



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

MARCH 1, 2021

TILLMAN & ASSOCIATES ENGINEERING
JEFF MCPHERSON
1720 SE 16TH AVE BLDG 100
OCALA, FL 34471

SUBJECT: DRC INFORMATIONAL LETTER

PROJECT NAME: ON TOP OF THE WORLD LONGLEAF RIDGE PHASE 4

PROJECT #2020120011

APPLICATION: PRELIMINARY PLAT #25906

Dear Jeff:

The above referenced project was reviewed by Development Review staff and the following comments are for your review. You need not reply to the comments, and if the comments have been previously completed, simply disregard. Your plan will be scheduled for approval by the Development Review Committee on March 8, 2021. This item will be on the consent agenda and attendance is not required.

- 1 DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: 2.12.28 - Correct road names supplied
STATUS OF REVIEW: INFO
REMARKS: Sheet 03.01 is missing the label for SW 102nd Ter. I am not rejecting for this however please make sure this road is labeled correctly on future submittals.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: INFO
REMARKS: Pre-plat reviewed concurrently with Improvement Plans (AR# 25906)
- 3 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.I & 6.2.1.D - Index of sheets and numbering
STATUS OF REVIEW: INFO
REMARKS: 2/27/21 - In response to your comment: Sheets L01.01, L02.01, L08.01, & L09.01 were uploaded by Tillman & Associates on 12/4/20 as part of this plan set. I have marked them accordingly so they are no longer reviewed with this plan.

12/22/20 -Landscaping sheets provided but not on index

4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: Additional Development Review Comments

STATUS OF REVIEW: INFO

REMARKS: After approval, plans will be electronically stamped by the county. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued.

If you have any questions please contact me at (352) 671-8682 or carla.sansone@marioncountyfl.org.

Sincerely,

A handwritten signature in cursive script that reads "Carla Sansone".

Carla Sansone
Development Review Coordinator

PERMITS:

- MARION COUNTY - IMPROVEMENT PLAN - PENDING
- MARION COUNTY - PRELIMINARY PLAT - PENDING
- S.W.F.W.M.D. - E.R.P. - PENDING
- FDEP - POTABLE WATER - PENDING
- FDEP - SANITARY SEWER - PENDING
- FDEP - NPDES (By Others)



PRELIMINARY PLAT

for

ON TOP OF THE WORLD

LONGLEAF RIDGE PHASE 4

SECTION 22, TOWNSHIP 16 SOUTH, RANGE 20 EAST
MARION COUNTY, FLORIDA

THIS SITE CONTAINS:
RESIDENTIAL LOTS = 142
TOTAL PROJECT ACRES = 44.8
MILES OF ROADWAY = 1.08
PROPOSED IMPERVIOUS AREA = 24.9AC (1,084,644 sf)
MARION COUNTY PARCEL # 35300-000-00
LAND USE: OTOW DRI - MEDIUM RESIDENTIAL
ZONING: PUD

INDEX OF SHEETS

01.01	COVER
02.01	AERIAL PHOTOGRAPH
03.01-03.03	PRELIMINARY PLAT
1 - 12	PLAT OF BOUNDARY & TOPOGRAPHIC SURVEY (PREPARED BY JCH CONSULTING GROUP, INC.)

Marion County Approval Stamp

PREVIOUSLY APPROVED O.T.O.W. WAIVERS FOR ENTIRE DEVELOPMENT	DATE APPROVED
MINIMUM DRAINAGE EASEMENT 8.2.5a(6)(2)	12-21-2009
UTILITY LOCATION 8.2.5a(6)(a)	12-21-2009
BUFFERS/LANDSCAPE BUFFERS 8.2.10	12-21-2009
CORNER RADIUS AT INTERSECTIONS 8.2.5a(5)	12-21-2009
PRIVATE ROAD - MINIMUM RIGHT-OF-WAY WIDTH 8.2.5a(10)(b)	12-21-2009
RIGHT-OF-WAY DEDICATION 8.2.5a(2)(b)	12-21-2009
SECTION QUARTER SECTION LINE ROADS 8.2.5a(1)(b)(i)(ii)	12-21-2009
DECORATIVE POSTS/POSTS FOR REGULATORY AND WARNING SIGNS APPENDIX B LDC DETAIL 20/ APPENDIX B.2.15.8.3	12-21-2009
CENTERLINE RADIUS 8.2.5a(3)	12-21-2009
CUL-DE-SAC AND DEAD ENDS 8.2.5a(3)(b)	01-04-2010
OFF STREET PARKING 8.2.5a(4)	12-21-2009
CROSS SECTIONS 8.2.4	12-21-2009
PRIVATE ROAD STATUS 8.2.5a(10)(a)	12-21-2009
RETENTION BASIN SIGNAGE 8.2.5a(9)	12-10-2012

BASIS OF BEARINGS:
BEARINGS SHOWN HEREON ARE RELATIVE TO AN ASSUMED BEARING OF N89°58'16"W ALONG THE SOUTH LINE OF SECTION 6, TOWNSHIP 16 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA.

BENCHMARKS:
TBM # 116 - FOUND 5/8" IRON ROD & CAP (LB 8071), ELEVATION=107.22', NORTHING=1724537.7420, EASTING=562352.4530
TBM #126 - FOUND 5/8" IRON ROD & CAP (LB 8071), ELEVATION=103.41', NORTHING=1727585.7340, EASTING=563196.6230

ELEVATIONS BASED ON SOUTHWEST FLORIDA MANAGEMENT BENCHMARK, DESIGNATED "TBM53", WITH AN ELEVATION OF 66.653 (NGVD 1929)

STATE PLANE COORDINATES:

THE FLORIDA STATE PLANE COORDINATES SHOWN HEREON ARE NORTH AMERICAN DATUM OF 1983 (1990 ADJUSTMENT), FLORIDA WEST ZONE AS DERIVED FROM GPS STATIC SURVEY AND TRADITIONAL TRAVERSE METHODS AND ESTABLISHED FROM MARION COUNTY, FLORIDA CONTROL MONUMENTS "ARI852" AND "V086", PURSUANT TO SECTION 177.151, FLORIDA STATUTES.

THE NORTHWEST CORNER OF SECTION 12, TOWNSHIP 16 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA - FOUND 4" X 4" CONCRETE MONUMENT WITH NAIL & DISK STAMPED 1 2 11 12.
NORTHING: 1740427.4009 FEET EASTING: 570381.5670 FEET
LATITUDE: 29°07'16.02210" N LONGITUDE: 82°21'06.23060" W
CONVERGENCE: - 00°07'50.7" SCALE: 0.99994961

FOUND STAINLESS STEEL ROD STAMPED V086 1990
NORTHING: 1745775.8082 FEET EASTING: 543817.8667 FEET
LATITUDE: 29°08'08.27974" N LONGITUDE: 82°21'06.91361" W
CONVERGENCE: -00°10'16.8" SCALE: 0.99995564

OWNER/DEVELOPER:
ON TOP OF THE WORLD COMMUNITIES, L.L.C.
CONTACT: KENNETH D. COLEN, PRESIDENT
8445 SW 80th STREET
OCALA, FLORIDA 34481-9607
PHONE (352) 854-0805

CIVIL ENGINEER:
TILLMAN AND ASSOCIATES ENGINEERING, L.L.C.
JEFFREY McPHERSON, P.E.
1720 SE 16th AVE. BLDG. 100
OCALA, FLORIDA 34471
PHONE (352) 387-4540

SURVEYOR:
JCH CONSULTING GROUP, INC.
CHRISTOPHER J. HOWSON, P.S.M., CFM
426 SW 15th STREET
OCALA, FLORIDA 34471
PHONE (352) 405-1482

GEOTECHNICAL CONSULTANT:
GEO-TECH, INC.
CONTACT: JONNY HEATH
1016 S.E. 3RD AVENUE
OCALA, FLORIDA 34471
PHONE (352) 694-7711

KENNETH D. COLEN, PRESIDENT
ON TOP OF THE WORLD COMMUNITIES, L.L.C.

ENGINEER CERTIFICATION

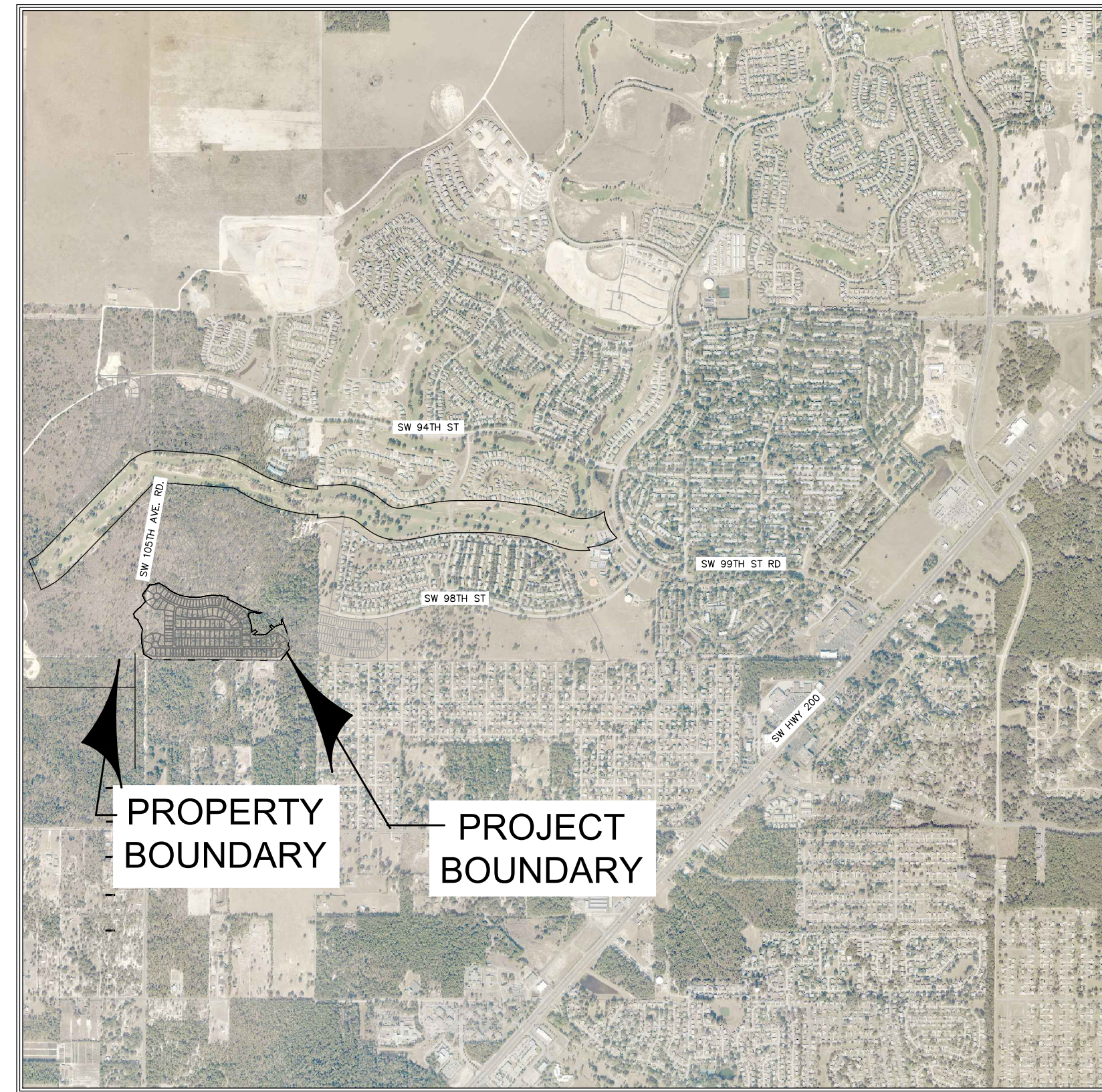
I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED.

JEFFREY McPHERSON, P.E.
Registered Engineer No. 69905
STATE OF FLORIDA

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE LDC AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS.

CHRISTOPHER J. HOWSON, P.S.M.
JCH CONSULTING GROUP, INC.
Registered Land Surveyor No. 6553
STATE OF FLORIDA



VICINITY MAP
SCALE: 1" = 2000'

Utility Companies

Water	BLCCDD	Bryan Schmalz, (352) 414-5454 EXT. 4105
Sewer	BLCCDD	Bryan Schmalz, (352) 414-5454 EXT. 4105
Electric	Duke Energy	Shane McKinney, (352) 566-4269
Cable/Phone/Internet	Digital Communication Media	Jorge Santiago, (352) 873-4817
Natural Gas	TECO	Bruce Stout, (352) 401-3417

NOTES:

- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE AND THE BLCCDD UTILITY MANUAL AS APPLICABLE.
- ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY MAP NO. 12083C0683E, MARION COUNTY, FLORIDA, DATE APRIL 19, 2017, THE PROPERTY DESCRIBED HEREON LIES IN FLOODS ZONE "X" AN AREA OF MINIMAL FLOOD HAZARD.
- DEVELOPMENT OF THE PROPERTY AS SHOWN ON THESE PLANS IS VESTED PURSUANT TO THE ON TOP OF THE WORLD DRI DEVELOPMENT ORDER AND THE VESTING IS SUBJECT TO THE TERMS AND CONDITIONS OF THE ON TOP OF THE WORLD DRI DEVELOPMENT ORDER AS MAY BE AMENDED FROM TIME TO TIME, INCLUDING PROVISIONS REGARDING THE CONCURRENCY OF PUBLIC FACILITIES, REFERENCE MARION COUNTY OFFICIAL RECORD BOOK/PAGES 6445/1390-1429, AND 6950/487-497.
- THIS PROJECT IS LOCATED IN THE SECONDARY SPRINGS PROTECTION ZONE.
- ELEVATIONS SHOWN HEREON ARE BASED ON NGVD29 VERTICAL DATUM. TO CONVERT TO NAVD 1988, SUBTRACT 0.96 FEET.
- NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
- LOCAL SUBDIVISION DESIGN SPEED = 25 M.P.H. TO BE POSTED AT 20 M.P.H. EXCEPT FOR CURVES WITH RADII LESS THAN 100'. SEE TABLE ON SIGNAGE & STRIPING PLAN FOR CURVES WITH RADII LESS THAN 100'.
- STREET "A" DESIGN SPEED = 30 M.P.H. TO BE POSTED AT 25 M.P.H.
- SIGHT DISTANCE AT DRIVEWAYS COMPLIES WITH FDOT REQUIREMENTS.

OWNER'S SIGNATURE

I CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN WITHIN THESE PLANS.

Tillman & Associates
ENGINEERING, L.L.C.
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
1720 SE 16th Ave. Bldg 100, Ocala, FL 34471
Office: (352) 387-4540 Fax: (352) 387-4545
CERTIFICATE OF AUTHORIZATION #26756

REVISIONS	DATE

IMPROVEMENT PLANS - LONGLEAF RIDGE PHASE 4
ON TOP OF THE WORLD
MARION COUNTY, FLORIDA

DATE: 02/10/21
DRAWN BY: SAS
CHKD. BY: JMM
JOB NO. 20-6053

SHT. #####



PROJECT BOUNDARY

Marion County Approval Stamp

DATE	REVISIONS

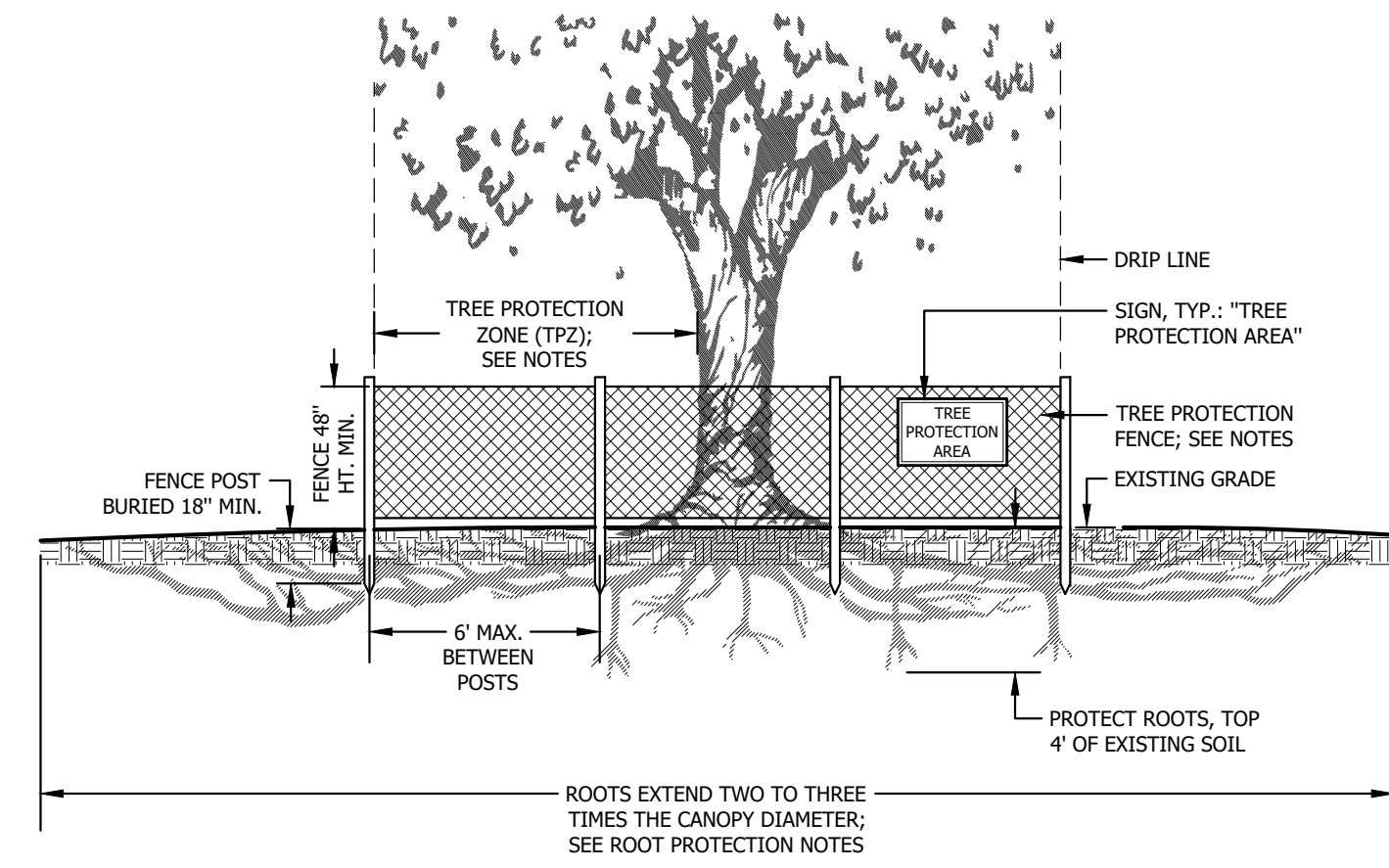
PRELIMINARY PLAT - LONGLEAF RIDGE PHASE 4
ON TOP OF THE WORLD
MARION COUNTY, FLORIDA

