

February 13, 2025

PROJECT NAME: STONE CREEK BY DEL WEBB - ARLINGTON AMENITY CENTER

PROJECT NUMBER: 2024090063

APPLICATION: MAJOR SITE PLAN #32038

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: INFO
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Alexander Turnipseed at (352) 671-8376 or at alexander.turnipseed@marionfl.org.
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 9/24/24-add waivers if requested in future
- 5 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
- 6 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Operating Permit Required
STATUS OF REVIEW: INFO
REMARKS: Proposed pool will require an operating permit through the Department of Health in Marion County.
- 7 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: Pool will require a pool construction application from the Department of Health in Marion County and \$150 fee. Once built the pool will require an operating permit through the Department of Health in Marion County.

- 8 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: Additional Landscape comments
STATUS OF REVIEW: INFO
REMARKS: Dwarf Pandanus is tropical and may not be suitable.
- 9 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.32 - Show 100yr flood zone
STATUS OF REVIEW: INFO
REMARKS: No flood zone shown on the subject parcel.
- 10 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 4.4.4 -Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan.
STATUS OF REVIEW: INFO
REMARKS: Existing monument signs indicated.
- 11 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.27 - Show location of outside storage areas
STATUS OF REVIEW: INFO
REMARKS: No outside storage indicated.
- 12 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW
REVIEW ITEM: Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: --**IF APPLICABLE**--
Sec. 2.18.1.I - Show connections to other phases.
Sec.2.19.2.H – Legal Documents
Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.
Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)
For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."
Sec. 6.3.1.B.2 – Required Right of Way Dedication
For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."
Sec. 6.3.1.D.3 - Cross Access Easements
For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."
Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)
"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."
Sec. 6.3.1.C.2 – Utility Easements
"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:
1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are

dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

AR 32038

DEVELOPMENT REVIEW PLAN APPLICATION

Date: 09/20/2024

A. PROJECT INFORMATION:

Project Name: Stone Creek by Del Webb - Arlington Amenity Center
Parcel Number(s): 3489-6000004
Section 11 Township 16S Range 20E Land Use OTOW DRI Zoning Classification PUD
Commercial Residential Industrial Institutional Mixed Use Other Amenity Center
Type of Plan: MAJOR SITE PLAN
Property Acreage 2.37 Number of Lots N/A Miles of Roads N/A
Location of Property with Crossroads SW 97th Terrace Rd and SW 70th St
Additional information regarding this submittal: Design of an amenity pool and associated parking.

B. CONTACT INFORMATION *(Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.)*

Engineer:
Firm Name: Kimley-Horn and Associates, Inc. Contact Name: Gene Bruno Losito, P.E.
Mailing Address: 1700 SE 17th Street, Suite 200 City: Ocala State: FL Zip Code: 34471
Phone # 352-438-3000 Alternate Phone #
Email(s) for contact via ePlans: ocala.permits@kimley-horn.com

Surveyor:
Firm Name: JCH Consulting Group, Inc. Contact Name: Christopher Howson
Mailing Address: 426 SW 15th Street City: Ocala State: FL Zip Code: 34471
Phone # 352-405-1482 Alternate Phone #
Email(s) for contact via ePlans: chris@jchcg.com

Property Owner:
Owner: Pulte Home Company, LLC Contact Name: Ray Aponte
Mailing Address: 2262 South Falkenburg Rd City: Riverview State: FL Zip Code: 33578
Phone # 813-447-1106 Alternate Phone #
Email address: ray.aponte@Pultegroup.com

Developer:
Developer: Same as above. Contact Name:
Mailing Address: City: State: Zip Code:
Phone # Alternate Phone #
Email address:

Revised 6/2021

CLEAR FORM

GENERAL NOTES

LAND USE DEVELOPMENT DATA
PARCEL IDENTIFICATION NUMBER: 3489-600004
PRESENT ZONING: PUD
ADJUTING ZONING: NORTH: PUD
 EAST: PUD
 SOUTH: PUD
 WEST: PUD
PROJECT AREA: 2.374 ACRES
FUTURE LAND USE: OTOW DR
PROPOSED USE: AMENITY CENTER / CABANA POOL
EXISTING IMPERVIOUS AREA: 0.00 ACRES (0 SF) - 0.0%
PROPOSED IMPERVIOUS AREA: 0.45 ACRES (28,314 SF) - 24.4%
PROPOSED PAVEMENT AREA: 1.72 ACRES (47,920 SF) - 72.6%
DESIRED DRAINAGE AREA: 0 ACRES (0 SF)
WELL AREA REQUIRED: 0.36 ACRES (15%)
OPEN SPACE AREA PROVIDED: 1.72 ACRES (73%)
WATER: POTABLE WATER WILL BE PROVIDED BY A CENTRAL UTILITY DISTRIBUTION SYSTEM
WASTEWATER: WASTEWATER WILL BE PROVIDED BY A CENTRAL UTILITY COLLECTION SYSTEM
GARBAGE: SOLID WASTE PICKUP WILL BE PROVIDED BY A CENTRAL WASTE HAULER
ROADWAYS: ALL ROADWAYS ARE PROPOSED TO BE PRIVATELY MAINTAINED BY THE STONE CREEK PROPERTY OWNERS ASSOCIATION
COMMON AREAS: ALL COMMON AREAS WILL BE MAINTAINED BY THE STONE CREEK PROPERTY OWNERS ASSOCIATION
EASEMENTS: ALL EASEMENTS ARE DESIGNATED ON THE PLANS
TREE LOCATION: THE PROPOSED PROJECT WILL BE CONSTRUCTED ON A PREVIOUSLY MASS GRADED PARCEL
FEMA DESIGNATION: THE PROJECT LIES WITHIN FEMA FLOOD ZONE "X", AN AREA OF REDUCED FLOOD HAZARD AND FLOOD ZONE "AE", AN AREA WITHIN THE "100 YEAR FLOOD HAZARD AREA, 1% PER FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 12550C02E, EFFECTIVE APRIL 18, 2017.
MARION COUNTY SPRINGS PROTECTION ZONE: SECONDARY ZONE
DRAINAGE: THE DRAINAGE SYSTEM WILL BE PRIVATELY MAINTAINED BY THE STONE CREEK PROPERTY OWNERS ASSOCIATION
LOCAL BENCHMARK: Ocala, 4.5 Miles South of, Thence 8.0 Miles W., 0.5 Miles W. of Tablet, in line with fence line S., 15 FT. N. of E-W. rd., in concrete post, G.L.D. STANDARD TABLET STAMPED "O.C. SEC. 1, L. 11 AND 12" NAD 83 ELEV. 72.585.
FINAL PLAT APPROVAL: TRACT D OF STONE CREEK BY DEL WEBB LONGLEAF, PB 11 PD 43-47
FORMER CONSTRUCTION: STORMWATER STORMWATER GENERAL PERMIT
**FUTURE STONE CREEK BY DEL WEBB MAJOR GRADING, EXPRESS 8/19/2024.
ENFORCEMENT: PENDING**

ADDITIONAL NOTES

- GOLF COURSE AND COMMON AREA IRRIGATION IS VIA THE SURFACE WATER MANAGEMENT SYSTEM. PERMITTED SEPARATELY.
- CONTOUR DATA IS BASED ON A TOPOGRAPHIC SURVEY BY JCH CONSULTING GROUP, INC. DATED APRIL 19, 2024.
- TOPOGRAPHY SHALL BE VERIFIED PRIOR TO CONSTRUCTION.
- DEVELOPMENT OF THE PROPERTY AS SHOWN ON THIS SITE PLAN IS SUBJECT TO THE TERMS AND CONDITIONS OF THE ON TOP OF THE WORLD DR DEVELOPMENT ORDER. AS MAY BE AMENDED FROM TIME TO TIME, INCLUDING PROVISIONS REGARDING THE CONCURRENCE OF PUBLIC FACILITIES.
- NO CHANGE TO THE WORK SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVED BY THE OFFICE OF THE COUNTY ENGINEER.

APPROVED WAIVERS FOR STONE CREEK P.U.D.

- 06/28/2015 § 12.2 RIGHT OF WAY DEDICATION
- 06/28/2015 § 12.5.A CROSS SECTIONS
- 06/28/2015 § 8.6.J (4) BUFFER REQUIREMENTS
- 06/28/2015 § 8.6.K BUFFER TYPES
- 06/28/2015 PRIVATE RETENTION BASIN SIGNAGE (NO LONGER APPLICABLE)
- 06/28/2015 § 13.7.D (2) NUMBER OF SOIL TEST BORINGS
- 06/28/2015 § 12.12.A SIDEWALKS DEFERRAL (SW 30TH AVENUE)
- 06/28/2015 § 11.4.B (1) & D PARALLEL ACCESS
- 06/06/2005 SPEED LIMIT BY O.C.C. RESOLUTION (25 MPH)
- 04/22/2007 PORTS FOR REGULATORY WARNING SIGNS (NO LONGER APPLICABLE)
- 06/28/2015 § 12.5.A CROSS SECTIONS (CLARIFICATION)
- 06/28/2015 § 12.12.A SIDEWALKS DEFERRAL (SW 52ND STREET)
- 06/06/2015 § 2.1.1.F (1) MENU
- 10/05/2020 2.21.1A WAVE MAJOR SITE PLAN REQUIREMENTS WHEN A LOT IMPERVIOUS EXCEEDS DESIGN CRITERIA
- 09/20/2021 2.1.162.111 ENVIRONMENTAL ASSESSMENT/APPLICATION REQUIREMENTS

UTILITY CONTACT LISTING

ELECTRIC: WATER & SEWER
 SOUTHEASTERN ELECTRIC 8475 CABREL CENTER CIR
 300 SOUTH US HWY 501 8478 SW 70TH STREET ROAD, SUITE 3
 SIMPSONVILLE, FL 32089 Ocala, FL 34461
 JERRY BOLDUC (352) 414-5454 EXT. 4105
 (352) 393-9891 EXT. 1304

PROJECT OWNER AND CONSULTANTS

OWNER/OWNER'S AGENT: SURVEYOR:
 PULTE HOME COMPANY, LLC JCH CONSULTING GROUP, INC.
 6320 SW 89TH COURT ROAD 426 SW 15TH STREET
 Ocala, Florida 34481 Ocala, Florida 34471
 (352) 291-5600 (352) 495-1482
CIVIL ENGINEERING CONSULTANT: PRIVATE IMPROVEMENTS MAINTENANCE ENTITY
 STONE CREEK PROPERTY OWNERS ASSOCIATION, INC.
 1110 S.W. 17TH STREET, SUITE 200 6320 S.W. 89TH COURT ROAD
 Ocala, Florida 34471 Ocala, Florida 34481
 (352) 435-3300 (813) 884-5971

STONE CREEK

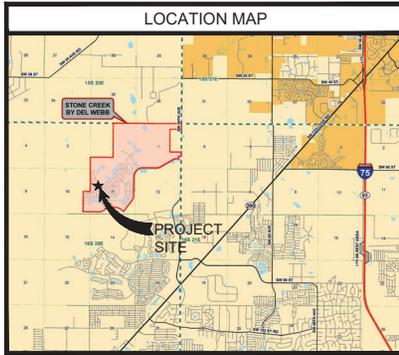
by Del Webb®

MAJOR SITE PLAN FOR ARLINGTON AMENITY CENTER

MARION COUNTY, FLORIDA

SECTION 11,
 TOWNSHIP 16 SOUTH,
 RANGE 20 EAST

SEPTEMBER 2024



I HEREBY CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

RAY APONTE
 DIRECTOR OF LAND DEVELOPMENT
 PULTE HOME COMPANY, LLC

I HEREBY CERTIFY THAT THESE PLANS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS WAIVED.

