

June 6, 2025

PROJECT NAME: CORTA COMMONS (REVISION TO AR 31416)

PROJECT NUMBER: 2024020064

APPLICATION: MAJOR SITE PLAN REVISION #32368

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Additional Stormwater comments  
STATUS OF REVIEW: INFO  
REMARKS: Per the waiver approved 2/3/2025, Stormwater staff would not object to the issuance of the permits that would have been approved through AR 3,1416 in the meeting from being issued before the completion of this revision.
- 2 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.H - A portrait oriented minimal 3 inches x 5 inches space, located 2.75 inches from the right edge of paper and .75 inches from the top edge of paper, shall remain blank to allow for a County approval stamp  
STATUS OF REVIEW: INFO  
REMARKS: 1/21/25-rearrange to include space as described
- 3 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval  
STATUS OF REVIEW: INFO  
REMARKS: 1/21/25-add waivers if requested in future
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: Additional Development Review Comments  
STATUS OF REVIEW: INFO  
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
- 5 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: MCUD DETAILS - current LDC version  
STATUS OF REVIEW: INFO  
REMARKS: C-403 Need to construct ARV per UT 316, even though it will be private. Add detail to the plan set.
- 6 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH  
REVIEW ITEM: Additional Health comments  
STATUS OF REVIEW: INFO  
REMARKS: Central Water/Central Sewer
- 7 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW  
REVIEW ITEM: Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."
2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]." (FB 1/22/25)

## 8 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: Additional Planning Items:

STATUS OF REVIEW: NO

REMARKS: [04/29/2025] PUD amendment under review. See comments below.

[Original Comments] 1) The Plan revises the project's northeast external access connection point, moving the access connection further east from a point connecting to the existing Wawa Convenience Store site to an access through the Samira Villas Subdivision. The change in access requires reconsideration through the County PUD Rezoning review process, including public hearings, pursuant to LDC Section 4.2.31.K(2)(b) directs that changes to the "(l)ocation of internal and external arterial collector streets and connections points between and to those streets within the development" requires "review and approval by the Board through the

PUD rezoning application process.” The proposed plan is not eligible for approval unless and until the change in the northeast access location noted obtains approval as noted. Please note that LDC Section 4.1.4.O notes “Use of residentially zoned property for access. No land which is residentially-zoned shall be used for driveway, walkway or access purposes to any land which is zoned for commercial, industrial, or institutional use;” while Samira Villas is not residentially zoned, that subdivision that includes an existing residential quadraplex on Lot 1 were established in the past consistent with then Marion County land development provisions. The anticipated replatting of Samira Villas Lots 3 and 4 within the overall replat of this project site would only affect those lots, and not the historic recognition of Lots 1 and 2.

2) Staff notes that this plan indicates Samira Villas Lot 2 has been acquired for the project and is proposed for integration; however, that site is not part of the project’s existing PUD zoned property, and NOT part of the originally proposed replat of the site, resulting the lot remaining as part of the Samira Villas Subdivision, which may have significant impacts on the use of that property, due to historic requirements of that subdivision, and additionally, it will affect the site plan and plat reviews of the project as possible improvements will be located off-site/outside the boundary/perimeter of the planned subdivision replat. This additionally acquired land needs to be adequately addressed in regards to the site zoning, site plan, and replat.

Final Plat needs to be approved



**Marion County  
Board of County Commissioners**

32368

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Date: 6/5/25 Parcel Number(s): See separate page multiple parcels Permit Number: AR 31416/32368

**A. PROJECT INFORMATION:** Fill in below as applicable:

Project Name: CORTA Commons Commercial  Residential   
Subdivision Name (if applicable): CORTA Commons - Ocala West (Final Plat Final Review Processing)  
Unit \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_ Tract \_\_\_\_\_

**B. PROPERTY OWNER'S AUTHORIZATION:** The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): CORTA Ocala, LLC Cory Presnick, Manager  
Signature: \_\_\_\_\_  
Mailing Address: 1112 1st Street City: Neptune Beach  
State: FL Zip Code: 32266 Phone # 404-625-5119  
Email address: cpresnick@cortadev.com

**C. APPLICANT INFORMATION:** The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): CORTA Ocala, LLC Contact Name: Cory Presnick  
Mailing Address: 1112 1st Street City: Neptune Beach  
State: FL Zip Code: 32266 Phone # 404-625-5119  
Email address: cpresnick@cortadev.com

**D. WAIVER INFORMATION:**

Section & Title of Code (be specific): 2.1.3 Review and approval procedures  
Reason/Justification for Request (be specific): Request to remove Building Inspection Holds and permit final electrical electrical, structural & final building inspections. Major Site Plan AR #32368 (Revision of AR #31416) Bocc Approved. Construction of all building, site and off-site completing by 6/13 as-builts ongoing. Final Plat pending AR #31766. BLD2024053294 (Sprouts Grocery Store) BLD2024050635 (Chipotle Building), BLD2025021919 (Chipotle Dumpster

**DEVELOPMENT REVIEW USE:**

Received By: email 6/5/25 Date Processed: 6/3/25 kh Project # 2024020064 AR # 32368

**ZONING USE:** Parcel of record: Yes  No  Eligible to apply for Family Division: Yes  No   
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ P.O.M. \_\_\_\_\_ Land Use: \_\_\_\_\_ Plat Vacation Required: Yes  No   
Date Reviewed: \_\_\_\_\_ Verified by (print & initial): \_\_\_\_\_



**Marion County  
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

32368

**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Date: 5/28/25 Parcel Number(s): See separate page multiple parcels Permit Number: AR 31416/32368

**A. PROJECT INFORMATION:** Fill in below as applicable:

Project Name: CORTA Commons Commercial  Residential   
Subdivision Name (if applicable): CORTA Commons (plat pending staff final reviews)  
Unit \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_ Tract \_\_\_\_\_

**B. PROPERTY OWNER'S AUTHORIZATION:** The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): CORTA Ocala, LLC Cory Presnick, Manager  
Signature: \_\_\_\_\_  
Mailing Address: 1112 1st Street City: Neptune Beach  
State: FL Zip Code: 32266 Phone # 404-625-5119  
Email address: cpresnick@cortadev.com

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Mailing Address: 1112 1st Street City: Neptune Beach  
State: FL Zip Code: 32266 Phone # 404-625-5119  
Email address: cpresnick@cortadev.com

**D. WAIVER INFORMATION:**

Section & Title of Code (be specific): 2.1.3 Review and approval procedures  
Reason/Justification for Request (be specific): This request is to permit an outparcel building for Tropical Smoothie Cafe BLD 2024072405 as part of the approved AR #31416 and related AR #32368 which both are fully approved by BoCC but staff has not cleared Plat Application #31766 nor AR #32368 which had comments due 4/29/25 and was only to be pending BoCC approval and this is causing us to again come to DRC pending internal portal approvals.

**DEVELOPMENT REVIEW USE:**

Received By: email 5/28/25 Date Processed: 6/6/25 kh Project # 2024020064 AR # 32268

**ZONING USE:** Parcel of record: Yes  No  Eligible to apply for Family Division: Yes  No   
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ P.O.M. \_\_\_\_\_ Land Use: \_\_\_\_\_ Plat Vacation Required: Yes  No   
Date Reviewed: \_\_\_\_\_ Verified by (print & initial): \_\_\_\_\_

# MAJOR SITE PLAN FOR CORTA COMMONS

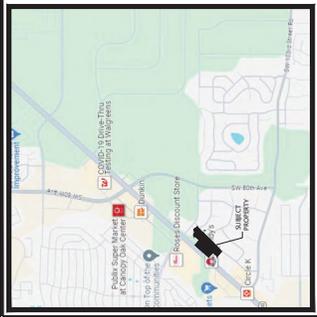
SECTIONS 24 & 25, TOWNSHIP 16S, RANGE 20E

|              |              |              |              |
|--------------|--------------|--------------|--------------|
| 3501-200-018 | 3501-200-022 | 3501-200-036 | 3501-200-040 |
| 3501-200-019 | 3501-200-023 | 3501-200-037 | 3501-400-002 |
| 3501-200-020 | 3501-200-034 | 3501-200-038 | 3501-400-003 |
| 3501-200-021 | 3501-200-035 | 3501-200-039 | 3501-400-004 |

## PHYSICAL ADDRESSES:

|                                     |                              |
|-------------------------------------|------------------------------|
| CHIPOTLE - 8440 SW HWY 200          | SHOPPES #1 - 8422 SW HWY 200 |
| SPROUTS - 8430 SW HWY 200           | SHOPPES #2 - 8424 SW HWY 200 |
| SHOPPES #3 - 8426 SW HWY 200        | SHOPPES #4 - 8428 SW HWY 200 |
| TROPICAL SMOOTHIE - 8410 SW HWY 200 |                              |

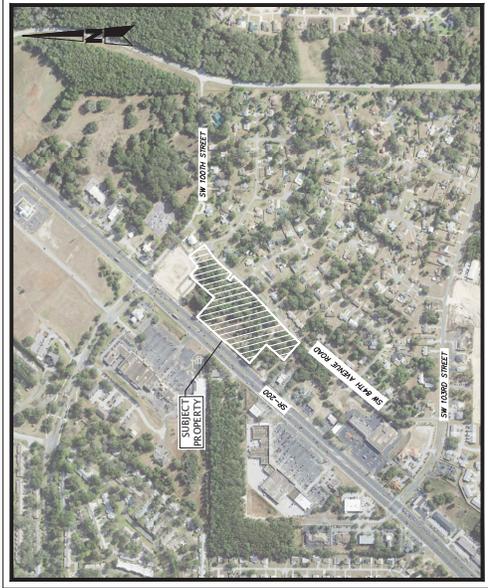
OCALA, MARION COUNTY, FLORIDA



VICINITY MAP  
SCALE 1" = 2000'

## GENERAL NOTES:

- BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY DATED FEBRUARY 12, 2025. THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
- ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 120160, MAP PANEL NUMBER 120830886E, EFFECTIVE DATE APRIL 19, 2017, THIS SUBJECT PROPERTY IS LOCATED WITHIN THE FLOOD HAZARD ZONE (FHAZ) OF THE FLOOD INSURANCE MAP. THE SUBJECT PROPERTY IS TO FALL WITHIN THE TOP OF BANK LIMITS OF THE FLOOD WITHIN THE FLOOD HAZARD ZONE AS DEPICTED ON THE SURVEY REFERENCED ABOVE. BASE FLOOD ELEVATION OF 79.2 FT (NAVD83).
- SURFACE INFORMATION SHOWN HEREON IS TAKEN FROM A REPORT ENTITLED "GEO-TECHNICAL INVESTIGATION OF SOILS AND FOUNDATIONS" DATED FEBRUARY 12, 2025, PREPARED BY ANDREW ENGINEERING, INC. DATED NOVEMBER 1, 2022.
- IN THE EVENT OF INCONSISTENCIES BETWEEN PARTS OF THE CONSTRUCTION PLANS OR BETWEEN THE CONSTRUCTION PLANS AND THE SURVEY, THE CONSTRUCTION PLANS SHALL PREVAIL UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS AND PERMIT CONDITIONS FROM LOCAL, STATE, AND FEDERAL AGENCIES AND AGENCIES OF THE STATE OF FLORIDA. ALL APPLICABLE PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD PLANS AND CITY OF MEMPHIS PUBLIC WORKS SPECIFICATIONS AND REQUIREMENTS, AND REQUIREMENTS.
- THE LOCATIONS AND PROPOSED RELOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND STRUCTURES AND MARKINGS PROVIDED BY UTILITY COMPANIES AND UTILITIES. UTILITY LOCATIONS MAY VARY FROM LOCATIONS SHOWN AND ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATIONS AND CRITICAL ELEVATIONS OF ALL UNDERGROUND UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY SUNSHINE ONE 811 TO REQUEST UTILITY LOCATES AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL FOLLOW UP WITH LISTED UTILITY PROVIDERS TO CONFIRM THE LOCATION OF THEIR FACILITIES WITHIN THE PROJECT AREA.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL MEANS AND METHODS ASSOCIATED TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, PHASING, INTERIM LOCATES, DRAINAGE, AND EROSION CONTROL MEASURES.
- THE CONTRACTOR SHALL USE A CERTIFIED CONSTRUCTION MATERIALS TESTING LABORATORY TO CONDUCT ALL STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION AND PALCO COUNTY PUBLIC WORKS SPECIFICATIONS AND REQUIREMENTS, LATEST EDITIONS.
- UPON COMPLETION OF CONSTRUCTION, BEFORE REQUESTING FINAL INSPECTION BY THE ENGINEER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL INCLUDE (BUT NOT LIMITED TO) THE FOLLOWING INFORMATION: ALL INFORMATION SHALL INCLUDE (BUT NOT LIMITED TO) ELEVATIONS, DRAINAGE STRUCTURES, WEIRS, LOCATIONS OF STRUCTURES FOR ALL ELEVATIONS FOR FLOOD AND DITCH/SWALE CONSTRUCTION, AND GRADE BEAR, LOCATIONS AND CONDITIONS, BUILDINGS, AND STRUCTURES EXCEPT WHERE DIMENSIONS ARE SHOWN.
- DO NOT SCALE DRAWINGS, AS THEY ARE NOT TO SCALE AND DIMENSIONS ARE SHOWN.
- THIS PLAN DOES NOT DEPICT ENVIRONMENTAL CONDITIONS OR A WARRANTY REGARDING THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR CONTAMINATED AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL INCLUDE (BUT NOT LIMITED TO) ELEVATIONS, DRAINAGE STRUCTURES, WEIRS, LOCATIONS OF STRUCTURES FOR ALL ELEVATIONS FOR FLOOD AND DITCH/SWALE CONSTRUCTION, AND GRADE BEAR, LOCATIONS AND CONDITIONS, BUILDINGS, AND STRUCTURES EXCEPT WHERE DIMENSIONS ARE SHOWN.
- THE SUBJECT PROPERTY IS LOCATED WITHIN MARION COUNTY'S SECOND SPRINGS PROTECTION ZONE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL INCLUDE (BUT NOT LIMITED TO) ELEVATIONS, DRAINAGE STRUCTURES, WEIRS, LOCATIONS OF STRUCTURES FOR ALL ELEVATIONS FOR FLOOD AND DITCH/SWALE CONSTRUCTION, AND GRADE BEAR, LOCATIONS AND CONDITIONS, BUILDINGS, AND STRUCTURES EXCEPT WHERE DIMENSIONS ARE SHOWN.
- NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER AND THE OFFICE OF THE COUNTY ENGINEER.
- THIS PROPOSED PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RECEIVED ANY PUBLIC FACILITY CAPACITY. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE RESERVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL INCLUDE (BUT NOT LIMITED TO) ELEVATIONS, DRAINAGE STRUCTURES, WEIRS, LOCATIONS OF STRUCTURES FOR ALL ELEVATIONS FOR FLOOD AND DITCH/SWALE CONSTRUCTION, AND GRADE BEAR, LOCATIONS AND CONDITIONS, BUILDINGS, AND STRUCTURES EXCEPT WHERE DIMENSIONS ARE SHOWN.



KEY MAP  
SCALE 1" = 300'

## TRAFFIC IMPACT STATEMENT:

THE PROPOSED PROJECT PRODUCES 186 PEAK PM TRIPS

| Land Use & Data Source                          | Location       | Size            | Time Period                                  | Method         | Entry | Exit | Total |
|---|----------------|-----------------|--|----------------|-------|------|-------|
| 800 - Supermarket                               | General        | 1000 Sq. Ft. GA | Weekday Peak Hour of Adjacent Street Traffic | Best Fit (LOS) | 23    | 11   | 28    |
| Date Source: Trip Generation Manual, 11th Ed    | Urban/Suburban | 1000 Sq. Ft. GA | Weekday Peak Hour of Adjacent Street Traffic | Best Fit (LOS) | 18    | 18   | 36    |
| 822 - Strip Retail Plaza (400)                  | General        | 1000 Sq. Ft. GA | Weekday Peak Hour of Adjacent Street Traffic | Average        | 25    | 27   | 56    |
| Date Source: Trip Generation Manual, 11th Ed    | Urban/Suburban | 1000 Sq. Ft. GA | Weekday Peak Hour of Adjacent Street Traffic | Best Fit (LOS) | 15    | 12   | 27    |
| 834 - Fast Food Restaurant with Drive Through   | General        | 1000 Sq. Ft. GA | Weekday Peak Hour of Adjacent Street Traffic | Best Fit (LOS) | 21    | 11   | 32    |
| 891 - Fast Casual Restaurant                    | Urban/Suburban | 1000 Sq. Ft. GA | Weekday Peak Hour of Adjacent Street Traffic | Average        | 28    | 18   | 46    |
| 922 - Multi-Family Housing (Low-Rise)           | General        | Dwelling Units  | Weekday Peak Hour of Adjacent Street Traffic | Average        | 28    | 18   | 46    |
| Date Source: Trip Generation Manual, 11th Ed    | Urban/Suburban | 1000 Sq. Ft. GA | Weekday Peak Hour of Adjacent Street Traffic | Average        | 28    | 18   | 46    |
| 932 - High-Turnover (Site-Delivered) Restaurant | General        | 1000 Sq. Ft. GA | Weekday Peak Hour of Adjacent Street Traffic | Average        | 28    | 18   | 46    |
| Date Source: Trip Generation Manual, 11th Ed    | Urban/Suburban | 1000 Sq. Ft. GA | Weekday Peak Hour of Adjacent Street Traffic | Average        | 28    | 18   | 46    |

**M STOKES CONSULTING**  
P.O. BOX 22821  
TAMPA, FL 33622  
813.724.4199  
INFO@MSTOKESCONSULTING.COM  
FLORIDA BUSINESS REGISTRY NO. 3448

| REV | DATE     | DESCRIPTION                              |
|-----|----------|--|
| 11  | 04/16/25 | REVISED PER SW 100TH ACCESS MODIFICATION |
| 10  | 07/27/25 | REVISED PER SW 100TH ACCESS MODIFICATION |
| 9   | 07/27/25 | REVISED PER SW 100TH ACCESS MODIFICATION |
| 8   | 07/27/25 | REVISED PER SW 100TH ACCESS MODIFICATION |
| 7   | 07/27/25 | REVISED PER SW 100TH ACCESS MODIFICATION |
| 6   | 07/27/25 | REVISED PER SW 100TH ACCESS MODIFICATION |
| 5   | 07/27/25 | REVISED PER SW 100TH ACCESS MODIFICATION |
| 4   | 07/27/25 | REVISED PER SW 100TH ACCESS MODIFICATION |
| 3   | 07/27/25 | REVISED PER SW 100TH ACCESS MODIFICATION |
| 2   | 07/27/25 | REVISED PER SW 100TH ACCESS MODIFICATION |
| 1   | 07/27/25 | REVISED PER SW 100TH ACCESS MODIFICATION |

**SunshineONE**  
Call 811 or visit sunshineone.com before digging to avoid buried facilities located and marked. Check positive response codes before your dig!

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

**MAJOR SITE PLAN**  
**CORTA COMMONS**  
FOR  
**CORTA OCALA, LLC**  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

**COVER SHEET**  
PROJECT TITLE  
PROJECT NO.: 231306  
CHECKED BY: JPS  
DATE: 04/16/25  
SHEET NUMBER  
**C-001**

| SHEET NO. | SHEET TITLE                                 | LAST REVISED | SHEET NO. | SHEET TITLE                            | LAST REVISED |
|-----------|---|--------------|-----------|--|--------------|
| C-001     | COVER SHEET                                 | 04/16/25     | C-003     | UTILITY PLAN (SOUTH)                   | 02/27/25     |
| C-002     | PROJECT GENERAL NOTES SHEET                 | ---          | C-004     | SANITARY FORECARRIER PROFILE           | 01/22/25     |
| C-003     | PRODUCTION, BIDDING & SCHEDULE CONTROL PLAN | 01/07/25     | C-005     | FDP WATER & SEWER NOTES                | 01/22/25     |
| C-004     | EROSION & SEDIMENT CONTROL DETAILS          | ---          | C-001     | CONSTRUCTION DETAILS                   | ---          |
| C-101     | OVERALL SITE PLAN WITH AERIAL               | 02/27/25     | C-302     | CONSTRUCTION DETAILS                   | 6/12/24      |
| C-102     | OVERALL DIMENSION & LAYOUT PLAN             | 04/16/25     | C-303     | CONSTRUCTION DETAILS                   | ---          |
| C-103     | DIMENSION & LAYOUT PLAN (NORTH)             | 04/16/25     | C-304     | DRAINAGE DETAILS                       | ---          |
| C-104     | DIMENSION & LAYOUT PLAN (SOUTH)             | 04/16/25     | C-305     | DRAINAGE DETAILS                       | ---          |
| C-105     | OVERALL SLOPING & MARKING PLAN              | 01/07/25     | C-306     | DETAIL SHEET REMOVED                   | 01/07/25     |
| C-106     | TRUCK TURN INHIBIT                          | ---          | C-307     | MARION COUNTY UTILITY DETAILS          | 6/12/24      |
| C-201     | FOOT TURN LANE HORIZONTAL PLAN              | 9/29/24      | C-308     | MARION COUNTY UTILITY DETAILS          | 6/12/24      |
| C-202     | FOOT TURN LANE VERTICAL PLAN & SECTIONS     | 9/29/24      | C-309     | MARION COUNTY UTILITY DETAILS          | 6/12/24      |
| C-203     | FOOT RIGHT-OF-WAY DETAILS                   | 9/29/24      | C-310     | MARION COUNTY UTILITY DETAILS          | 6/12/24      |
| C-204     | FOOT RIGHT-OF-WAY DETAILS                   | 9/29/24      | C-311     | LEFT STATION DETAILS & SPECIFIC NOTES  | 01/22/25     |
| C-205     | FOOT MAINTENANCE OF TRAFFIC PLAN            | 9/29/24      | C-602     | EXTERIOR LIGHTING PHOTOGRAPHIC PLAN    | ---          |
| C-301     | OVERALL GRADING & DRAINAGE PLAN             | 01/07/25     | C-602     | SITE LIGHTING DETAILS & SPECIFICATIONS | 12/16/24     |
| C-302     | GRADING & DRAINAGE PLAN (NORTH)             | 04/16/25     | L-51      | LANDSCAPE NOTES & DETAILS              | 12/16/24     |
| C-303     | GRADING & DRAINAGE PLAN (SOUTH)             | 01/07/25     | L-52      | LANDSCAPE PLAN                         | 12/16/24     |
| C-304     | CROSS SECTIONS                              | 01/07/25     | L-53      | LANDSCAPE PLAN                         | 12/16/24     |
| C-305     | CROSS SECTIONS                              | 01/07/25     | IR-1      | IRRIGATION NOTES & DETAILS             | 12/16/24     |
| C-401     | OVERALL UTILITY PLAN                        | 02/27/25     | IR-2      | IRRIGATION PLAN                        | 12/16/24     |
| C-402     | UTILITY PLAN (NORTH)                        | 04/16/25     | IR-3      | IRRIGATION PLAN                        | 12/16/24     |

| LAND COVER       | AREA (SQ. FT.) | AREA (AC) | AREA (W) | TOTAL AREA (AC) |
|------------------|----------------|-----------|----------|-----------------|
| OPEN SPACE       | 398,545        | 91.5      | 94.2%    | 971             |
| IMPERVIOUS       | 24,300         | 0.56      | 5.8%     |                 |
| POST DEVELOPMENT | 138,560        | 3.18      | 30.9%    |                 |
| IMPERVIOUS       | 273,925        | 6.29      | 61.1%    | 10.29           |
| DNA (DHW)        | 35,720         | 0.82      | 8.0%     |                 |

**ENGINEER'S CERTIFICATION**  
I, JOHN J. STOECKEL, P.E., LICENSE NO. 80758, A PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA, HEREBY CERTIFY THAT I AM THE REGISTERED PROFESSIONAL ENGINEER OF RECORD FOR THIS PROJECT. I HAVE REVIEWED THE PLANS AND SPECIFICATIONS AND AM SURE THAT THEY COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS NOTED.

**OWNER'S CERTIFICATION**  
I, JOHN J. STOECKEL, P.E., LICENSE NO. 80758, A PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA, HEREBY CERTIFY THAT I AM THE REGISTERED PROFESSIONAL ENGINEER OF RECORD FOR THIS PROJECT. I HAVE REVIEWED THE PLANS AND SPECIFICATIONS AND AM SURE THAT THEY COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS NOTED.

DATE: 04/16/25  
DATE: 04/16/25





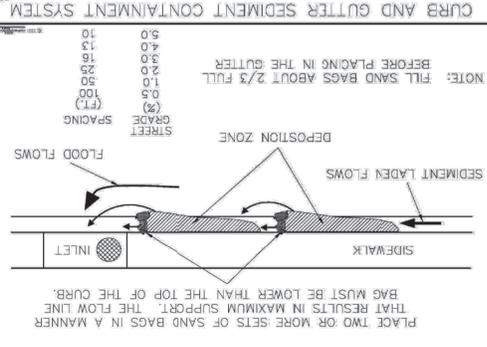


Figure V-19: Illustration of a Curb and Gutter Sediment Containment System

V-40

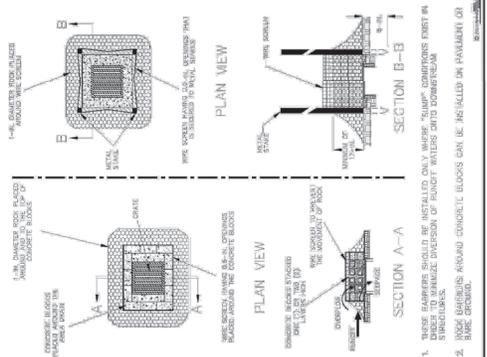


Figure V-13: Illustration of Rock Barriers around Area Drains

V-32

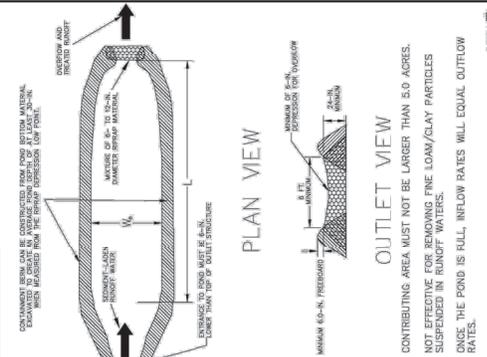


Figure V-13: Illustration of a Single Chamber SCS

V-32

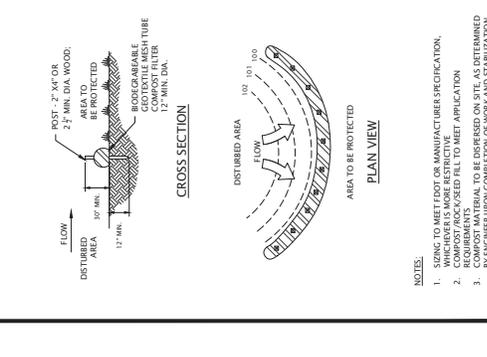


Figure V-13: Illustration of a Compost Filter Sock Detail

N.T.S.

**MJ STOKES CONSULTING**

P.O. BOX 22821  
TAMPA, FL 33622  
813.724.199  
INFO@MJSTOKESCONSULTING.COM  
FLORIDA BUSINESS REGISTRY NO. 3448

| REV | DATE  | DESCRIPTION   |
|-----|-------|---|
| 01  | 07/24 | REVISION #1 ZONING APPROVAL, COUNTY & SWAMP REVIEW COMMENTS |
| 02  | 08/09 | REVISION #2 COUNTY SWAMP & FOOT REVIEW COMMENTS             |
| 03  | 08/24 | REVISION #3 SWAMP REVIEW COMMENTS                           |
| 04  | 09/24 | REVISION #4 FOOT ACCESS & FORKHEIM RELOCATION               |
| 05  |       |   |
| 06  |       |   |
| 07  |       |   |
| 08  |       |   |
| 09  |       |   |
| 10  |       |   |

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**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

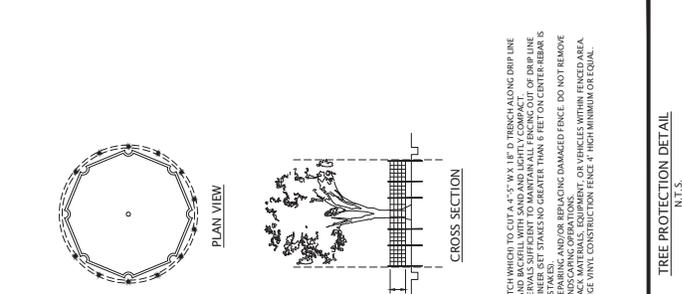
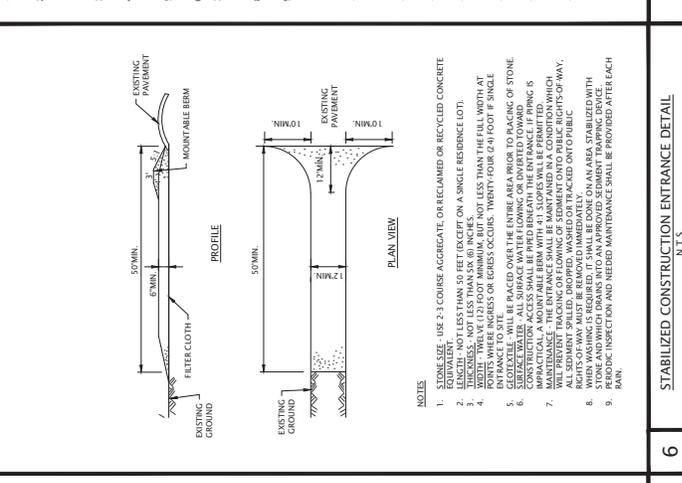
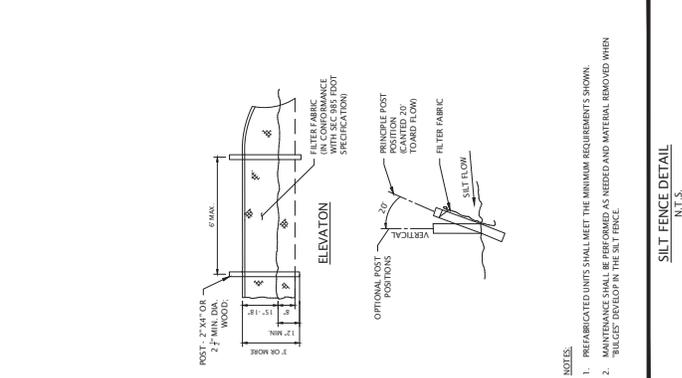
**PROJECT NAME**  
MAJOR SITE PLAN  
CORTA COMMONS

**FOR**  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

**SHEET TITLE**  
EROSION & SEDIMENT  
CONTROL DETAILS

**PROJECT NO.** 201306  
**CHECKED BY:** JPS  
**DATE:** 08/09/13  
**SCALE:** AS SHOWN  
**SHEET NUMBER**

**C-004**



| NO. | CONSTRUCTION SEQUENCE  |
|-----|--|
| 1.  | THE ENGINEERING SHALL BE NOTIFIED IN WRITING AT LEAST 72 HOURS PRIOR TO THE START OF ANY WORK.   |
| 2.  | PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENT CONTROLS AS PER THE APPROVED PLANS, WHICH INCLUDES THE INSTALLATION OF EROSION CONTROL MEASURES TO PREVENT SOIL EROSION AND SEDIMENT CONTROL TO THE LATEST VERSION OF THE FLORIDA TOWN AND WATER EROSION AND SEDIMENT CONTROL INSPECTION MANUAL.   |
| 3.  | PRIOR TO INITIATING DISTURBANCE, AN INSPECTION OF THE EROSION CONTROLS IS REQUIRED AND THE JURISDICTION HAVING AUTHORITY SHALL BE NOTIFIED.  |
| 4.  | CONSTRUCT AND MAINTAIN THE CONSTRUCTION ENTRANCES AS SHOWN ON THE PLANS AND THE CONSTRUCTION ENTRANCES SHALL BE SET UP IN THE LOCATIONS DESIGNATED ON THE PLANS.   |
| 5.  | REMOVE EXISTING SITE IMPROVEMENTS, SIDEWALKS, PAVEMENT, CURBING, ETC. AS SHOWN ON THE DEMOLITION PLAN (AS APPLICABLE).   |
| 6.  | INSTALL DRAINAGE SYSTEM AS NECESSARY.  |
| 7.  | PROVIDE GRADE FOR THE SITE BASED ON THE GRADING PLAN TO THE APPROPRIATE BUILDING PAD ELEVATIONS. EXCAVATE FOR AND CONSTRUCT THE DRAINAGE IMPROVEMENTS PROGRESSING UPSTREAM.  |
| 8.  | CONSTRUCT BUILDING FOUNDATIONS. INSTALL PROPOSED UTILITIES, CURBING AND THEN PAVE (BASE COURSE DRIVE ALLEYS).  |
| 9.  | STABILIZATION - THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS POSSIBLE AFTER THE CONSTRUCTION OF THE BUILDINGS. STABILIZATION MEASURES SHALL BE TEMPORARILY OR PERMANENTLY CEASED. STABILIZATION MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER CAN BE VEGETATIVE (E.G. GRASS, BERMUDA, FESCUE, STYRIS, OR TURF OR NON-VEGETATIVE (E.G. GEOTEXTILES, RIP RAP, OR CARBONS). |
| 10. | MAINTENANCE - SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPS WHEREVER THEIR CAPACITY HAS BEEN REDUCED BY TWENTY-FIVE (25) PERCENT FROM THE DESIGN CAPACITY. PERIODIC SEDIMENT DEPTH MEASUREMENTS SHOULD BE INSTALLED TO MONITOR THE CAPACITY.   |
| 11. | FINALIZE CONSTRUCTION OF SITE IMPROVEMENTS INCLUDING THE BUILDINGS, SIDEWALKS, LANDSCAPE AREAS, SIGNAGE, LIGHTING AND ANY OTHER OUTSTANDING ITEMS.   |
| 12. | AFTER COMPLETION OF CONSTRUCTION, FINISH GRADE TO FINAL ELEVATIONS AND APPLY SEED OR SOIL ON ALL LAWN AREAS.   |
| 13. | AFTER STABILIZATION HAS BEEN ESTABLISHED CLEAR DRAINAGE PIPES AND STRUCTURES OF ANY KIND WHICH MAY HAVE ACCUMULATED. REMOVE ALL EROSION CONTROL MEASURES.  |
| 14. | MAINTAIN ALL LAWN AND LANDSCAPED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.   |
| 15. | ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE REQUIRED AND REQUESTED BY AUTHORITY, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LAID IN RUNOFF FROM ENTERING A WATER COURSE OF A DRAINAGE SYSTEM.   |
| 16. | THE GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES DOES NOT REQUIRE THE INSTALLATION OF SILT TRAPS OR CHECK DAMS TO CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.  |

| NO. | CONSTRUCTION SEQUENCE  |
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| 1.  | PRE-FABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.  |
| 2.  | MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE. |

| NO. | CONSTRUCTION SEQUENCE  |
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| 1.  | USE TRENDER I.E. DITCH WHICH TO CUT A 4" X 4" X 4" I.P.C. D TRENDING DRIP LINE OR AS SHOWN BY ENGINEER SET STAKES NO GREATER THAN 6 FEET ON CENTER REBAR S OR AS SHOWN BY ENGINEER SET STAKES NO GREATER THAN 6 FEET ON CENTER REBAR S |
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| 4.  | FENCING SHALL BE ORANGE VINYL CONSTRUCTION FENCE 4" HIGH MINIMUM OR EQUAL.   |
| 5.  | FENCES SHALL BE ORANGE VINYL CONSTRUCTION FENCE 4" HIGH MINIMUM OR EQUAL.  |

| NO. | CONSTRUCTION SEQUENCE  |
|-----|--|
| 1.  | USE TRENDER I.E. DITCH WHICH TO CUT A 4" X 4" X 4" I.P.C. D TRENDING DRIP LINE OR AS SHOWN BY ENGINEER SET STAKES NO GREATER THAN 6 FEET ON CENTER REBAR S OR AS SHOWN BY ENGINEER SET STAKES NO GREATER THAN 6 FEET ON CENTER REBAR S |
| 2.  | SPAC STAKES AT INTERVALS SUFFICIENT TO MAINTAIN ALL FENCING OUT OF DRIP LINE   |
| 3.  | MAINTAIN FENCE BY REPAIRING AND/OR REPLACING DAMAGED FENCE. DO NOT REMOVE FENCING PRIOR TO LANDSCAPING OPERATIONS.   |
| 4.  | FENCING SHALL BE ORANGE VINYL CONSTRUCTION FENCE 4" HIGH MINIMUM OR EQUAL.   |
| 5.  | FENCES SHALL BE ORANGE VINYL CONSTRUCTION FENCE 4" HIGH MINIMUM OR EQUAL.  |

| NO. | CONSTRUCTION SEQUENCE |
|-----|-----------------------|
|-----|-----------------------|

**OWNER/APPLICANT:**  
 CORTA OCALA, LLC  
 10000 W. UNIVERSITY BLVD  
 SUITE 100  
 TAMPA, FL 33617  
 ATTN: CORI PRESHNIK

**PARCEL INFORMATION:**  
 EXISTING ZONING DESIGNATION: P-2 (COMMERCIAL BUSINESS)  
 PROPOSED ZONING DESIGNATION: PUD (PLANNED UNIT DEVELOPMENT)  
 PARCEL ID:  
 3501-200-018 3501-200-023 3501-200-028 3501-200-033 3501-400-040  
 3501-200-018 3501-200-023 3501-200-028 3501-200-033 3501-400-040  
 3501-200-020 3501-200-024 3501-200-038 3501-400-063  
 3501-200-021 3501-200-035 3501-200-039 3501-400-064

**SITE AREA: 49.22 ACRES**  
 TOTAL ACRES: 100.00  
 PHYSICAL ADDRESSES:  
 SHOPS #1 - 8428 SW HWY 200  
 SHOPS #2 - 8428 SW HWY 200  
 SHOPS #3 - 8428 SW HWY 200  
 SHOPS #4 - 8428 SW HWY 200  
 SHOPS #5 - 8428 SW HWY 200  
 SHOPS #6 - 8428 SW HWY 200  
 SHOPS #7 - 8428 SW HWY 200  
 SHOPS #8 - 8428 SW HWY 200  
 SHOPS #9 - 8428 SW HWY 200  
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 SHOPS #96 - 8428 SW HWY 200  
 SHOPS #97 - 8428 SW HWY 200  
 SHOPS #98 - 8428 SW HWY 200  
 SHOPS #99 - 8428 SW HWY 200  
 SHOPS #100 - 8428 SW HWY 200

- GENERAL NOTES:**
- BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY DATED 02/12/2025. THE SURVEY WAS CONDUCTED BY CHW PROFESSIONAL CONSULTANTS, LAST REVISED FEBRUARY 12, 2025.
  - THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
  - ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 12010, MAP PANEL NUMBER 13820, THE EFFECTIVE DATE OF THE FLOOD INSURANCE MAP IS 01/12/2025. THE AREA APPEARS TO FALL WITHIN THE TOP OF BANK (LOTT) OF THE FLOOD WITHIN LOT 3 OF SANRA WILKAS AS DEPICTED ON THE SURVEY REFERENCED ABOVE. BASE FLOOD ELEVATION OF 10.24' (TWIG06).
  - PHOTOMETRIC INVESTIGATION, PROPOSED SPOUTS AND LOGS RETAIL DEVELOPMENT, STATE ROAD 700 AND SOUTHWEST 100TH STREET, OCALA, MARION COUNTY, FLORIDA, PREPARED BY ANDRETTI ENGINEERING, INC. DATED NOVEMBER 3, 2022.



SCALE 1" = 50'

P.O. BOX 22821  
 TAMPA, FL 33622  
 813.724.199  
 INFO@MSTOCKSCONSULTING.COM  
 FLORIDA BUSINESS REGISTRY NO. 3448

| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 10  | 12/23/25 | REVISED PER SHOPPER UTILITY MODIFICATIONS & REVIEW COMMENTS  |
| 09  | 12/23/25 | REVISED PER PDR WASTEWATER PERMIT REVIEW                     |
| 08  | 10/07/24 | PERMIT MODIFICATION REVIEW - ACCESS, UTILITY, DRAINAGE       |
| 07  | 10/07/24 | REVISIONS FROM RE-DESIGN FOR PERMIT MODIFICATION SUBMITTAL   |
| 06  | 09/17/24 | REVISIONS FOR CROSS COMMENTS & LOWEST SITE AT T/C            |
| 05  | 09/17/24 | REVISIONS FOR FOOT ACCESS & ON-SITE CROSS ACCESS/ROAD        |
| 04  | 09/20/24 | REVISIONS FOR FOOT ACCESS & FORDCROWN RELOCATION             |
| 03  | 09/20/24 | REVISION TO BURIED PER RESOLUTION                            |
| 02  | 09/20/24 | REVISION PER COUNTY, SANITARY & FOOT REVIEW COMMENTS         |
| 01  | 01/23/24 | REVISION PER ZONING APPROVAL, COUNTY & SWPMD REVIEW COMMENTS |

**Sunshine**  
 Call 877 or visit sunshine.com for more information. All business days before closing to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOCKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 80908

PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**  
 FOR  
**CORTA OCALA, LLC**  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

SHEET TITLE  
**OVERALL SITE PLAN**  
**W/ AERIAL**

PROJECT NO: 231396  
 CHECKED BY: JJS  
 DATE: 02/12/2025  
 SHEET NUMBER  
**C-101**



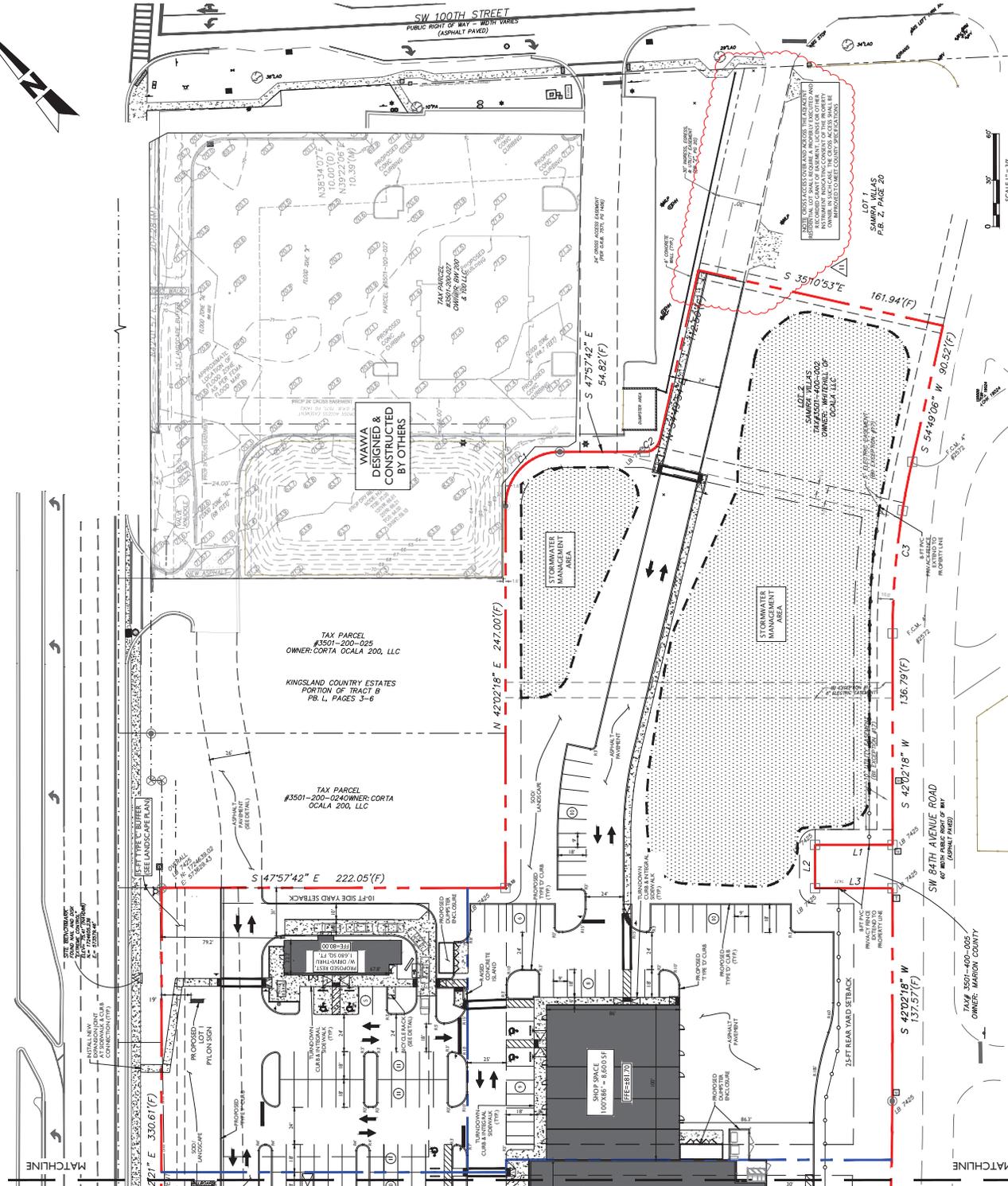
| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 11  | 11/16/25 | REVISED PER SW 100TH ACCESS MODIFICATION                       |
| 10  | 12/27/25 | REVISED PER SHOPPER UTILITY MODIFICATIONS & REVIEW COMMENTS    |
| 9   | 12/23/24 | REVISED PER PDR WASTEWATER PERMIT REVIEW                       |
| 8   | 10/07/24 | PERMIT MODIFICATION EMISSION - ACCESS, UTILITY, DRAINAGE       |
| 7   | 11/07/24 | UPDATED PLANS FROM RE-DESIGN FOR PERMIT MODIFICATION SUBMITTAL |
| 6   | 10/17/24 | REVISIONS FOR CROSS COMMENTS & LOWERS SITE AT T3C              |
| 5   | 10/07/24 | REVISIONS PER ROOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/ROAD |
| 4   | 10/20/24 | REVISIONS PER ROOT ACCESS & FORD/CHRYSLER RELOCATION           |
| 3   | 10/25/24 | REVISION TO BUREAU PER RESOLUTION                              |
| 2   | 10/19/24 | REVISION PER COUNTY COMMENTS & FOOT REVIEW COMMENTS            |
| 1   | 11/23/24 | REVISION PER ZONING APPROVAL, COUNTY & SWP&D REVIEW COMMENTS   |

**Sunshine**  
 Call 811 or visit [www.sunshine.com](http://www.sunshine.com) to locate buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 80758  
 PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**  
 FOR  
**CORTA OCALA, LLC**  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

SHEET TITLE  
**DIMENSION & LAYOUT**  
**PLAN (NORTH)**

PROJECT NO: 231336  
 CHECKED BY: JPS  
 DATE: 10/20/25  
 SHEET NUMBER  
**C-103**



**GENERAL NOTES:**  
 1. BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN ON THIS SURVEY IS BASED ON THE SURVEY INFORMATION SHOWN ON THE SURVEY LOCATED IN SECTIONS 34 & 35, TOWNSHIP 15 SOUTH, RANGE 18 EAST, MARION COUNTY, FLORIDA. PREPARED BY CHW PROFESSIONAL CONSULTANTS, L.L.C. (REVISED FEBRUARY 12, 2025).  
 2. HORIZONTAL & VERTICAL DATUMS RELY ABOVE REFERENCED SURVEY.  
 3. ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY FLOOD INSURANCE PLAN NUMBER 17060-100-001, THE EFFECTIVE DATE IS 10/01/2017. THE HAZARD ZONE 'X' AND 'A1' THAT ARE APPEAR TO ALL OF SAHARA VILLAS AS DEPICTED ON THE SURVEY REFERENCED ABOVE. BASE FLOOD ELEVATION OF 70.3 FT (NAVD83).  
 4. SURFACE INFORMATION SHOWN HEREON IS TAKEN FROM A SURVEY DATED 10/20/25. THE SURVEY WAS CONDUCTED BY SOUTH AND ROSS RETAIL DEVELOPMENT, STATE ROAD 300 AND SW 100TH STREET, OCALA, MARION COUNTY, FLORIDA. PREPARED BY ANGLETER ENGINEERING, INC. DATED NOVEMBER 1, 2023.

**LEGEND:**  
 ASHLEY PROPERTY LINE  
 PROPERTY BOUNDARY  
 PROPOSED CONCRETE  
 PROPOSED ASPHALT  
 PROPOSED VARD STRACK  
 PROPOSED 4 FT FENCE  
 HAND DIAL  
 PROPOSED TRAFFIC SIGN  
 PROPOSED TRAFFIC SIGN  
 PARKING SPACE COUNT

**TREE LEGEND:**  
 1/2" O = TREE LOCATION & SIZE

MATCHLINE  
 MATCHLINE  
 SCALE 1" = 30'  
 TAX PARCEL #3501-200-025 OWNER: CORTA OCALA 200, LLC  
 KINGSLAND COUNTRY ESTATES PORTION OF TRACT B P.B. L, PAGES 3-6  
 TAX PARCEL #3501-200-024 OWNER: CORTA OCALA 200, LLC  
 TAX # 3501-400-005 OWNER: MARION COUNTY



| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 10  | 12/27/25 | REVISED PER SHOPPER UTILITY MODIFICATIONS & REVIEW COMMENTS    |
| 09  | 12/23/24 | REVISED PER PDR WASTEWATER PERMIT REVIEW                       |
| 08  | 10/07/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE         |
| 07  | 10/17/24 | UPDATED PLANS FROM RE-DESIGN FOR PERMIT MODIFICATION SUBMITAL  |
| 06  | 10/17/24 | REVISION OF CROSS ACCESS & LOW-BEAM SITE AT TJC                |
| 05  | 10/07/24 | REVISIONS PER FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/ROAD |
| 04  | 10/20/24 | REVISIONS PER FOOT ACCESS & FORKCHAMAIN RELOCATION             |
| 03  | 10/25/24 | REVISION TO BURNER PER RESOLUTION                              |
| 02  | 10/25/24 | REVISION PER COUNTY COMMENTS & FOOT REVIEW COMMENTS            |
| 01  | 12/24/24 | REVISION PER ZONING APPROVAL, COUNTY & SWAMP REVIEW COMMENTS   |

**Shinshiro**  
 Call 811 or visit [shinshiro.com](http://shinshiro.com) to locate buried business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

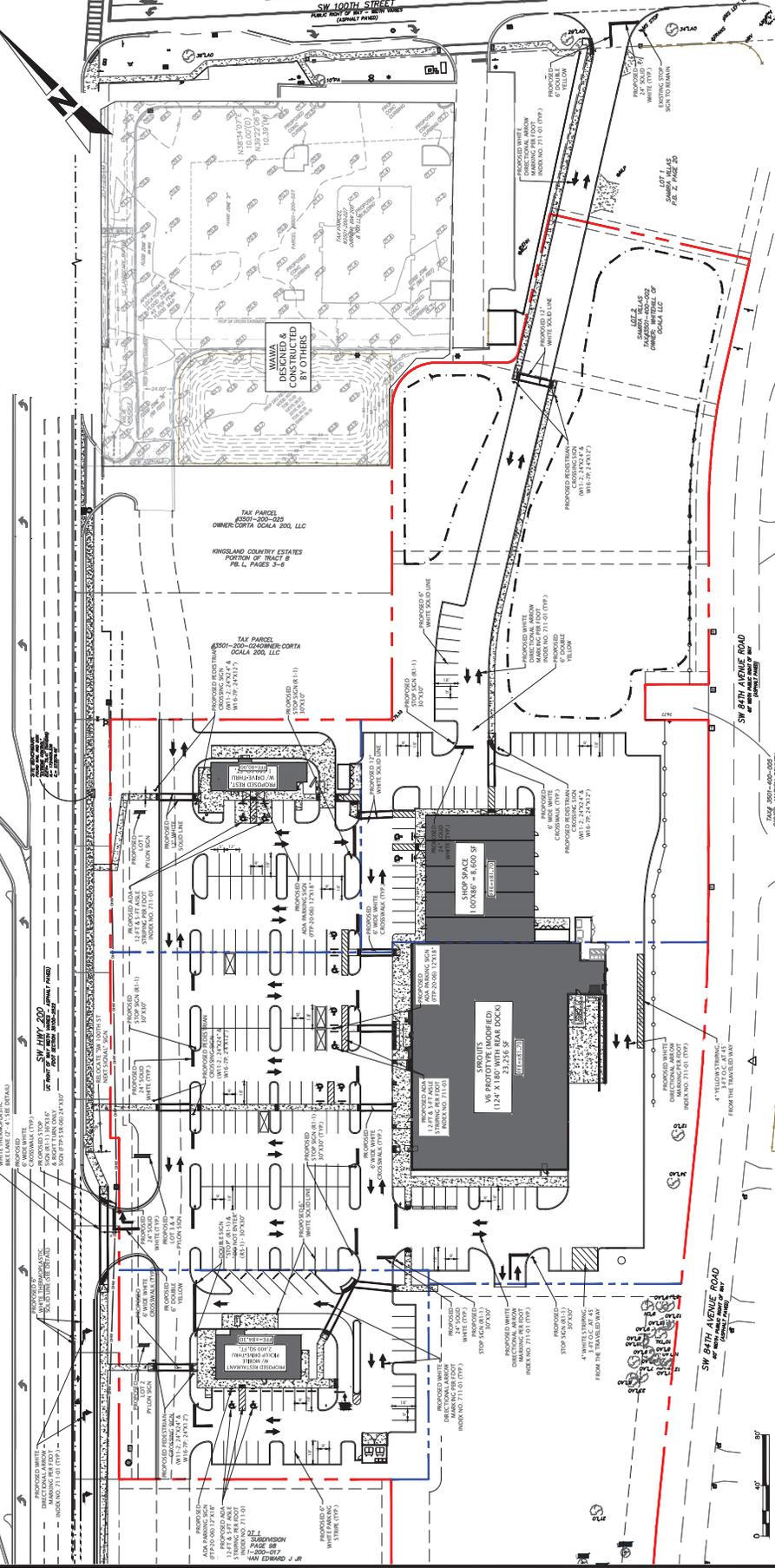
**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 60758

PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**

FOR  
**CORTA OCALA, LLC**  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

SHEET TITLE  
**OVERALL SIGNING & MARKING PLAN**

PROJECT NO.: 231396  
 CHECKED BY: JF  
 DATE: 03/10/2025  
 SHEET NUMBER  
**C-105**



**LEGEND:**

- ADJACENT PROPERTY LINE
- PROPERTY BOUNDARY
- EXISTING FENCE
- PROPOSED FENCE
- PROPOSED CONCRETE
- PROPOSED WAD STRUCK
- EXISTING UTILITY
- PROPOSED UTILITY
- PROPOSED STOP SIGN
- PROPOSED SIGN

**TREE LEGEND:**

- 10"O = BEECH LOCATION & SIZE
- LO = LIVE OAK
- CP = CARABAGE PALM
- L/O = LAUREL OAK

**GENERAL NOTES:**

- REVISIONS, TYPING, AND TREE INFORMATION OBTAINED FROM TANDY PARK A SURVEY ENTITLED "LAND AND TITLE SURVEY LOCATED IN SECTIONS 24 & 25, TOWNSHIP 15-SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA," PREPARED BY CHW PROFESSIONAL CONSULTANTS, LIMITED, MARCH 16, 2013
- THE HORIZONTAL & VERTICAL DATUMS FOR ABOVE REFERENCED SURVEY.