AERIAL PHOTOGRAPH

DATE 02/10/21
DRAWN BY SAS
CHKD. BY JMM
JOB NO. 20-6053

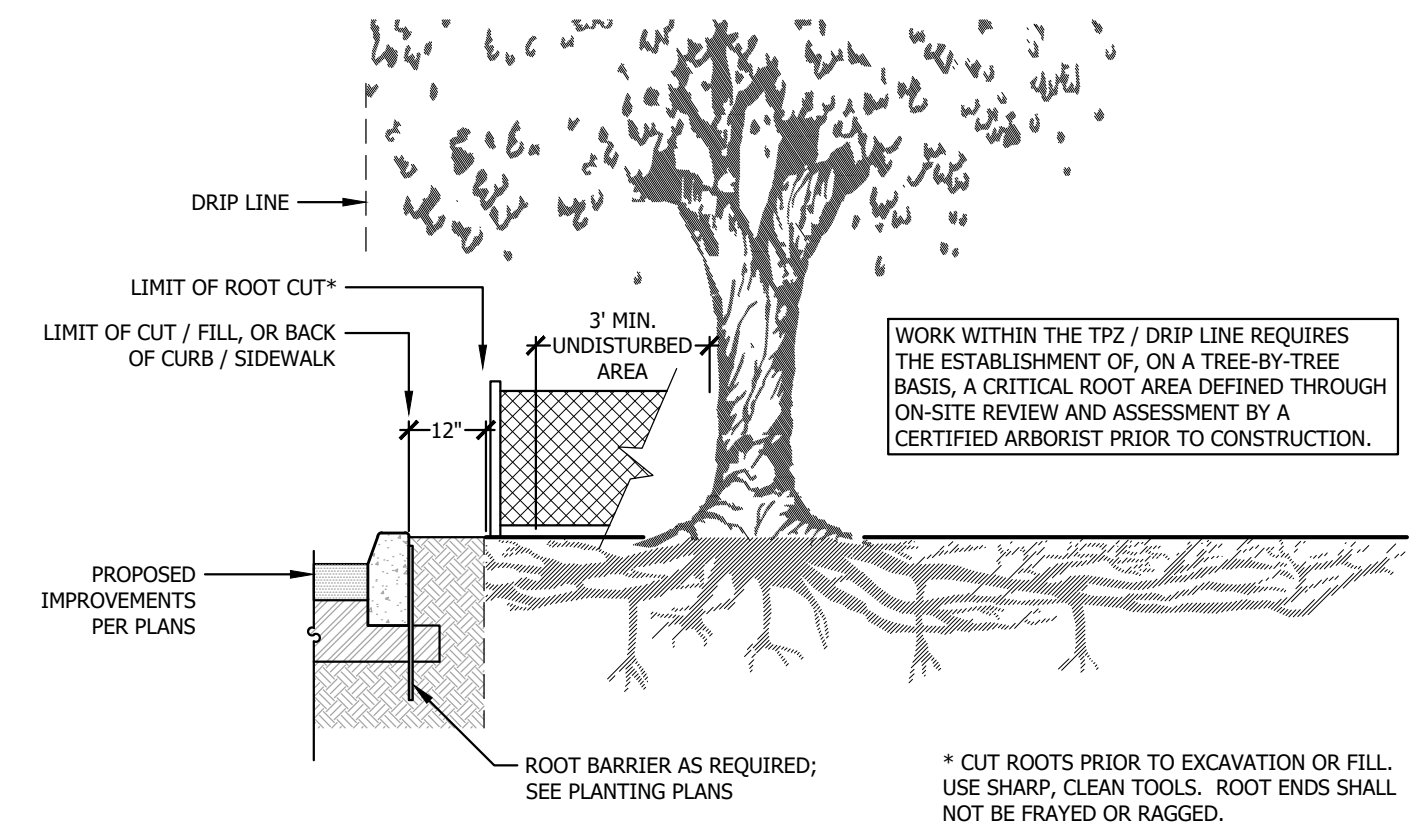
SHT. 02.01

Tillman & Associates
ENGINEERING, LLC
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL
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TREE PROTECTION BARRICADE DETAIL

NOT TO SCALE



TREE ROOT PRUNING WITHIN DRIP ZONE

NOT TO SCALE

TREE PROTECTION BARRICADE NOTES:

- Barricades shall be constructed of a rigid and lasting material that shall remain whole throughout the duration of construction.
- Barricade areas may be increased in size or combined for multiple trees, so long as barricades do not encroach into the tree canopy drip line.
- Damaged or missing barricades or signs shall be immediately repaired or replaced.
- Barricades shall remain intact until landscape operations begin, or when construction has been finalized, and with approval of landscape architect.
- Landscape preparation or installation shall be performed by hand within the Tree Protection Zone (TPZ), drip line of any tree to remain, or within a barricade area.
- Trenching is prohibited within the Tree Protection Zone (TPZ), drip line of any tree to remain, or within a barricade area. Tunneling is required if utilities are routed through these areas.
- The movement or the storage of equipment, materials, debris, or fill, within the Tree Protection Zone (TPZ), drip line of any tree to remain, or within a barricade area is prohibited.
- The cleaning of construction equipment, tools, materials, or the disposal of waste, e.g. paint, oil, solvents, asphalt, concrete, mortar, within the Tree Protection Zone (TPZ), drip line of any tree to remain, or within a barricade area is prohibited.
- Tree Protection Zone:** A circular zone around each protected tree defined as follows:
 - If the drip line is less than six (6) feet from the trunk of the tree, the zone shall be that area within a minimum radius of six (6) feet around the tree.
 - If the drip line is more than six (6) feet from the trunk of the tree, but less than twenty (20) feet, the zone shall be that area within a radius of the full drip line around the tree.
 - If the drip line is twenty (20) feet or more from the trunk of the tree, the zone shall be that area within a minimum radius of twenty (20) feet around the tree.

ROOT PROTECTION NOTES:

Protect and care for existing tree roots to remain by minimizing damage from compaction, excavation, and disease. When work is required that may damage the roots of tree to remain, cut roots in advance using sharp, clean, mechanical and hand tools. For work within the tree protection zones, hand clear and excavate using narrow-tine spading forks to comb soil and expose roots. Selectively cut and prune roots. Immediately following root pruning, trees shall be thoroughly watered and have a four (4) inch cover of clean fill.

CANOPY PROTECTION NOTES:

Contractor shall coordinate with Landscape Architect prior to canopy pruning. Lift tree canopy of existing trees to remain as required around proposed buildings, parking and drive aisles, and sidewalks, according to International Society of Arboriculture Best Management Practices - Tree Pruning. Refer to UF IFAS Fact Sheet ENH 851 for additional tree pruning criteria.

TREE PROTECTION, REMOVAL, PERMITTING, AND INSPECTIONS

The following requirements shall be conditions of tree protection and removal permits, all permits for construction in public rights-of-way, and all development permits issued under and pursuant to the Marion County Code:

- Tree preservation and/or replacement inspections are required to ensure compliance with the Marion County Code and with permitting requirements.
- Prior to any clearing, grubbing, or any construction, tree protection barricades shall be erected around all trees to be preserved. Protection barricades shall be approved by the County's Landscape Architect or designee prior to construction.
- Prior to any clearing, grubbing, or construction, a preliminary inspection shall be conducted by the County's Landscape Architect or designee to confirm that the permittee has marked trees permitted to be removed and has installed tree protection barricades around trees to be preserved. Any deficiencies noted during this inspection shall be cause to withhold approval until they are corrected by the permittee and re-inspected. Following the preliminary inspection, approval shall be noted by the County's Landscape Architect or his designee on the permit and shall constitute notice to proceed with tree removal. Contractor shall have all agreements and permits secured for demolition and protection on project site. Owner is responsible for insuring that all possible measures are taken to avoid damage to trees not approved for removal.
- Trees to remain shall be protected per the Marion County, Florida Tree Protection and Replacement specifications, including minimizing alterations to the site topography and protecting trees from any damage to preserve the long term viability of existing trees.
- The movement or the storage of equipment, materials, debris, or fill, within the Tree Protection Zone (TPZ) or drip line of any protected tree is prohibited.
- The cleaning of construction equipment, tools, materials, or the disposal of waste, e.g. paint, oil, solvents, asphalt, concrete, mortar, within the TPZ or drip line of any protected tree is prohibited.
- The contractor shall inspect all tree protection barricades and signs every week throughout construction. Any barricade or sign that is damaged or missing shall be immediately replaced.
- Any tree not permitted for removal that is destroyed or damaged so as to place its long term survival in question, shall be replaced at an inch-to-inch basis of the total (combined) DBH of the tree(s) so destroyed or damaged. The replacement trees shall be of comparable species to the destroyed or damaged trees with a minimum replacement size of 3.5-inch caliper. The County reserves the right to establish a replacement value for such trees and payment into the Tree Mitigation Fund may be authorized by the County's Landscape Architect.
- No Certificate of Occupancy or Certificate of Completion, as appropriate, may be issued for any development involving the removal of trees requiring a permit, until all required inspections have been completed and approved.
- A final inspection shall be conducted by the County's Landscape Architect or designee after completion of tree removal and replacement. Following final inspection, and if found to be in accordance with the approved plans and requirements, approval shall be noted by the County's Landscape Architect or designee on the permit and shall constitute notice of commencement of the required maintenance period of replacement trees if replacement is required.

MARION COUNTY CODE REQUIREMENTS

TREE REMOVAL, PRESERVATION, AND/OR REPLACEMENT INSPECTIONS/ PERMITS ARE PURSUANT TO MARION COUNTY LAND DEVELOPMENT CODE, ARTICLE 6, DIVISION 7, TREE PROTECTION AND REPLACEMENT https://library.municode.com/fl/marion_county

TREE PRESERVATION AND REMOVAL

LANDSCAPE PROJECT AREA = 47.10 AC
TREE PROTECTION PROJECT AREA = 17.35 AC
SEE CIVIL PLANS FOR SITE DATA

EXCEPTIONS (SEC 6.7.2.E)
EXCLUDES PARCELS TO BE USED FOR SINGLE FAMILY DWELLINGS (47.10 AC PROPERTY - 29.75 AC SFR PARCELS = 17.35 PROJECT AREA)

PROTECTED TREES (SEC 6.7.3)
ALL TREES 10" DIAMETER BREST HEIGHT (DBH) OR LARGER ARE PROTECTED BY CODE.

SUBMITTAL REQUIREMENTS (SEC. 6.7.6)

EXISTING NUMBER OF TREES = 358 (EXCLUDES EXISTING TREES ON SFR LOTS)
EXISTING TREE DBH INCHES = 4,464" (EXCLUDES EXISTING TREES ON SFR LOTS)
PRE-DEVELOPMENT INCHES PER ACRE = 257" (4,464" / 17.35)
RETAINED DBH INCHES (10"+) = 837"
REMOVED DBH INCHES = 3,627"

REQUIRED POST-DEVELOPMENT INCHES = 1,735" (100 X 17.35)
REQUIRED POST-DEVELOPMENT INCHES PER ACRE = 100"

PROVIDED POST-DEVELOPMENT INCHES = SEE BELOW
PROVIDED POST-DEVELOPMENT INCHES PER ACRE = 100"+

PROTECTED TREE REPLACEMENT REQUIREMENTS (SEC. 6.7.8)

RETAIN / REPLACE TREES EQUAL TO THE LESSER OF PRE-DEVELOPMENT INCHES PER ACRE, OR 100" DBH PER ACRE

POST-DEVELOPMENT INCHES PROVIDED AS FOLLOWS:

EXISTING 10"+ TREES TO REMAIN = 837"
BUFFER / DRA TREES = 0"
TREES ON SFR LOTS = 284" (142 X 2")
DEBIT FROM TREE BANK = 614" (OR AS NEED TO MEET BALANCE PER AS-BUILT)

NOTES:

- ALL EXISTING TREES ARE ASSUMED VIABLE AND FAVORABLY ASSESSED.
- SEE SURVEY FOR TREE TYPES.

TREE BANK

TREE CREDITS DEDUCTED FROM TREE BANK:
614" TO MEET SEC. 6.7.8 TREE REPLACEMENT REQUIREMENTS.

REVISIONS

DATE

IMPROVEMENT PLANS - LONGLEAF RIDGE PHASE 4
ON TOP OF THE WORLD
MARION COUNTY, FLORIDA

TREE PRESERVATION
NOTES & DETAILS

DATE 11/30/2020
DRAWN BY JRP
CHKD. BY JRP
JOB NO. 20-6053

L2.01

BAY LAUREL CENTER CDD IRRIGATION ADDITIONAL REQUIREMENTS

THE FOLLOWING ADDITIONAL REQUIREMENTS SHALL APPLY TO ALL CUSTOMERS INSTALLING NEW LANDSCAPING, INSTALLING NEW IRRIGATION SYSTEMS, OR RETROFITTING OR REPLACING AN EXISTING IRRIGATION SYSTEMS WITHIN THE BAY LAUREL CENTER COMMUNITY DEVELOPMENT DISTRICT (BLCCDD).

- A SCHEDULED IRRIGATION INSPECTION SHALL BE MADE WITH THE DISTRICT BY THE CONTRACTOR AT THE COMPLETION OF INSTALLATION TO ENSURE COMPLIANCE WITH THE BELOW STANDARDS AS PROVIDED IN THE DISTRICT'S UNIFORM EXTENSION POLICY. PLEASE CALL (352) 414-5454 THREE (3) BUSINESS DAYS IN ADVANCE TO SCHEDULE.
- SOD IRRIGATION ZONES SHALL BE SEPARATE FROM SHRUB IRRIGATION ZONES, AND NO IRRIGATION ZONE SHALL INCLUDE BOTH SOD AND SHRUB IRRIGATION.
 - IRRIGATION FOR ALL SHRUB BEDS SHALL BE POINT SOURCE DRIP IRRIGATION NOT EXCEEDING TWO (2) GPH FOR SHRUBS THREE (3) GALLON AND LARGER; SHRUBS ONE (1) GALLON AND SMALLER SHALL BE IRRIGATED WITH LOW VOLUME EMITTERS.
 - IRRIGATION SYSTEMS SHALL BE HYDRO-ZONED AND HAVE MATCHED PRECIPITATION RATES TO ACHIEVE MAXIMUM EFFICIENCY.
 - ALL IRRIGATION SYSTEMS TWO INCHES (2") AND GREATER SHALL BE INSTALLED WITH A "NORMALLY CLOSED" MASTER VALVE ASSEMBLY AND FLOW MONITORING CONTROLLER.
 - IRRIGATION INSTALLATIONS SHALL USE PRESSURE REGULATED IRRIGATION HEADS AS APPROVED BY THE DISTRICT.
 - WHERE COVERAGE IS LIMITED DUE TO THE PROXIMITY OF ADJACENT STRUCTURES, END STRIP / SIDE STRIP HEADS SHALL BE UTILIZED.
 - LARGE SOD ZONES SHALL BE IRRIGATED USING ROTORS OR SIMILAR DEVICE TO ACHIEVE MAXIMUM EFFICIENCY.
 - ALL IRRIGATION ZONES SHALL HAVE MATCHED PRECIPITATION RATES FOR BEST COVERAGE.
 - RAIN SENSORS SHALL BE INSTALLED ON ALL IRRIGATION ZONES, AND SHALL BE HUNTER SOLAR SYNC EVAPO-TRANSPIRATION, OR OTHER SMART IRRIGATION TECHNOLOGY SENSOR APPROVED BY THE IRRIGATION ASSOCIATION AND THE DISTRICT.
 - ALL IRRIGATION INSTALLATIONS WILL INCLUDE BACK FLOW DEVICE ACCEPTABLE TO THE DISTRICT AND PER MARION COUNTY CODE.
 - RAIN SENSOR WIRE SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS AND WILL MEET WIRE GAUGE SPECIFICATIONS; IRRIGATION WIRE SHALL BE AT LEAST 14-GAUGE DIRECT BURIAL WIRE.
 - CUSTOMERS WILL BE ALLOWED A THIRTY (30) DAY GROW-IN PERIOD UPON INSTALLATION OF LANDSCAPE MATERIAL AND SOD; AFTER THIRTY (30) DAYS CUSTOMERS WILL BE RESPONSIBLE FOR ADHERING TO IRRIGATION RESTRICTIONS.
 - ALL LANDSCAPE AND IRRIGATION CONSTRUCTION DRAWINGS SHALL BE REVIEWED AND APPROVED BY THE DISTRICT PRIOR TO SUBMITTAL TO MARION COUNTY.
 - UTILITIES ARE REQUIRED TO BE LOCATED PRIOR TO THE INSTALLATION OF LANDSCAPE AND IRRIGATION. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

ENFORCEMENT

IRRIGATION SYSTEM INSTALLATION SHALL COMPLY WITH STANDARDS SET FORTH HEREIN AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY BLCCDD PRIOR TO USE OF IRRIGATION QUALITY WATER OR OTHER DESIGNATED WATER SOURCE AS DETERMINED BY THE DISTRICT.

WATER SERVICE AND/ OR IRRIGATION QUALITY WATER SERVICE TO CUSTOMERS WHOSE IRRIGATION SYSTEMS ARE NOT INSTALLED OR OPERATED IN COMPLIANCE WITH THIS POLICY MAY BE SHUT OFF UNTIL SUCH SYSTEMS COME INTO COMPLIANCE WITH THIS POLICY. IN GENERAL, FIVE (5) BUSINESS DAYS NOTIFICATION OF PROPOSED SHUT OFF OF WATER SERVICE WILL BE PROVIDED TO ALLOW THE CUSTOMER ADEQUATE TIME TO RESPOND AND BRING THE IRRIGATION SYSTEM INTO COMPLIANCE, UNLESS MORE IMMEDIATE ACTION IS JUSTIFIED IN THE INTEREST OF PUBLIC HEALTH, SAFETY OR WELFARE. IN ADDITION, THE DISTRICT MAY ASSESS PENALTIES FOR VIOLATIONS OF THIS POLICY FOR EACH DAY THAT AN IRRIGATION SYSTEM IS NOT IN COMPLIANCE WITH THE REQUIREMENTS OF THE POLICY.

