

May 2, 2025

PROJECT NAME: DHRUV 484 SOUTH PUD MASTER PLAN

PROJECT NUMBER: 2021080036

APPLICATION: PUD MASTER PLAN #29823

1 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Master Plan

STATUS OF REVIEW: INFO

REMARKS: IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

Checked owner with Sunbiz and checked road projects. HR 8.8.24

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

For questions or information, please contact Angi Rosario @ 352-671-8667

2 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: Additional Landscape comments

STATUS OF REVIEW: INFO

REMARKS: No tree removal prior to DRC approved site plan or mass grading plan

3 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 2.12.18 - All trees 10" DBH and larger

STATUS OF REVIEW: INFO

REMARKS: One acre tree sample area requires a waiver

- 4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities comments
STATUS OF REVIEW: INFO
REMARKS:
- 5 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.16.5 - Wastewater Pump Stations
STATUS OF REVIEW: INFO
REMARKS: The Engineer of Record should ensure that the wastewater system for this project is designed to provide proper flow and transmission. This area includes multiple pump stations and changes in sanitary sewer flow direction, which must be carefully accounted for in the design.
- 6 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.3 - Fire Protection
STATUS OF REVIEW: INFO
REMARKS: Marion County Fire Rescue - Water will be provided by Marion County Utilities. EOR will need to ensure proper flow can be provided to project site by current configuration.
- 7 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: Special Planning Items:
STATUS OF REVIEW: INFO
REMARKS: Staff notes the Master Plan identifies the western portion of the site for "Industrial/Commercial" uses; however, the range of uses will be limited based on the PUD's authorized uses (e.g., Areas "A" and "B") as provided with the PUD approval. The PUD Approval Letter including that information is provided for reference in the Supplemental Information folder provided for this Application Request.
- 8 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: Central Sewer/Central Water
- 9 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: Additional Zoning comments
STATUS OF REVIEW: INFO
REMARKS: This project, along with future outparcels, must undergo platting process. Reminder that, per PUD 211018ZC, a multi-modal/pedestrian access plan shall be provided for the full PUD as part of the project's subsequent PUD Master Plan, or equivalent, plan submittals.
- 10 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.10 - Show any known existing or proposed easements (i.e. ingress or egress, landscape or conservation)
STATUS OF REVIEW: INFO
REMARKS: PUD 211018Z indicates access easements between DRAs on southern boundary
- 11 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.24 - Landscape requirements/6.8.6 - Buffering
STATUS OF REVIEW: INFO
REMARKS: Please clarify C-type buffers along west, east, and south of residential section. Please clarify E-type buffer along north of DRA section, per PUD 211018Z

- 12 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the county. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued.
- 13 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, conditions, date of approval
STATUS OF REVIEW: INFO
REMARKS: 4/11/23 - add waivers if requested in the future
- 14 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.10 - Karst Topography and High Recharge Areas
STATUS OF REVIEW: INFO
REMARKS: Please provide a Karst Analysis with the Improvement Plan/Major Site Plan.
- 15 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13 - Stormwater Management
STATUS OF REVIEW: INFO
REMARKS: Please ensure the criteria of LDC Section 6.13 is satisfied with the Improvement Plan/Major Site Plan.
- 16 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.32 - Stormwater Analysis Map
STATUS OF REVIEW: INFO
REMARKS: Please note that pre- and post-development drainage maps will be required with the Improvement Plan/Major Site Plan.
- 17 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.20 - Stormwater Infrastructure Supports Phasing
STATUS OF REVIEW: INFO
REMARKS: Improvements must be in place to support each phase of development at time of phase completion.
- 18 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.19 - Proposed Drainage Improvements
STATUS OF REVIEW: INFO
REMARKS: Proposed stormwater management system will be reviewed as part of the Improvement Plan/Major Site Plan stage. Final plat shall reflect the location of the proposed infrastructure with proper easements.
- 19 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.9/10 - Proposed Drainage Right-of-Way/Easements
STATUS OF REVIEW: INFO
REMARKS: Please verify that final design includes adequate drainage easements and/or right of way widths; 20-ft minimum for conveyance culverts and 30-ft for DRA maintenance access, per LDC.

20 DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: Additional 911 comments

STATUS OF REVIEW: INFO

REMARKS: Added new road names to Sheet 06.01. Be sure to add them to all future submittals. Also be aware that due to the reconfiguration of SW 20th Avenue Rd to change the curve near parcel 41200-061-00 into a T configuration, it will result in a change in a portion of the road name SW 20th Avenue Rd. See sheet 06.01 for those road names.



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

29823

DEVELOPMENT REVIEW PLAN APPLICATION

Date: 02/28/2023

A. PROJECT INFORMATION:

Project Name: DHRUV 484 SOUTH PUD MASTER PLAN

Parcel Number(s): 41200-061-00, 41200-062-00, 41200-063-00, 41200-063-01, 41200-063-02, 41200-064-00, 41200-064-01 & 41200-064-09

Section 12 Township 17S Range 21E Land Use B2 CM, M2 IN Zoning Classification PUD

Commercial ☒ Residential ☒ Industrial ☐ Institutional ☐ Mixed Use ☐ Other ☐

Type of Plan: MASTER PLAN

Property Acreage 70.6 Number of Lots _____ Miles of Roads _____

Location of Property with Crossroads SW Hwy 484 & I-75

Additional information regarding this submittal: Master Plan in conjunction with Case 211018Z

B. CONTACT INFORMATION (*Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.*)

☒ **Engineer:**

Firm Name: TILLMAN & ASSOCIATES ENGINEERING, LLC Contact Name: JEFFREY MCPHERSON, PE

Mailing Address: 1720 SE 16TH AVE, BLDG 100 City: OCALA State: FL Zip Code: 34471

Phone # 352-387-4540 Alternate Phone # _____

Email(s) for contact via ePlans: permits@tillmaneng.com

☒ **Surveyor:**

Firm Name: JCH CONSULTING GROUP, INC. Contact Name: CHRISTOPHER J. HOWSON, PSM, CFM

Mailing Address: 426 SW 15TH STREET City: OCALA State: FL Zip Code: 34471

Phone # 352-405-1482 Alternate Phone # _____

Email(s) for contact via ePlans: _____

Property Owner:

Owner: DHRUV DEVELOPMENT Contact Name: AMIT D. PATEL, CEO

Mailing Address: 6903 CONGRESS STREET City: NEW PORT RICHI State: FL Zip Code: 34653

Phone # _____ Alternate Phone # _____

Email address: _____

Developer:

Developer: DHRUV DEVELOPMENT Contact Name: AMIT D. PATEL, CEO

Mailing Address: 6903 CONGRESS STREET City: NEW PORT RICHI State: FL Zip Code: 34653

Phone # _____ Alternate Phone # _____

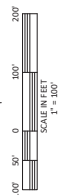
Email address: _____

Revised 6/2021

CLEAR FORM

Empowering Marion for Success

marionfl.org





NATIONAL WETLAND INVENTORY
NOT TO SCALE



QUAD
NOT TO SCALE



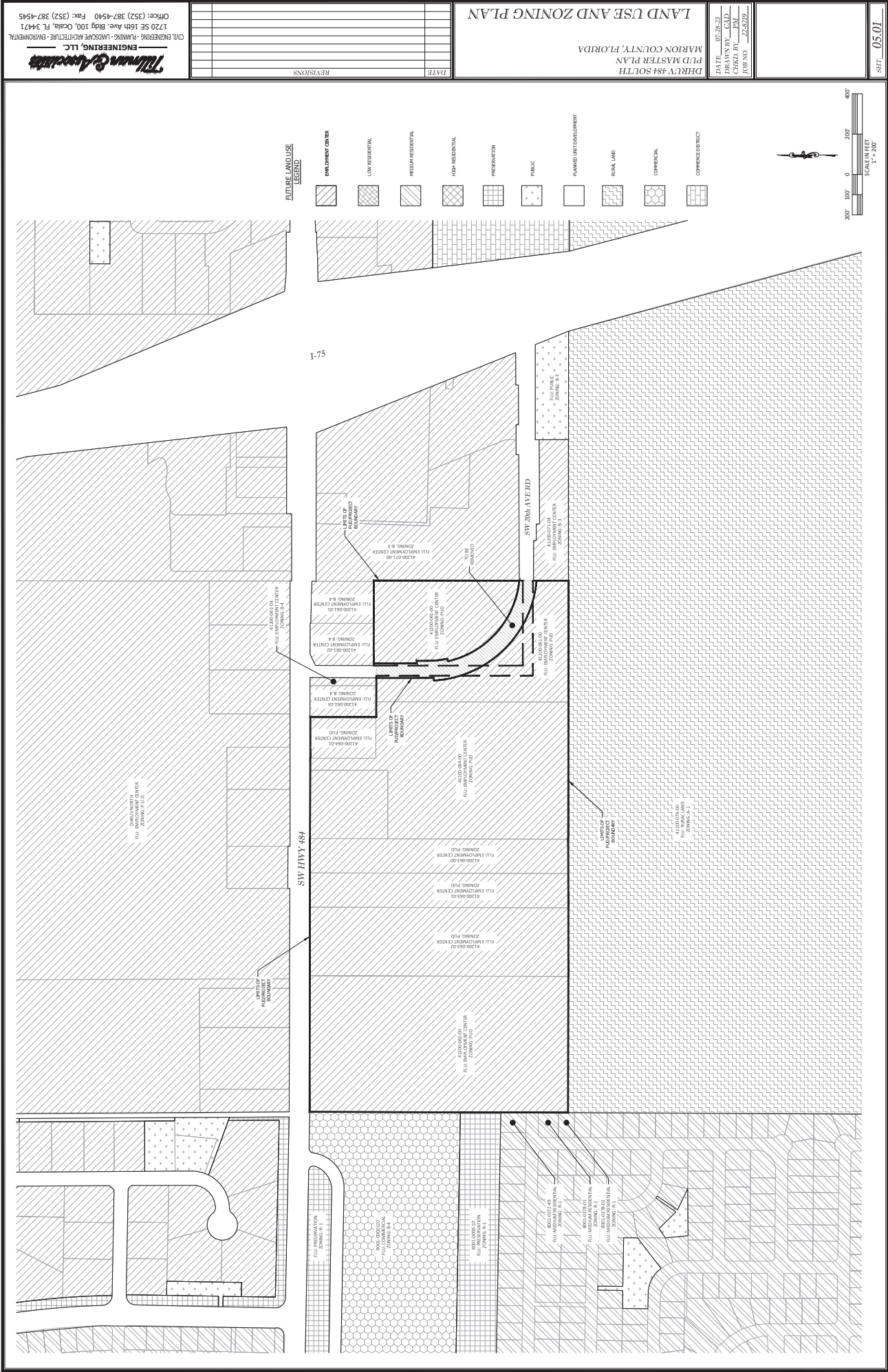
FEMA FLOODPLAINS
NOT TO SCALE

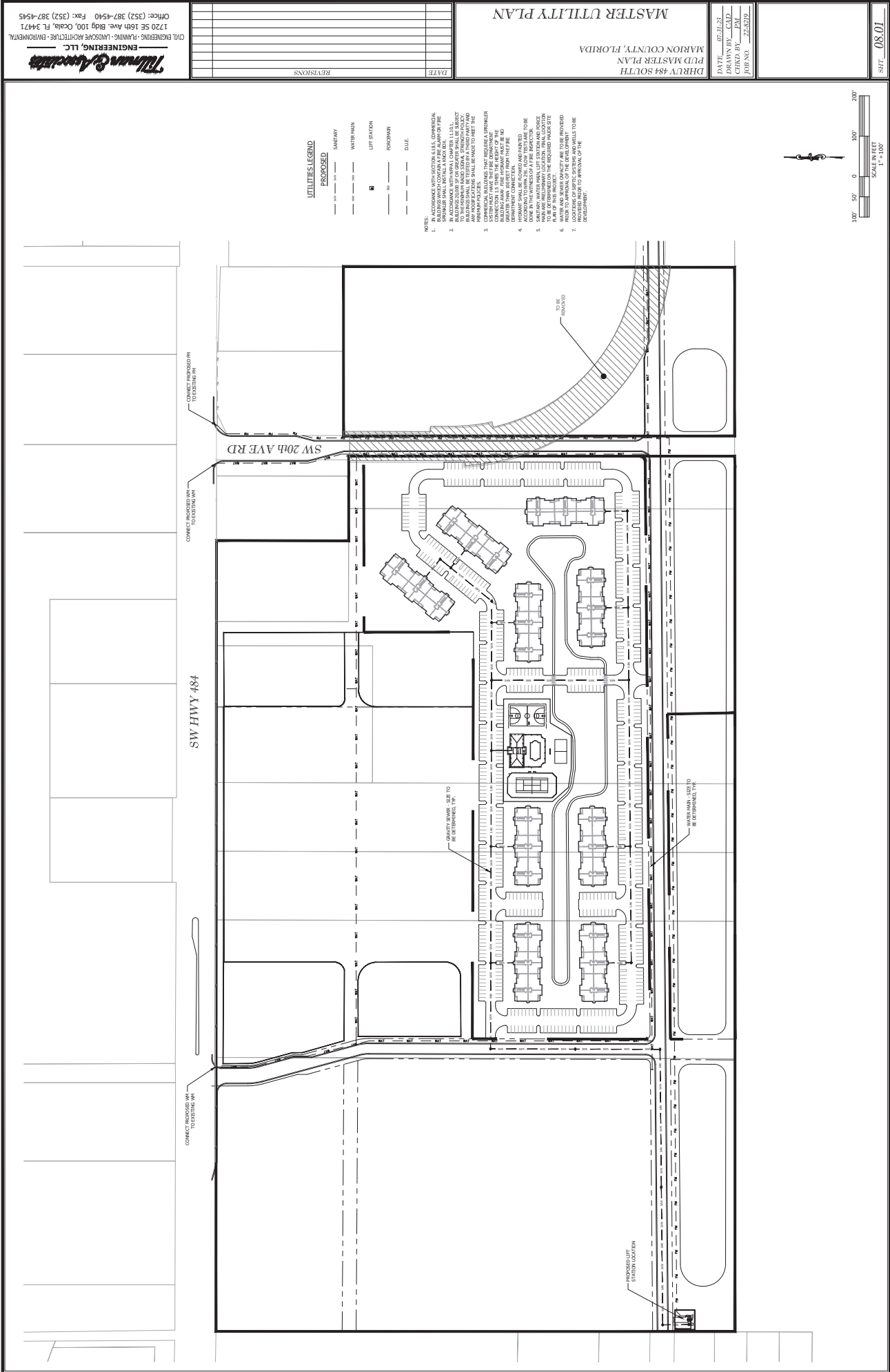


AERIAL
NOT TO SCALE

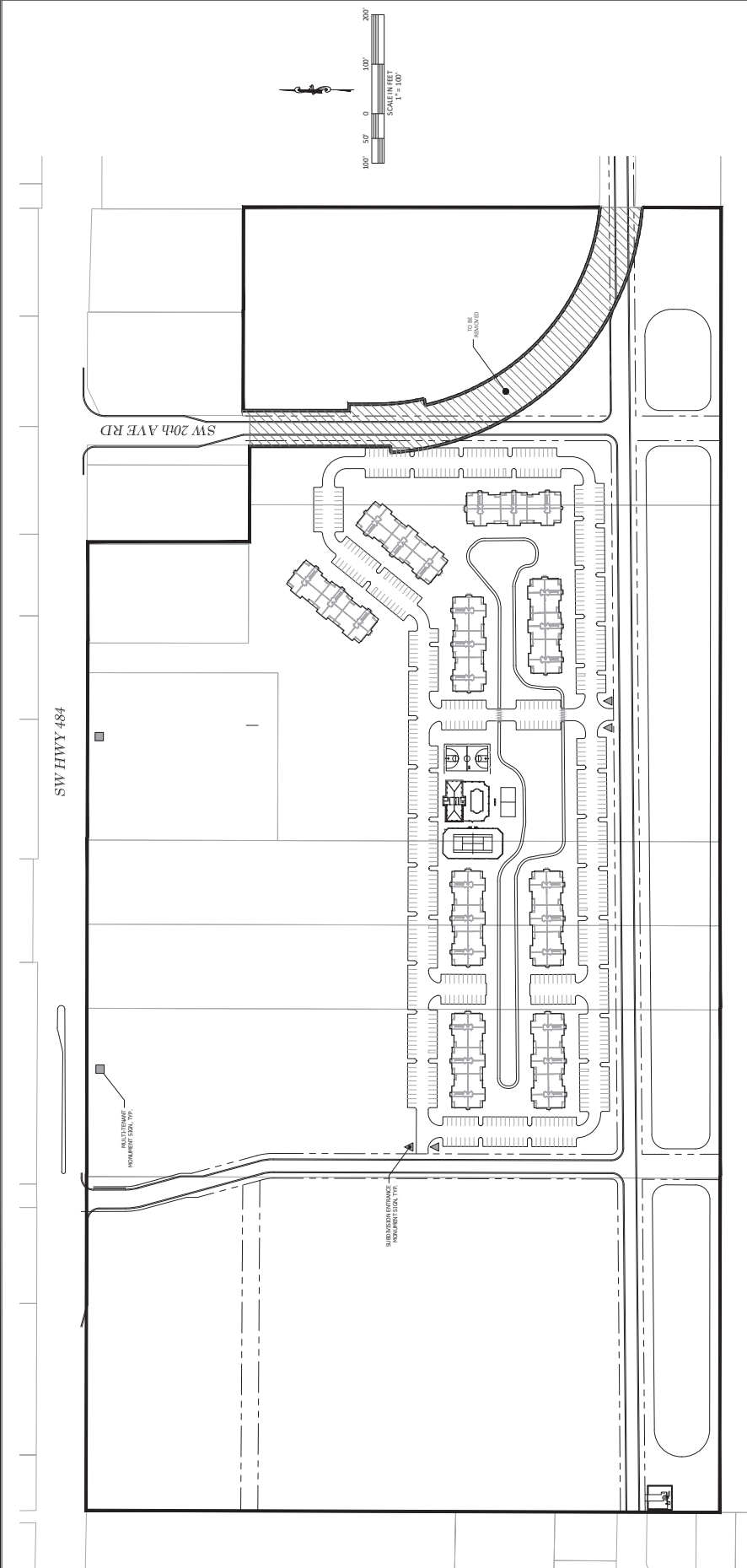


SOILS
NOT TO SCALE



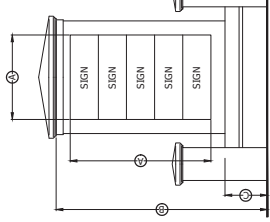


NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

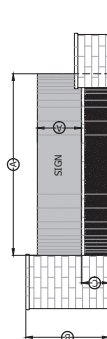


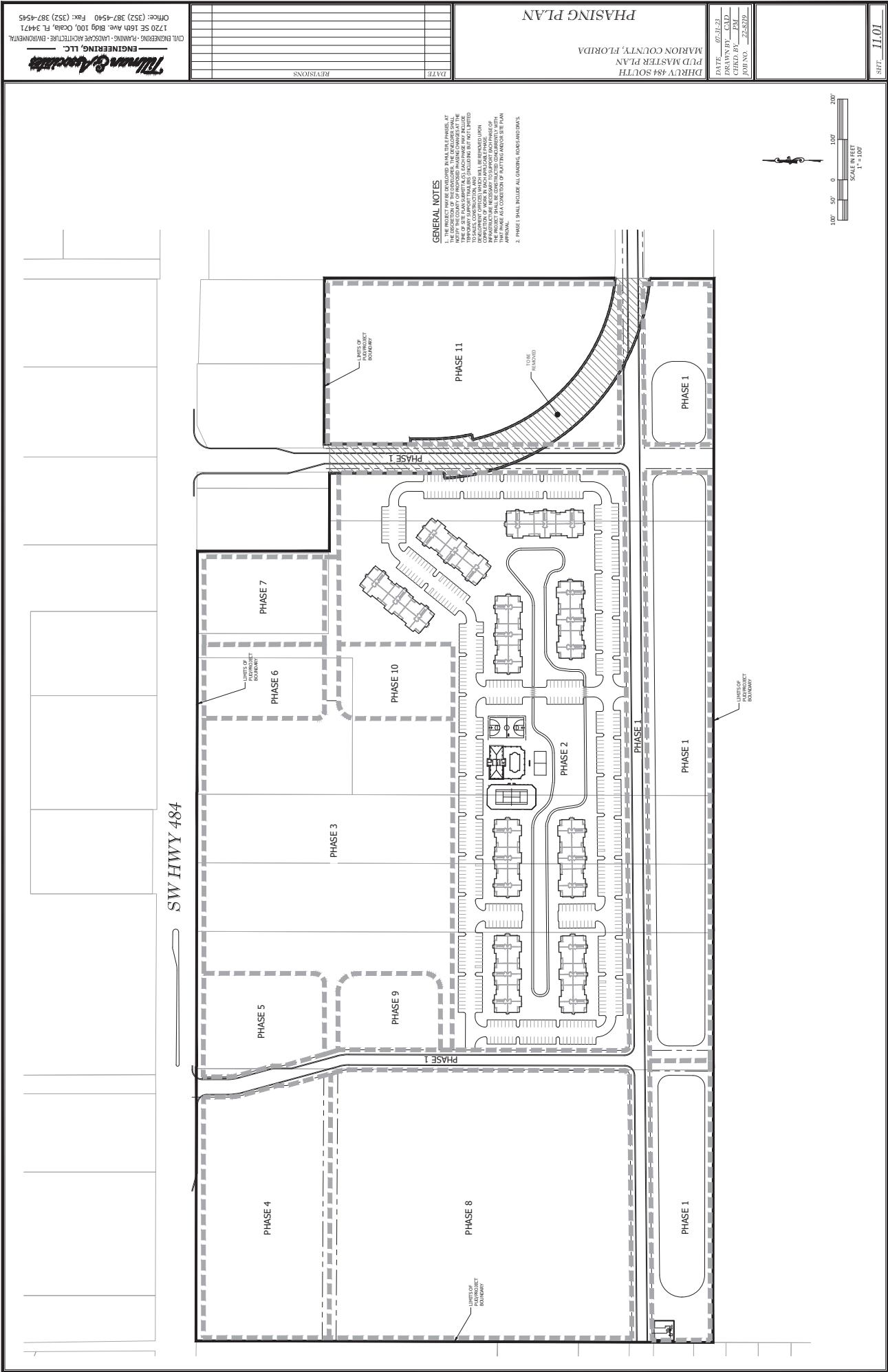
NOTES:

1. SIGN TYPES, SIZES, COLORS, PRIORITIES, AND LOCATION TO BE DETERMINED BY OWNER. DETAILS SHOWN IS CONCEPTUAL IN NATURE AND ARE FOR ILLUSTRATION PURPOSES ONLY.