**DO NOT ENTER**  
 R5-1 (24"X24")

**STOP**  
 R1-1 (30"X30")

**ONE WAY**  
 R6-1L (36"X12")

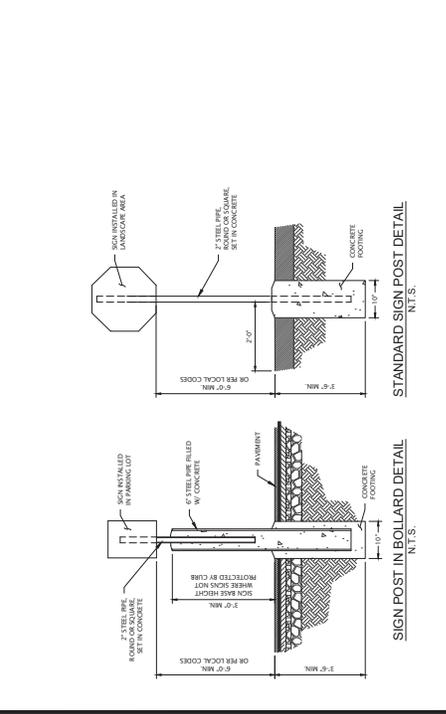
**ONE WAY**  
 R6-1R (36"X12")

**W16-7P**  
 (24"X12")  
 SIGN LEGEND

**W11-2**  
 (30"X30")

**W16-7P**  
 (24"X12")  
 SIGN LEGEND

SEE NOTES FOR SPECIFICATIONS, SIGNS SHOWN FOR REFERENCE ONLY.



SCALE 1" = 40'

**MJ STOKES CONSULTING**  
 P.O. BOX 22821  
 TAMPA, FL 33622  
 813.724.199  
 INFO@MJSTOKESCONSULTING.COM  
 FLORIDA BUSINESS REGISTRY NO. 3448

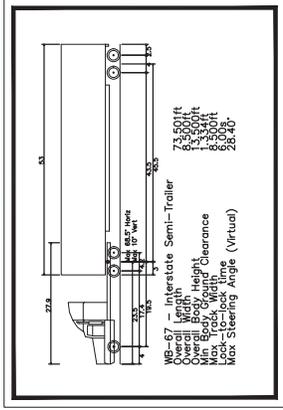
| REV | DATE     | DESCRIPTION   |
|-----|----------|---|
| 10  | 12/27/24 | REVISED PER SHOPPER UTILITY MODIFICATIONS & REVIEW COMMENTS   |
| 09  | 12/23/24 | REVISED PER PDR WASTEWATER PERMIT REVIEW                      |
| 08  | 11/07/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE        |
| 07  | 10/17/24 | UPDATED PLANS FROM REVISION FOR PERMIT MODIFICATION SUBMITTAL |
| 06  | 10/17/24 | REDESIGN OF CROSS ACCESS & LOWBENT SITE AT TJC                |
| 05  | 10/07/24 | REVISIONS PER ROOT ACCESS & FORDCHINA RELOCATION              |
| 04  | 09/20/24 | REVISIONS PER ROOT ACCESS & FORDCHINA RELOCATION              |
| 03  | 08/26/24 | REVISION TO BURNER PER RESOLUTION                             |
| 02  | 08/19/24 | REVISION PER COUNTY, SWMVA & FOOT REVIEW COMMENTS             |
| 01  | 01/17/24 | REVISION PER ZONING APPROVAL, COUNTY & SWMVA REVIEW COMMENTS  |

**Sunshine**  
 Call 811 or visit [www.sunshine.com](http://www.sunshine.com) to locate buried business signs before digging to have buried facilities located and marked. Check positive response codes before you dig!

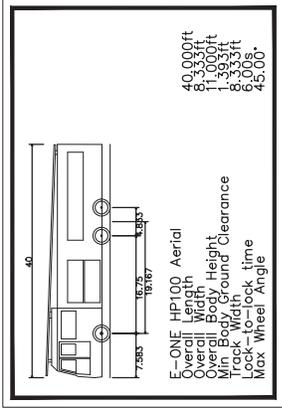
**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 60718  
 PROJECT NAME  
 MAJOR SITE PLAN  
 CORTA COMMONS  
 FOR  
 CORTA OCALA, LLC  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

SHEET TITLE  
**TRUCK TURN EXHIBIT**  
 PROJECT NO: 23-1336  
 CHECKED BY: JJS  
 DATE: 08/20/24  
 DRAWN BY: JJS  
 SHEET NUMBER

**C-106**

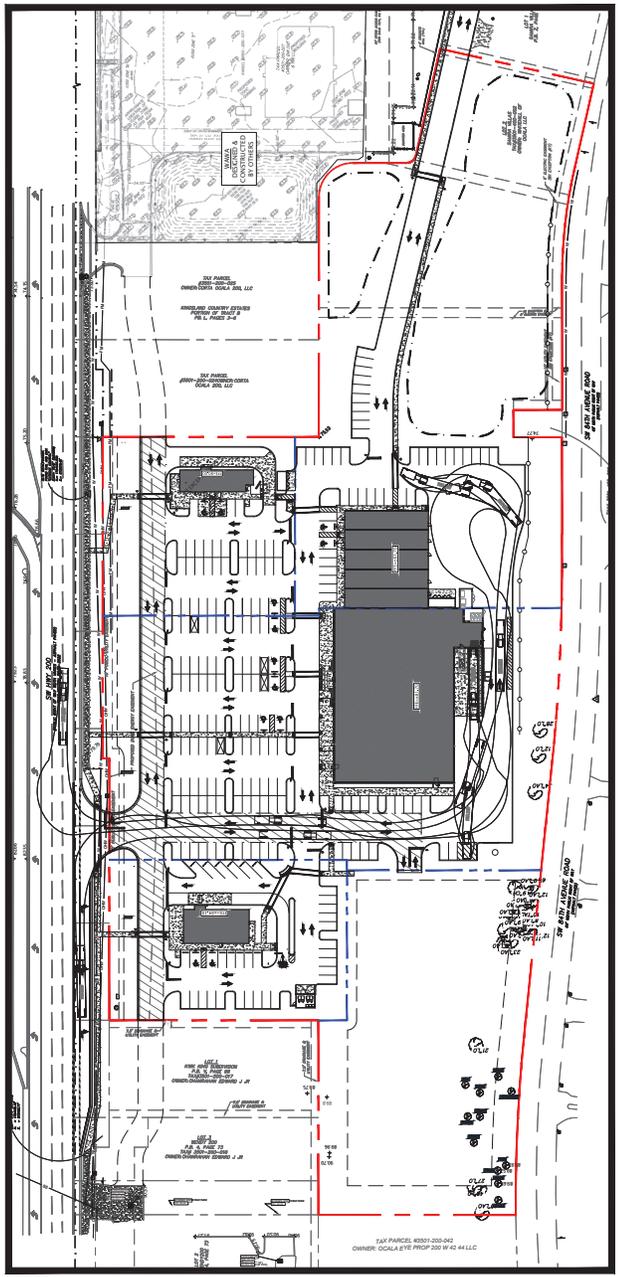


SPROUTS DELIVERY TRUCK (WB-67)



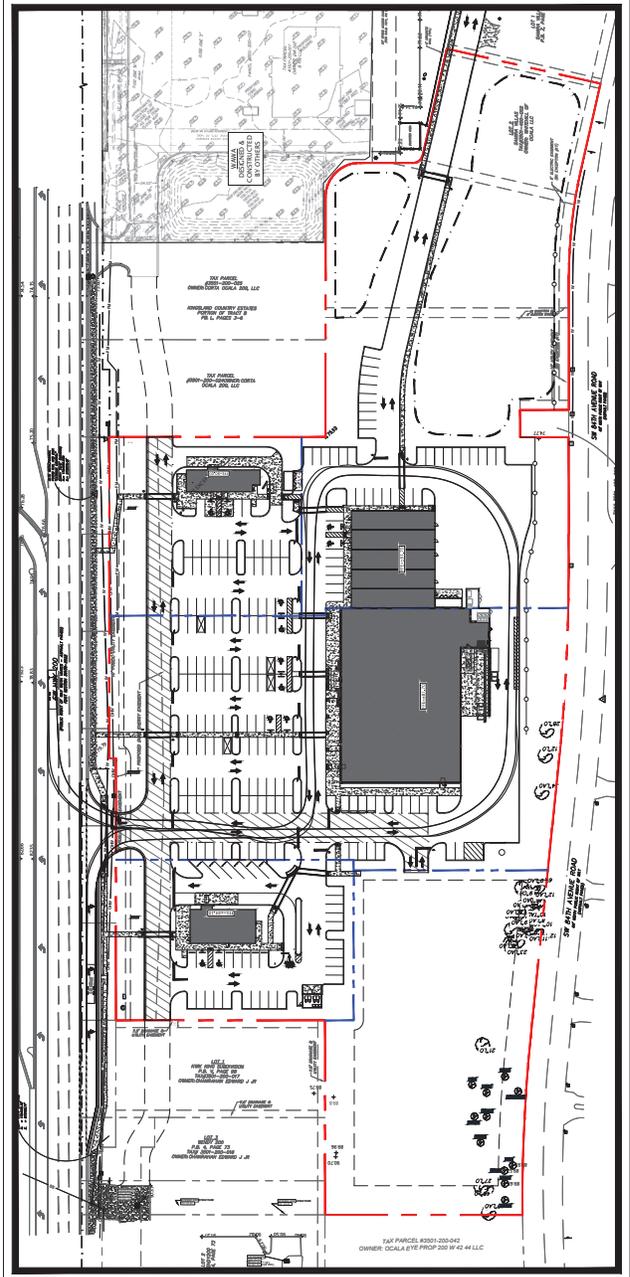
TRACKING VEHICLE - E-ONE HP100 AERIAL

NOTE:  
 E-ONE HP100 AERIAL NOT AVAILABLE BECAUSE VEHICLE IN LIBRARY.  
 HP100 MEETS OR EXCEEDS ALL DIMENSIONS & TURNING CONDITIONS AND AS SUCH TRACKING PATH EXCEEDS REQUIRED BY COUNTY HP28 AERIAL.



SPROUTS DELIVERY CIRCULATION EXHIBIT

SCALE 1" = 60'



FIRE & RESCUE CIRCULATION EXHIBIT

SCALE 1" = 60'

| REV | DATE  | DESCRIPTION  |
|-----|-------|--|
| 01  | 01/24 | REVISION PER ZONING APPROVAL, COUNTY & SWP&D REVIEW COMMENTS |
| 02  | 01/24 | REVISION PER COUNTY, SWP&D & FOOT REVIEW COMMENTS            |
| 03  | 05/24 | REVISION TO BUREAU PER RESOLUTION                            |
| 04  | 02/24 | REVISIONS PER FOOT ACCESS & FORDKIANA RELOCATION             |
| 05  | 07/24 | REVISIONS PER FOOT ACCESS COMMENTS                           |



Call 811 or visit [www.sunshine.com](http://www.sunshine.com) for utility business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**

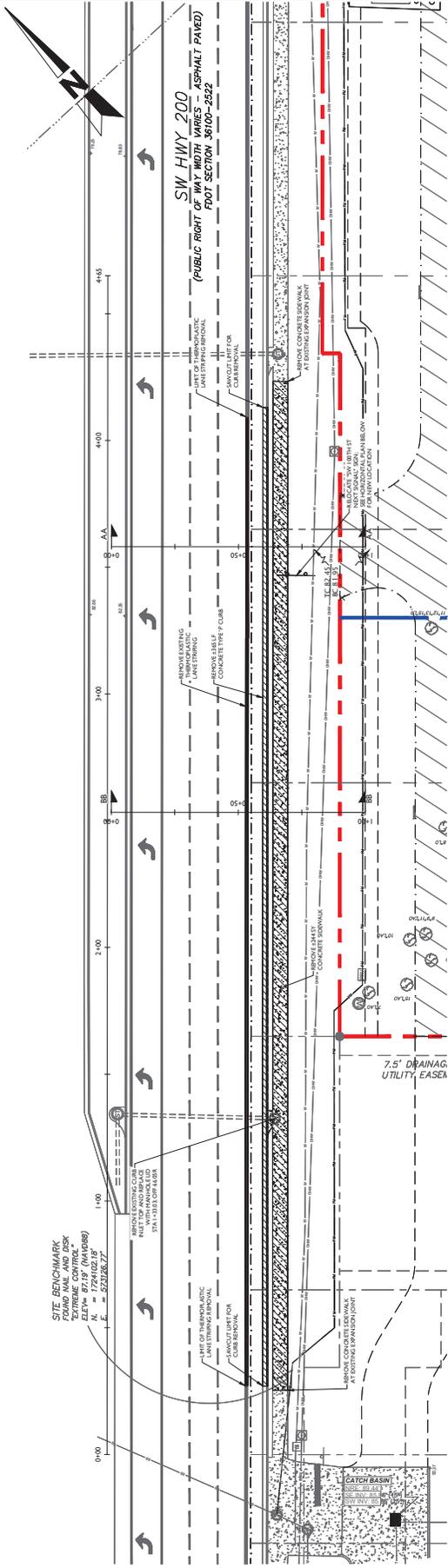
FOR

**CORTA OCALA, LLC**  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE  
**FOOT TURN LANE**  
**HORIZONTAL PLAN**

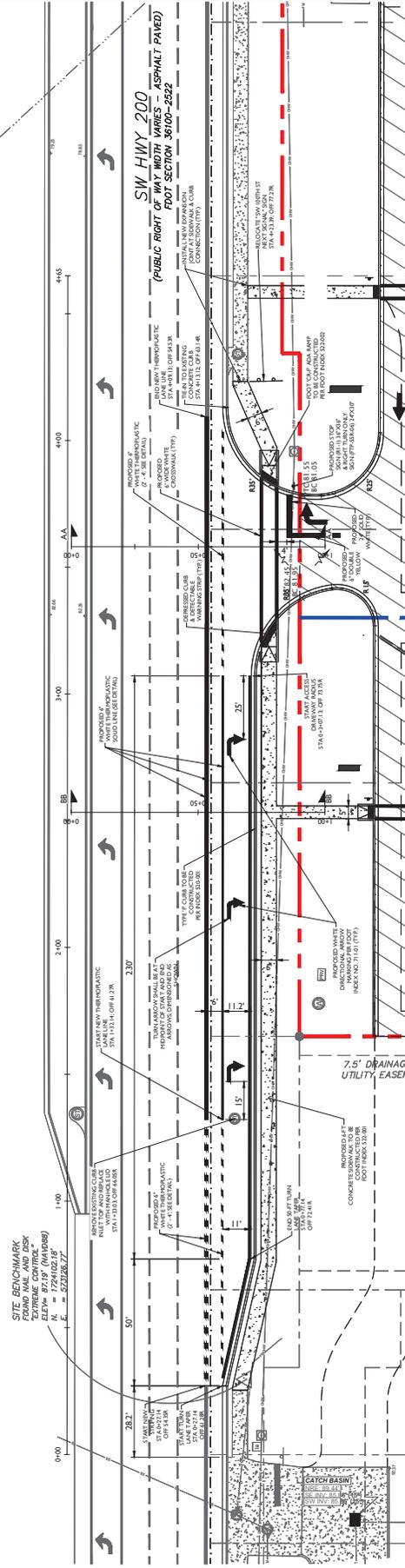
PROJECT NO: 213396  
CHECKED BY: JPS  
DATE: 08/01/2024  
SHEET NUMBER

**C-201**



EXISTING CONDITIONS & DEMOLITION PLAN

SCALE 1" = 30'



HORIZONTAL GEOMETRIC PLAN

SCALE 1" = 30'

**GENERAL NOTES:**

1. TOPOGRAPHIC AND TREE INFORMATION SHOWN HEREON IS TAKEN FROM A SURVEY ENTITLED "TOPOGRAPHIC SURVEY SITUATED IN THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 24, TOWNSHIP 16 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA," PREPARED BY CIVIL PROFESSIONAL CONSULTANTS AND DATED JULY 25, 2024.
2. HORIZONTAL AND VERTICAL DATUM (MVD) ARE PER ABOVE REFERENCED SURVEY.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING NECESSARY MAINTENANCE OF TRAFFIC PLANS TO BE APPROVED BY FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) PRIOR TO MOBILIZATION.
4. ENGINEER IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE PLANS TO BE APPROVED BY FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) PRIOR TO MOBILIZATION, AND CONTRACTOR SAFETY.
5. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO THE ENGINEER IN WRITING PRIOR TO INITIATION OF SITE ACTIVITY.

**LEGEND:**

|  |                           |
|--|---------------------------|
|  | ADJACENT PROPERTY LINE    |
|  | PROPOSED FOOT CURB        |
|  | PROPOSED CONCRETE         |
|  | LANDSCAPE MARKER          |
|  | PROPOSED UTILITY EASEMENT |
|  | PROPOSED PAVEMENT         |
|  | PROPOSED TRAFFIC SIGN     |
|  | PARKING SPACE COUNT       |

| REV | DATE  | DESCRIPTION  |
|-----|-------|--|
| 01  | 12/24 | REVISION PER COUNTY APPROVAL, COUNTY & SWPMD REVIEW COMMENTS |
| 02  | 01/24 | REVISION PER COUNTY APPROVAL, COUNTY & SWPMD REVIEW COMMENTS |
| 03  | 02/24 | REVISION PER COUNTY APPROVAL, COUNTY & SWPMD REVIEW COMMENTS |
| 04  | 02/24 | REVISION PER FOOT ACCESS & FOGKING RELOCATION                |
| 05  | 07/24 | REVISION PER FOOT ACCESS & FOGKING RELOCATION                |

**REVISIONS**

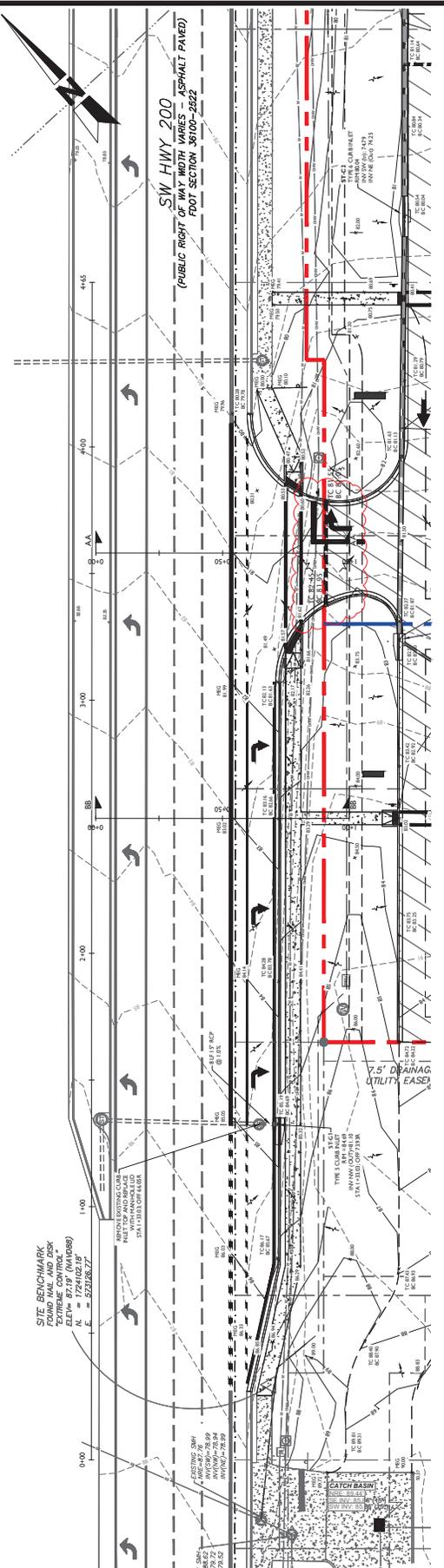
**Call out or site verification notes are to be used to describe any business before opening to have buried facilities located and marked. Check positive response codes before you dig!**

**John J. Stoeckel**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 89738

**PROJECT NAME**  
MAJOR SITE PLAN  
CORTA COMMONS  
FOR  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

**SHEET TITLE**  
FOOT TURN LANE  
VERTICAL PLAN  
& SECTIONS

PROJECT NO: 23-336  
CHECKED BY: JPS  
DATE: 07/20/24  
SHEET NUMBER: C-202

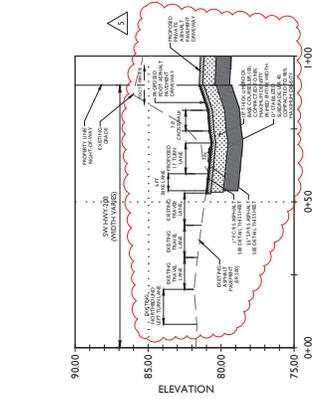


**HORIZONTAL GEOMETRIC PLAN**

SCALE 1" = 20'

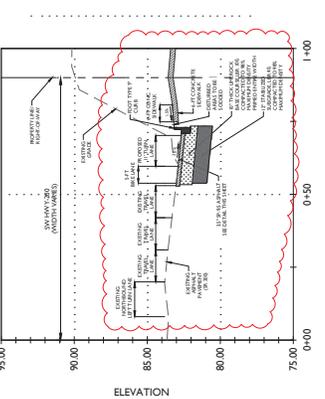
**TURN LANE CONSTRUCTION NOTES**

1. ALL ROADWAY SURFACES SHALL BE CONSTRUCTED TO THE PROPOSED FINISH ELEVATION UNLESS OTHERWISE NOTED.
2. NO STOCK PILING, STORING, OR ASBESTOS PERMANENT USE OF THE RIGHT OF WAY IS AUTHORIZED UNLESS SPECIFICALLY IDENTIFIED WITHIN THE PERMIT.
3. THE PERMITTED WORK SCHEDULE IS DEFINED AS MONDAY THROUGH FRIDAY 7:00 AM TO 5:30 PM UNLESS OTHERWISE NOTED WITHIN THE PERMIT. ADVANCE AND APPROVED BEFORE WORKING THE ALTERNATE SCHEDULE.
4. THE DEPARTMENT OF TRANSPORTATION RESERVES THE RIGHT TO MAKE ADJUSTMENTS TO ANY PERMITTED METHOD OF INSTALLATION, SCOPE, SAFETY AND ENVIRONMENTAL WELL-BEING OF ALL USERS OF THE TRANSPORTATION SYSTEM.
5. ROADWAY RESTORATION SHALL UTILIZE 100 PSI EXCAVATABLE FLOWABLE FILL TO RECONSTRUCT THE EXISTING SURFACE TO THE PROPOSED FINISH ELEVATION. TYPICAL SECTIONS WILL NEED TO BE PROVIDED TO THE CONTRACTOR. TYPICAL SECTIONS WILL BE 15" TO 18" THICK, 18" TO 24" WIDE, AND 18" TO 24" DEEP. TYPICAL SECTIONS WILL BE 15" TO 18" THICK, 18" TO 24" WIDE, AND 18" TO 24" DEEP. TYPICAL SECTIONS WILL BE 15" TO 18" THICK, 18" TO 24" WIDE, AND 18" TO 24" DEEP.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING NECESSARY MAINTENANCE OF TRAFFIC PLANS TO BE APPROVED BY FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) PRIOR TO MOBILIZATION.
7. ENGINEER IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SITE SAFETY AND SUPERVISION IN A SAFE MANNER, FOLLOWING ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
8. ALL REMEDIATION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH LOCAL REGULATIONS, ANY OCCURRENCE OF LEAKS SHALL BE REPORTED TO THE CONTRACTOR OR TO THE ENGINEER IN WRITING PRIOR TO INITIATION OF THE ACTIVITY.



**DRIVEAWAY PROFILE (AA-AA) - STA 3+58.12**

SCALE 1" = 20'



**TURN LANE SECTION (BB-BB) - STA 2+53.33**

SCALE 1" = 20'

1. 1" OF FC-5 ASPHALT INSTALLED IN (1) LIFT
2. 3.5" OF SP-9.5 ASPHALT INSTALLED IN (2) LIFTS. INITIAL LIFT MAY SUBSTITUTE SP-12.5 TESTED INITIAL LIFT
3. 10" THICK LAMBEROCK OR CUSHARD CONCRETE MIN. LKR 100, COMPACTED TO A MIN. OF 98% MAXIMUM DENSITY PER AASHTO T-180
4. 12" THICK STABILIZED SUBGRADE MIN. LKR 40, COMPACTED TO A MIN. OF 98% MAXIMUM DENSITY PER AASHTO T-180

**NOTES**

1. A MINIMUM OF 18 INCHES OF SEPARATION BETWEEN CRUSHED CONCRETE BASE AND THE SEASONAL HIGH GROUNDWATER LEVEL SHOULD BE MAINTAINED, OR 24 INCHES OF SEPARATION BETWEEN THE LINE ROCK BASE AND SEASONAL HIGH GROUNDWATER LEVEL.
2. THE SUBGRADE SHALL BE COMPACTED TO A MIN. OF 98% MAXIMUM DENSITY PER AASHTO T-180 AND SHALL EXTEND 6 INCHES (MINIMUM) BEYOND EDGE OF PAVEMENT.
3. CONTRACTOR SHALL INVESTIGATE EXISTING PAVEMENT SECTION OF SW HWY 200 AND IF DEVIATION FROM THE ABOVE SECTIONS, SHALL MATCH EXISTING PAVEMENT SECTION AND REPORT TO FDOT PRIOR TO WORK.
4. EXISTING PAVEMENT EDGE SHALL BE SAWCUT ONCE CURB IS REMOVED AND SHALL BE MILLED AND STEPPED WHEN INSTALLING NEW PAVEMENT FOR TURN LANE.

**FOOT TURN LANE PAVEMENT SECTION DETAILS**

**GENERAL NOTES:**

1. TOPOGRAPHIC AND TREE INFORMATION SHOWN HEREON IS TAKEN FROM A SURVEY CONDUCTED BY THE ENGINEER AND IS NOT TO BE CONSIDERED AS A GUARANTEE OF ACCURACY. ANY DISCREPANCIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. HORIZONTAL AND VERTICAL DATUM VALUES ARE PER ABOVE REFERENCED SURVEY.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING NECESSARY MAINTENANCE OF TRAFFIC PLANS TO BE APPROVED BY FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) PRIOR TO MOBILIZATION.
4. ENGINEER IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SITE SAFETY AND SUPERVISION IN A SAFE MANNER, FOLLOWING ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
5. ALL REMEDIATION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH LOCAL REGULATIONS, ANY OCCURRENCE OF LEAKS SHALL BE REPORTED TO THE CONTRACTOR OR TO THE ENGINEER IN WRITING PRIOR TO INITIATION OF THE ACTIVITY.







| REV | DATE     | DESCRIPTION   |
|-----|----------|---|
| 1   | 02/24/25 | REVISION: PER ZONING APPROVAL, COUNTY & SFWMD REVIEW COMMENTS |
| 2   | 02/24/25 | REVISION: PER COUNTY, SFWMD & FDOT REVIEW COMMENTS            |
| 3   | 02/24/25 | REVISION: TO CLARIFY SFWMD CONCERN                            |
| 4   | 02/24/25 | REVISION: PER FOOT ACCESS & FORKHEIM RELOCATION               |
| 5   | 02/24/25 | REVISION: PER FOOT ACCESS & FORKHEIM RELOCATION               |
| 6   | 02/24/25 | REVISION: PER FOOT ACCESS & FORKHEIM RELOCATION               |
| 7   | 02/24/25 | REVISION: PER FOOT ACCESS & FORKHEIM RELOCATION               |
| 8   | 02/24/25 | REVISION: PER FOOT ACCESS & FORKHEIM RELOCATION               |
| 9   | 02/24/25 | REVISION: PER FOOT ACCESS & FORKHEIM RELOCATION               |
| 10  | 02/24/25 | REVISION: PER FOOT ACCESS & FORKHEIM RELOCATION               |



Call FT or visit Sunshine.org for more information on how to file a request for public records. Business days before opening to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 80758

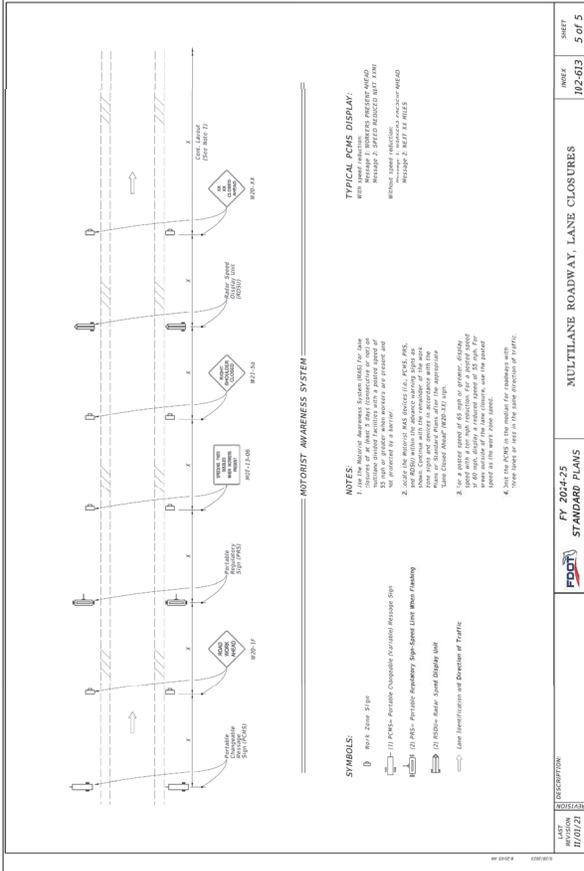
PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**  
 FOR

**CORTA OCALA, LLC**  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

SHEET TITLE  
**MAINTENANCE OF**  
**TRAFFIC FDOT**  
**DETAILS**

PROJECT NO: 231336  
 CHECKED BY: JJS  
 DATE: 02/24/25  
 SHEET NUMBER

**C-206**

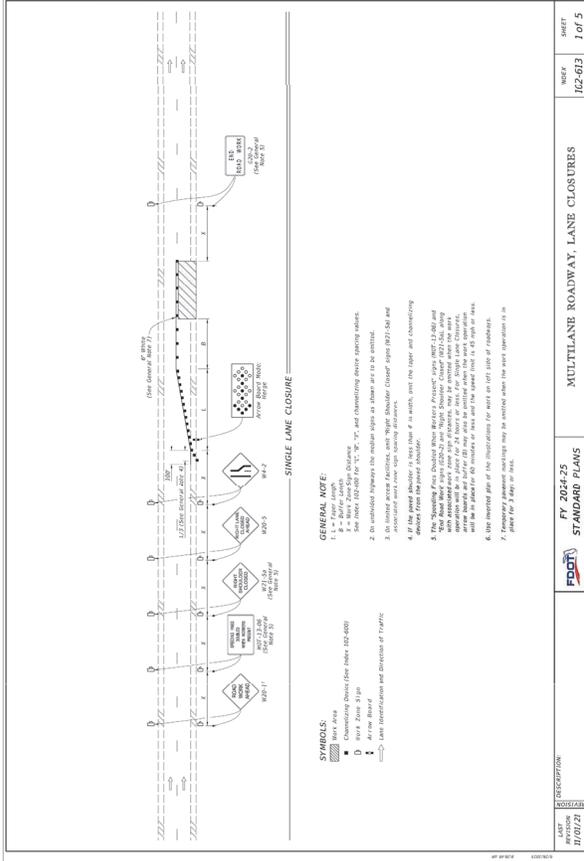


**NOTICIST AWARENESS SYSTEM**  
 NOTES:  
 1. The Noticist Awareness System (N.A.S.) is used to provide advance notice to motorists of a lane closure or other traffic control measure. It consists of a series of signs that are placed in the travel lane of the road to be closed. The signs are placed in a sequence that allows motorists to see the signs in advance and take appropriate action. The signs are placed in a sequence that allows motorists to see the signs in advance and take appropriate action. The signs are placed in a sequence that allows motorists to see the signs in advance and take appropriate action.

**TYPICAL PCMS DISPLAY:**  
 WITH ADVANCE NOTICE OF LANE CLOSURE AND ROAD AHEAD SIGN PLACEMENT. THE PCMS DISPLAY IS USED TO PROVIDE ADVANCE NOTICE OF A LANE CLOSURE OR OTHER TRAFFIC CONTROL MEASURE. THE PCMS DISPLAY IS USED TO PROVIDE ADVANCE NOTICE OF A LANE CLOSURE OR OTHER TRAFFIC CONTROL MEASURE. THE PCMS DISPLAY IS USED TO PROVIDE ADVANCE NOTICE OF A LANE CLOSURE OR OTHER TRAFFIC CONTROL MEASURE.

**SYMBOLS:**  
 W-1-A Zone 2 Sign  
 W-1-B Zone 2 Sign  
 W-1-C Zone 2 Sign  
 W-1-D Zone 2 Sign  
 W-1-E Zone 2 Sign  
 W-1-F Zone 2 Sign  
 W-1-G Zone 2 Sign  
 W-1-H Zone 2 Sign  
 W-1-I Zone 2 Sign  
 W-1-J Zone 2 Sign  
 W-1-K Zone 2 Sign  
 W-1-L Zone 2 Sign  
 W-1-M Zone 2 Sign  
 W-1-N Zone 2 Sign  
 W-1-O Zone 2 Sign  
 W-1-P Zone 2 Sign  
 W-1-Q Zone 2 Sign  
 W-1-R Zone 2 Sign  
 W-1-S Zone 2 Sign  
 W-1-T Zone 2 Sign  
 W-1-U Zone 2 Sign  
 W-1-V Zone 2 Sign  
 W-1-W Zone 2 Sign  
 W-1-X Zone 2 Sign  
 W-1-Y Zone 2 Sign  
 W-1-Z Zone 2 Sign

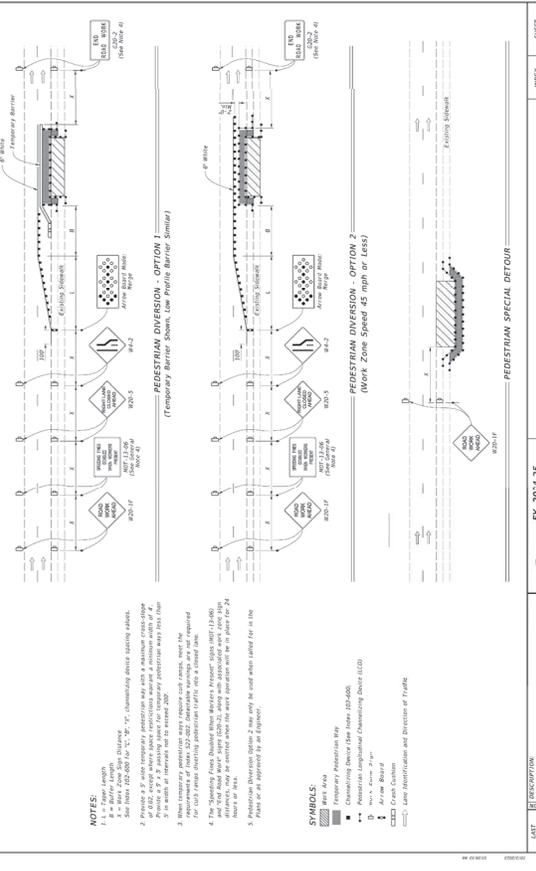
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|---------------------------|-------------|----------------------------------|--------|
| LAST REVISION             | DESCRIPTION | INDEX                            | SHEET  |
| 1/10/23                   | ADJUSTMENTS | 102-603                          | 5 OF 5 |
| FY 2024-25 STANDARD PLANS |             | MULTILANE ROADWAY, LANE CLOSURES |        |



**GENERAL NOTE:**  
 1. L = Foot Lane  
 2. In unidirectional traffic, the road sign is placed at its full distance.  
 3. In unidirectional traffic, the road sign is placed at its full distance.  
 4. If the road sign is placed at its full distance, the sign is placed at its full distance.  
 5. The 'Road Sign' is placed at its full distance.  
 6. The 'Road Sign' is placed at its full distance.  
 7. The 'Road Sign' is placed at its full distance.

**SYMBOLS:**  
 W-1-A Zone 2 Sign  
 W-1-B Zone 2 Sign  
 W-1-C Zone 2 Sign  
 W-1-D Zone 2 Sign  
 W-1-E Zone 2 Sign  
 W-1-F Zone 2 Sign  
 W-1-G Zone 2 Sign  
 W-1-H Zone 2 Sign  
 W-1-I Zone 2 Sign  
 W-1-J Zone 2 Sign  
 W-1-K Zone 2 Sign  
 W-1-L Zone 2 Sign  
 W-1-M Zone 2 Sign  
 W-1-N Zone 2 Sign  
 W-1-O Zone 2 Sign  
 W-1-P Zone 2 Sign  
 W-1-Q Zone 2 Sign  
 W-1-R Zone 2 Sign  
 W-1-S Zone 2 Sign  
 W-1-T Zone 2 Sign  
 W-1-U Zone 2 Sign  
 W-1-V Zone 2 Sign  
 W-1-W Zone 2 Sign  
 W-1-X Zone 2 Sign  
 W-1-Y Zone 2 Sign  
 W-1-Z Zone 2 Sign

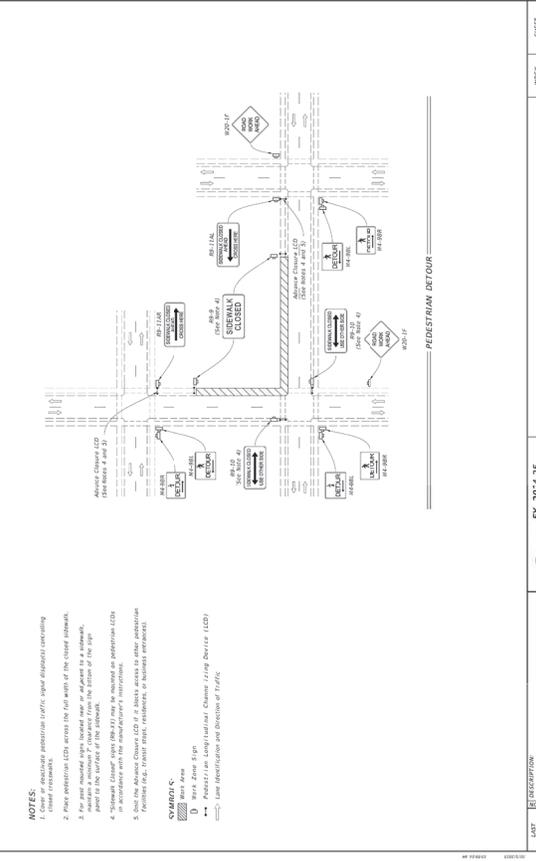
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|---------------------------|-------------|----------------------------------|--------|
| LAST REVISION             | DESCRIPTION | INDEX                            | SHEET  |
| 1/10/23                   | ADJUSTMENTS | 102-603                          | 1 OF 5 |
| FY 2024-25 STANDARD PLANS |             | MULTILANE ROADWAY, LANE CLOSURES |        |



**NOTES:**  
 1. The 'Pedestrian Diversion' is used to provide advance notice of a pedestrian crossing or other traffic control measure. It consists of a series of signs that are placed in the travel lane of the road to be closed. The signs are placed in a sequence that allows pedestrians to see the signs in advance and take appropriate action. The signs are placed in a sequence that allows pedestrians to see the signs in advance and take appropriate action.

**SYMBOLS:**  
 W-1-A Zone 2 Sign  
 W-1-B Zone 2 Sign  
 W-1-C Zone 2 Sign  
 W-1-D Zone 2 Sign  
 W-1-E Zone 2 Sign  
 W-1-F Zone 2 Sign  
 W-1-G Zone 2 Sign  
 W-1-H Zone 2 Sign  
 W-1-I Zone 2 Sign  
 W-1-J Zone 2 Sign  
 W-1-K Zone 2 Sign  
 W-1-L Zone 2 Sign  
 W-1-M Zone 2 Sign  
 W-1-N Zone 2 Sign  
 W-1-O Zone 2 Sign  
 W-1-P Zone 2 Sign  
 W-1-Q Zone 2 Sign  
 W-1-R Zone 2 Sign  
 W-1-S Zone 2 Sign  
 W-1-T Zone 2 Sign  
 W-1-U Zone 2 Sign  
 W-1-V Zone 2 Sign  
 W-1-W Zone 2 Sign  
 W-1-X Zone 2 Sign  
 W-1-Y Zone 2 Sign  
 W-1-Z Zone 2 Sign

|                           |             |                  |        |
|---------------------------|-------------|------------------|--------|
| LAST REVISION             | DESCRIPTION | INDEX            | SHEET  |
| 1/10/23                   | ADJUSTMENTS | 102-600          | 2 OF 2 |
| FY 2024-25 STANDARD PLANS |             | SIDEWALK CLOSURE |        |



**NOTES:**  
 1. The 'Sidewalk Closure' is used to provide advance notice of a sidewalk closure or other traffic control measure. It consists of a series of signs that are placed in the travel lane of the road to be closed. The signs are placed in a sequence that allows pedestrians to see the signs in advance and take appropriate action. The signs are placed in a sequence that allows pedestrians to see the signs in advance and take appropriate action.

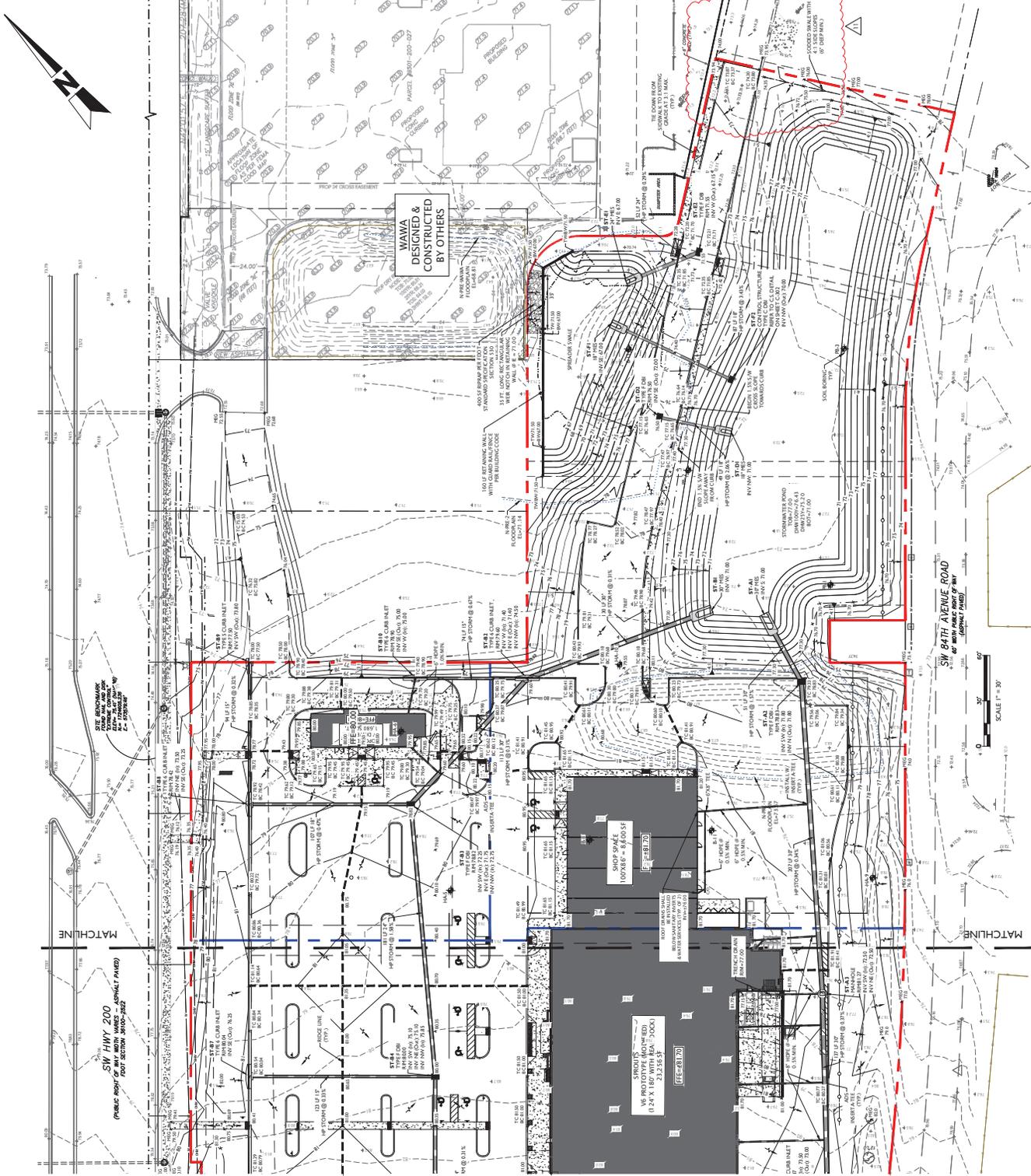
**SYMBOLS:**  
 W-1-A Zone 2 Sign  
 W-1-B Zone 2 Sign  
 W-1-C Zone 2 Sign  
 W-1-D Zone 2 Sign  
 W-1-E Zone 2 Sign  
 W-1-F Zone 2 Sign  
 W-1-G Zone 2 Sign  
 W-1-H Zone 2 Sign  
 W-1-I Zone 2 Sign  
 W-1-J Zone 2 Sign  
 W-1-K Zone 2 Sign  
 W-1-L Zone 2 Sign  
 W-1-M Zone 2 Sign  
 W-1-N Zone 2 Sign  
 W-1-O Zone 2 Sign  
 W-1-P Zone 2 Sign  
 W-1-Q Zone 2 Sign  
 W-1-R Zone 2 Sign  
 W-1-S Zone 2 Sign  
 W-1-T Zone 2 Sign  
 W-1-U Zone 2 Sign  
 W-1-V Zone 2 Sign  
 W-1-W Zone 2 Sign  
 W-1-X Zone 2 Sign  
 W-1-Y Zone 2 Sign  
 W-1-Z Zone 2 Sign

|                           |             |                  |        |
|---------------------------|-------------|------------------|--------|
| LAST REVISION             | DESCRIPTION | INDEX            | SHEET  |
| 1/10/23                   | ADJUSTMENTS | 102-600          | 1 OF 2 |
| FY 2024-25 STANDARD PLANS |             | SIDEWALK CLOSURE |        |



**GENERAL NOTES:**

1. BOUNDARY, TOPOGRAPHIC AND TIE INFORMATION SHOWN ON THIS PLAN IS BASED ON THE SURVEY CONDUCTED BY THE SURVEYOR. THE SURVEY IS LOCATED IN SECTIONS 24 & 25, TOWNSHIP 15S, RANGE 17E, COUNTY OF MARION, FLORIDA. THE SURVEY WAS PREPARED BY CIVIL PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2023.
2. THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
3. ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, THE SUBJECT FACILITY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA. THE SUBJECT FACILITY APPEARS TO FALL WITHIN SPECIAL FLOOD HAZARD ZONE A. THE FLOOD HAZARD ZONE A IS WITHIN THE TOP OF BANK LIMITS OF THE POND WITHIN LOT 3 ABOVE. BASE FLOOD ELEVATION OF 70.2 FT (NNVD) IS INDICATED ON THE FLOOD INSURANCE MAP.
4. SURFACE INFORMATION (SHOWAL HERRON) IS TAKEN FROM A REPORT ENTITLED "GEOTECHNICAL INVESTIGATION, ROADWAY AND CULVERTAGE, SOUTH STREET, OCALA, MARION COUNTY, FLORIDA" PREPARED BY ANDREWE ENGINEERING, INC. DATED NOVEMBER 3, 2022.
5. ALL CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS AND REGULATIONS OF THE MARION COUNTY ENGINEERING AGENCIES, AS APPLICABLE. THE CONTRACTOR SHALL KEEP A RECORD OF ALL PERMITS AND DOCUMENTS OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.