RAY APONTE
 DIRECTOR OF LAND DEVELOPMENT
 PULTE HOME COMPANY, LLC

DRAWING INDEX

- C001 - TITLE SHEET
- C002 - MASTER DEVELOPMENT PLAN
- C003 - GENERAL NOTES
- C004 - AERIAL MASTER PLAN
- C005 - DEMOLITION PLAN
- C006 - SITE PLAN
- C007 - PAVING, GRADING AND DRAINAGE PLAN
- C008 - UTILITY PLAN
- C009 - EROSION CONTROL PLAN
- C010 - EROSION CONTROL NOTES
- C011 - EROSION CONTROL DETAILS
- C012 - CIVIL DETAILS
- TM-100 TREE INVENTORY PLAN
- TM-150 TREE MITIGATION SPECIFICATIONS
- L-100 CODE REQUIRED LANDSCAPE PLAN
- L-150 LANDSCAPE SPECIFICATIONS
- L-151 LANDSCAPE DETAILS

1 of 1 - TOPOGRAPHIC SURVEY (JCH CONSULTING GROUP, INC.)



NO.	REVISIONS	DATE	BY
1	NOT FOR CONSTRUCTION	3-14-2024	CPW
2			
3			

Kimley-Horn
 6320H WAREY HORNWAY ASSOCIATES, INC.
 1700 SE 17TH STREET, SUITE 200
 Ocala, Florida 34471
 PHONE: 352-343-9000
 WWW.KIMLEY-HORN.COM REGISTRY NO. 20109

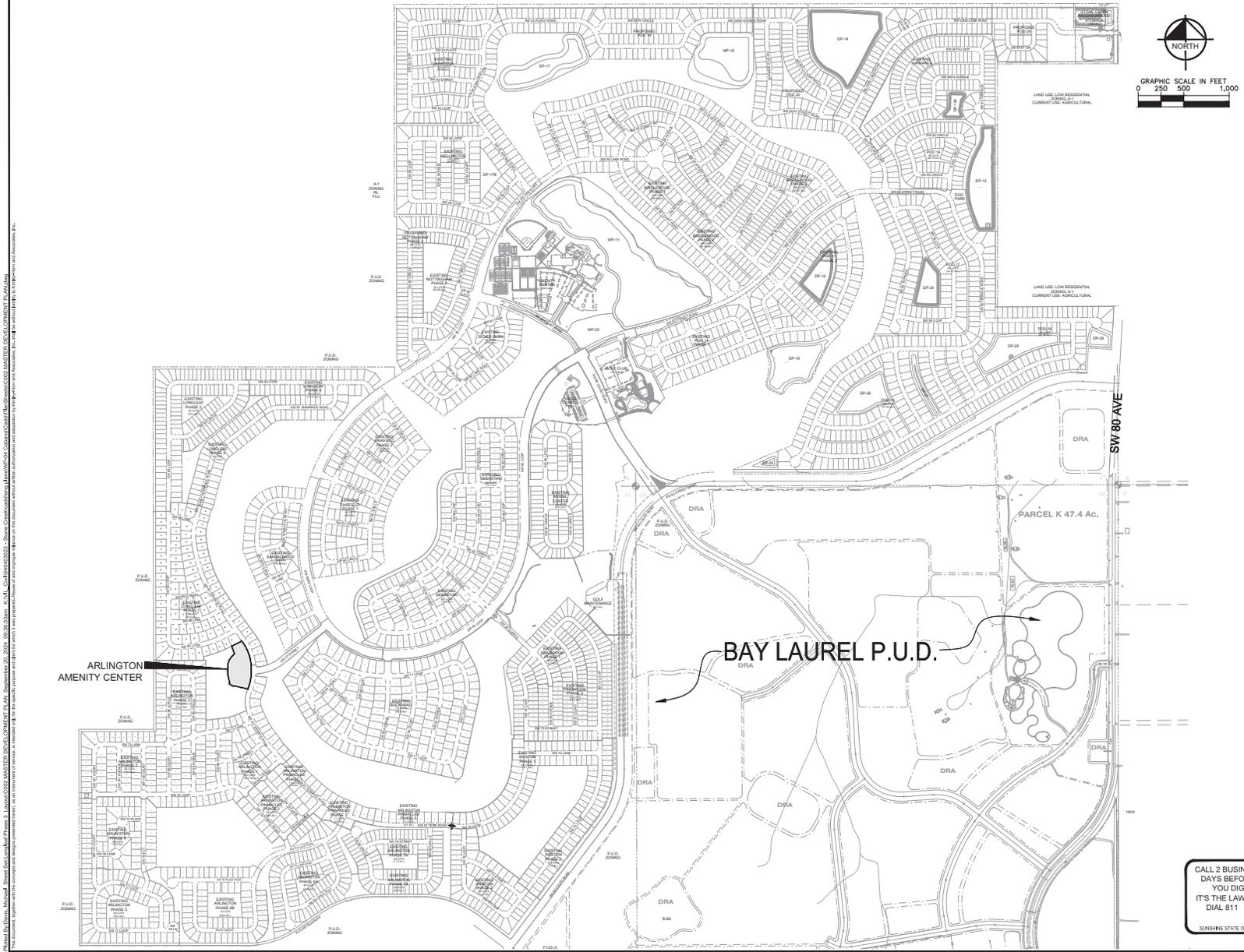
LICENSED PROFESSIONAL
 GEN BRUNO LOBATO, P.E.
 FLORIDA LICENSE NUMBER
 75547

NOA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	DATE
04/04/2024	AS SHOWN	RHA	CPW	GBL		

TITLE SHEET

STONE CREEK ARLINGTON AMENITY CENTER
 PREPARED FOR PULTE HOME COMPANY, LLC
 MARION COUNTY, FLORIDA
 STONE CREEK ARLINGTON AMENITY CENTER - MAJOR SITE PLAN
 SHEET NUMBER C001

REVISION



Prepared by: Davis, Michael - Stone Creek Amenity Center - Master Development Plan - September 20, 2024. 09/20/2024. K:\A\1_CAD\24092024\Stone Creek Amenity Center Master Development Plan.dwg
 This document is prepared for the use of the client and is not to be distributed outside the client's organization. It is the property of the client and is not to be used for any other purpose without the written consent of the client.

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 IT'S THE LAW! DIAL 811
 Know what's below. Call before you dig.

NO	NOT FOR CONSTRUCTION	09-20-2024	DM
NO	REVISIONS		
NO			
NO			

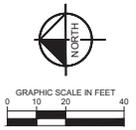
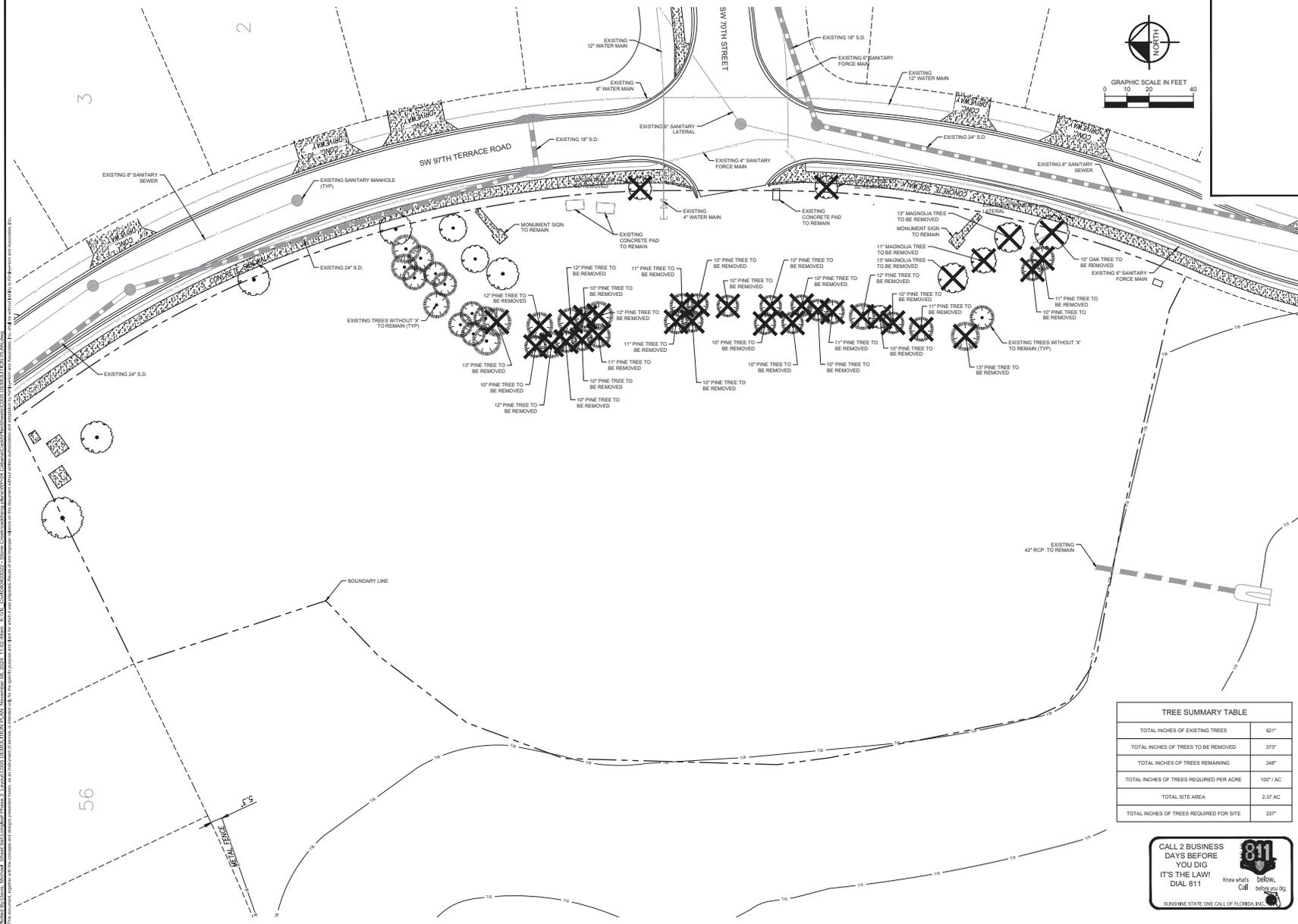
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 1700 JEFFERSON AVENUE, SUITE 1447
 TAMPA, FL 33602
 WWW.KIMLEY-HORN.COM REGISTRY NO. 30106

KHA PROJECT	04/04/2021	LICENSED PROFESSIONAL	DFA
DATE	SEPTEMBER 2024	FLORIDA LICENSE NUMBER	75247
SCALE	AS SHOWN		
DESIGNED BY	KHA		
DRAWN BY	DM		
CHECKED BY	DM		

MASTER DEVELOPMENT PLAN

STONE CREEK ARLINGTON AMENITY CENTER
 PREPARED FOR
PULTE HOME COMPANY, LLC
 MARION COUNTY, FLORIDA
 STONE CREEK ARLINGTON AMENITY CENTER - MAJOR SITE PLAN
 SHEET NUMBER
C002

REVISION



NOI FOR CONSTRUCTION	DATE
REVISIONS	

Kimley-Horn
 6320A HALEY HORN AND ASSOCIATES, INC.
 1700 SE 17TH STREET, SUITE 200
 PALM BEACH, FLORIDA 33407
 WWW.KIMLEY-HORN.COM REGISTRY NO. 30109