PLANT LIST

Key	Qty	Botanical Name	Common Name	Size and Spacing	Native
Shrubs, Grasses & Groundcovers					
IV	70	Ilex vomitoria	Yaupon Holly	#7; 30-36" ht x 2' sprd; 4' oc	Yes
L3	130	Ligustrum japonicum	Ligustrum	#7; 3' ht x 2' sprd; 4' oc	
VO	280	Viburnum odoratissimum	Sweet Viburnum	#7; 30-36" ht x 2' sprd; 4' oc	
VW	70	Viburnum obovatum	Walters Viburnum	#7; 30-36" ht x 2' sprd; 4' oc	Yes
Sod & Miscellaneous Items					
SOD		Paspalum notatum 'Argentine'	Argentine Bahia		
MULCH		Pine Straw	Pine Straw	3" depth	

NOTE: ALL NEW PLANT MATERIAL SHALL BE IRRIGATED THROUGHOUT AN ESTABLISHMENT PERIOD SUITABLE FOR VIGOROUS GROWTH OF SPECIFIED PLANT MATERIAL, TYPE AND SIZE, AND THEREAFTER TO ENSURE THE HEALTHY SURVIVAL OF PLANT MATERIAL. SEE IRRIGATION REQUIREMENTS, AND OWNER RESPONSIBILITY.

IRRIGATION REQUIREMENTS

- AN IRRIGATION PLAN SHALL BE PROVIDED PRIOR TO ISSUANCE OF A DEVELOPMENT ORDER OR BUILDING PERMIT, IF REQUIRED.
- THE IRRIGATION SYSTEM SHALL BE A DESIGN-BUILD AUTOMATIC SYSTEM TO PROVIDE 100% COVERAGE OF ALL LANDSCAPED AREAS, AND SHALL INCLUDE A CONTROLLER, RAIN SENSOR, AND BACKFLOW PREVENTER. CONTRACTOR SHALL COORDINATE WITH OWNER ON THE DESIGN.
- TREES, BEDS, AND SOD AREAS SHALL EACH BE IN A SEPARATE ZONE(S).
- BAHIA SOD IS NOT IRRIGATED UNLESS OTHERWISE NOTED ON THE PLANTING PLANS; CONTRACTOR SHALL CONFIRM WITH OWNER THE AREAS OF UNIRRIGATED BAHIA.
- CONTRACTOR SHALL CONFIRM WATER SOURCE (WELL OR METER) AND LOCATION PRIOR TO CONSTRUCTION.
- ALL IRRIGATION SYSTEMS, INCLUDING TEMPORARY, SHALL COMPLY WITH THE CURRENT EDITION OF THE FLORIDA BUILDING CODE, AND MEET INDUSTRY STANDARDS AS OUTLINED IN THE LATEST PUBLICATION OF LANDSCAPE IRRIGATION BEST MANAGEMENT PRACTICES SET BY THE IRRIGATION ASSOCIATION / AMERICAN SOCIETY OF IRRIGATION CONSULTANTS <http://www.irsrigation.org>
- IRRIGATION INSTALLATION AND OPERATION SHALL COMPLY WITH ALL PREVAILING LOCAL CODES, ORDINANCES, AND REGULATIONS.
- CONTRACTOR SHALL PROVIDE IRRIGATION AS-BUILT PLANS AS DETAILED IN THE COMPLETION REQUIREMENTS.
- UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION AND THE ACCEPTANCE OF THE AS-BUILT DIAGRAM AND OPERATIONAL INFORMATION, A FINAL INSPECTION AND LANDSCAPE/IRRIGATION RELEASE SHALL BE SIGNED, SEALED AND SUBMITTED, IF REQUIRED.

IRRIGATION COMPLETION INSPECTION REQUIREMENTS

- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL DOCUMENT THE ACTUAL FIELD INSTALLATION OF THE IRRIGATION SYSTEM AS OUTLINED BELOW.
- CERTIFICATION THAT THE INSTALLATION MEETS REQUIREMENTS SHALL BE SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT (MARION COUNTY LDC DIV 8, SEC 6.8.12).
- UPON COMPLETION OF THE INSTALLATION, AND AT A MINIMUM OF SEVEN (7) DAYS PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL PROVIDE THE AS-BUILT PLAN AND REQUEST AN ON-SITE INSPECTION BY THE LANDSCAPE ARCHITECT.
- WHEN ACCEPTABLE TO THE LANDSCAPE ARCHITECT, THE AS-BUILT PLANS WILL BE APPROVED AND A FINAL INSPECTION AND LANDSCAPE RELEASE GRANTED.

DURING CONSTRUCTION, THE CONTRACTOR SHALL MARK-UP A COPY OF THE APPROVED DESIGN PLAN AND PROVIDE TO THE LANDSCAPE ARCHITECT FOR APPROVAL A CLEAR AND LEGIBLE DIAGRAM WITH THE FOLLOWING AS-BUILT INFORMATION:

- LOCATIONS OF IR METERS / WELLS, MAINLINES AND VALVES
- LOCATIONS OF REMOTE CONTROL VALVES AND CORRESPONDING ZONE I.D. NUMBER
- DELINEATION OF ZONE AREAS
- LOCATIONS WHERE IRRIGATION CROSSES UNDER PAVEMENT, AND IF SLEEVES ARE PRESENT
- TOTAL WATER DEMAND PER OPERATING CYCLE
- CONTROLLER AND SENSOR LOCATIONS, INITIAL SCHEDULING, SETTINGS, AND SEASONAL ADJUSTMENTS

THE CONTRACTOR SHALL PROVIDE CONFIRMATION THAT THE OWNER HAS RECEIVED:

- IRRIGATION CONTROLLER OWNER'S MANUAL
- WRITTEN INSTRUCTIONS COVERING PERIODIC MAINTENANCE OF THE IRRIGATION SYSTEM
- WRITTEN INSTRUCTIONS COVERING HOW AND WHEN TO CHECK FOR LEAKS
- A COPY OF THE APPROVED AS-BUILT PLAN

LANDSCAPE NOTES: (SEE SPECIFICATIONS FOR COMPLETE REQUIREMENTS)

- ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS SPECIFIED IN GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, AND SHALL CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, LATEST EDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF QUANTITIES IN THE PLANT LIST. IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES IN THE LIST AND THE PLANS, THE PLANS SHALL CONTROL AND THE DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BID. ANY DEVIATION FROM THESE PLANS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND LOCAL REGULATIONS, AND IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THE WORK.
- ALL LANDSCAPE INSTALLATION/ MAINTENANCE PROFESSIONALS SHALL BE LICENSED AND CERTIFIED IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- THE CONTRACTOR SHALL EXAMINE EXISTING SITE CONDITIONS AND PROMPTLY REPORT ALL DISCREPANCIES AND UNSUITABLE CONDITIONS (WETNESS, MUCK, DEBRIS, OBSTRUCTIONS, ETC.) TO THE LANDSCAPE ARCHITECT PRIOR TO BIDDING. THE CONTRACTOR IS RESPONSIBLE FOR SOIL ANALYSIS PRIOR TO INSTALLATION OF PLANTINGS, AND SHALL ENSURE ALL SOIL AMENDMENTS CONFORM TO SPECIFICATIONS.
- THE CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE SITE AND ALL UTILITIES, (INCLUDING WATER, SEWER AND ELECTRICAL SUPPLY). THE CONTRACTOR SHALL CALL FLORIDA SUNSHINE 811 AND AREA UTILITIES NOT LISTED ON THE LOCATE TICKET. THE EXACT LOCATION OF ALL EXISTING ABOVE GROUND AND UNDERGROUND STRUCTURES, UTILITIES, SPRINKLERS AND PIPE MAY NOT BE INDICATED ON DRAWINGS. THE CONTRACTOR SHALL CONDUCT HIS WORK IN A MANNER TO PROTECT AND PREVENT INTERRUPTION OR DAMAGE TO EXISTING SYSTEMS AND UTILITY SERVICES WHICH MUST REMAIN OPERATIONAL. THE CONTRACTOR IS RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED BY HIM AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN, AND IS RESPONSIBLE FOR THEIR COMPARABLE REPLACEMENT IF DAMAGED BY HIM AT NO ADDITIONAL COST TO THE OWNER.
- ALL TREE MATERIAL SHALL BE CONTAINER GROWN UNLESS OTHERWISE SPECIFIED.
- SOIL PROVIDED SHALL BE FREE OF LIMEROCK, PEBBLES OR OTHER CONSTRUCTION DEBRIS.
- ALL PLANTING BEDS SHALL RECEIVE A 3" LAYER OF MULCH (1" OVER ROOTBALL), MEASURED AFTER MULCH HAS SETTLED.
- ALL PLANT BEDS SHALL BE FREE OF WEEDS, ROCKS, AND CONSTRUCTION DEBRIS, ETC., AT TIME OF INSPECTION BY LANDSCAPE ARCHITECT/ OWNER/ INSPECTOR.
- MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH THE FLORIDA YARDS & NEIGHBORHOODS HANDBOOK <http://fl.fas.ufl.edu>
- ALL LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH MARION COUNTY LDC SEC. 6.8.13.
- FERTILIZER AND LANDSCAPE CHEMICAL USE SHALL COMPLY WITH MARION COUNTY LDC SEC. 6.8.14.
- ALL IRRIGATION SYSTEMS SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH MARION COUNTY LDC DIV. 9 IRRIGATION.
- ALL CERTIFICATION AND LICENSING OF LANDSCAPE PROFESSIONALS AND IRRIGATION INSTALLATION/MAINTENANCE PROFESSIONALS SHALL BE IN ACCORDANCE WITH MARION COUNTY LDC SEC. 6.8.15 AND SEC. 6.9.10.

LANDSCAPE COMPLETION INSPECTION REQUIREMENTS

- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL DOCUMENT THE ACTUAL FIELD INSTALLATION OF THE LANDSCAPE AS OUTLINED BELOW.
- CERTIFICATION THAT THE INSTALLATION MEETS REQUIREMENTS SHALL BE SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT (MARION COUNTY LDC DIV 8, SEC 6.8.12).
- UPON COMPLETION OF THE INSTALLATION, AND AT A MINIMUM OF SEVEN (7) DAYS PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL PROVIDE THE AS-BUILT PLAN AND REQUEST AN ON-SITE INSPECTION BY THE LANDSCAPE ARCHITECT.
- WHEN ACCEPTABLE TO THE LANDSCAPE ARCHITECT, THE AS-BUILT PLANS WILL BE APPROVED AND A FINAL INSPECTION AND LANDSCAPE RELEASE GRANTED.

DURING CONSTRUCTION, THE CONTRACTOR SHALL DOCUMENT THE ACTUAL FIELD INSTALLATION OF THE LANDSCAPE. THE CONTRACTOR SHALL MARK-UP A COPY OF THE APPROVED DESIGN PLAN AND PROVIDE TO THE LANDSCAPE ARCHITECT FOR APPROVAL A CLEAR AND LEGIBLE DIAGRAM WITH THE FOLLOWING AS-BUILT INFORMATION:

- INSTALLED PLANT SPECIES AND SIZES
- INSTALLED PLANT QUANTITIES
- OTHER INSTALLED MATERIALS DOCUMENTATION

(NOTE: PRE-APPROVAL BY THE LANDSCAPE ARCHITECT IS REQUIRED FOR ANY DESIGN CHANGE, INCLUDING PLANT SUBSTITUTIONS, LAYOUT, QUANTITIES, MATERIALS, ETC. - SEE SPECIFICATIONS)

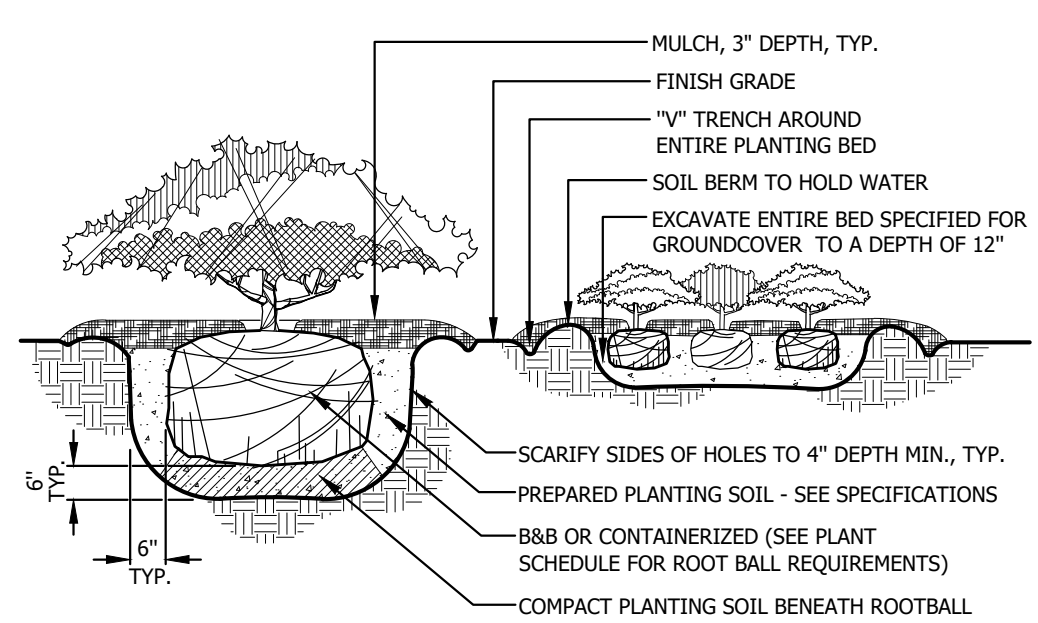
THE CONTRACTOR SHALL PROVIDE CONFIRMATION THAT THE OWNER HAS RECEIVED:

- WRITTEN MAINTENANCE, PRUNING, AND FERTILIZER INSTRUCTIONS AND SCHEDULE
- A COPY OF THE APPROVED AS-BUILT PLAN

OWNER RESPONSIBILITY

THE OWNER IS RESPONSIBLE FOR CONTINUED SURVIVAL OF THE PLANTS

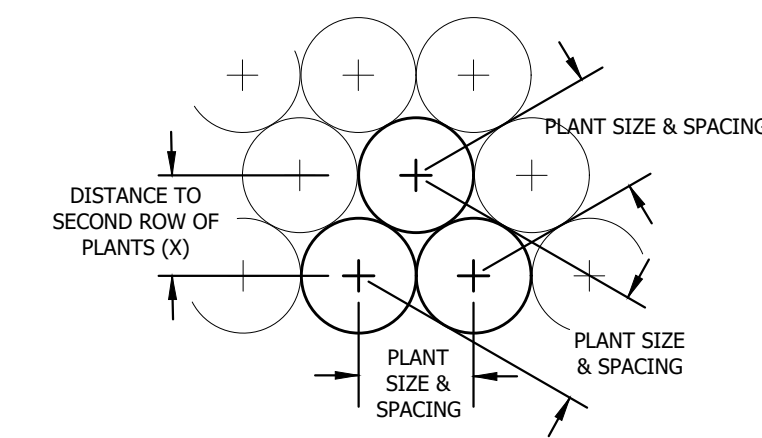
PER LDC SECTION 6.8.11 - LANDSCAPE INSTALLATION SHALL MEAN SURVIVAL IN PERPETUITY, AND REPLACEMENT IF NECESSARY, OF ALL MATERIALS. DEAD AND/ OR DYING PLANT MATERIAL SHALL BE REPLACED BY THE OWNER WITHIN 30 DAYS OF NOTIFICATION BY THE COUNTY.



- NOTES:**
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION. SEE SPECIFICATIONS.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH LANDSCAPE ARCHITECT PRIOR TO SETTING ROOTBALL ELEVATIONS.
 - SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.

SHRUBS AND GROUNDCOVER PLANTING

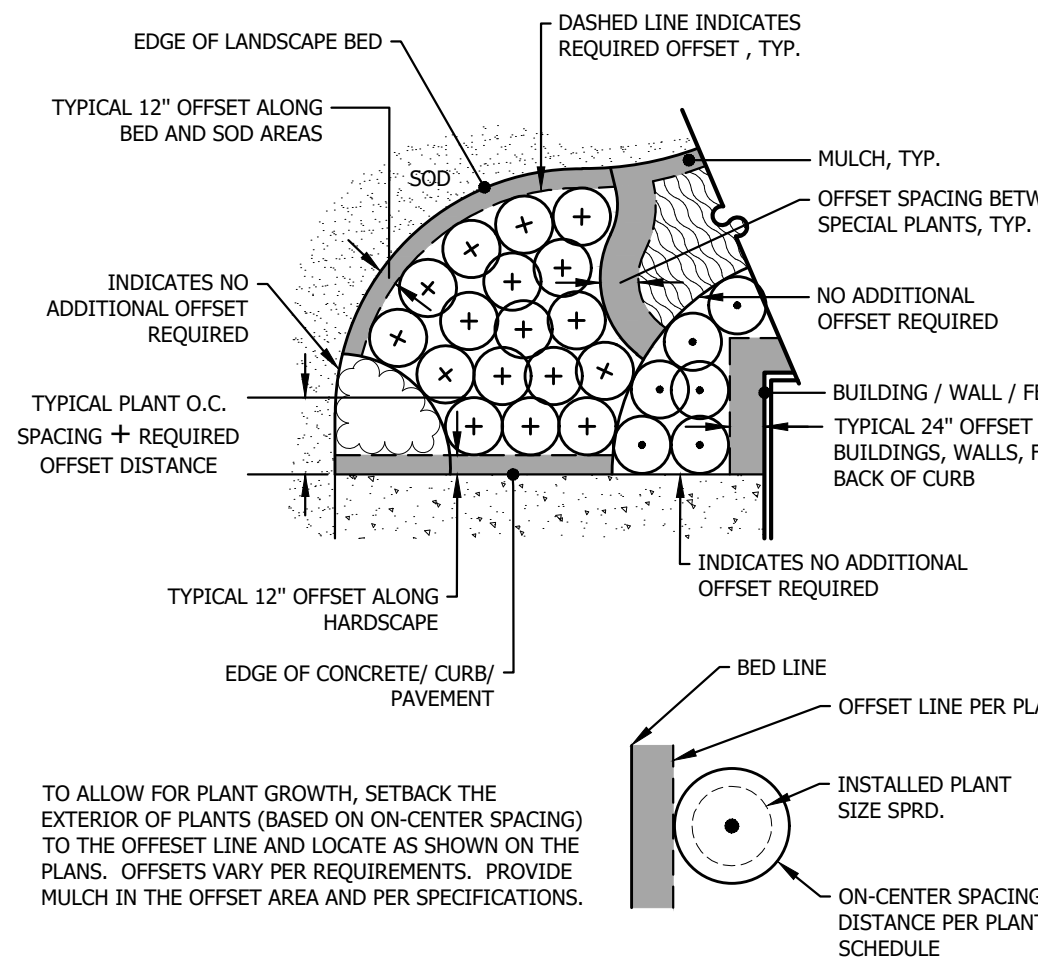
NOT TO SCALE



NOTE: BEDS SHALL HAVE A MINIMUM OF TWO ROWS OF ANY ONE TYPE OF PLANT MATERIAL, UNLESS SHOWN OTHERWISE (E.G. AS A SINGLE ROW HEDGE).

