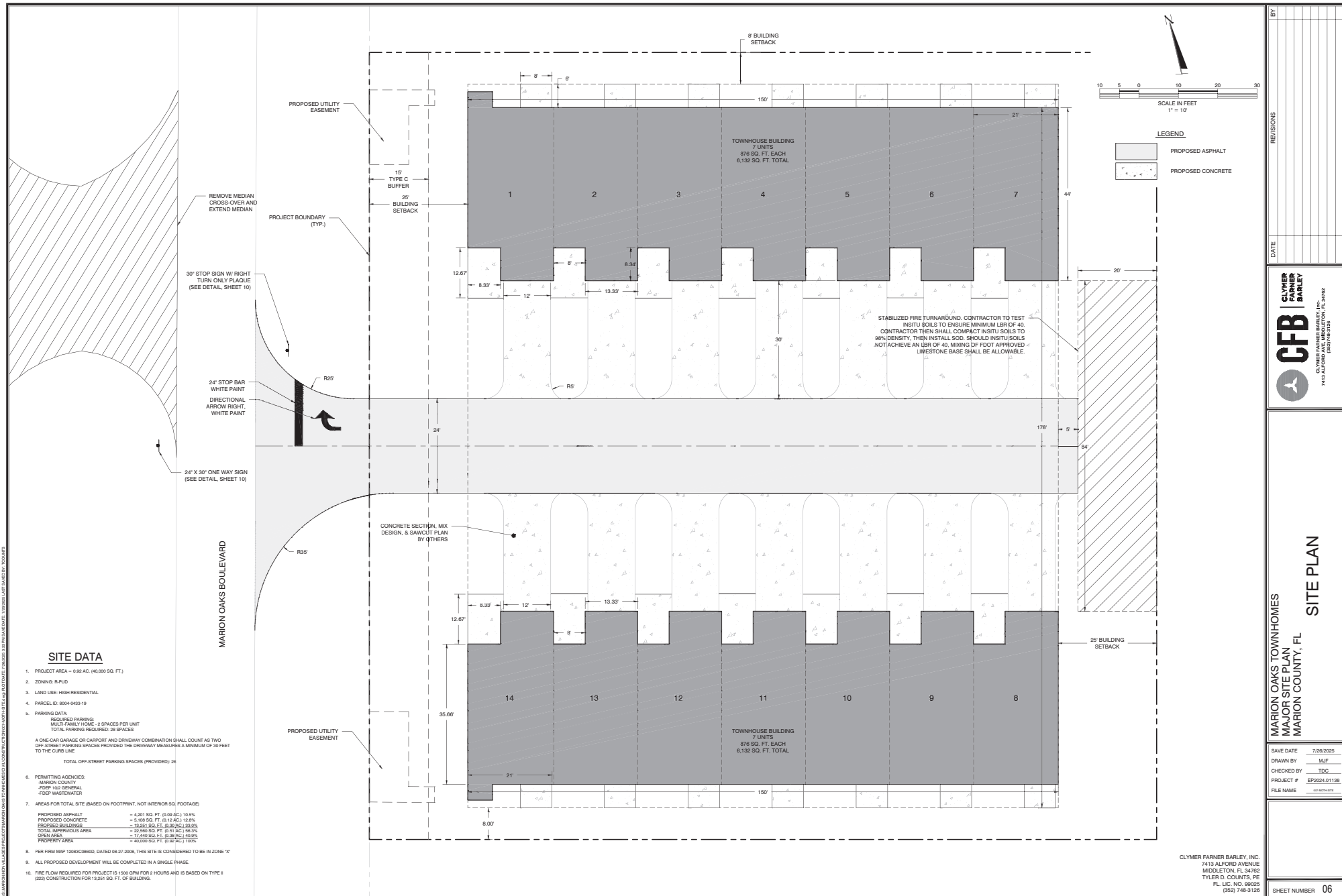
MARION OAKS TOWNHOMES MAJOR SITE PLAN MARION COUNTY, FL		CFB CLYMER FARNER BARLEY, INC. 7413 ALFORD AVENUE, MIDDLETON, FL 34762 (352) 748-3126	DATE	BY
POST-DEVELOPMENT BASIN MAP			REVISIONS	
SAVE DATE	7/24/2025			
DRAWN BY	M.F.			
CHECKED BY	TDC			
PROJECT #	EP2024-01138			
FILE NAME	2024-07-24-01138.dwg			
SHEET NUMBER		04		