PROJECT: 04/01/2021
 SCALE: AS SHOWN
 DESIGNED BY: KHA
 DRAWN BY: CVM
 CHECKED BY: GBL

DEMOLITION PLAN

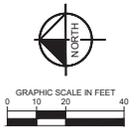
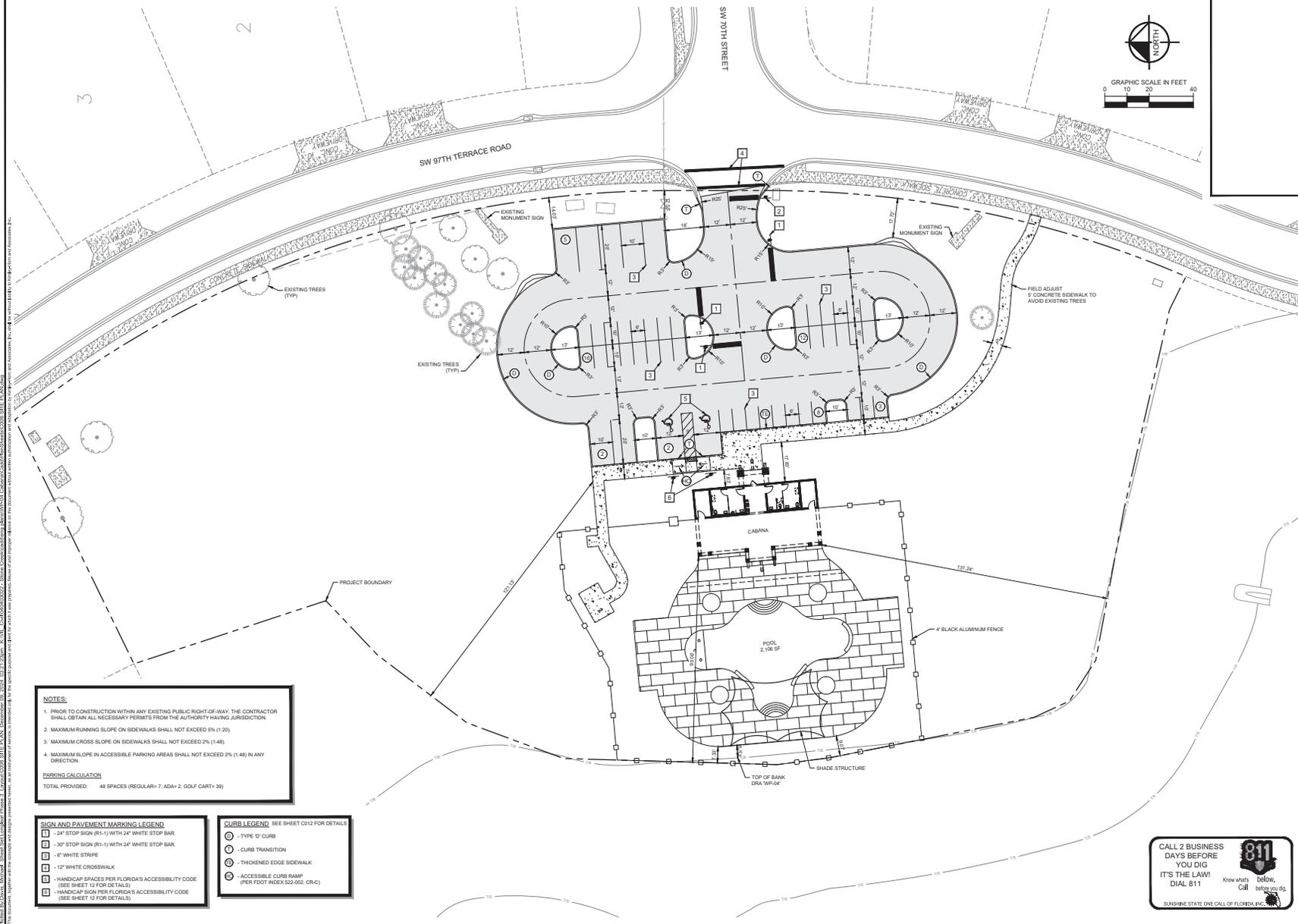
STONE CREEK ARLINGTON AMENITY CENTER
 PREPARED FOR: PULTE HOME COMPANY, LLC
 MARION COUNTY, FLORIDA
 STONE CREEK/ARLINGTON AMENITY CENTER - MAJOR SITE PLAN

TREE SUMMARY TABLE

TOTAL INCHES OF EXISTING TREES	621"
TOTAL INCHES OF TREES TO BE REMOVED	373"
TOTAL INCHES OF TREES REMAINING	248"
TOTAL INCHES OF TREES REQUIRED PER ACRE	100" / AC
TOTAL SITE AREA	2.37 AC
TOTAL INCHES OF TREES REQUIRED FOR SITE	237"

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Prepared by: Kimley-Horn, Inc. 04/01/2021. This drawing is the property of Kimley-Horn, Inc. and is not to be used for any other project without the written consent of Kimley-Horn, Inc. All rights reserved.



NOTES:

1. PRIOR TO CONSTRUCTION WITHIN ANY EXISTING PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE AUTHORITY HAVING JURISDICTION.
2. MAXIMUM RUNNING SLOPE ON SIDEWALKS SHALL NOT EXCEED 5% (1:20).
3. MAXIMUM CROSS SLOPE ON SIDEWALKS SHALL NOT EXCEED 2% (1:48).
4. MAXIMUM SLOPE IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% (1:48) IN ANY DIRECTION.

PARKING CALCULATION

TOTAL PROVIDED: 48 SPACES (REGULAR= 7, ADA= 2, GOLF CART= 39)

SIGN AND PAVEMENT MARKING LEGEND

- - 24" STOP SIGN (R-1-1) WITH 24" WHITE STOP BAR
- - 30" STOP SIGN (R-1-1) WITH 24" WHITE STOP BAR
- - 6" WHITE STRIPE
- - 12" WHITE CROSSWALK
- - HANDICAP SPACES PER FLORIDA'S ACCESSIBILITY CODE (SEE SHEET 12 FOR DETAILS)
- - HANDICAP SIGN PER FLORIDA'S ACCESSIBILITY CODE (SEE SHEET 12 FOR DETAILS)

CURB LEGEND SEE SHEET C012 FOR DETAILS

- - TYPE 'D' CURB
- - CURB TRANSITION
- - THICKENED EDGE SIDEWALK
- - ACCESSIBLE CURB RAMP (PER FOOT RUCKER 522-002, CRC)

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Know what's below. Call before you dig.

FLORIDA'S ONE CALL CENTER

Prepared by: David, Michael, Sherri, Seth, Lachar, Charles, J. Lachar, CDRS, SITE PLAN, December 09, 2024, 03:21:28pm, A:\34 - Club\Bldg\0202 - Stone Creek\Arlington Amenity Center\SitePlan\0208 SITE PLAN.dwg
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NOI FOR CONSTRUCTION	DATE
REVISIONS	DATE

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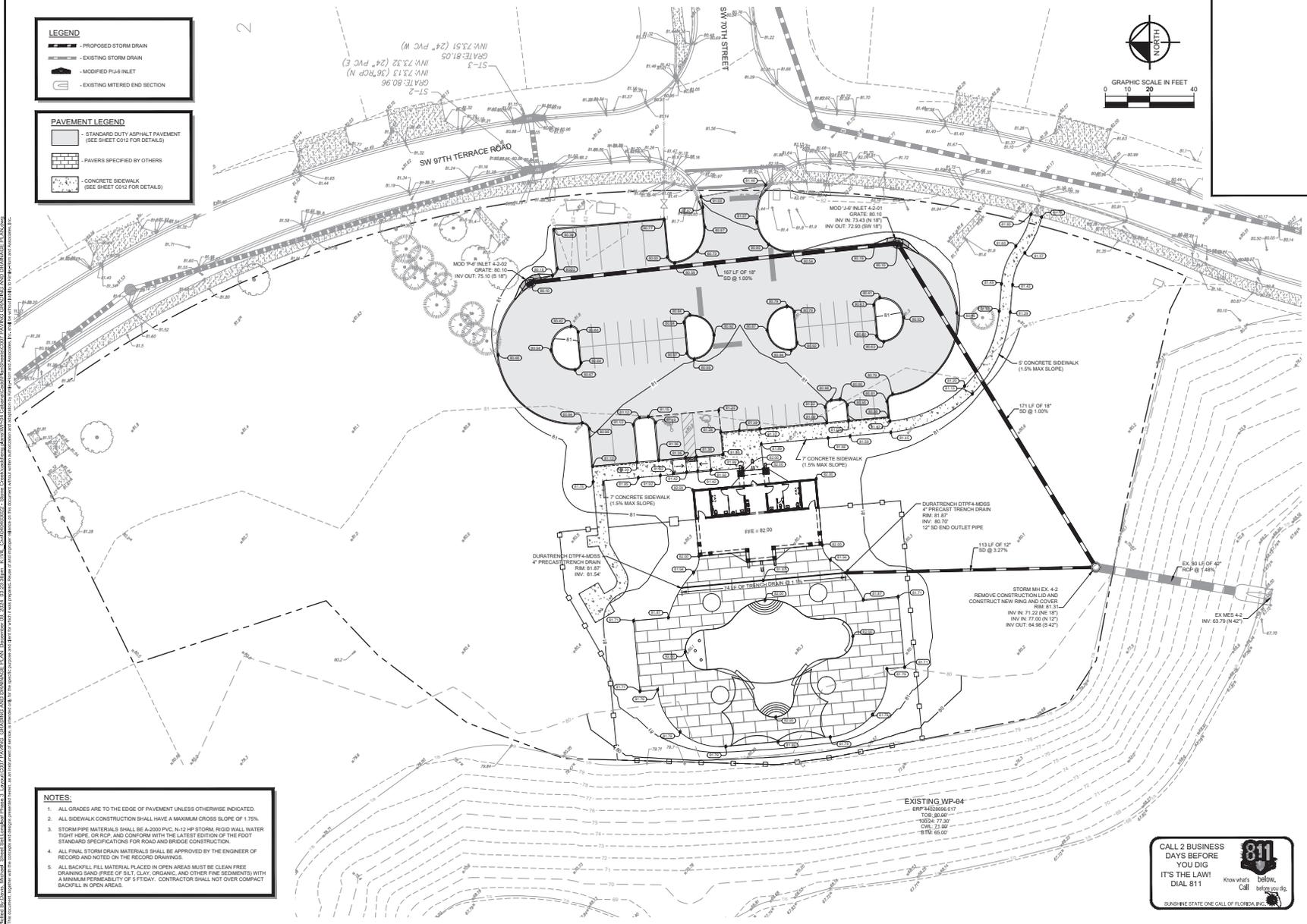
6320 WALKER HORN AND ASSOCIATES, INC.
 1700 SE 17TH STREET, SUITE 200
 PALM BEACH, FLORIDA 33411
 PHONE: 561-834-3000
 WWW.KIMLEY-HORN.COM REGISTRY NO. 20109

NSA PROJECT	DATE
04/04/2024	
DESIGNED BY	DATE
AS SHOWN	
CHECKED BY	DATE

SITE PLAN

STONE CREEK ARLINGTON AMENITY CENTER
 ARLINGTON AMENITY CENTER
 PREPARED FOR
 PULTE HOME COMPANY, LLC
 MARION COUNTY, FLORIDA
 STONE CREEK ARLINGTON AMENITY CENTER - MAJOR SITE PLAN
 SHEET NUMBER
C006

REVISION

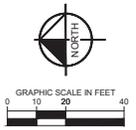


LEGEND

- PROPOSED STORM DRAIN
- - - EXISTING STORM DRAIN
- MODIFIED #4# INLET
- EXISTING MITERED END SECTION

PAVEMENT LEGEND

- STANDARD DUTY ASPHALT PAVEMENT (SEE SHEET C012 FOR DETAILS)
- PAVERS SPECIFIED BY OTHERS
- CONCRETE SIDEWALK (SEE SHEET C012 FOR DETAILS)



- NOTES:**
1. ALL GRADES ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED.
 2. ALL SIDEWALK CONSTRUCTION SHALL HAVE A MAXIMUM CROSS SLOPE OF 1.75%.
 3. STORM PIPE MATERIALS SHALL BE A-2000 PVC, N-12 HP STORM, RIGID WALL WATER TIGHT JOINT, OR RCP, AND CONFORM WITH THE LATEST EDITION OF THE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 4. ALL FINAL STORM DRAIN MATERIALS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND NOTED ON THE RECORD DRAWINGS.
 5. ALL BACKFILL MATERIAL PLACED IN OPEN AREAS MUST BE CLEAN FREE DRAINING SAND FREE OF SILT, CLAY, ORGANIC, AND OTHER FINE SEDIMENTS WITH A MINIMUM PERMEABILITY OF 5 FT/DAY. CONTRACTOR SHALL NOT OVER COMPACT BACKFILL IN OPEN AREAS.

CALL 2 BUSINESS DAYS BEFORE YOU DIG ITS THE LAW! DIAL 811

Know what's below. Call before you dig.

FLORIDA
SURFING STATE ONE CALL OF FLORIDA, INC.