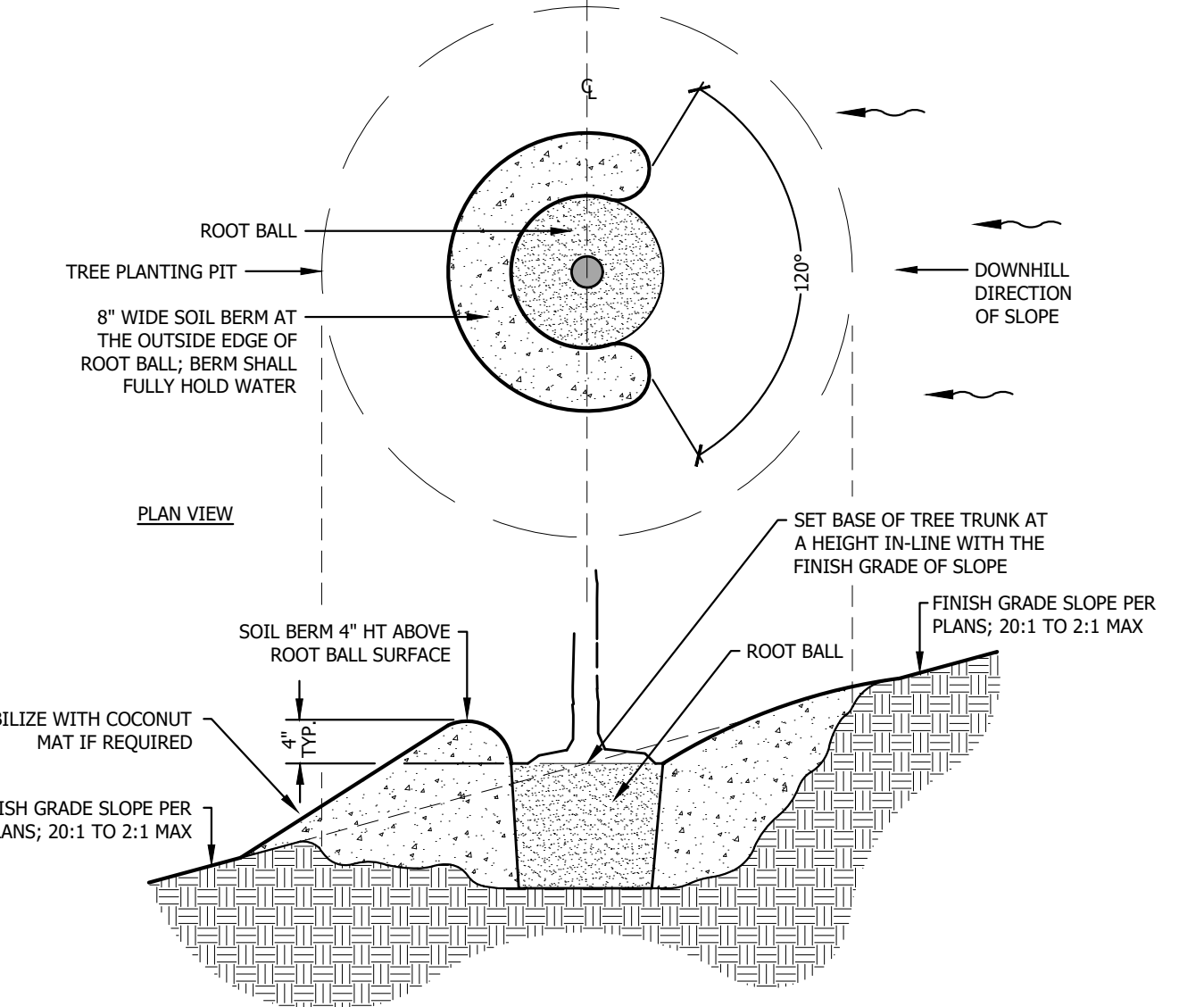
TRIANGULAR PLANT SPACING

NOT TO SCALE



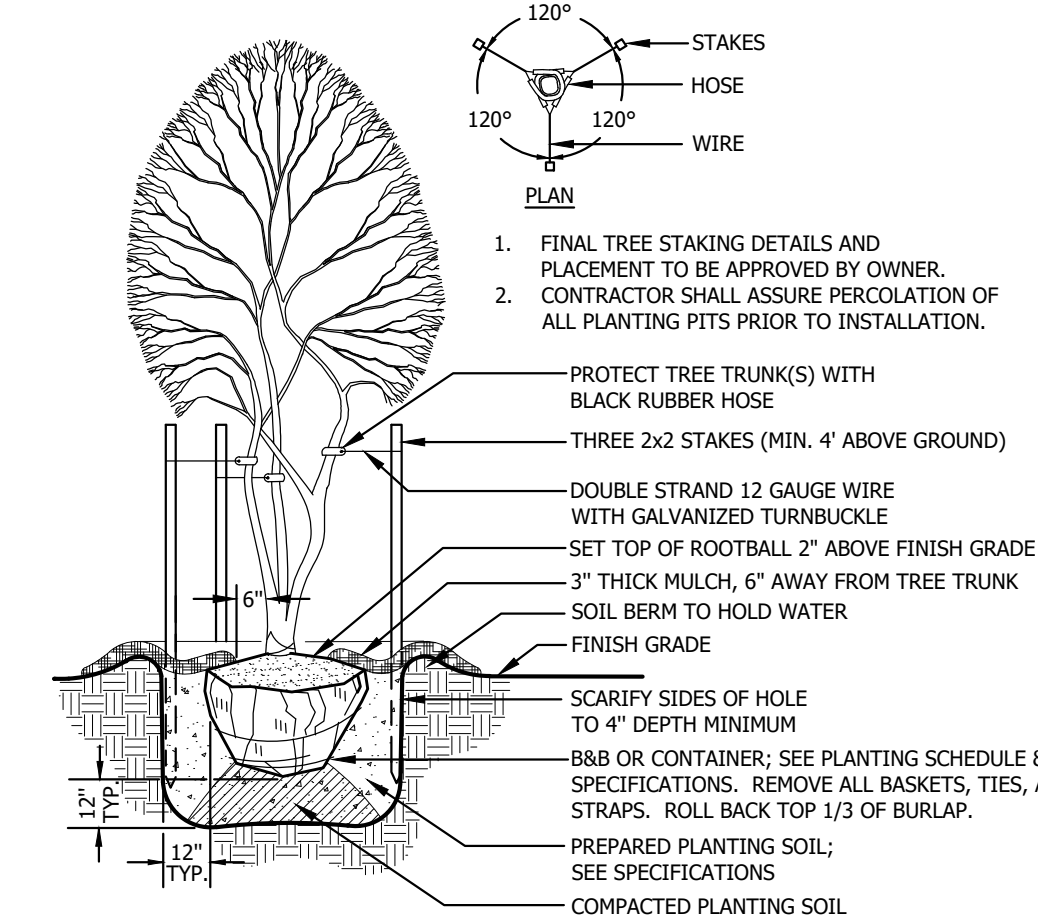
PLANT OFFSET SCENARIOS

NOT TO SCALE



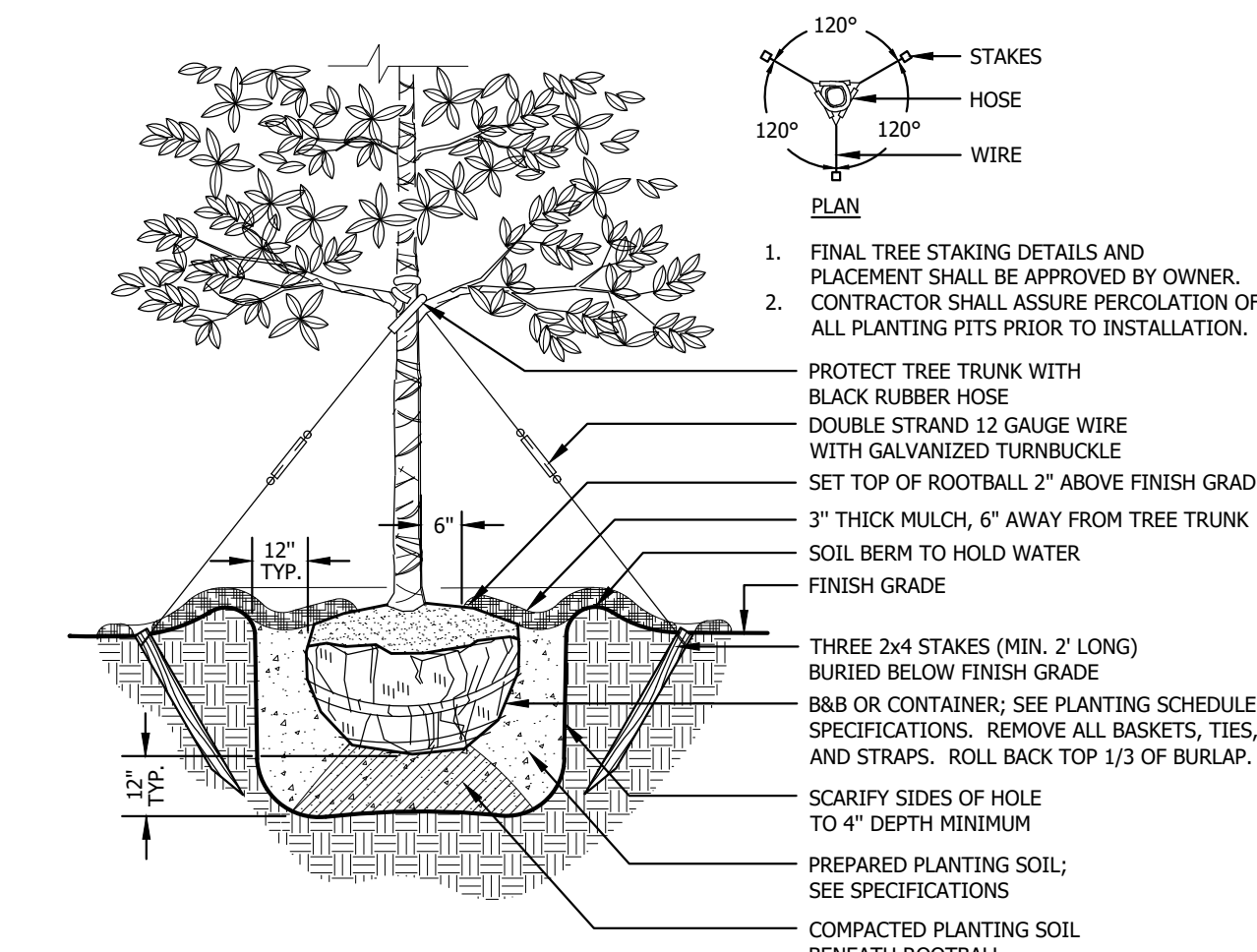
ADDITIONAL REQUIREMENTS FOR TREE PLANTING ON SLOPES

NOT TO SCALE



MULTI-STEM TREE PLANTING

NOT TO SCALE



LARGE TREE PLANTING

NOT TO SCALE

REVISIONS

DATE

DATE 11/30/2020
DRAWN BY JRP
CHKD. BY JRP
JOB NO. 20-6053

IMPROVEMENT PLANS - LONGLEAF RIDGE PHASE 4
ON TOP OF THE WORLD
MARION COUNTY, FLORIDA
PLANTING NOTES & DETAILS
L9.01

TOPOGRAPHIC SURVEY FOR:

ON TOP OF THE WORLD COMMUNITIES, LLC

A PORTION OF SECTION 22, TOWNSHIP 16 SOUTH, RANGE 20 EAST MARION COUNTY, FLORIDA

LEGEND AND ABBREVIATIONS:

- ± MORE OR LESS
- EL ELEVATION
- LB LICENSED BUSINESS
- NO. NUMBER
- LS LAND SURVEYOR
- I.D. IDENTIFICATION
- ORB OFFICIAL RECORDS BOOK
- C CENTERLINE
- R RADIUS
- L ARC LENGTH
- Δ DELTA (CENTRAL ANGLE)
- (P) PLAT MEASURE
- (D) DEED MEASURE
- (C) CALCULATED MEASURE
- C.D. CHORD LENGTH
- C.B. CHORD BEARING
- POC POINT ON CURVE
- POL POINT ON LINE
- PCC POINT OF COMPOUND CURVATURE
- PRC POINT OF REVERSE CURVATURE
- PC POINT OF CURVATURE
- PT POINT OF TANGENCY
- PI POINT OF INTERSECTION
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- FEMA FEDERAL EMERGENCY MANAGEMENT AGENCY
- DIP DUCTILE IRON PIPE
- PVC POLYVINYL CHLORIDE
- CMP CORRUGATED METAL PIPE
- RCP REINFORCED CONCRETE PIPE
- HDPE HIGH DENSITY POLYETHYLENE
- NAVD NORTH AMERICAN VERTICAL DATUM
- NGVD NATIONAL GEODETIC VERTICAL DATUM
- PB PLAT BOOK
- ORB OFFICIAL RECORDS BOOK
- PG(S) PAGE(S)
- R/W RIGHT OF WAY
- ESMT EASEMENT SECTION
- FND FOUND
- REC RECOVERED
- COR CERTIFIED CORNER RECORD
- RLS REGISTERED LAND SURVEYOR
- CM CONCRETE MONUMENT
- IRC IRON ROD AND CAP
- IR IRON ROD
- IP IRON PIPE
- CLF CHAIN LINK FENCE
- ⊕ CONTROL/BENCHMARK AS DESCRIBED
- ▣ CURB INLET GRATE
- ⊕ CATCH BASIN
- ⊕ STORM MANHOLE
- ▭ MITERED END SECTION
- ⊕ YARD DRAINAGE
- ⊕ SANITARY MANHOLE
- ⊕ SANITARY CLEANOUT
- ⊕ ELECTRIC MANHOLE
- ⊕ ELECTRIC METER
- ⊕ ELECTRIC RISER BOX
- ⊕ CABLE TELEVISION RISER BOX
- ⊕ TELEPHONE RISER BOX
- ⊕ UTILITY RISER
- ⊕ WELL
- ⊕ WATER SPIGOT
- ⊕ IRRIGATION CONTROL VALVE
- ⊕ WATER METER
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ BACK FLOW PREVENTER
- ⊕ AIR CONDITIONER PAD
- ⊕ GAS VALVE
- ⊕ GAS METER
- ⊕ GAS LINE MARKER
- ⊕ CONCRETE UTILITY POLE
- ⊕ METAL UTILITY POLE
- ⊕ WOOD UTILITY POLE
- ⊕ UTILITY POLE GUY ANCHOR
- ⊕ LIGHT POLE
- ⊕ SPOT/GROUND LIGHT
- ⊕ ELECTRIC TRANSFORMER
- ⊕ ELECTRIC VAULT
- ⊕ WETLAND FLAG
- ⊕ SIGN
- ⊕ BOLLARD
- ⊕ FLAG POLE
- ⊕ MAILBOX
- ⊕ HEDGE ROW
- ⊕ LINE BREAK
- ⊕ FENCE LINE AS NOTED
- ⊕ APPROXIMATE TOP OF BANK
- ⊕ APPROXIMATE TOE OF SLOPE
- ⊕ EXISTING CONTOUR

HORIZONTAL CONTROL:

THE FLORIDA STATE PLANE COORDINATES SHOWN HEREON ARE NORTH AMERICAN DATUM OF 1983 (1980 ADJUSTMENT), FLORIDA WEST ZONE AS DERIVED FROM GPS STATIC SURVEY AND TRADITIONAL TRAVERSE METHODS AND ESTABLISHED FROM MARION COUNTY, FLORIDA CONTROL MONUMENTS "AR1852" AND "V086", PURSUANT TO SECTION 177.151, FLORIDA STATUTES.

THE NORTHWEST CORNER OF SECTION 12, TOWNSHIP 16 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA - FOUND 4" X 4" CONCRETE MONUMENT WITH NAIL & DISK STAMPED 1 2 11 12.