**LEGEND:**

|                         |                             |
|-------------------------|-----------------------------|
| ADJACENT PROPERTY LINE  | PROPERTY BOUNDARY           |
| PROPOSED CONCRETE       | PROPOSED DRIVEWAY           |
| EXISTING SPOT ELEVATION | PROPOSED SPOT ELEVATION     |
| ADJACENT PROPERTY       | PROPOSED PROPERTY           |
| PROPOSED CURB           | PROPOSED CURB               |
| BURNING TIS LOCATION    | ANCHOR TIS LOCATION         |
| DRAIN INLET             | SURFACE FLOW ARROW          |
| DRAINAGE DRAINAGE LINE  | STORM SURFACE DRAINAGE PIPE |

**MJ STOKES CONSULTING**  
 P.O. BOX 22821  
 TAMPA, FL 33622  
 813.774.1199  
 INFO@MSTOKESCONSULTING.COM  
 FLORIDA BUSINESS REGISTRY NO. 3448

**REVISIONS**

| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 11  | 04/16/23 | REVISED PER SW 100TH ACCESS MODIFICATION                     |
| 10  | 02/27/23 | REVISED PER SHOPPER UTILITY MODIFICATIONS & REVIEW COMMENTS  |
| 09  | 12/22/22 | REVISED PER DRAINAGE PERMIT REVIEW                           |
| 08  | 10/07/22 | PERMIT MODIFICATION REVISION - ACCESS, UTILITY, DRAINAGE     |
| 07  | 11/07/22 | UPDATES FROM RE-DESIGN FOR PERMIT MODIFICATION SUBMITTAL     |
| 06  | 07/17/22 | REVISION OF CROSS ACCESS & LOWEBED SITE AT TJC               |
| 05  | 07/07/22 | REVISIONS FOR FOOT ACCESS & FORDCHINA RELOCATION             |
| 04  | 06/20/22 | REVISION TO BURIED PER RESOLUTION                            |
| 03  | 06/02/22 | REVISION FOR QUALITY IMPROVEMENTS & FOOT REVIEW COMMENTS     |
| 02  | 01/23/22 | REVISION FOR ZONING APPROVAL, COUNTY & SWPMD REVIEW COMMENTS |

**Sunshine**  
 Call 811 or visit [www.sunshine811.com](http://www.sunshine811.com) for business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STORCKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 807528

**PROJECT NAME:**  
 MAJOR SITE PLAN  
 CORTA COMMONS  
 FOR  
 CORTA OCALA, LLC  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

**SHEET TITLE:**  
 GRADING &  
 DRAINAGE PLAN

PROJECT NO: 23-1396  
 CHECKED BY: JPS  
 DATE: 04/16/2023  
 SHEET NUMBER  
**C-302**





**MJ STOKES CONSULTING**  
 P.O. BOX 22821  
 TAMPA, FL 33622  
 813.724.1999  
 INFO@MJSTOKESCONSULTING.COM  
 FLORIDA BUSINESS REGISTRY NO. 34488

| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 10  | 12/23/24 | REVISED PER SHOPPER UTILITY MODIFICATIONS & REVIEW COMMENTS    |
| 09  | 12/23/24 | REVISED PER WASTEWATER PERMIT REVIEW                           |
| 08  | 10/07/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE         |
| 07  | 10/07/24 | UPDATED MAIN REGION REVISION FOR PERMIT SUBMITTAL              |
| 06  | 10/07/24 | REVISION OF CROSS ACCESS & LOWBED SITE AT TJC                  |
| 05  | 07/07/24 | REVISIONS PER FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/ROAD |
| 04  | 07/07/24 | REVISIONS PER FOOT ACCESS & FOCKCHMAN RELOCATION               |
| 03  | 06/05/24 | REVISION TO BURNER PER RESOLUTION                              |
| 02  | 01/24/24 | REVISION PER COUNTY COMMENTS & FOOT REVIEW COMMENTS            |
| 01  | 12/24/24 | REVISION PER ZONING APPROVAL, COUNTY & SWP&D REVIEW COMMENTS   |

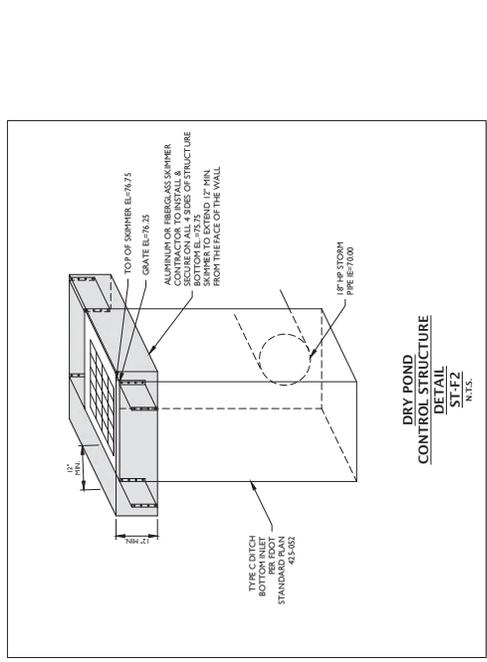
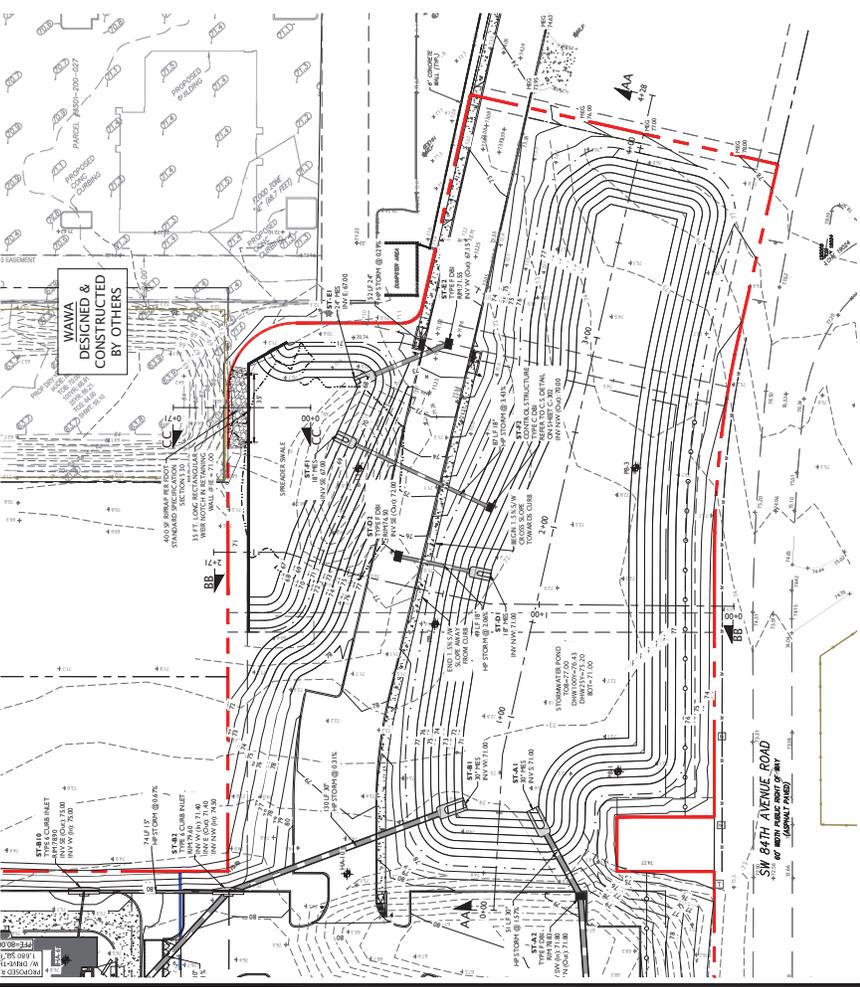
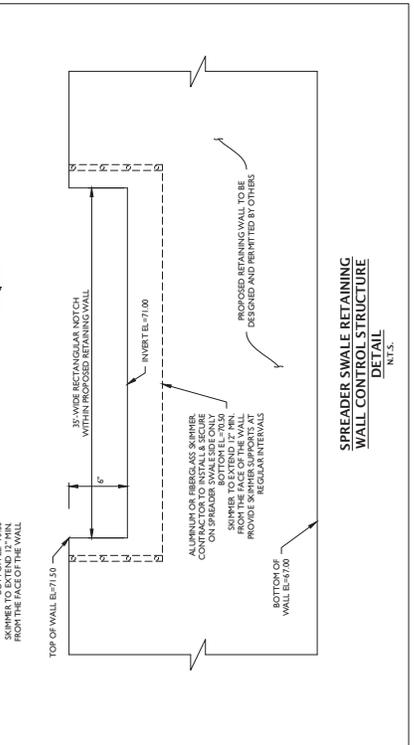
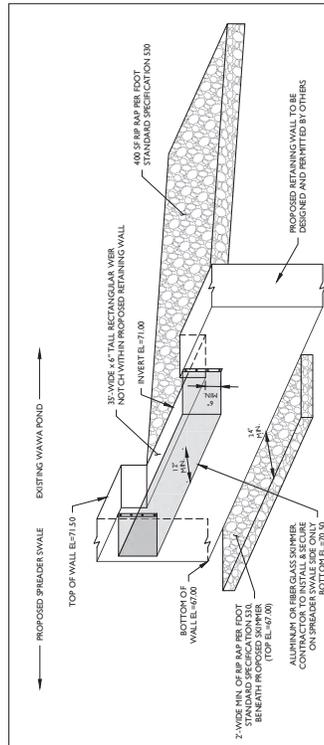
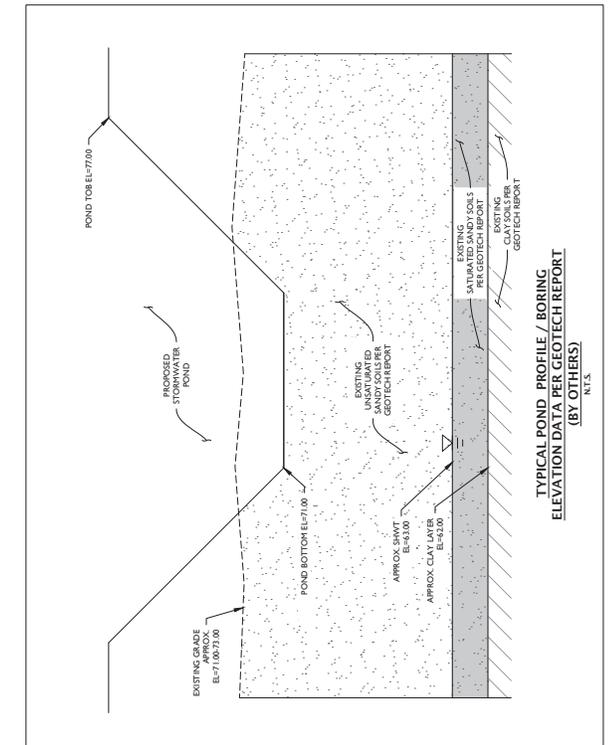
**sunshine**  
 Call 811 or visit [www.sunshine811.com](http://www.sunshine811.com) to locate buried utilities before digging to help business days before digging to help buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 80758

PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**  
 FOR  
**CORTA OCALA, LLC**  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

SHEET TITLE  
**CROSS SECTIONS**

PROJECT NO: 231336  
 CHECKED BY: JJS  
 DATE: 12/23/24  
 DRAWN BY: JJS  
 SHEET NUMBER  
**C-305**



SCALE P = 3/8"

**LEGEND:**

- ADJACENT PROPERTY LINE
- PROPERTY BOUNDARY
- PROPOSED CONCRETE
- PROPOSED DRIVEWAY
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED POINT ELEVATION
- PROPOSED CONTROL
- BORING TEST LOCATION
- ASBESTOS TEST LOCATION
- DOWN SLOPE
- DRAINAGE FLOW ARROW
- STORM SEWER/DRAINAGE PIPE











| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 01  | 11/23/24 | REVISION PER ZONING APPROVAL, COUNTY & SWP&D REVIEW COMMENTS |
| 02  | 11/23/24 | REVISION TO COUNTY, SWP&D & FOOT REVIEW COMMENTS             |
| 03  | 05/24/24 | REVISION TO BURIED REAR WALKWAY                              |
| 04  | 02/20/24 | REVISIONS PER FOOT ACCESS & FORKHEAN RELOCATION              |

**REVISIONS**

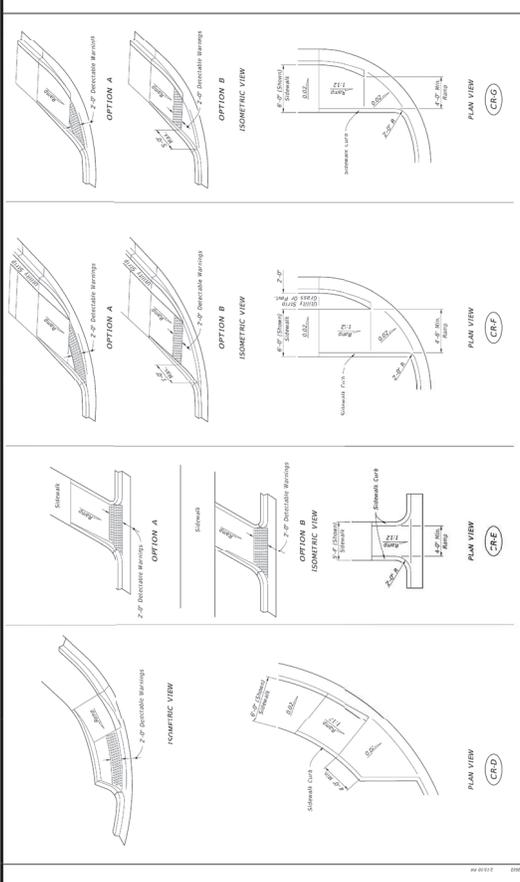
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 Call BT or visit [www.sunshinefl.com](http://www.sunshinefl.com) for business days before opening to have buried facilities located and marked. Check positive response codes before you dig!

**PROJECT NAME**  
 MAJOR SITE PLAN  
 CORTA COMMONS  
 FOR  
 CORTA OCALA, LLC  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

**PROJECT ENGINEER**  
 JOHN J. STOECKEL  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 80753

**CONSTRUCTION DETAILS**

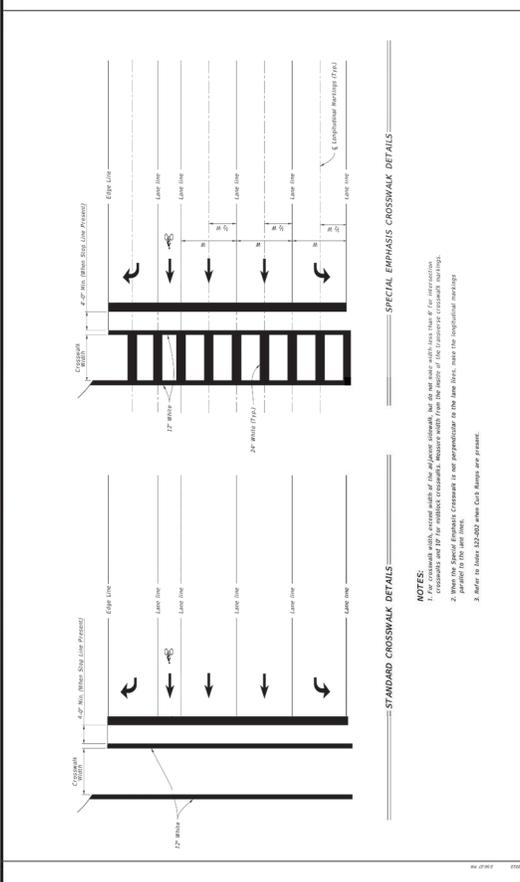
PROJECT NO: 231306  
 CHECKED BY: JPS  
 DATE: 05/23/24  
 SHEET NUMBER: C-501



**DESCRIPTION**  
 DETECTABLE WARNINGS AND SIDEWALK CURB RAMP

**INDEX**  
 522-002

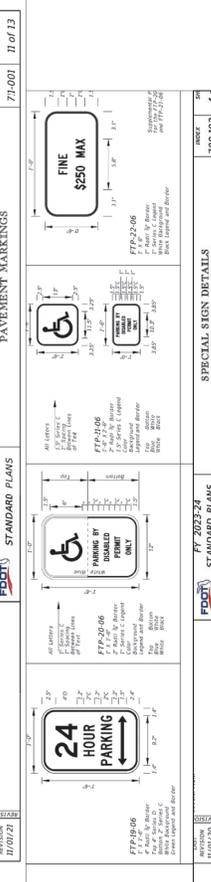
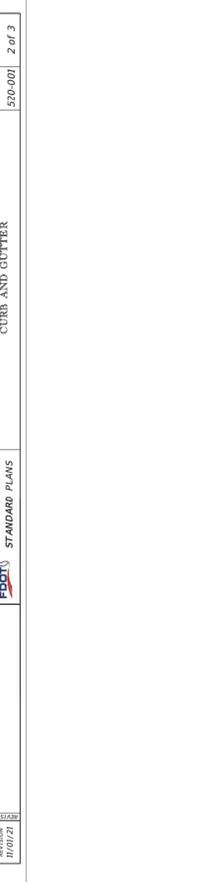
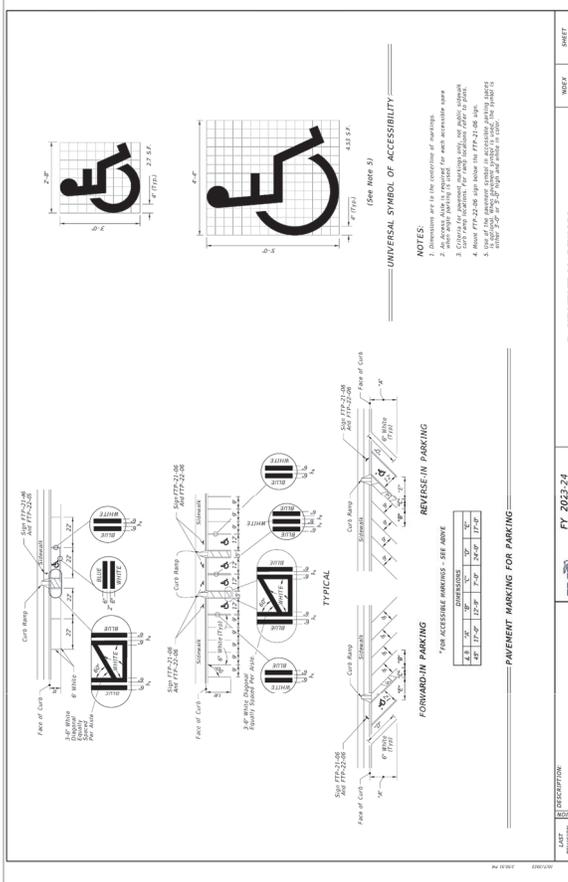
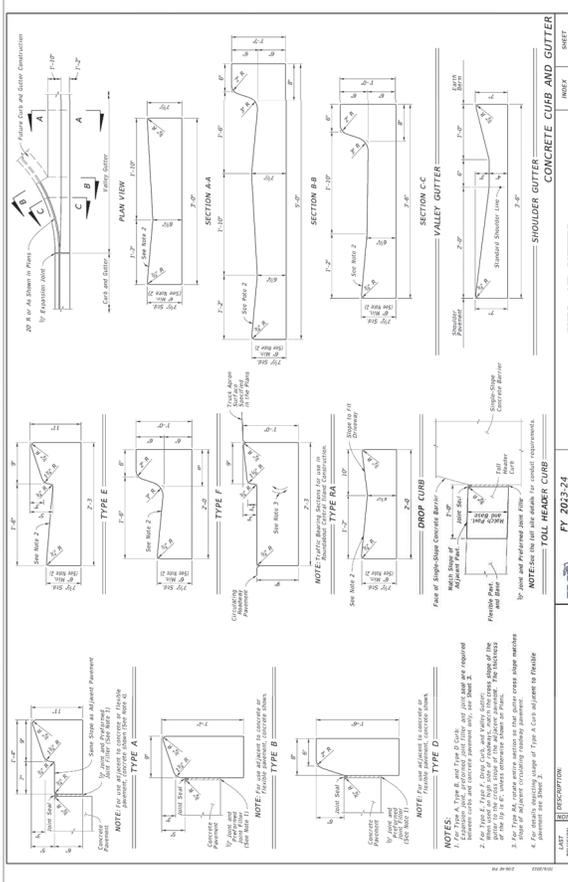
**SHEET**  
 4 OF 3



**DESCRIPTION**  
 PAVEMENT MARKINGS

**INDEX**  
 71-001

**SHEET**  
 9 OF 13



**DESCRIPTION**  
 CONCRETE CURB AND GUTTER

**INDEX**  
 520-001

**SHEET**  
 2 OF 3

**DESCRIPTION**  
 PAVEMENT MARKINGS

**INDEX**  
 71-001

**SHEET**  
 11 OF 13

**DESCRIPTION**  
 SPECIAL SIGN DETAILS

**INDEX**  
 700-02

**SHEET**  
 4 OF 6

| REV | DATE  | DESCRIPTION  |
|-----|-------|--|
| 01  | 01/24 | REVISION PER ZONING APPROVAL, COUNTY & SWP&D REVIEW COMMENTS |
| 02  | 01/24 | REVISION PER COUNTY, SWP&D & FOOT REVIEW COMMENTS            |
| 03  | 02/24 | REVISION TO BUREAU PER RESOLUTION                            |
| 04  | 02/24 | REVISIONS PER FOOT ACCESS & FORKHEIM RELOCATION              |

**Revisions**

Call 811 or visit [www.floridaclear.com](http://www.floridaclear.com) before any business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

**PROJECT NAME**  
MAJOR SITE PLAN  
CORTA COMMONS  
FOR  
CORTA OCALA, LLC  
SW HWY 200, OCALA  
MARION COUNTY, FLORIDA

**PROJECT NUMBER**  
231336

**CHECKED BY:** JPS  
**DATE:** 08/01/23  
**DATE OF REVISION:** N/A  
**SHEET NUMBER:**

**CONSTRUCTION DETAILS**

**INDEX**  
7/1-001  
7/1-002

**SHEET**  
1 of 13  
2 of 13

**PAVEMENT MESSAGE AND ARROW DETAILS**

**PAVEMENT MESSAGE NOTES:**

- Place all pavement messages 2' back from the stop line.
- Messages shall be 4" high.
- All letters are 2" x 4".
- All pavement messages must be white except Route Shields.
- Message width of route shield for routes with three digits.

**PAVEMENT MARKINGS**

**MARKINGS FOR MERGE**

**YIELD LINES**

**INDEX**  
7/1-001  
7/1-002

**SHEET**  
1 of 13  
2 of 13



| REV | DATE  | DESCRIPTION  |
|-----|-------|--|
| 1   | 01/24 | REVISION PER ZONING APPROVAL, COUNTY & SWP&D REVIEW COMMENTS |
| 2   | 01/24 | REVISION PER COUNTY, SWP&D & FOOT REVIEW COMMENTS            |
| 3   | 02/24 | REVISION TO BUREAU PER RESOLUTION                            |
| 4   | 02/24 | REVISIONS PER FOOT ACCESS & FORKHEIM RELATION                |

**Revisions**

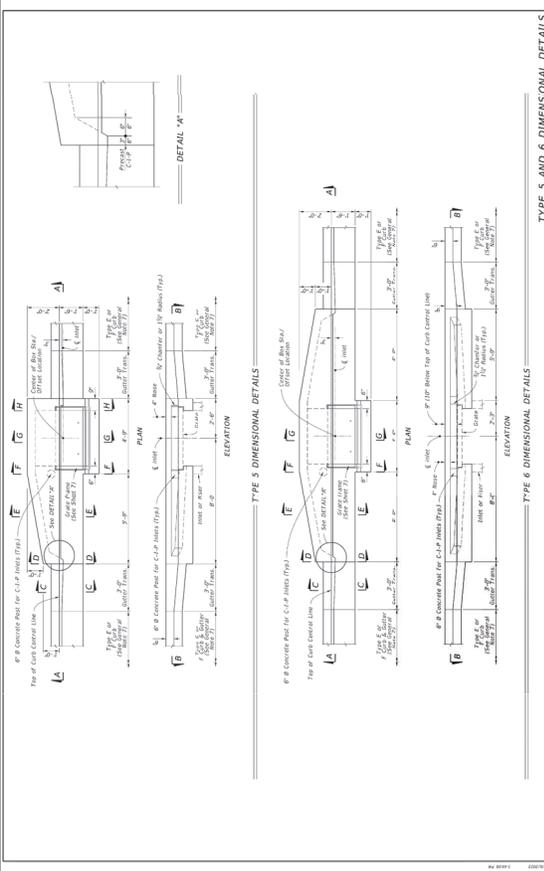
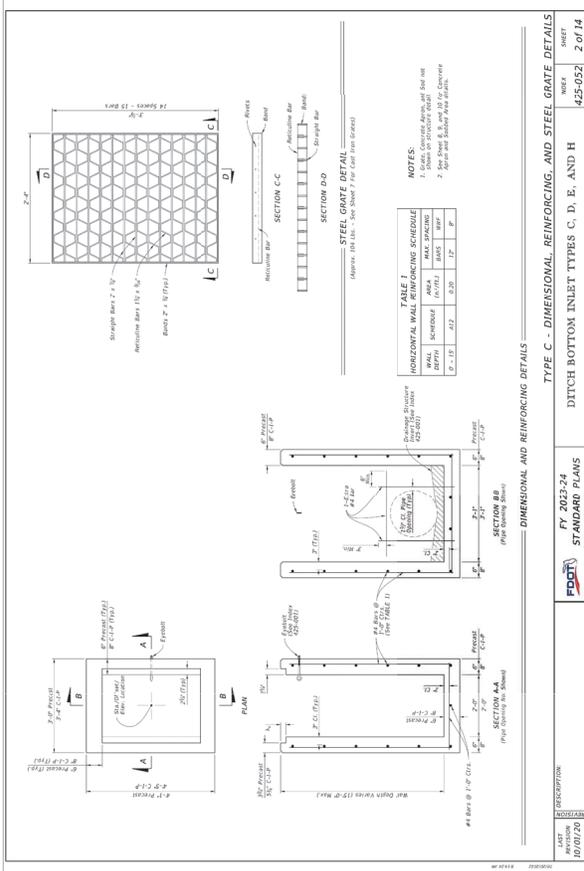
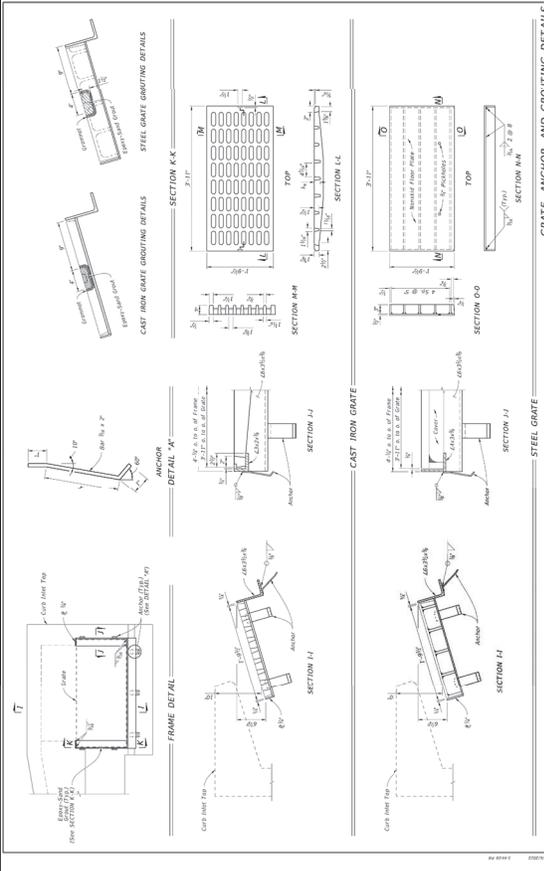
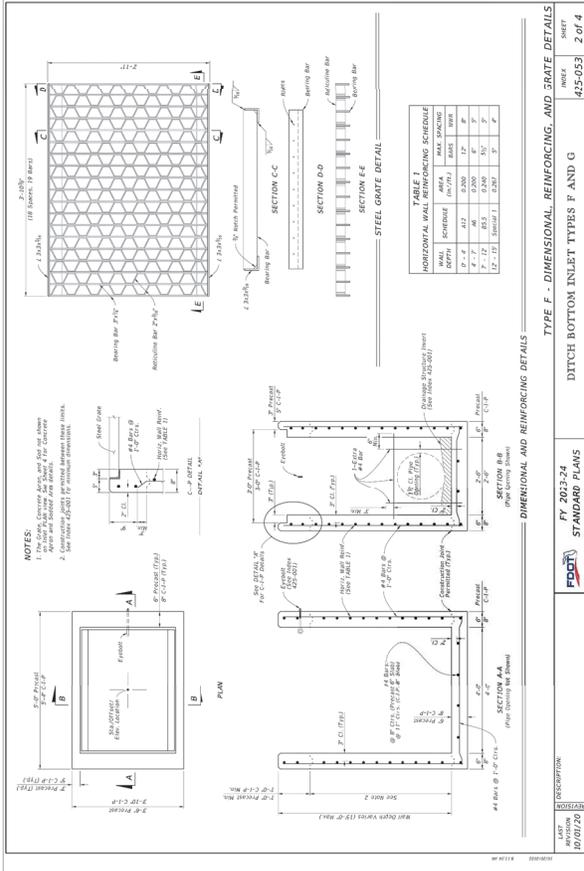
**Call out or highlight items that will be business days before opening to have buried facilities located and marked. Check positive response codes before you dig!**

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80738

**PROJECT NAME**  
MAJOR SITE PLAN  
CORTA COMMONS  
FOR  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

**SHEET TITLE**  
DRAINAGE DETAILS

PROJECT NO: 231336  
CHECKED BY: JPS  
DATE OF REVISION: 01/24/2024  
SHEET NUMBER: C-504



**DESCRIPTION**  
DITCH BOTTOM INLET TYPES F AND G

**REVISIONS**  
LAST REVISION: 01/24/2024

**STANDARD PLANS**  
FY 2023-24

**INDEX**  
425-021

**SHEET**  
2 OF 4

**DESCRIPTION**  
CURB INLET TOP TYPES 5 AND 6

**REVISIONS**  
LAST REVISION: 01/24/2024

**STANDARD PLANS**  
FY 2023-24

**INDEX**  
425-021

**SHEET**  
2 OF 7

| REV | DATE  | DESCRIPTION  |
|-----|-------|--|
| 01  | 12/24 | REVISION PER ZONING APPROVAL, COUNTY & SWPWD REVIEW COMMENTS |
| 02  | 01/24 | REVISION PER COUNTY, SWPWD & FOOT REVIEW COMMENTS            |
| 03  | 05/24 | REVISION TO BURIED PIPE RESOLUTION                           |
| 04  | 02/24 | REVISIONS PER FOOT ACCESS & FORKHEIM RELOCATION              |
| 05  |       |  |
| 06  |       |  |
| 07  |       |  |
| 08  |       |  |
| 09  |       |  |
| 10  |       |  |
| 11  |       |  |
| 12  |       |  |

**REVISIONS**

**sunshine**  
CONSTRUCTION

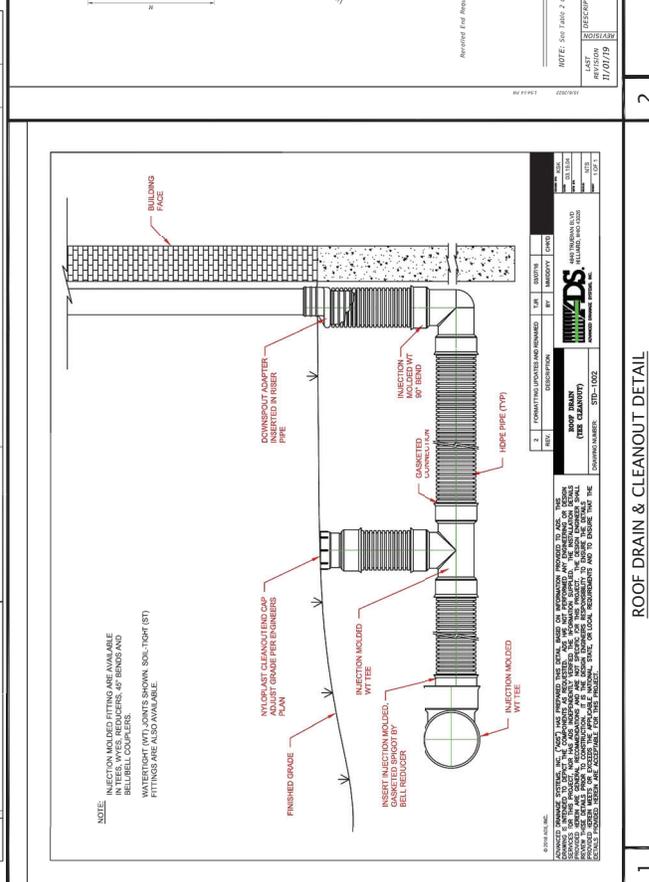
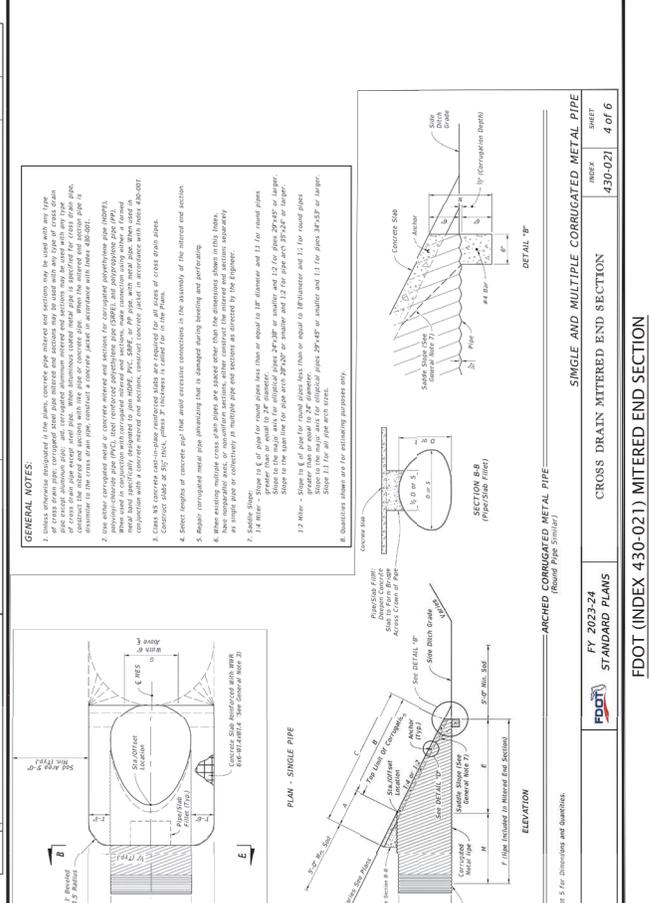
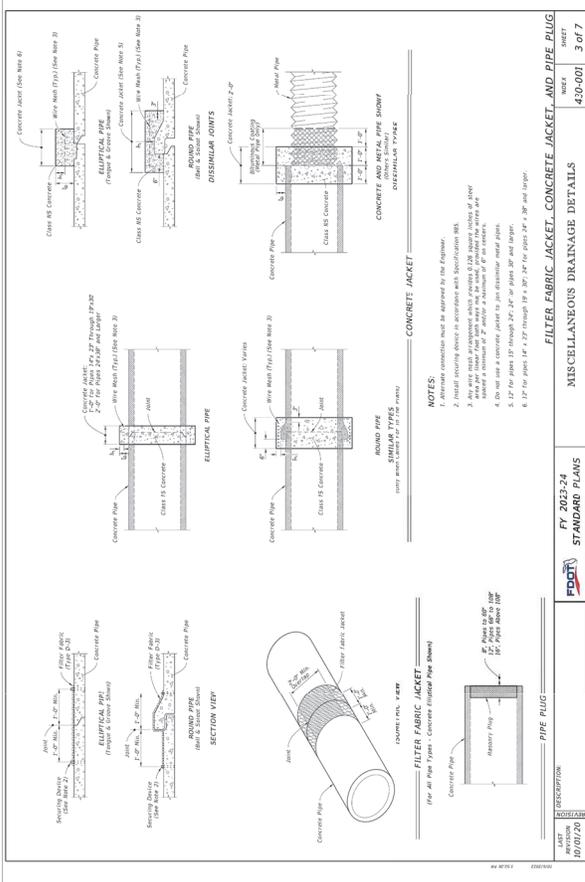
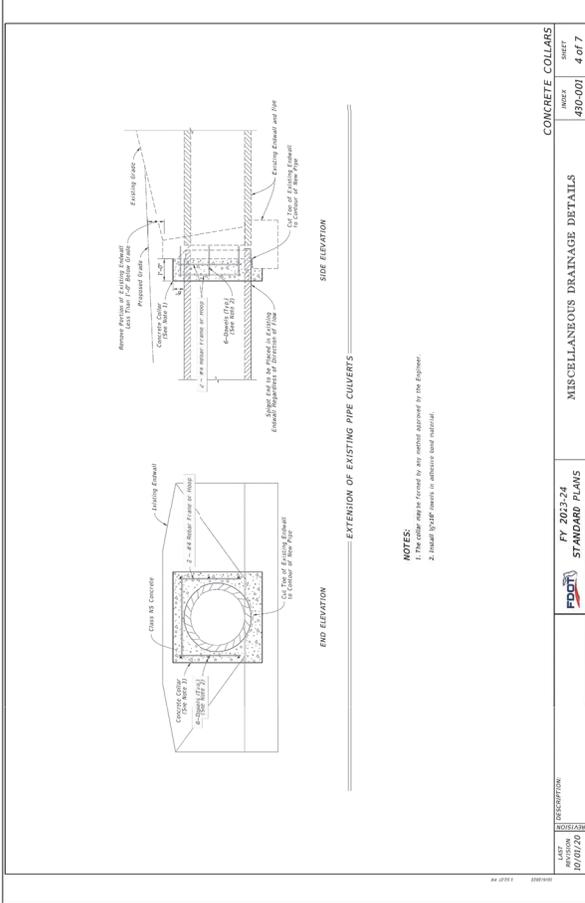
Call BT or visit [www.sunshineconstruction.com](http://www.sunshineconstruction.com) for business days before opening to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80733

**PROJECT NAME**  
MAJOR SITE PLAN  
CORTA COMMONS  
FOR  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

**SHEET TITLE**  
DRAINAGE DETAILS

**PROJECT NO.** 231336  
**CHECKED BY:** JPS  
**DATE:** 12/10/20  
**DATE OF REVISION:** 12/10/20  
**SHEET NUMBER**  
**C-505**



**DESCRIPTION**  
FY 2023-24  
STANDARD PLANS  
INDEX  
430-001  
SHEET  
4 OF 7

**DESCRIPTION**  
FY 2023-24  
STANDARD PLANS  
INDEX  
430-001  
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3 OF 7

**DESCRIPTION**  
FY 2023-24  
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INDEX  
430-021  
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4 OF 6

**DESCRIPTION**  
FY 2023-24  
STANDARD PLANS  
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430-002  
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1 OF 2



| REV | DATE       | DESCRIPTION   |
|-----|------------|---|
| 1   | 07/15/2023 | ISSUE FOR PERMITTING                                |
| 2   | 07/15/2023 | REVISION FOR COUNTY, COUNTY & SWPMD REVIEW COMMENTS |
| 3   | 07/15/2023 | REVISION FOR COUNTY, COUNTY & SWPMD REVIEW COMMENTS |
| 4   | 07/15/2023 | REVISION FOR COUNTY, COUNTY & SWPMD REVIEW COMMENTS |
| 5   | 07/15/2023 | REVISION FOR COUNTY, COUNTY & SWPMD REVIEW COMMENTS |
| 6   | 07/15/2023 | REVISION FOR COUNTY, COUNTY & SWPMD REVIEW COMMENTS |
| 7   | 07/15/2023 | REVISION FOR COUNTY, COUNTY & SWPMD REVIEW COMMENTS |
| 8   | 07/15/2023 | REVISION FOR COUNTY, COUNTY & SWPMD REVIEW COMMENTS |
| 9   | 07/15/2023 | REVISION FOR COUNTY, COUNTY & SWPMD REVIEW COMMENTS |
| 10  | 07/15/2023 | REVISION FOR COUNTY, COUNTY & SWPMD REVIEW COMMENTS |

sunshine  
 Call BT or visit [www.sunshine.com](http://www.sunshine.com) for business days before opening to have buried facilities located and marked. Check positive response codes before you dig!

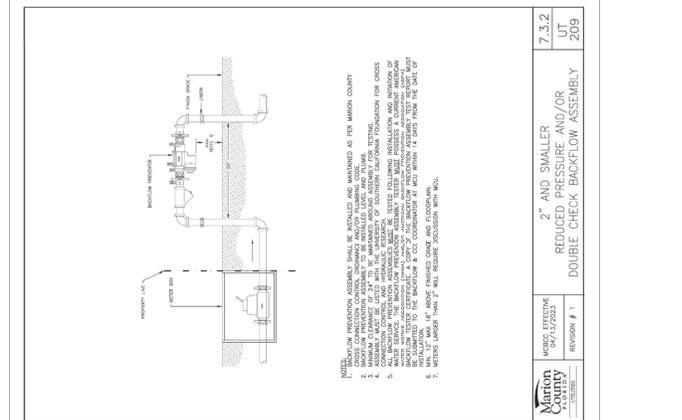
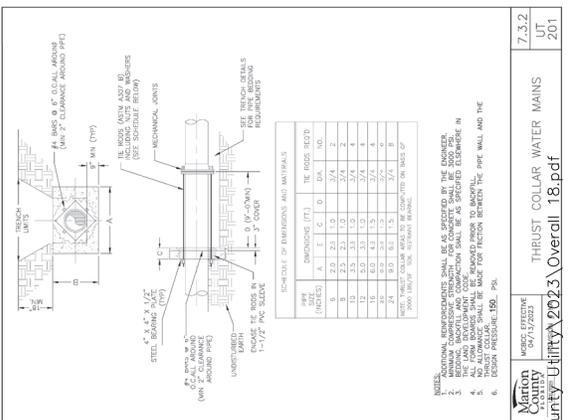
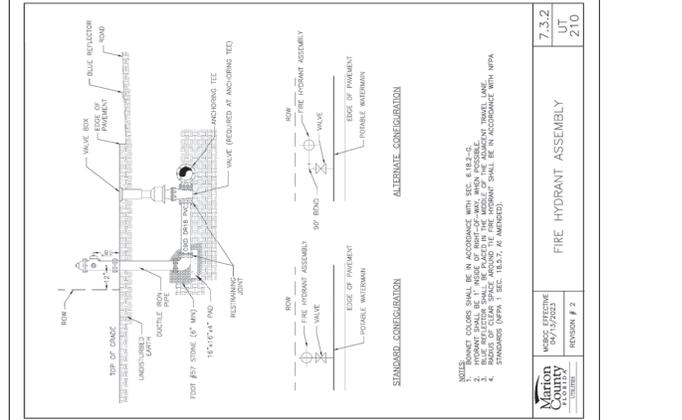
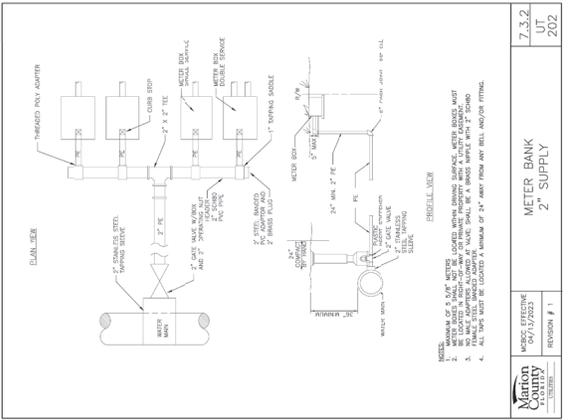
**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 80753

PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**

FOR  
**CORTA OCALA, LLC**  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

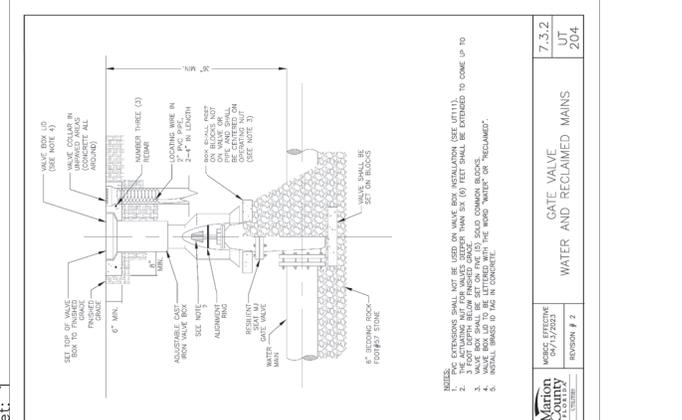
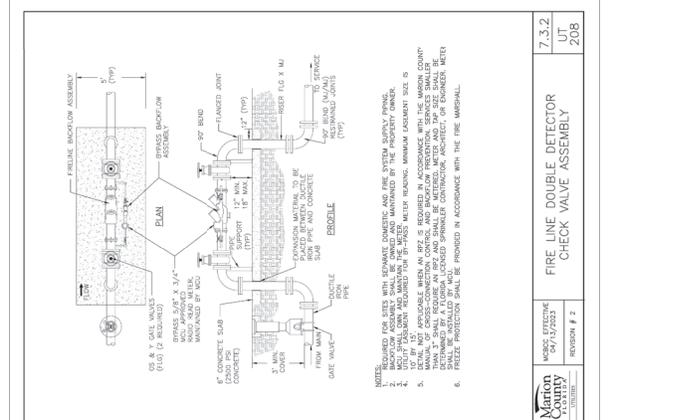
SHEET TITLE  
**MARION COUNTY**  
**UTILITY DETAILS**

PROJECT NO: 231396  
 DATE OF REVISION: N/A  
 DRAWN BY: JST  
 CHECKED BY: JST  
 SHEET NUMBER  
**C-508**



**MINIMUM RESTRAINED LENGTH (FT) FOR EACH SIDE OF FITTING AND VALVE FOR 150 PSI WATER MAINS**

| PIPE SIZE (IN) | RESTRAINED LENGTH (FT) |
|----------------|------------------------|
| 1/2"           | 1.0                    |
| 3/4"           | 1.5                    |
| 1"             | 2.0                    |
| 1 1/4"         | 2.5                    |
| 1 1/2"         | 3.0                    |
| 2"             | 4.0                    |
| 2 1/2"         | 5.0                    |
| 3"             | 6.0                    |
| 3 1/2"         | 7.0                    |
| 4"             | 8.0                    |
| 4 1/2"         | 9.0                    |
| 5"             | 10.0                   |
| 5 1/2"         | 11.0                   |
| 6"             | 12.0                   |
| 6 1/2"         | 13.0                   |
| 7"             | 14.0                   |
| 7 1/2"         | 15.0                   |
| 8"             | 16.0                   |
| 8 1/2"         | 17.0                   |
| 9"             | 18.0                   |
| 9 1/2"         | 19.0                   |
| 10"            | 20.0                   |
| 10 1/2"        | 21.0                   |
| 11"            | 22.0                   |
| 11 1/2"        | 23.0                   |
| 12"            | 24.0                   |
| 12 1/2"        | 25.0                   |
| 13"            | 26.0                   |
| 13 1/2"        | 27.0                   |
| 14"            | 28.0                   |
| 14 1/2"        | 29.0                   |
| 15"            | 30.0                   |
| 15 1/2"        | 31.0                   |
| 16"            | 32.0                   |
| 16 1/2"        | 33.0                   |
| 17"            | 34.0                   |
| 17 1/2"        | 35.0                   |
| 18"            | 36.0                   |
| 18 1/2"        | 37.0                   |
| 19"            | 38.0                   |
| 19 1/2"        | 39.0                   |
| 20"            | 40.0                   |
| 20 1/2"        | 41.0                   |
| 21"            | 42.0                   |
| 21 1/2"        | 43.0                   |
| 22"            | 44.0                   |
| 22 1/2"        | 45.0                   |
| 23"            | 46.0                   |
| 23 1/2"        | 47.0                   |
| 24"            | 48.0                   |
| 24 1/2"        | 49.0                   |
| 25"            | 50.0                   |
| 25 1/2"        | 51.0                   |
| 26"            | 52.0                   |
| 26 1/2"        | 53.0                   |
| 27"            | 54.0                   |
| 27 1/2"        | 55.0                   |
| 28"            | 56.0                   |
| 28 1/2"        | 57.0                   |
| 29"            | 58.0                   |
| 29 1/2"        | 59.0                   |
| 30"            | 60.0                   |
| 30 1/2"        | 61.0                   |
| 31"            | 62.0                   |
| 31 1/2"        | 63.0                   |
| 32"            | 64.0                   |
| 32 1/2"        | 65.0                   |
| 33"            | 66.0                   |
| 33 1/2"        | 67.0                   |
| 34"            | 68.0                   |
| 34 1/2"        | 69.0                   |
| 35"            | 70.0                   |
| 35 1/2"        | 71.0                   |
| 36"            | 72.0                   |
| 36 1/2"        | 73.0                   |
| 37"            | 74.0                   |
| 37 1/2"        | 75.0                   |
| 38"            | 76.0                   |
| 38 1/2"        | 77.0                   |
| 39"            | 78.0                   |
| 39 1/2"        | 79.0                   |
| 40"            | 80.0                   |
| 40 1/2"        | 81.0                   |
| 41"            | 82.0                   |
| 41 1/2"        | 83.0                   |
| 42"            | 84.0                   |
| 42 1/2"        | 85.0                   |
| 43"            | 86.0                   |
| 43 1/2"        | 87.0                   |
| 44"            | 88.0                   |
| 44 1/2"        | 89.0                   |
| 45"            | 90.0                   |
| 45 1/2"        | 91.0                   |
| 46"            | 92.0                   |
| 46 1/2"        | 93.0                   |
| 47"            | 94.0                   |
| 47 1/2"        | 95.0                   |
| 48"            | 96.0                   |
| 48 1/2"        | 97.0                   |
| 49"            | 98.0                   |
| 49 1/2"        | 99.0                   |
| 50"            | 100.0                  |



| REV | DATE       | DESCRIPTION  |
|-----|------------|--------------|
| 18  | 01/15/2023 | REVISION # 2 |
| 17  | 01/15/2023 | REVISION # 1 |
| 16  | 01/15/2023 | REVISION # 1 |
| 15  | 01/15/2023 | REVISION # 1 |
| 14  | 01/15/2023 | REVISION # 1 |
| 13  | 01/15/2023 | REVISION # 1 |
| 12  | 01/15/2023 | REVISION # 1 |
| 11  | 01/15/2023 | REVISION # 1 |
| 10  | 01/15/2023 | REVISION # 1 |
| 9   | 01/15/2023 | REVISION # 1 |
| 8   | 01/15/2023 | REVISION # 1 |
| 7   | 01/15/2023 | REVISION # 1 |
| 6   | 01/15/2023 | REVISION # 1 |
| 5   | 01/15/2023 | REVISION # 1 |
| 4   | 01/15/2023 | REVISION # 1 |
| 3   | 01/15/2023 | REVISION # 1 |
| 2   | 01/15/2023 | REVISION # 1 |
| 1   | 01/15/2023 | REVISION # 1 |

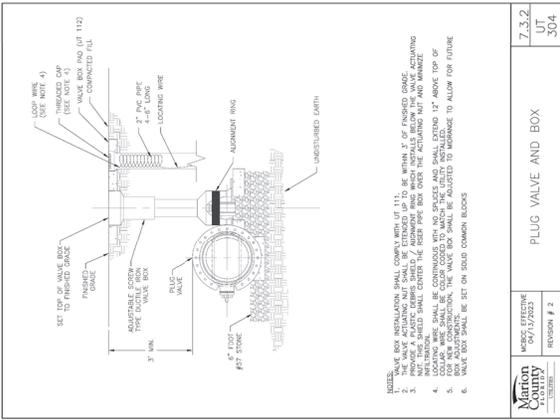
**sunshine**  
Call BT or visit [www.sunshinefl.com](http://www.sunshinefl.com) for business days before opening to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 807338

**PROJECT NAME**  
MAJOR SITE PLAN  
CORTA COMMONS  
FOR  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

**SHEET TITLE**  
MARION COUNTY  
UTILITY DETAILS

**PROJECT NO.** 231396  
**CHECKED BY:** JPS  
**DATE:** 01/15/2023  
**SCALE:** AS SHOWN  
**SHEET NUMBER**  
**C-509**

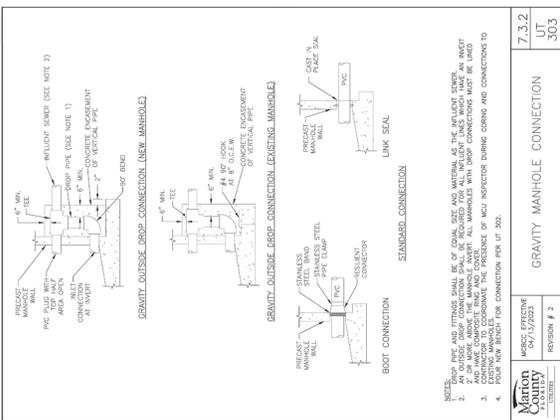


- NOTES:**
1. VALVE BOX INSTALLATION SHALL COMPLY WITH UT 111.
  2. PROVIDE A PLUG VALVE WHICH INSTALLS BELOW THE VALVE ACTUATING MECHANISM.
  3. VALVE BOX SHALL BE CLEAN, DRY, AND PROTECTED FROM DAMAGE.
  4. VALVE BOX SHALL BE CLEAN, DRY, AND PROTECTED FROM DAMAGE.
  5. VALVE BOX SHALL BE CLEAN, DRY, AND PROTECTED FROM DAMAGE.
  6. VALVE BOX SHALL BE CLEAN, DRY, AND PROTECTED FROM DAMAGE.