NO. FOR CONSTRUCTION	34333X	DATE	1/17
REVISIONS			

Kimley-Horn

6320 N.W. 11TH AVENUE AND ASSOCIATES, INC.
FLORIDA, 34411
PHONE: 813-840-9000
WWW.KIMLEY-HORN.COM REGISTRY NO. 30106

LICENSED PROFESSIONAL	GENE BRINK (C017) P.E.
FLORIDA LICENSE NUMBER	75647
DESIGNED BY	KHA
DRAWN BY	CMW
CHECKED BY	GBL

PAVING, GRADING AND DRAINAGE PLAN

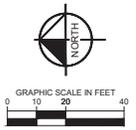
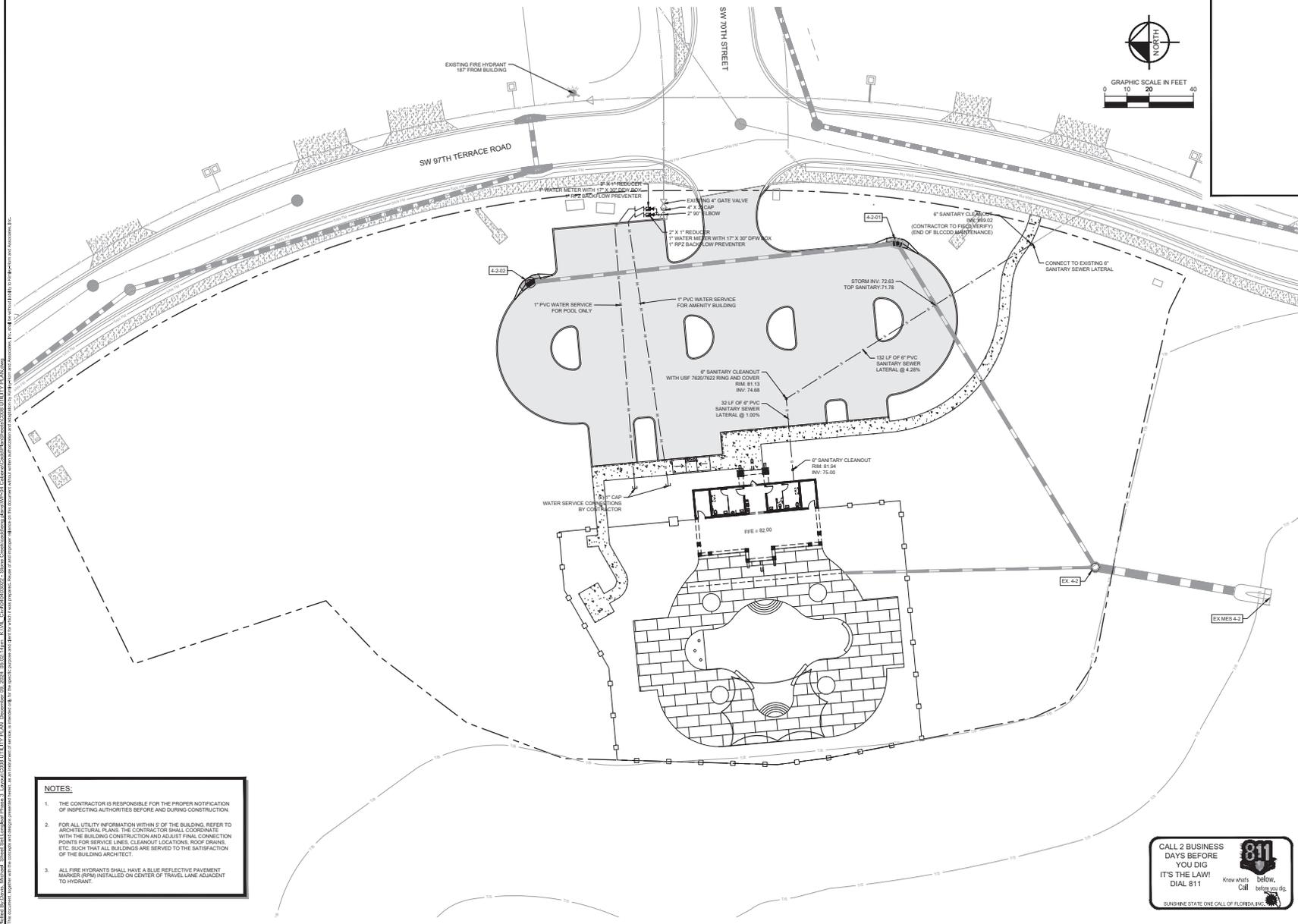
STONE CREEK ARLINGTON AMENITY CENTER
ARLINGTON COUNTY, FLORIDA

PREPARED FOR
PULTE HOME COMPANY, LLC
MARION COUNTY, FLORIDA

STONE CREEK ARLINGTON AMENITY CENTER - MAJOR SITE PLAN

SHEET NUMBER
C007

Prepared by: Chris, Michael, Sarah, Seth, Lachar, Charles, S. LAMAR COUNTY PAVING, GRADING AND DRAINAGE PLAN, December 20, 2024, 12:23:30pm. KIMLEY-HORN AND ASSOCIATES, INC. 6320 N.W. 11TH AVENUE AND ASSOCIATES, INC. FLORIDA, 34411. PHONE: 813-840-9000. WWW.KIMLEY-HORN.COM REGISTRY NO. 30106.



- NOTES:**
1. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER NOTIFICATION OF INSPECTING AUTHORITIES BEFORE AND DURING CONSTRUCTION.
 2. FOR ALL UTILITY INFORMATION WITHIN 5' OF THE BUILDING, REFER TO ARCHITECTURAL PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING CONTRACTOR AND ADJUST FINAL CONNECTION POINTS FOR SERVICE LINES, CLEANOUT LOCATIONS, ROOF DRAINS, ETC. SUCH THAT ALL BUILDINGS ARE SERVED TO THE SATISFACTION OF THE BUILDING ARCHITECT.
 3. ALL FIRE HYDRANTS SHALL HAVE A BLUE REFLECTIVE PAVEMENT MARKER (RPM) INSTALLED ON CENTER OF TRAVEL LANE ADJACENT TO HYDRANT.

CALL 2 BUSINESS DAYS BEFORE YOU DIG ITS THE LAW! DIAL 811

Prepared by: Pulte Home Company, Inc. (Pulte Home Company, Inc. is a registered Professional Engineer in the State of Florida, License No. 12578. Pulte Home Company, Inc. is a registered Professional Engineer in the State of Florida, License No. 12578. Pulte Home Company, Inc. is a registered Professional Engineer in the State of Florida, License No. 12578. Pulte Home Company, Inc. is a registered Professional Engineer in the State of Florida, License No. 12578.

NO. FOR CONSTRUCTION	3,333,333	DATE	1/31
REVISIONS			

Kimley-Horn

6320A WALKER HORN AND ASSOCIATES, INC.
 1700 SE 17TH STREET, SUITE 200
 MIAMI, FLORIDA 33141
 PHONE: 305.430.2000
 WWW.KIMLEY-HORN.COM REGISTRY NO. 30106

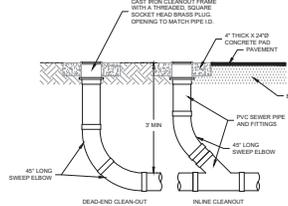
PROFESSIONAL	SEPTEMBER 2024	75647
DATE	SCALE AS SHOWN	FLORIDA LICENSE NUMBER
CHECKED BY	DRAWN BY	DESIGNED BY

UTILITY PLAN

STONE CREEK
 ARLINGTON AMENITY CENTER
 PREPARED FOR
PULTE HOME COMPANY, LLC
 MARION COUNTY
 FLORIDA
 STONE CREEK/ARLINGTON AMENITY CENTER - MAJOR SITE PLAN

SHEET NUMBER
C008

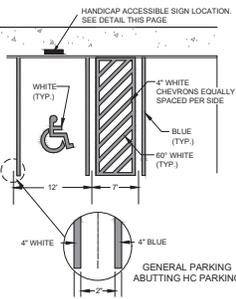
REVISION



NOTE: IN PAVED AREAS INSTALL CONCRETE PAD AFTER PAVING IS COMPLETE.

SANITARY CLEAN-OUT (6" AND SMALLER MAINS)

SDR0204.DWG N.T.S.



ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS

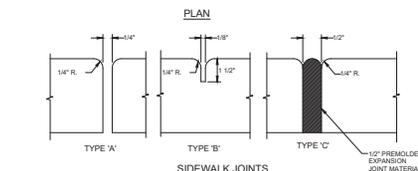
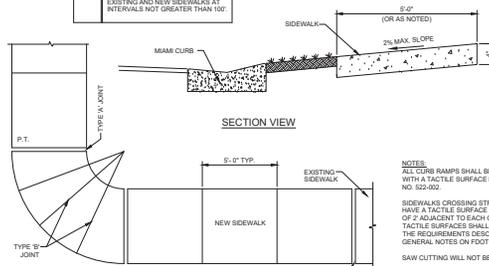
- NOTES:
1. WHEN HEADER CURB IS USED IN LIEU OF WHEEL STOPS, SIDEWALK ABUTTING CURB MUST BE WIDENED BY 1" SO THAT THE TOTAL SIDEWALK WIDTH IS 60", ALLOWING FOR 48" MINIMUM CLEAR ACCESSIBLE ROUTE.
 2. FOR COMPLETE DETAIL OF HANDICAPPED SIGN, REFER TO HANDICAP SIGN DETAIL.
 3. NO RAMPS ARE REQUIRED WHEN SIDEWALK IS FLUSH WITH PAVEMENT. SEE GRADING PLAN.
 4. ALL PARKING STRIPES SHALL BE 4" IN WIDTH.
 5. SEE F.O.D.T. INDEX 17346 FOR THE MOST CURRENT DETAIL.
 6. MUST COMPLY WITH ADA REQUIREMENTS.

HANDICAP SPACE STRIPING DETAIL

N.T.S.

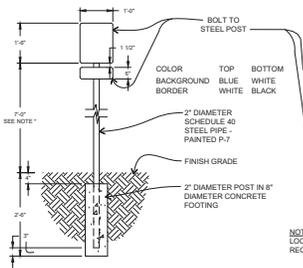
TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
A'	P.C. AND P.T. OF CURVES
B'	5'-0" CENTER TO CENTER ON SIDEWALKS (NOT LESS THAN 4' AND NOT GREATER THAN 10')
C'	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES. JUNCTION OF EXISTING AND NEW SIDEWALKS AT INTERVALS NOT GREATER THAN 100'

TABLE OF SIDEWALK THICKNESS - "T"	
LOCATION	T'
RESIDENTIAL AREAS	4"
AT DRIVEWAYS AND OTHER AREAS	6"



SIDEWALK JOINTS

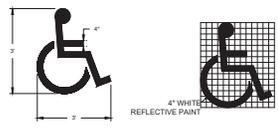
SDR0204.DWG N.T.S.



NOTE: H.C. SIGN MOUNTING HEIGHT PER LOCAL CODE, AND INSTALLATION PER LOCAL REQUIREMENTS

HANDICAP SIGN DETAIL

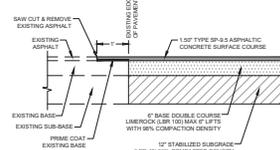
N.T.S.



ACCESSIBILITY SYMBOL PAINTED ON PAVEMENT

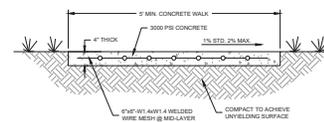
HANDICAP SYMBOL

N.T.S.



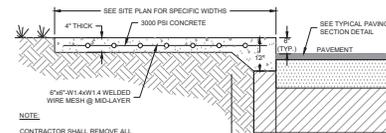
ASPHALT PAVEMENT AND TIE-IN TYPICAL SECTION

N.T.S.