NORTHING: 1740427.4008 FEET
EASTING: 570381.5670 FEET
LATITUDE: 29°07'16.02210" N
LONGITUDE: 82°16'07.23060" W
CONVERGENCE: -00°07'50.7"
SCALE: 0.99994961

FOUND STAINLESS STEEL ROD STAMPED V086 1990
NORTHING: 1745775.8082 FEET
EASTING: 543817.8667 FEET
LATITUDE: 29°08'08.27974" N
LONGITUDE: 82°21'06.91361" W
CONVERGENCE: -00°10'16.8"
SCALE: 0.99995564

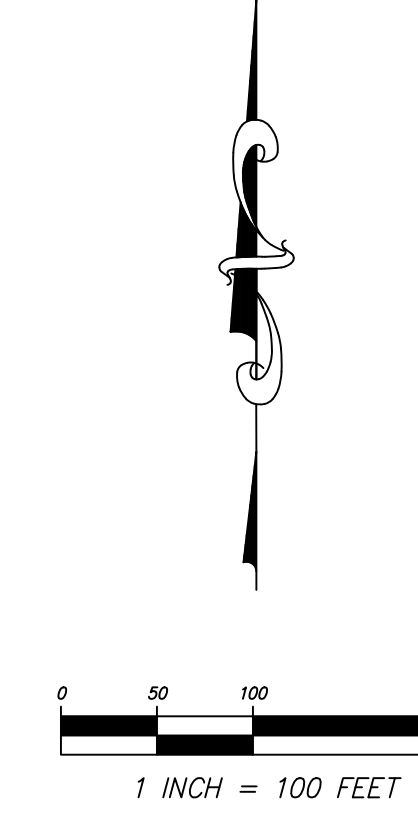
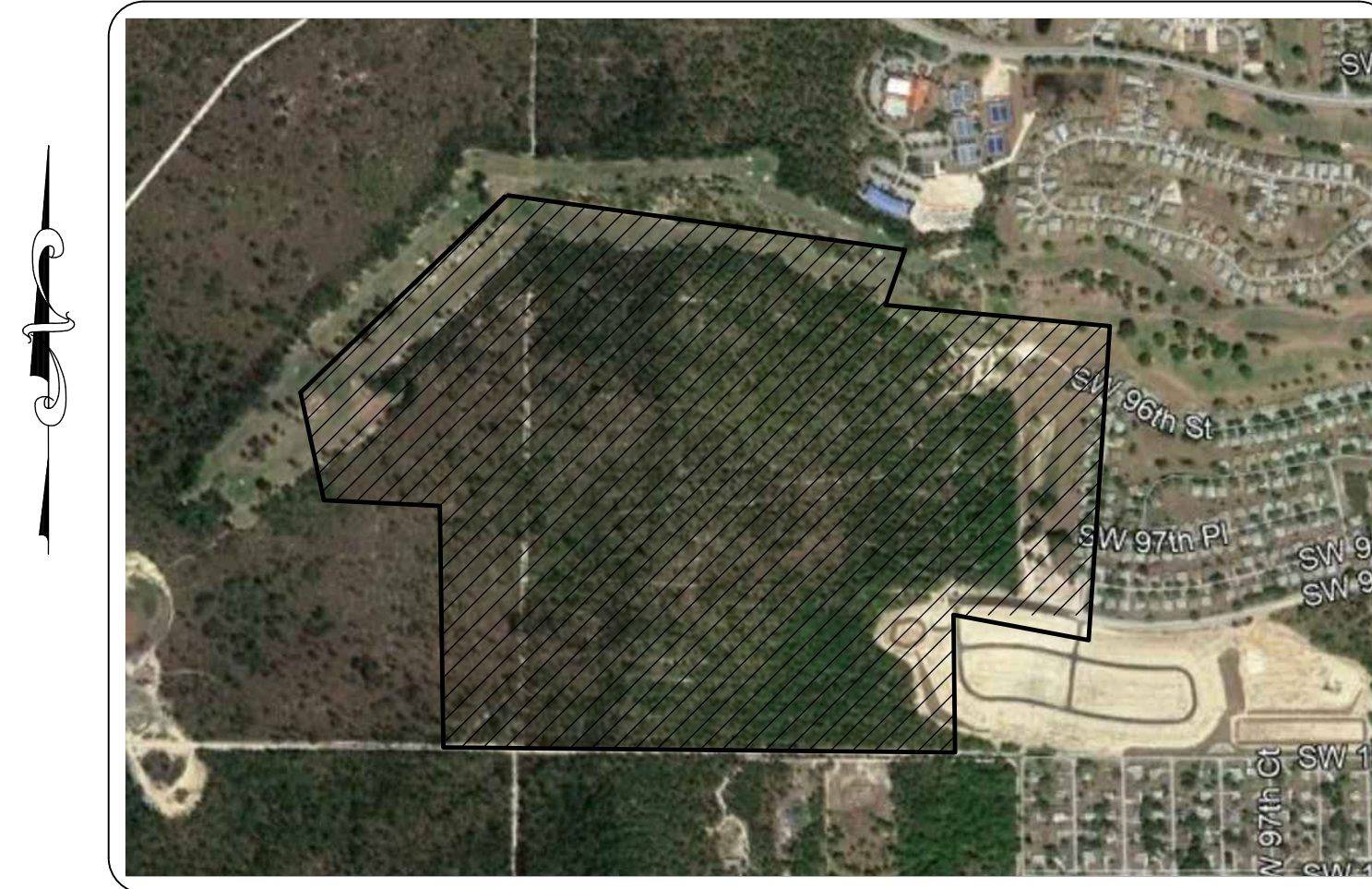
TREE LEGEND

(SIZE DENOTED INSIDE SYMBOL)

- ⊕ CAMPHOR
- ⊕ CEDAR
- ⊕ CHERRY
- ⊕ CHINABERRY
- ⊕ CYPRESS
- ⊕ DOGWOOD
- ⊕ ELM
- ⊕ GUM
- ⊕ HICKORY
- ⊕ HOLLY
- ⊕ LAUREL OAK
- ⊕ LIVE OAK
- ⊕ MAGNOLIA
- ⊕ MAPLE
- ⊕ MIMOSA
- ⊕ MISC
- ⊕ OAK
- ⊕ PALM
- ⊕ PECAN
- ⊕ PINE TREE
- ⊕ SUGAR HACKBERRY
- ⊕ SYCAMORE

VICINITY MAP:

NOT TO SCALE



SHEET 1 OF 12
ONE IS NOT COMPLETE WITHOUT THE OTHERS

SEE SHEET 2 OF 12 BOUNDARY DETAIL

SEE SHEET 3, 4, 5, 6, 7, 8, 9, 10, 11 AND 12 FOR DRAWING DETAIL

DESCRIPTION: (PROJECT AREA FOR TOPO)

A PORTION OF SECTION 22, TOWNSHIP 16 SOUTH, RANGE 20 EAST, ALSO A PORTION OF CIRCLE SQUARE WOODS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK P, PAGES 30 THROUGH 103, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE EASTERLY MOST CORNER OF LONGLEAF RIDGE PHASE II, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 13, PAGES 190 THROUGH 193, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA; THENCE S.89°00'20"E., 708.57 FEET TO THE POINT OF BEGINNING; THENCE S.85°48'12"E., 1,151.38 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 1,234.49 FEET, A CENTRAL ANGLE OF 02°48'39", AND A CHORD BEARING AND DISTANCE OF S.61°10'38"E., 60.56 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 60.56 FEET TO THE END OF SAID CURVE; THENCE S.59°46'19"E., 200.00 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE NORTHERLY, HAVING A RADIUS OF 1,669.57 FEET, A CENTRAL ANGLE OF 15°30'00", AND A CHORD BEARING AND DISTANCE OF S.67°31'19"E., 450.29 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 451.66 FEET TO A POINT OF TANGENCY; THENCE S.75°16'19"E., 225.00 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE NORTHERLY, HAVING A RADIUS OF 1,763.76 FEET, A CENTRAL ANGLE OF 14°42'47", AND A CHORD BEARING AND DISTANCE OF S.82°37'42"E., 451.67 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 452.92 FEET TO A POINT OF TANGENCY; THENCE S.00°17'35"W., 50.00 FEET; THENCE S.24°09'06"W., 1,061.96 FEET; THENCE S.35°04'26"W., 63.66 FEET; THENCE S.89°46'59"W., 66.15 FEET; THENCE S.83°33'32"W., 66.16 FEET; THENCE S.80°32'16"W., 202.74 FEET; THENCE S.76°27'40"W., 48.33 FEET; THENCE S.54°53'28"W., 60.54 FEET; THENCE S.24°24'14"W., 107.13 FEET; THENCE S.06°04'59"E., 238.19 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHERLY, HAVING A RADIUS OF 820.00 FEET, A CENTRAL ANGLE OF 16°03'35", AND A CHORD BEARING AND DISTANCE OF N.71°03'56"W., 229.09 FEET; THENCE WESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 229.84 FEET TO THE END OF SAID CURVE; THENCE N.73°55'22"W., 51.10 FEET; THENCE N.62°36'47"W., 172.31 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE SOUTHERLY, HAVING A RADIUS OF 630.00 FEET, A CENTRAL ANGLE OF 18°12'24", AND A CHORD BEARING AND DISTANCE OF N.71°42'59"W., 199.35 FEET; THENCE WESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 200.19 FEET TO A POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE SOUTHERLY, HAVING A RADIUS OF 630.00 FEET, A CENTRAL ANGLE OF 21°34'51", AND A CHORD BEARING AND DISTANCE OF S.88°23'24"W., 235.89 FEET; THENCE WESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 237.29 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 690.00 FEET, A CENTRAL ANGLE OF 126°57'56", AND A CHORD BEARING AND DISTANCE OF N.38°55'04"W., 1,234.82 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 1,529.02 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE CONCAVE WESTERLY, HAVING A RADIUS OF 630.00 FEET, A CENTRAL ANGLE OF 44°58'07", AND A CHORD BEARING AND DISTANCE OF N.02°04'51"E., 481.86 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 494.45 FEET TO A POINT OF TANGENCY; THENCE N.20°24'12"W., 271.48 FEET; THENCE N.44°13'41"E., 28.90 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE SOUTHERLY, HAVING A RADIUS OF 176.75 FEET, A CENTRAL ANGLE OF 49°58'07", AND A CHORD BEARING AND DISTANCE OF N.69°12'45"E., 149.31 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 154.15 FEET TO A POINT OF TANGENCY TO THE POINT OF BEGINNING. SAID LANDS CONTAINING 82.38 ACRES, MORE OR LESS.

NOTES:

1. BEARINGS SHOWN HEREON ARE RELATIVE TO AN ASSUMED BEARING OF S00°17'34"W ALONG THE EAST BOUNDARY OF SECTION 22, TOWNSHIP 16 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA.
2. ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY MAP NO. 120830683E, MARION COUNTY, FLORIDA, DATED APRIL 19, 2017, THE PROPERTY DESCRIBED HEREON LIES IN FLOODS ZONE "X" AN AREA OF MINIMAL FLOOD HAZARD.
3. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, ADJOINERS OR OTHER INSTRUMENTS OF RECORD.
4. UNDERGROUND FOUNDATIONS AND UTILITIES WERE NOT LOCATED.
5. WETLAND AREAS WERE NOT ADDRESSED AS PART OF THIS SURVEY.
6. STORM AND SANITARY SEWER ELEVATION AND LOCATIONS ARE BASED ON INFORMATION PROVIDED BY BOWYER-SINGLETON AND ASSOCIATION, JOB #301-J12, DATED 08/01/2006. SOME STRUCTURES WERE BURIED AND OR FULL OF DIRT AT THE TIME OF THE SURVEY.
7. VERTICAL DATUM IS BASED ON FOUND 5/8" IRON ROD WITH A PLASTIC CAP STAMPED "WOOLPERT TRAVERSE" APPROXIMATELY 0.35 MILES NORTH STATE ROAD 200 ON THE WEST SIDE OF S.W. 80TH AVENUE. BENCHMARK IS LOCATED IN THE NORTHWEST CORNER OF THE INTERSECTION OF S.W. 80TH AVENUE AND THE CONSTRUCTION ENTRANCE FOR "ON TOP OF THE WORLD, COMMUNITIES, INC.", ELEVATION = 69.272 (DATUM NGVD 1929).
8. TREE LOCATIONS ARE BASED ON AREA AS SPECIFIED BY CLIENT.
9. DATE OF SURVEY: JULY 13, 2020.

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THIS SURVEY MEETS THE APPLICABLE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J17.050-.052, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

CHRISTOPHER J. HOWSON
FLORIDA LICENSED SURVEYOR & MAPPER NO. 6553

DATE

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

(CERTIFICATE OF AUTHORIZATION NO. LB 8071)

NO.	REVISIONS	BY	DATE
1.	ADD. LEGAL FOR PROJECT BOUNDARY	C.J.H.	10/29/20

DRAWN:	M.A.
REVISED:	
CHECKED:	C.J.H.
APPROVED:	C.J.H.
SCALE:	---

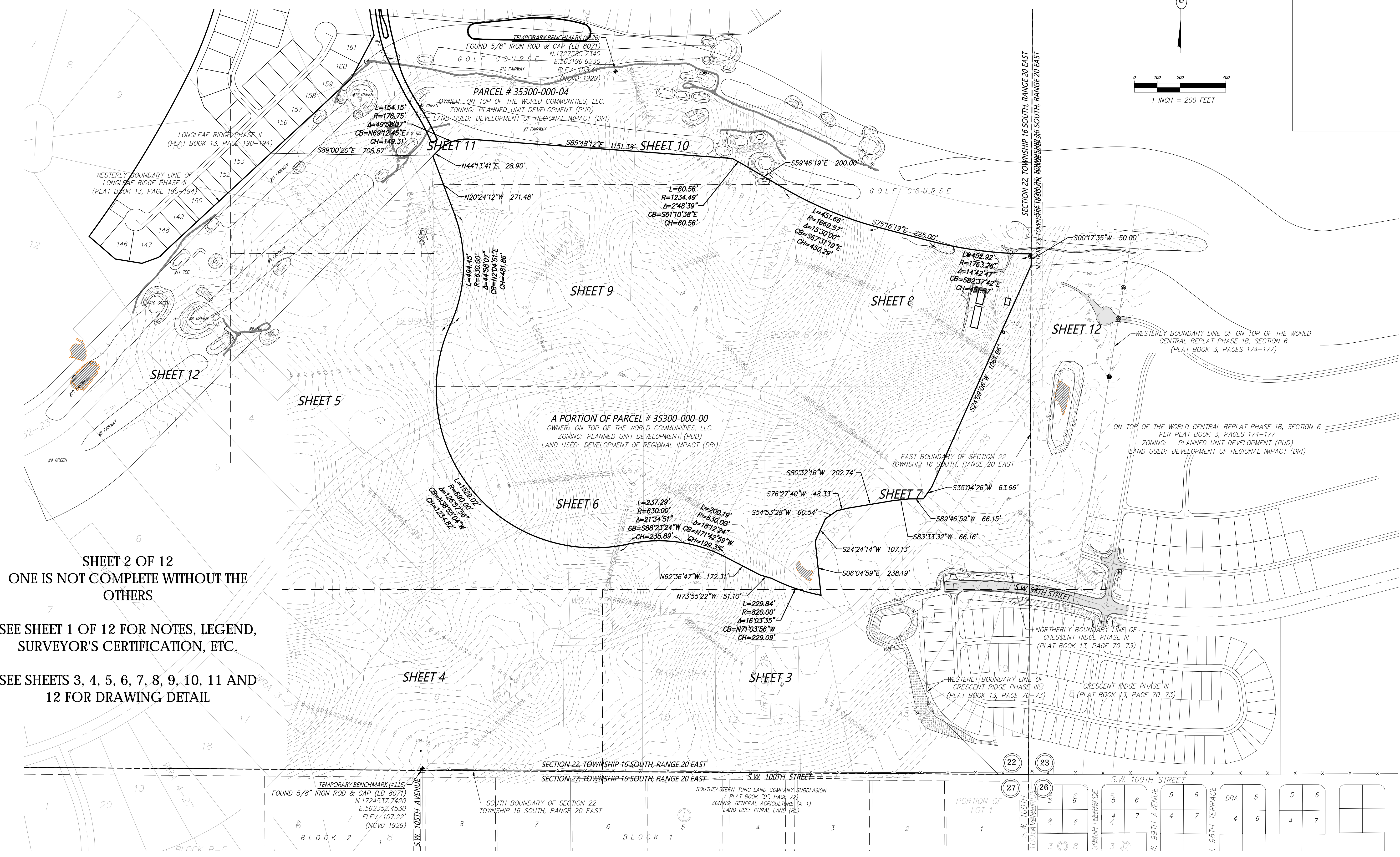
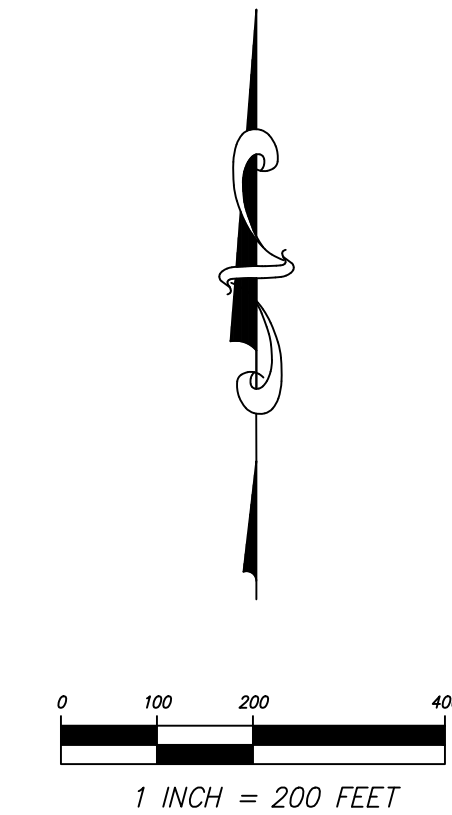
JCH
CONSULTING GROUP, INC.
LAND DEVELOPMENT, SURVEYING & MAPPING
PLANNING, ENVIRONMENTAL, & GIS
CONSULTING / BROWNSVILLE, TX 77801
PH: (936) 866-1446 FAX: (936) 272-0303
www.jchgroup.com

PLAT OF TOPOGRAPHIC SURVEY
-FOR-
ON TOP OF THE WORLD
COMMUNITIES, LLC

FIELD BOOK/PAGE:	FILE: LONGLEAF RIDGE PH 3 & 4
20-4-28-78	
20-6-1-17	

J.O.# 181094
DWG.#181094TOPPH3&4R
SHT 1 OF 12

TOPOGRAPHIC SURVEY FOR:
ON TOP OF THE WORLD COMMUNITIES, LLC
 A PORTION OF SECTION 22, TOWNSHIP 16 SOUTH, RANGE 20 EAST
 MARION COUNTY, FLORIDA



SHEET 2 OF 12
 ONE IS NOT COMPLETE WITHOUT THE OTHERS

SEE SHEET 1 OF 12 FOR NOTES, LEGEND, SURVEYOR'S CERTIFICATION, ETC.