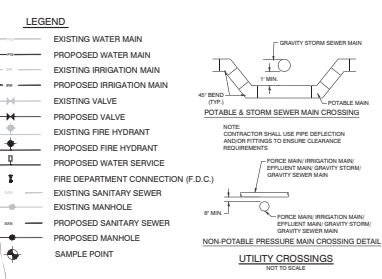
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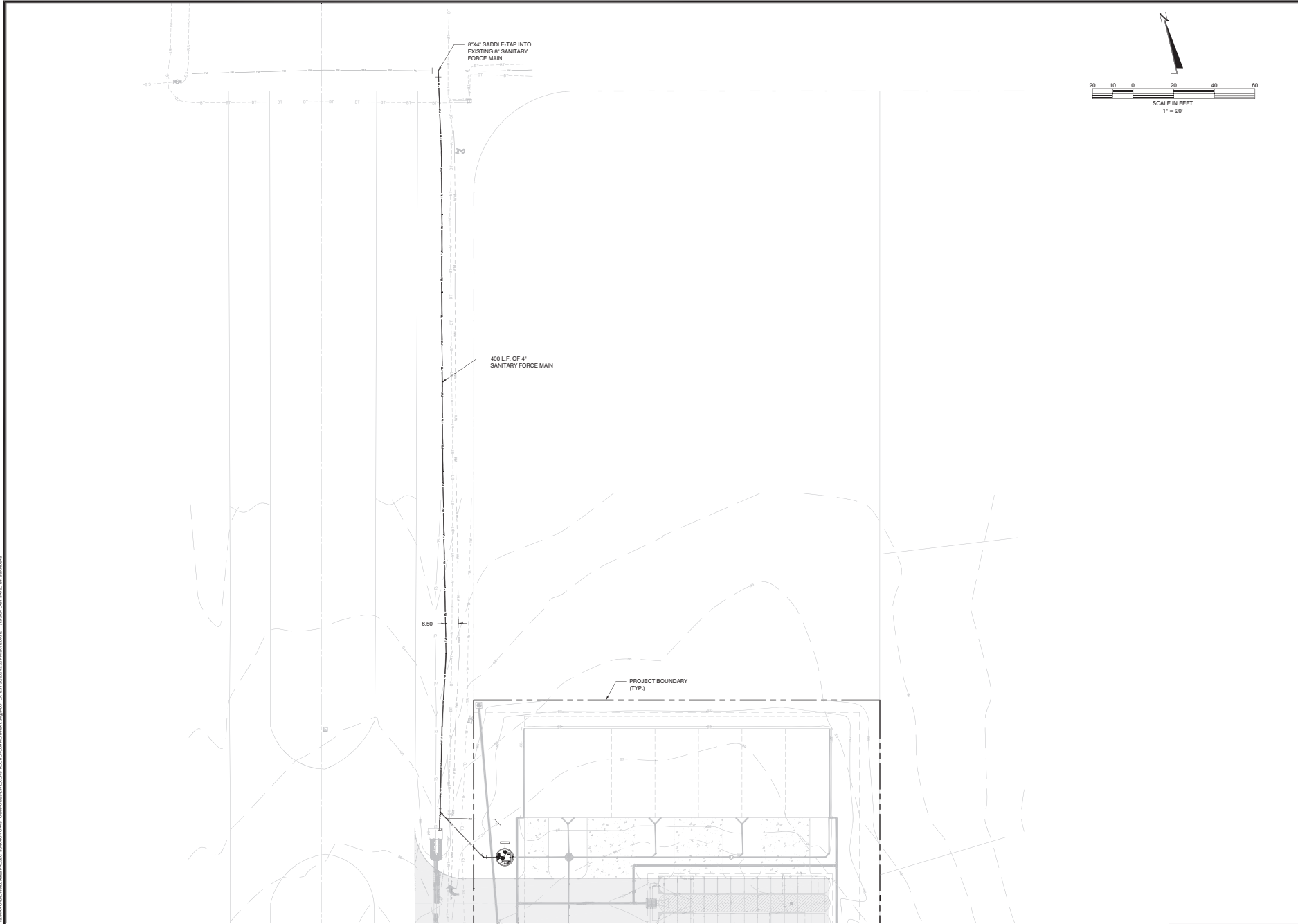
- NOTES:**
1. IT IS THE RESPONSIBILITY OF THE SITE CONTRACTOR TO CONSTRUCT ALL WATER SERVICES, WATER AND FIRE MAINS, AND SANITARY SEWER TRUNKS AND LATERAL SERVICES AS SHOWN ON THE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND THE BUILDING.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE MARION COUNTY UTILITIES DEPARTMENT. THE CONTRACTOR SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MARION COUNTY UTILITIES (MCU) STANDARD SPECIFICATIONS FOR WATER AND SANITARY SEWER CONSTRUCTION.
3. THE CONTRACTOR SHALL COORDINATE WITH THE MARION COUNTY UTILITIES DEPARTMENT.
4. THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE UTILITY DEPARTMENT TWO (2) WEEKS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO ANY MATERIALS BEING DELIVERED ON-SITE.
5. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED.
6. CONTRACTOR WILL NOT OWN ANY UTILITY LINES PAST THE RIGHT-OF-WAY. ANY NEWLY INSTALLED UTILITY LINES SHALL BE THE PROPERTY OF THE CITY OF MARION. APPROPRIATELY COLORED CAPS AND BONNET WILL BE REQUIRED PRIOR TO C.C. TO IDENTIFY ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEVELOPMENT OF THIS SITE ARE TO BE RAISED TO THE FINAL GRADE PRIOR TO ISSUANCE OF THE C.C.U.
7. THE CONTRACTOR SHALL MEET THE MARION WATER AND SEWER CONSTRUCTION MANUAL REQUIREMENTS ARE TO BE SUPPLIED TO THE CITY PRIOR TO ISSUANCE OF C.C.U. PRIOR TO THE START OF CONSTRUCTION.
8. BETWEEN BUILDING AND METER BOX AT A MINIMUM OF 18" FROM FINAL GRADE TO BOTTOM OF BACKFLOW IS TO BE PROVIDED.
9. ALL PERFORMED AND NOT PERFORMED WORK TO BE COMPLETED ON OR AROUND EXISTING MCUI INFRASTRUCTURE A PRE-CONSTRUCTION MEETING IS REQUIRED TO BE HELD PRIOR TO THE START OF CONSTRUCTION.
10. PRE-CONSTRUCTION MEETING IS NOT COMPLETED, ANY WORK MAY BE HALTED TO CORRECT THE CONTRACT DOCUMENTS.
11. SURVEYOR SHALL DELIVER THROUGH EDR, PDF AND DWG AS BUILDS INCLUDING NAD 83 WGS 84 COORDINATES FOR ALL FEATURES PER CODE DEFINED IN SECTION 6.4.1.A. RESULTS SHALL BE SUBMITTED TO MCUI A MINIMUM OF TWO WEEKS PRIOR TO ANY FDEP REQUEST. THIS WILL ALLOW FOR ADEQUATE TIME TO REVIEW AND REVISION OF THE BILL OF MATERIALS.
12. DELAYED/EXPIRED REQUESTS AS A RESULT OF INSUFFICIENT TIME SHALL BE THE

CLEARANCE REQUIREMENTS FOR POTABLE WATER/SANITARY,
STORM SEWER, RECLAIMED WATER, AND NON-POTABLE IRRIGATION PIPING

THE MINIMUM VERTICAL AND HORIZONTAL SEPARATION BETWEEN POTABLE WATER AND
SANITARY SEWER MAINS TO COMPLY WITH RULES 62-604.400(2)(G) - (I), F.A.C. AND

1. NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY OTHER PIPE OR CONDUIT, EXCEPT FOR LOWER STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART II OF CHAPTER 62-610. F.A.C. NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY OTHER PIPE OR CONDUIT, EXCEPT FOR LOWER STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART II OF CHAPTER 62-610. F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY OTHER PIPE OR CONDUIT SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER, OR NEW OR RELOCATED UNDERGROUND WATER MAIN AND WATER MAIN OR UNDERGROUND PRESSURIZED GRAVITY OR VACUUM-TYPE SANITARY SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY OTHER PIPE OR CONDUIT SHALL BE AT LEAST SIX INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAID THE WATER MAIN ABOVE THE OTHER PIPELINE. NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART II OF CHAPTER 62-610 AND THE OUTSIDE OF ANY OTHER PIPE OR CONDUIT, EXCEPT FOR LOWER STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART II OF CHAPTER 62-610. F.A.C. IT IS PREFERABLE TO LAID THE WATER MAIN ABOVE THE OTHER PIPELINE.
2. AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF THE WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE, AT SUCH CROSSINGS THE PIPES SHALL BE ARRANGED SO THAT ALL UTILITY JOINTS ARE LOCATED ABOVE OR BELOW THE OTHER PIPELINE. NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART II OF CHAPTER 62-610 AND THE OUTSIDE OF ANY OTHER PIPE OR CONDUIT, EXCEPT FOR LOWER STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART II OF CHAPTER 62-610. F.A.C. IT IS PREFERABLE TO LAID THE WATER MAIN ABOVE THE OTHER PIPELINE.