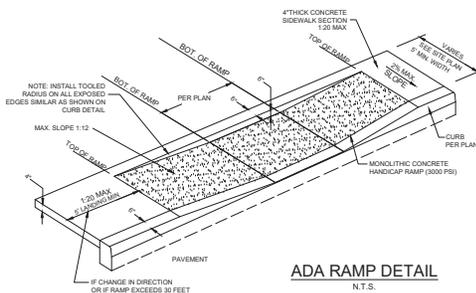
TYPICAL SIDEWALK SECTION

PG0204.DWG N.T.S.



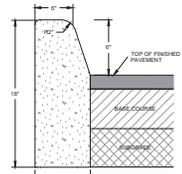
RAISED SIDEWALK AND PAVEMENT SECTION

N.T.S.



ADA RAMP DETAIL

N.T.S.



TYPE "D" CURB

N.T.S.

NO.	DESCRIPTION	DATE	BY
1	NOT FOR CONSTRUCTION	03-23-2024	CPW
2	REVISIONS		

Kimley-Horn

6330N WALKER HORN AND ASSOCIATES, INC.
1700 SE 17TH STREET, SUITE 100
FORT LAUDERDALE, FLORIDA 33411
WWW.KIMLEY-HORN.COM REGISTRY NO. 20109

PROJECT	PROFESSIONAL	DATE
04/04/2024	GENE BRUNO, LOSTO, P.E.	09/10/2024
SCALE	AS SHOWN	FLORIDA LICENSE NUMBER
DESIGNED BY	KHA	75547
DRAWN BY	CPW	
CHECKED BY	GBL	

CIVIL DETAILS

STONE CREEK
ARLINGTON AMENITY CENTER

PREPARED FOR
PULTE HOME COMPANY, LLC
MARION COUNTY
FLORIDA

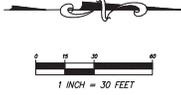
STONE CREEK ARLINGTON AMENITY CENTER - MAJOR SITE PLAN
REVISION

SHEET NUMBER
C012

Prepared by: Michael, Robert, Daniel, Michael, September 20, 2024, 09:28:27am, A:\M...
 Checked by: Michael, Robert, Daniel, Michael, September 20, 2024, 09:28:27am, A:\M...
 This document, together with the contract and design instrument forms, is an instrument of service. It is to be used only for the project and site for which it was prepared. Reproduction or use for any other project without the written authorization and signature of Kimley-Horn and Associates, Inc. is prohibited.

TOPOGRAPHIC SURVEY

STONE CREEK BY DEL WEBB LONGLEAF
(PLAT BOOK 11, PAGE 43)
SECTION 11, TOWNSHIP 16 SOUTH, RANGE 20 EAST,
MARION COUNTY, FLORIDA



LEGEND AND ABBREVIATIONS:

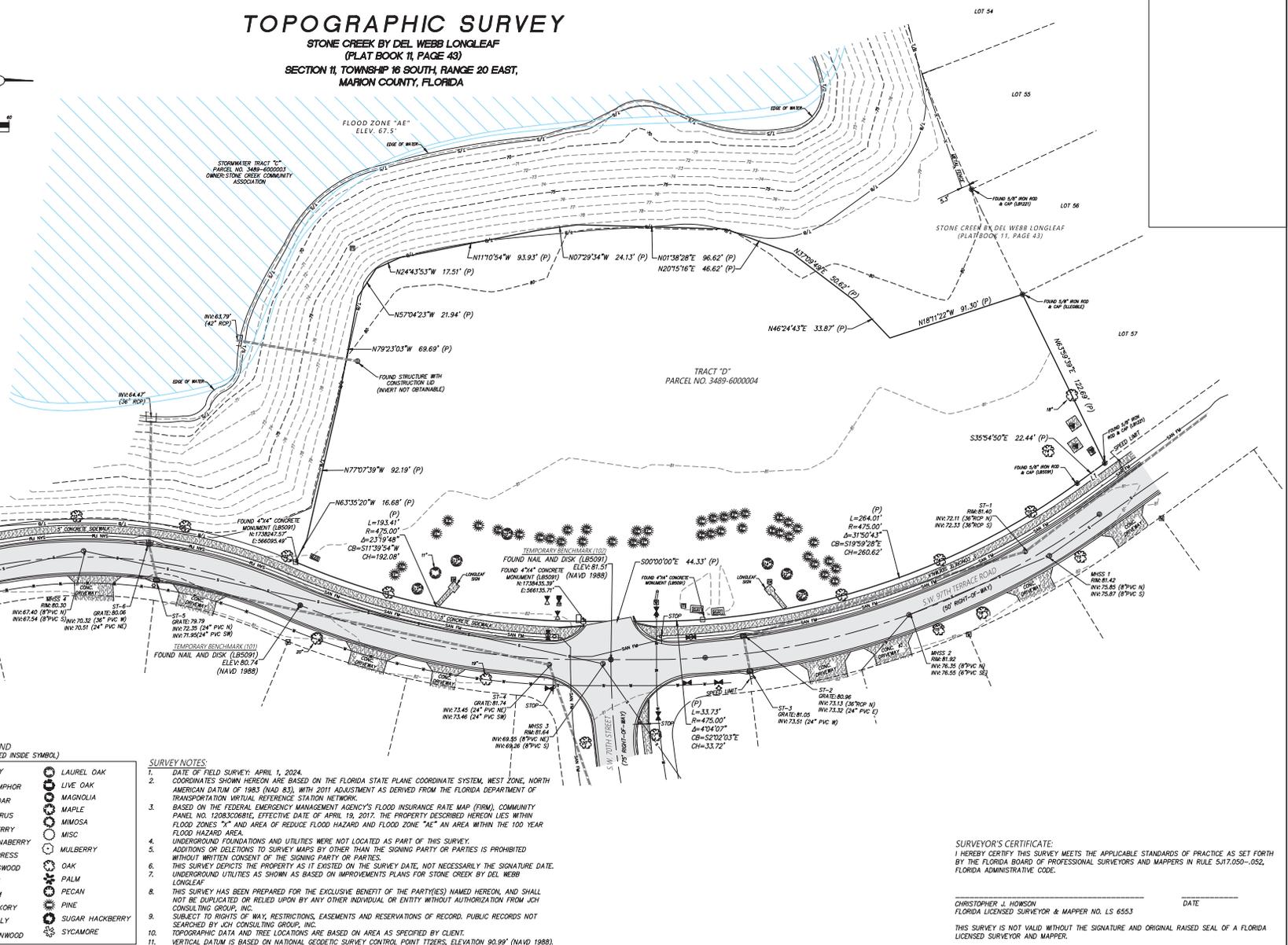
- ± MORE OR LESS
- EL ELEVATION
- LB LICENSED BUSINESS
- NO. NUMBER
- LS LAND SURVEYOR
- ID IDENTIFICATION
- ORB OFFICIAL RECORDS BOOK
- C CENTERLINE
- R RADIUS
- L ARC LENGTH
- Δ DELTA (CENTRAL ANGLE)
- (P) PLAT MEASURE
- (D) DEED MEASURE
- (C) CALCULATED MEASURE
- C.D. CHORD LENGTH
- C.B. CHORD BEARING
- POC POINT ON CURVE
- POL POINT ON LINE
- PRC POINT OF REVERSE CURVATURE
- PC POINT OF CURVATURE
- PT POINT OF TANGENCY
- PI POINT OF INTERSECTION
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- FEMA FEDERAL EMERGENCY MANAGEMENT AGENCY
- DIP DUCTILE IRON PIPE
- PVC POLYVINYL CHLORIDE
- CMP CORRUGATED METAL PIPE
- RCV REINFORCED CONCRETE PIPE
- NAVD NORTH AMERICAN VERTICAL DATUM
- NGVD NATIONAL GEODETIC VERTICAL DATUM
- PB PLAT BOOK
- ORB OFFICIAL RECORDS BOOK
- PCS PAGE(S)
- R/W RIGHT OF WAY
- ESMT EASEMENT
- SEC SECTION
- FND FOUND
- REC RECOVERED
- COR CERTIFIED CORNER RECORD
- RLS REGISTERED LAND SURVEYOR
- CM CONCRETE MONUMENT
- IRC IRON ROD AND CAP
- IR IRON ROD
- IP IRON PIPE
- CLF CHAIN LINK FENCE
- CB CURB INLET GRATE
- STORM MANHOLE
- MITERED END SECTION
- SM SANITARY MANHOLE
- SC SANITARY CLEANOUT
- EM ELECTRIC MANHOLE
- ET ELECTRIC METER
- ERB ELECTRIC RISER BOX
- CTV CABLE TELEVISION RISER BOX
- TRB TELEPHONE RISER BOX
- URB UTILITY RISER
- WELL
- WS WATER SPOUT
- ICV IRRIGATION CONTROL VALVE
- WM WATER METER
- WV WATER VALVE
- FH FIRE HYDRANT
- BF BACKFLOW PREVENTER
- ACP AIR CONDITIONER PAD
- GV GAS VALVE
- GM GAS METER
- GL GAS LINE MARKER
- CU CONCRETE UTILITY POLE
- MP METAL UTILITY POLE
- WU WOOD UTILITY POLE
- UUA UTILITY POLE GUY ANCHOR
- LP LIGHT POLE
- SL SPLITGROUND LIGHT
- ETR ELECTRIC TRANSFORMER
- MF METAL FLAG
- BOLLARD
- FL FLAG
- MB MALBOX
- LINE BREAK
- x-x- FENCE LINE AS NOTED
- o-o- OVERHEAD UTILITY LINE
- r-r- APPROXIMATE TOP OF BANK
- v-v- APPROXIMATE TOE OF SLOPE
- s-s- EXISTING CONTOUR
- sm-sm- UNDERGROUND FORCE MAIN
- s-s- UNDERGROUND SANITARY SEWER
- w-w- UNDERGROUND WATER LINE
- d-d- STORM DRAINAGE LINE

TREE LEGEND (SIZE DENOTED INSIDE SYMBOL)

- BAY
- CAMPHOR
- CEDAR
- CITRUS
- CHERRY
- CHINABERRY
- CYPRESS
- DOGWOOD
- ELM
- GUM
- HICKORY
- HOLLY
- IRONWOOD
- LAUREL OAK
- LIVE OAK
- MAGNOLIA
- MAPLE
- MIMOSA
- MISC
- MULBERRY
- OAK
- PALM
- PECAN
- PINE
- SUGAR HACKBERRY
- STYCAMORE

SURVEY NOTES:

1. DATE OF FIELD SURVEY: APRIL 1, 2024.
2. COORDINATES SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83), WITH 2011 ADJUSTMENT AS DERIVED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION VIRTUAL REFERENCE STATION NETWORK.
3. BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 120830806E, EFFECTIVE DATE OF APRIL 19, 2017, THE PROPERTY DESCRIBED HEREON LIES WITHIN FLOOD ZONES "X" AND AREA OF REDUCE FLOOD HAZARD AND FLOOD ZONE "AE" AN AREA WITHIN THE 100 YEAR FLOOD HAZARD AREA.
4. UNDERGROUND FOUNDATIONS AND UTILITIES WERE NOT LOCATED AS PART OF THIS SURVEY.
5. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
6. THIS SURVEY DEPICTS THE PROPERTY AS IT EXISTED ON THE SURVEY DATE, NOT NECESSARILY THE SIGNATURE DATE.
7. UNDERGROUND UTILITIES AS SHOWN AS BASED ON IMPROVEMENTS PLANS FOR STONE CREEK BY DEL WEBB LONGLEAF.
8. THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT OF THE PARTY(IES) NAMED HEREON, AND SHALL NOT BE DUPLICATED OR RELED UPON BY ANY OTHER INDIVIDUAL OR ENTITY WITHOUT AUTHORIZATION FROM JCH CONSULTING GROUP, INC.
9. SUBJECT TO RIGHTS OF WAY, RESTRICTIONS, EASEMENTS AND RESERVATIONS OF RECORD. PUBLIC RECORDS NOT SEARCHED BY JCH CONSULTING GROUP, INC.
10. TOPOGRAPHIC DATA AND TREE LOCATIONS ARE BASED ON AREA AS SPECIFIED BY CLIENT.
11. VERTICAL DATUM IS BASED ON NATIONAL GEODETIC SURVEY CONTROL POINT TIZERS, ELEVATION 90.99' (NAVD 1988).