SEE SHEETS 3, 4, 5, 6, 7, 8, 9, 10, 11 AND 12 FOR DRAWING DETAIL

NO.	REVISIONS	BY	DATE
1.	ADD. LEGAL FOR PROJECT BOUNDARY	C.J.H.	10/29/20

DRAWN:	M.A.
REVISED:	
CHECKED:	C.J.H.
APPROVED:	C.J.H.
SCALE:	1" = 200'

JCH
 CONSULTING GROUP, INC.
 LAND DEVELOPMENT, SURVEYING & MAPPING
 PLANNING, ENVIRONMENTAL, & GIS
 CHRISTOPHER J. HORNBY, P.E., C.S., F.S.
 CHARTERED SURVEYOR, FLORIDA, C.S. 14,583
 PUNY, 100 S.W. 146th Ave., Ft. Lauderdale, FL 33309
 TEL: 954.272.0101

PLAT OF TOPOGRAPHIC SURVEY
 -FOR-
 ON TOP OF THE WORLD
 COMMUNITIES, LLC

FIELD BOOK/PAGE:	
20-0-4/28-78	
20-0-6/1-17	
FILE: LONGLEAF RIDGE PH 3 & 4	

J.O.# 181094
 DWG.#181094TOPOPH3&4R
 SHT 2 OF 12

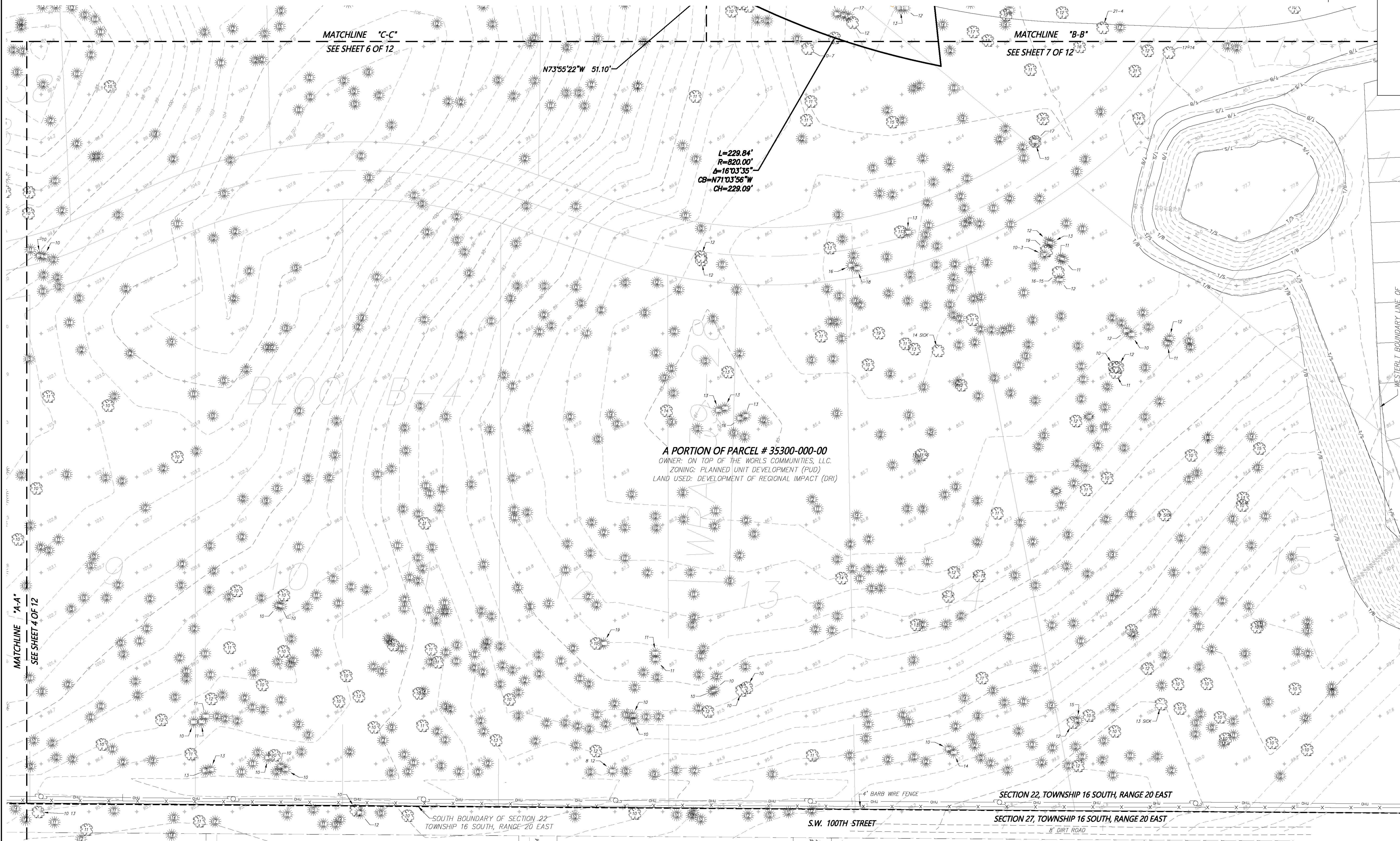
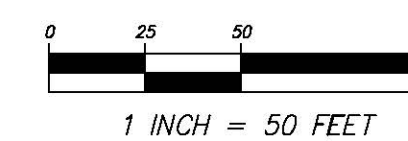
TOPOGRAPHIC SURVEY FOR:
ON TOP OF THE WORLD COMMUNITIES, LLC
 A PORTION OF SECTION 22, TOWNSHIP 16 SOUTH, RANGE 20 EAST
 MARION COUNTY, FLORIDA

SHEET 3 OF 12
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SEE SHEET 2 OF 12 BOUNDARY DETAIL

SEE SHEET 1 OF 12 FOR NOTES, LEGEND,
 SURVEYOR'S CERTIFICATION, ETC.

SEE SHEETS 4, 5, 6, 7, 8, 9, 10, 11 AND 12 FOR
 DRAWING DETAIL



A PORTION OF PARCEL # 35300-000-00
 OWNER: ON TOP OF THE WORLD COMMUNITIES, LLC.
 ZONING: PLANNED UNIT DEVELOPMENT (PUD)
 LAND USE: DEVELOPMENT OF REGIONAL IMPACT (DRI)

L=229.84'
 R=820.00'
 Δ=167°3'35"
 CB=N71°03'56"W
 CH=229.09'

N73°55'22"W 51.10'

MATCHLINE "C-C"
 SEE SHEET 6 OF 12

MATCHLINE "B-B"
 SEE SHEET 7 OF 12

MATCHLINE "A-A"
 SEE SHEET 4 OF 12

LOT 5
 PARCEL NO. 3499-001-005
 OWNER: JOHN GOODWIN

LOT 4
 PARCEL NO. 3499-001-004
 OWNER: MARK GARFIELD

LOT 4
 PARCEL NO. 3499-001-204
 OWNER: DAVE REED
 SOUTHEASTERN TUNG LAND COMPANY SUBDIVISION
 (PLAT BOOK "D", PAGE 72)
 ZONING: GENERAL AGRICULTURE (A-1)
 LAND USE: RURAL LAND (RL)

LOT 4
 PARCEL NO. 3499-001-004
 OWNER: MANUEL RODRIGUEZ

LOT 3
 PARCEL NO. 3499-001-003
 OWNER: GEORGE HILL

LOT 2
 PARCEL NO. 3499-001-002
 OWNER: DESMOND BROWN

SOUTH BOUNDARY OF SECTION 22
 TOWNSHIP 16 SOUTH, RANGE 20 EAST

S.W. 100TH STREET

SECTION 22, TOWNSHIP 16 SOUTH, RANGE 20 EAST

SECTION 27, TOWNSHIP 16 SOUTH, RANGE 20 EAST

WESTERLY BOUNDARY LINE OF
 CRESCENT RIDGE PHASE III

NO.	REVISIONS	BY	DATE

DRAWN:	M.A.
REVISED:	
CHECKED:	C.J.H.
APPROVED:	C.J.H.
SCALE: 1" = 50'	

JCH
 CONSULTING GROUP, INC.
 LAND DEVELOPMENT SURVEYING & MAPPING
 PLANNING, ENVIRONMENTAL & GIS
 405 W. 20TH STREET, SUITE 100, PALM BEACH, FLORIDA 33480
 PHONE: (561) 842-1144 FAX: (561) 842-1145 www.jchgroup.com

PLAT OF TOPOGRAPHIC SURVEY
 -FOR-
 ON TOP OF THE WORLD
 COMMUNITIES, LLC

FIELD BOOK/PAGE:
 20-429-78
 20-671-17

FILE: LONGLEAF RIDGE PH 3 & 4

J.O.# 181094
 DWG.#181094TOPOPH3&4
 SHT 3 OF 12

TOPOGRAPHIC SURVEY FOR:

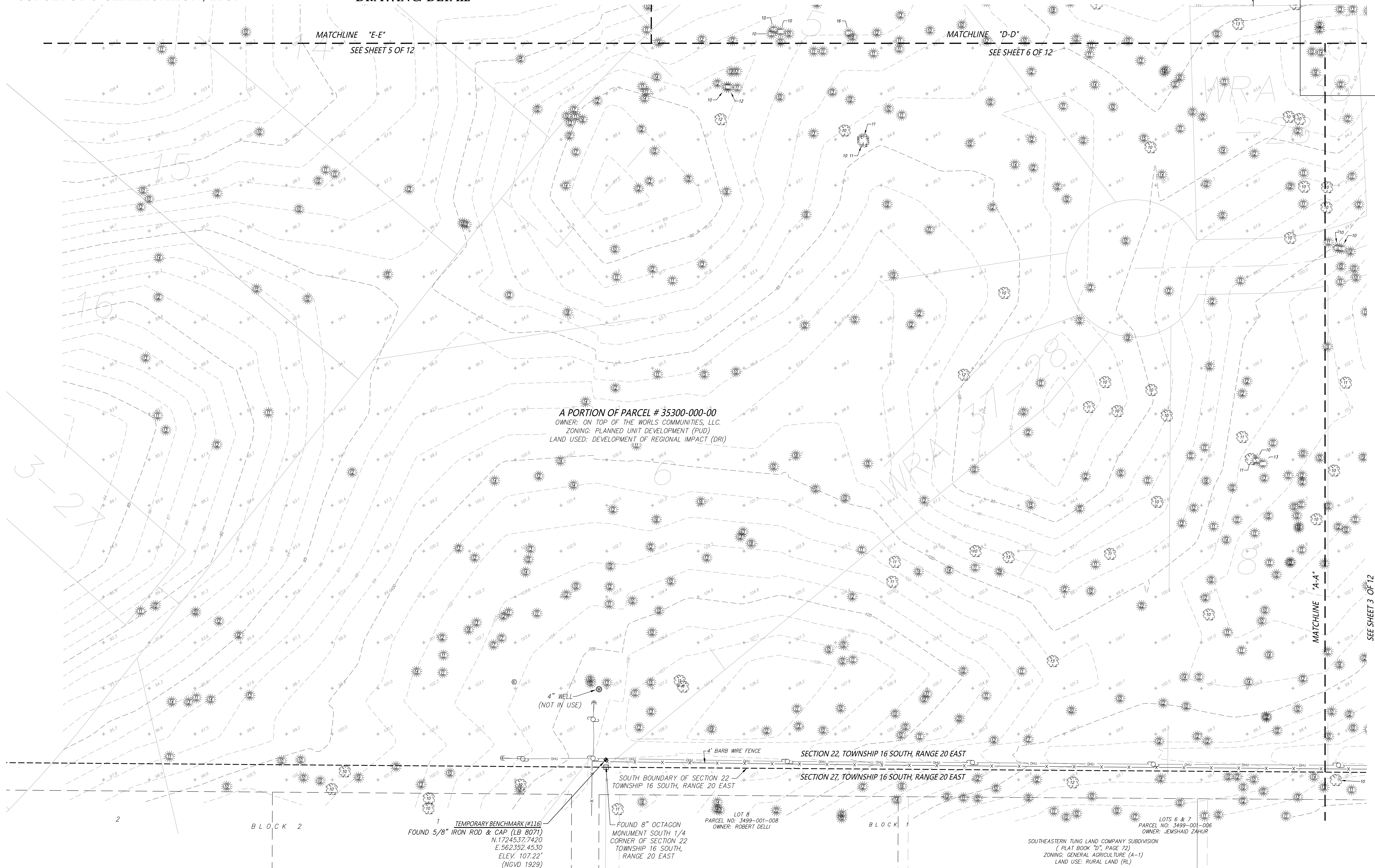
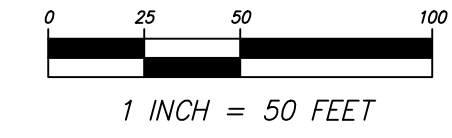
ON TOP OF THE WORLD COMMUNITIES, LLC

A PORTION OF SECTION 22, TOWNSHIP 16 SOUTH, RANGE 20 EAST
MARION COUNTY, FLORIDA

SHEET 3 OF 12
ONE IS NOT COMPLETE WITHOUT THE
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SEE SHEET 2 OF 12 BOUNDARY DETAIL

SEE SHEET 1 OF 12 FOR NOTES, LEGEND, SEE SHEETS 4, 5, 6, 7, 8, 9, 10, 11 AND 12 FOR
SURVEYOR'S CERTIFICATION, ETC. DRAWING DETAIL



NO.	REVISIONS	BY	DATE

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REVISED:	
CHECKED:	C.J.H.
APPROVED:	C.J.H.
SCALE:	1" = 50'

JCH
CONSULTING GROUP, INC.
LAND DEVELOPMENT, SURVEYING & MAPPING
PLANNING, ENVIRONMENTAL, & GIS
CHRISTOPHER J. JOHNSON, P.S., C.E.M., L.S. 15383
PHYSICAL SURVEYING LICENSE NO. 12282
F.L.A. REG. #27-001

PLAT OF TOPOGRAPHIC SURVEY
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COMMUNITIES, LLC

FILE: LONGLEAF RIDGE PH 3 & 4
20-4/18-78
20-6/1-17

J.O.# 181094
DWG.#181094TOPOPH3&4
SHT 4 OF 12

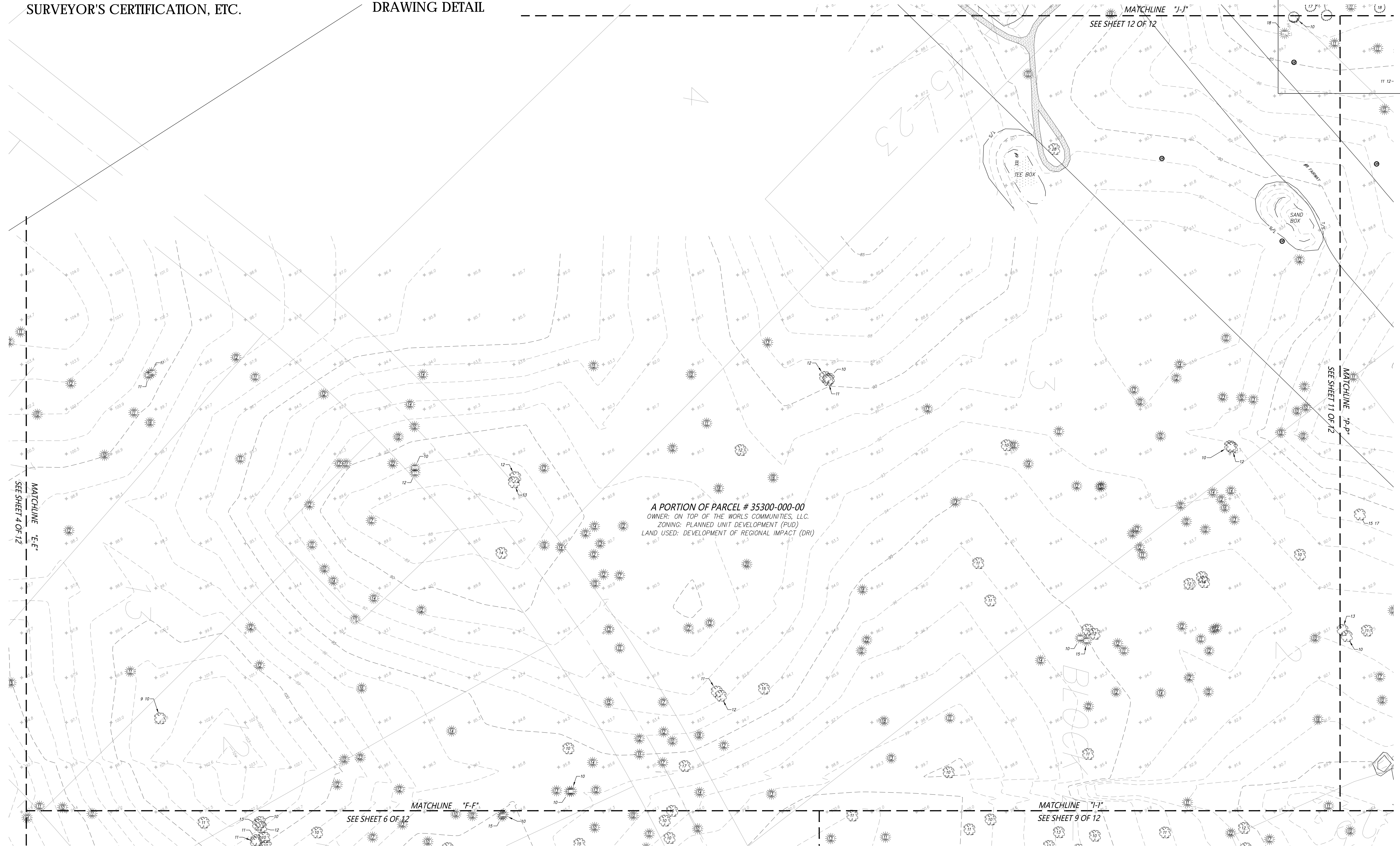
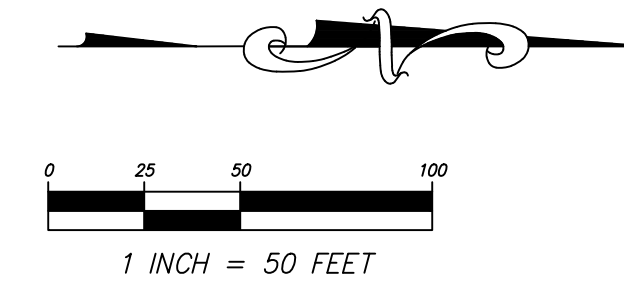
TOPOGRAPHIC SURVEY FOR:
ON TOP OF THE WORLD COMMUNITIES, LLC
 A PORTION OF SECTION 22, TOWNSHIP 16 SOUTH, RANGE 20 EAST
 MARION COUNTY, FLORIDA

SHEET 5 OF 12
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SCALE:	1" = 50'

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 CONSULTING GROUP, INC.
 LAND DEVELOPMENT, SURVEYING & MAPPING
 PLANNING, ENVIRONMENTAL, & GIS
 CHRISTOPHER J. JOHNSON, P.S., C.E.M., L.S. 6583
 1111 W. 10th Ave., Suite 100
 Ft. Lauderdale, FL 33304
 TEL: 954.272.0101
 WWW.JCHCONSULTING.COM