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MARION OAKS TOWNHOMES		CFB CLYMER FARMER BARKLEY, INC. CLYMER FARMER BARKLEY, INC. 4400 NE 63RD AVE, SUITE 200 FORT LAUDERDALE, FL 33309 (954) 574-1100	DATE	BY
FORCE MAIN EXTENSION			REVISIONS	
SAVE DATE 11/13/2024				
DRAWN BY RCB				
CHECKED BY TDC				
PROJECT # EP2024.01138				
FILE NAME				
SHEET NUMBER 09				



	MATERIAL LOCATION	DESCRIPTION	ASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT AND FINISHES GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	ANY SPOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEERS PLANS CHECK PLANS FOR PAVEMENT SUBBASE	N/A	PREPARE PER SITE DESIGN ENGINEER PLANS. PAVED MATERIALS MAY HAVE STRONGER MATERIALS AND PREPARATION REQUIREMENTS
	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDEDMENT STONE 'C' LAYER TO 800 mm (26") ABOVE THE TOP OF THE CHAMBER COVER THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER	GRANULAR WELL-GRADED SOIL-AGGREGATE MIXTURES, <5% FINES OR LESS MOST PAVEMENT SUBBASE MATERIALS CAN BE USED HERE IF THE SUBBASE	ASHTO M30 ¹ A-1, A-2, A-3 1/2" MINIMUM COMPACTED AT 24" 800 mm (26") OF MATERIAL OVER THE EMBEDEDMENT STONE TO PROVIDE ADDITIONAL LAYER OF 1200 COMPACT LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL-GRADED MATERIALS OR 90% PROCTOR DENSITY FOR PROCESSED AGGREGATE MATERIALS	
B	EMBEDEDMENT STONE FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (LAYER 'B') TO THE 'C' LAYER	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE ²¹	ASHTO M30 ¹ 3, 357, 4, 407, 5, 56, 57, 6, 63, 67, 7, 8, 8.5, 9, 10	NO COMPACTION REQUIRED
A	FOUNDATION STONE FILL FILL SURROUNDING THE CHAMBERS GOING UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE ²¹	ASHTO M30 ¹ 3, 357, 4, 407, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE ²¹

1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBER" CHAMBER CLASSIFICATION 60x10.

2. MC-70 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2789 "STANDARD SPECIFICATION FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBER". THE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS. REFERENCE: FORTHECH DESIGN MANUAL FOR BEARING CAPACITY GUIDANCE.

4. PERMITTEE STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.

5. REQUIREMENTS FOR HANDLING AND INSTALLATION

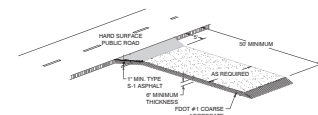
• TO MAINTAIN THE JOINT OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STAGGING LOGS.

• TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT MUST NOT BE LESS THAN 7".

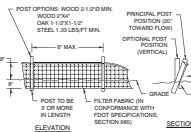
• TO ACHIEVE THE INTEGRAL INTERLOCKING STAGGING LOGS, THE CHAMBERS SHALL BE DESIGNED TO A MINIMUM OF 40 LBS/SQ.FT.

• AS CL 6 IS DEFINED IN SECTION 2.2.4 OF ASTM F2418, AND TO AVOID CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F/ 22° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

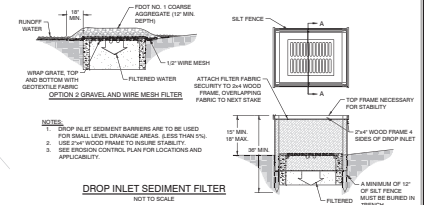




GRAVEL CONSTRUCTION ENTRANCE
NOT TO SCALE



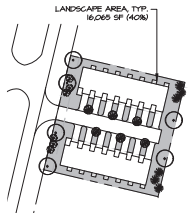
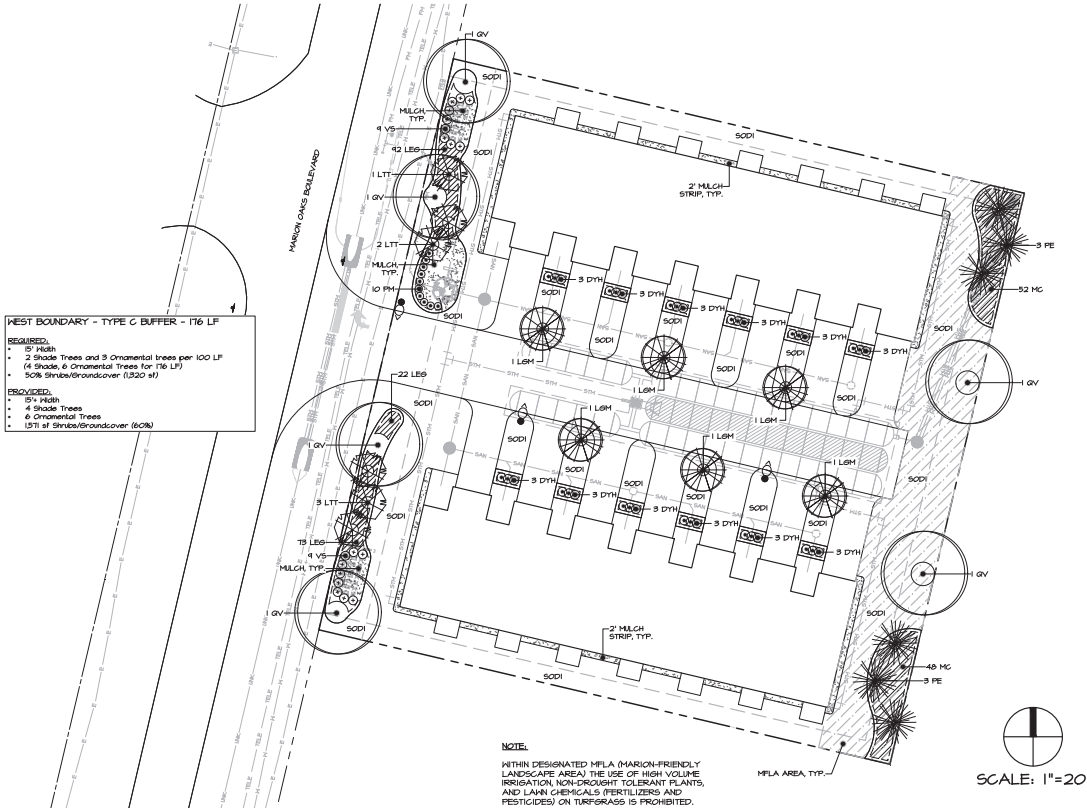
**FLORIDA DOT TYPE III SILT FENCE
AND EROSION CONTROL**
NOT TO SCALE