SURVEYOR'S CERTIFICATE:
I HEREBY CERTIFY THIS SURVEY MEETS THE APPLICABLE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN RULE 517.050-052, FLORIDA ADMINISTRATIVE CODE.

CHRISTOPHER J. HOWSON _____ DATE _____
FLORIDA LICENSED SURVEYOR & MAPPER NO. LS 6553

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

REVISIONS			
FB/PG	DATE	DRAWN	REVISION

JCH CONSULTING GROUP, INC.
LAND DEVELOPMENT - SURVEYING & MAPPING
PLANNING - ENVIRONMENTAL - C.E.S.
25-5811 15TH STREET, OCALA, FLORIDA 34771
PHONE: 352.266.1462 FAX: 352.275.2333 www.jchgroup.com

LOCATED IN SECTION 11, TOWNSHIP
16 SOUTH, RANGE 20 EAST
MARION COUNTY, FLORIDA

PLAT OF BOUNDARY & TOPOGRAPHIC
SURVEY
-FOR-
PULTE HOME CORPORATION

FB/PG	FIELD DATE	JOB NO.	1 OF 1
24-4 / 6-8	04/01/24	17264TOPR	
DRAWING DATE	BY	APPROVED	SCALE
05/10/2024	MRD	CJH	1" = 30'

LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK

1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPLIANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THESE PLANS.
2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.
3. WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS.

2. PROTECTION OF EXISTING AND PROPOSED SITE ELEMENTS

- 2.1. PROTECT ALL EXISTING SITE ITEMS, ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
- 2.2. MAINTAIN ALL NECESSARY BMP DEVICES THROUGHOUT THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
- 2.3. WHERE APPLICABLE, SUBMIT A DETAILED PROPOSED WORK ZONE TRAFFIC CONTROL PLAN IN ACCORDANCE WITH THE APPROPRIATE REGULATORY AGENCY STANDARDS UNLESS THE WORK REQUIRES NOTHING MORE THAN A DIRECT APPLICATION OF FOOT STANDARDS PLANS FOR ROAD AND BRIDGE CONSTRUCTION, INDEX 100-550.
- 2.4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO CONSTRUCTION ACTIVITIES. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UTILITIES IS APPROXIMATE. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE SAFETY AND PROTECTION THEREOF, REPAIRING ANY DAMAGE RESULTING FROM THE WORK, THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING WHEN ANY CONFLICT BETWEEN UTILITIES AND THESE PLANS EXISTS PRIOR TO PLANTING.
- 2.5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO PLANT MATERIAL, EXISTING OR OTHERWISE. THIS SHALL INCLUDE AND SPILLING OF ANY DESTRUCTIVE MATERIALS WITHIN THE DRIP LINE OF EXISTING TREES TO REMAIN. PLANT MATERIAL, LIVED OR DAMAGED THAT IS MESHAPEN AND/OR UNUSUALLY SHALL BE REPLACED WITH LIKE SIZE AND KIND TO THE SATISFACTION OF THE OWNER OR REGULATORY AGENCY AT THE COST TO THE CONTRACTOR.
- 2.6. SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.

3. SUBMITTALS

- 3.1. SUBMIT MATERIAL SAMPLES LISTED BELOW FOR APPROVAL ON SITE OR AS DETERMINED BY THE OWNER, UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) GALLON PLASTIC BAG
SOIL MIXTURE	ONE (1) GALLON PLASTIC BAG
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)
- 3.2. SUBMIT TESTING RESULTS OF SOIL MIXTURE AS PER SECTION 6 BELOW.

4. PLANT MATERIALS

- 4.1. ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS INDICATED ON THE DRAWINGS AND SHALL BE IN ACCORDANCE WITH GRASSES AND STANDARDS FOR NURSERY PLANTS TEST METHOD, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE LANDSCAPE ARCHITECT AND OWNER.
- 4.2. ALL TREE SPECIES INSTALLED SHALL BE MATCHED IN SIZE AND SHAPE UNLESS NOTED OTHERWISE.
- 4.3. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY TO THE SITE, DURING PROGRESS OF THE WORK AND/OR AFTER COMPLETION. REJECTED PLANTS SHALL BE REMOVED AND REPLACED IMMEDIATELY.

5. DIGGING AND HANDLING

- 5.1. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. NO PLANT MATERIAL SHALL BE HANDLED BY STEPS.

6. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)

- 6.1. TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW.
- 6.2. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. SUBMIT SAMPLES AND TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
- 6.3. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRAGILE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF SODDOL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND HAVE A PH BETWEEN 5.5 AND 7.2.
- 6.4. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
- 6.5. PLANT TREES IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE, AT WHICH POINT THE CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

7. WATER

- 7.1. PROVIDE WATER NECESSARY FOR PLANTING ESTABLISHMENT AND MAINTENANCE. WATER SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL, OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS.
- 7.2. WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

8. FERTILIZER

- 8.1. PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY DERIVED.
- 8.2. FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

9. MULCH

- 9.1. MOISTEN MULCH MATERIAL AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A MINIMUM DEPTH OF THREE (3) INCHES. CONTRACTOR SHALL CLEAR MULCH FROM WITHIN A SIX (6) INCH RADIUS AROUND TRUNK / STEM FLARE. MULCH SHALL BE SPREADED UNLESS INDICATED TO OTHERWISE TO CORRECTLY MULCH.
- 9.2. PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH PLANTING BED AND TREE RING (SIX (6) FOOT DIAMETER MINIMUM).

10. CONTAINER GROWN STOCK

- 10.1. CONTAINER GROWN PLANTS SHALL HAVE BEEN GROWN IN ITS CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

- 10.2. INSUFFICIENT OR POORLY STRUCTURED ROOT SYSTEMS ARE NOT ACCEPTABLE AND WILL BE REJECTED.
- 10.3. ROOTS PLUS GROWER (RPG) PRODUCTS SHALL BE WHERE SPECIFIED.

11. MATERIALS LIST

- 11.1. ALL QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO CONSTRUCTION.

12. FINE GRADING

- 12.1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING WHICH CONSISTS OF FINAL FINISHED GRADING (INCLUDING ADDITIONAL SOIL MIXTURE AS NEEDED) ON LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADDED BY OTHERS. FINISH GRADE SHALL ACCOUNT FOR THICKNESS OF SOIL AND/OR MULCH DEPTH.
- 12.2. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO DRAINAGES/SUBBASES/STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEERING PLANS FOR FINAL GRADES, IF APPLICABLE.

13. PLANTING PROCEDURES

- 13.1. CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. REMOVE ALL MORTAR, CEMENT, AND TOXIC MATERIAL FROM THE SURFACE OF ALL PLANT BEDS. DO NOT MIX THESE MATERIALS WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
- 13.2. LOCATE, MAINTAIN AND PROTECT ALL UTILITIES ABOVE AND BELOW GROUND. CALL SUNSHINE STATE ONE CALL OF FLORIDA, (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- 13.3. NOTIFY LANDSCAPE ARCHITECT IN WRITING IMMEDIATELY IF CONFLICTS EXIST WITH PROPOSED TREE LOCATIONS AND EXISTING OVERHEAD POWER LINES IN ACCORDANCE WITH SETBACK REQUIREMENTS OF FPL'S "RIGHT PLACE, RIGHT PLACE" PROGRAM. CONSULT THE UNIVERSITY OF FLORIDA'S "TREES AND POWER LINE" WEBSITE FOR TREE SIZE CATEGORIES.
- 13.4. NOTIFY LANDSCAPE ARCHITECT IN WRITING IMMEDIATELY IF CONFLICTS EXIST WITH PROPOSED TREE LOCATIONS AND EXISTING (PROPOSED) LIGHT POLES. TREES INSTALLED IN CONFLICT WITH LIGHT POLES ARE SUBJECT TO RELOCATION AT THE EXPENSE OF THE CONTRACTOR.
- 13.5. REMOVE ALL EXISTING AND IMPORTED DELETERIOUS MATERIAL AND SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH AS REQUIRED TO MATCH EXIST. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE AS NEEDED WITH CLEAN SOIL MIXTURE.
- 13.6. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
- 13.7. EXCAVATE ALL PLANTING PITS IN ACCORDANCE WITH LANDSCAPE DETAILS PROVIDED. TEST ALL PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. IF POOR DRAINAGE EXISTS, NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IN WRITING. NO ALLOWANCES WILL BE MADE FOR LOG PLANTS DUE TO IMPROPER DRAINAGE. CONTRACTOR SHALL ENSURE ELIMINATION OF ALL AIR POCKETS AROUND ROOTS.
- 13.8. SET TREES AND SHRUBS STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PLANTING SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMING).
- 13.9. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM UPPER ONE THIRD (1/3) OF ROOT BALLS.
- 13.10. ALL SUNKER GROWTH AND BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT IN ACCORDANCE WITH ANSI A300.
- 13.11. SHRUBS AND GROUND COVER PLANTS SHALL BE SPACED IN ACCORDANCE WITH THE DRAWINGS, LANDSCAPE DETAILS AND AS INDICATED ON THE PLANT LIST.
- 13.12. TREE GUYNING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN A PLUMB AND UPRIGHT POSITION.
- 13.13. FAILURE TO FOLLOW THE ABOVE PLANTING PROCEDURE SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

14. LAWN SODDING

- 14.1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING NECESSARY TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
- 14.2. ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS TO A MINIMUM DEPTH OF THREE (3) INCHES. PROVIDE ONE (1) INCH OF TOPSOIL ACROSS ENTIRE LAWN BED AND MIX THOROUGHLY INTO TOP FOUR (4) INCHES OF SOIL TO BRING THE GROUND TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL TOPSOIL AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
- 14.3. HAND RADE LAWN BED UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
- 14.4. SOO ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- 14.5. THE SOO SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.
- 14.6. SOO PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOO SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS. PAVED AND PLANTED AREAS.
- 14.7. IMMEDIATELY FOLLOWING SOO LAYING, ROLL LAWN AREAS WITH A LAWN ROLLER AND THEN THOROUGHLY IRRIGATED.
- 14.8. IF, IN THE OPINION OF THE OWNER, TOP DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOO PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOO, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOO AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOO AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
- 14.9. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOO PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOO SHALL BE STACKED SO AS NOT TO BE DAMAGED BY EXCESSIVE HEAT AND MOISTURE.
- 14.10. WITHIN THE CONTRACT LIMITS, PRODUCE AND MAINTAIN A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ENDED, SUNKEN OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK INCLUDING REPAIRING IF NECESSARY.

15. CLEANUP

- 15.1. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM THIS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.

16. PLANT MATERIAL MAINTENANCE

- 16.1. ALL PLANT MATERIAL SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) AS NECESSARY TO INSURE HEALTHY AND VIGOROUS GROWING CONDITIONS BY THE CONTRACTOR UPON DELIVERY TO THE SITE AND UNTIL FINAL ACCEPTANCE OF WORK.

17. FINAL INSPECTION AND ACCEPTANCE OF WORK

- 17.1. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE PER MANUFACTURER RECOMMENDATIONS, AS ALLOWED BY JURISDICTIONAL AUTHORITY.
- 17.2. PROVIDE WATERING/IRRIGATION SCHEDULE FOR ALL PLANT MATERIAL TO OWNER. OBSERVE ALL APPLICABLE WATERING

RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

- 17.3. UPON COMPLETION OF ALL WORK, A FINAL INSPECTION SHALL BE PERFORMED BY THE OWNER AND/OR OWNER'S REPRESENTATIVE. ALL PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT SHALL BE INSPECTED FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS. ANY ITEMS FOUND TO NOT BE IN COMPLIANCE SHALL BE CORRECTED AT THE COST OF THE CONTRACTOR.