**Marion County**  
MDCB EFFECTIVE 06/15/2023  
REVISION # 2

**7.3.2**  
**UT**  
**304**

**PLUG VALVE AND BOX**

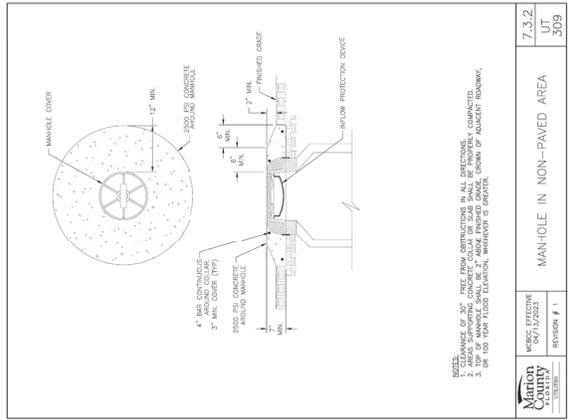


- NOTES:**
1. IN OUTSIDE DROP CONNECTION, ALL 4\"/>

**Marion County**  
MDCB EFFECTIVE 06/15/2023  
REVISION # 2

**7.3.2**  
**UT**  
**303**

**GRAVITY MANHOLE CONNECTION**

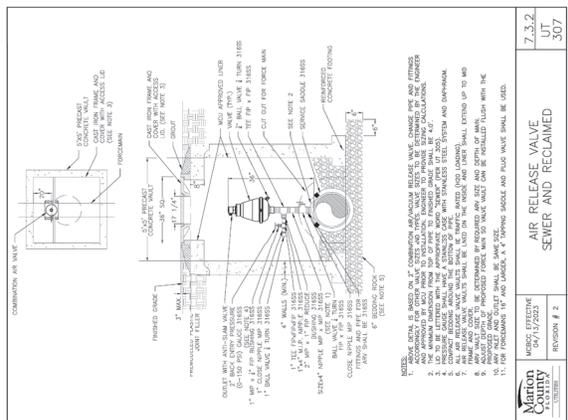


- NOTES:**
1. CLEARANCE OF 30\"/>

**Marion County**  
MDCB EFFECTIVE 06/15/2023  
REVISION # 1

**7.3.2**  
**UT**  
**309**

**MANHOLE IN NON-PAVED AREA**

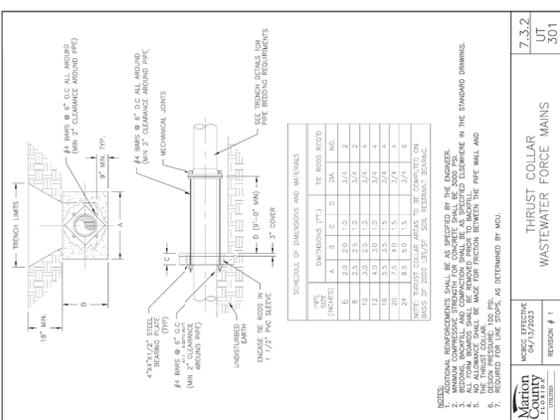


- NOTES:**
1. AIR RELEASE VALVE SHALL BE INSTALLED IN THE MANHOLE.
  2. THE AIR RELEASE VALVE SHALL BE INSTALLED IN THE MANHOLE.
  3. THE AIR RELEASE VALVE SHALL BE INSTALLED IN THE MANHOLE.
  4. THE AIR RELEASE VALVE SHALL BE INSTALLED IN THE MANHOLE.
  5. THE AIR RELEASE VALVE SHALL BE INSTALLED IN THE MANHOLE.
  6. THE AIR RELEASE VALVE SHALL BE INSTALLED IN THE MANHOLE.
  7. THE AIR RELEASE VALVE SHALL BE INSTALLED IN THE MANHOLE.
  8. THE AIR RELEASE VALVE SHALL BE INSTALLED IN THE MANHOLE.
  9. THE AIR RELEASE VALVE SHALL BE INSTALLED IN THE MANHOLE.
  10. THE AIR RELEASE VALVE SHALL BE INSTALLED IN THE MANHOLE.
  11. THE AIR RELEASE VALVE SHALL BE INSTALLED IN THE MANHOLE.

**Marion County**  
MDCB EFFECTIVE 06/15/2023  
REVISION # 2

**7.3.2**  
**UT**  
**307**

**AIR RELEASE VALVE SERVED AND RECLAIMED**

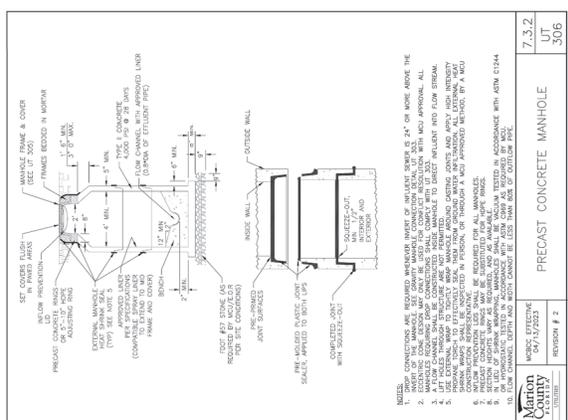


- NOTES:**
1. MATERIALS, DIMENSIONS SHALL BE AS SPECIFIED BY THE MANHOLE.
  2. MATERIALS, DIMENSIONS SHALL BE AS SPECIFIED BY THE MANHOLE.
  3. MATERIALS, DIMENSIONS SHALL BE AS SPECIFIED BY THE MANHOLE.
  4. MATERIALS, DIMENSIONS SHALL BE AS SPECIFIED BY THE MANHOLE.
  5. MATERIALS, DIMENSIONS SHALL BE AS SPECIFIED BY THE MANHOLE.
  6. MATERIALS, DIMENSIONS SHALL BE AS SPECIFIED BY THE MANHOLE.
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  8. MATERIALS, DIMENSIONS SHALL BE AS SPECIFIED BY THE MANHOLE.
  9. MATERIALS, DIMENSIONS SHALL BE AS SPECIFIED BY THE MANHOLE.
  10. MATERIALS, DIMENSIONS SHALL BE AS SPECIFIED BY THE MANHOLE.
  11. MATERIALS, DIMENSIONS SHALL BE AS SPECIFIED BY THE MANHOLE.

**Marion County**  
MDCB EFFECTIVE 06/15/2023  
REVISION # 1

**7.3.2**  
**UT**  
**301**

**THIRST COLLAR WASTEWATER FORCE MAINS**

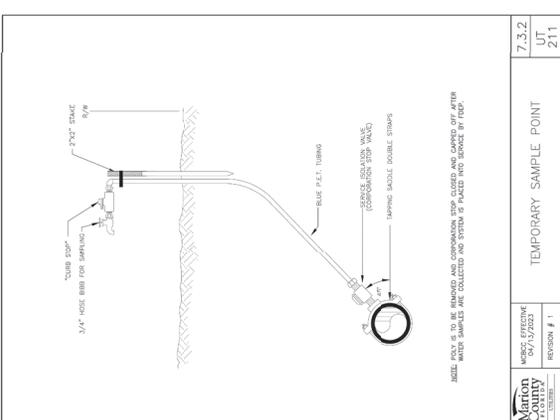


- NOTES:**
1. THE MANHOLE SHALL BE INSTALLED IN THE MANHOLE.
  2. THE MANHOLE SHALL BE INSTALLED IN THE MANHOLE.
  3. THE MANHOLE SHALL BE INSTALLED IN THE MANHOLE.
  4. THE MANHOLE SHALL BE INSTALLED IN THE MANHOLE.
  5. THE MANHOLE SHALL BE INSTALLED IN THE MANHOLE.
  6. THE MANHOLE SHALL BE INSTALLED IN THE MANHOLE.
  7. THE MANHOLE SHALL BE INSTALLED IN THE MANHOLE.
  8. THE MANHOLE SHALL BE INSTALLED IN THE MANHOLE.
  9. THE MANHOLE SHALL BE INSTALLED IN THE MANHOLE.
  10. THE MANHOLE SHALL BE INSTALLED IN THE MANHOLE.
  11. THE MANHOLE SHALL BE INSTALLED IN THE MANHOLE.

**Marion County**  
MDCB EFFECTIVE 06/15/2023  
REVISION # 2

**7.3.2**  
**UT**  
**306**

**PRECAST CONCRETE MANHOLE**

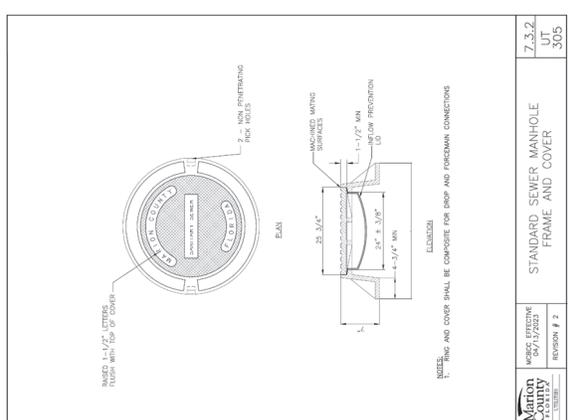


- NOTES:**
1. THE SAMPLE POINT SHALL BE INSTALLED IN THE MANHOLE.
  2. THE SAMPLE POINT SHALL BE INSTALLED IN THE MANHOLE.
  3. THE SAMPLE POINT SHALL BE INSTALLED IN THE MANHOLE.
  4. THE SAMPLE POINT SHALL BE INSTALLED IN THE MANHOLE.
  5. THE SAMPLE POINT SHALL BE INSTALLED IN THE MANHOLE.
  6. THE SAMPLE POINT SHALL BE INSTALLED IN THE MANHOLE.
  7. THE SAMPLE POINT SHALL BE INSTALLED IN THE MANHOLE.
  8. THE SAMPLE POINT SHALL BE INSTALLED IN THE MANHOLE.
  9. THE SAMPLE POINT SHALL BE INSTALLED IN THE MANHOLE.
  10. THE SAMPLE POINT SHALL BE INSTALLED IN THE MANHOLE.
  11. THE SAMPLE POINT SHALL BE INSTALLED IN THE MANHOLE.

**Marion County**  
MDCB EFFECTIVE 06/15/2023  
REVISION # 1

**7.3.2**  
**UT**  
**211**

**TEMPORARY SAMPLE POINT**



- NOTES:**
1. THE MANHOLE SHALL BE INSTALLED IN THE MANHOLE.
  2. THE MANHOLE SHALL BE INSTALLED IN THE MANHOLE.
  3. THE MANHOLE SHALL BE INSTALLED IN THE MANHOLE.
  4. THE MANHOLE SHALL BE INSTALLED IN THE MANHOLE.
  5. THE MANHOLE SHALL BE INSTALLED IN THE MANHOLE.
  6. THE MANHOLE SHALL BE INSTALLED IN THE MANHOLE.
  7. THE MANHOLE SHALL BE INSTALLED IN THE MANHOLE.
  8. THE MANHOLE SHALL BE INSTALLED IN THE MANHOLE.
  9. THE MANHOLE SHALL BE INSTALLED IN THE MANHOLE.
  10. THE MANHOLE SHALL BE INSTALLED IN THE MANHOLE.
  11. THE MANHOLE SHALL BE INSTALLED IN THE MANHOLE.

**Marion County**  
MDCB EFFECTIVE 06/15/2023  
REVISION # 2

**7.3.2**  
**UT**  
**305**

**STANDARD SEWER MANHOLE FRAME AND COVER**

| REV | DATE     | DESCRIPTION   |
|-----|----------|---|
| 07  | 11/07/24 | UPDATED PLANS FROM RE-DESIGN FOR PERMIT HOORATION SUBMITTAL   |
| 06  | 07/17/24 | REVISION OF CROSS ACCESS & LOWEDED SITE AT TFC                |
| 05  | 07/07/24 | REVISIONS PER FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/NO  |
| 04  | 07/07/24 | REVISIONS PER FOOT ACCESS & FORKHAM ALLOCATION                |
| 03  | 07/07/24 | REVISION TO BURIED PER RESOLUTION                             |
| 02  | 07/07/24 | REVISION TO COUNTY, SWAMPY & FOOT REVIEW COMMENTS             |
| 01  | 07/24    | REVISION PER COUNTY APPROVAL, COUNTY & SWAMPY REVIEW COMMENTS |

**Sunshine**  
Call 811 or visit [sunshine.fl.gov](http://sunshine.fl.gov) before digging. Buried utilities are not always marked. Check positive response codes before your dig!

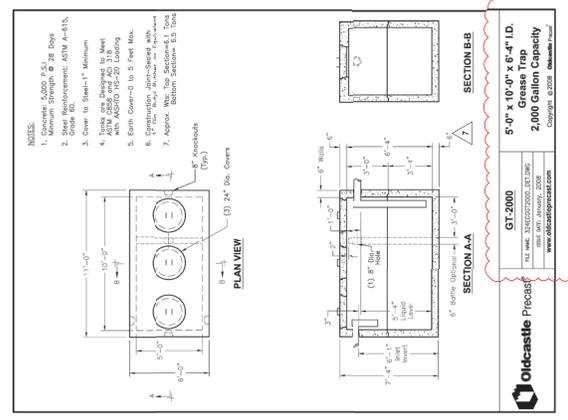
**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80753

**MAJOR SITE PLAN**  
**CORTA COMMONS**

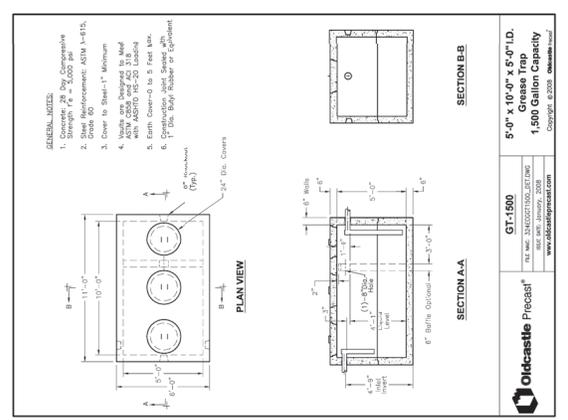
FOR  
**CORTA OCALA, LLC**  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE  
**MARION COUNTY**  
**UTILITY DETAILS**

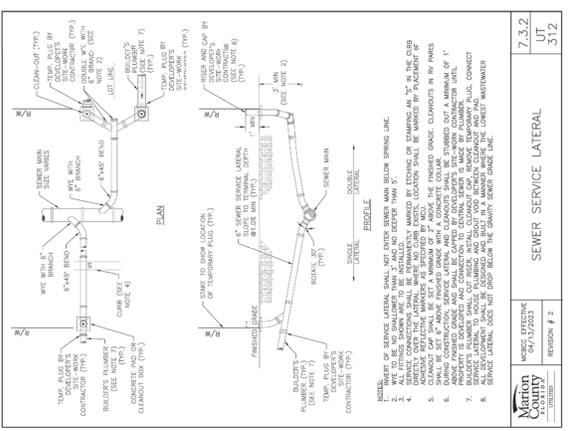
PROJECT NO.: 231396  
DATE: 06/15/2023  
SHEET NUMBER: **C-510**



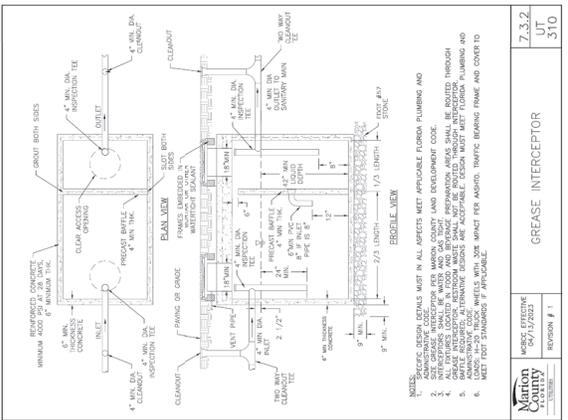
**Oldcastle Precast**  
GT-2000  
5'-0" x 10'-0" x 6'-4" I.D.  
Grease Trap  
2,000 Gallon Capacity  
Copyright © 2008, Oldcastle Precast



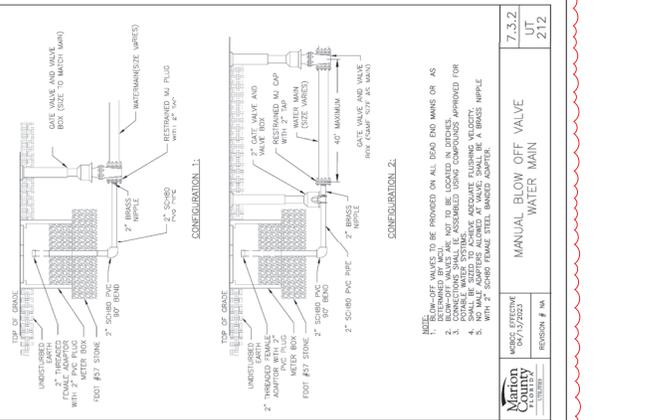
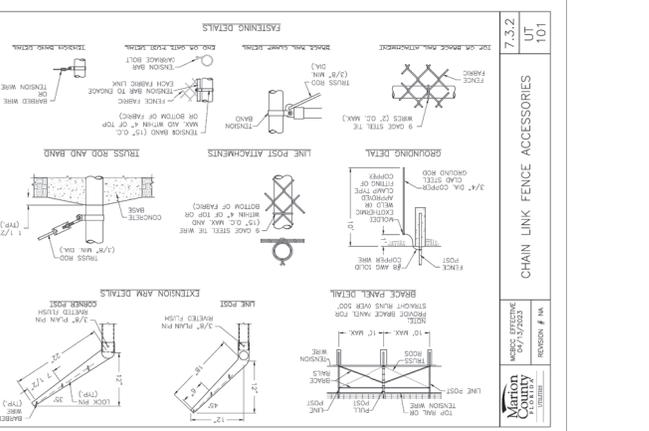
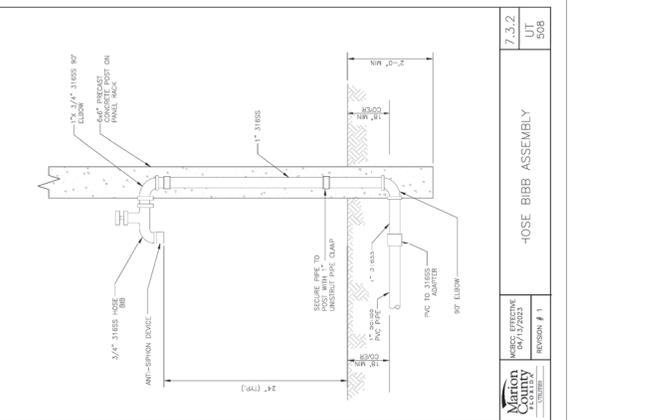
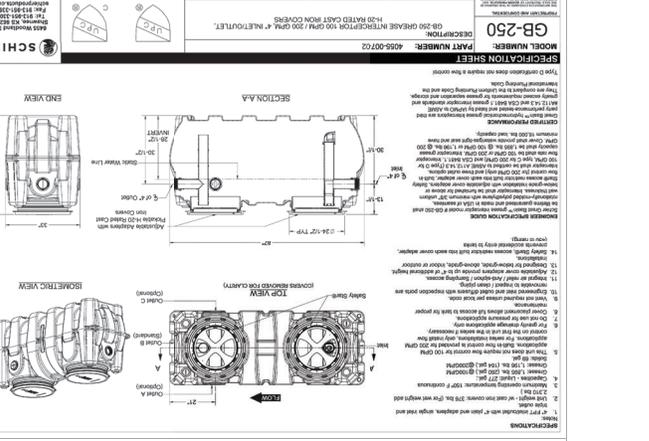
**Oldcastle Precast**  
GT-1800  
5'-0" x 10'-0" x 5'-0" I.D.  
Grease Trap  
1,500 Gallon Capacity  
Copyright © 2008, Oldcastle Precast



**Marton County**  
MCEC EFFECTIVE 04/17/2023  
REVISION # 2  
SEWER SERVICE LATERAL  
UT 312



**Marton County**  
MCEC EFFECTIVE 04/17/2023  
REVISION # 1  
GREASE INTERCEPTOR  
UT 310



**Marton County**  
MCEC EFFECTIVE 04/17/2023  
REVISION # 4  
MANUAL BLOW OFF VALVE  
WATER MAIN  
UT 212



| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 01  | 11/23/24 | REVISION PER ZONING APPROVAL, COUNTY & SWP/WD REVIEW COMMENTS  |
| 02  | 11/23/24 | REVISION PER COUNTY, SWP/WD & FOOT REVIEW COMMENTS             |
| 03  | 10/25/24 | REVISION TO BURIED PER RESOLUTION                              |
| 04  | 10/24/24 | REVISIONS PER FOOT ACCESS & FORKHEIM RELOCATION                |
| 05  | 10/07/24 | REVISIONS PER FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/ROAD |
| 06  | 10/07/24 | REVISION OF CROSS ACCESS & LOWERS SITE AT T/C                  |
| 07  | 11/07/24 | UPDATED PLANS FROM RE-DESIGN FOR PERMIT HOORICATION SUBMITAL   |
| 08  | 10/07/24 | PERMIT HOORICATION REVISION - ACCESS, UTILITY, DRAINAGE        |
| 09  | 11/23/24 | REVISED PER PDR WASTEWATER PERMIT REVIEW                       |

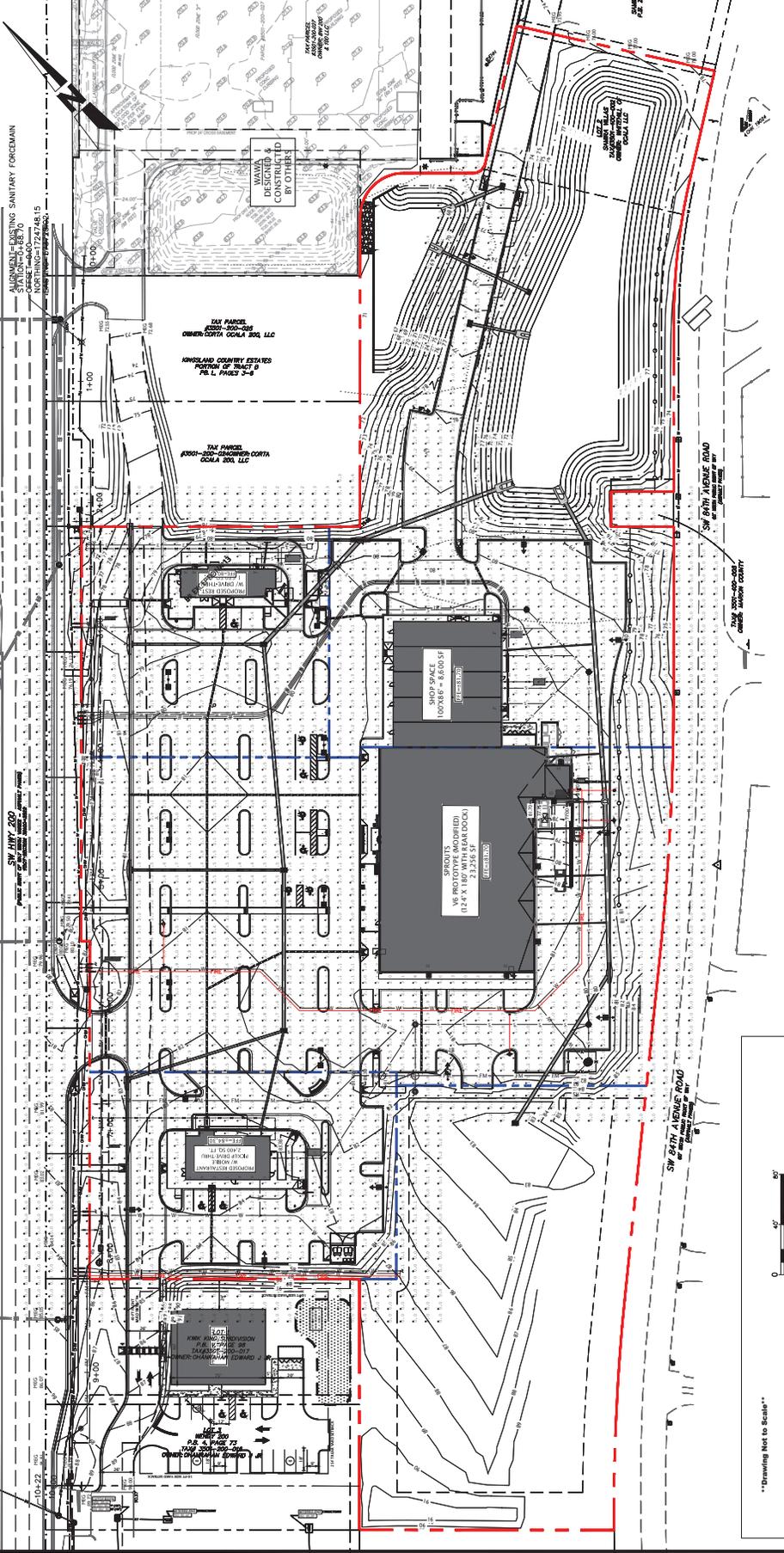
**Sunshine**  
 Call 811 or visit [www.sunshine.com](http://www.sunshine.com) before you dig!  
 business days before you dig. Buried facilities located and marked.  
 Check positive response codes before you dig!

**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 80758

PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**  
 FOR  
**CORTA OCALA, LLC**  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

SHEET TITLE  
**EXTERIOR LIGHTING**  
**PHOTOMETRIC**  
**PLAN**

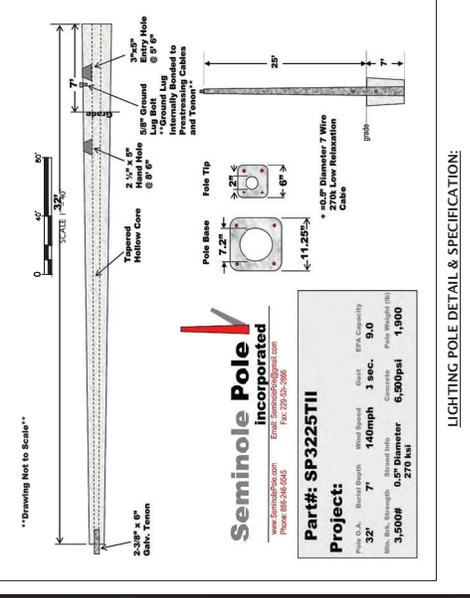
PROJECT NO: 23396  
 CHECKED BY: JPS  
 DATE: 10/23/24  
 SHEET NUMBER: C-601



| Label | Quantity | Unit           | Notes          |
|-------|----------|----------------|----------------|
| 1     | 10       | 10' x 10' Pole | 10' x 10' Pole |
| 2     | 10       | 10' x 10' Pole | 10' x 10' Pole |
| 3     | 10       | 10' x 10' Pole | 10' x 10' Pole |
| 4     | 10       | 10' x 10' Pole | 10' x 10' Pole |
| 5     | 10       | 10' x 10' Pole | 10' x 10' Pole |
| 6     | 10       | 10' x 10' Pole | 10' x 10' Pole |
| 7     | 10       | 10' x 10' Pole | 10' x 10' Pole |
| 8     | 10       | 10' x 10' Pole | 10' x 10' Pole |
| 9     | 10       | 10' x 10' Pole | 10' x 10' Pole |
| 10    | 10       | 10' x 10' Pole | 10' x 10' Pole |

| Label | Quantity | Unit           | Notes          |
|-------|----------|----------------|----------------|
| 1     | 10       | 10' x 10' Pole | 10' x 10' Pole |
| 2     | 10       | 10' x 10' Pole | 10' x 10' Pole |
| 3     | 10       | 10' x 10' Pole | 10' x 10' Pole |
| 4     | 10       | 10' x 10' Pole | 10' x 10' Pole |
| 5     | 10       | 10' x 10' Pole | 10' x 10' Pole |
| 6     | 10       | 10' x 10' Pole | 10' x 10' Pole |
| 7     | 10       | 10' x 10' Pole | 10' x 10' Pole |
| 8     | 10       | 10' x 10' Pole | 10' x 10' Pole |
| 9     | 10       | 10' x 10' Pole | 10' x 10' Pole |
| 10    | 10       | 10' x 10' Pole | 10' x 10' Pole |

- GENERAL NOTES:**
- BOUNDARY, TOPOGRAPHIC AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "ALTA INSURANCE AND TITLE SURVEY LOCATED IN SECTIONS 24 & 25, TOWNSHIP 15 SOUTH, RANGE 18 WEST, MARION COUNTY, FLORIDA," PERFORMED BY GUY HERRINGTON CONSULTANTS, DATED MARCH 18, 2023.
  - THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
  - THE LIGHTING PATTERNS REPRESENT ILLUMINATION LUMENS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP PATTERNS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL ILLUMINATION MAY VARY DUE TO VARIATIONS IN LAMP AND OTHER VARIABLE FIELD CONDITIONS.
  - FIXTURES MOUNTED ON 25 FT POLE LIGHT LEVEL CALCULATED ON THE GROUND.
  - THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR RECEIVING, STORAGE, INSTALLATION AND WIRING OF LIGHT FIXTURES.
  - THE ELECTRICAL CONTRACTOR SHALL REPORT ANY DAMAGED LIGHT FIXTURES OR MISSING PARTS TO THE MANUFACTURER WITHIN 48 HOURS OF RECEIPT OF LIGHT FIXTURE PACKAGE.
  - SITE LIGHTING MATERIALS SHOULD BE PROTECTED THROUGHOUT LIGHTING. NO ALTERNATIVE MATERIALS SHALL BE PERMITTED. CONTACT KEN BRONSTAD, MIS LIGHTING AT 817.840.9332 OR [www.mislighting.com](http://www.mislighting.com).



**Seminole Pole Incorporated**  
 140mph 3 sec. 9.0  
 3,500psi 6.0\"/>

Part#: SP3225T11  
 Project: 23396  
 3,500psi 6.0\"/>

LIGHTING POLE DETAIL & SPECIFICATION

| REV | DATE       | DESCRIPTION   |
|-----|------------|---|
| 01  | 01/24/2018 | REVISION PER COUNTY APPROVAL, COUNTY & SWFWMD REVIEW COMMENTS |
| 02  | 01/24/2018 | REVISION PER COUNTY APPROVAL, COUNTY & SWFWMD REVIEW COMMENTS |
| 03  | 05/02/2018 | REVISION TO BUREAU PER RESOLUTION                             |
| 04  | 02/04/2018 | REVISIONS PER FOOT ACCESS & FORKHEIM RELOCATION               |
| 05  |            |   |
| 06  |            |   |
| 07  |            |   |
| 08  |            |   |
| 09  |            |   |
| 10  |            |   |
| 11  |            |   |
| 12  |            |   |

**sunshine**  
 Call BT or visit [www.sunshine.com](http://www.sunshine.com) for business days before opening to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 601518

PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**  
 FOR  
**CORTA OCALA, LLC**  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

SHEET TITLE  
**SITE LIGHTING**  
**DETAILS & SPECIFICATIONS**

PROJECT NO: 213396  
 CHECKED BY: JPS  
 DATE: 05/02/2018  
 SHEET NUMBER  
**C-602**

**C-SERIES LED AREA MOUNTINGS**

**A-STANDARD ARM MOUNT**  
 Standard arm mount with 1/2" diameter arm. Available in 120V and 277V. Mounting hole spacing: 12" (120V) / 18" (277V).  
**ADU-UNIVERSAL ARM MOUNT**  
 Adjustable arm mount with 1/2" diameter arm. Available in 120V and 277V. Mounting hole spacing: 12" (120V) / 18" (277V).  
**ADU-ADJUSTABLE ARM MOUNT**  
 Adjustable arm mount with 1/2" diameter arm. Available in 120V and 277V. Mounting hole spacing: 12" (120V) / 18" (277V).  
**ADU-DECORATIVE ARM MOUNT**  
 Decorative arm mount with 1/2" diameter arm. Available in 120V and 277V. Mounting hole spacing: 12" (120V) / 18" (277V).  
**MAI-MAST ARM RITZER**  
 Mast arm ritzer with 1/2" diameter arm. Available in 120V and 277V. Mounting hole spacing: 12" (120V) / 18" (277V).  
**K-KNUCKLE**  
 Knuckle arm mount with 1/2" diameter arm. Available in 120V and 277V. Mounting hole spacing: 12" (120V) / 18" (277V).  
**T-TRIMMION**  
 Trimmion arm mount with 1/2" diameter arm. Available in 120V and 277V. Mounting hole spacing: 12" (120V) / 18" (277V).  
**W-WALL MOUNT**  
 Wall mount with 1/2" diameter arm. Available in 120V and 277V. Mounting hole spacing: 12" (120V) / 18" (277V).

**C-SERIES LED AREA MOUNTINGS**

**W-WALL MOUNT**  
 Wall mount with 1/2" diameter arm. Available in 120V and 277V. Mounting hole spacing: 12" (120V) / 18" (277V).  
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**MAI-MAST ARM RITZER**  
 Mast arm ritzer with 1/2" diameter arm. Available in 120V and 277V. Mounting hole spacing: 12" (120V) / 18" (277V).

**C-SERIES LED AREA MICROSTRIP OPTICS ORDERING INFORMATION**

| Model     | Length | Height | Mounting | Optics   | Options  | Comments                             |
|-----------|--------|--------|----------|----------|----------|--------------------------------------|
| MS-100    | 100"   | 1.5"   | Surface  | Standard | None     | Standard surface mount               |
| MS-100-1  | 100"   | 1.5"   | Surface  | Standard | 1" Trim  | Standard surface mount with 1" trim  |
| MS-100-2  | 100"   | 1.5"   | Surface  | Standard | 2" Trim  | Standard surface mount with 2" trim  |
| MS-100-3  | 100"   | 1.5"   | Surface  | Standard | 3" Trim  | Standard surface mount with 3" trim  |
| MS-100-4  | 100"   | 1.5"   | Surface  | Standard | 4" Trim  | Standard surface mount with 4" trim  |
| MS-100-5  | 100"   | 1.5"   | Surface  | Standard | 5" Trim  | Standard surface mount with 5" trim  |
| MS-100-6  | 100"   | 1.5"   | Surface  | Standard | 6" Trim  | Standard surface mount with 6" trim  |
| MS-100-7  | 100"   | 1.5"   | Surface  | Standard | 7" Trim  | Standard surface mount with 7" trim  |
| MS-100-8  | 100"   | 1.5"   | Surface  | Standard | 8" Trim  | Standard surface mount with 8" trim  |
| MS-100-9  | 100"   | 1.5"   | Surface  | Standard | 9" Trim  | Standard surface mount with 9" trim  |
| MS-100-10 | 100"   | 1.5"   | Surface  | Standard | 10" Trim | Standard surface mount with 10" trim |
| MS-100-11 | 100"   | 1.5"   | Surface  | Standard | 11" Trim | Standard surface mount with 11" trim |
| MS-100-12 | 100"   | 1.5"   | Surface  | Standard | 12" Trim | Standard surface mount with 12" trim |
| MS-100-13 | 100"   | 1.5"   | Surface  | Standard | 13" Trim | Standard surface mount with 13" trim |
| MS-100-14 | 100"   | 1.5"   | Surface  | Standard | 14" Trim | Standard surface mount with 14" trim |
| MS-100-15 | 100"   | 1.5"   | Surface  | Standard | 15" Trim | Standard surface mount with 15" trim |
| MS-100-16 | 100"   | 1.5"   | Surface  | Standard | 16" Trim | Standard surface mount with 16" trim |
| MS-100-17 | 100"   | 1.5"   | Surface  | Standard | 17" Trim | Standard surface mount with 17" trim |
| MS-100-18 | 100"   | 1.5"   | Surface  | Standard | 18" Trim | Standard surface mount with 18" trim |
| MS-100-19 | 100"   | 1.5"   | Surface  | Standard | 19" Trim | Standard surface mount with 19" trim |
| MS-100-20 | 100"   | 1.5"   | Surface  | Standard | 20" Trim | Standard surface mount with 20" trim |

**C-SERIES LED AREA FEATURES**

**FEATURES**  
 - Available in 120V and 277V.  
 - Available in 1' and 2' lengths.  
 - Available in 1" and 2" trim.  
 - Available in 1" and 2" depth.  
 - Available in 1" and 2" width.  
 - Available in 1" and 2" height.  
 - Available in 1" and 2" diameter.  
 - Available in 1" and 2" radius.  
 - Available in 1" and 2" thickness.  
 - Available in 1" and 2" weight.  
 - Available in 1" and 2" volume.  
 - Available in 1" and 2" area.  
 - Available in 1" and 2" perimeter.  
 - Available in 1" and 2" surface.  
 - Available in 1" and 2" edge.  
 - Available in 1" and 2" corner.  
 - Available in 1" and 2" end.  
 - Available in 1" and 2" side.  
 - Available in 1" and 2" top.  
 - Available in 1" and 2" bottom.  
 - Available in 1" and 2" front.  
 - Available in 1" and 2" back.  
 - Available in 1" and 2" left.  
 - Available in 1" and 2" right.  
 - Available in 1" and 2" up.  
 - Available in 1" and 2" down.  
 - Available in 1" and 2" in.  
 - Available in 1" and 2" out.  
 - Available in 1" and 2" on.  
 - Available in 1" and 2" off.  
 - Available in 1" and 2" over.  
 - Available in 1" and 2" under.  
 - Available in 1" and 2" against.  
 - Available in 1" and 2" across.  
 - Available in 1" and 2" along.  
 - Available in 1" and 2" around.  
 - Available in 1" and 2" through.  
 - Available in 1" and 2" between.  
 - Available in 1" and 2" among.  
 - Available in 1" and 2" within.  
 - Available in 1" and 2" without.  
 - Available in 1" and 2" inside.  
 - Available in 1" and 2" outside.  
 - Available in 1" and 2" near.  
 - Available in 1" and 2" far.  
 - Available in 1" and 2" close.  
 - Available in 1" and 2" distant.  
 - Available in 1" and 2" adjacent.  
 - Available in 1" and 2" opposite.  
 - Available in 1" and 2" parallel.  
 - Available in 1" and 2" perpendicular.  
 - Available in 1" and 2" diagonal.  
 - Available in 1" and 2" horizontal.  
 - Available in 1" and 2" vertical.  
 - Available in 1" and 2" inclined.  
 - Available in 1" and 2" declined.  
 - Available in 1" and 2" level.  
 - Available in 1" and 2" uneven.  
 - Available in 1" and 2" flat.  
 - Available in 1" and 2" curved.  
 - Available in 1" and 2" straight.  
 - Available in 1" and 2" bent.  
 - Available in 1" and 2" broken.  
 - Available in 1" and 2" whole.  
 - Available in 1" and 2" partial.  
 - Available in 1" and 2" complete.  
 - Available in 1" and 2" incomplete.  
 - Available in 1" and 2" full.  
 - Available in 1" and 2" empty.  
 - Available in 1" and 2" full.  
 - Available in 1" and 2" empty.

**C-SERIES LED AREA SPECIFICATIONS**

| Model     | Length | Height | Mounting | Optics   | Options  | Comments                             |
|-----------|--------|--------|----------|----------|----------|--------------------------------------|
| MS-100    | 100"   | 1.5"   | Surface  | Standard | None     | Standard surface mount               |
| MS-100-1  | 100"   | 1.5"   | Surface  | Standard | 1" Trim  | Standard surface mount with 1" trim  |
| MS-100-2  | 100"   | 1.5"   | Surface  | Standard | 2" Trim  | Standard surface mount with 2" trim  |
| MS-100-3  | 100"   | 1.5"   | Surface  | Standard | 3" Trim  | Standard surface mount with 3" trim  |
| MS-100-4  | 100"   | 1.5"   | Surface  | Standard | 4" Trim  | Standard surface mount with 4" trim  |
| MS-100-5  | 100"   | 1.5"   | Surface  | Standard | 5" Trim  | Standard surface mount with 5" trim  |
| MS-100-6  | 100"   | 1.5"   | Surface  | Standard | 6" Trim  | Standard surface mount with 6" trim  |
| MS-100-7  | 100"   | 1.5"   | Surface  | Standard | 7" Trim  | Standard surface mount with 7" trim  |
| MS-100-8  | 100"   | 1.5"   | Surface  | Standard | 8" Trim  | Standard surface mount with 8" trim  |
| MS-100-9  | 100"   | 1.5"   | Surface  | Standard | 9" Trim  | Standard surface mount with 9" trim  |
| MS-100-10 | 100"   | 1.5"   | Surface  | Standard | 10" Trim | Standard surface mount with 10" trim |
| MS-100-11 | 100"   | 1.5"   | Surface  | Standard | 11" Trim | Standard surface mount with 11" trim |
| MS-100-12 | 100"   | 1.5"   | Surface  | Standard | 12" Trim | Standard surface mount with 12" trim |
| MS-100-13 | 100"   | 1.5"   | Surface  | Standard | 13" Trim | Standard surface mount with 13" trim |
| MS-100-14 | 100"   | 1.5"   | Surface  | Standard | 14" Trim | Standard surface mount with 14" trim |
| MS-100-15 | 100"   | 1.5"   | Surface  | Standard | 15" Trim | Standard surface mount with 15" trim |
| MS-100-16 | 100"   | 1.5"   | Surface  | Standard | 16" Trim | Standard surface mount with 16" trim |
| MS-100-17 | 100"   | 1.5"   | Surface  | Standard | 17" Trim | Standard surface mount with 17" trim |
| MS-100-18 | 100"   | 1.5"   | Surface  | Standard | 18" Trim | Standard surface mount with 18" trim |
| MS-100-19 | 100"   | 1.5"   | Surface  | Standard | 19" Trim | Standard surface mount with 19" trim |
| MS-100-20 | 100"   | 1.5"   | Surface  | Standard | 20" Trim | Standard surface mount with 20" trim |

**C-SERIES LED AREA MOUNTINGS**

**W-WALL MOUNT**  
 Wall mount with 1/2" diameter arm. Available in 120V and 277V. Mounting hole spacing: 12" (120V) / 18" (277V).  
**K-KNUCKLE**  
 Knuckle arm mount with 1/2" diameter arm. Available in 120V and 277V. Mounting hole spacing: 12" (120V) / 18" (277V).  
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 Trimmion arm mount with 1/2" diameter arm. Available in 120V and 277V. Mounting hole spacing: 12" (120V) / 18" (277V).  
**MAI-MAST ARM RITZER**  
 Mast arm ritzer with 1/2" diameter arm. Available in 120V and 277V. Mounting hole spacing: 12" (120V) / 18" (277V).

**C-SERIES LED AREA MOUNTINGS**

**W-WALL MOUNT**  
 Wall mount with 1/2" diameter arm. Available in 120V and 277V. Mounting hole spacing: 12" (120V) / 18" (277V).  
**K-KNUCKLE**  
 Knuckle arm mount with 1/2" diameter arm. Available in 120V and 277V. Mounting hole spacing: 12" (120V) / 18" (277V).  
**T-TRIMMION**  
 Trimmion arm mount with 1/2" diameter arm. Available in 120V and 277V. Mounting hole spacing: 12" (120V) / 18" (277V).  
**MAI-MAST ARM RITZER**  
 Mast arm ritzer with 1/2" diameter arm. Available in 120V and 277V. Mounting hole spacing: 12" (120V) / 18" (277V).

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**DEMOLITION NOTES:**

- ENGINEER IS NOT RESPONSIBLE FOR ON-SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER IN ACCORDANCE WITH ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR OMISSIONS SHALL BE IDENTIFIED BY THE CONTRACTOR PRIOR TO THE BEGINNING OF WORKING PRIOR TO INITIATION OF SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR SHALL:
  - OBTAIN A SUNSHINE STATE ONE CALL LOCATION CERTIFICATION PRIOR TO ANY EXCAVATION OR UTILITY WORK.
  - ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON-SITE AND AVAILABLE FOR INSPECTION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
  - INCLUDING BUT NOT LIMITED TO:
    - SEWER, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC, CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE.
    - ALL UTILITIES SHALL BE IDENTIFIED AND MARKED PRIOR TO ANY EXCAVATION OR UTILITY WORKING.
    - PROVIDER AND BEING RESPONSIBLE FOR ALL CORROSION RESISTING UTILITY DEMOLITION REQUIRED FOR THE PROJECT.
    - PROVIDER AND BEING RESPONSIBLE FOR ALL CORROSION RESISTING UTILITY DEMOLITION REQUIRED FOR THE PROJECT.
    - HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
    - IF CONTAMINANTS ARE LICENSED ENVIRONMENTAL TESTING AGENCY OF ALL BUILDINGS AND/OR STRUCTURES INVOLVED IN THIS PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS, AND LOCAL REGULATIONS ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERRED OR ENVIRONMENTAL CONSULTANT.
  - THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES. DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL BE IN ACCORDANCE WITH THE ORIGINAL DESIGN AND SHALL USE THE BEST OF THE PRE-DEMOLITION CONDITION.
  - IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS AND FOUNDATION ELEMENTS IN ACCORDANCE WITH THE MEANS AND METHODS OF THE CONTRACTOR'S CONTROL, AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS-OF-WAY.
  - DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE MEANS AND METHODS OF THE CONTRACTOR'S CONTROL, AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS-OF-WAY.
  - DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE BOUNDARIES OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE GOVERNMENT AGENCY.
  - USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT TRILING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL REGULATIONS. ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION SHALL BE CLEANED UP AND DISPOSED OF BY THE CONTRACTOR. DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MEANS AND METHODS OF THE CONTRACTOR'S CONTROL AND SHALL BE RESPONSIBLE FOR RETURNING ALL DEMOLITION AREAS TO THE CONDITION OF THE CONTRACTOR'S CONTROL.
  - CONTRACTOR IS RESPONSIBLE FOR ASSESSING THE NECESSARY TO PERFORM DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
  - THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING STRUCTURES, UTILITIES, AND EQUIPMENT THAT ARE TO BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ALL UTILITIES, STRUCTURES, AND EQUIPMENT THAT ARE TO BE REMOVED AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE GOVERNMENT AGENCY.
  - DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS SOLID WASTE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.
  - CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE UTILITIES AND STRUCTURES. ALL DISCREPANCIES SHALL BE IDENTIFIED BY THE ENGINEER IN WRITING.
  - ALL EXISTING UTILITIES BEING REMOVED SHALL BE DONE SO BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
  - THERE ARE NO KNOWN WATER COURSES, WATER BODIES, FLOODPLAINS, WETLANDS, OR HISTORICAL AND ARCHAEOLOGICAL RESOURCES WITHIN PROJECT LIMITS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL ENGINEERING INSPECTION DEPARTMENT FOR BEHAVIOR PRIOR TO IMPACTATION.
  - CONTRACTOR IS REQUIRED TO OBTAIN A PERMIT FROM THE LOCAL AUTHORITY, AS APPLICABLE, PRIOR TO COMMENCING DEMOLITION. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE PERMIT AND APPLICABLE CODES AND ORDINANCES.

**REVISIONS**

| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 10  | 02/27/25 | REVISED PER SHOPPER UTILITIES MODIFICATIONS & REVIEW COMMENTS  |
| 9   | 02/27/25 | REVISED PER PDR WASTEWATER PERMIT REVIEW                       |
| 8   | 02/27/25 | PERMIT MODIFICATION EMISSION - ACCESS, UTILITIES, DRAINAGE     |
| 7   | 02/27/25 | PERMIT MODIFICATION EMISSION - ACCESS, UTILITIES, DRAINAGE     |
| 6   | 02/27/25 | REVISIONS PER ROOF ACCESS COMMENTS & ON-SITE CROSS ACCESS/ROAD |
| 5   | 02/27/25 | REVISIONS PER ROOF ACCESS COMMENTS & ON-SITE CROSS ACCESS/ROAD |
| 4   | 02/27/25 | REVISIONS PER ROOF ACCESS COMMENTS & ON-SITE CROSS ACCESS/ROAD |
| 3   | 02/27/25 | REVISIONS PER ROOF ACCESS COMMENTS & ON-SITE CROSS ACCESS/ROAD |
| 2   | 02/27/25 | REVISIONS PER ROOF ACCESS COMMENTS & ON-SITE CROSS ACCESS/ROAD |
| 1   | 02/27/25 | REVISIONS PER ROOF ACCESS COMMENTS & ON-SITE CROSS ACCESS/ROAD |

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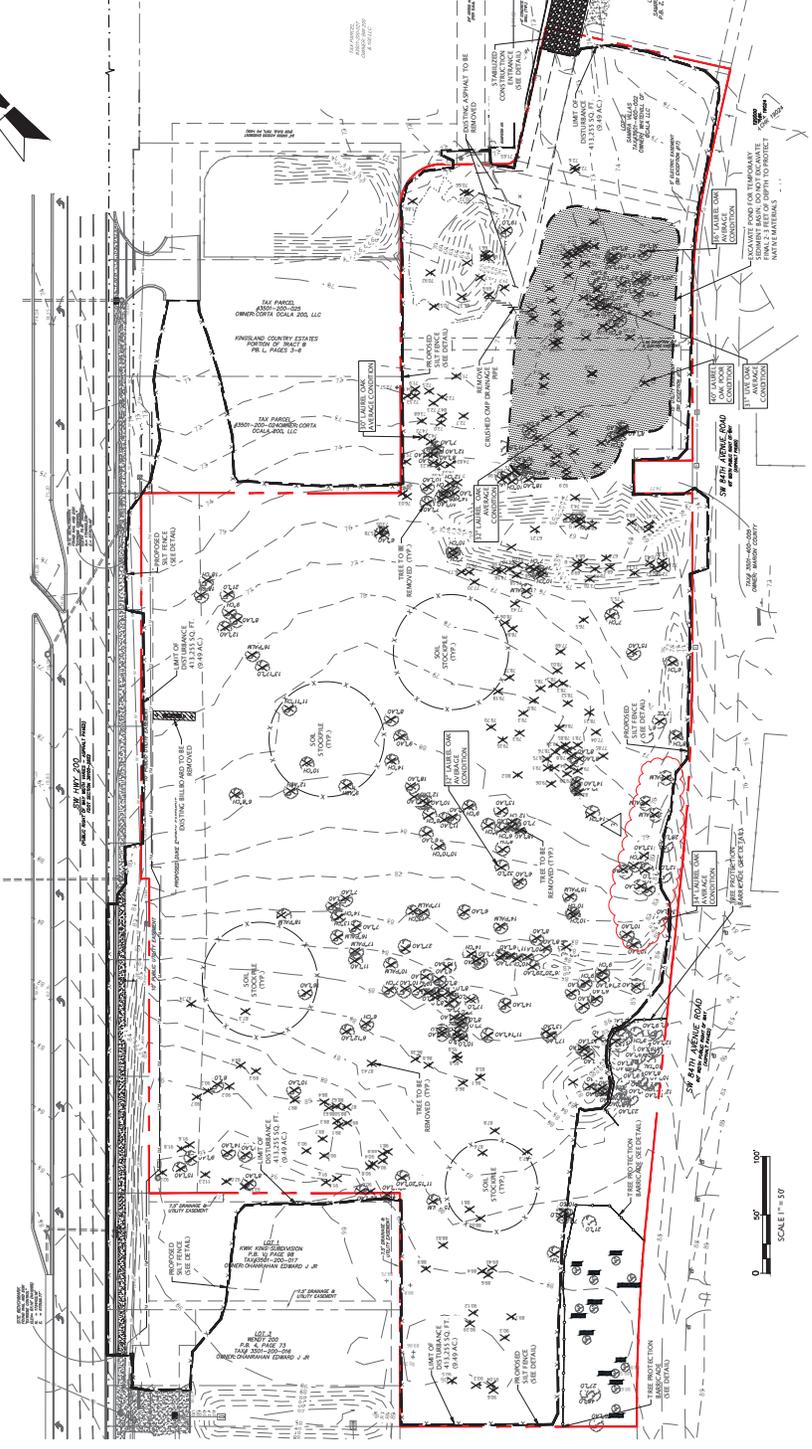
**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 80758

**MAJOR SITE PLAN**  
**CORTA COMMONS**

FOR  
**CORTA OCALA, LLC**  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

**DEMOLITION & EROSION CONTROL PLAN**

PROJECT NO: 231396  
 CHECKED BY: JF  
 DATE: 02/27/25  
 SHEET NUMBER: C-003



**CONCRETE WASHOUT NOTES:**

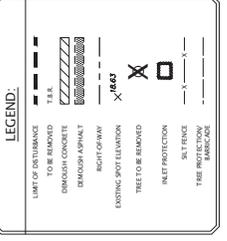
- ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN UNTIL THE ARE PERMANENTLY STABILIZED.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED AS SHOWN ON THESE PLANS AND SHALL BE STOCKED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
- APPROPRIATE STONE SHOULD COVER WAYS TO CONCRETE WASHOUT (SEE ACCESS DETAIL).
- CONCRETE WASHOUT AREAS SHALL BE IDENTIFIED BY POSTING SIGNS ON-SITE.
- CONCRETE WASHOUTS ARE TO BE INSPECTED DAILY BY THE CONTRACTOR FOR LEAKS OR TRAILS IN PLASTIC LINER.
- REMOVE AND DISPOSE OF ALL MATERIAL WHEN THE WASHOUT HAS BEEN FILLED TO 75% CAPACITY.
- ONCE THE MATERIAL HAS BEEN CLEANED OUT OF THE CONCRETE WASHOUT FACILITY, THE FACILITY MUST BE INSPECTED FOR REPAIR, RECONSTRUCTION OR REACKMENT. ALL PLASTIC LINING SHALL BE REMOVED AND REPAIRED.
- OPTIONS INCLUDE AN ON-SITE PIT AND LINE WITH 10 MM PLASTIC SHEETING OR CREATE AN ADJUST-GROUND STRUCTURE (INDUSTRIAL BULBS OR SANDBAGS WITH 10 MIL PLASTIC LINING).
- REGENERATED CONCRETE WASHOUTS MAY BE USED PROVIDED THEY MEET THE ABOVE MINIMUM REQUIREMENTS.