PLAT OF TOPOGRAPHIC SURVEY
 -FOR-
**ON TOP OF THE WORLD
 COMMUNITIES, LLC**

FIELD BOOK/PAGE:
 20-4/38-78
 20-6/1-17

FILE: LONGLEAF RIDGE PH 3 & 4

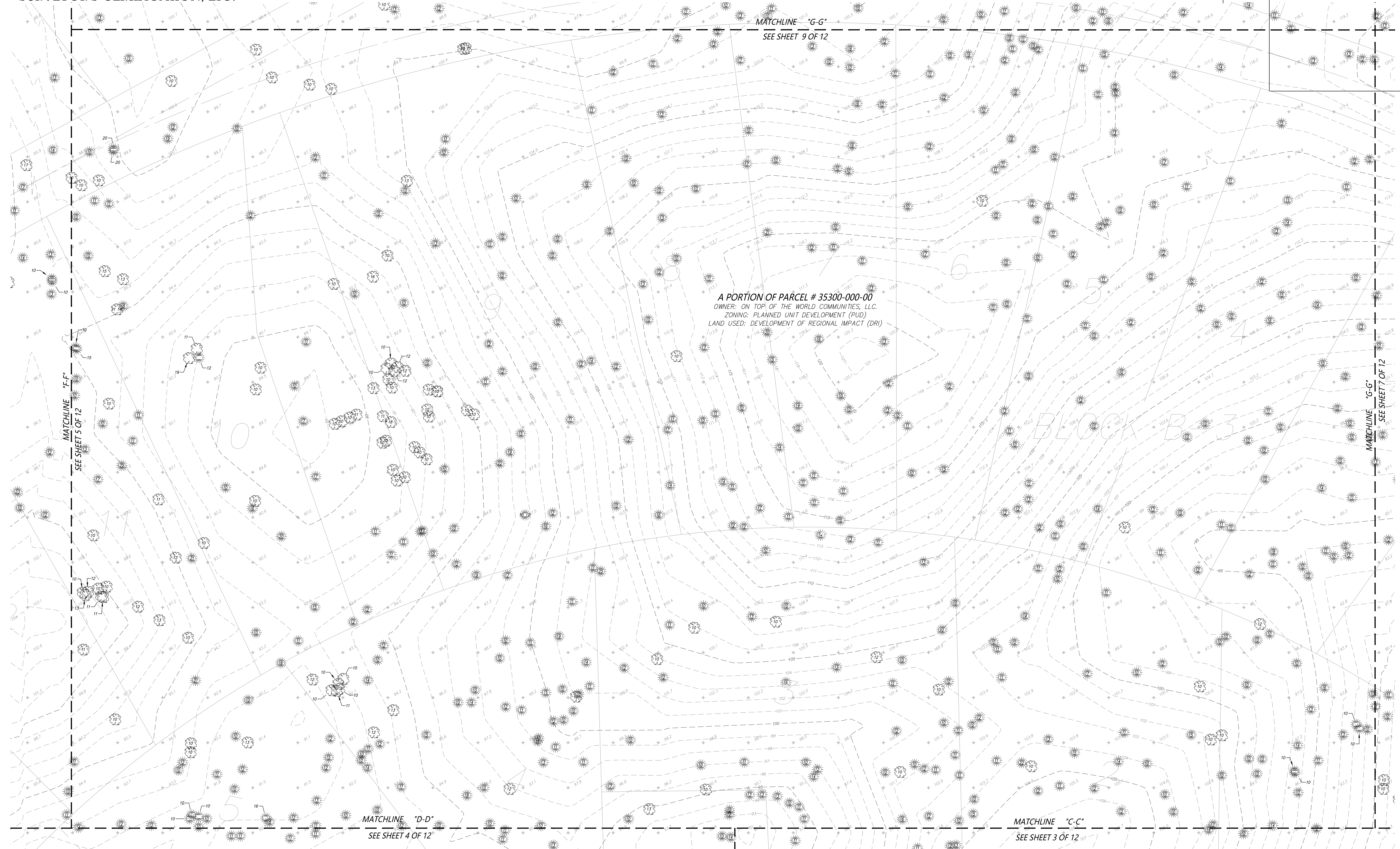
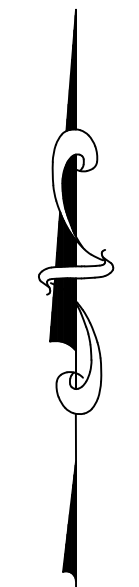
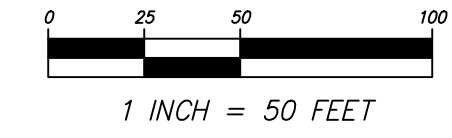
J.O.# 181094
 DWG.#181094TOPOPH3&4
 SHT 5 OF 12

TOPOGRAPHIC SURVEY FOR:
ON TOP OF THE WORLD COMMUNITIES, LLC
 A PORTION OF SECTION 22, TOWNSHIP 16 SOUTH, RANGE 20 EAST
 MARION COUNTY, FLORIDA

SHEET 6 OF 12
 ONE IS NOT COMPLETE WITHOUT THE
 OTHERS

SEE SHEET 2 OF 12 BOUNDARY DETAIL

SEE SHEET 1 OF 12 FOR NOTES, LEGEND, SURVEYOR'S CERTIFICATION, ETC.
 SEE SHEETS 3, 4, 6, 7, 8, 9, 10, 11 AND 12 FOR
 DRAWING DETAIL



A PORTION OF PARCEL # 35300-000-00
 OWNER: ON TOP OF THE WORLD COMMUNITIES, LLC.
 ZONING: PLANNED UNIT DEVELOPMENT (PUD)
 LAND USED: DEVELOPMENT OF REGIONAL IMPACT (DRI)

NO.	REVISIONS	BY	DATE

DRAWN:	M.A.
REVISED:	
CHECKED:	C.J.H.
APPROVED:	C.J.H.
SCALE:	1" = 50'

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 CONSULTING GROUP, INC.
 LAND DEVELOPMENT, SURVEYING & MAPPING
 PLANNING • ENVIRONMENTAL • GIS
 CHRISTOPHER J. JOHNSON, P.S., C.E.M., L.S. 5833
 10500 W. STATE ROAD 20, SUITE 200
 PALM BEACH, FLORIDA 33411
 TEL: 561.862.2210 FAX: 561.862.2211

PLAT OF TOPOGRAPHIC SURVEY
 -FOR-
 ON TOP OF THE WORLD
 COMMUNITIES, LLC

FIELD BOOK/PAGE:
 20-438-78
 20-6/1-17

FILE: LONGLEAF RIDGE PH 3 & 4

J.O.# 181094
 DWG.#181094TOPOPH3&4
 SHT 6 OF 12

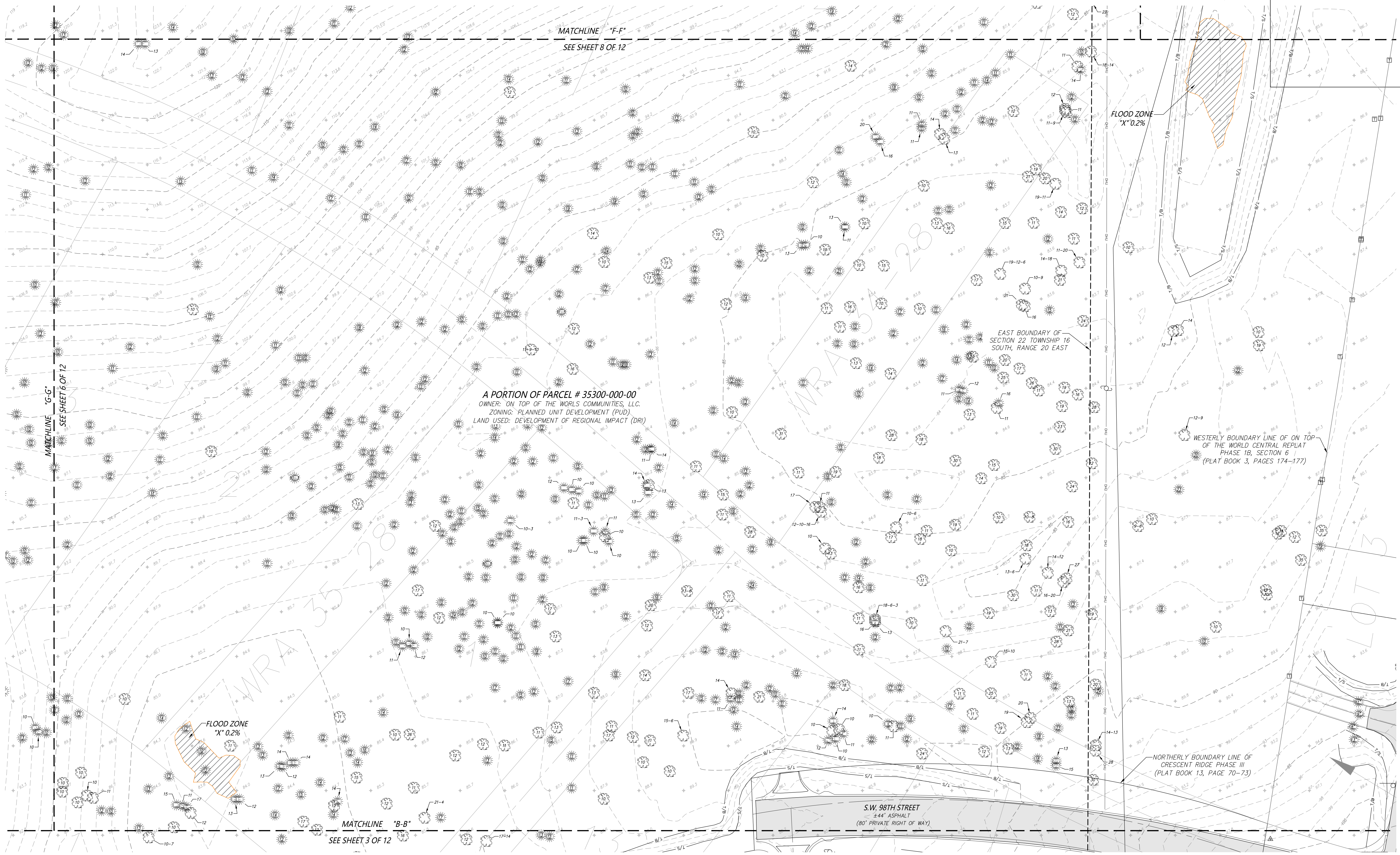
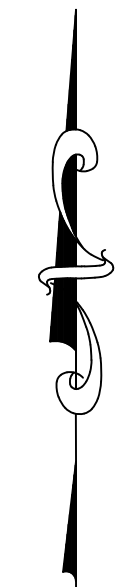
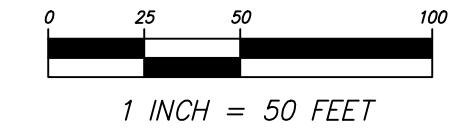
SHEET 7 OF 12
ONE IS NOT COMPLETE WITHOUT THE
OTHERS

TOPOGRAPHIC SURVEY FOR:
ON TOP OF THE WORLD COMMUNITIES, LLC
A PORTION OF SECTION 22, TOWNSHIP 16 SOUTH, RANGE 20 EAST
MARION COUNTY, FLORIDA

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SEE SHEET 1 OF 12 FOR NOTES, LEGEND,
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DRAWING DETAIL



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REVISED:	
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APPROVED:	C.J.H.
SCALE:	1" = 50'

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CONSULTING GROUP, INC.
LAND DEVELOPMENT, SURVEYING & MAPPING
PLANNING, ENVIRONMENTAL, & GIS
CHRISTOPHER J. HOBBS, P.E., C.S., C.E.M., L.S. 6883
PHYSICAL SURVEYOR LICENSE NO. 12282
MARION COUNTY, FLORIDA
TEL: 407.272.0101
WWW.JCHCONSULTING.COM

PLAT OF TOPOGRAPHIC SURVEY
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ON TOP OF THE WORLD
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FIELD BOOK/PAGE:
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20-6/1-17

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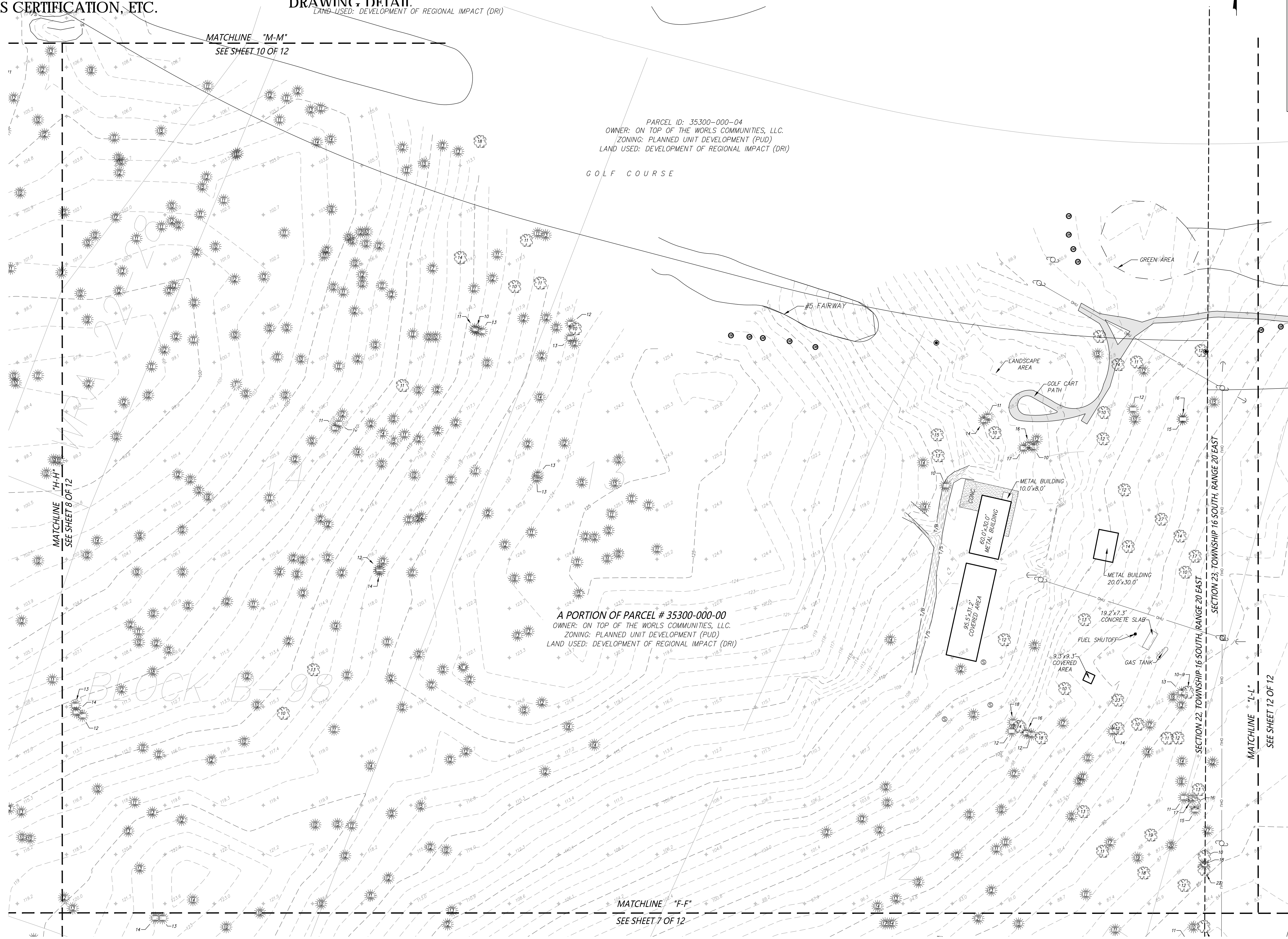
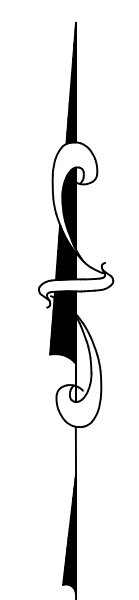
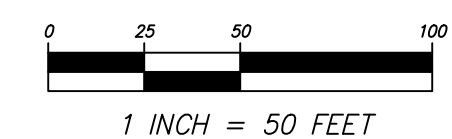
J.O.# 181094
DWG.#181094TOPOPH3&4
SHT 7 OF 12

TOPOGRAPHIC SURVEY FOR:
ON TOP OF THE WORLD COMMUNITIES, LLC
 A PORTION OF SECTION 22, TOWNSHIP 16 SOUTH, RANGE 20 EAST
 MARION COUNTY, FLORIDA

SHEET 8 OF 12
 ONE IS NOT COMPLETE WITHOUT THE
 OTHERS

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SEE SHEET 1 OF 12 FOR NOTES, LEGEND, SURVEYOR'S CERTIFICATION, ETC.
 SEE SHEETS 3, 4, 5, 6, 7, 9, 10, 11 AND 12 FOR
 DRAWING DETAIL



PARCEL ID: 35300-000-04
 OWNER: ON TOP OF THE WORLDS COMMUNITIES, LLC.
 ZONING: PLANNED UNIT DEVELOPMENT (PUD)
 LAND USED: DEVELOPMENT OF REGIONAL IMPACT (DRI)

A PORTION OF PARCEL # 35300-000-00
 OWNER: ON TOP OF THE WORLDS COMMUNITIES, LLC.
 ZONING: PLANNED UNIT DEVELOPMENT (PUD)
 LAND USED: DEVELOPMENT OF REGIONAL IMPACT (DRI)

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DRAWN:	M.A.
REVISED:	
CHECKED:	C.J.H.
APPROVED:	C.J.H.
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JCH
 CONSULTING GROUP, INC.
 LAND DEVELOPMENT, SURVEYING & MAPPING
 PLANNING, ENVIRONMENTAL, & GIS
 CHRISTOPHER J. JOHNSON, P.E., C.E.M., L.S. 15583
 PLYMOUTH, FLORIDA 32578
 TEL: 904.272.0101
 WWW.JCHCONSULTING.COM

PLAT OF TOPOGRAPHIC SURVEY
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**ON TOP OF THE WORLD
 COMMUNITIES, LLC**