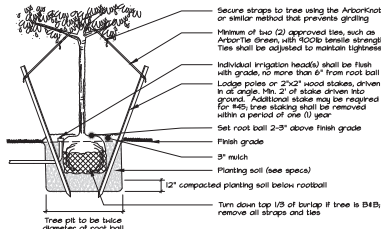
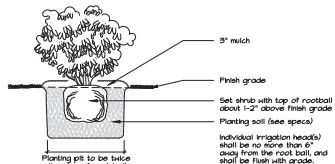
NOTES:

7. THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF-SITE SEDIMENT DURING AND AFTER CONSTRUCTION OF THE PROJECT.
 8. TEMPORARY EROSION CONTROL TO BE UTILIZED DURING CONSTRUCTION AT AREAS WHERE EROSION IS LIKELY TO OCCUR OR WHERE EROSION PROBLEMS HAVE OCCURRED. EROSION CONTROL MAY BE REMOVED AFTER UPLIFTE AREA HAS BEEN PROTECTED BY CONSTRUCTION OF PERMANENT EROSION CONTROL MEASURES.
 9. PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT EARLIEST PRACTICAL TIME, CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE PRIMARY PURPOSES OF THESE MEASURES IS TO PREVENT EROSION OF THE PROJECT TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT AND TO PREVENT WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES, AND WATER RESOURCES.
 10. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH THE CONSTRUCTION SCHEDULE. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE REMOVED UNTIL PERMANENT EROSION CONTROL MEASURES ARE IN PLACE.
 11. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.
 12. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED IMMEDIATELY AFTER THE OCCURRENCE OF SUCH DAMAGE.
 13. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIERS.
 14. MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY THE NEXT RAINFALL.
 15. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE DESIGNED TO CONFORM TO THE EXISTING GRADE, PREPARED, AND REVEALED.
 16. SLT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR SLT FENCED (L.F.)
 17. SLT FENCE TO REMAIN IN PLACE UNTIL FINISH GRADING FOR THE LANDSCAPING IS UNDERWAY.
- THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE, IN THE OPINION OF THE ENGINEER, ADEQUATE TO PREVENT EROSION AND SEDIMENTATION. IF ANY ADDITIONAL, OR REDUCED EROSION CONTROL MEASURES TO BE IMPLEMENTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND BEST MANAGEMENT PRACTICES IMPLEMENTING SUCH EROSION CONTROL PLAN.

CLYMER FARNER BARLEY, INC.
7413 ALFORD AVENUE
MIDDLETON, FL 34762
TYLER D. COUNTS, PE
FL. LIC. NO. 99025
(352) 748-3126



LANDSCAPE AREA DIAGRAM
NOT TO SCALE



TREE INSTALLATION DETAIL
FOR MULTI-TRUNK TREES, TREES LESS THAN 3" CAL., OR CONTAINER TREES UP TO 45 GAL.

LANDSCAPE CALCULATIONS

LAND USE: HIGH RESIDENTIAL
SITE/PROJECT AREA - REFER TO CIVIL PLANS: 0.12 AC (40,000 SF)
LANDSCAPE AREA: 0.31 AC (16,260 SF) (40%) SEE DIAGRAM SHEET L-1
THIS SITE IS NOT LOCATED WITHIN THE URBAN GROWTH BOUNDARY.
THIS SITE IS LOCATED WITHIN THE SECONDARY SILVER SPRINGS PROTECTION ZONE.

TREE REMOVAL/PRESERVATION
SEE TR-1 FOR TREE MITIGATION CALCULATIONS

SHADE TREE REQUIREMENT
SHADE TREES REQUIRED: 0.12 AC (40,000 SF) / 5,000 SF = 8
EXISTING SHADE TREES TO REMAIN: 0
PROPOSED SHADE TREES: 18 (100% NATIVE)
TOTAL SHADE TREES PROVIDED: 18

OTHER CALCULATIONS

MFLA: REQUIRED: 2,410 SF (59%)
PROVIDED: 1498 SF (59%)
PROPOSED UNDERSTORY/ORNAMENTAL TREES: 6
SHRUBS, GRASSES AND GRASSCOVER PROPOSED: 351
NATIVE: 156 (39%)
FL FRIENDLY: 351 (100%)
TOTAL NATIVE PERCENTAGE (ALL TREES AND PLANTS): 154 (41%)

BUILDING LANDSCAPING
REQUIRED: 40% OF 154 PUBLIC FACADE (WEST SIDE) 106 LF
PROVIDED: 100% (116 LF)

LANDSCAPE BUFFER REQUIREMENTS

NORTH BOUNDARY - NO BUFFER REQUIRED
EAST BOUNDARY - NO BUFFER REQUIRED
WEST BOUNDARY - 5' TYPE C BUFFER - ADJACENT TO MARION OAKS BLVD ROW
SOUTH BOUNDARY - NO BUFFER REQUIRED
SEE PLAN FOR BUFFER DETAILS

MARION COUNTY LANDSCAPE REQUIREMENTS:

- Upon completion of the installation, the contractor shall request an inspection by the design professional. A Landscape and Irrigation As-Built Certification shall be signed and sealed by the design professional and submitted to the County Landscape Architect prior to the issuance of a Certificate of Occupancy per Section 6.8.12 of LDR.
- Landscape maintenance shall be in accordance with Section 6.8.13 of LDR.
 - All landscape areas shall be maintained in accordance with the Florida-Friendly Best Management Practices for Protection of Water Resources by the Green Industries, UF/IFAS and FDEP.
 - Trees or palms shall not be severely pruned or shaped. The natural growth habit of a tree or palm shall be considered during the design phase to avoid maintenance conflicts.
 - Trees or palms which are girdled or braced shall have such girdling or bracing removed once sufficient root growth has enabled the tree or palm to support itself. Damaging trees with girdling devices shall be considered a violation of this code. Damaged trees shall be replaced at the expense of the owner.
 - The alteration of any required and approved landscape area without obtaining prior written approval from the County is prohibited. The expansion of drought tolerant landscaping, excluding the replacement of planted areas with turfgrass, or replacing dying or diseased plants with similar plant material is excluded.
 - Buffers and screening plantings shall provide healthy appearance year round and be maintained at the required minimum heights.
- Landscape installation and maintenance shall be in accordance with Section 6.8.15 of the LDR.
 - Landscape installation professionals performing work for hire within the unincorporated areas of Marion County shall be landscape contractors licensed by the Marion County Building Department, unless otherwise licensed by the State of Florida.
 - Landscape maintenance professionals performing work for hire within the unincorporated areas of Marion County shall possess current 6I-BMP Certificate of Completion.
 - Any person providing services for hire regarding any aspect of landscape maintenance that includes the application of fertilizer or pesticide shall meet the applicable state and county licensing and certification requirements included herein.
- An irrigation plan shall be provided prior to issuance of a development order or building permit. All irrigation systems, including temporary, shall comply with the design standards of the Marion County Land Development Code Division 4, Sec. 6.8, and all other state and local statutes that apply, irrigation design and plantings by others.

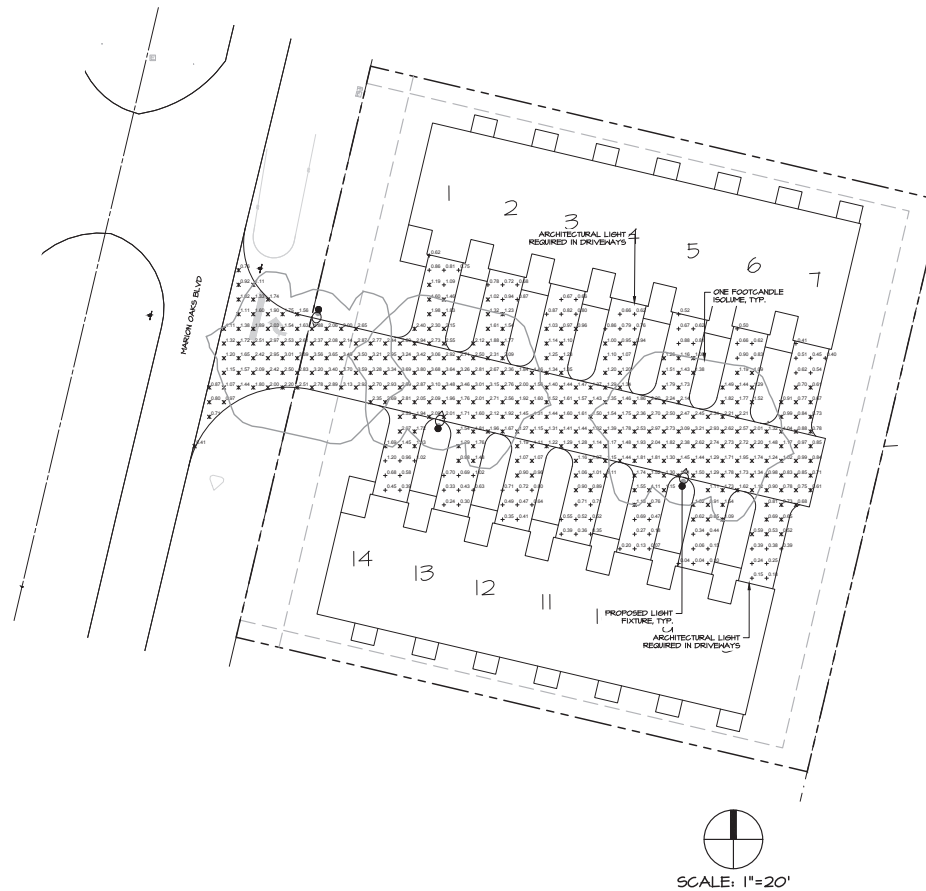
PLANT SCHEDULE

Note: Plant quantities are provided as a guide only. The contractor shall confirm total quantities on reflected by the plan. All sizes given are minimum unless otherwise noted. Every component of spec shall be met.

Qty	Qty	Plant Name	Size and Spacing	Maintenance
NATIVE	DYH	36 Dwarf Yaupon Holly Ilex vomitoria 'Stokes Dwarf' - (DYH)	Cont. 18" Ht min x 14-18" spri; 3' oc	3' Ht x 3' full hedge; may be sheared
LEB	187	Emerald Boobies Linolea Linolea mascon 'Emerald Boobies' - (LEB)	#1, full; 5-7' ppp min; 18" oc	18" Ht x full mass
NATIVE	LGM	6 Little Gem Magnolia Magnolia grandiflora 'Little Gem' - (LGM)	Cont./B&B 12-14" Ht x 5-6" spri; 3-1/2' cal	Allow natural growth; prune only for form or dead wood
NATIVE	LTT	6 Ligustrum, tree-type Ligustrum japonicum - (LTT)	B&B 6" Ht x 6" spri; multi-trunk; 2' min open below	Allow natural growth; 6-8' open below; prune informally do not shear
NATIVE	HC	100 Holly dress Halesbergia capillaris - (HC)	#5; full; 3' oc	Allow natural growth; remove weeds; cut back other last frost annually
NATIVE	PH	10 Japanese Yew, Columnar Podocarpus macrophyllus - (PH)	#5; 5' Ht x 2-3' spri; turgid, full and vigorous; 30" oc	6' Ht x 3' full hedge; may be sheared
NATIVE	PE	6 Slosh Pine Pinus strobus - (PE)	Cont./B&B 12-14" Ht x 6" spri; 3-1/2' cal min	Allow natural growth; prune dead wood
NATIVE	GV	6 Live Oak Quercus virginiana - (GV)	B&B 13-15' Ht x 6-8" spri; 3-1/2' cal min	Allow natural growth; prune only for form or dead wood
NATIVE	VS	18 Sandbar Vireo Viburnum acerifolium - (VS)	#1, 2' Ht x 3' spri; 3' oc	3' Ht x 3' full hedge
MELCH		Pine Shrub - (MELCH)	3" depth	Refresh annually, or as needed
SODI		Argentine Bahia Paspalum notatum 'Argentine' - (SODI)	Pallet	

UNIRRIGATED BAHIA:

IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO PROVIDE TEMPORARY IRRIGATION TO UNIRRIGATED BAHIA INSTALLED AS PART OF THIS CONTRACT, UNTIL ESTABLISHMENT OR TURNOVER, NECESSARY OCCURS EARLIER.