**EARTHWORK & FILL NOTES:**

- ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN UNTIL THE ARE PERMANENTLY STABILIZED.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED AS SHOWN ON THESE PLANS AND SHALL BE STOCKED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
- APPROPRIATE STONE SHOULD COVER WAYS TO CONCRETE WASHOUT (SEE ACCESS DETAIL).
- CONCRETE WASHOUT AREAS SHALL BE IDENTIFIED BY POSTING SIGNS ON-SITE.
- CONCRETE WASHOUTS ARE TO BE INSPECTED DAILY BY THE CONTRACTOR FOR LEAKS OR TRAILS IN PLASTIC LINER.
- REMOVE AND DISPOSE OF ALL MATERIAL WHEN THE WASHOUT HAS BEEN FILLED TO 75% CAPACITY.
- ONCE THE MATERIAL HAS BEEN CLEANED OUT OF THE CONCRETE WASHOUT FACILITY, THE FACILITY MUST BE INSPECTED FOR REPAIR, RECONSTRUCTION OR REACKMENT. ALL PLASTIC LINING SHALL BE REMOVED AND REPAIRED.
- OPTIONS INCLUDE AN ON-SITE PIT AND LINE WITH 10 MM PLASTIC SHEETING OR CREATE AN ADJUST-GROUND STRUCTURE (INDUSTRIAL BULBS OR SANDBAGS WITH 10 MIL PLASTIC LINING).
- REGENERATED CONCRETE WASHOUTS MAY BE USED PROVIDED THEY MEET THE ABOVE MINIMUM REQUIREMENTS.

**EROSION CONTROL NOTES:**

- TO PREVENT SEDIMENTARY RAINFALL DURING CONSTRUCTION, STAKED HAYBALES, STAKED SILT FENCE OR INLET DEBRIS CONTROL MEASURES ARE TO BE PLACED AT STORM INLET, OUTFALL, AND OTHER AREAS WHERE CONSTRUCTION IS TO OCCUR. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SEDIMENTARY BARRIERS IN A WORKING MANNER FOR THE DURATION OF CONSTRUCTION AND SHALL BE CHECKED DAILY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SEDIMENTARY BARRIERS AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SEDIMENTARY BARRIERS AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SEDIMENTARY BARRIERS AT ALL TIMES.
- THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR APPLYING TO THE STATE OF FLORIDA FOR A CONSTRUCTION GENERAL PERMIT (CGP) FOR THIS PROJECT. THE CONTRACTOR/OWNER IS REQUIRED TO SUBMIT A COMPLETED NOTICE OF INTENT (NOI) FORM TO PDR A MINIMUM OF FIVE (5) DAYS PRIOR TO THE INITIATION OF CONSTRUCTION. THE CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE GOVERNMENT AGENCY.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN PLACE UNTIL THE SITE HAS BEEN STABILIZED AND REVEGETATED.
- CONSTRUCTION METHOD AND MATERIALS TO BE IN ACCORDANCE WITH SECTION 104.6 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION SPECIFICATIONS, DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE GOVERNMENT AGENCY.
- SILT FENCE MAY ALSO BE PRESENT CONSTRUCTION LIMITS BARRIERS. THEY SHALL BE CHECKED PRIOR TO INITIATION OF SITE CLEARING OPERATIONS NEAR WETLANDS, BUFFER AREAS AND ANY OTHER SENSITIVE AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE GOVERNMENT AGENCY.
- ALL DISTURBED AREAS OFF-SITE AND OUTSIDE THE PROTECTED PERIMETER SHALL BE SODED IMMEDIATELY UPON COMPLETION OF WORK.



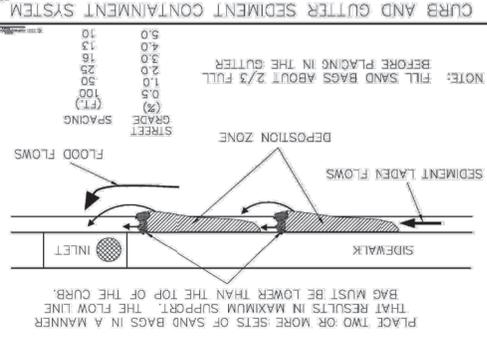


Figure V-19: Illustration of a Curb and Gutter Sediment Containment System

Revised by Florida Department of Transportation (FDOT) and approved by the state.

V-40

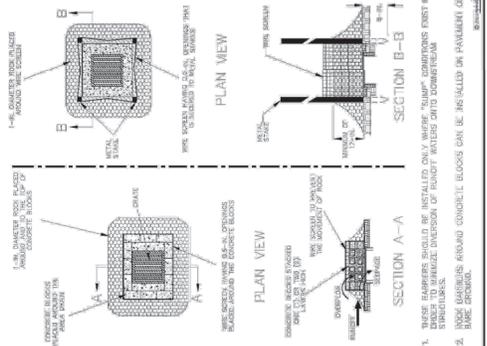


Figure V-13: Illustration of Rock Barriers around Area Drains

Revised by Florida Department of Transportation (FDOT) and approved by the state.

V-32

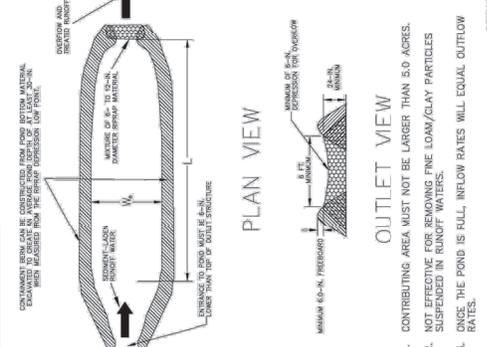


Figure V-13: Illustration of a Single Chamber SCS

Revised by Florida Department of Transportation (FDOT) and approved by the state.

V-32

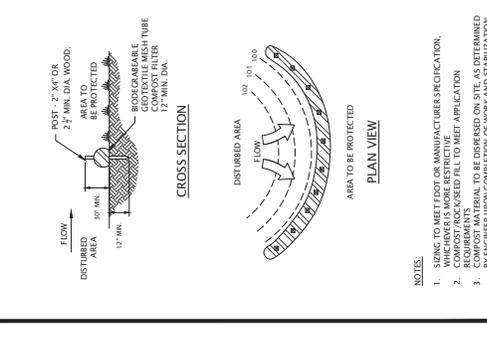


Figure V-13: Illustration of a Compost Filter Sock Detail

Revised by Florida Department of Transportation (FDOT) and approved by the state.

V-32

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TAMPA, FL 33622  
813.724.199  
INFO@MJSTOKESCONSULTING.COM  
FLORIDA BUSINESS REGISTRY NO. 3448

| REV | DATE  | DESCRIPTION   |
|-----|-------|---|
| 01  | 07/24 | REVISION #1 ZONING APPROVAL, COUNTY & SWAMP REVIEW COMMENTS |
| 02  | 07/24 | REVISION #2 COUNTY SWAMP & FOOT REVIEW COMMENTS             |
| 03  | 08/04 | REVISION #3 REVISION TO BUFFER PER RESOLUTION               |
| 04  | 02/04 | REVISION #4 REVISION PER FOOT ACCESS & FORKHEIM RELOCATION  |
| 05  |       |   |
| 06  |       |   |
| 07  |       |   |
| 08  |       |   |

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**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

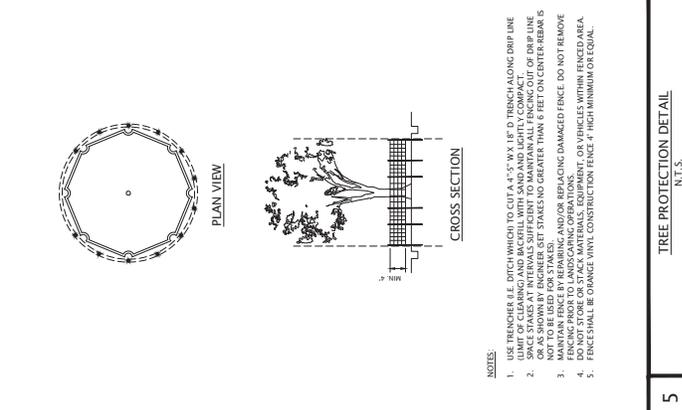
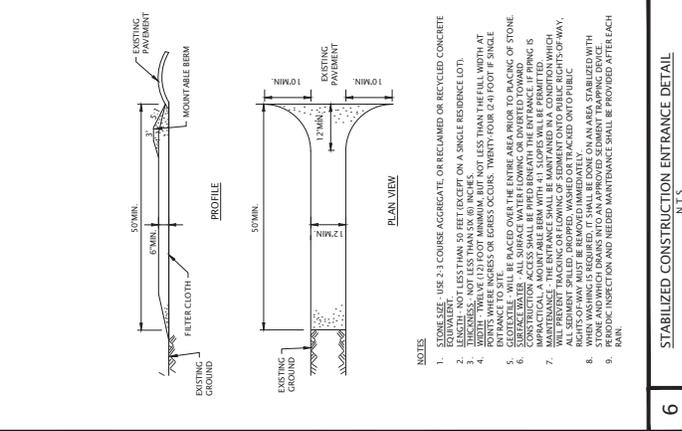
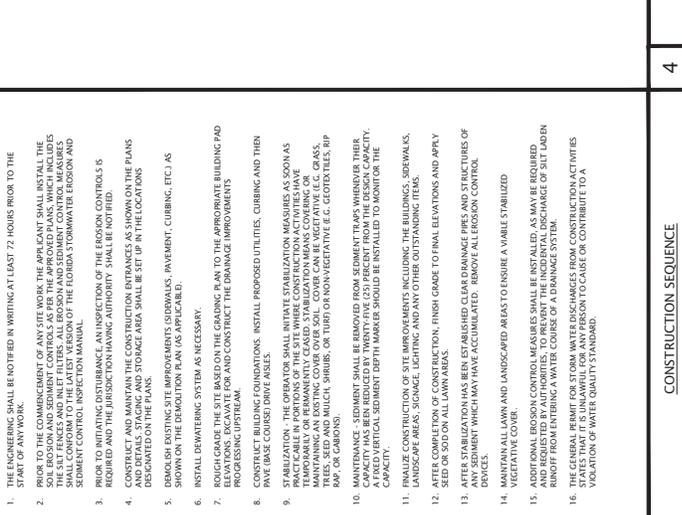
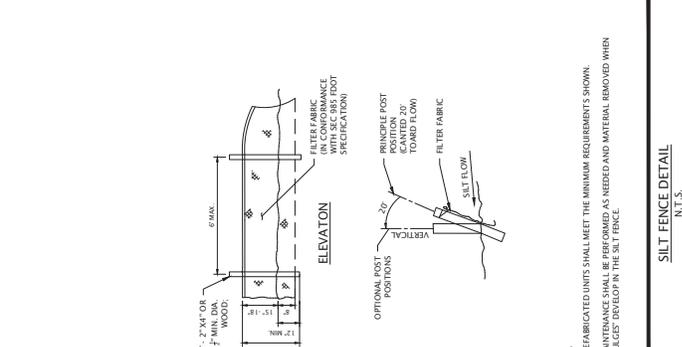
**PROJECT NAME**  
MAJOR SITE PLAN  
CORTA COMMONS

**FOR**  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

**SHEET TITLE**  
EROSION & SEDIMENT  
CONTROL DETAILS

**PROJECT NO.** 201306  
**CHECKED BY:** JPS  
**DATE:** 08/01/13  
**SCALE:** AS SHOWN  
**SHEET NUMBER**

**C-004**



| REV | DATE  | DESCRIPTION   |
|-----|-------|---|
| 01  | 07/24 | REVISION #1 ZONING APPROVAL, COUNTY & SWAMP REVIEW COMMENTS |
| 02  | 07/24 | REVISION #2 COUNTY SWAMP & FOOT REVIEW COMMENTS             |
| 03  | 08/04 | REVISION #3 REVISION TO BUFFER PER RESOLUTION               |
| 04  | 02/04 | REVISION #4 REVISION PER FOOT ACCESS & FORKHEIM RELOCATION  |
| 05  |       |   |
| 06  |       |   |
| 07  |       |   |
| 08  |       |   |





| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 11  | 11/16/25 | REVISED PER SW 100TH ACCESS MODIFICATION                       |
| 10  | 12/27/24 | REVISED PER SHOPPER UTILITY MODIFICATIONS & REVIEW COMMENTS    |
| 9   | 12/27/24 | REVISED PER PDR WASTEWATER PERMIT REVIEW                       |
| 8   | 10/07/24 | PERMIT MODIFICATION EMISSION - ACCESS, UTILITY, DRAINAGE       |
| 7   | 11/07/24 | UPDATED PLANS FROM RE-DESIGN FOR PERMIT MODIFICATION SUBMITTAL |
| 6   | 10/17/24 | REVISIONS FOR CROSS COMMENTS & LOWERS SITE AT T3C              |
| 5   | 10/07/24 | REVISIONS FOR ROOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/ROAD |
| 4   | 10/07/24 | REVISIONS FOR ROOT ACCESS & FORKCHURN MODIFICATION             |
| 3   | 10/07/24 | REVISION TO BURIED PER RESOLUTION                              |
| 2   | 10/07/24 | REVISION PER COUNTY COMMENTS & FOOT REVIEW COMMENTS            |
| 1   | 11/23/24 | REVISION PER ZONING APPROVAL, COUNTY & SWP&D REVIEW COMMENTS   |

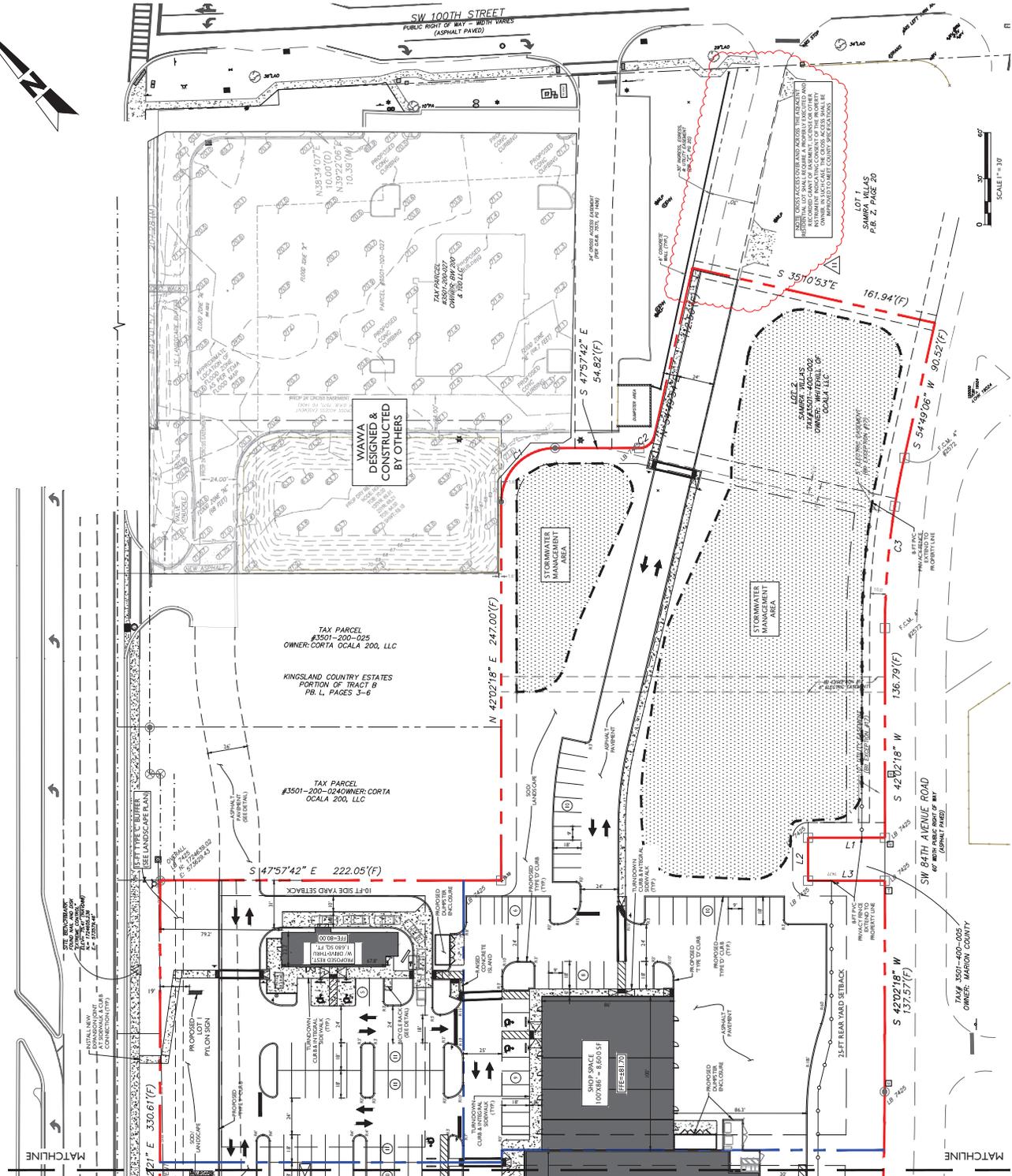
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**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 80758

PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**  
 FOR  
**CORTA OCALA, LLC**  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

SHEET TITLE  
**DIMENSION & LAYOUT**  
**PLAN (NORTH)**

PROJECT NO: 231396  
 CHECKED BY: JPS  
 DATE: 10/01/2024  
 SHEET NUMBER  
**C-103**



**GENERAL NOTES:**  
 1. BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN ON THIS SURVEY IS BASED ON THE SURVEY LOCATED IN SECTIONS 34 & 35, TOWNSHIP 15 SOUTH, RANGE 08 EAST, MARION COUNTY, FLORIDA. PREPARED BY CHW PROFESSIONAL CONSULTANTS, L.L.C. (REVISED FEBRUARY 12, 2025).  
 2. HORIZONTAL & VERTICAL DATUMS ARE ABOVE REFERENCED SURVEY.  
 3. ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY FLOOD NUMBER 17040, MAP PANEL NUMBER 1980608C, EFFECTIVE DATE 06/16/2017, THE HAZARD ZONE "X" AND "A" THAT ARE APPEAR TO AFFECT THE SAHARA VILLAS AS DEPICTED ON THE SURVEY REFERENCED ABOVE. BASE FLOOD ELEVATION OF 70.3 FT (NAVD83).  
 4. SURFACE INFORMATION SHOWN HEREON IS TAKEN FROM A SURVEY DATED 08/11/2024. THE SURVEY WAS CONDUCTED BY SOUTH AND ROSS RETAIL DEVELOPMENT, STATE ROAD 300 AND SW 100TH STREET, OCALA, MARION COUNTY, FLORIDA. PREPARED BY ANGLER ENGINEERING, INC. DATED NOVEMBER 1, 2023.

**TAX PARCEL #3501-200-025**  
 OWNER: CORTA OCALA 200, LLC  
**KINGSLAND COUNTRY ESTATES**  
 PORTION OF TRACT B  
 P.B. L, PAGES 3-6  
**TAX PARCEL #3501-200-024**  
 OWNER: CORTA OCALA 200, LLC

**WAWA**  
 DESIGNED &  
 CONSTRUCTED  
 BY OTHERS

**STORMWATER MANAGEMENT AREA**  
 100' SETBACK FROM PROPERTY LINE  
 100' SETBACK FROM SIDE YARD SETBACK  
 100' SETBACK FROM SIDE YARD SETBACK

**SW 100TH STREET**  
 PUBLIC RIGHT OF WAY - WIDTH VARIES (ASPHALT PAVED)  
**SW 84TH AVENUE ROAD**  
 60' WITH PUBLIC RIGHT OF WAY (ASPHALT PAVED)

**TAX # 3501-400-005**  
 OWNER: MARION COUNTY

SCALE 1" = 30'  
 MATCHLINE

**LEGEND:**

|  |                       |
|--|-----------------------|
|  | ASHLEY PROPERTY LINE  |
|  | PROPERTY BOUNDARY     |
|  | PROPOSED CONCRETE     |
|  | PROPOSED VARD SETBACK |
|  | PROPOSED 4 FT FENCE   |
|  | HAND DIAL             |
|  | PROPOSED TRAFFIC SIGN |
|  | PARKING SPACE COORD   |

**TREE LEGEND:**

|  |                               |
|--|-------------------------------|
|  | 1/2" O = TREE LOCATION & SIZE |
|--|-------------------------------|





**MJ STOKES CONSULTING**  
 P.O. BOX 22821  
 TAMPA, FL 33622  
 813.724.199  
 INFO@MJSTOKESCONSULTING.COM  
 FLORIDA BUSINESS REGISTRY NO. 3448

| REV | DATE     | DESCRIPTION   |
|-----|----------|---|
| 10  | 12/27/23 | REVISED PER SHOPPER UTILITY MODIFICATIONS & REVIEW COMMENTS   |
| 09  | 12/27/23 | REVISED PER PDR WASTEWATER PERMIT REVIEW                      |
| 08  | 11/07/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE        |
| 07  | 11/07/24 | UPDATED PLANS FROM REVISION FOR PERMIT MODIFICATION SUBMITTAL |
| 06  | 10/17/24 | REDESIGN OF CROSS ACCESS & LOWWATER SITE AT TJC               |
| 05  | 10/27/24 | REVISIONS PER ROOT ACCESS & FORDCHINA RELOCATION              |
| 04  | 10/27/24 | REVISIONS PER ROOT ACCESS & FORDCHINA RELOCATION              |
| 03  | 10/25/24 | REVISION TO BURIED PER RESOLUTION                             |
| 02  | 10/19/24 | REVISION PER COUNTY, SWMVA & FOOT REVIEW COMMENTS             |
| 01  | 12/19/24 | REVISION PER ZONING APPROVAL, COUNTY & SWMVA REVIEW COMMENTS  |

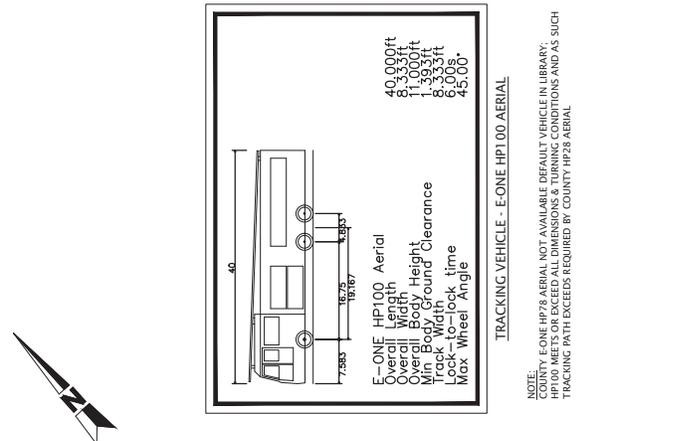
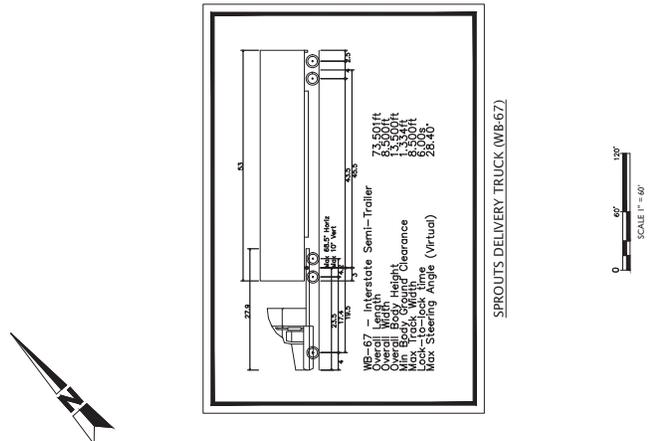
**Sunshine**  
 Call 811 or visit [www.sunshine.com](http://www.sunshine.com) to locate buried utilities. Call utility business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 60758

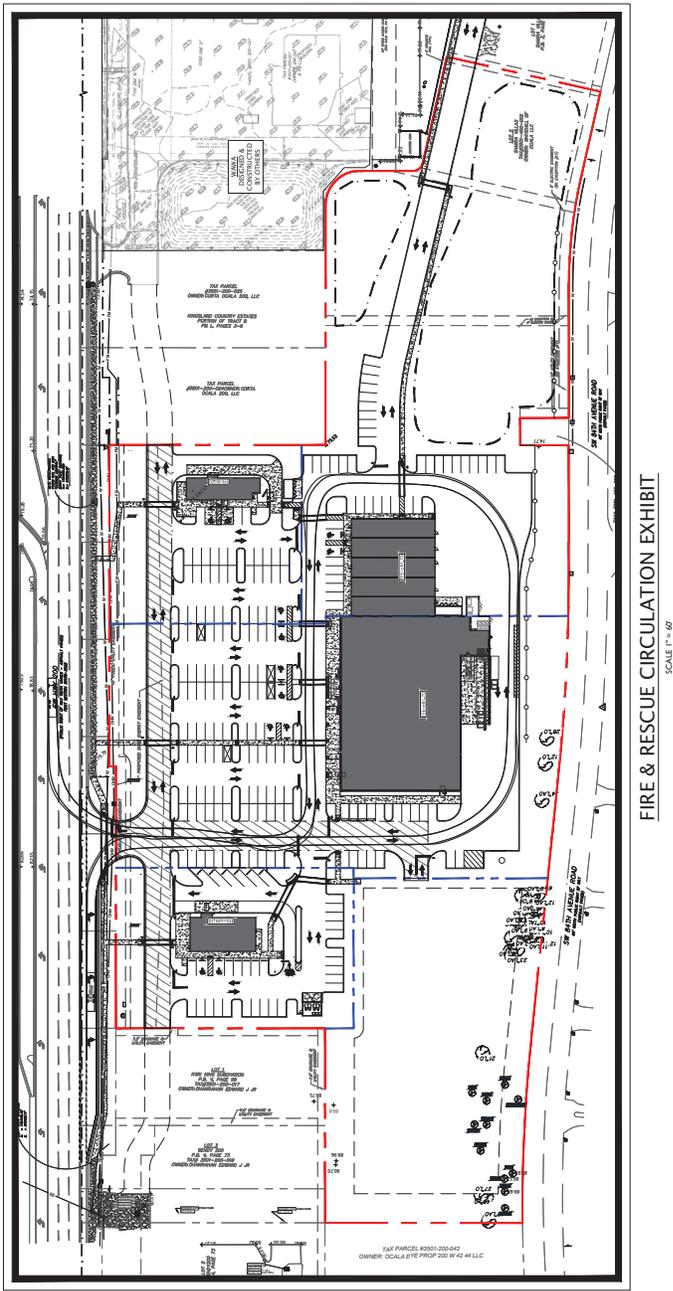
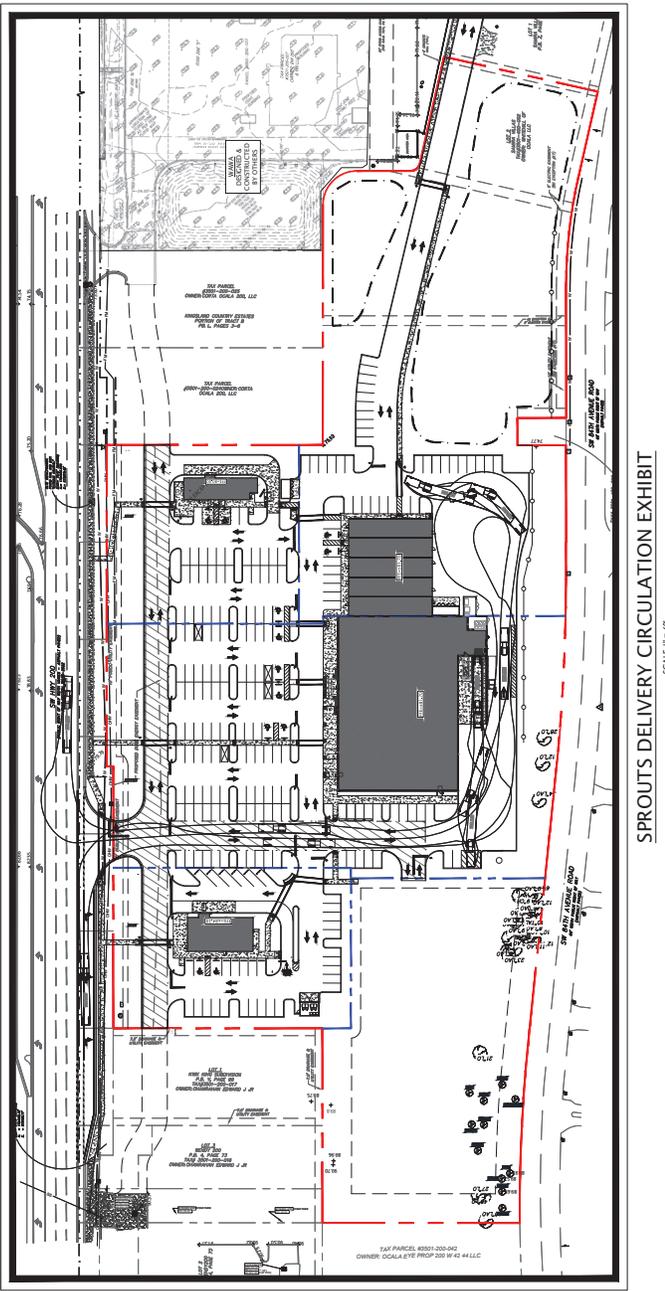
PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**  
 FOR  
**CORTA OCALA, LLC**  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

SHEET TITLE  
**TRUCK TURN**  
**EXHIBIT**

PROJECT NO.: 23-1336  
 CHECKED BY: JJS  
 DATE: 06/20/24  
 DRAWN BY: JJS  
 SHEET NUMBER  
**C-106**



NOTE:  
 E-ONE HP100 AERIAL NOT AVAILABLE FOR RENT IN LIBRARY.  
 HP100 MEETS OR EXCEEDS ALL DIMENSIONS & TURNING CONDITIONS AND AS SUCH TRACKING PATH EXCEEDS REQUIRED BY COUNTY HP28 AERIAL.

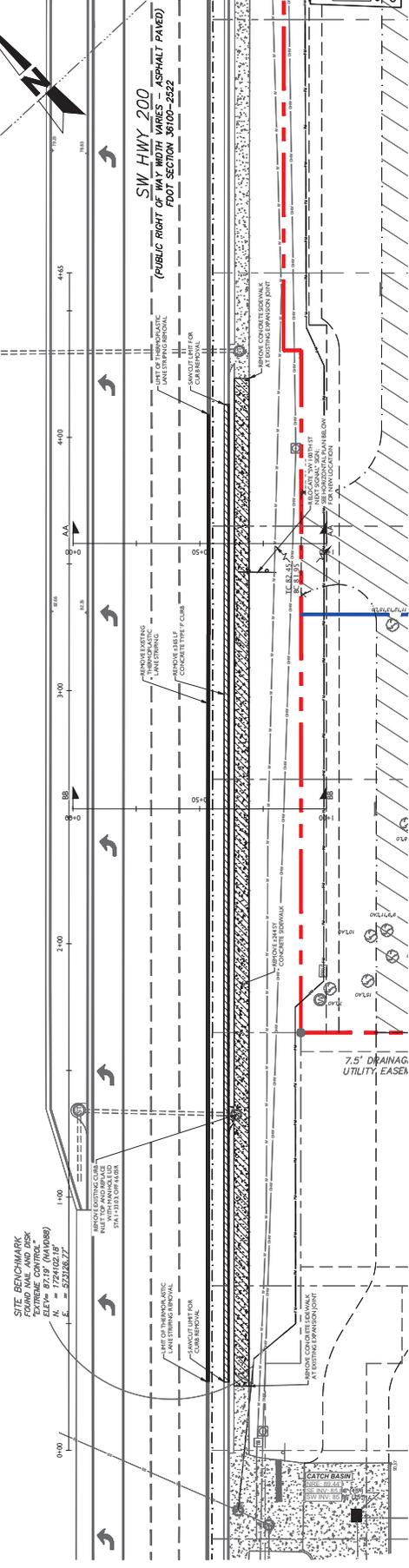


| REV | DATE  | DESCRIPTION  |
|-----|-------|--|
| 01  | 01/24 | REVISION PER ZONING APPROVAL, COUNTY & SWP&D REVIEW COMMENTS |
| 02  | 01/24 | REVISION PER COUNTY, SWP&D & FOOT REVIEW COMMENTS            |
| 03  | 02/04 | REVISION TO BUREAU PER RESOLUTION                            |
| 04  | 02/24 | REVISIONS PER FOOT ACCESS & FORDKIANA RELOCATION             |
| 05  | 07/24 | REVISIONS PER FOOT ACCESS COMMENTS                           |

**Sunshine**  
 Call 811 or visit [www.sunshine.com](http://www.sunshine.com) for utility business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

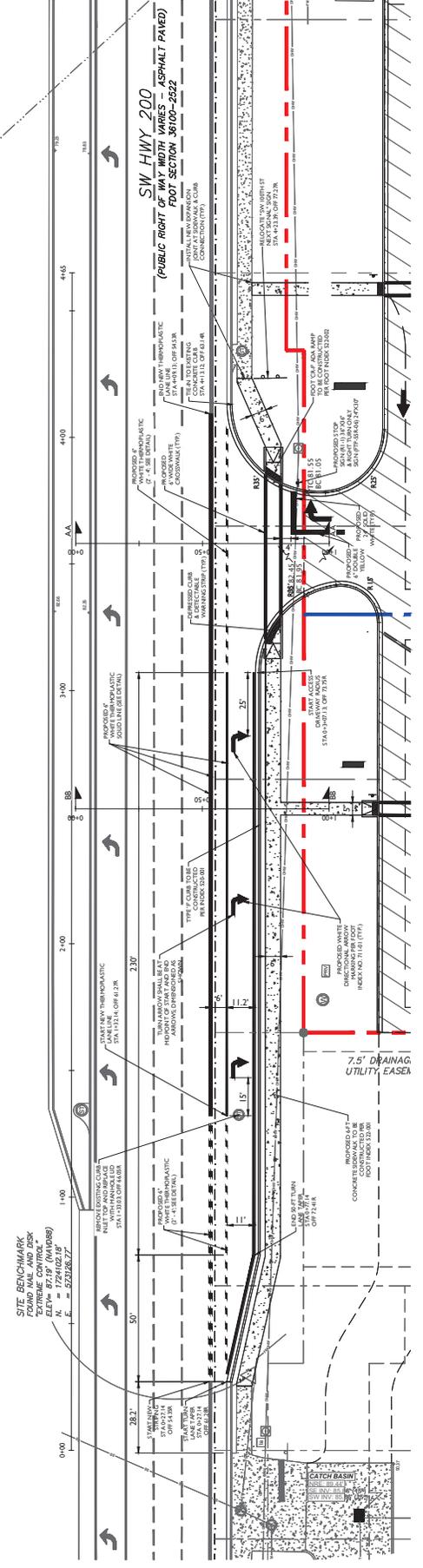
**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 80758  
 PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**  
 FOR  
**CORTA OCALA, LLC**  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

SHEET TITLE  
**FOOT TURN LANE**  
**HORIZONTAL PLAN**  
 PROJECT NO: 231396  
 CHECKED BY: JJS  
 DATE: 08/01/2024  
 SHEET NUMBER  
**C-201**



EXISTING CONDITIONS & DEMOLITION PLAN

SCALE 1" = 30'



HORIZONTAL GEOMETRIC PLAN

SCALE 1" = 30'

**LEGEND:**

|  |                        |
|--|------------------------|
|  | ADJACENT PROPERTY LINE |
|  | PROPOSED FOOT CURB     |
|  | PROPOSED CONCRETE      |
|  | LANDSCAPE MARKER       |
|  | PROPOSED ROAD STRUCK   |
|  | PROPOSED BARRIER       |
|  | PROPOSED LAMBERT       |
|  | PROPOSED TRAFFIC SIGN  |
|  | PARKING SPACE COUNT    |

- GENERAL NOTES:**
- TOPOGRAPHIC AND TREE INFORMATION SHOWN HEREON IS TAKEN FROM A SURVEY ENTITLED "TOPOGRAPHIC SURVEY SITUATED IN THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 24, TOWNSHIP 16 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA," PREPARED BY CIVIL PROFESSIONAL CONSULTANTS AND DATED JULY 25, 2024.
  - HORIZONTAL AND VERTICAL DATUM (MVD) ARE PER ABOVE REFERENCED SURVEY.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING NECESSARY MAINTENANCE OF TRAFFIC PLANS TO BE APPROVED BY FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) PRIOR TO MOBILIZATION.
  - ENGINEER IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE PROJECT IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
  - ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE RULES AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO THE ENGINEER IN WRITING PRIOR TO INITIATION OF SITE ACTIVITY.

| REV | DATE  | DESCRIPTION  |
|-----|-------|--|
| 01  | 01/24 | REVISION PER COUNTY APPROVAL, COUNTY & SWPMD REVIEW COMMENTS |
| 02  | 01/24 | REVISION PER COUNTY APPROVAL, COUNTY & SWPMD REVIEW COMMENTS |
| 03  | 02/04 | REVISION PER COUNTY APPROVAL, COUNTY & SWPMD REVIEW COMMENTS |
| 04  | 02/04 | REVISION PER COUNTY APPROVAL, COUNTY & SWPMD REVIEW COMMENTS |
| 05  | 02/04 | REVISIONS PER FOOT ACCESS & FOGKING RELOCATION               |
| 06  | 02/04 | REVISIONS PER FOOT ACCESS & FOGKING RELOCATION               |
| 07  | 02/04 | REVISIONS PER FOOT ACCESS & FOGKING RELOCATION               |
| 08  | 02/04 | REVISIONS PER FOOT ACCESS & FOGKING RELOCATION               |
| 09  | 02/04 | REVISIONS PER FOOT ACCESS & FOGKING RELOCATION               |
| 10  | 02/04 | REVISIONS PER FOOT ACCESS & FOGKING RELOCATION               |

**REVISIONS**

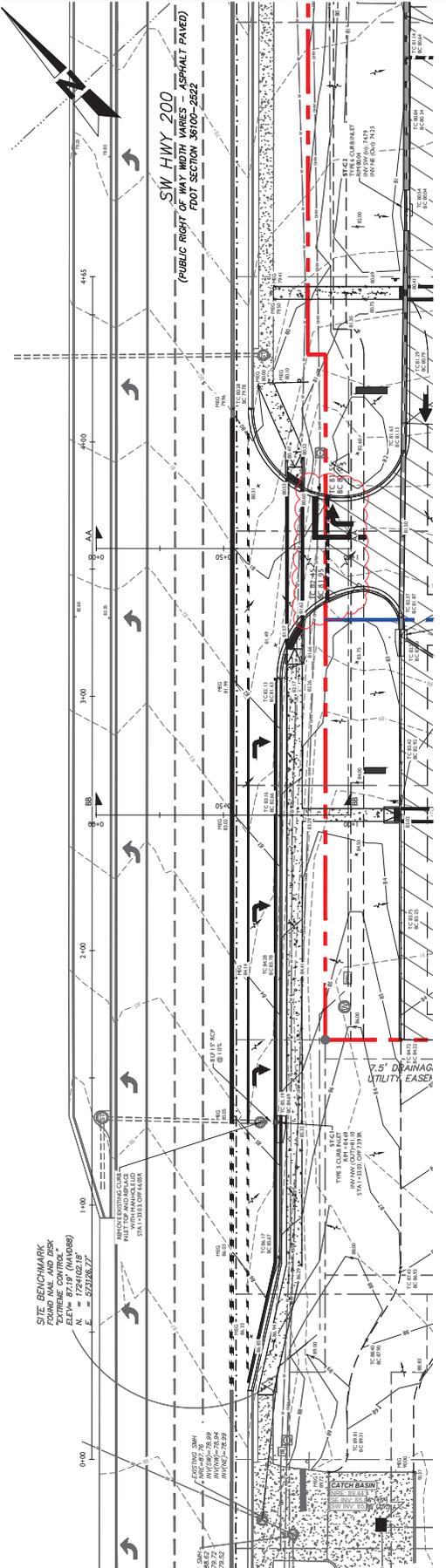
**Sunshine**  
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**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 89738

**PROJECT NAME**  
MAJOR SITE PLAN  
CORTA COMMONS  
FOR  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

**SHEET TITLE**  
FOOT TURN LANE  
VERTICAL PLAN  
& SECTIONS

PROJECT NO: 213396  
CHECKED BY: JPS  
DATE: 02/04/2019  
SHEET NUMBER: C-202



**HORIZONTAL GEOMETRIC PLAN**

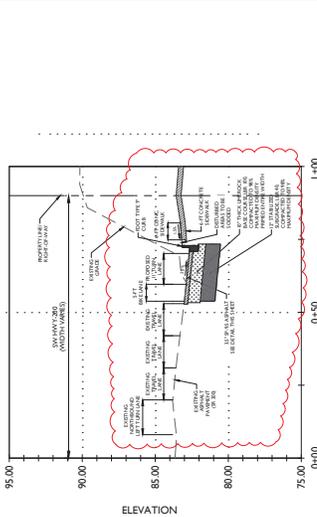
SCALE 1" = 20'

**TURN LANE CONSTRUCTION NOTES**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, INCLUDING EXISTING UTILITIES, STORM DRAIN STRUCTURES AND ANY ABOVE OR BELOW GROUND UTILITIES WHERE APPLICABLE.
2. NO FUTURE CONSTRUCTION SHALL BE PERMITTED ON THE TURN LANE OR ADJACENT AREAS UNLESS OTHERWISE NOTED WITHIN THE PERMIT AND APPROVED BEFORE WORKING. THE ALTERNATE SCHEDULE, IN ADVANCE AND APPROVED BEFORE WORKING. THE ALTERNATE SCHEDULE, IN ADVANCE AND APPROVED BEFORE WORKING. THE ALTERNATE SCHEDULE, IN ADVANCE AND APPROVED BEFORE WORKING.
3. ALL TEMPORARY PAVED DRIVEWAYS SHALL BE 18" MINIMUM THICKNESS AND SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF 98% MAXIMUM DENSITY PER AASHTO T-99 COMPACTED TO A MINIMUM OF 98% MAXIMUM DENSITY PER AASHTO T-99.
4. ANY SIDEWALK DISTURBED BY THE PERMIT SHALL BE REPLACED WITHIN 72 HOURS TO FOOT SPECIFICATIONS.
5. ANY SIDEWALK DISTURBED BY THE PERMIT SHALL BE REPLACED WITHIN 72 HOURS TO FOOT SPECIFICATIONS.
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19. ANY SIDEWALK DISTURBED BY THE PERMIT SHALL BE REPLACED WITHIN 72 HOURS TO FOOT SPECIFICATIONS.
20. NO STOCK PILING, STORING, OR ASBESTOS PERMANENT USE OF THE RIGHT OF WAY IS AUTHORIZED UNLESS SPECIFICALLY IDENTIFIED WITHIN THE PERMIT.
21. THE PERMITTED WORK SCHEDULE IS DEFINED AS MONDAY THROUGH FRIDAY 7:00 AM TO 5:30 PM UNLESS OTHERWISE NOTED WITHIN THE PERMIT AND APPROVED BEFORE WORKING. THE ALTERNATE SCHEDULE, IN ADVANCE AND APPROVED BEFORE WORKING. THE ALTERNATE SCHEDULE, IN ADVANCE AND APPROVED BEFORE WORKING. THE ALTERNATE SCHEDULE, IN ADVANCE AND APPROVED BEFORE WORKING.
22. THE DEPARTMENT OF TRANSPORTATION RESERVES THE RIGHT TO MAKE ADJUSTMENTS TO ANY PERMITTED METHOD OF INSTALLATION, SCOPE, SAFETY AND ENVIRONMENTAL WELL-BEING OF ALL USERS OF THE TRANSPORTATION SYSTEM.
23. ROADWAY RESTORATION SHALL UTILIZE 100% EXCAVATABLE FLOWABLE CURB AND GUTTER MATERIAL (FC-3) WITH A MINIMUM OF 18" OF 98% MAXIMUM DENSITY PER AASHTO T-99 COMPACTED TO A MINIMUM OF 98% MAXIMUM DENSITY PER AASHTO T-99. TYPICAL SECTIONS WILL NEED TO BE PROVIDED TO THE CONTRACTOR PRIOR TO PLACING ASPHALT. TO AVOID THE CONTRACTOR FROM MAKING THE MALKS SHALL BE 10" TO 12" THICK FOR SURFACE LIFTING TO A THICKNESS EQUAL TO OR GREATER THAN THE EXISTING SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FULL LANE WIDTH AND TO INCLUDE ANY ADJACENT BIKE LANES, SHARED PATH OR SHOULDER SECTIONS.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE FULL WIDTH FROM OUTSIDE EDGE OF THE PERMITTED PATH TO WHITE LINE EDGE OF THE ROADWAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE FULL WIDTH FROM OUTSIDE EDGE OF THE PERMITTED PATH TO WHITE LINE EDGE OF THE ROADWAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE FULL WIDTH FROM OUTSIDE EDGE OF THE PERMITTED PATH TO WHITE LINE EDGE OF THE ROADWAY.
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**GENERAL NOTES:**

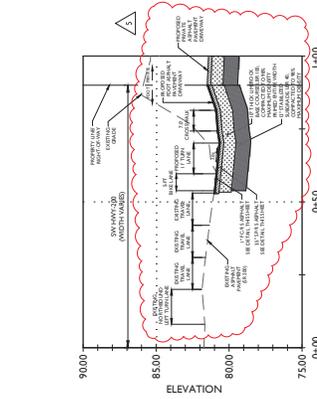
1. TOPOGRAPHIC AND TREE INFORMATION SHOWN HEREON IS TAKEN FROM A SURVEY CONDUCTED BY THE ENGINEER AND IS NOT TO BE CONSIDERED AS A GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ANY DATA AND FOR OBTAINING ANY NECESSARY PERMITS FROM THE DEPARTMENT OF TRANSPORTATION (DOT) PRIOR TO MOBILIZATION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DEPARTMENT OF TRANSPORTATION (DOT) PRIOR TO MOBILIZATION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DEPARTMENT OF TRANSPORTATION (DOT) PRIOR TO MOBILIZATION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DEPARTMENT OF TRANSPORTATION (DOT) PRIOR TO MOBILIZATION.
5. ALL REMEDIATION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH LOCAL REGULATIONS, ANY OCCURRENCE OF A LEAK SHALL BE REPORTED TO THE DEPARTMENT OF TRANSPORTATION (DOT) PRIOR TO MOBILIZATION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DEPARTMENT OF TRANSPORTATION (DOT) PRIOR TO MOBILIZATION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DEPARTMENT OF TRANSPORTATION (DOT) PRIOR TO MOBILIZATION.
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**TURN LANE SECTION (BB-BB) - STA 2+53.33**

HOR. SCALE 1" = 20'  
VER. SCALE 1" = 4'

**DRIVEWAY PROFILE (AA-AA) - STA 3+58.12**



**DRIVEWAY PROFILE (AA-AA) - STA 3+58.12**

HOR. SCALE 1" = 20'  
VER. SCALE 1" = 4'

**FOOT TURN LANE PAVEMENT SECTION DETAILS**

1. A MINIMUM OF 18 INCHES OF SEPARATION BETWEEN CRUSHED CONCRETE BASE AND THE SEASONAL HIGH GROUNDWATER LEVEL SHOULD BE MAINTAINED, OR 24 INCHES OF SEPARATION BETWEEN THE LINE ROCK BASE AND SEASONAL HIGH GROUNDWATER LEVEL.
2. THE SUBGRADE SHALL BE COMPACTED TO A MIN. OF 98% MAXIMUM DENSITY PER AASHTO T-180 AND SHALL EXTEND 6 INCHES (MINIMUM) BEYOND EDGE OF PAVEMENT.
3. CONTRACTOR SHALL INVESTIGATE EXISTING PAVEMENT SECTION AND REPORT TO DOT PRIOR TO WORK. THE ABOVE SECTIONS SHALL MATCH EXISTING PAVEMENT SECTION AND REPORT TO DOT PRIOR TO WORK.
4. EXISTING PAVEMENT EDGE SHALL BE SAWCUT ONCE CURB IS REMOVED AND SHALL BE MILLED AND STEPPED IN ORDER TO ADDRESS EMERGENCY ISSUES ASSOCIATED WITH THE PROJECT.