2. SIGNS SHALL BE A MINIMUM OF 5' AWAY FROM ANY PROPERTY LINE OR R/W.
3. EACH COMMERCIAL SITE ALLOW A SINGLE GROUND SIGN IN ACCORDANCE WITH CURRENT LOC REGULATION.
4. INTERNAL DIRECTIONAL SIGNS AS ALLOWED PER LOC.

[illegible]

Monument Sign (NC LDC Sec. 4.4.2.1 - On the sign)	Dimensions	Notes
Signs must be placed on the right side of the road, with the lettering for support placed to the left of the sign, and the sign itself facing the road. Signs are to stand on one side of a continuous road.	Minimum height: 128" of sign face, minimum 64" of single face; 128" of sign face, minimum 64" of double face Height: 10'	②
Standard The sign may be for a single sign with two faces or a single sign with two faces on each side of the road. Monument signs shall match the style of the monument building.	Height: 10' Prevalent Height: (min/max) 27'5" Number of Signs	③
Nonstandard Nonstandard signs shall match the style of the monument building. Nonstandard signs must be illuminated by a steady light source.	Time installation identification signs per sign must be 10 minutes. Time to erect 64 square feet sign area per sign.	④





DATE: 07-21-23
DRAWN BY: JLD
CHECKED BY: JLD
DESIGNED BY: JLD
JOB NO.: 22-0270

DRURY 484 SOUTH
PUD MASTER PLAN
MARION COUNTY, FLORIDA
PHASING PLAN

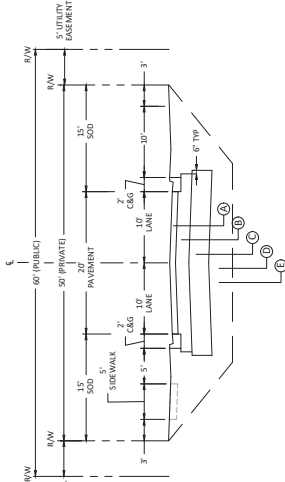
REVISIONS
DATE
DESCRIPTION

Office: (352) 387-4540 Fax: (352) 387-4545
1720 SE 16th Ave. Bldg 100, Ocala, FL 34471
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
Thuman & Associates
ENGINEERING, LLC

SHEET: 11.01

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

S:\Market_Compensation_Plan_0414\Compensation_Plan - South\Compensation_Plan - South\11.01.2023 8:12:30 AM