18. WARRANTY

- 18.1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTIES BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION AND ACCEPTANCE OF THE WORK BY THE OWNER AND/OR OWNER'S REPRESENTATIVE.
- 18.2. ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION THROUGHOUT THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED, PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER. ANY REPLACED PLANT MATERIAL SHALL BE SUBJECT TO A NEW ONE (1) YEAR WARRANTY.
- 18.3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

19. IRRIGATION

- 19.1. B&L - BALLED AND BURLAPPED
- 19.2. BR - BARE ROOT
- 19.3. CL - CALIPER
- 19.4. CF - CLEAR TRUNK
- 19.5. DBH - DIAMETER AT BREAST HEIGHT
- 19.6. FLD - FIELD GROWN
- 19.7. FTG - FULL TO GROUND
- 19.8. GW - GREY WOOD
- 19.9. HW - HARDED OFF
- 19.10. OAH - OVERSAL HEIGHT
- 19.11. RPG - ROOTS PLUS GROWER

CALL 2 BUSINESS DAYS BEFORE YOU DIG ITS THE LAW! DIAL 811



Know what's below, call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

NO.	REVISIONS	DATE	BY
1	NOT FOR CONSTRUCTION	03.03.2024	SPY

Kimley-Horn

6520 DUNN LANE, SUITE 200, GAITHERSBURG, MD 20878
 107 EAST BAYVIEW, SUITE 200, GAITHERSBURG, MD 20878
 WWW.KIMLEY-HORN.COM

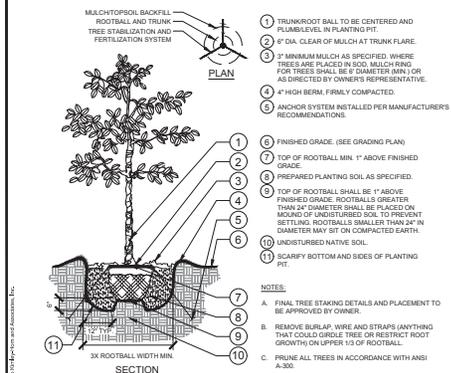
FLORIDA PROJECT 04002071
 MATTHEW D. DUNN, P.E.
 PROFESSIONAL SEALER
 060721
 DATE: 12/19/2024

LANDSCAPE SPECIFICATIONS

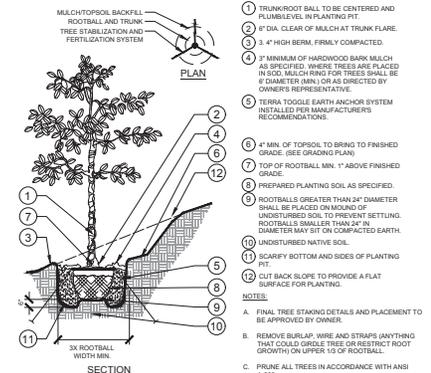
STONE CREEK ARLINGTON AMENITY CENTER
 PREPARED FOR PULTE HOME COMPANY, LLC
 MARION COUNTY, FLORIDA
 STONE CREEK ARLINGTON AMENITY CENTER - MAJOR SITE PLAN

SHEET NUMBER L-150

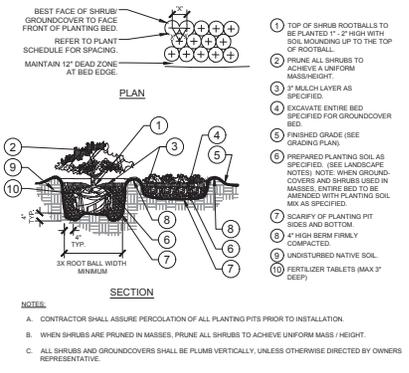
Prepared by: Matthew, KIMLEY-HORN, 3000 S. LANTANA LANE, SUITE 200, GAITHERSBURG, MD 20878
 Date: 12/19/2024
 Project: 04002071
 Drawing: L-150
 Title: LANDSCAPE SPECIFICATIONS
 Scale: AS SHOWN
 Author: MHA
 Check: JAM
 Date: 12/19/2024
 License: PROFESSIONAL
 License No: 060721
 State: FLORIDA
 Project: STONE CREEK ARLINGTON AMENITY CENTER - MAJOR SITE PLAN



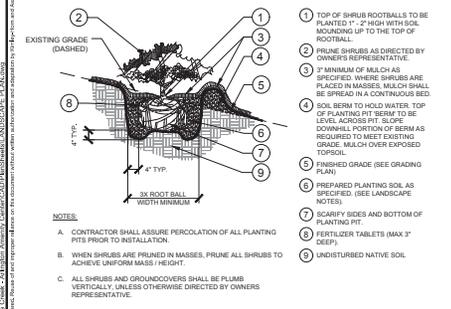
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SECTION PLAN



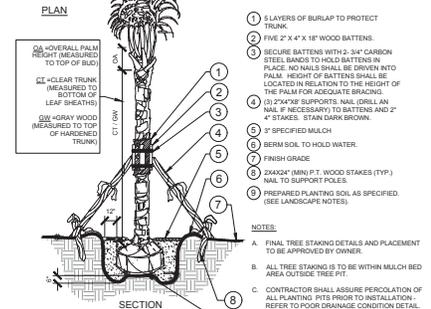
2 TREE PLANTING ON A SLOPE
SECTION PLAN



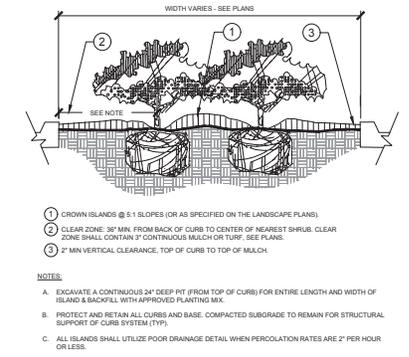
3 SHRUB/GROUNDCOVER PLANTING
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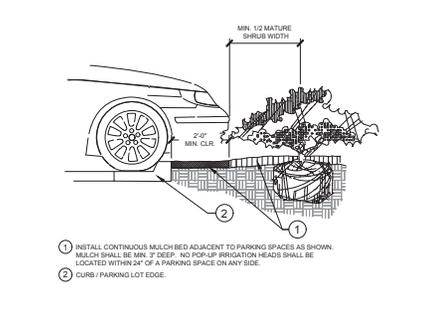
4 SHRUB/GROUNDCOVER PLANTING ON A SLOPE
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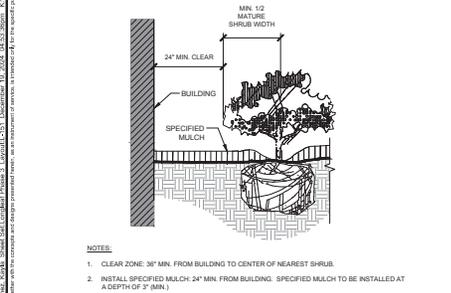
5 PALM PLANTING
SECTION PLAN



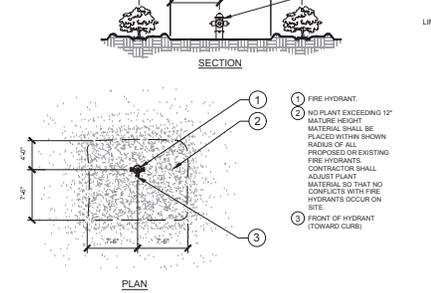
6 PLANTED PARKING LOT ISLANDS/MEDIANS
SECTION



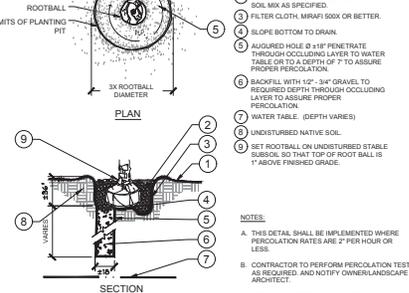
7 PARKING SPACE/CURB PLANTING
SECTION



8 PLANTINGS ADJACENT TO BUILDINGS
SECTION



9 SHRUB PLANTING AT FIRE HYDRANT
SECTION PLAN



10 POOR DRAINAGE CONDITION
SECTION PLAN

8 PLANTINGS ADJACENT TO BUILDINGS
SECTION

9 SHRUB PLANTING AT FIRE HYDRANT
SECTION PLAN

10 POOR DRAINAGE CONDITION
SECTION PLAN

NOTES:

- TRUNKROOK BALL TO BE CENTERED AND PLUMB LEVEL IN PLANTING PIT.
- 3" DIA. CLEAR OF MULCH AT TRUNK FLARE.
- 3" MINIMUM MULCH AS SPECIFIED. WHERE TREES ARE PLACED IN SOD, MULCH RING FOR TREES SHALL BE 2" DIAMETER (MIN) OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- 4" HIGH BERM, FIRMLY COMPACTED.
- ANCHOR SYSTEM INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- FINISHED GRADE. (SEE GRADING PLAN)
- TOP OF ROOTBALL MIN. 1" ABOVE FINISHED GRADE.
- PREPARED PLANTING SOIL AS SPECIFIED.
- TOP OF ROOTBALL SHALL BE 1" ABOVE FINISHED GRADE. ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING. ROOTBALLS SMALLER THAN 24" DIAMETER MAY SIT ON COMPACTED EARTH.
- SCAFFRY BOTTOM AND SIDES OF PLANTING PIT.
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
- REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
- PRUNE ALL TREES IN ACCORDANCE WITH ANSI A-300.

NOTES:

- 3" MIN. OF TOPSOIL TO BRING TO FINISHED GRADE. (SEE GRADING PLAN)
- TOP OF ROOTBALL MIN. 1" ABOVE FINISHED GRADE.
- PREPARED PLANTING SOIL AS SPECIFIED.
- ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING. ROOTBALLS SMALLER THAN 24" DIAMETER MAY SIT ON COMPACTED EARTH.
- SCAFFRY BOTTOM AND SIDES OF PLANTING PIT.
- CUT BACK SLOPE TO PROVIDE A FLAT SURFACE FOR PLANTING.
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
- REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
- PRUNE ALL TREES IN ACCORDANCE WITH ANSI A-300.

NOTES:

- TOP OF SHRUB ROOTBALLS TO BE PLANTED 1" - 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOTBALL.
- PRUNE ALL SHRUBS TO ACHIEVE UNIFORM MASS/HEIGHT.
- MULCH LAYER AS SPECIFIED.
- EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER BED.
- FINISHED GRADE (SEE GRADING PLAN)
- PREPARED PLANTING SOIL AS SPECIFIED. (SEE LANDSCAPE NOTES). NOTE: WHEN GROUND-COVERS AND SHRUBS USE IN MASSES, ENTIRE BED TO BE AMENDED WITH PLANTING SOIL MIX AS SPECIFIED.
- SCAFFRY OF PLANTING PIT SIDES AND BOTTOM.
- 4" HIGH BERM FIRMLY COMPACTED.
- UNDISTURBED NATIVE SOIL.
- FERTILIZER TABLETS (MAX 3" DEEP)
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
- WHEN SHRUBS ARE PRUNED IN MASSES, PRUNE ALL SHRUBS TO ACHIEVE UNIFORM MASS / HEIGHT.
- ALL SHRUBS AND GROUNDCOVERS SHALL BE PLUMB VERTICALLY UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.

NOTES:

- 1 LAYERS OF BURLAP TO PROTECT TRUNK.
- FIVE 2" X 4" X 18" WOOD BATTENS.
- SECURE BATTENS WITH 2- 3/4" CARBON STEEL BATTENS TO HOLD BATTENS IN PLACE. NO NAILS SHALL BE DRIVEN INTO PALM. HEADS OF BATTENS SHALL BE LOCATED IN RELATION TO THE HEIGHT OF THE PALM FOR ADEQUATE BRACING.
- (3/4" X 4" X 8" SUPPORTS, NAIL (DRILL AN NAIL IF NECESSARY) TO BATTENS AND 2" X 4" STAKES. STAKES OVER BROWN.
- 3" SPECIFIED MULCH.
- BERM SOIL TO HOLD WATER.
- FINISH GRADE.
- ANCHOR (MIN 1" WOOD STAKES (TYP.) NAIL TO SUPPORT POLES.
- PREPARED PLANTING SOIL AS SPECIFIED. (SEE LANDSCAPE NOTES).
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
- ALL TREE STAKING IS TO BE WITHIN MULCH BED AREA OUTSIDE TREE PIT.
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION. REFER TO POOR DRAINAGE CONDITION DETAIL.