- GENERAL NOTES:**
- BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREIN TAKEN FROM A SURVEY ENTITLED "ALTAMIR LAND TITLE SURVEY" LOCATED IN SECTIONS 24, 25, TOWNSHIP 15 SOUTH, RANGE 28 EAST, MARION COUNTY, FLORIDA, PREPARED BY CHW PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2013.
  - THE HORIZONTAL & VERTICAL DATUMS REFERRED ABOVE ARE AS SHOWN.
  - ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY FIRM, APPEARS TO FALL WITHIN SPECIAL FLOOD HAZARD ZONE "A" AND "AE" THE "AE" AREA APPEARS TO FALL WITHIN THE TOP OF BANK LIMITS OF THE POND WITH A FLOOD ELEVATION OF 75.14 FT. (NAVD83). SURVEY REFERENCED ABOVE, HAD A FLOOD ELEVATION OF 75.14 FT. (NAVD83).
  - INVESTIGATION, PROPOSED SPOUTS AND POND METAL DRAINAGE, LEAST 100' TO 200' SOUTH WEST OF 100TH STREET, OCALA MARION COUNTY, FLORIDA, PREPARED BY ANDREY ENGINEERING, INC. DATED NOVEMBER 1, 2022.
  - ALL CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS AND PERMIT CONDITIONS FROM LOCAL, STATE, AND FEDERAL AGENCIES. ALL PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

**VERTICAL DATUM**  
ELEVATIONS SHOWN HEREIN ARE BASED ON NAVD 83. ALL ELEVATIONS SHALL BE BASED ON BENCHMARKS RESEARCHED BY THE SURVEYOR.

**GRADING NOTES:**

- PROPOSED GRADE ELEVATIONS SHOWN AT BUILDING LINE ARE GROUND ELEVATIONS.
- PROPOSED SPOT ELEVATIONS IN PAVEMENT AREAS ARE TOP OF FINISHED PAVEMENT.
- A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL COSTS OF RE-TESTING.
- ALL DIRT/DEBRIS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BIRDED DEBRIS) IS TO BE EXCAVATED IN EXCAVATED AREAS ARE TO BE MAILED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVAL OF DEBRIS MATERIAL FROM THE SITE.
- ALL EXISTING UTILITIES TO BE MAINTAINED. CONTRACTOR TO COORDINATE WITH OWNER'S ENGINEER PRIOR TO ANY UTILITY CHANGES.
- CONTRACTOR SHALL SAWCUT, JACK AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT AS SHOWN ON THE DETAILS HEREIN.
- CONTRACTOR TO PROVIDE A 1/2" TO 1" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER AT ALL JOINTS.
- THE CONTRACTOR WILL STABILIZE BY SEED AND MULCH, SOIL, OR OTHER APPROVED MATERIALS. ANY PAVEMENT AREAS CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER.

- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. THE TESTING SCHEDULE REQUIRED BY THE AFFECTED MUNICIPALITY, UPON COMPLETION OF WORK, STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
- A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE TESTING SCHEDULE REQUIRED BY THE AFFECTED MUNICIPALITY, UPON COMPLETION OF WORK, STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
- CONTRACTOR SHALL BE CONNECTED TO THE SITE DRAINAGE NETWORK WITH THE MOST DIRECT CONNECTION POSSIBLE UTILIZING INSERTABLE PRODUCT WITH A PERFORATED ALCOHOL OR OTHERS APPROVED.

**TESTING & INSPECTION REQUIREMENTS (PAVING/GRADING)**

- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. THE TESTING SCHEDULE REQUIRED BY THE AFFECTED MUNICIPALITY, UPON COMPLETION OF WORK, STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
- A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE TESTING SCHEDULE REQUIRED BY THE AFFECTED MUNICIPALITY, UPON COMPLETION OF WORK, STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
- CONTRACTOR SHALL BE CONNECTED TO THE SITE DRAINAGE NETWORK WITH THE MOST DIRECT CONNECTION POSSIBLE UTILIZING INSERTABLE PRODUCT WITH A PERFORATED ALCOHOL OR OTHERS APPROVED.

**M STOKES CONSULTING**  
P.O. BOX 22821  
TAMPA, FL 33622  
813.724.1999  
INFO@MSTOKESCONSULTING.COM  
FLORIDA BUSINESS REGISTRY NO. 2448

| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 01  | 07/24    | REVISION PER COUNTY, SWAMP & FLOOD REVIEW COMMENTS |
| 02  | 08/08    | REVISION TO BARRIERS RELOCATION                    |
| 03  | 08/24    | REVISION PER FOOT ACCESS & TOWERING RELOCATION     |
| 04  | 09/07    | REVISION PER FOOT ACCESS & ON-SITE CROSS ACCESS    |
| 05  | 09/07    | REVISION PER FOOT ACCESS & ON-SITE CROSS ACCESS    |
| 06  | 09/07    | REVISION PER FOOT ACCESS & ON-SITE CROSS ACCESS    |
| 07  | 11/07/24 | REVISION PER FOOT ACCESS & ON-SITE CROSS ACCESS    |
| 08  | 11/07/24 | REVISION PER FOOT ACCESS & ON-SITE CROSS ACCESS    |
| 09  | 12/27/23 | REVISION PER FOOT ACCESS & ON-SITE CROSS ACCESS    |
| 10  | 12/27/23 | REVISION PER FOOT ACCESS & ON-SITE CROSS ACCESS    |
| 11  | 12/27/23 | REVISION PER FOOT ACCESS & ON-SITE CROSS ACCESS    |
| 12  | 12/27/23 | REVISION PER FOOT ACCESS & ON-SITE CROSS ACCESS    |
| 13  | 12/27/23 | REVISION PER FOOT ACCESS & ON-SITE CROSS ACCESS    |

**sunshine**  
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**JOHN J. STOECKEL**  
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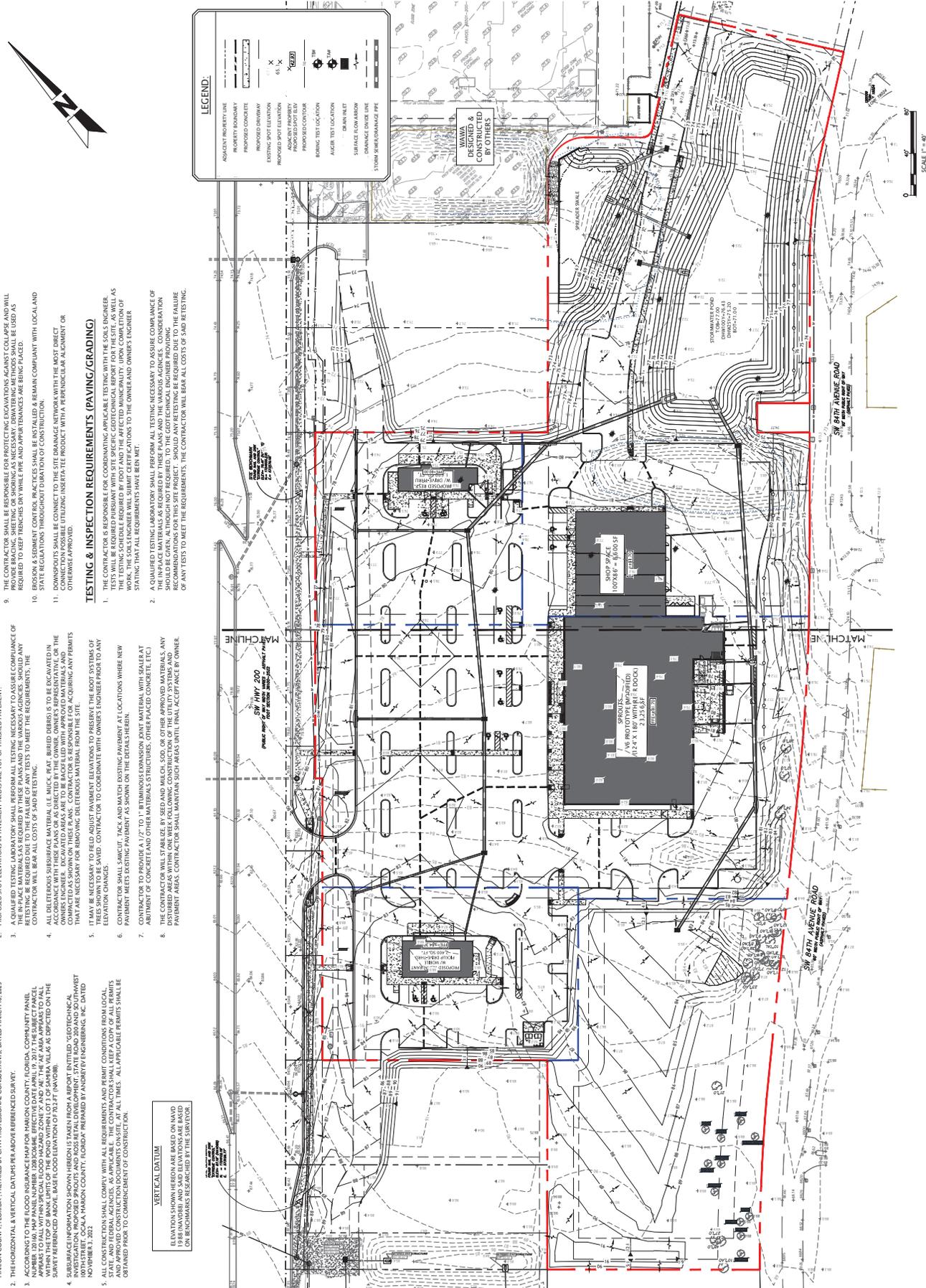
**PROJECT NAME**  
MAJOR SITE PLAN  
CORTA COMMONS

**FOR**  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

**SHEET TITLE**  
GRADING & DRAINAGE PLAN

**PROJECT NO.** 23-1336  
**CHECKED BY:** JPS  
**DATE:** 12/27/23  
**DATE OF LAST REVISION:**  
**SHEET NUMBER**

**C-301**









**MJ STOKES CONSULTING**  
 P.O. BOX 22821  
 TAMPA, FL 33622  
 813.724.199  
 INFO@MJSTOKESCONSULTING.COM  
 FLORIDA BUSINESS REGISTRY NO. 3448

| REV | DATE     | DESCRIPTION   |
|-----|----------|---|
| 12  | 5/08/25  | REVISED PER SW 100TH ACCESS MODIFICATION                      |
| 11  | 4/16/25  | REVISED PER SW 100TH ACCESS MODIFICATION                      |
| 10  | 2/27/25  | REVISED PER SW 100TH ACCESS MODIFICATION & REVIEW COMMENTS    |
| 9   | 1/23/24  | REVISED PER SW 100TH ACCESS MODIFICATION                      |
| 8   | 1/23/24  | PERMIT MODIFICATION REVISION - ACCESS, UTILITY, DRAINAGE      |
| 7   | 1/17/24  | UPDATES PLANS FROM REVISION - ACCESS, UTILITY, DRAINAGE       |
| 6   | 10/17/24 | REVISION OF CROSS ACCESS & LOWERED SITE AT TSC                |
| 5   | 10/07/24 | REVISIONS PER FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/POD |
| 4   | 9/20/24  | REVISIONS PER FOOT ACCESS & CONCERNING RELOCATION             |
| 3   | 9/20/24  | REVISION TO BARRIER RELOCATION                                |
| 2   | 9/20/24  | REVISION PER COUNTY, SW 100TH & FOOT REVIEW COMMENTS          |
| BY  |          |   |

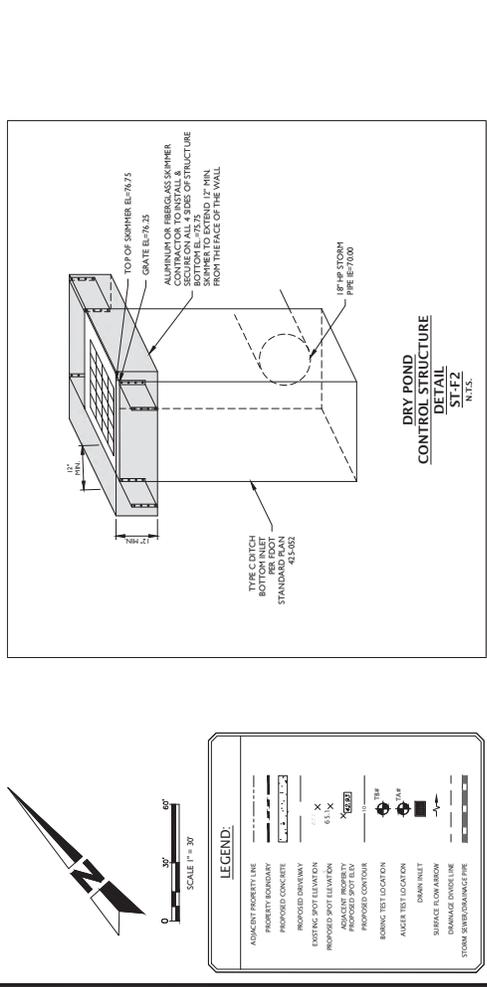
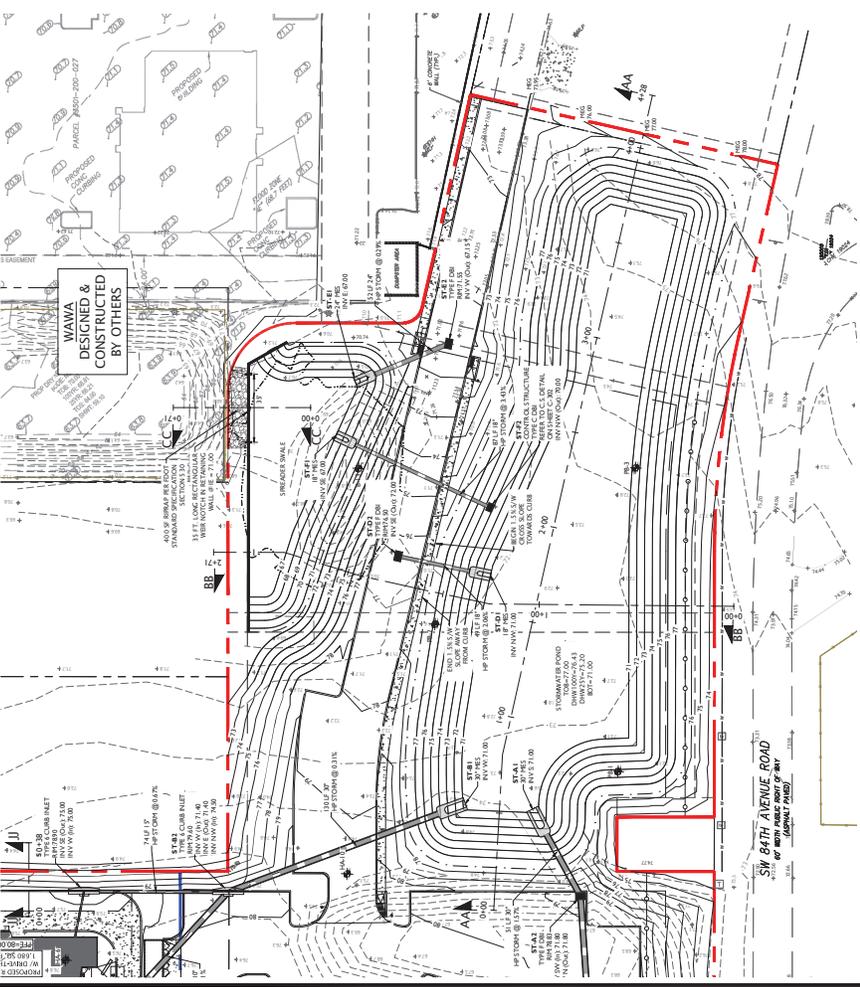
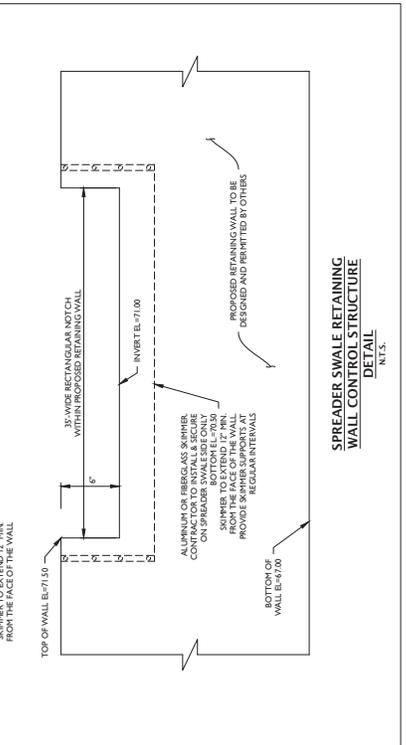
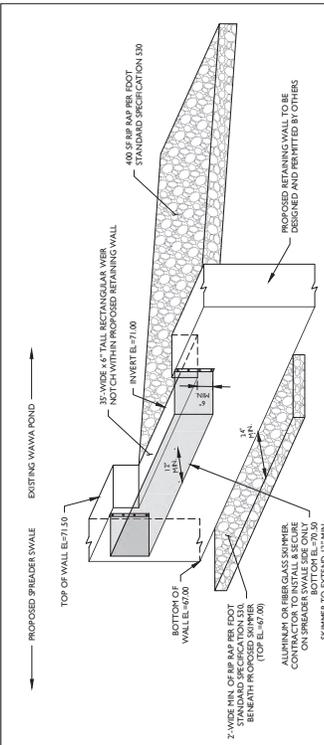
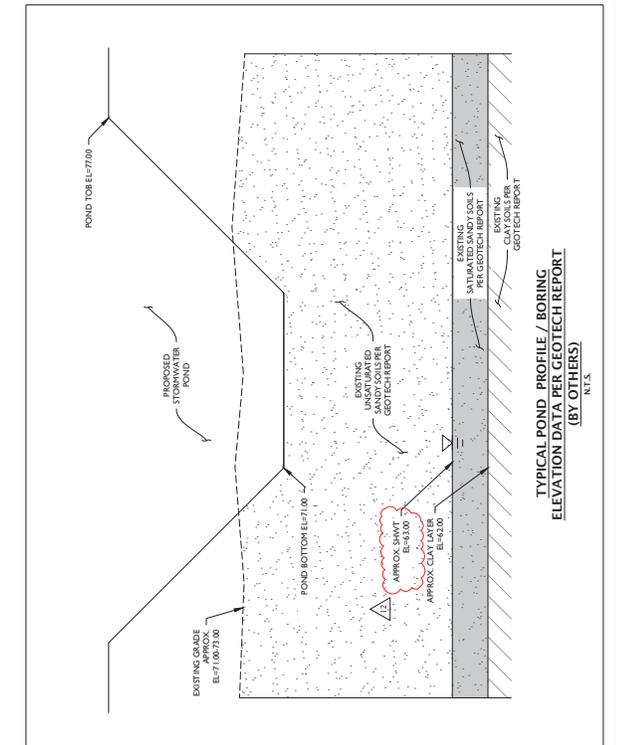
**Sunshine**  
 Call 811 or visit sunshine.com for more information. Do not dig until you have business cards before digging to avoid buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 807258

PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**  
 FOR  
**CORTA OCALA, LLC**  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

SHEET TITLE  
**CROSS SECTIONS**

PROJECT NO.: 231336  
 CHECKED BY: JJS  
 DATE: 05/08/25  
 SHEET NUMBER  
**C-305**



**MJ STOKES CONSULTING**  
 P.O. BOX 22821  
 TAMPA, FL 33622  
 813.774.1998  
 INFO@MJSTOKESCONSULTING.COM  
 FLORIDA BUSINESS REGISTRY NO. 34488

| REV | DATE     | DESCRIPTION   |
|-----|----------|---|
| 12  | 08/25/24 | REVISED PER SW 100TH ACCESS MODIFICATION COMMENTS             |
| 11  | 04/23/25 | REVISED PER SW 100TH ACCESS MODIFICATION COMMENTS             |
| 10  | 02/27/25 | REVISED PER SHORPES UTILITY MODIFICATIONS & REVIEW COMMENTS   |
| 09  | 12/23/24 | REVISED PER PDR WASTEWATER PERMIT REVIEW                      |
| 08  | 11/07/24 | PERMIT MODIFICATION REVISION - ACCESS, UTILITY, DRAINAGE      |
| 07  | 11/07/24 | REVISION OF CROSS ACCESS & LOWERED SITE AT TSC                |
| 06  | 09/17/24 | REVISIONS PER FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/POD |
| 05  | 09/23/24 | REVISIONS TO BUFFER MODIFICATION                              |
| 04  | 08/28/24 | REVISIONS PER BUFFER MODIFICATION                             |
| 03  | 08/01/24 | REVISION PER COUNTY, SWFWMD & FOOT REVIEW COMMENTS            |

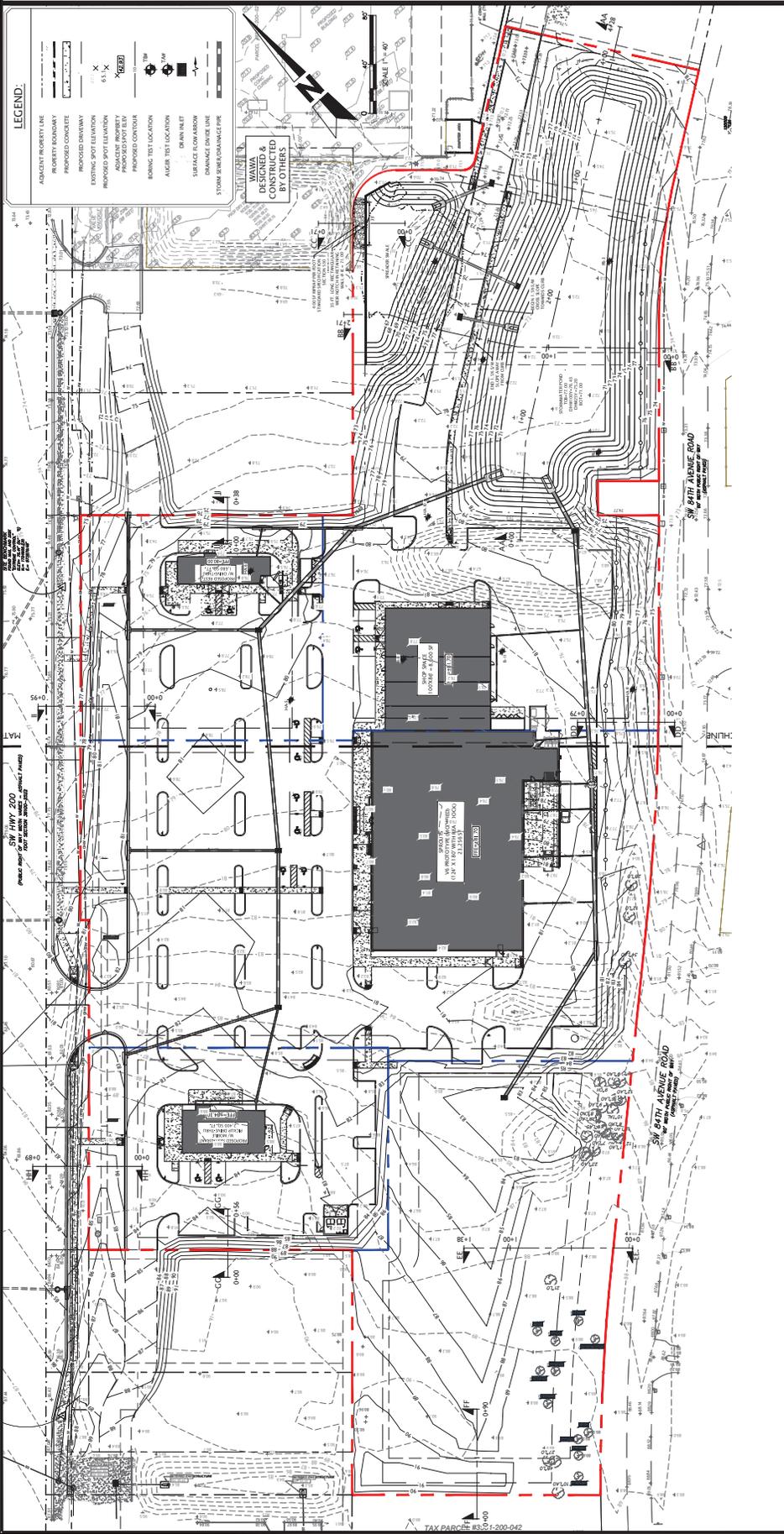
**Sunshine**  
 Call 811 or visit [www.sunshine811.com](http://www.sunshine811.com) before digging to locate buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 80758

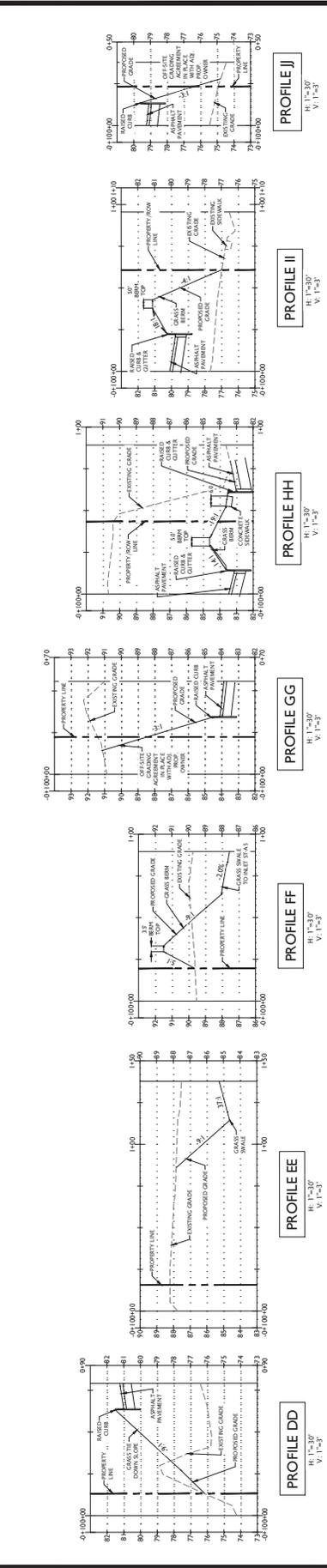
PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**  
 FOR  
**CORTA OCALA, LLC**  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

SHEET TITLE  
**CROSS SECTIONS**

PROJECT NO: 231336  
 CHECKED BY: JPS  
 DATE: 08/25/24  
 SHEET NUMBER: **C-306**



SEE SHEET C-304 FOR POND CROSS SECTIONS AA, BB, & CC



**MJ STOKES CONSULTING**

P.O. BOX 22821  
TAMPA, FL 33622  
813.734.1199  
INFO@MSTOKESCONSULTING.COM

FLORIDA BUSINESS REGISTRY NO. 34488

| REV | DATE     | DESCRIPTION   |
|-----|----------|---|
| 10  | 12/27/23 | REVISED PER SHOPPER UTILITY MODIFICATIONS & REVIEW COMMENTS     |
| 09  | 12/27/23 | REVISED PER PDR WASTEWATER PERMIT REVIEW                        |
| 08  | 11/07/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE          |
| 07  | 10/07/24 | REDESIGN PLANS FROM REGION FOR PERMIT MODIFICATION SUBMITTAL    |
| 06  | 10/07/24 | REDESIGN OF CROSS ACCESS & LOWERS SITE AT T3C                   |
| 05  | 07/07/24 | REVISIONS PER FOOT ACCESS & FORKLEMAN RELOCATION                |
| 04  | 07/07/24 | REVISION TO BURNER PER RESOLUTION                               |
| 03  | 06/24/24 | REVISION PER COUNTY, SWANWICK & FOOT REVIEW COMMENTS            |
| 02  | 01/27/24 | REVISION PER ZONING APPROVAL, COUNTY & SWANWICK REVIEW COMMENTS |

**Sunshine**

Call BTI or visit [www.sunshinebt.com](http://www.sunshinebt.com) for business days before opening to have buried facilities located and marked. Check positive response codes before your dig!

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

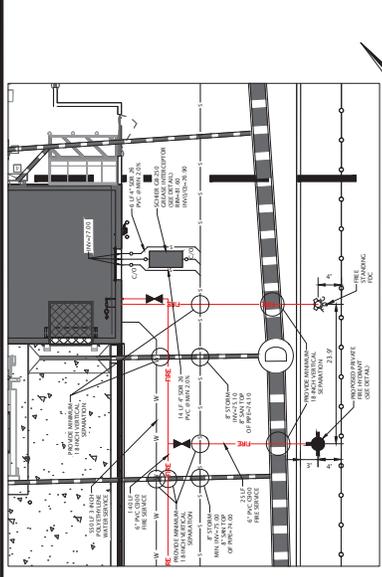
PROJECT NAME  
**MAJOR SITE PLAN**  
CORTA COMMONS

FOR  
**CORTA OCALA, LLC**  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

**OVERALL UTILITY PLAN**

PROJECT NO: 231336  
CHECKED BY: JPS  
DATE: 12/27/23  
SHEET NUMBER

**C-401**



- MARION COUNTY NOTES:**
- AS BUILTS, ANY UTILITIES WHICH WILL BE DEDICATED TO MCI POST CONSTRUCTION SHALL BE SHOWN ON AS-BUILTS IN ACCORDANCE WITH LATEST LDC REV 4/13/23.
  - ANY ASSETS TO BE CONVEYED TO MCI (MANS, SERVICES, APPURTENANCES) SHALL BE IDENTIFIED ON PLAN.
  - THROUGH BLOT SALE PROCESS PRIOR TO MCI SIGNING OUT DEP CLEARANCES.
  - MCI PERSONNEL ARE TO INSPECT ANY WORK PERFORMED ON OR AROUND EXISTING MCI FACILITIES 48 HOURS PRIOR TO START OF ANY CONSTRUCTION. IF THE PRE-CONSTRUCTION MEETING IS HELD PRIOR TO THE BLOT SALE, THE MCI PERSONNEL WILL BE PRESENT TO OBSERVE THE CONSTRUCTION OFFICIAL AT 355.302.4153.
  - NOVA BOX TO BE INSTALLED ON BUILDINGS WITH A FIRE ALARM AND OR SPROUTS SYSTEM.
  - BUILDING SHALL COMPLY WITH THE IN-BUILDING PUBLIC SAFETY MINIMUM RADIO SIGNAL REQUIREMENTS. AN INDEPENDENT FIRM TO TEST THE STRENGTH OF THE SIGNAL AND DETERMINE NECESSARY EQUIPMENT TO BE INSTALLED. THE TESTING SHALL BE COMPLETED PRIOR TO THE FINAL INSPECTION OF THE BUILDING. ANY INSTALLATION OF EQUIPMENT MUST BE DONE UNDER A PERMIT AND BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.
  - SITE ALIENS SHALL BE TESTED WITH A NEW HYDRANT INSTALLED BY THE CONTRACTOR AND TESTED BY A MARION COUNTY FIRE INSPECTOR. THE HYDRANT LOCATIONS SHALL BE IDENTIFIED ON THE PLAN AND A BLUE REFLECTOR IN THE MIDDLE OF THE ROAMANT LANE CLOSEST TO THE HYDRANT.
  - SCAVAGE SHALL BE PROTECTED AND/OR PAINTED, RE-DEPARTMENT ACCESS, NO PARKING, ALONG THE FRONT OF THE MAIN BUILDING AND REAR IN THE PROXIMITY OF THE PROPOSED HYDRANT AND TIC.

7. THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFACE POINTS, CROSSINGS WITH EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO DETERMINE EXACT DEPTH, PRIOR TO COMMENCEMENT OF CONSTRUCTION.

8. ALL TELL, COMPACTON, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE IDENTIFIED ON THE PLAN. THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.

9. DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR MUST CAREFULLY VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY AND ALL UTILITIES THAT ARE DISCOVERED MUST BE REPORTED IMMEDIATELY TO THE OWNER AND THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF WORK.

**FIRE FLOW DATA**

TEST DATE: APRIL 3, 2024 - TEST PERFORMED BY CCK FIRE PROTECTION AND WITNESSED BY MARION COUNTY UTILITIES.

STATIC HYDRANT LOCATION: 3225 @ 8330 SW 92 200

HYDRANT LOCATION: 358 @ BENDY'S 8470 SW 92 200

STATIC PRESSURE: 1,250 CPM @ 95.5 PSI

RESIDUAL PRESSURE: 57 PSI

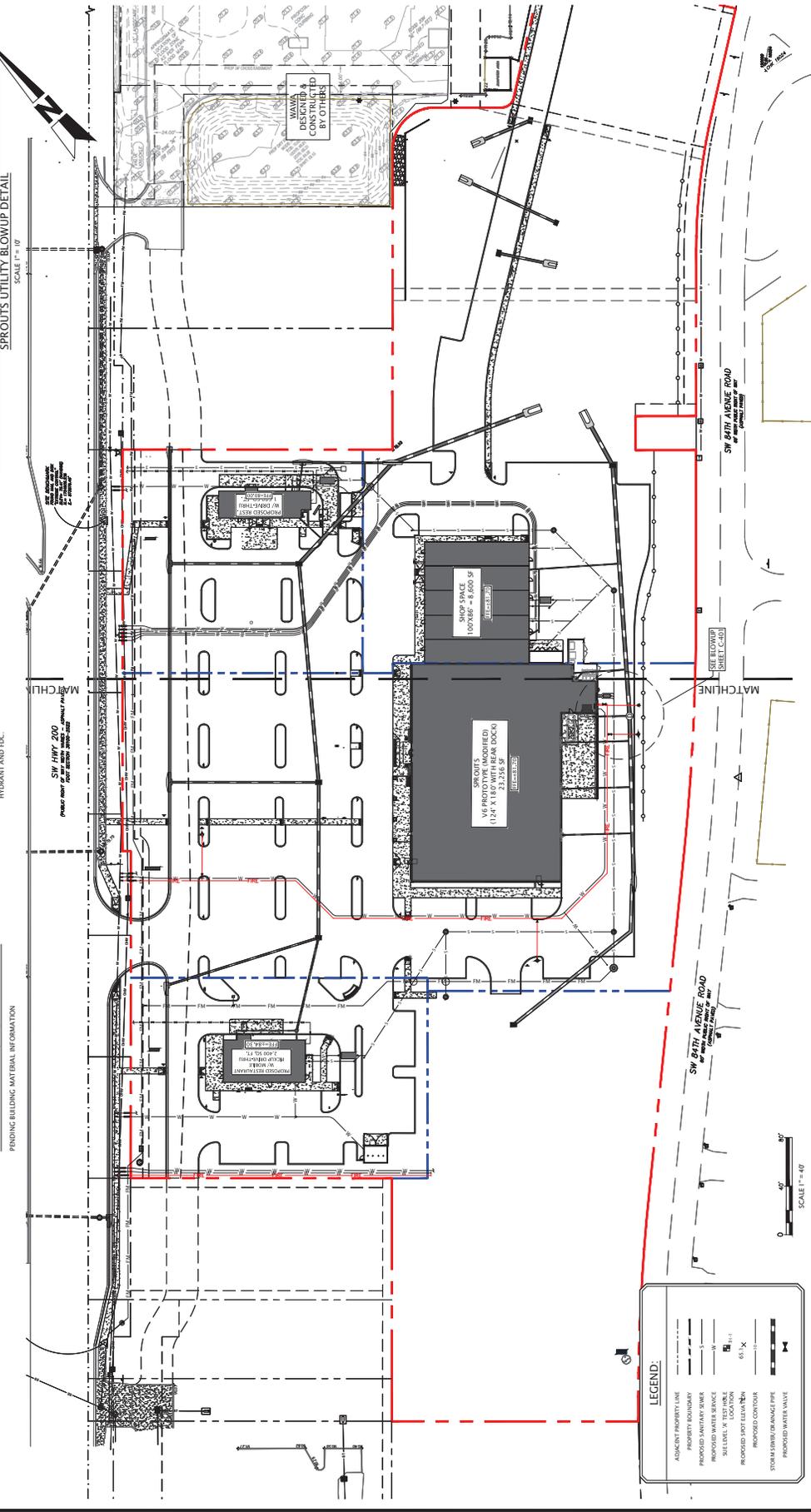
AVAILABLE FLOW @ 20 PSI: 4,383 CPM

**NEEDED FIRE FLOW (NEF) CALCULATIONS**

PROVIDING BUILDING MATERIAL INFORMATION

**GENERAL NOTES:**

- BOUNDARY, TOPOGRAPHIC AND TREE INFORMATION SHOWN HEREIN TAKEN FROM A SURVEY TITLED "LANDS AND TILES SURVEY LOCATED IN SECTIONS 24 & 25, TOWNSHIP 30 NORTH, RANGE 17 WEST, MARION COUNTY, FLORIDA, PREPARED BY CHW PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2023.
- THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
- ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY FLOOD HAZARD NUMBER 12010, MAP PANEL NUMBER 13893086E, EFFECTIVE DATE APRIL 13, 2017, THE SUBJECT PARCEL APPEARS TO FALL WITHIN SPECIAL FLOOD HAZARD ZONE WITHIN LOT 7 OF SAKHIA VILLAS AS DEPICTED ON THE NAVY REFERENCED ABOVE. BASE FLOOD ELEVATION IS 70.3 FT (NAVD83).
- SUBSURFACE INFORMATION SHOWN HEREIN TAKEN FROM A REPORT ENTITLED "GEOLOGICAL INVESTIGATION OF STATE ROAD 200 AND SOUTHWEST 100TH STREET, OCALA, MARION COUNTY, FLORIDA," PREPARED BY ANDREWEY ENGINEERING, INC. DATED NOVEMBER 13, 2022.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS AND PERMIT CONDITIONS OF THE MARION COUNTY PERMITTING DEPARTMENT. THE CONTRACTOR SHALL KEEP A COPY OF ALL PERMITS AND APPROVED CONSTRUCTION DOCUMENTS ON-SITE AT ALL TIMES. ALL APPLICABLE PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- UTILITY LOCATIONS SHALL BE VERIFIED AND PROXIMITY LOCATED ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM TELEPHONE, CABLE, FIBER OPTIC, CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES WITHIN THE DISTURBANCE LIMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MARKING ALL UTILITIES AND SERVICES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MARKING ALL UTILITIES AND SERVICES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MARKING ALL UTILITIES AND SERVICES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MARKING ALL UTILITIES AND SERVICES PRIOR TO CONSTRUCTION.







| REV | DATE     | DESCRIPTION   |
|-----|----------|---|
| 13  | 6/02/25  | REVISED PER PWD AMENDMENT APPROVAL & STAFF COMMENTS           |
| 12  | 5/08/25  | REVISED PER SWINWAD EIR MODIFICATION COMMENTS                 |
| 11  | 4/16/25  | REVISED PER SW 100TH ACCESS MODIFICATIONS                     |
| 10  | 2/27/25  | REVISED PER SHOPPER UTILITY MODIFICATIONS & REVIEW COMMENTS   |
| 09  | 1/07/24  | REVISED PER DDEP WASTEWATER PERMIT REVIEW                     |
| 08  | 10/07/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE        |
| 07  | 1/07/24  | UPDATED PLANS FROM REDESIGN FOR PERMIT MODIFICATION SUBMITTAL |
| 06  | 10/17/24 | REVISION OF CROSS ACCESS & LOWWATER SITE AT THE               |
| 05  | 10/07/24 | REVISION PER FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/ROAD |
| 04  | 9/26/24  | REVISION PER FOOT ACCESS & FOREMANN RELOCATION                |
| 03  | 9/05/24  | REVISION TO BUFFER PER RESOLUTION                             |

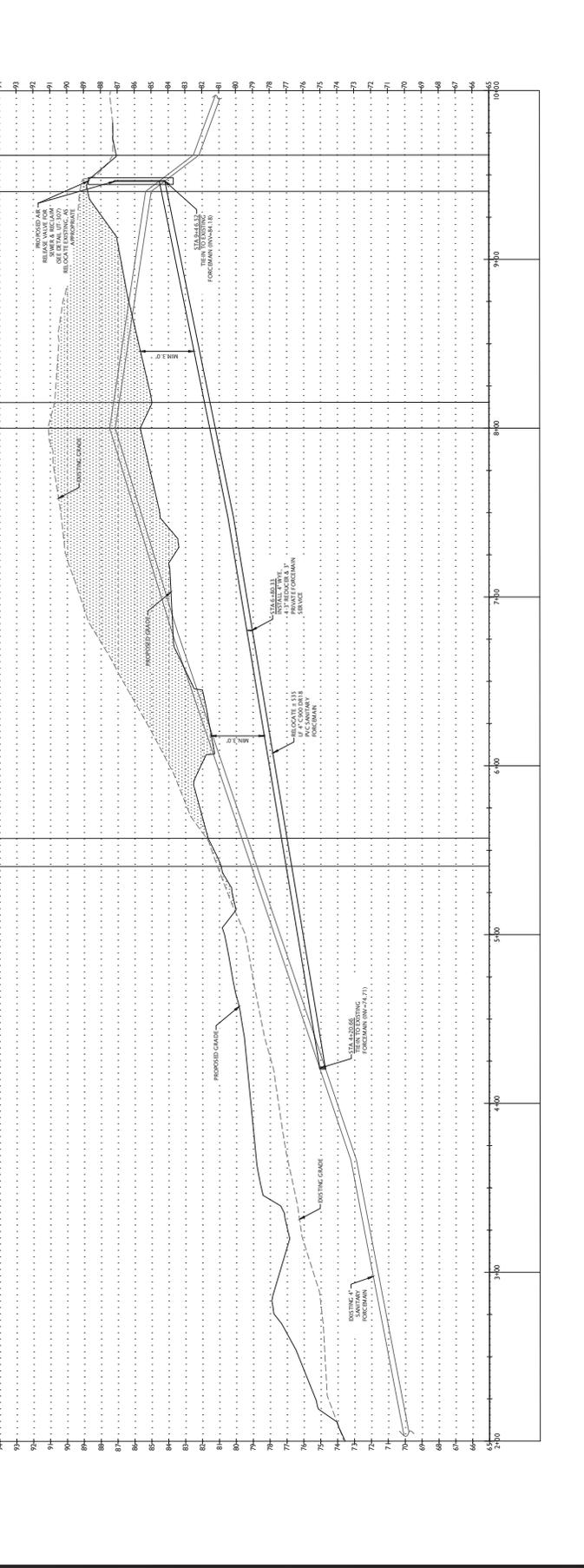
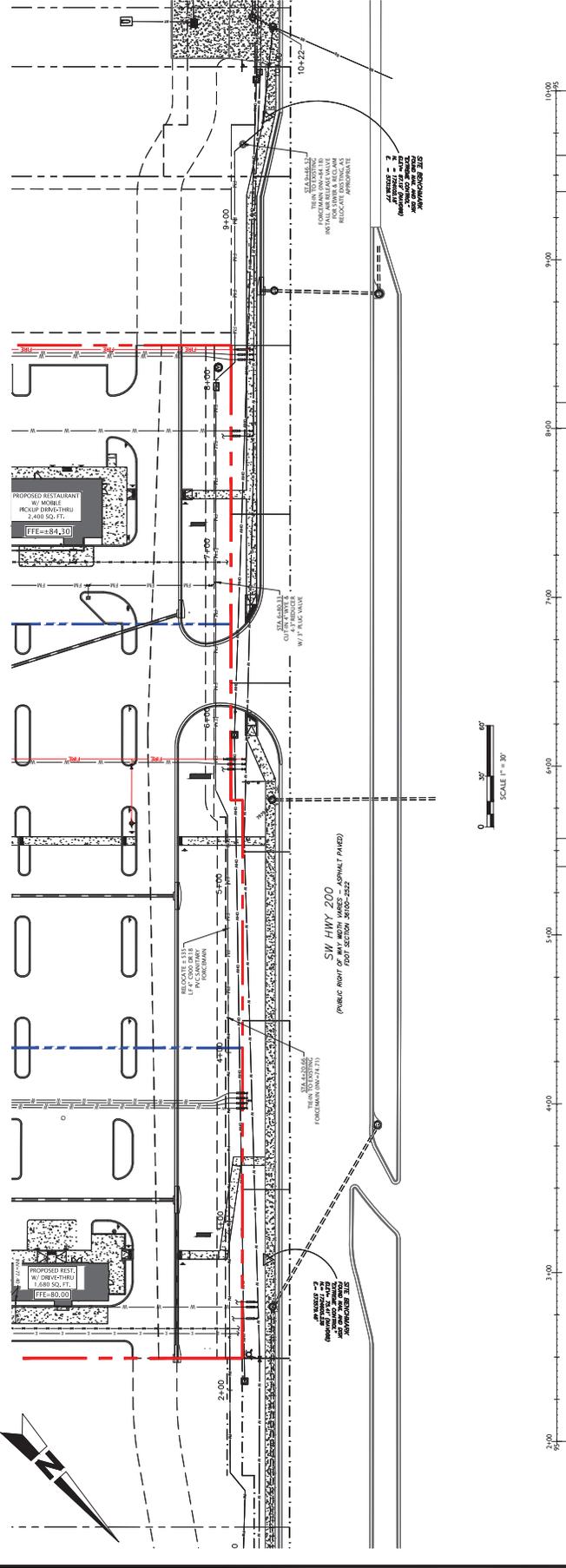

**Sunshine**  
 Call 811 or visit [www.sunshine811.com](http://www.sunshine811.com) before any business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 80758

PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**  
 FOR  
**CORTA OCALA, LLC**  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

SHEET TITLE  
**EXISTING SANITARY**  
**FORCEMAIN**  
**PROFILE**

PROJECT NO.: 231396  
 CHECKED BY: JF  
 DATE: 06/02/25  
 SHEET NUMBER  
**C-404**







| REV | DATE  | DESCRIPTION  |
|-----|-------|--|
| 01  | 01/24 | REVISION PER ZONING APPROVAL, COUNTY & SWP&D REVIEW COMMENTS |
| 02  | 01/24 | REVISION PER COUNTY, SWP&D & FOOT REVIEW COMMENTS            |
| 03  | 02/24 | REVISION TO BUREAU PER RESOLUTION                            |
| 04  | 02/24 | REVISIONS PER FOOT ACCESS & FORKHEIM RELOCATION              |

**Revisions**

Call 811 or visit [www.floridaclear.com](http://www.floridaclear.com) before any business starts before digging to have buried facilities located and marked. Check positive response codes before you dig!

**PROJECT NAME**  
MAJOR SITE PLAN  
CORTA COMMONS  
FOR  
CORTA OCALA, LLC  
SW HWY 200, OCALA  
MARION COUNTY, FLORIDA

**PROJECT NUMBER**  
231336

**CHECKED BY:** JPS  
**DATE:** 08/01/23  
**DATE OF REVISION:** N/A  
**SHEET NUMBER:**

**CONSTRUCTION DETAILS**

**INDEX**  
7/1-001  
7/1-002

**SHEET**  
1 of 13  
2 of 13

**PAVEMENT MESSAGE AND ARROW DETAILS**

**PAVEMENT MESSAGE NOTES:**

- Place all pavement messages 2' back from the stop line.
- All messages are 4" x 4".
- All pavement messages must be white except Route Shields.
- Message width of route shield for routes with three digits.