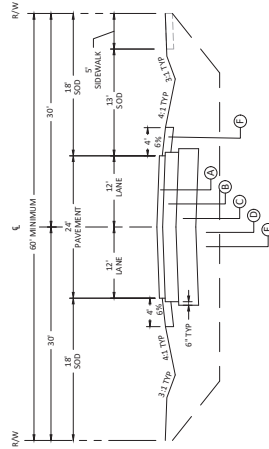
REFER TO ARTICLE 6 OF THIS CODE FOR SECTION WIDTHS AND THICKNESSES

- ① ASPHALTIC CONCRETE SURFACE COURSE
- ② UNEMULSED BASE COURSE, 18R 100
- ③ STABILIZED SUBGRADE, 18R 40 (12" MINIMUM THICKNESS)
- ④ FILL/PAVEMENT MATERIAL WHEN REQUIRED BY UNSUITABLE MATERIAL EXCAVATION
- ⑤ UNSUITABLE MATERIAL EXCAVATION IF REQUIRED

LEGEND
C&G CURB AND GUTTER
R/W RIGHT-OF-WAY
TYP TYPICAL

- NOTES:
1. SIDEWALK, WHEN REQUIRED, SHALL BE CONSTRUCTED PER FOOT INDEX 310 AND SECTION 522 OF THE FOOT STANDARD SPECIFICATIONS.
 2. EXISTING TREES MAY REMAIN IN THE R/W, PROVIDED THEY DO NOT CONFLICT WITH CLEAR ZONE DRAINAGE.
 3. SEED & MULCH MAY BE ALLOWED IN CERTAIN AREAS OF THE R/W IF APPROVED.

60' PUBLIC RIGHT-OF-WAY ROADWAY SECTION A - A N.T.S.



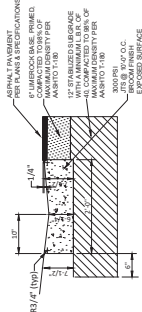
REFER TO ARTICLE 6 OF THIS CODE FOR SECTION WIDTHS AND THICKNESSES

- ① ASPHALTIC CONCRETE SURFACE COURSE
- ② UNEMULSED BASE COURSE, 18R 100
- ③ STABILIZED SUBGRADE, 18R 40
- ④ FILL/PAVEMENT MATERIAL WHEN REQUIRED BY UNSUITABLE MATERIAL EXCAVATION
- ⑤ UNSUITABLE MATERIAL EXCAVATION IF REQUIRED
- ⑥ STABILIZED SHOULDER, 18R 40 (6" MINIMUM THICKNESS)

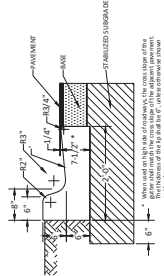
LEGEND
C&G CURB AND GUTTER
R/W RIGHT-OF-WAY
TYP TYPICAL

- NOTES:
1. SIDEWALK, WHEN REQUIRED, SHALL BE CONSTRUCTED PER FOOT INDEX 310 AND SECTION 522 OF THE FOOT STANDARD SPECIFICATIONS.
 2. EXISTING TREES MAY REMAIN IN THE R/W, PROVIDED THEY DO NOT CONFLICT WITH CLEAR ZONE DRAINAGE.
 3. SEED & MULCH MAY BE ALLOWED IN CERTAIN AREAS OF THE R/W IF APPROVED.

60' PUBLIC RIGHT-OF-WAY ROADWAY SECTION B - B N.T.S.



DROP CURB DETAIL N.T.S.



TYPE F CURB N.T.S.