NOTES:

- EXCAVATE A CONTINUOUS 24" DEEP PIT (FROM TOP OF CURB) FOR ENTIRE LENGTH AND WIDTH OF ISLAND & BACKFILL WITH APPROVED PLANTING MIX.
- CLEAR ZONE: 36" MIN. FROM BACK OF CURB TO CENTER OF NEAREST SHRUB. CLEAR ZONE SHALL CONTAIN 2" CONTINUOUS MULCH OR TURF. SEE PLANS.
- 2" MIN VERTICAL CLEARANCE, TOP OF CURB TO TOP OF MULCH.
- EXCAVATE A CONTINUOUS 24" DEEP PIT (FROM TOP OF CURB) FOR ENTIRE LENGTH AND WIDTH OF ISLAND & BACKFILL WITH APPROVED PLANTING MIX.
- PROTECT AND RETAIN ALL CURBS AND BASE. COMPACTED SUBGRADE TO REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP).
- ALL ISLANDS SHALL UTILIZE POOR DRAINAGE DETAIL WHEN PERCOLATION RATES ARE 2" PER HOUR OR LESS.

NOTES:

- FINISH GRADE (SEE GRADING PLANS).
- BACKFILL WITH PREPARED PLANTING SOIL MIX AS SPECIFIED.
- FILTER CLOTH (MIRAFI 600X OR BETTER)
- SLOPE BOTTOM TO DRAIN.
- ANCHORED HOLE Ø 1 1/8" PENETRATE THROUGH OCCULCING LAYER TO WATER TABLE TO A DEPTH OF 7' TO ASSURE PROPER PERCOLATION.
- BACKFILL WITH 12" - 3/4" GRAVEL TO REQUIRED DEPTH THROUGH OCCULCING LAYER TO ASSURE PROPER PERCOLATION.
- WATER TABLE. (DEPTH VARIES)
- UNDISTURBED NATIVE SOIL.
- SET ROOTBALL ON UNDISTURBED STABLE SUBSOIL SO THAT TOP OF ROOT BALL IS 1" ABOVE FINISHED GRADE.
- THIS DETAIL SHALL BE IMPLEMENTED WHERE PERCOLATION RATES ARE 2" PER HOUR OR LESS.
- CONTRACTOR TO PERFORM PERCOLATION TEST AS REQUIRED, AND NOTIFY OWNER/LANDSCAPE ARCHITECT.
- SEE TYPICAL TREE PLANTING DETAIL THIS SHEET FOR PLANT STAKING.

SCALE: AS SHOWN
DATE: 12/19/2024
DRAWN BY: [Name]
CHECKED BY: [Name]



NO.	DATE	REVISIONS
1	12/19/2024	ISSUE FOR CONSTRUCTION
2		
3		

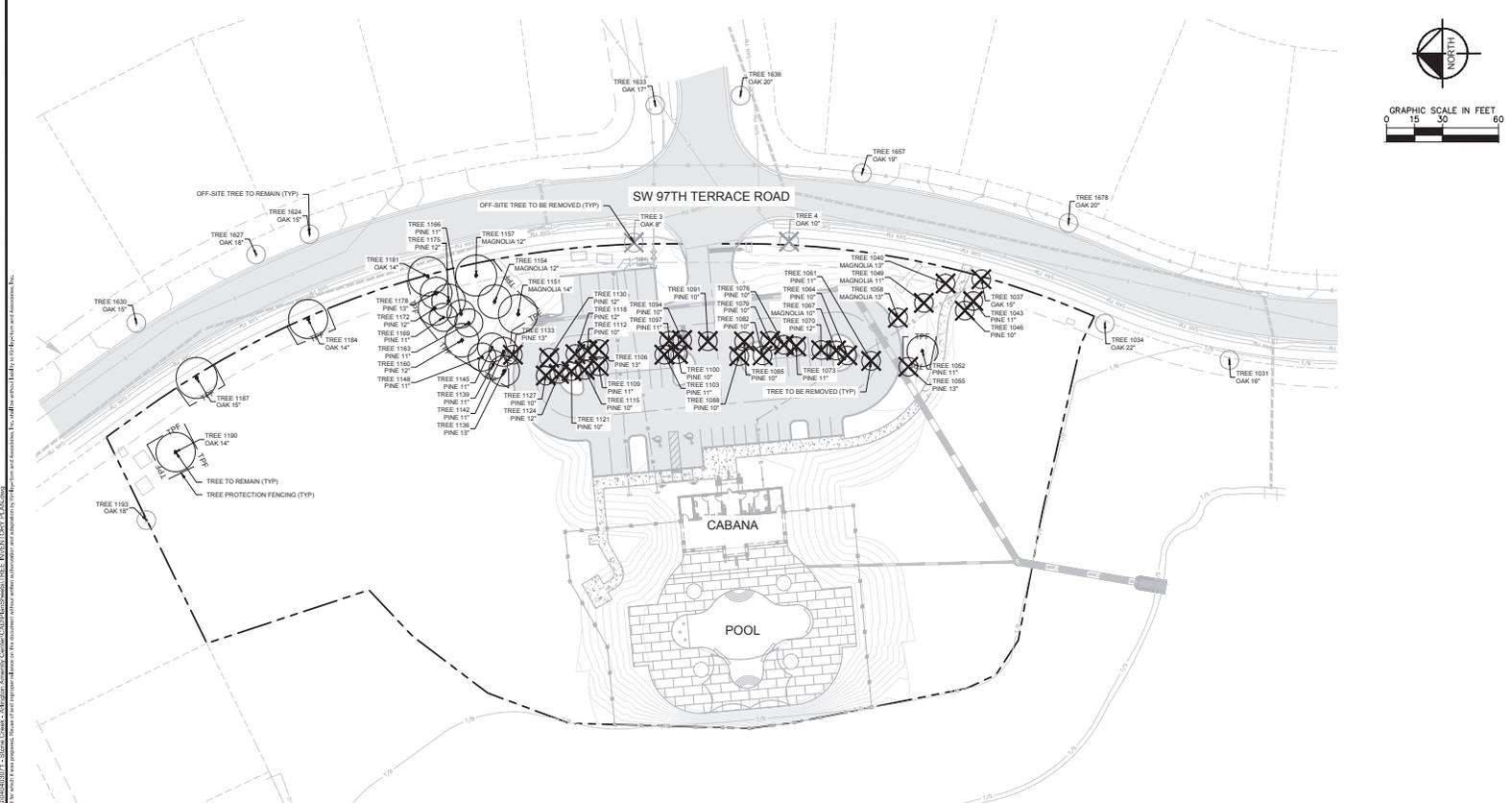
Kimley-Horn
KIMLEY-HORN AND ASSOCIATES, INC.
107 EAST BUCKLEWOOD DRIVE, SUITE 300
ORLANDO, FL 32803
PHONE: 305-485-3000
WWW.KIMLEY-HORN.COM CA 30158

LANDSCAPE PROFESSIONAL
MATTIE D. DUNN, P.E.
FLORIDA LICENSE NUMBER: 0667721
DATE: 12/19/2024

LANDSCAPE DETAILS

STONE CREEK ARLINGTON AMENITY CENTER
PREPARED FOR PULTE HOME COMPANY, LLC
MARION COUNTY, FLORIDA
STONE CREEK ARLINGTON AMENITY CENTER - MAJOR SITE PLAN

SHEET NUMBER **L-151**



SYMBOL KEY



- NOTES**
- SEE SHEET TM-150 FOR TREE MITIGATION SPECIFICATIONS AND DETAILS.
 - SEE SHEETS 1-150 FOR LANDSCAPE CALCULATIONS.
 - SEE SHEET C005 FOR TREE SUMMARY TABLE.

TREE #	SPECIES	SIZE (DBH)	STATUS
1023	OAK	17"	OFF-SITE
1028	OAK	15"	OFF-SITE
1031	OAK	16"	OFF-SITE
1034	OAK	22"	OFF-SITE
1037	OAK	15"	REMOVE
1040	MAGNOLIA	13"	REMOVE
1043	PINE	11"	REMOVE
1046	PINE	10"	REMOVE
1049	MAGNOLIA	11"	REMOVE
1052	PINE	11"	PRESERVE
1055	PINE	13"	REMOVE
1058	MAGNOLIA	13"	REMOVE
1061	PINE	11"	REMOVE
1064	PINE	10"	REMOVE
1067	MAGNOLIA	10"	REMOVE
1070	PINE	12"	REMOVE
1073	PINE	11"	REMOVE
1076	PINE	10"	REMOVE
1079	PINE	10"	REMOVE
1082	PINE	10"	REMOVE
1085	PINE	10"	REMOVE
1088	PINE	10"	REMOVE
1091	PINE	10"	REMOVE
1094	PINE	10"	REMOVE
1097	PINE	11"	REMOVE
1100	PINE	10"	REMOVE
1103	PINE	11"	REMOVE
1106	PINE	13"	REMOVE

TREE #	SPECIES	SIZE (DBH)	STATUS
1109	PINE	11"	REMOVE
1112	PINE	10"	REMOVE
1115	PINE	10"	REMOVE
1118	PINE	12"	REMOVE
1121	PINE	10"	REMOVE
1124	PINE	12"	REMOVE
1127	PINE	10"	REMOVE
1130	PINE	12"	REMOVE
1133	PINE	13"	REMOVE
1136	PINE	13"	REMOVE
1139	PINE	11"	PRESERVE
1142	PINE	11"	PRESERVE
1145	PINE	11"	PRESERVE
1148	PINE	11"	PRESERVE
1151	MAGNOLIA	14"	PRESERVE
1154	MAGNOLIA	12"	PRESERVE
1157	MAGNOLIA	12"	PRESERVE
1160	PINE	12"	PRESERVE
1163	PINE	11"	PRESERVE
1166	PINE	11"	PRESERVE
1169	PINE	11"	PRESERVE
1172	PINE	12"	PRESERVE
1175	PINE	12"	PRESERVE
1178	PINE	13"	PRESERVE
1181	OAK	14"	PRESERVE
1184	OAK	14"	PRESERVE
1187	OAK	15"	PRESERVE
1190	OAK	14"	PRESERVE

TREE #	SPECIES	SIZE (DBH)	STATUS
1193	OAK	18"	OFF-SITE
1624	OAK	15"	OFF-SITE
1627	OAK	18"	OFF-SITE
1630	OAK	15"	OFF-SITE
1633	OAK	17"	OFF-SITE
1636	OAK	20"	OFF-SITE
1657	OAK	19"	OFF-SITE
1678	OAK	20"	OFF-SITE
3	OAK	8"	OFF-SITE
4	OAK	10"	OFF-SITE

Kimley-Horn
 6330H KIMLEY-HORN AND ASSOCIATES, INC.
 101 EAST BUCKLEY AVENUE, SUITE 300
 WWW.KIMLEY-HORN.COM CA 38188

NSA PROJECT: 04/04/2021
 DATE: DECEMBER 2024
 SCALE: AS SHOWN
 DESIGNER: RHA
 DRAWN BY: JMT
 CHECKED BY: EMD
 LICENSED PROFESSIONAL: MATTHEW D. DUNN, P.E.
 FLORIDA LICENSE NUMBER: 0867721
 DATE: 12/19/2024

TREE INVENTORY PLAN

STONE CREEK
 ARLINGTON AMENITY CENTER
 PREPARED FOR: PULTE HOME COMPANY, LLC
 MARION COUNTY, FLORIDA

CALL 2 BUSINESS DAYS BEFORE YOU DIG
 IT'S THE LAW! DIAL 811
 Know what's below. Call before you dig.
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

SHEET NUMBER: **TM-100**

NO.	NOT FOR CONSTRUCTION	REVISIONS	DATE
1			

Prepared by: Matthew D. Dunn, P.E., License No. 0867721, December 19, 2024. 04-53-2024-15-5348. 10/20/24/000741 - Stone Creek - Arlington Amenity Center CAD/PLT/Sheet/TREE_INVENTORY.PLA/Sheet
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