LIGHTING LEGEND

1. SHOEBOX LIGHT: CURRENT SINGLE VOLTAGE BALS SERIES LED,
 EALS-09-0-F4-AH-1-30-N-A-1-CL-BL-G-L-T-V4-M, 3000K, 14
 DISTRIBUTION, 20° MOUNTING HT, ROUND, BLACK, TAPERED, MEDIUM
 DUTY, STRESSCRACK POLY.
- ROTATE OPTICS AS SHOWN ON LIGHT SYMBOL.
- SECO HAS LEASABLE OPTIONS IF NEEDED
- CONFIRM SPECIFICATIONS WITH SUBMITTAL OF GUTSHEETS AND FULL PRODUCT
 CODE NUMBERS TO OWNER.
- LIGHTS HAVE BEEN CAREFULLY LOCATED TO ACHIEVE REQUIRED LIGHT
 LEVELS/DESIGN CRITERIA, AND TO AVOID EXCESSIVE AND PROPOSED
 UTILITIES. IF ANY CHANGES ARE REQUIRED, CONTACT MPA FOR
 DIRECTION/COORDINATION.

Notes

1. Architectural lighting that is required for areas around the building to maintain adequate lighting for safety and security and such lighting is not required to be included in the lighting calculations.
2. Any changes or obstructions made to this plan shall be evaluated to ensure adequate light levels are provided.
3. Illuminance values shown on the design specifications may vary. Variations in actual illuminance due to changes in the design or specifications may cause the actual measured values to vary.
4. Orient fixtures and arms as shown on plan.
5. Buildings have been included in this calculation as non-reflective obstructions.
6. All point to point values shown are maintained (a light depreciation factor has been included). Light levels are measured at finished grade.
7. Only futures shown have been included in this calculation. Light installations not shown in the landscape analysis and site plan properties have not been included.
8. All electrical engineering, cabling, installation details and installation specifications, etc. shall be in accordance with the lighting plan by a licensed electrical engineer. The engineer is responsible to design and install the electrical components necessary to supply power to the proposed lights. All electrical work is subject to the applicable codes and shall be bid as lump sum and includes all work necessary to complete the project.

Statistics
Site Average: 1.78 fc
Min: 0.41 fc (paved surfaces)
Max: 3.80 fc (paved surfaces)
Light Loss Factor: 0.7
*Statistics have driveway removed

[illegible]

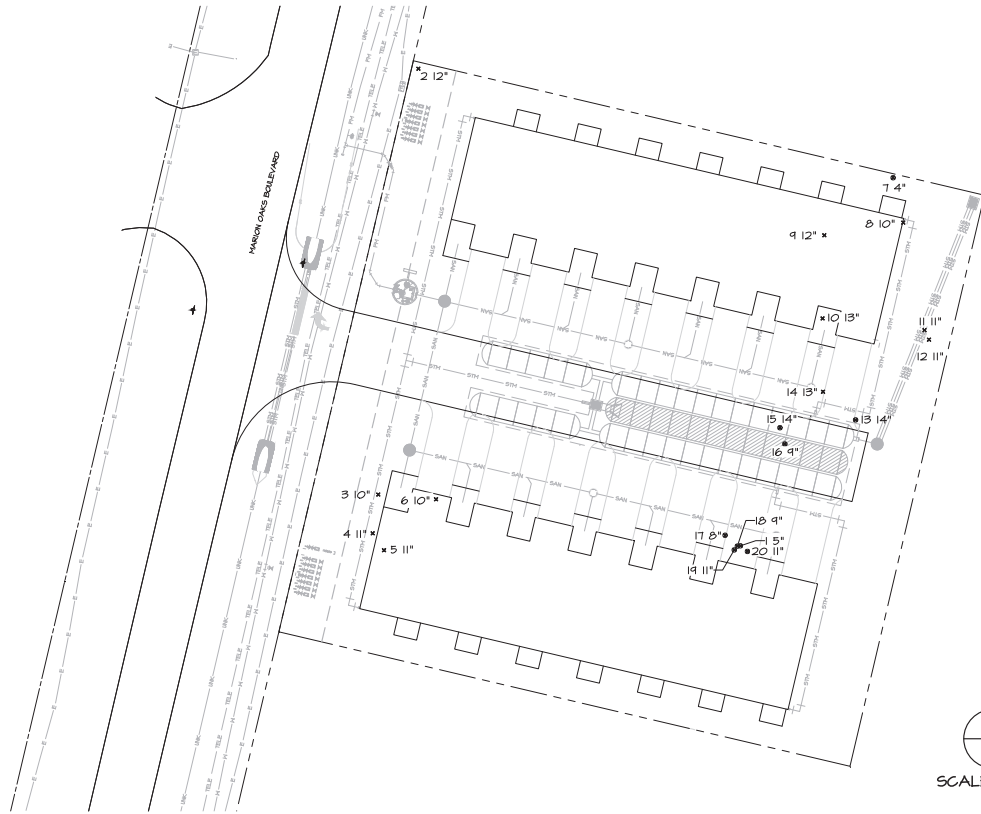
MPA Michael Pape
& Associates, PA
LAND PLANNING • SITE DESIGN • LANDSCAPE ARCHITECTURE
2351 SE 17th Street, Ocala, FL • 352.351.3500 • www.MPA-LA.com



MARION OAKS TOWNHOMES
MARION COUNTY, FLORIDA
PHOTOMETRIC PLAN

DATE 05-21-25
DOWN BY RAZ
CHKD. BY SMS
SHEET 1 OF 1

LTG-I



KEY

★ 5 11" TREE TO BE REMOVED - VIABLE

● 13 14" TREE TO BE REMOVED - NON-VIABLE

SCALE: 1"=20'

SITE DATA

Site Area: 0.92 ACt. (40,000 sf)

Tree Removal and Replacement

(Tree survey provided by Clymer Farmer Barley)

Existing trees have been evaluated by MPA ISA Certified Arborist William Needham FL5846A and Landscape Architect Suzanne Stancil FLA6666662 and have been categorized as viable or non-viable. Viable trees are healthy and thriving. Non-viable trees include designated invasive/prohibited species, and trees that are damaged, or in decline, and which require removal for protection of the public health, safety, and welfare. Non-viable trees are not included in replacement calculations.