DATE _____
DRAWN BY _____
CHECKED BY _____
DESIGNED BY _____
DATE _____

DATE _____
DRAWN BY _____
CHECKED BY _____
DESIGNED BY _____
DATE _____

DATE _____
DRAWN BY _____
CHECKED BY _____
DESIGNED BY _____
DATE _____

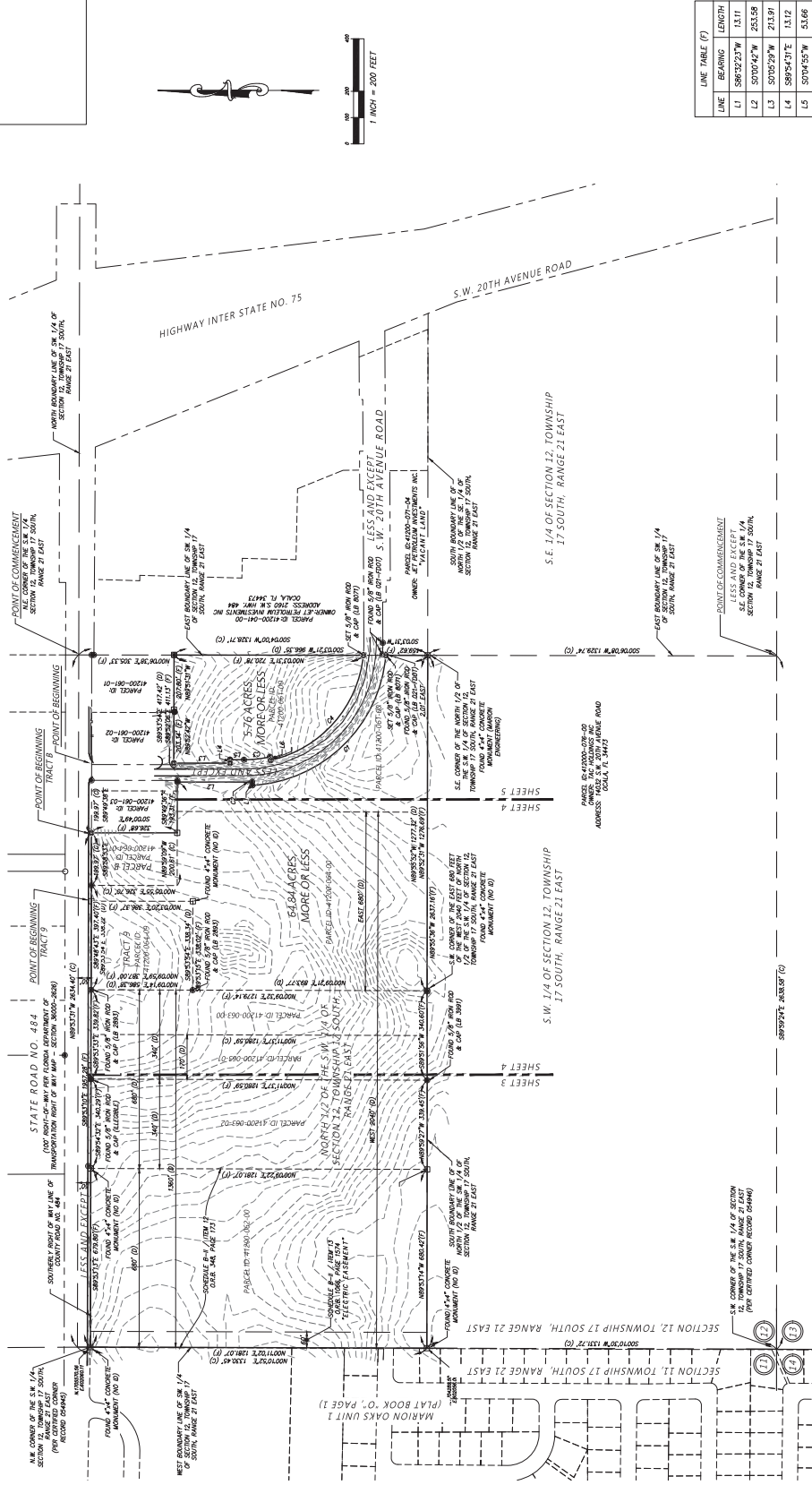
DHRTV 484 SOUTH
PUD MASTER PLAN
MARION COUNTY, FLORIDA

DATE: 08-02-23
DRAWN BY: CAD
CHECKED BY: JLD
DESIGNED BY: JLD
JOB NO.: 22-5270

SHEET 12.01

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

BOUNDARY AND TOPOGRAPHIC SURVEY FOR:
OCALA 484 INVESTMENT, LLC
 A PORTION OF SECTION 12, TOWNSHIP 17 SOUTH, RANGE 21 EAST
 MARION COUNTY, FLORIDA



LINE	BEARING	LENGTH
L1	S88°52'22"W	13.11
L2	S70°05'42"W	253.58
L3	S70°05'29"W	213.91
L4	S88°54'17"E	13.12
L5	S70°04'52"W	53.66
L6	S77°2'08"W	13.28

CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C1	773.177	541.34	087°53'47"	709.56	S44°44'29"E
C2	30.97	528.21	002°21'33"	30.96	S07°10'37"E
C3	98.01	442.91	07°49'28"	96.80	S09°21'34"E
C4	569.50	458.14	071°30'15"	533.05	S45°12'59"E

SHEET 2 OF 5
 ONE IS NOT COMPLETE WITHOUT THE OTHERS
 SEE SHEET 1 FOR NOTES, LEGEND, SURVEYOR'S
 CERTIFICATION, LEGAL DESCRIPTION, ETC.
 SEE SHEET 2 FOR BOUNDARY DETAIL
 SEE SHEETS 3, 4, AND 5 FOR BOUNDARY AND
 TOPOGRAPHIC DETAIL

FILE: MARCO POLO.PPAR.T

FIELD BOOK: P/AGE:

LOG: 6221568

DATE: 6/27/2008

SHT 2 OF 5

OCALA 484 INVESTMENT, LLC

-FOR-

TOPOGRAPHIC SURVEY

JCH

CONSULTING GROUP, INC.

1 AND 2 DEVELOPMENT, S.W. 20TH AVENUE ROAD, MARION COUNTY, FLORIDA 32003-2608

PLANNING & ENGINEERING, L.L.C.

DESIGNED BY: JCH

CHECKED BY: JCH

APPROVED BY: JCH

SCALE: 1" = 200'

DRAWN: M.A.

REVISOR:

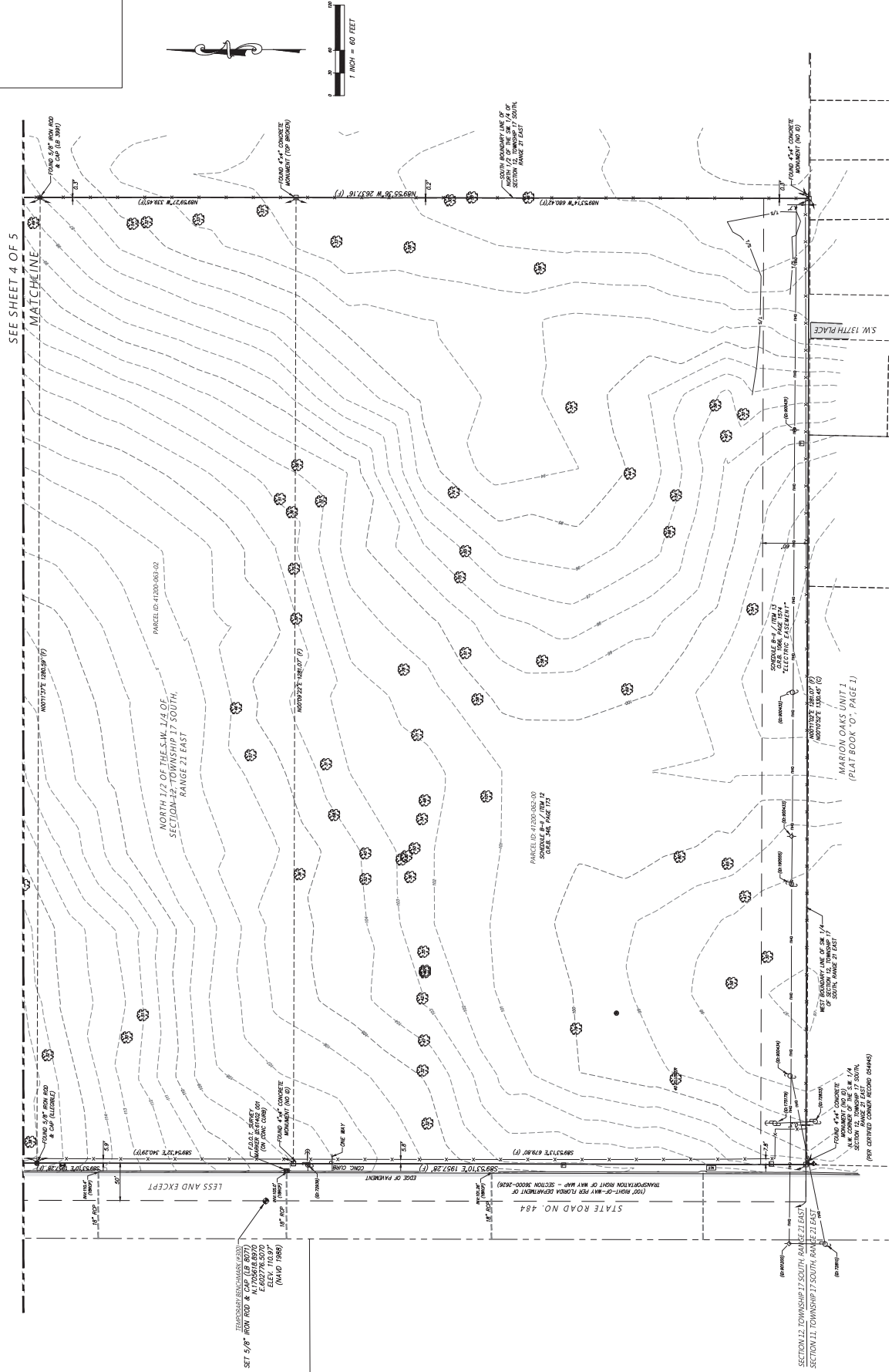
REVIEWED:

BY:

DATE:

BOUNDARY AND TOPOGRAPHIC SURVEY FOR:
OCALA 484 INVESTMENT, LLC
A PORTION OF SECTION 12, TOWNSHIP 17 SOUTH, RANGE 21 EAST
MARION COUNTY, FLORIDA

SHEET 3 OF 5
ONE IS NOT COMPLETE WITHOUT THE OTHERS
SEE SHEET 2 FOR BOUNDARY DETAIL
SEE SHEETS 3, 4, AND 5 FOR BOUNDARY AND
TOPOGRAPHIC DETAIL



FILE: MARCO POLO PART		LOC: 221568		SHEET 3 OF 5	
FIELD BOOK: PAGE		DATE: 09/27/2018			
PLAT OF BOUNDARY AND -FOR- TOPOGRAPHIC SURVEY					
OCALA 484 INVESTMENT, LLC					
					
JCH CONSULTING GROUP, INC. LAND DEVELOPMENT, SURVEYING & MAPPING PLANNING & ENVIRONMENTAL CONSULTING 10000 W. US HWY 90, SUITE 100, Ocala, FL 34476 TEL: 352.237.1111 FAX: 352.237.1112 WWW.JCHCONSULTING.COM					
SCALE: 1" = 60'		DRAWN: M.A.			
APPROVED: C.J.H.		CHECKED: C.J.H.			
REVISED:					
NO.		REVISIONS			
DATE		BY			

NO.	REVISIONS	BY	DATE

SCALE: 1" = 60'	APPROVED: C.J.H.	CHECKED: C.J.H.	REVIEWED: M.A.	DRAWN: M.A.
-----------------	------------------	-----------------	----------------	-------------

JCH
CONSULTING GROUP, INC.
PLANNING, ENGINEERING, & SURVEYING
10000 W. 11TH AVENUE, SUITE 100
DENVER, CO 80233
TEL: 303.755.1100
WWW.JCHCONSULTING.COM

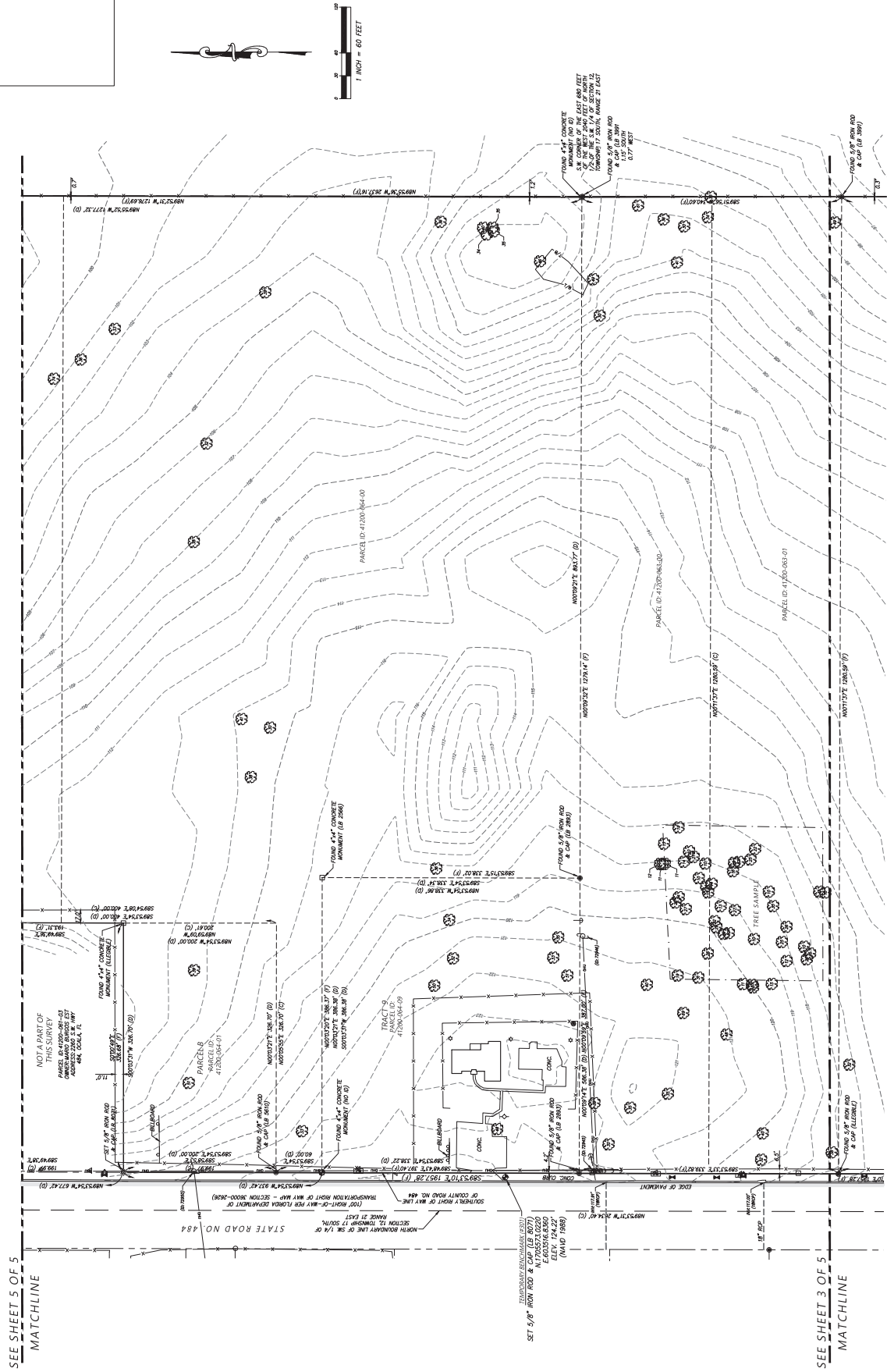
**PLAT OF BOUNDARY AND
-FOR-
TOPOGRAPHIC SURVEY**
OCALA 484 INVESTMENT, LLC

FILE: MARCO POLO PART	FIELD BOOK: PAGE
-----------------------	------------------

LOC: 221568	DATE: 2/21/2018
SHEET 4 OF 5	

**BOUNDARY AND TOPOGRAPHIC SURVEY FOR:
OCALA 484 INVESTMENT, LLC**
A PORTION OF SECTION 12, TOWNSHIP 17 SOUTH, RANGE 21 EAST
MARION COUNTY, FLORIDA