**PAVEMENT MARKINGS**

**MARKINGS FOR MERGE**

**YIELD LINES**

**INDEX**  
7/1-001  
7/1-002

**SHEET**  
1 of 13  
2 of 13



| REV | DATE  | DESCRIPTION  |
|-----|-------|--|
| 13  | 12/24 | REVISION PER ZONING APPROVAL, COUNTY & SWPMD REVIEW COMMENTS |
| 12  | 12/14 | REVISION PER COUNTY, SWPMD & FOOT REVIEW COMMENTS            |
| 11  | 10/24 | REVISION TO BUREAU PER RESOLUTION                            |
| 10  | 10/24 | REVISIONS PER FOOT ACCESS & FORKHEIM RELOCATION              |
| 9   |       |  |
| 8   |       |  |
| 7   |       |  |
| 6   |       |  |
| 5   |       |  |
| 4   |       |  |
| 3   |       |  |
| 2   |       |  |
| 1   |       |  |

**Revisions**

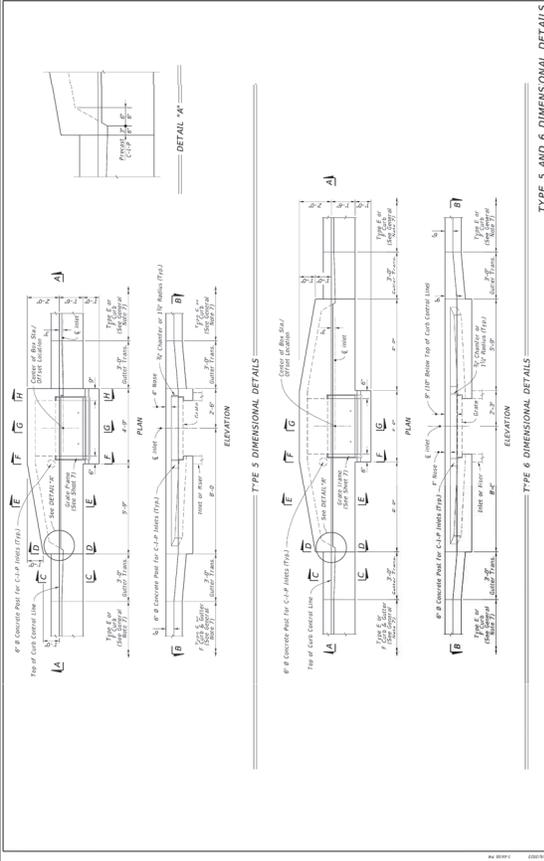
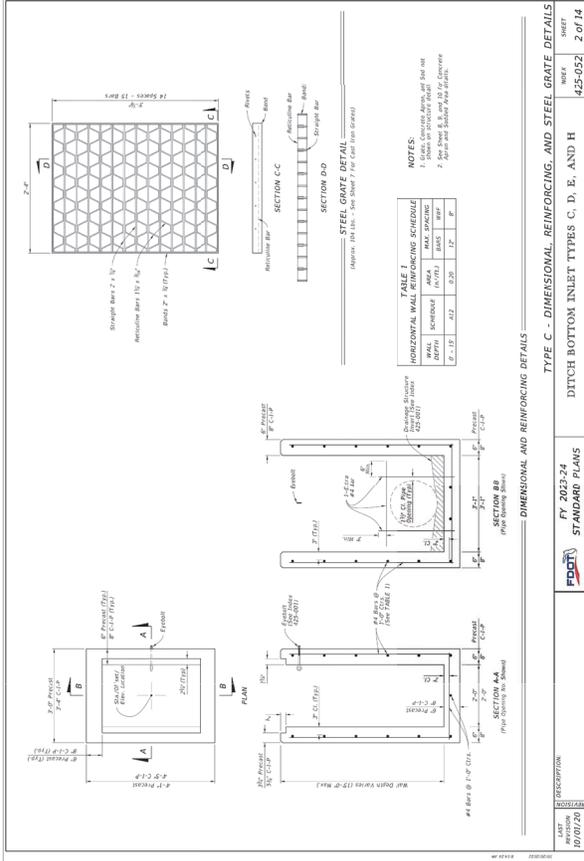
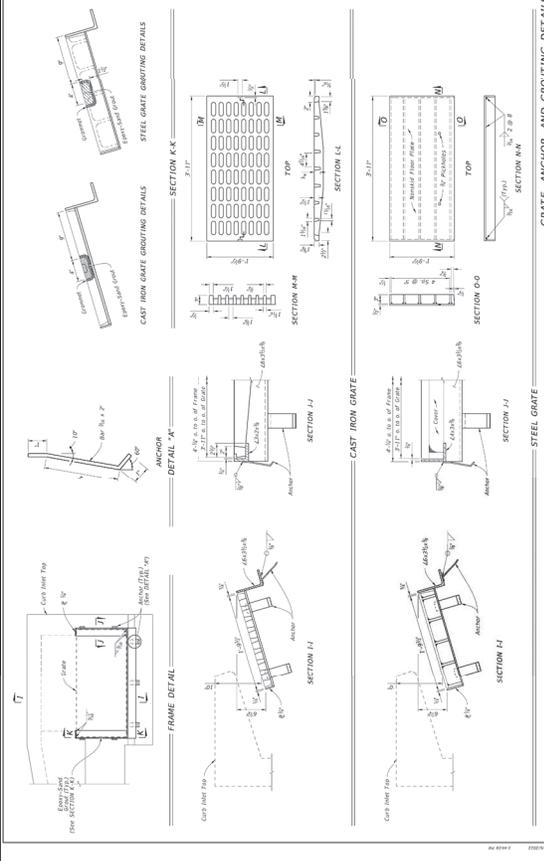
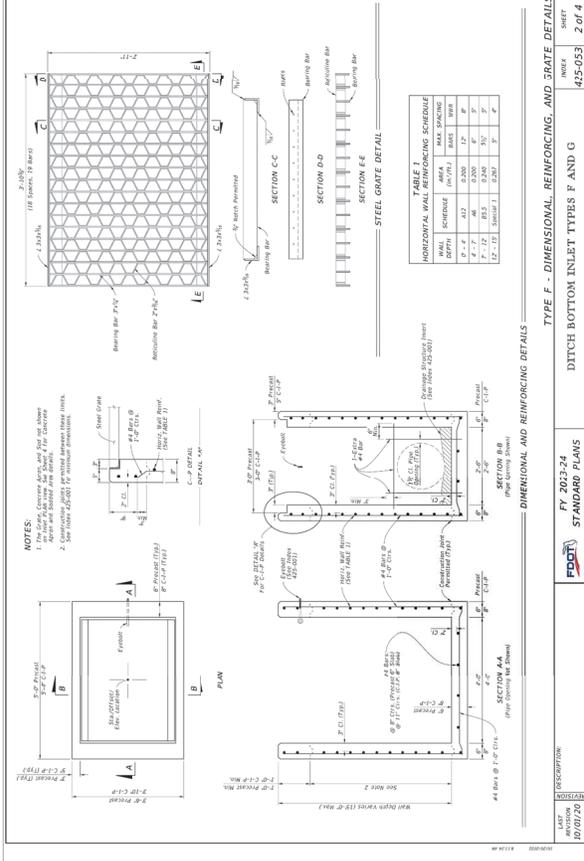
**Call out or visit Sunshinengrading.com for business days before opening to have buried facilities located and marked. Check positive response codes before you dig!**

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80738

**PROJECT NAME**  
MAJOR SITE PLAN  
CORTA COMMONS  
FOR  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

**SHEET TITLE**  
DRAINAGE DETAILS

PROJECT NO: 231336  
CHECKED BY: JPS  
DATE OF REVISION: 11/04/2023  
SHEET NUMBER: C-504



**DESCRIPTION**  
DITCH BOTTOM INLET TYPES F AND G

**REVISIONS**  
LAST REVISION: 11/01/2023

**STANDARD PLANS**  
FY 2023-24

**INDEX**  
425-021

**SHEET**  
2 OF 4

**DESCRIPTION**  
CURB INLET TOP TYPES 5 AND 6

**REVISIONS**  
LAST REVISION: 11/01/2023

**STANDARD PLANS**  
FY 2023-24

**INDEX**  
425-021

**SHEET**  
2 OF 7



| REV | DATE  | DESCRIPTION                                     |
|-----|-------|---|
| 1   | 12/24 | REVISION FOR COUNTY'S SWAMP REVIEW COMMENTS     |
| 2   | 1/16  | REVISION FOR COUNTY'S SWAMP REVIEW COMMENTS     |
| 3   | 2/24  | REVISION FOR COUNTY'S SWAMP REVIEW COMMENTS     |
| 4   | 2/24  | REVISIONS FOR ROOT ACCESS & FORKHEIM RELOCATION |
| 5   | 2/24  | REVISION TO BURIED WIRE RELOCATION              |
| 6   | 2/24  | REVISIONS FOR ROOT ACCESS & FORKHEIM RELOCATION |
| 7   | 2/24  | REVISIONS FOR COUNTY'S SWAMP REVIEW COMMENTS    |
| 8   | 2/24  | REVISIONS FOR COUNTY'S SWAMP REVIEW COMMENTS    |
| 9   | 2/24  | REVISIONS FOR COUNTY'S SWAMP REVIEW COMMENTS    |
| 10  | 2/24  | REVISIONS FOR COUNTY'S SWAMP REVIEW COMMENTS    |

**REVISIONS**

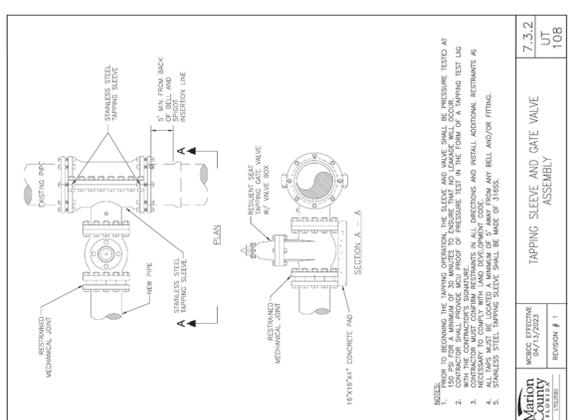
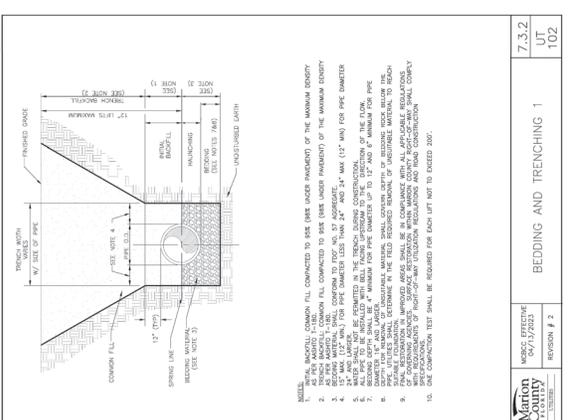
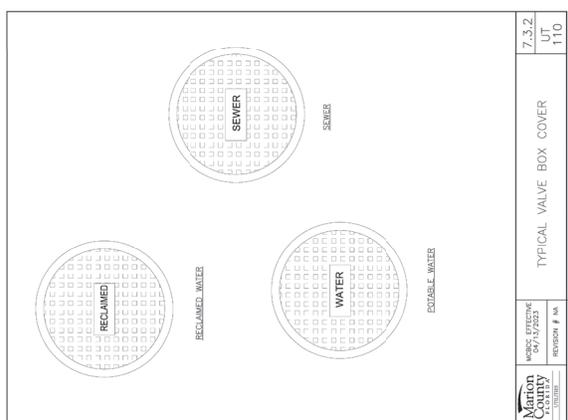
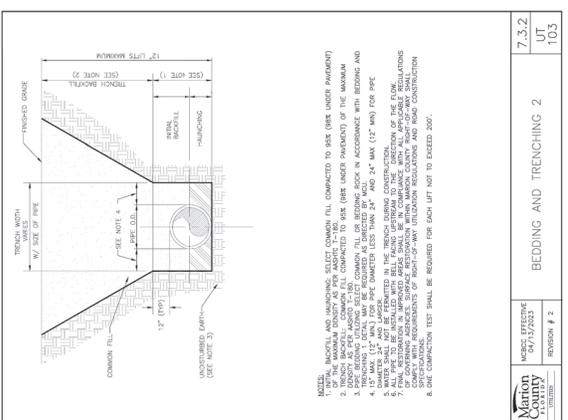
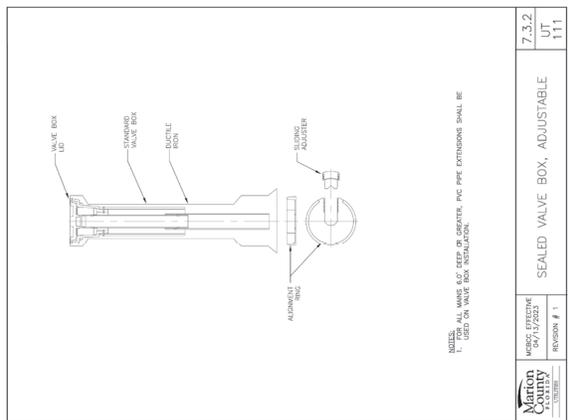
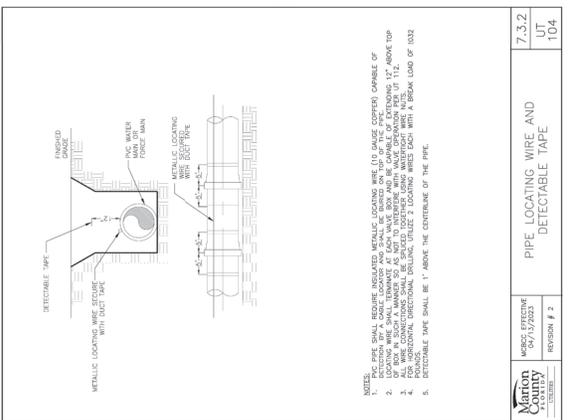
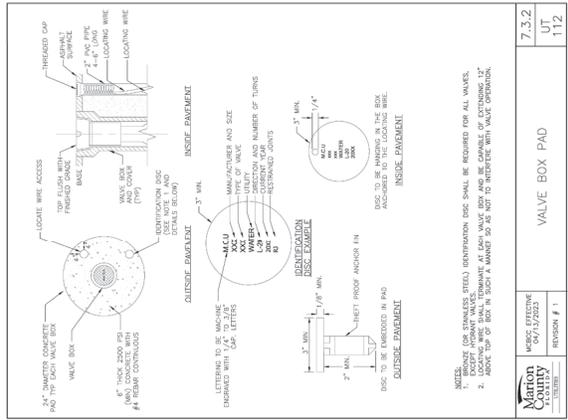
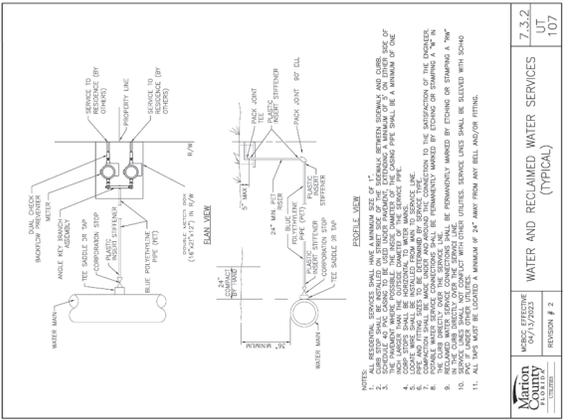
**sunshine**  
 Call BT or visit [sunshinefl.com](http://sunshinefl.com) for business days before opening to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 80738

**PROJECT NAME**  
 MAJOR SITE PLAN  
 CORTA COMMONS  
 FOR  
 CORTA OCALA, LLC  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

**SHEET TITLE**  
 MARION COUNTY  
 UTILITY DETAILS

**PROJECT NO.** 213396  
**CHECKED BY:** JPS  
**DATE:** 12/24/2021  
**SHEET NUMBER**  
**C-507**





| REV | DATE       | DESCRIPTION   |
|-----|------------|---|
| 18  | 01/15/2023 | REVISION # 2  |
| 17  | 01/15/2023 | REVISION # 1  |
| 16  | 01/15/2023 | REVISION # 1  |
| 15  | 01/15/2023 | REVISION # 1  |
| 14  | 02/04/2024 | REVISIONS PER FOOT ACCESS & FORKHEIM RELOCATION                 |
| 13  | 02/04/2024 | REVISION TO BURNER PER RESOLUTION                               |
| 12  | 02/04/2024 | REVISION TO COUNTY, SWANSON & FOOT REVIEW COMMENTS              |
| 11  | 02/04/2024 | REVISIONS PER ZONING APPROVAL, COUNTY & SWANSON REVIEW COMMENTS |

**sunshine**  
 Call BT or visit [www.sunshinegas.com](http://www.sunshinegas.com) for business days before opening to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 807338

**PROJECT NAME**  
 MAJOR SITE PLAN  
 CORTA COMMONS  
 FOR  
 CORTA OCALA, LLC  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

**SHEET TITLE**  
 MARION COUNTY  
 UTILITY DETAILS

PROJECT NO: 231396  
 CHECKED BY: JPS  
 DATE OF REVISION: N/A  
 DATE OF DESIGN: N/A  
 SHEET NUMBER: **C-509**

**7.3.2**  
**UT**  
**304**

**MOBIC EFFECTIVE**  
 06/15/2023  
**REVISION # 2**

**PLUG VALVE AND BOX**

**NOTES:**  
 1. MANHOLE BOX INSTALLATION SHALL COMPLY WITH UT 111. ALL SIZES OF 4" DIAMETER MANHOLES SHALL BE 12" DEEP. ALL OTHER SIZES SHALL BE 18" DEEP.  
 2. PROVIDE A PLUG VALVE WITH 1/2" MINIMUM RADIUS WHICH INSTALLS BELOW THE VALVE ACTUATING MECHANISM.  
 3. ALL VALVE BOXES SHALL BE CLEAN COATED TO MATCH THE CURB. INSTALLATION SHALL BE 12" ABOVE TOP OF FINISH GRADE.  
 4. ALL VALVE BOXES SHALL BE SET ON SOLID COMMON BLOCKS.  
 5. ALL VALVE BOXES SHALL BE SET ON SOLID COMMON BLOCKS.

**7.3.2**  
**UT**  
**309**

**MOBIC EFFECTIVE**  
 06/15/2023  
**REVISION # 1**

**MANHOLE IN NON-PAVED AREA**

**NOTES:**  
 1. CLEARANCE OF 30" FREE FROM OBSTRUCTIONS IN ALL DIRECTIONS.  
 2. TOP OF MANHOLE SHALL BE 2" ABOVE FINISHED GRADE. CHECK OF ADJACENT ROADWAY.  
 3. TOP OF MANHOLE SHALL BE 2" ABOVE FINISHED GRADE. CHECK OF ADJACENT ROADWAY.  
 4. TOP OF 100% FLOOD ELEVATION. INVERTION TO GRADE.

**7.3.2**  
**UT**  
**303**

**MOBIC EFFECTIVE**  
 06/15/2023  
**REVISION # 2**

**GRAVITY MANHOLE CONNECTION**

**NOTES:**  
 1. ALL OUTSIDE, PERMANENT CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.  
 2. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.  
 3. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.  
 4. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.

**7.3.2**  
**UT**  
**307**

**MOBIC EFFECTIVE**  
 06/15/2023  
**REVISION # 2**

**AIR RELEASE VALVE SERVED AND RECLAIMED**

**NOTES:**  
 1. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.  
 2. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.  
 3. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.  
 4. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.

**7.3.2**  
**UT**  
**301**

**MOBIC EFFECTIVE**  
 06/15/2023  
**REVISION # 1**

**THRUST COLLAR WASTEWATER FORCE MAINS**

**SCHEDULE OF DIMENSIONS AND MATERIALS**

| PIPE DIMENSIONS (INCHES) | A    | B    | C    | D    | DM    | DMC |
|--------------------------|------|------|------|------|-------|-----|
| 6"                       | 2.0  | 1.0  | 1.5  | 3/4" | 2"    | 4"  |
| 8"                       | 2.5  | 1.5  | 2.0  | 1"   | 2.5"  | 5"  |
| 10"                      | 3.0  | 2.0  | 2.5  | 1.5" | 3.0"  | 6"  |
| 12"                      | 3.5  | 2.5  | 3.0  | 2"   | 3.5"  | 7"  |
| 14"                      | 4.0  | 3.0  | 3.5  | 2.5" | 4.0"  | 8"  |
| 16"                      | 4.5  | 3.5  | 4.0  | 3"   | 4.5"  | 9"  |
| 18"                      | 5.0  | 4.0  | 4.5  | 3.5" | 5.0"  | 10" |
| 20"                      | 5.5  | 4.5  | 5.0  | 4"   | 5.5"  | 11" |
| 24"                      | 6.5  | 5.5  | 6.0  | 5"   | 6.5"  | 13" |
| 30"                      | 8.0  | 7.0  | 7.5  | 6"   | 8.0"  | 16" |
| 36"                      | 9.5  | 8.5  | 9.0  | 7"   | 9.5"  | 19" |
| 42"                      | 11.0 | 10.0 | 10.5 | 8"   | 11.0" | 22" |
| 48"                      | 12.5 | 11.5 | 12.0 | 9"   | 12.5" | 25" |
| 54"                      | 14.0 | 13.0 | 13.5 | 10"  | 14.0" | 28" |
| 60"                      | 15.5 | 14.5 | 15.0 | 11"  | 15.5" | 31" |

**NOTES:**  
 1. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.  
 2. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.  
 3. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.  
 4. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.

**7.3.2**  
**UT**  
**306**

**MOBIC EFFECTIVE**  
 06/15/2023  
**REVISION # 2**

**PRECAST CONCRETE MANHOLE**

**NOTES:**  
 1. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.  
 2. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.  
 3. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.  
 4. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.

**7.3.2**  
**UT**  
**211**

**MOBIC EFFECTIVE**  
 06/15/2023  
**REVISION # 1**

**TEMPORARY SAMPLE POINT**

**NOTES:**  
 1. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.  
 2. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.  
 3. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.  
 4. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.

**7.3.2**  
**UT**  
**305**

**MOBIC EFFECTIVE**  
 06/15/2023  
**REVISION # 2**

**STANDARD SEWER MANHOLE FRAME AND COVER**

**NOTES:**  
 1. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.  
 2. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.  
 3. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.  
 4. ALL CONNECTIONS SHALL BE RECESSED INTO THE WALLS WHICH FORM AN INLET OR OUTLET TO THE MANHOLE.

| REV | DATE     | DESCRIPTION                                 |
|-----|----------|---|
| 13  | 04/23/25 | REVISED PER SWMWD BFP MODIFICATION COMMENTS |
| 12  | 04/23/25 | REVISED PER SWMWD BFP MODIFICATION COMMENTS |
| 11  | 04/23/25 | REVISED PER SWMWD BFP MODIFICATION COMMENTS |
| 10  | 07/27/24 | REVISED PER SWMWD BFP MODIFICATION COMMENTS |
| 09  | 07/27/24 | REVISED PER SWMWD BFP MODIFICATION COMMENTS |
| 08  | 07/27/24 | REVISED PER SWMWD BFP MODIFICATION COMMENTS |
| 07  | 07/27/24 | REVISED PER SWMWD BFP MODIFICATION COMMENTS |
| 06  | 07/27/24 | REVISED PER SWMWD BFP MODIFICATION COMMENTS |
| 05  | 07/27/24 | REVISED PER SWMWD BFP MODIFICATION COMMENTS |
| 04  | 07/27/24 | REVISED PER SWMWD BFP MODIFICATION COMMENTS |
| 03  | 07/27/24 | REVISED PER SWMWD BFP MODIFICATION COMMENTS |
| 02  | 07/27/24 | REVISED PER SWMWD BFP MODIFICATION COMMENTS |
| 01  | 07/27/24 | REVISED PER SWMWD BFP MODIFICATION COMMENTS |

**Sunshine**  
 Call BT or visit our website at [www.sunshine.com](http://www.sunshine.com) for business days before opening to have buried facilities located and marked. Check positive response codes before your dig!

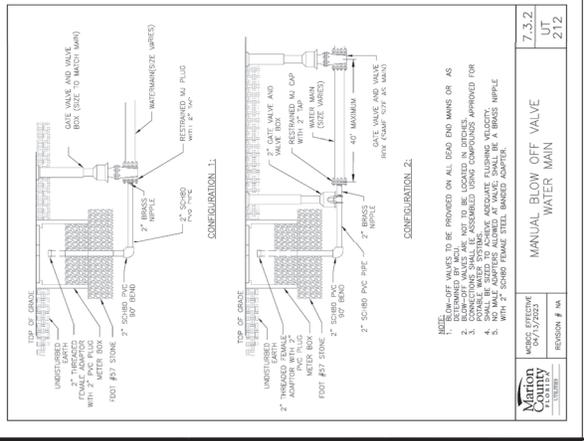
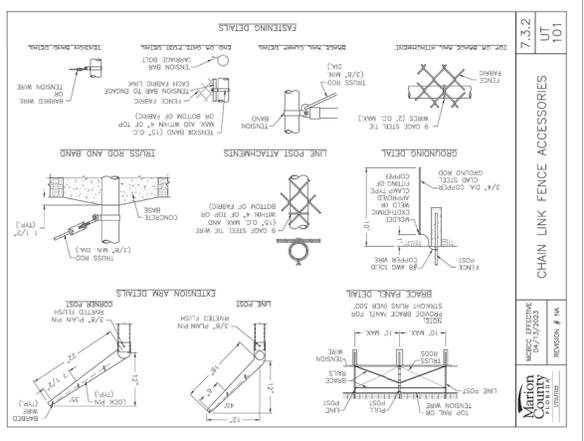
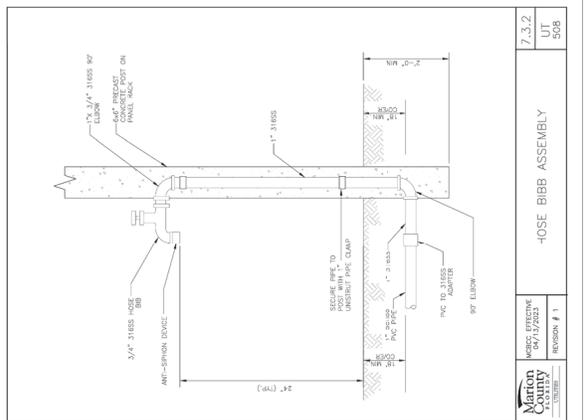
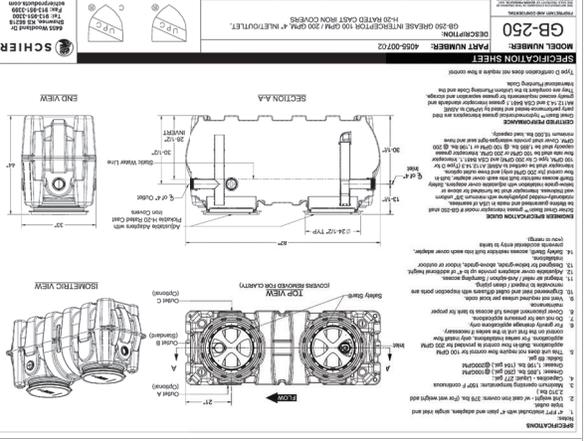
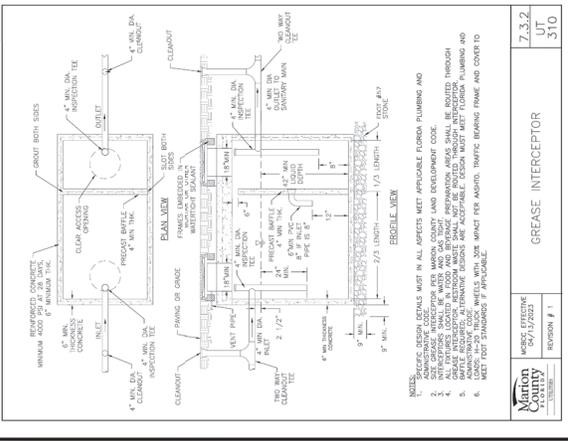
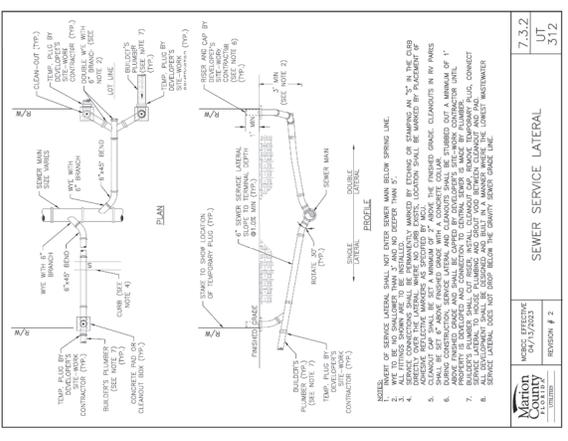
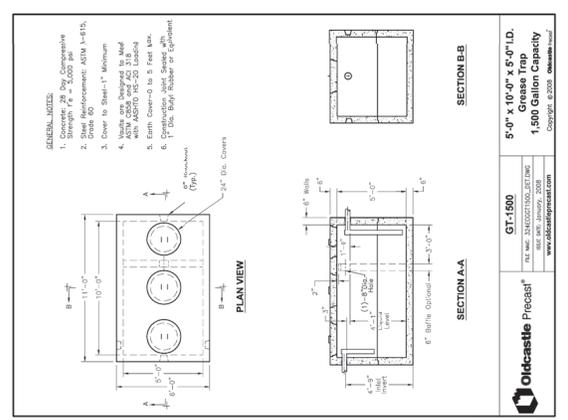
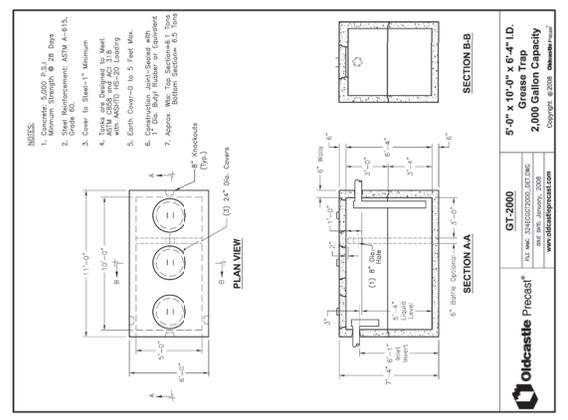
**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 80753

**MAJOR SITE PLAN**  
**CORTA COMMONS**

**CORTA OCALA, LLC**  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

**SHEET TITLE**  
**MARION COUNTY**  
**UTILITY DETAILS**

PROJECT NO: 231396  
 DATE: 04/17/2023  
 SHEET NUMBER: **C-510**



| REVISION # | DATE       | DESCRIPTION       |
|------------|------------|-------------------|
| 1          | 04/17/2023 | ISSUED FOR PERMIT |













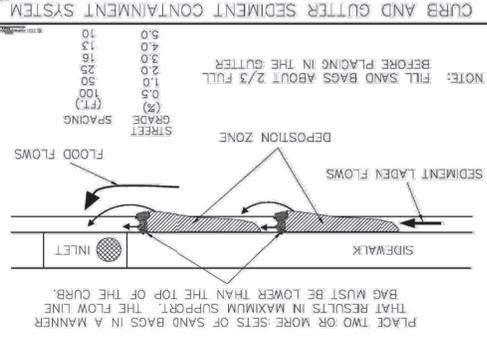


Figure V-19: Illustration of a Curb and Gutter Sediment Containment System

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V-40

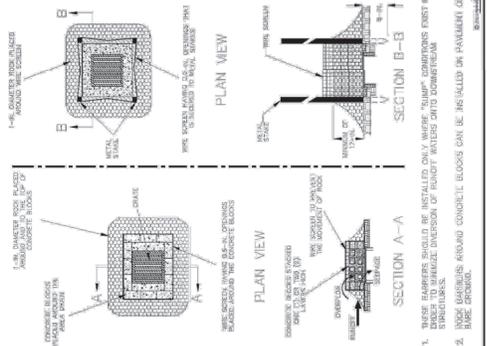


Figure V-13: Illustration of Rock Barriers around Area Drains

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V-32

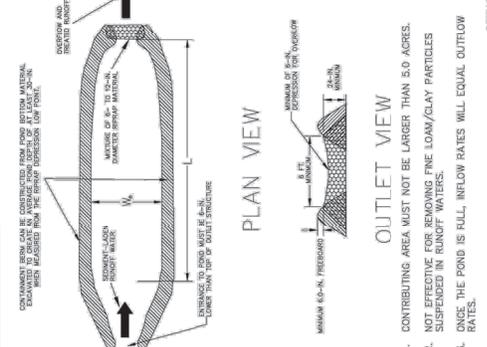


Figure V-13: Illustration of a Single Chamber SCS

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V-32

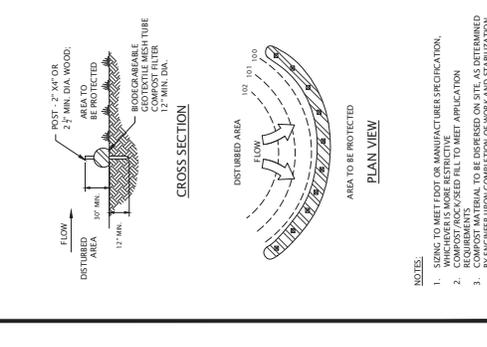


Figure V-13: Illustration of a Compost Filter Sock Detail

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V-32

**MJ STOKES CONSULTING**  
P.O. BOX 22821  
TAMPA, FL 33622  
813.724.1999  
INFO@MJSTOKESCONSULTING.COM  
FLORIDA BUSINESS REGISTRY NO. 34448

| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 08  | 10/17/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE           |
| 07  | 11/07/24 | UPDAT PLAN FROM REGION REVISION FOR PERMIT MODIFICATION SUBMITAL |
| 06  | 10/17/24 | REVISIONS FOR CROSS ACCESS & LOW FLOOR SITE AT TJC               |
| 05  | 10/17/24 | REVISIONS FOR FOOT ACCESS COMMENTS & FORKCHAM RELOCATION         |
| 04  | 10/17/24 | REVISION TO BURNER REVISIONS                                     |
| 03  | 10/17/24 | REVISION TO COUNTY, SWAMPY & FOOT REVIEW COMMENTS                |
| 02  | 10/17/24 | REVISION FOR ZONING APPROVAL, COUNTY & SWAMPY REVIEW COMMENTS    |

**Shinshin**  
Call 811 or visit [www.shinshin.com](http://www.shinshin.com) for more information. We are the only business days before opening to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

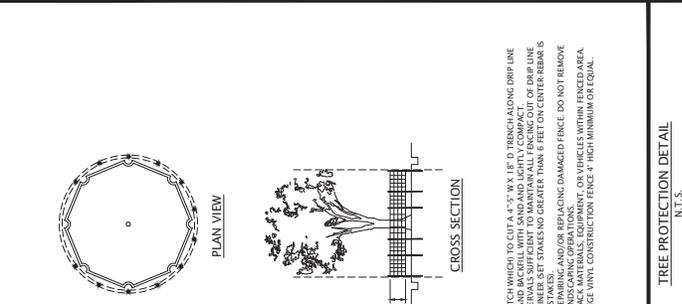
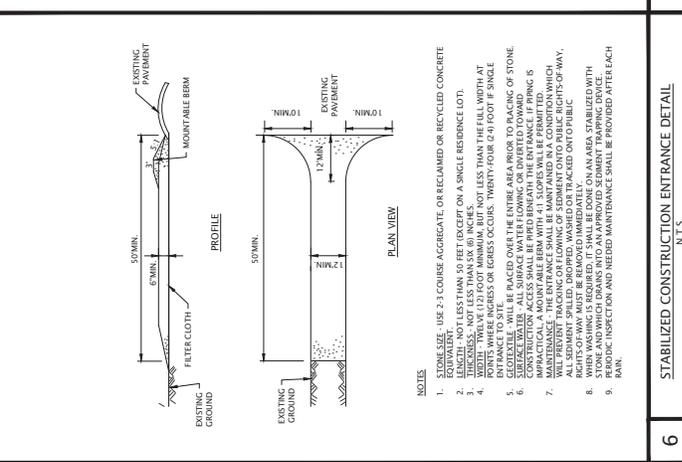
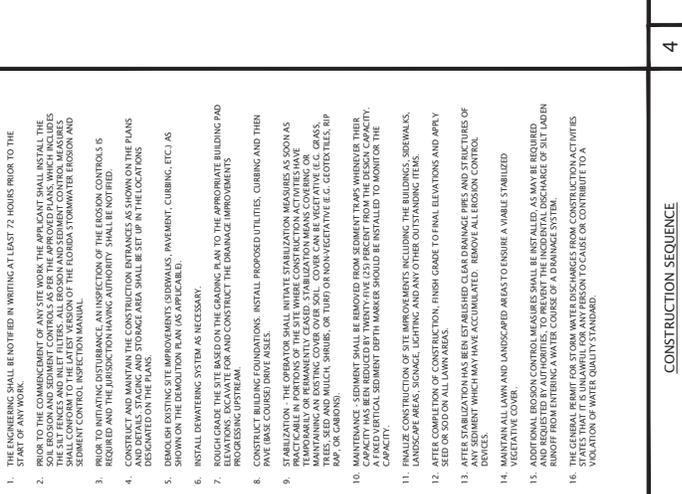
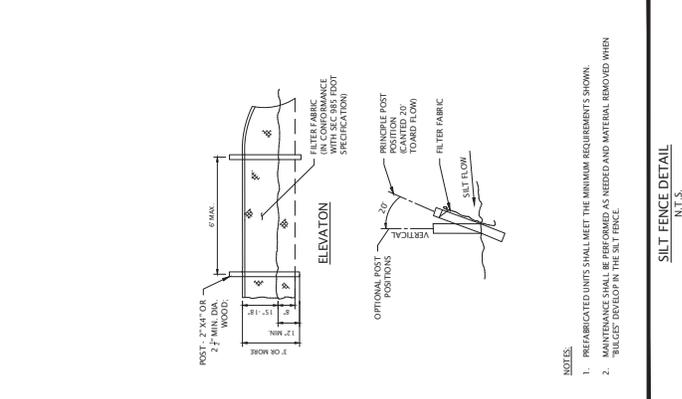
PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**

FOR  
**CORTA OCALA, LLC**  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE  
**EROSION & SEDIMENT CONTROL DETAILS**

PROJECT NO: 201306  
CHECKED BY: JPS  
DATE: 10/17/2013  
SHEET NUMBER

**C-004**



| NO. | CONSTRUCTION SEQUENCE | STABILIZED CONSTRUCTION ENTRANCE DETAIL | TREE PROTECTION DETAIL |
|-----|-----------------------|---|------------------------|
| 3   | N.T.S.                | N.T.S.                                  | N.T.S.                 |
| 4   | N.T.S.                | N.T.S.                                  | N.T.S.                 |
| 6   | N.T.S.                | N.T.S.                                  | N.T.S.                 |











| REV | DATE  | DESCRIPTION  |
|-----|-------|--|
| 01  | 01/24 | REVISION PER ZONING APPROVAL, COUNTY & SWP&W REVIEW COMMENTS   |
| 02  | 01/24 | REVISION PER COUNTY, SWP&W & FOOT REVIEW COMMENTS              |
| 03  | 05/24 | REVISION TO BURIED PER RESOLUTION                              |
| 04  | 07/24 | REVISIONS PER FOOT ACCESS & FORDCHINA RELOCATION               |
| 05  | 07/24 | REVISIONS PER FOOT ACCESS & ON-SITE CROSS ACCESS/ROAD          |
| 06  | 07/24 | REVISION OF CROSS COMMENTS & LOWEBED SITE AT TJC               |
| 07  | 10/24 | UPDATED PLANS FROM RE-DESIGN FOR PERMIT MODIFICATION SUBMITTAL |
| 08  | 10/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE         |

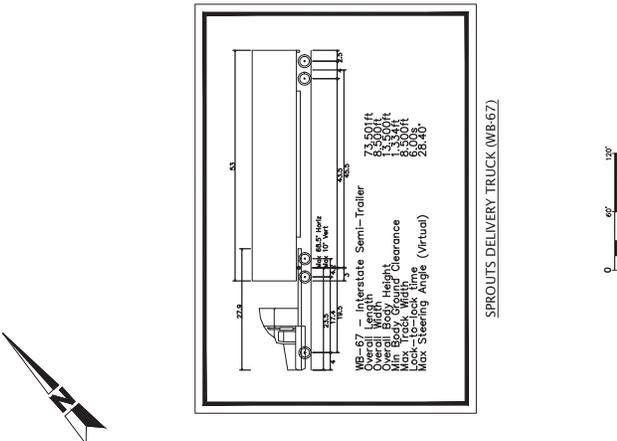
**Sunshine**  
 Call 811 or visit [sunshine.fl.gov](http://sunshine.fl.gov) to locate buried utilities. Call utility business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 60758

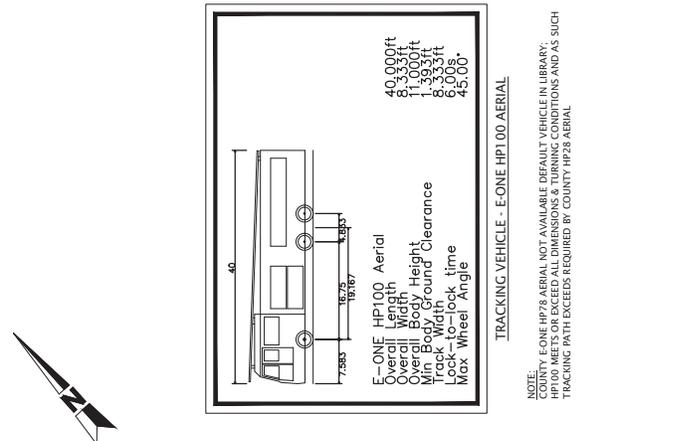
PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**  
 FOR  
**CORTA OCALA, LLC**  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

SHEET TITLE  
**TRUCK TURN**  
**EXHIBIT**

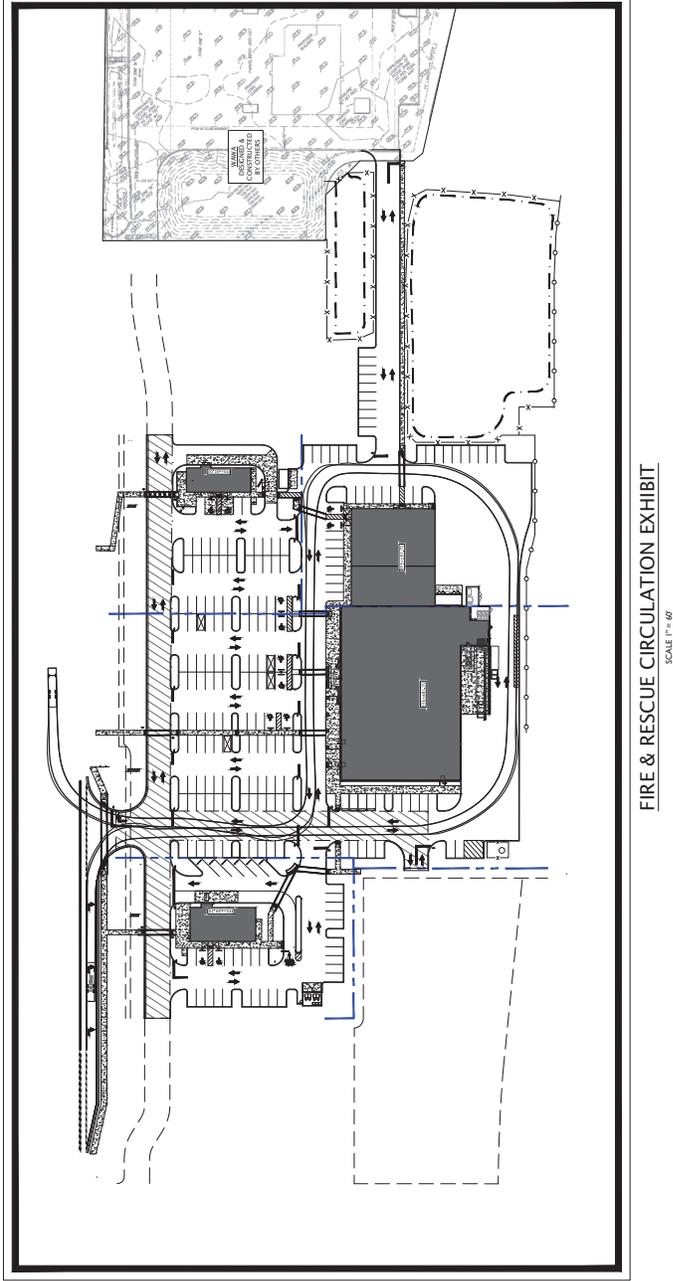
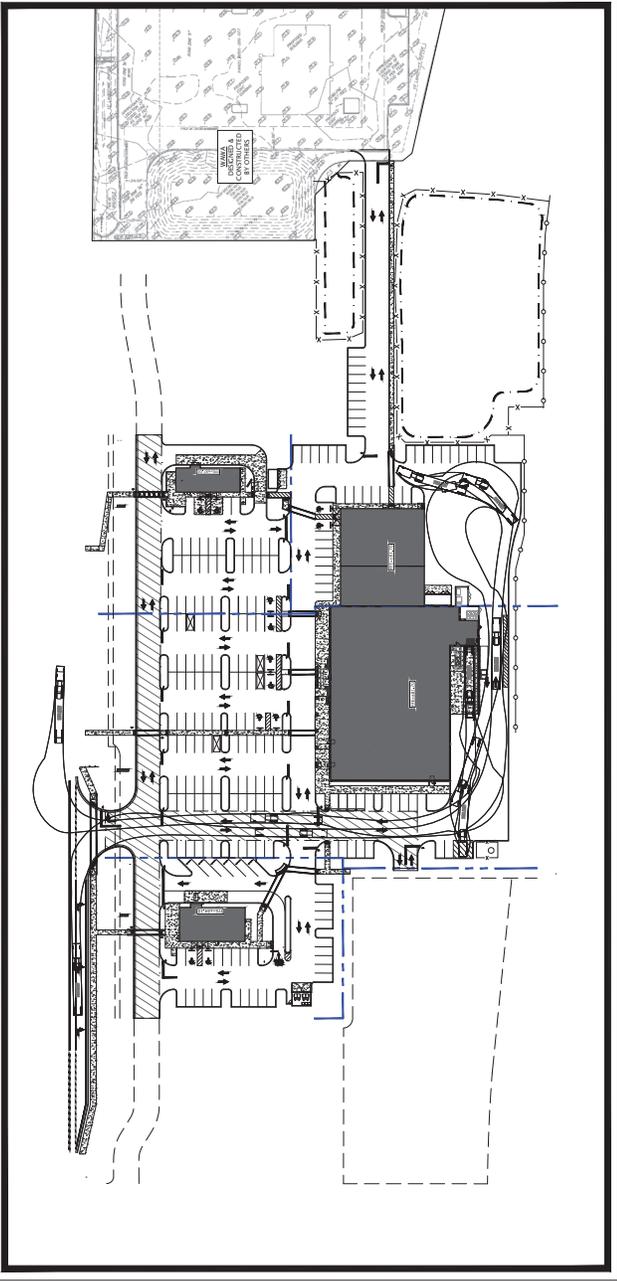
PROJECT NO.: 213396  
 CHECKED BY: JPS  
 DATE: 05/20/2021  
 SHEET NUMBER  
**C-106**

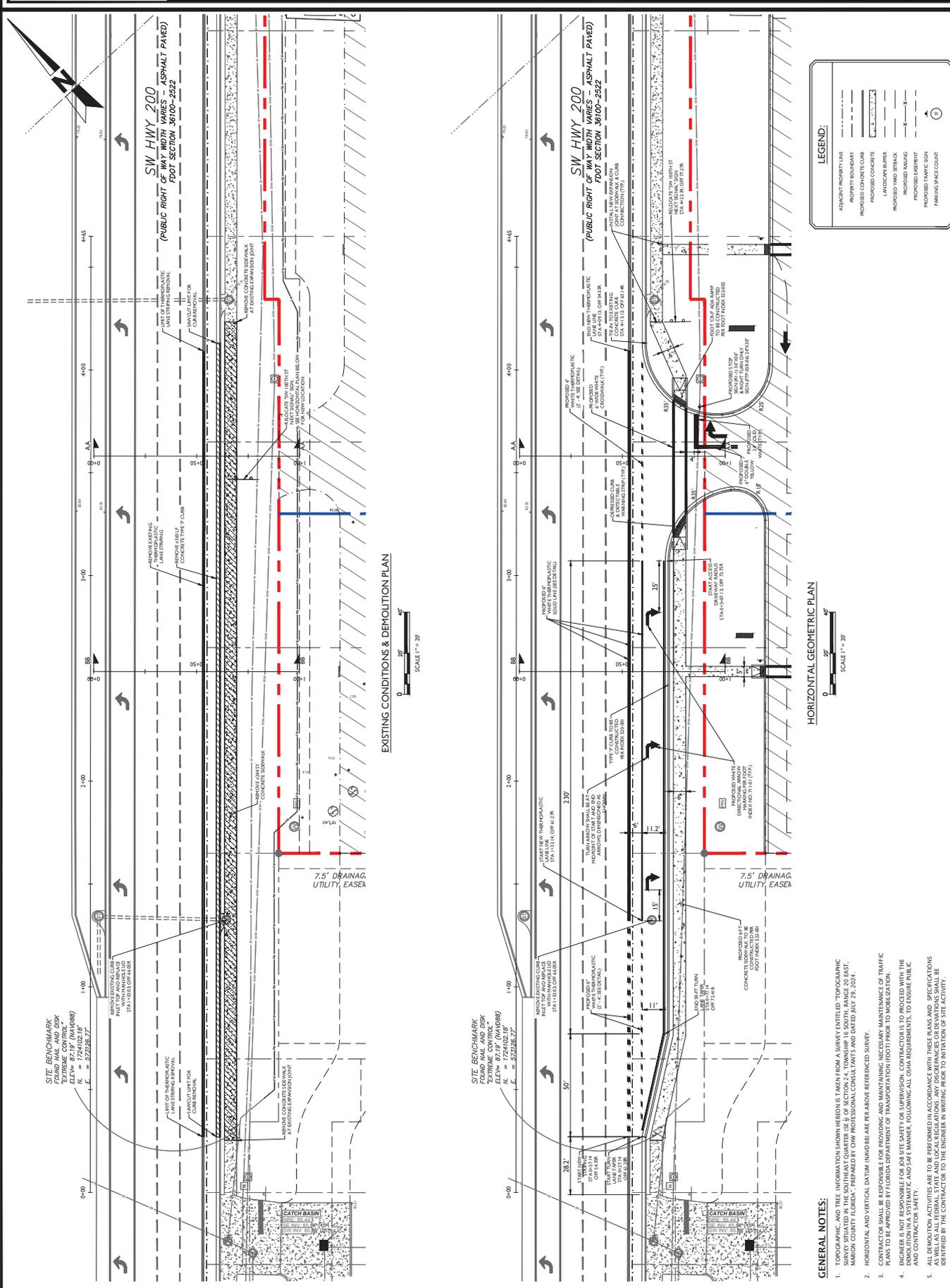


SCALE 1" = 60'  
 0 60' 120'



NOTE:  
 COUNTY E-ONE HP100 AERIAL VEHICLE IS AVAILABLE FOR RENT IN LIBRARY.  
 HP100 MEETS OR EXCEEDS ALL DIMENSIONS & TURNING CONDITIONS AND AS SUCH  
 TRACKING PATH EXCEEDS REQUIRED BY COUNTY HP28 AERIAL.





**SITE BENCHMARK**  
 TYPICAL BENCHMARK  
 EXTERIOR CORNER  
 ELEV = 87.19' (MVD88)  
 I.L. = 7251.021.19'  
 I.C. = 823286.27'

**SITE BENCHMARK**  
 TYPICAL BENCHMARK  
 EXTERIOR CORNER  
 ELEV = 87.19' (MVD88)  
 I.L. = 7251.021.19'  
 I.C. = 823286.27'

**GENERAL NOTES:**

1. TOPOGRAPHIC AND TREE INFORMATION SHOWN HEREON IS TAKEN FROM A SURVEY ENTITLED "TOPOGRAPHIC SURVEY SITUATED IN THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 24, TOWNSHIP 16 SOUTH, RANGE 20 EAST, MARION COUNTY FLORIDA," PREPARED BY CIVIL PROFESSIONAL CONSULTANTS AND DATED JULY 25, 2024.
2. HORIZONTAL AND VERTICAL DATUM (MVD88) ARE PER ABOVE REFERENCED SURVEY.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING NECESSARY MAINTENANCE OF TRAFFIC PLANS TO BE APPROVED BY FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) PRIOR TO MOBILIZATION.
4. ENGINEER IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE WORK UNDER THE CLOSE PERSONAL SUPERVISION OF THE ENGINEER AND CONTRACTOR SAFETY OFFICER. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONTRACTOR SAFETY.
5. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE RULES AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO THE ENGINEER IN WRITING PRIOR TO INITIATION OF SITE ACTIVITY.