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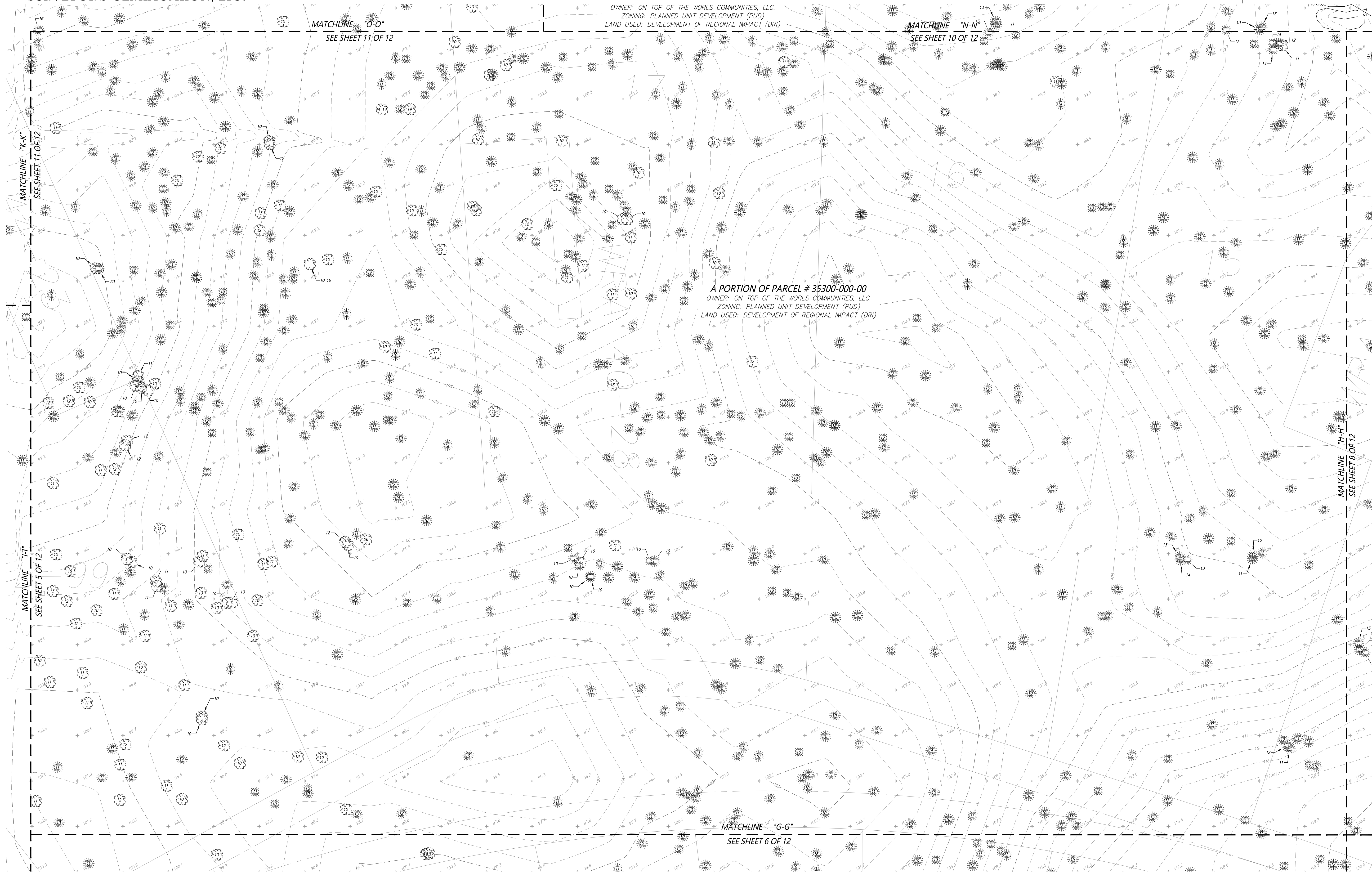
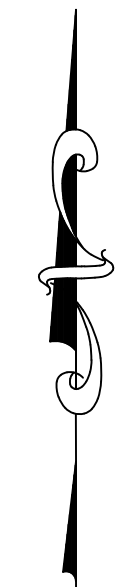
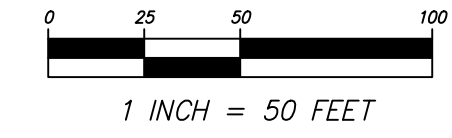
J.O.# 181094
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 SHT 8 OF 12

TOPOGRAPHIC SURVEY FOR:
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 A PORTION OF SECTION 22, TOWNSHIP 16 SOUTH, RANGE 20 EAST
 MARION COUNTY, FLORIDA

SHEET 9 OF 12
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 PLANNING • ENVIRONMENTAL • GIS
 CHRISTOPHER J. JOHNSON, P.E., C.E.M., L.S. 45803
 11015 W. STATE ROAD 200, SUITE 200
 PALM BEACH, FL 33411
 TEL: 561.272.0101
 WWW.JCHCONSULTING.COM

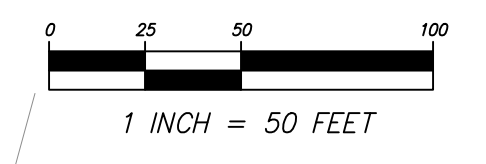
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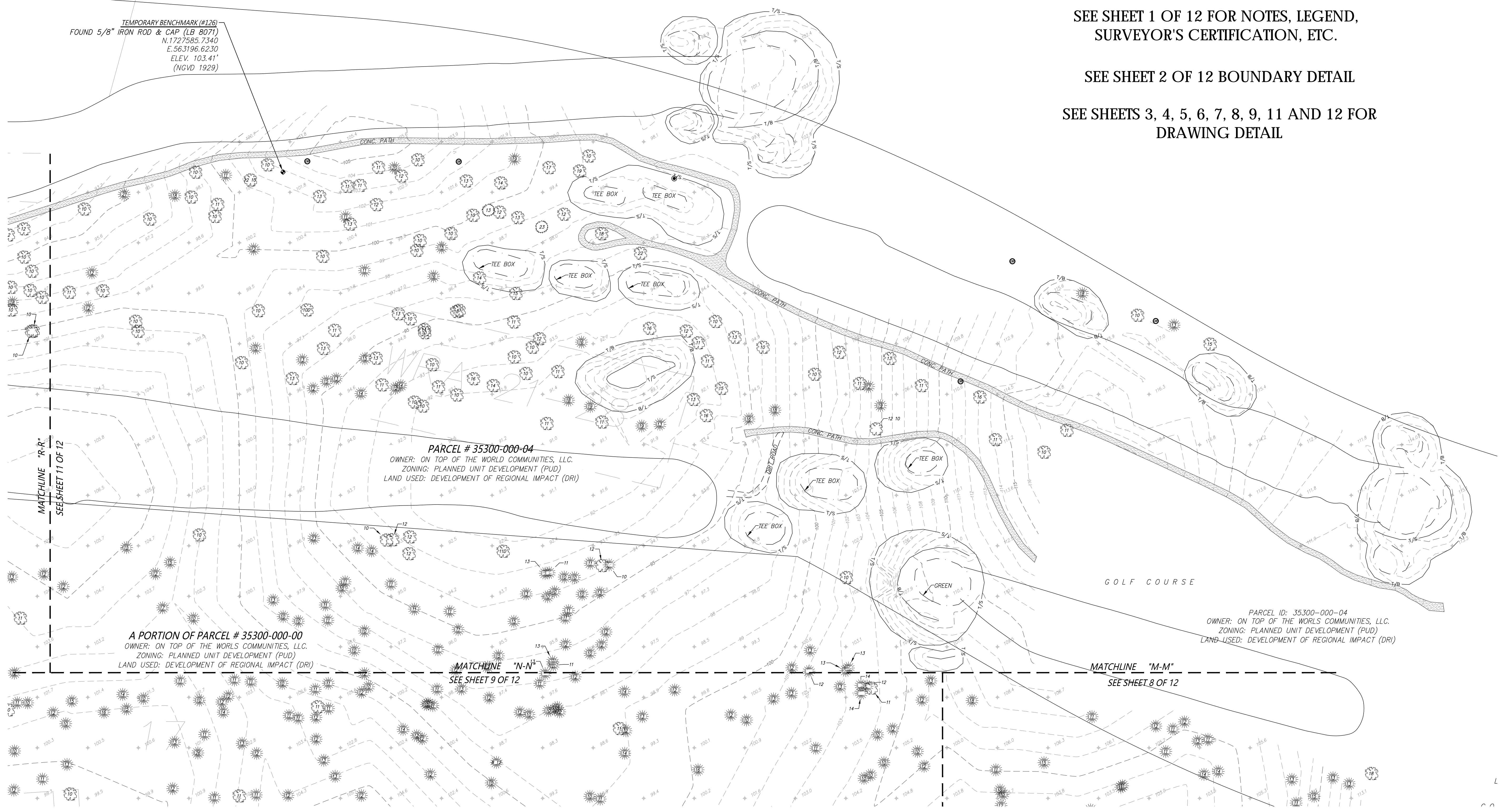
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 SHT 9 OF 12

TOPOGRAPHIC SURVEY FOR:
ON TOP OF THE WORLD COMMUNITIES, LLC
 A PORTION OF SECTION 22 , TOWNSHIP 16 SOUTH, RANGE 20 EAST
 MARION COUNTY, FLORIDA



TEMPORARY BENCHMARK (#126)
 FOUND 5/8" IRON ROD & CAP (LB 8071)
 N.1727585.7340
 E.563196.6230
 ELEV. 103.41'
 (NGVD 1929)



SHEET 10 OF 12
 ONE IS NOT COMPLETE WITHOUT THE
 OTHERS

SEE SHEET 1 OF 12 FOR NOTES, LEGEND,
 SURVEYOR'S CERTIFICATION, ETC.

SEE SHEET 2 OF 12 BOUNDARY DETAIL

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 TEL: 904.272.0101
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 SH10 OF 12

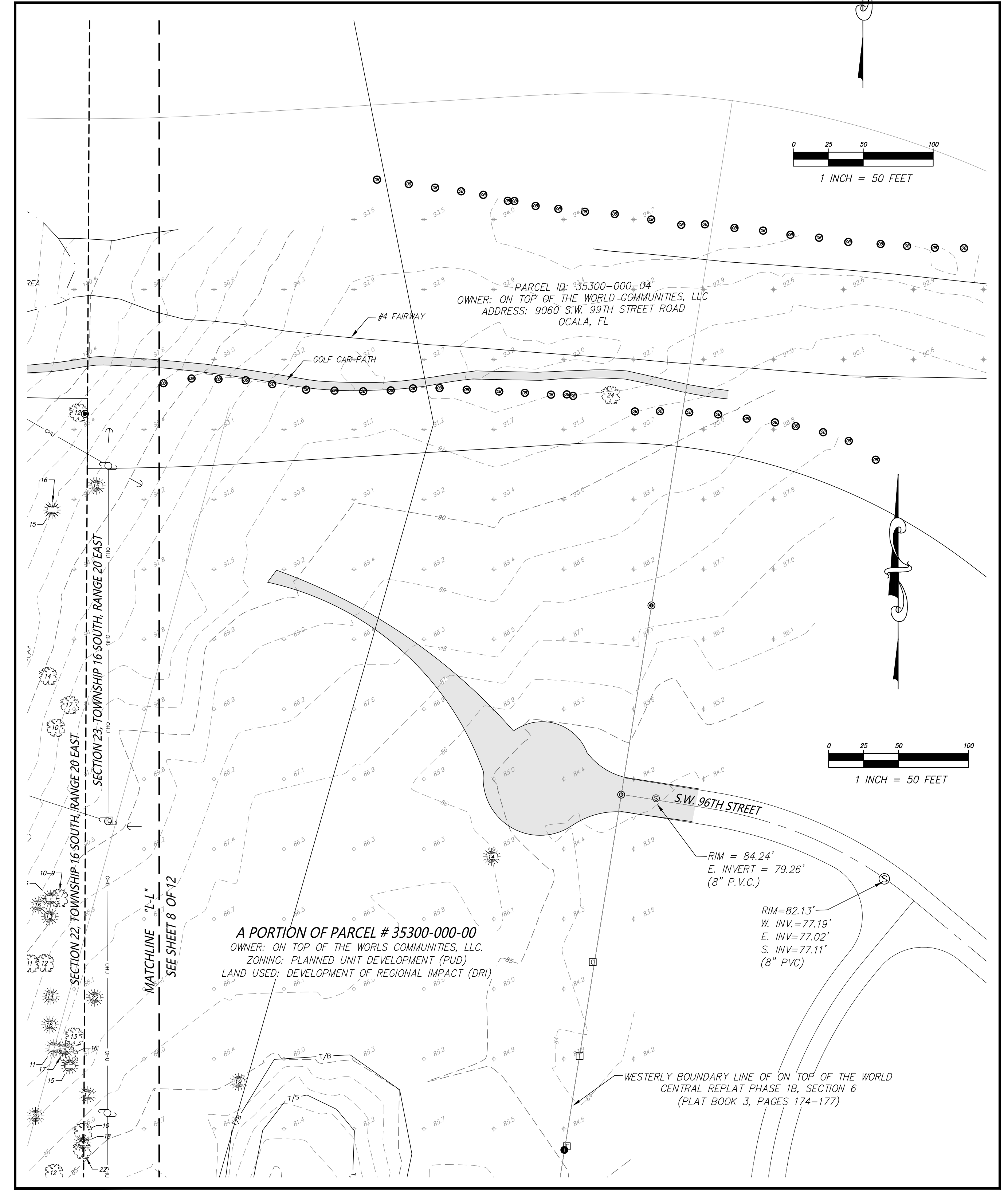
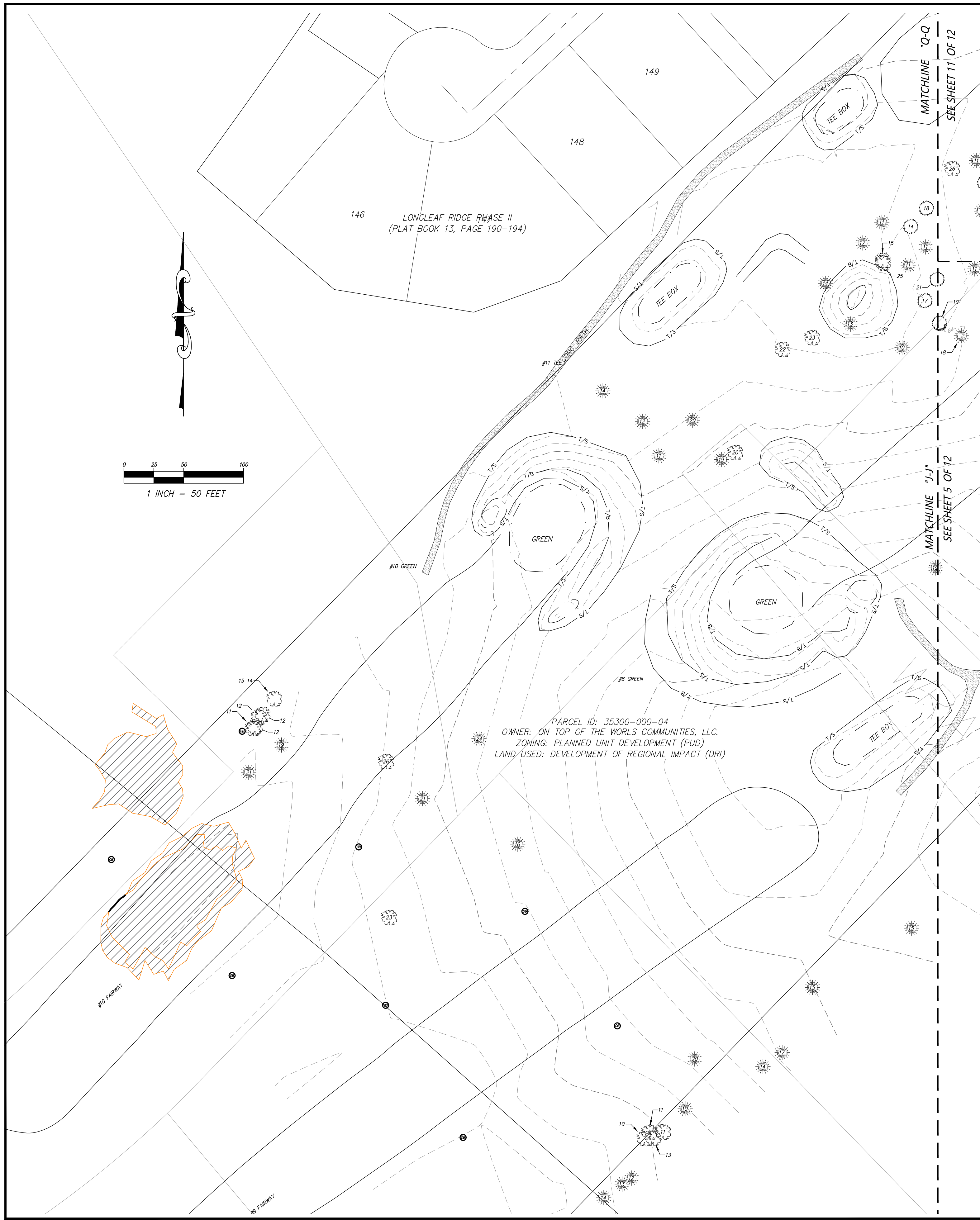
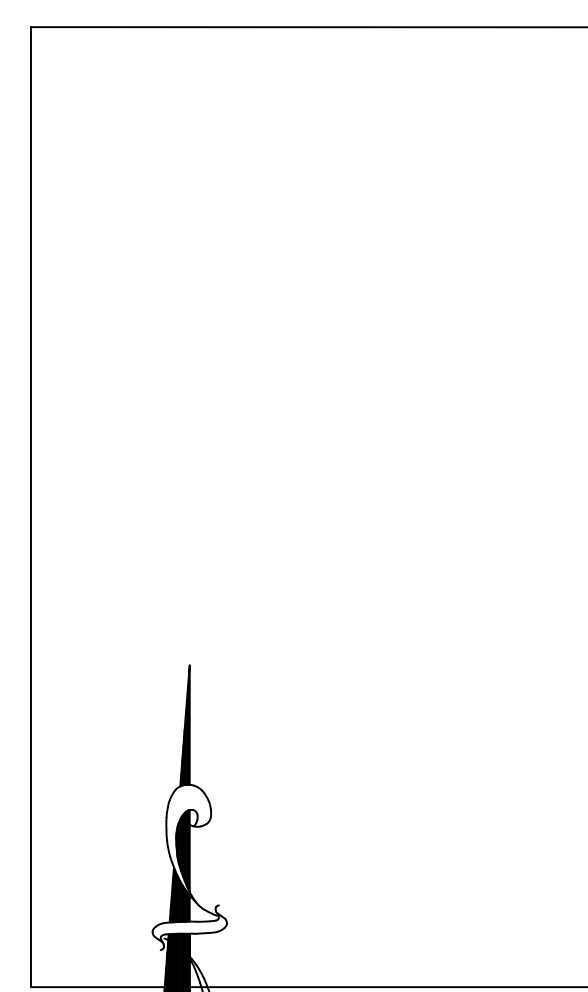
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 PLYMOUTH, FLORIDA 33448
 TEL: 407.272.0101
 WWW.JCHCONSULTING.COM

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 SHT 11 OF 12