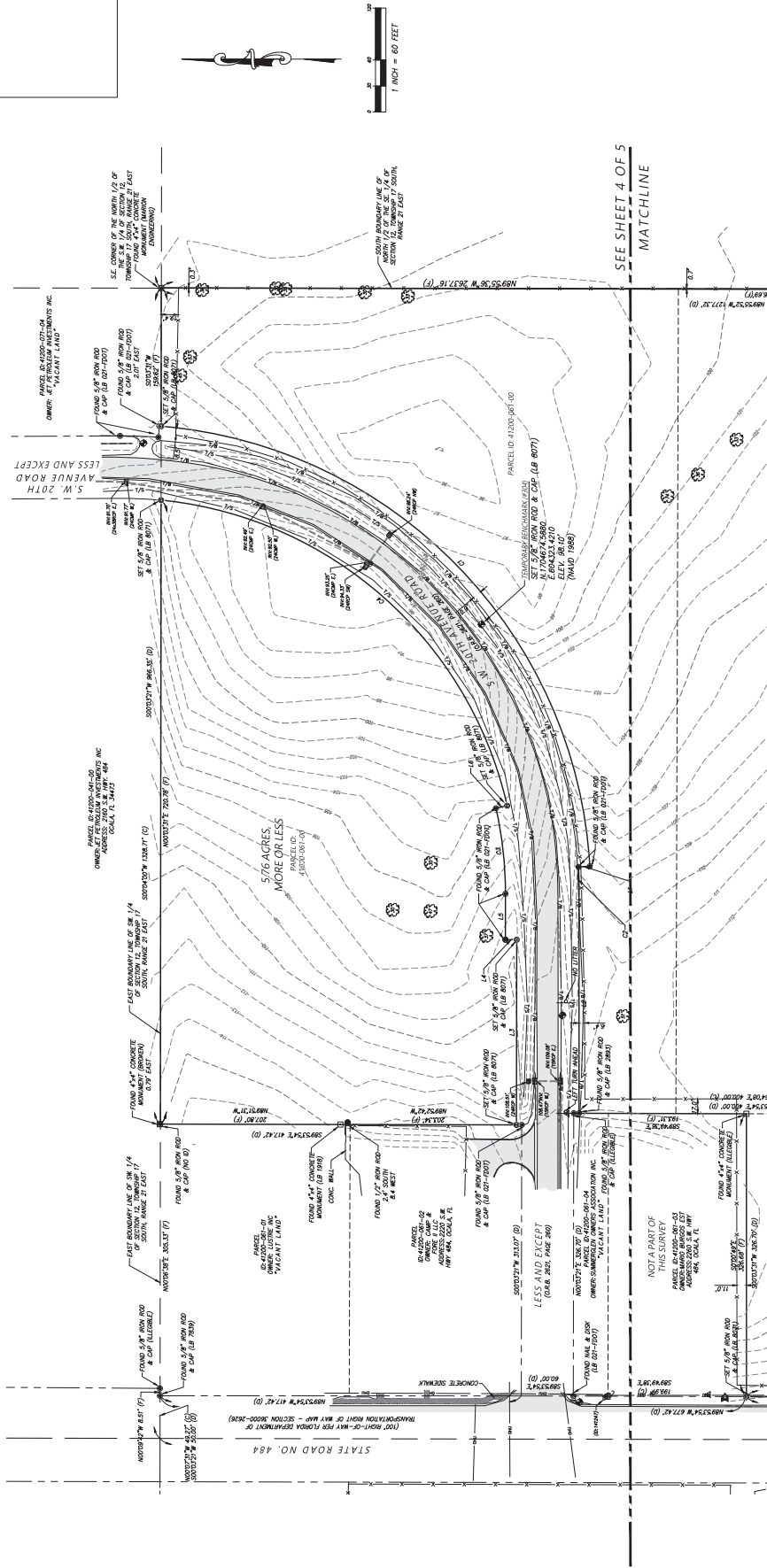
SHEET 4 OF 5
ONE IS NOT COMPLETE WITHOUT THE OTHERS
SEE SHEET 2 FOR BOUNDARY DETAIL
SEE SHEETS 3, 4, AND 5 FOR BOUNDARY AND
TOPOGRAPHIC DETAIL



SEE SHEET 5 OF 5
MATCHLINE

SEE SHEET 3 OF 5
MATCHLINE

BOUNDARY AND TOPOGRAPHIC SURVEY FOR:
OCALA 484 INVESTMENT, LLC
A PORTION OF SECTION 12, TOWNSHIP 17 SOUTH, RANGE 21 EAST
MARION COUNTY, FLORIDA



CURVE TABLE (F)				
CURVE	LENGTH	RADIUS	DELTA	CHORD
C1	773.77	541.34	08°53'47"	709.56
C2	30.97	528.21	00°37'33"	30.06
C3	98.01	442.91	01°24'28"	98.00
C4	569.50	456.34	07°30'15"	533.26

LINE TABLE (F)		
LINE	BEARING	LENGTH
L1	S86°32'23"W	13.11
L2	S70°14'42"W	253.58
L3	S70°52'59"W	213.91
L4	S89°54'31"E	13.12
L5	S01°42'55"W	53.66
L6	S77°12'08"W	13.28

ONE IS NOT COMPLETE WITHOUT THE OTHERS
SEE SHEET 3, 4, AND 5 FOR BOUNDARY AND
TOPOGRAPHIC DETAIL

FILE: MARCO POLO.PPAR.1
FIELD BOOK: PPAGE.1
JOB: 221568
DATE: 07/25/2023
SHEET 5 OF 5

PLAT OF BOUNDARY AND
-FOR-
TOPOGRAPHIC SURVEY
OCALA 484 INVESTMENT, LLC

SCALE: 1" = 60'
APPROVED: C.J.H.
CHECKED: C.J.H.
REVISED: M.A.
DRAWN: M.A.

NO. _____
BY _____
DATE _____