Tree Number	Type	DBH	VIABLE/NON-VIABLE
1	PINE	5"	NON-VIABLE
2	LIVE OAK	12"	VIABLE
3	PINE	10"	VIABLE
4	PINE	11"	VIABLE
5	PINE	11"	VIABLE
6	PINE	10"	VIABLE
7	WATER OAK	4"	NON-VIABLE
8	PINE	10"	VIABLE
9	PINE	12"	VIABLE
10	PINE	13"	VIABLE
11	PINE	12"	VIABLE
12	PINE	11"	VIABLE
13	PINE	14"	NON-VIABLE
14	PINE	15"	VIABLE
15	PINE	14"	NON-VIABLE
16	PINE	9"	NON-VIABLE
17	PINE	8"	NON-VIABLE
18	PINE	5"	NON-VIABLE
19	PINE	11"	NON-VIABLE
20	PINE	11"	NON-VIABLE

*Grey shading indicates non-viable trees.

Tree Mitigation Calculations

Total existing DBH pre-development: 124" (135" per acre)

Total DBH to be removed: 124"

Total DBH to be preserved: 0"

Required Mitigation

Existing Trees 10"-14" = 11 trees (124") = 62" Mitigation
(1" Replacement for 2" Removed)

Total mitigation required: 62" (18 shade trees at 3-1/2" cal)

Provided Mitigation

6 Little Gem Magnolias @ 3-1/2" each = 21"

6 Live Oaks @ 3-1/2" each = 21"

6 Slash Pines @ 3-1/2" each = 21"

Total Mitigation Provided = 63"

REVISIONS

DATE BY

MPA Michael Pape & Associates, PA
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MARION OAKS TOWNHOMES
MARION COUNTY, FLORIDA
TREE REMOVAL PLAN

DATE 05-21-25

DWN BY JET

CHD BY SLS

SHEET 1 OF 1

TR-1

VICINITY MAP

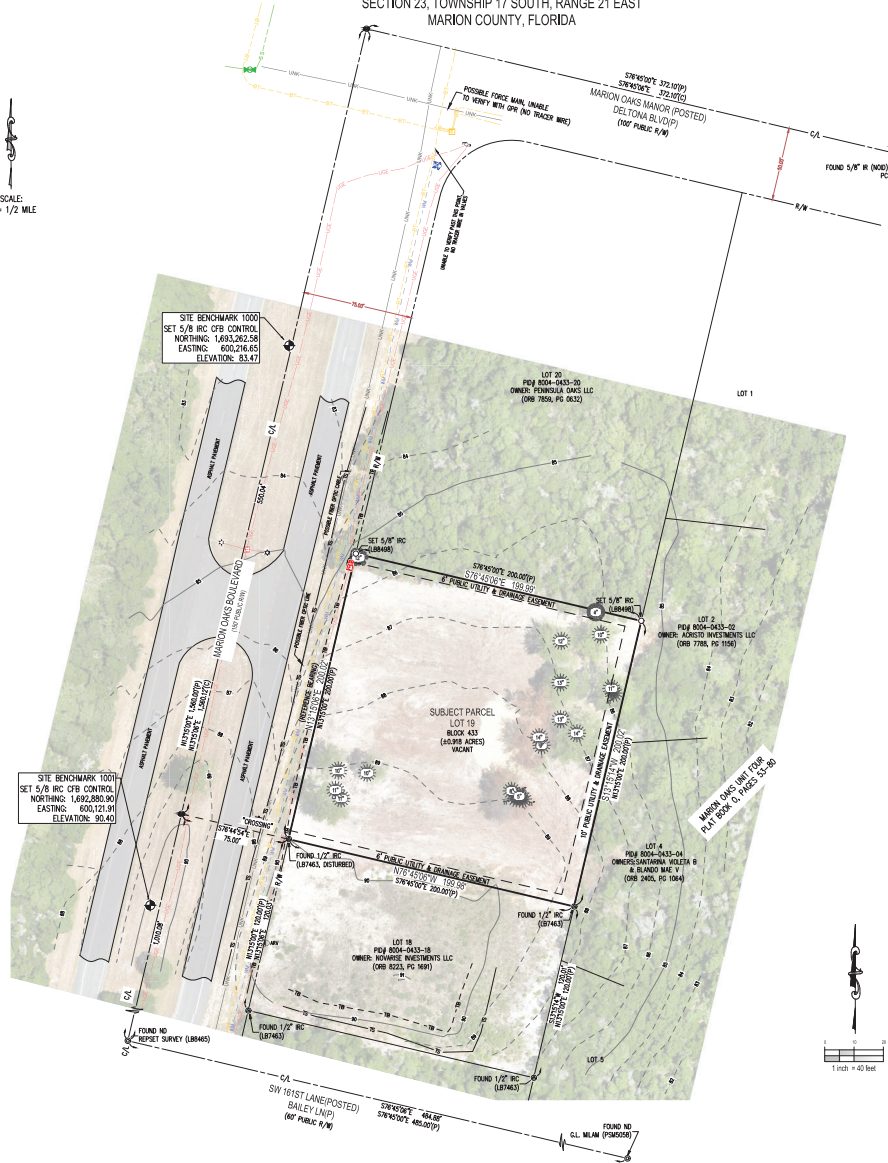


SCALE:
1" = 1/2 MILE

BOUNDARY & TOPOGRAPHIC SURVEY

-FOR-

CLYMER FARNER BARLEY, INC.
PID# 8004-0433-19
LOT 19, BLOCK 433
MARION OAKS UNIT FOUR
PLAT BOOK 0, PAGES 53-80
SECTION 23, TOWNSHIP 17 SOUTH, RANGE 21 EAST
MARION COUNTY, FLORIDA



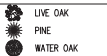
LEGAL DESCRIPTION:

LOT 19, OF BLOCK 433, OF MARION OAKS UNIT FOUR, A SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 0, PAGES 53 THROUGH 80, INCLUSIVE, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

SURVEY NOTES:

- THIS IS A BOUNDARY & TOPOGRAPHIC SURVEY AS DEFINED IN CHAPTER 54-17.050 (11) FLORIDA ADMINISTRATIVE CODE.
- BEARINGS SHOWN HEREON NOT DENOTED WITH (P) OR (C) ARE BASED ON GRID NORTH AS ESTABLISHED BY THE NATIONAL OCEAN SERVICE (NOS) THROUGH ITS PROGRAM OFFICE NATIONAL GEODETIC SURVEY (NGS). AS A REFERENCE FOR THIS SURVEY, THE EASTERLY RIGHT OF WAY LINE OF MARION OAKS BOULEVARD HAS A BEARING OF NORTH 131°50' EAST.
- COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM (NAD) OF 1983 WITH 2011 ADJUSTMENT.
- ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM) NUMBER 12083C0600, MARION COUNTY, FLORIDA, EFFECTIVE DATE OF AUGUST 28, 2008, THE PROPERTY DESCRIBED HEREON LIES WITHIN ZONE "X".
- THE DESCRIPTION OF THE LAND CONTAINED IN THIS BOUNDARY SURVEY IS BASED ON THE DESCRIPTION RECORDED IN THE WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 8330, PAGE 1457 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA. THIS SURVEY DOES NOT HAVE THE BENEFIT OF A CURRENT TITLE COMMITMENT, OPINION, OR ABSTRACT. DURING THE COURSE OF THE SURVEY SOME SEARCHES OF THE PUBLIC RECORDS WERE MADE, BUT THESE SEARCHES WERE NOT EXHAUSTIVE AND SHOULD NOT BE CONSIDERED A SUBSTITUTE FOR A PROPER TITLE COMMITMENT, OPINION, OR ABSTRACT OBTAINED FROM A TITLE AGENCY OR OTHER TITLE PROFESSIONAL.
- NORTH-SOUTH AND EAST-WEST TIES TO FOUND MONUMENTATION AND IMPROVEMENTS ARE BASED ON CARDINAL DIRECTION, UNLESS ENDING IN "1/4" (N/4, E/4, S/4, W/4) WHICH ARE PERPENDICULAR TIES TO THE BOUNDARY LINE.
- WETLAND AREAS, IF EXISTING, WERE NOT ADDRESSED AS A PART OF THIS SURVEY.
- UNDERGROUND UTILITIES WERE DESIGNATED BY PRECISE LOCATING SERVICES, INC. AND LOCATED BY THIS FIRM AS A PART OF THIS SURVEY. NO SOFT DIG EXERCISES WERE PERFORMED TO VERIFY SIZE OR DEPTH OF A UTILITY.
- THIS SURVEY MAP AND REPORT (IF APPLICABLE) OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER (IF A HARD COPY), OR THE ADDED PDF CONTAINING THE ELECTRONIC SIGNATURE HAS NOT BEEN VALIDATED TO BE THE ORIGINAL SIGNED AND SEALED VERSION (IF AN ELECTRONIC FILE). IF AN ELECTRONIC FILE, PRINTED COPIES OF THE SURVEY MAP ARE NOT CONSIDERED TO BE A VALID SIGNED AND SEALED COPY.
- RECORDING REFERENCES (SUCH AS OFFICIAL RECORDS BOOK AND PAGE, AND PLAT BOOK AND PAGE) SHOWN HEREON, REFER TO DOCUMENTS RECORDED IN THE OFFICIAL RECORDS OF MARION COUNTY, FLORIDA.
- ELEVATIONS SHOWN HEREON ARE PURSUANT TO THE NORTH AMERICAN VERTICAL DATUM OF 1988. THE ORIGINATING BENCHMARK FOR THE ELEVATIONS DEPICTED HEREON IS NATIONAL GEODETIC SURVEY BENCHMARK 175 73 ASD, SAID POINT HAVING AN ELEVATION OF 81.57 FEET.
- THE AERIAL IMAGE DEPICTED HEREON IS DATED JUNE 13, 2024 AND WAS OBTAINED BY THIS FIRM.
- DISTANCES AND ACRES SHOWN HEREON ARE MEASURED IN U.S. SURVEY FEET AND DECIMALS THEREOF. MEASUREMENTS DEPICTED HEREON ARE FIELD DERIVED UNLESS OTHERWISE NOTED.
- SUBJECT PARCEL CONTAINS: 40.918 ACRES

TREE LEGEND



LEGEND	DESCRIPTION
LB	MORE OR LESS LICENSED BUSINESS
ORR	OFFICIAL RECORDS BOOK
PRM	TAX PARCEL IDENTIFICATION NUMBER
PG	PAGE
(C)	CALCULATED MEASUREMENT
(P)	PLAT MEASUREMENT
C/L	CENTERLINE
R/W	RIGHT-OF-WAY
PC	POINT OF CURVATURE
IRC	IRON ROD AND CAP
ND	NAIL & DISK
NLY, ELY, SLY, & WLY	GENERAL CARDINAL DIRECTION (NORTHERLY, ETC)
THEORETICAL POINT	THEORETICAL POINT
FOUND IRON ROD (AS NOTED)	FOUND IRON ROD (AS NOTED)
FOUND NAIL & DISK (AS NOTED)	FOUND NAIL & DISK (AS NOTED)
FOUND 5/8" IRON ROD & CAP (AS NOTED)	FOUND 5/8" IRON ROD & CAP (AS NOTED)
SET 5/8" IRON ROD AND CAP (LB 8498)	SET 5/8" IRON ROD AND CAP (LB 8498)
GENERAL VALVE	GENERAL VALVE
WATER VALVE	WATER VALVE
FIRE HYDRANT	FIRE HYDRANT
WOOD UTILITY POLE	WOOD UTILITY POLE
LIGHT POLE	LIGHT POLE
SIGN	SIGN
ELECTRIC RISER	ELECTRIC RISER
PULLBOX (ELECTRIC)	PULLBOX (ELECTRIC)
AIR RELEASE VALVE	AIR RELEASE VALVE
TELEVISION RISER	TELEVISION RISER
FENCE	FENCE
OVERHEAD UTILITY LINE	OVERHEAD UTILITY LINE
UNDERGROUND CABLE TELEVISION	UNDERGROUND CABLE TELEVISION
UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
UNDERGROUND TELEPHONE LINE	UNDERGROUND TELEPHONE LINE
UNDERGROUND UNKNOWN	UNDERGROUND UNKNOWN
UNDERGROUND WATER LINE	UNDERGROUND WATER LINE
TOP OF BANK	TOP OF BANK
TOE OF SLOPE	TOE OF SLOPE
EXISTING CONTOUR	EXISTING CONTOUR
ASPHALT AREA	ASPHALT AREA
LINE BREAK	LINE BREAK

JAMES H. BLAIR, FLORIDA LICENSED SURVEYOR & MAPPER
FLORIDA REGISTRATION NO. 12871



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