**LEGEND:**

- ADJACENT PROPERTY LINE
- PROPOSED PROPERTY LINE
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED PAVEMENT
- PROPOSED AND STRIP
- PROPOSED FENCING
- PROPOSED TRAFFIC SIGN
- PROPOSED SPACE COUNT

**MJ STOKES CONSULTING**  
 P.O. BOX 22821  
 TAMPA, FL 33622  
 813.724.1199  
 INFO@MJSTOKESCONSULTING.COM  
 FLORIDA BUSINESS REGISTRY NO. 3448

**REVISIONS**

| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 01  | 01/23/24 | REVISION PER ZONING APPROVAL, COUNTY & SWPMD REVIEW COMMENTS   |
| 02  | 01/23/24 | REVISION PER COUNTY, SWPMD & FDOT REVIEW COMMENTS              |
| 03  | 02/05/24 | REVISION TO BUREAU PER RESOLUTION                              |
| 04  | 02/05/24 | REVISIONS PER FOOT ACCESS & FORDCHMAN RELOCATION               |
| 05  | 07/17/24 | REVISIONS PER FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/ROAD |
| 06  | 07/17/24 | REVISIONS PER FOOT ACCESS COMMENTS & LOWERS SITE AT TPC        |
| 07  | 11/07/24 | UPDATED PLANS FROM RE-DESIGN FOR PERMIT HOORICATION SUBMITAL   |
| 08  | 11/07/24 | PERMIT MODIFICATION REVISION - ACCESS, UTILITY, DRAINAGE       |

**Sunshine**  
 Call 811 or visit sunshine.com for more information. All buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 80758

**PROJECT NAME**  
 MAJOR SITE PLAN  
 CORTA COMMONS

**FOR**  
 CORTA OCALA, LLC  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

**SHEET TITLE**  
 FOOT TURN LANE  
 HORIZONTAL PLAN

**PROJECT NO.** 231336  
**CHECKED BY:** JPS  
**DATE:** 11/07/24  
**SHEET NUMBER**  
**C-201**





| REV | DATE     | DESCRIPTION   |
|-----|----------|---|
| 08  | 10/17/24 | PERMIT HOORICATION REGION - ACCESS, UTILITY, DRAINAGE |
| 07  | 10/17/24 | UPDATEN PLAN FROM REGION ACCESS & LOWEBED SITE AT T3C |
| 06  | 10/17/24 | REVISIONS FOR ACCESS & LOWEBED SITE AT T3C            |
| 05  | 10/17/24 | REVISIONS FOR FOOT ACCESS & LOWEBED SITE AT T3C       |
| 04  | 10/17/24 | REVISIONS FOR FOOT ACCESS & LOWEBED SITE AT T3C       |
| 03  | 10/17/24 | REVISIONS FOR FOOT ACCESS & LOWEBED SITE AT T3C       |
| 02  | 10/17/24 | REVISIONS FOR FOOT ACCESS & LOWEBED SITE AT T3C       |
| 01  | 10/17/24 | REVISIONS FOR FOOT ACCESS & LOWEBED SITE AT T3C       |

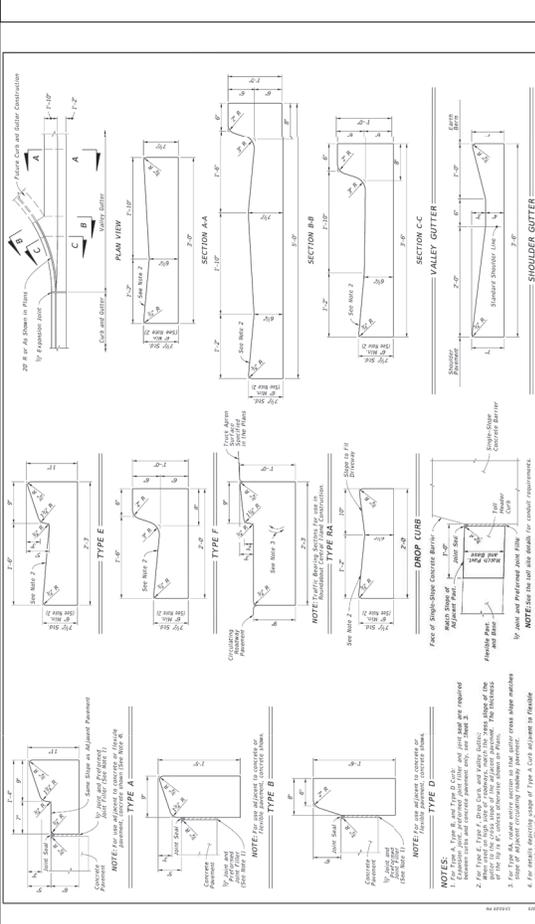
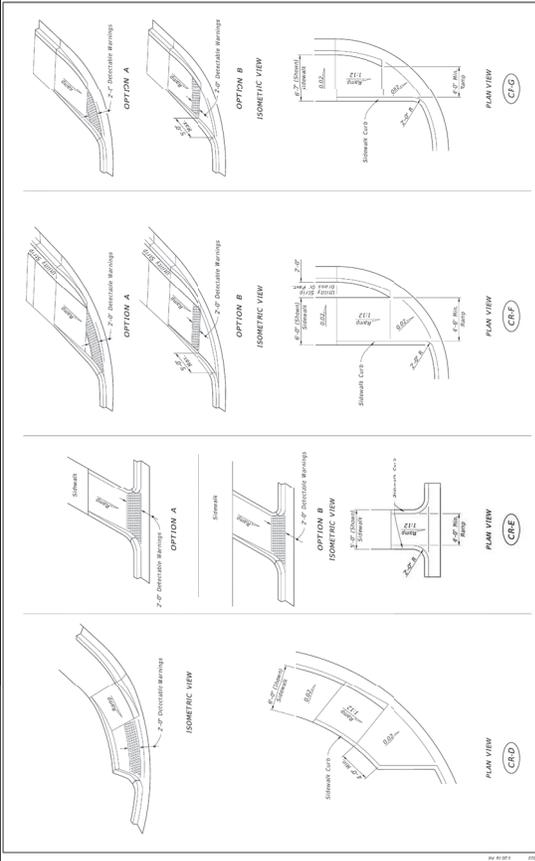
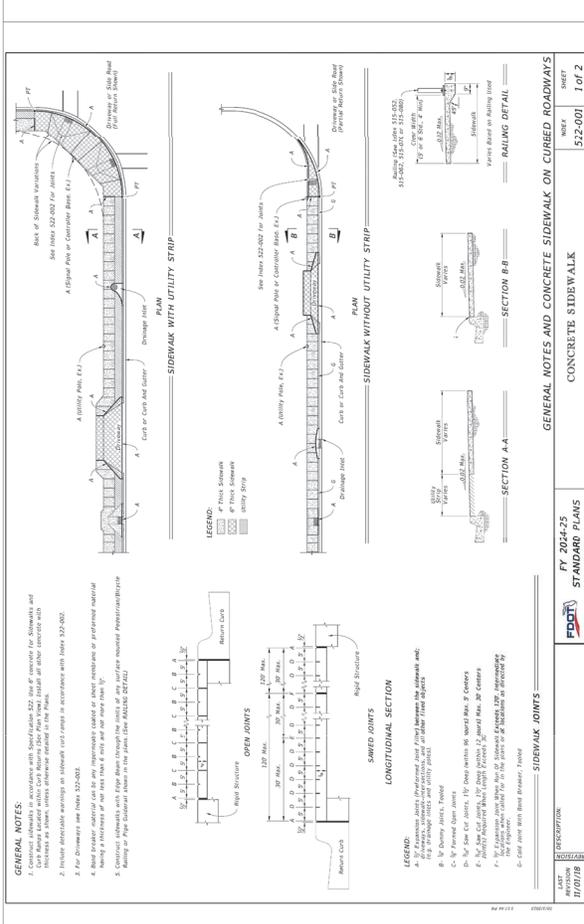
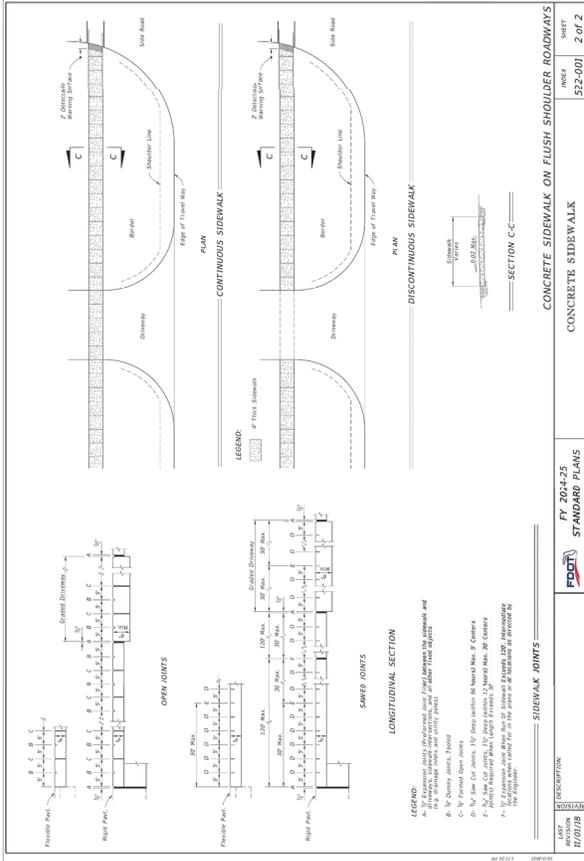
**Sunshine**  
Call BT or visit [www.sunshinefl.com](http://www.sunshinefl.com) for business days before opening to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80738

PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**  
FOR  
**CORTA OCALA, LLC**  
SW HWY 700 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE  
**FDOT**  
**RIGHT-OF-WAY**  
**DETAILS**

PROJECT NO: 231336  
CHECKED BY: JPS  
DATE OF REVISION: 11/04/25  
SHEET NUMBER  
**C-204**



CONCRETE SIDEWALK ON FLUSH SHOULDER ROADWAYS

CONCRETE SIDEWALK ON CURBED ROADWAYS

GENERAL NOTES AND CONCRETE SIDEWALK ON CURBED ROADWAYS

SIDEWALK CURB RAMP CRD, CRE, CRF & CRG

CONCRETE CURB AND GUTTER

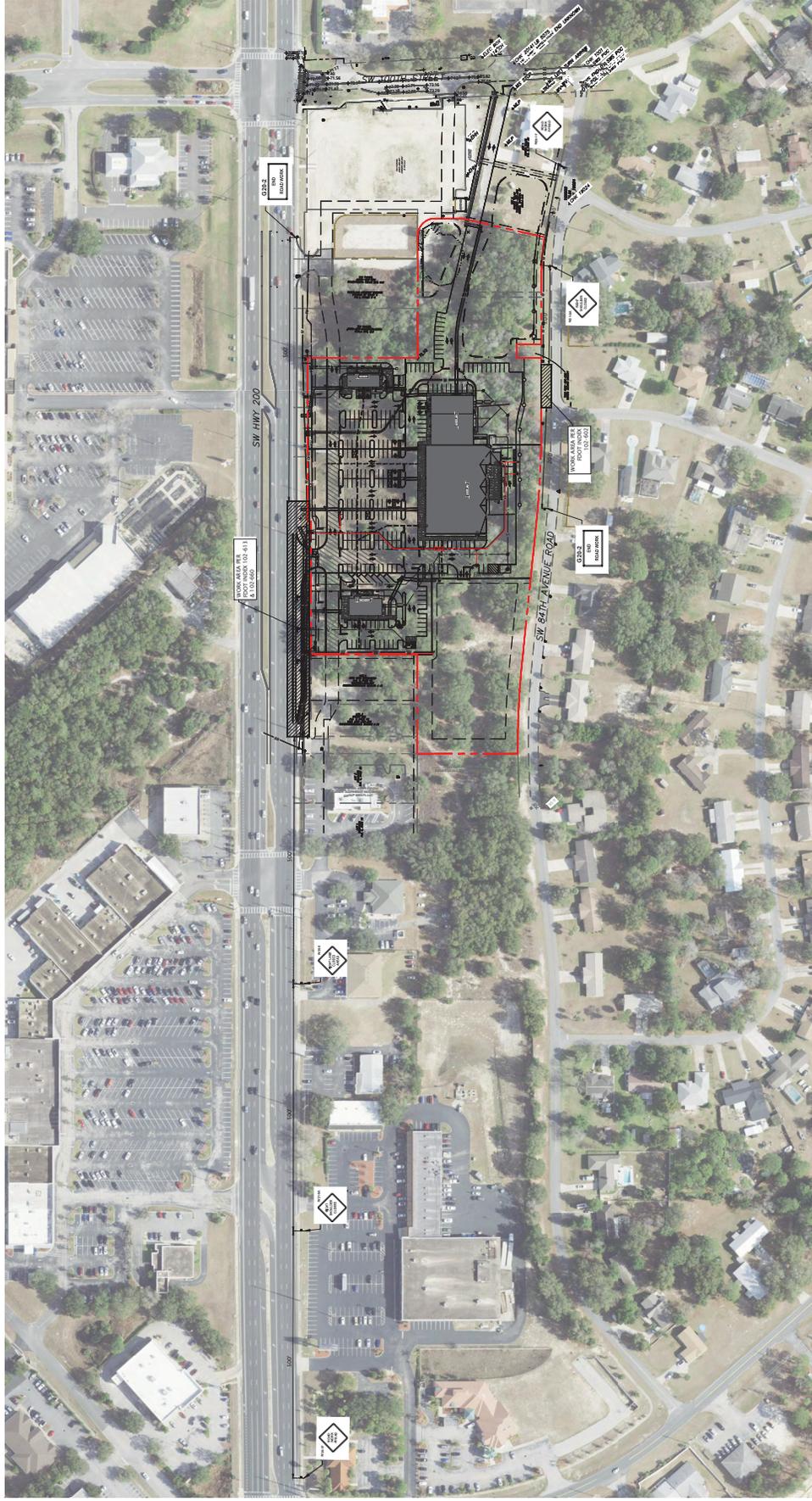
**GENERAL NOTES:**

- BOUNDARY, TOPOGRAPHIC AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY DATED 08/18/2015 BY JAMES W. HERRON, P.E., PROFESSIONAL SURVEYOR, 15 SOUTH RANGE 20 EAST, MARION COUNTY, FLORIDA. PREPARED BY CHW PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2023.
- THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
- ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 12016A MAP SHEET NUMBER 178380800E EFFECTIVE DATE 08/18/2015, THE AREA APPEARS TO FALL WITHIN THE TOP OF BANK LIMIT OF THE ZONE X AND AE. THE 'X' AREA APPEARS TO BE SUBJECT TO THE SURVEY REFERENCED ABOVE. BASE FLOOD ELEVATION OF 70.2 FT (VA0208).
- SUBJECT INFORMATION SHOWN HEREON IS TAKEN FROM A REPORT ENTITLED "GEOTECHNICAL INVESTIGATION FOR PROPOSED SPURWAYS AND ACCESS RETAIL DEVELOPMENT, PREPARED BY ANGELO ENGINEERING INC. DATED NOVEMBER 3, 2022."
- ALL CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS AND PRIVATE CONSTRUCTION FROM LOCAL, STATE, AND FEDERAL AGENCIES, AS APPLICABLE. THE CONTRACTORS SHALL KEEP A COPY OF ALL PERMITS AND APPROVED CONSTRUCTION DOCUMENTS ON-SITE AT ALL TIMES. ALL NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF MOT, FINAL LAYOUT / DESIGN BASE, DOWN MAINS AND METHODS OF CONSTRUCTION, AND ATTAINING ALL REQUIRED PERMITS PRIOR TO COMMENCING CONSTRUCTION.

**GENERAL MOT NOTES**

- FLORIDA STATE STATUTE 316.0745:  
 A. ANY AND ALL TRAFFIC CONTROL DEVICES INSTALLED ON THE COUNTY ROAD SYSTEM SHALL CONFORM TO FLORIDA STATE STATUTE 316.0745, UNIFORM SIGNALS AND DEVICES.  
 B. TRAFFIC CONTROL DEVICES SHALL BE DESIGNED TO BE IN SUBSTANTIAL COMPLIANCE WITH THE REQUIREMENTS THAT ALL DEVICES CONFORM TO FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) SPECIFICATIONS. THE FDOT HAS ADOPTED THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AS THE STANDARDS TO BE USED IN THE STATE OF FLORIDA.  
 C. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC OR PREGRADED TAPE.  
 D. PAVEMENT MARKINGS AND BASED PAVEMENT MARKERS SHALL BE INSTALLED ON ALL ROADS CLASSIFIED OTHER THAN RESIDENTIAL WITH AN A.D.T. GREATER THAN 500 VEHICLES PER DAY. ALL MARKINGS MUST BE IN ACCORDANCE WITH THE REQUIREMENTS LISTED IN MULT.C.D. SECTION 38.1.  
 E. ALL TRAFFIC CONTROL SIGNS SHALL BE OF A TYPE CURRENTLY CERTIFIED BY THE FDOT FOR USE IN THE STATE OF FLORIDA.  
 F. ALL SIGN FACES SHALL BE HIGH INTENSITY GRADE AND OF A TYPE CURRENTLY CERTIFIED BY THE FDOT FOR USE IN THE STATE OF FLORIDA.

- ALL SIGNS SHALL BE NO LESS THAN THE STANDARD SIZE AS SPECIFIED BY THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.  
 B. NO MINIMUM SIZE SIGNING SHALL BE ACCEPTED. LARGER SIGNS SHALL BE USED WHEN REQUIRED BY DESIGN SPEED ETC.  
 C. STREET NAME SIGNS SHALL BE SINCH ON ALL ROAD CLASSIFICATIONS. ALL SIGNS SHALL HAVE 6-INCH SERIES B LETTERS. ALL STREET NAME SIGNS ON PRIVATE ROADS SHALL HAVE GREEN LETTERS AND BORDER. AT INTERSECTIONS WITH COUNTY MAINTAINED ROADS, THE LETTERS OR STATE MAINTAINED SIGNS SHALL BE GREEN. ALL SIGNS SHALL BE SUPPLIED WITH BOLTS, SET SCREWS WILL NOT BE ACCEPTED.  
 D. ALL POST SYSTEMS, MOUNTING BRACKETS AND HARDWARE SHALL BE OF A TYPE CURRENTLY IN USE BY THE PASCO COUNTY PUBLIC WORKS DEPARTMENT AND APPROVED BY THE STATE OF FLORIDA. ALTERNATIVE SYSTEMS ETC. SHALL ONLY BE USED IF APPROVED BY THE COUNTY ENGINEER.



**MJ STOKES CONSULTING**  
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 TAMPA, FL 33622  
 813.774.1199  
 INFO@MJSTOKESCONSULTING.COM  
 FLORIDA BUSINESS REGISTRY NO. 3448

**REVISIONS**

| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 01  | 11/23/24 | REVISION PER ZONING APPROVAL, COUNTY & SWPMD REVIEW COMMENTS   |
| 02  | 11/21/24 | REVISION PER COUNTY, SWPMD & FDOT REVIEW COMMENTS              |
| 03  | 10/23/24 | REVISION TO BURNER PER RESOLUTION                              |
| 04  | 10/23/24 | REVISIONS PER ROOT ACCESS & FORDCHAMAIN RELOCATION             |
| 05  | 10/23/24 | REVISIONS PER ROOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/PPMD |
| 06  | 10/17/24 | REVISIONS PER CROSS ACCESS & LOWEVED SITE AT TJC               |
| 07  | 11/07/24 | UPDATE PLANS FROM RE-DESIGN FOR PERMIT HOODIFICATION SUBMITTAL |
| 08  | 11/07/24 | PERMIT MODIFICATION REVISION - ACCESS, UTILITY, DRAINAGE       |

**SunshineFL**  
 Call 811 or visit sunshinefl.com to report a utility problem. Call business days before 6:00pm to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 80753

PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**  
 FOR  
**CORTA OCALA, LLC**  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

SHEET TITLE  
**MAINTENANCE OF**  
**TRAFFIC PLAN**

PROJECT NO.: 231396  
 CHECKED BY: JJS  
 DATE: 11/20/24  
 SHEET NUMBER

**C-205**



**M STOKES CONSULTING**

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813.724.1199  
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FLORIDA BUSINESS REGISTRY NO. 2448

| REV | DATE     | DESCRIPTION   |
|-----|----------|---|
| 01  | 01/23/24 | REVISION PER ZONING APPROVAL, COUNTY & SWFWMD REVIEW COMMENTS |
| 02  | 01/23/24 | REVISION PER COUNTY, SWFWMD & FDOT REVIEW COMMENTS            |
| 03  | 02/05/24 | REVISION TO BURIED PER RESOLUTION                             |
| 04  | 02/05/24 | REVISIONS PER FOOT ACCESS & FORKCHAMN RELOCATION              |
| 05  | 02/07/24 | REVISIONS PER FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/NO  |
| 06  | 02/07/24 | REVISIONS OF CROSS ACCESS & LOWERED SITE AT TJC               |
| 07  | 02/07/24 | UPDATE PLAN FROM REVISIONS FOR PERMIT HOODIFICATION SUBMITTAL |
| 08  | 02/07/24 | PERMIT MODIFICATION REVISION - ACCESS, UTILITY, DRAINAGE      |

**Sunshine**

Call 811 or visit [www.sunshine811.com](http://www.sunshine811.com) for business days before digging to have buried facilities located and marked. Check positive response codes before your dig!

**JOHN J. STORCKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 807258

**PROJECT NAME**  
MAJOR SITE PLAN  
CORTA COMMONS

**FOR**  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

**SHEET TITLE**  
GRADING &  
DRAINAGE PLAN

PROJECT NO: 23-1336  
CHECKED BY: JPS  
DATE: 02/07/2024  
DATE OF REVISION: N/A  
SHEET NUMBER: C-301

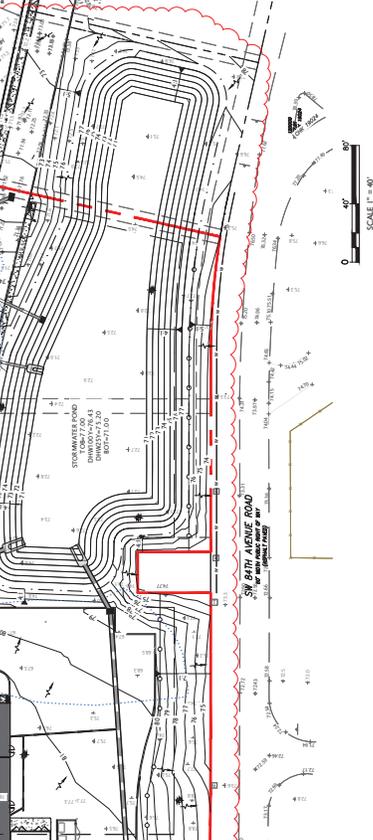
- CONTRACTOR TO COORDINATE WITH OWNER REGARDING TYPE OF MATERIAL, LANDSCAPING, AND IRRIGATION REQUIREMENTS.**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. Dewatering methods shall be used as required to keep trenches dry while the pipe and/or trenches are being placed.
  - STATE REGULATIONS THROUGHOUT DURATION OF CONSTRUCTION REMAIN COMPLIANT WITH LOCAL AND STATE REGULATIONS THROUGHOUT DURATION OF CONSTRUCTION.
  - POSTGRADUATE SHALL BE CONNECTED TO THE SITE DRAINAGE NETWORK WITH THE MOST EFFECT CONNECTION POSSIBLE UTILIZING INSERT-A-TIE PRODUCT WITH A TERNON/CULAR ALIGNMENT OR OTHERWISE APPROVED.
- TESTING & INSPECTION REQUIREMENTS (PAVING/GRADING)**
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. THE CONTRACTOR SHALL SUBMIT TESTING SCHEDULE TO THE MUNICIPALITY, UPON COMPLETION OF WORK. THE SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER AND OWNER'S ENGINEER, STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
  - A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE PAVING/GRADING WITH THE REQUIREMENTS OF THE MUNICIPALITY. THE TESTING LABORATORY SHALL MAINTAIN RECORDS OF ALL TESTING AND SHALL BE AVAILABLE TO PROVIDE TEST RESULTS TO THE MUNICIPALITY. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER. RETESTING SHALL BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER.

- GRADING NOTES:**
- PROPOSED GRADE ELEVATIONS SHOWN AT BUILDING LINE ARE GROUND ELEVATIONS.
  - PROPOSED SPOT ELEVATIONS IN PAVEMENT AREAS ARE TOP OF FINISHED PAVEMENT.
  - A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF PAVEMENT WITH THE REQUIREMENTS OF THE MUNICIPALITY. THE TESTING LABORATORY SHALL MAINTAIN RECORDS OF ALL TESTING AND SHALL BE AVAILABLE TO PROVIDE TEST RESULTS TO THE MUNICIPALITY. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER.
  - ALL DIRT/ROCK SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BIRDED OBIS) IS TO BE EXCAVATED IN EXCAVATED AREAS ARE TO BE MAILED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DIRT/ROCK MATERIAL FROM THE SITE.
  - THE CONTRACTOR SHALL COORDINATE WITH OWNER'S ENGINEER PRIOR TO ANY TESTS SHOWN TO BE REQUIRED.
  - CONTRACTOR SHALL SAWCUT, JACK AND MATCH DUSTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT AS SHOWN ON THE DETAILS HEREIN.
  - CONTRACTOR TO PROVIDE A 1/2" TO 1" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER AT ALL JOINTS IN PAVEMENT.
  - THE CONTRACTOR WILL STABILIZE BY SEED AND MULCH, SOIL, OR OTHER APPROVED MATERIALS. ANY MATERIALS TO BE USED SHALL BE APPROVED BY THE MUNICIPALITY.
  - PAVEMENT AREAS CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER.

- GENERAL NOTES:**
- BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "ALTAMIRAN LAND TITLE SURVEY" LOCATED IN SECTIONS 34 & 35, TOWNSHIP 15 SOUTH, RANGE 18 EAST, MARION COUNTY, FLORIDA, PREPARED BY CHW PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2023.
  - THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
  - ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY FIRM, THE AREA SHOWN WITHIN THE BOUNDARIES OF THE POND WITHIN LOT 7 OF BARRA VILAS AS DEPICTED ON THE SURVEY REFERENCED ABOVE, IS A FLOOD ELEVATION OF 73.1 FT. (NAVD83).
  - INVESTIGATION, PROPOSED SPOUTS AND PDS METAL DRAINAGE, PLANTING, ROAD 300 AND SOUTH WEST 100TH STREET, OCALA MARION COUNTY, FLORIDA, PREPARED BY ANDREY ENGINEERING, INC. DATED NOVEMBER 3, 2022.
  - ALL CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS AND PERMIT CONDITIONS FROM LOCAL, STATE, AND FEDERAL AGENCIES. ALL CONSTRUCTION DOCUMENTS ON-SITE, AT ALL TIMES. ALL APPLICABLE PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

**LEGEND:**

- ADJACENT PROPERTY LINE
- PROPOSED CONCRETE
- PROPOSED DRIVEWAY
- EXISTING SPOT ELEVATION
- ADJACENT PROPERTY
- PROPOSED PROPERTY
- PROPOSED CONTOUR
- BORING TEST LOCATION
- AGRIC TEST LOCATION
- DRAIN INLET
- SURFACE FLOW ARROW
- DRAINAGE COVER LINE
- STORM DRAINAGE PIPE



**VERTICAL DATUM**  
ELEVATION SHOWN HEREON ARE BASED ON NAVD  
83 DATUM. ALL ELEVATIONS SHOWN ON THESE  
PLANS ARE BASED ON THE SURVEY  
ON BENCHMARKS RESEARCHED BY THE SURVEYOR.

**WAWA DESIGNED & CONSTRUCTED BY OTHERS**

**ADJACENT PROPERTY**

**PROPOSED CONCRETE**

**PROPOSED DRIVEWAY**

**EXISTING SPOT ELEVATION**

**ADJACENT PROPERTY**

**PROPOSED PROPERTY**

**BORING TEST LOCATION**

**AGRIC TEST LOCATION**

**DRAIN INLET**

**SURFACE FLOW ARROW**

**DRAINAGE COVER LINE**

**STORM DRAINAGE PIPE**

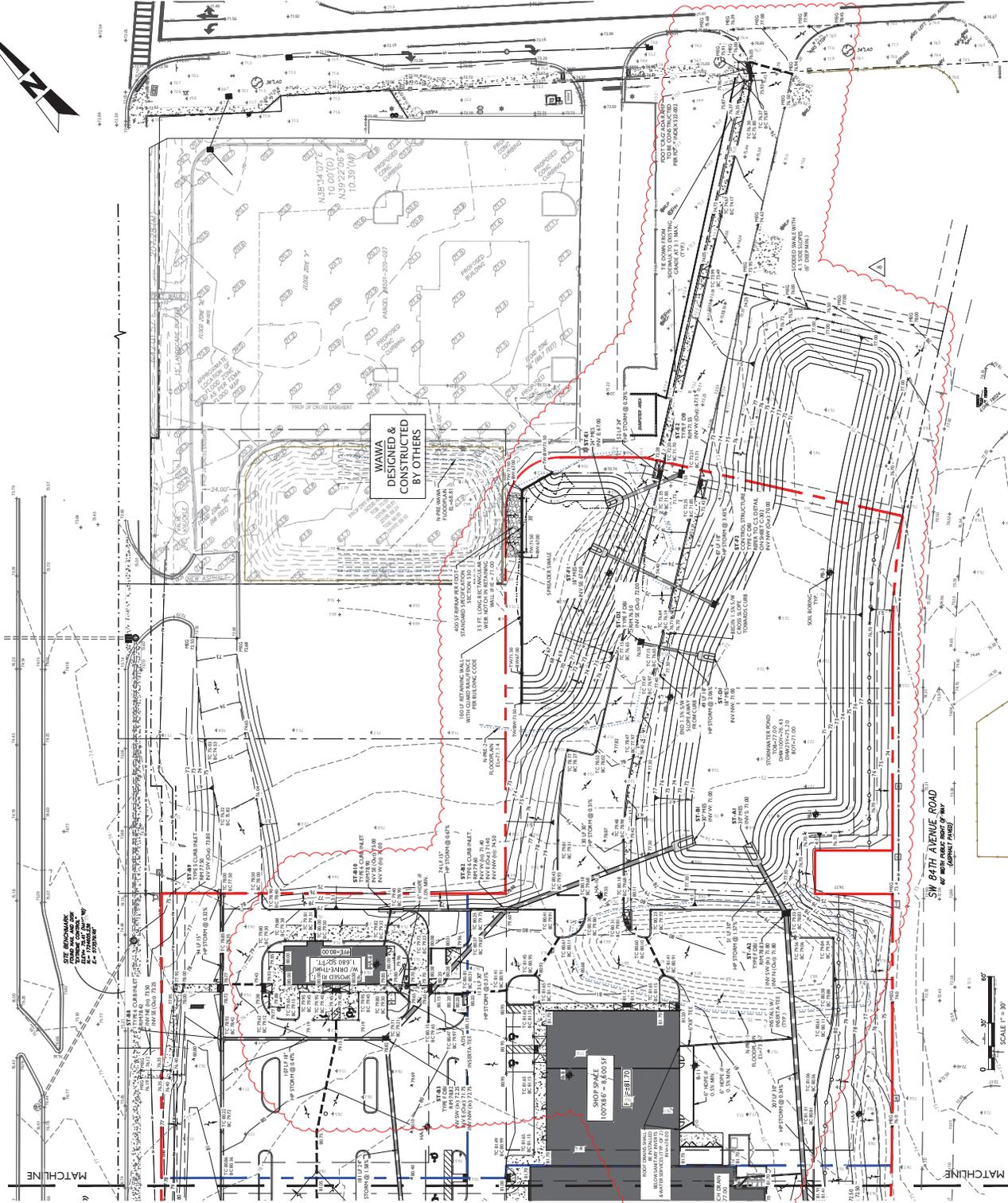
**SCALE 1" = 40'**

**GENERAL NOTES:**

1. BOUNDARY, TOPOGRAPHIC AND TIE INFORMATION SHOWN ON THIS PLAN IS BASED ON THE SURVEY INFORMATION SHOWN ON THE SURVEY LOCATED IN SECTIONS 24 & 25, TOWNSHIP 15 NORTH, RANGE 22 WEST, COUNTY OF MARION, FLORIDA, PREPARED BY CHIV PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2023.
2. THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
3. ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, THE SUBJECT PROPERTY IS IN FLOOD ZONE X (SPECIAL FLOOD HAZARD AREA) WITH A 1% ANNUAL CHANCE FLOOD WITHIN THE TOP OF BANK LIMITS OF THE POND WITHIN LOT 15 ABOVE. BASE FLOOD ELEVATION OF 70.2 FT (NA 1988).
4. SURFACE INFORMATION (SPOCAL) HEREON IS TAKEN FROM A REPORT ENTITLED "GEOTECHNICAL INVESTIGATION, ROADWAY AND CULVERTS" (0871 STREET, OCALA, MARION COUNTY, FLORIDA) PREPARED BY ANDREWE ENGINEERING, INC. DATED NOVEMBER 3, 2022.
5. ALL CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS AND REGULATIONS OF ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES, AS APPLICABLE. THE CONTRACTOR SHALL KEEP A RECORD OF ALL PERMITS OBTAINED AND ALL APPLICABLE PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

**LEGEND:**

|                        |                   |                   |                          |                         |                   |                         |                   |                      |                     |             |                    |                      |                           |
|------------------------|-------------------|-------------------|--------------------------|-------------------------|-------------------|-------------------------|-------------------|----------------------|---------------------|-------------|--------------------|----------------------|---------------------------|
| ADJACENT PROPERTY LINE | PROPOSED CONCRETE | PROPOSED DRIVEWAY | PROPOSED FLOOR ELEVATION | PROPOSED SPOT ELEVATION | ADJACENT PROPERTY | PROPOSED SPOT ELEVATION | PROPOSED DRIVEWAY | BORING TEST LOCATION | ASHER TEST LOCATION | DRAIN INLET | SURFACE FLOW ARROW | DRAINAGE DIVIDE LINE | STORM SEWER/DRAINAGE PIPE |
| ---                    | ---               | ---               | ---                      | ---                     | ---               | ---                     | ---               | ---                  | ---                 | ---         | ---                | ---                  | ---                       |



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 INFO@MSTOKESCONSULTING.COM  
 FLORIDA BUSINESS REGISTRY NO. 34488

**REVISIONS**

| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 01  | 01/23/24 | REVISION PER ZONING APPROVAL, COUNTY & SWPMD REVIEW COMMENTS   |
| 02  | 01/23/24 | REVISION PER COUNTY, SWPMD & FOOT REVIEW COMMENTS              |
| 03  | 05/23/24 | REVISION TO BURIED PER RESOLUTION                              |
| 04  | 02/20/24 | REVISIONS PER FOOT ACCESS & FORD/CHAMBERLAIN                   |
| 05  | 07/07/24 | REVISIONS PER FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/ROAD |
| 06  | 01/17/24 | REVISION OF CROSS ACCESS & LOWERS SITE AT T/C                  |
| 07  | 11/07/24 | UPDATE PLAN FROM REVISION FOR PERMIT MODIFICATION SUBMITTAL    |
| 08  | 10/17/24 | PERMIT MODIFICATION REVISION - ACCESS, UTILITY, DRAINAGE       |

**Sunshine**  
 Call 811 or visit [sunshine.fl.gov](http://sunshine.fl.gov) before digging to help business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STORCKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 807538

**PROJECT NAME:**  
 MAJOR SITE PLAN  
 CORTA COMMONS  
 FOR  
 CORTA OCALA, LLC  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

**SHEET TITLE:**  
 GRADING &  
 DRAINAGE PLAN

**PROJECT NO.:** 231336  
**CHECKED BY:** JPS  
**DATE:** 05/23/24  
**SCALE:** AS SHOWN  
**SHEET NUMBER:** C-302



**MJ STOKES CONSULTING**  
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 INFO@MJSTOKESCONSULTING.COM  
 FLORIDA BUSINESS REGISTRY NO. 3448

| REV | DATE  | DESCRIPTION  |
|-----|-------|--|
| 01  | 01/24 | REVISION PER ZONING APPROVAL, COUNTY & SWPMD REVIEW COMMENTS |
| 02  | 01/24 | REVISION PER COUNTY, SWPMD & FOOT REVIEW COMMENTS            |
| 03  | 05/24 | REVISION TO BURNER PER RESOLUTION                            |
| 04  | 02/24 | REVISIONS PER FOOT ACCESS & FORDCHINA RELOCATION             |
| 05  | 07/24 | REVISIONS PER FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/NO |
| 06  | 07/24 | REVISIONS PER FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/NO |
| 07  | 07/24 | REVISIONS PER FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/NO |
| 08  | 07/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE       |
| 09  | 07/24 | REVISIONS PER FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/NO |

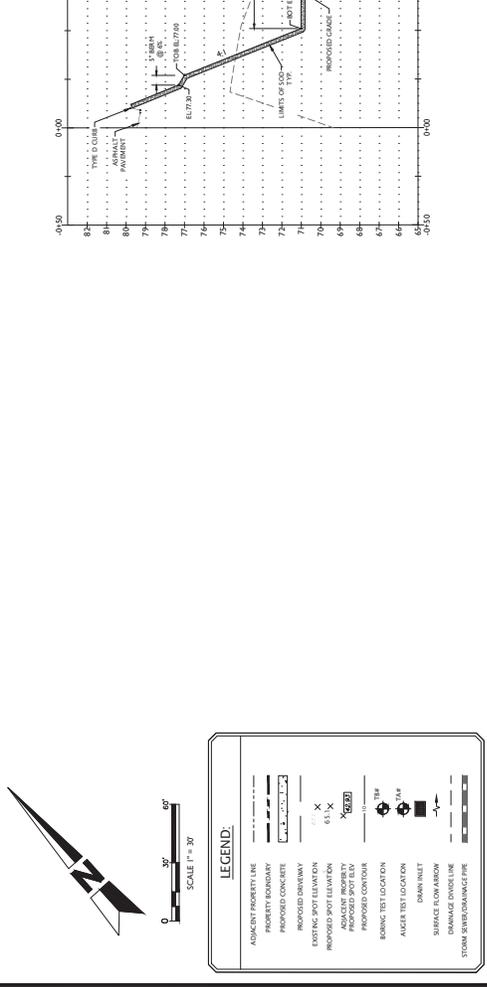
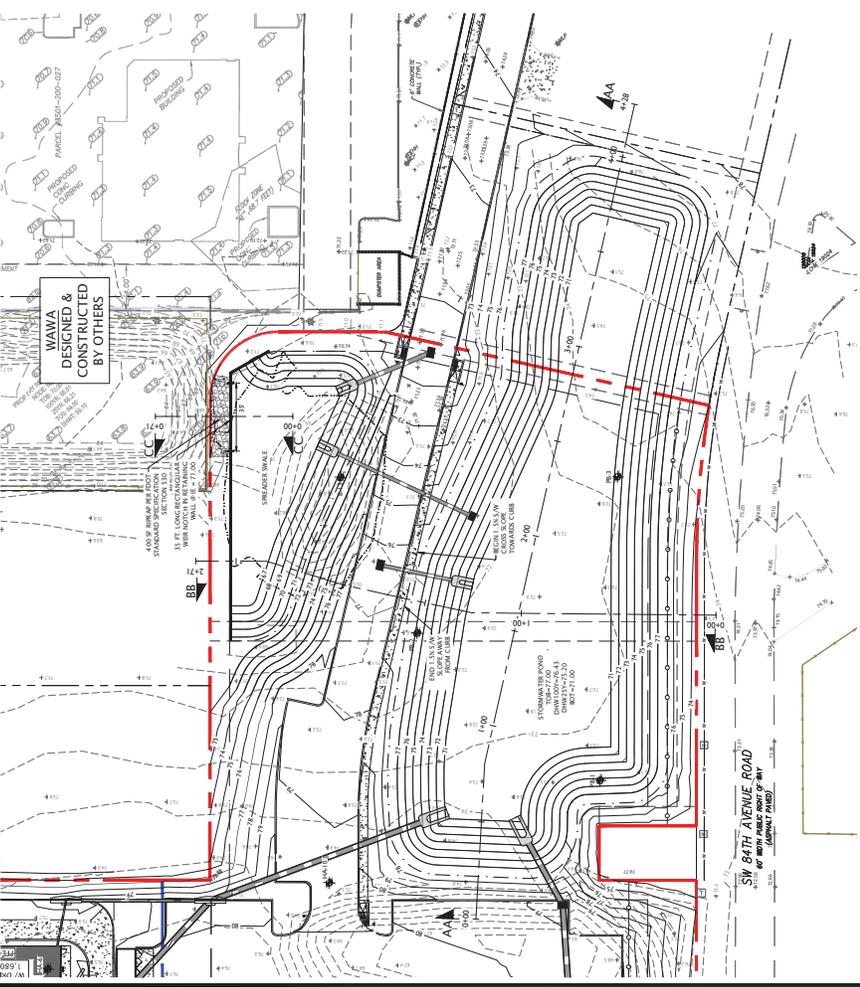
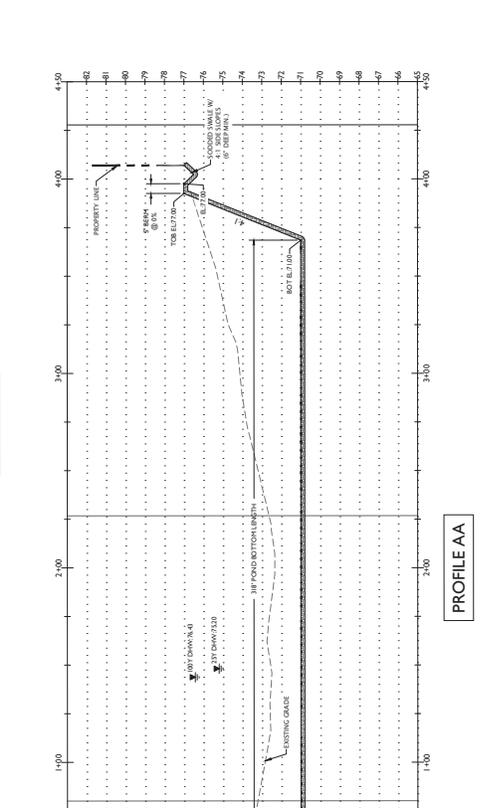
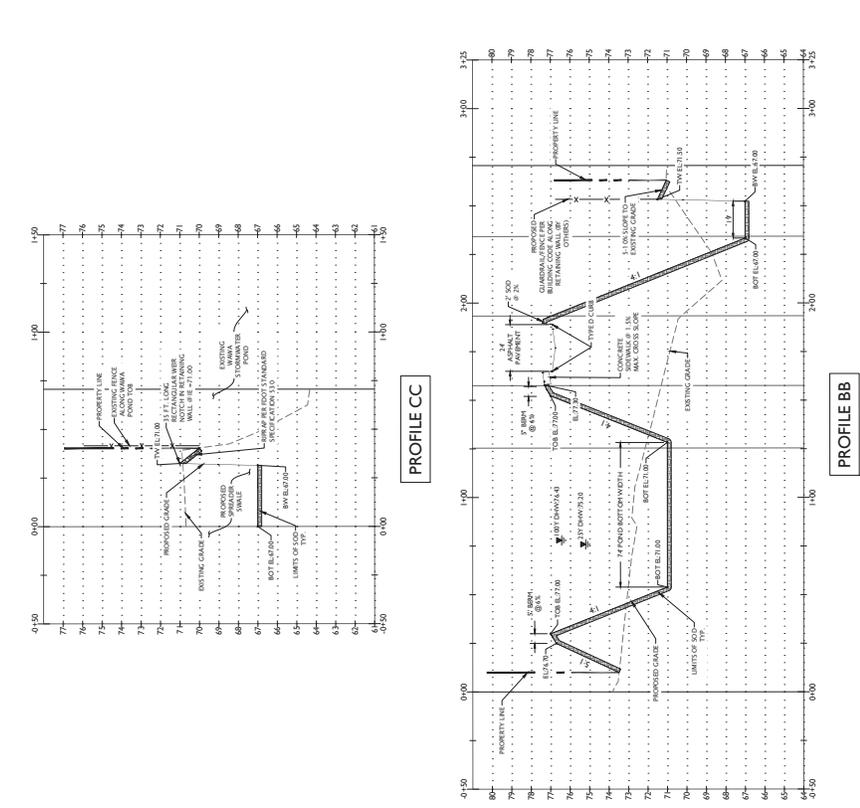
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**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 80758

PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**  
 FOR  
**CORTA OCALA, LLC**  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

SHEET TITLE  
**CROSS SECTIONS**

PROJECT NO: 213396  
 CHECKED BY: JPS  
 DATE: 08/02/2024  
 SHEET NUMBER: **C-304**



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 FLORIDA BUSINESS REGISTRY NO. 3448

| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 01  | 12/19    | REVISION PER ZONING APPROVAL, COUNTY & SWPMD REVIEW COMMENTS   |
| 02  | 12/19    | REVISION PER COUNTY, SWPMD & FOOT REVIEW COMMENTS              |
| 03  | 05/24    | REVISION TO BURNER PER RESOLUTION                              |
| 04  | 07/24    | REVISIONS PER FOOT ACCESS & FOCKCHAMN RELOCATION               |
| 05  | 07/24    | REVISIONS PER FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/ROAD |
| 06  | 10/17/24 | REVISIONS OF CROSS ACCESS & LOWBED SITE AT T3C                 |
| 07  | 11/07/24 | UPDATING PLAN FROM REVISION FOR PERMIT HOOKUP SUBMITTAL        |
| 08  | 10/17/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE         |

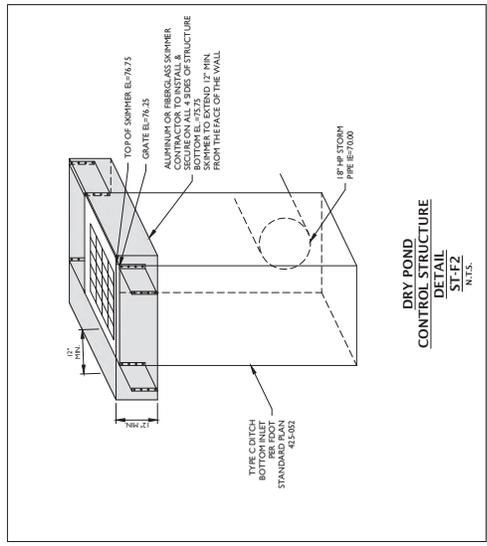
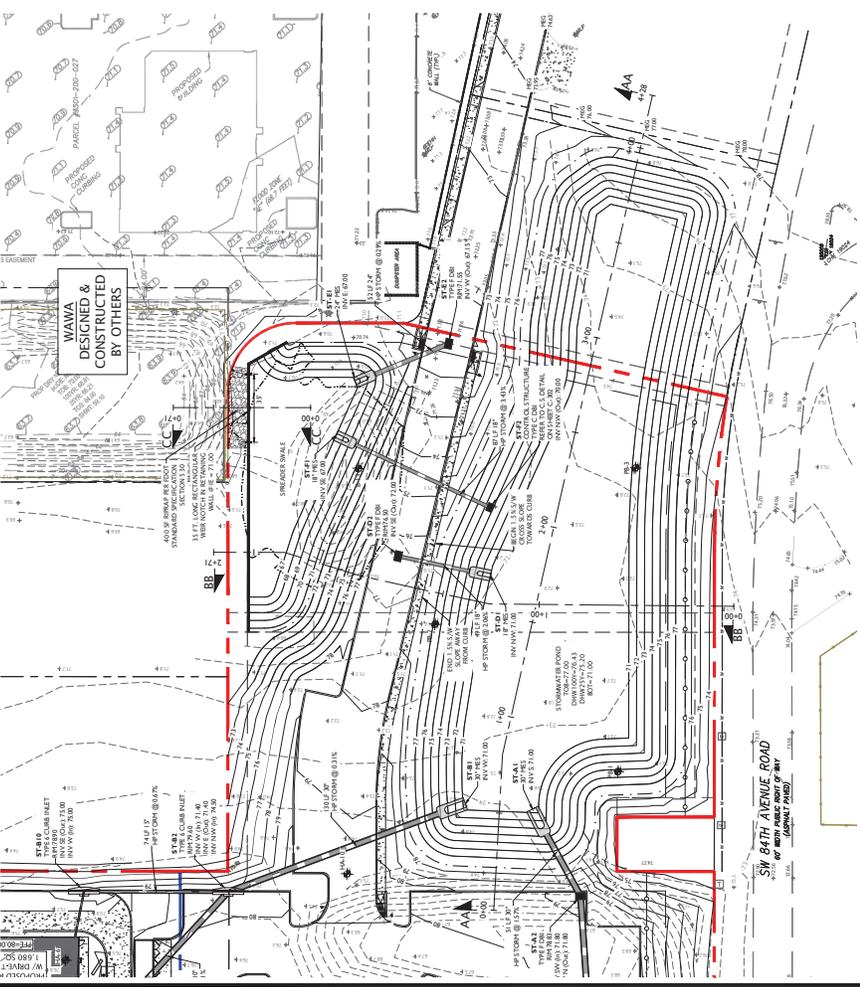
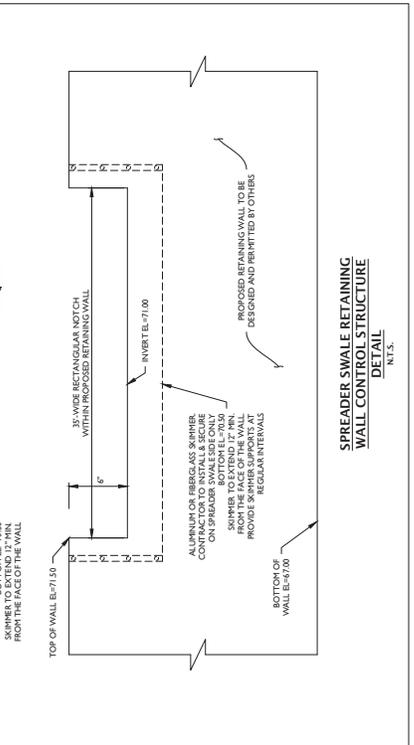
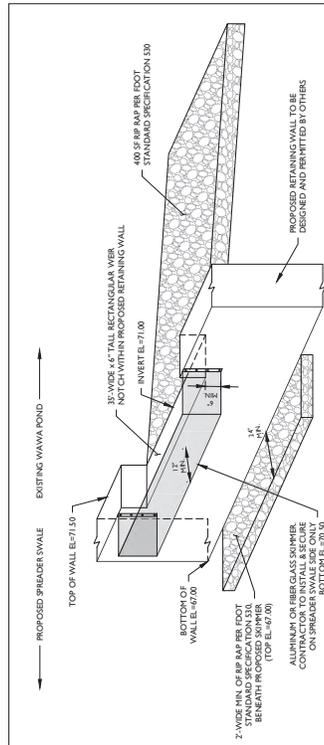
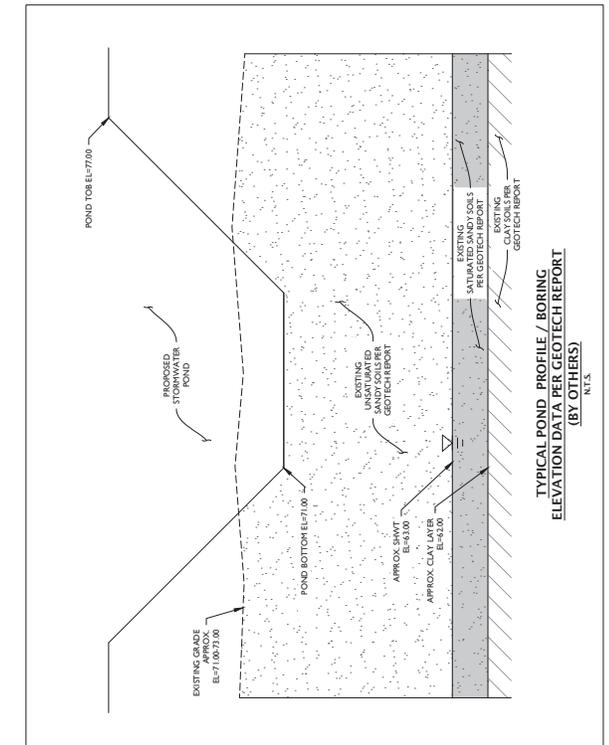
**sunshine**  
 Call 811 or visit sunshine.com for more information. Call your utility business office before digging to have buried facilities located and marked.  
 Check positive response codes before you dig!

**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 80758

PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**  
 FOR  
**CORTA OCALA, LLC**  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

SHEET TITLE  
**CROSS SECTIONS**

PROJECT NO.: 231336  
 CHECKED BY: JJS  
 DATE: 06/20/24  
 SHEET NUMBER: C-305



**LEGEND:**

- ADJACENT PROPERTY LINE
- PROPERTY BOUNDARY
- PROPOSED CONCRETE
- PROPOSED DRIVEWAY
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- BORING TEST LOCATION
- ASLER TEST LOCATION
- DOWN SLOPE
- DRAINAGE FLOW ARROW
- STORM SEWER/RAINWATER PIPE

SCALE P = 3/8"









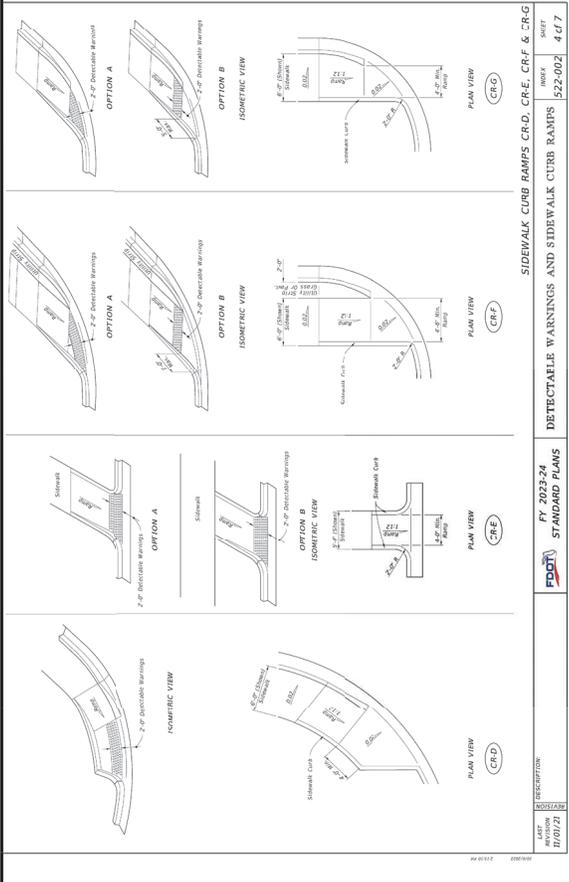
| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 08  | 11/07/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE         |
| 07  | 11/07/24 | UPDATE PLAN FROM RE-DESIGN FOR PERMIT MODIFICATION SUBMITTAL   |
| 06  | 10/17/24 | RE-DESIGN OF CROSS ACCESS & LOW-BED SITE AT TJC                |
| 05  | 10/07/24 | REVISIONS PER FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/NO   |
| 04  | 10/07/24 | REVISIONS PER FOOT ACCESS & FORKHAIM RELOCATION                |
| 03  | 10/05/24 | REVISION TO BURIED PER RESOLUTION                              |
| 02  | 10/01/24 | REVISION PER COUNTY, SWHYWAY & FOOT REVIEW COMMENTS            |
| 01  | 12/24    | REVISION PER ZONING APPROVAL, COUNTY & SWHYWAY REVIEW COMMENTS |

**Sunshine**  
 Call BT or visit [www.sunshinefl.com](http://www.sunshinefl.com) for business days before opening to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 80738

PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**  
 FOR  
**CORTA OCALA, LLC**  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

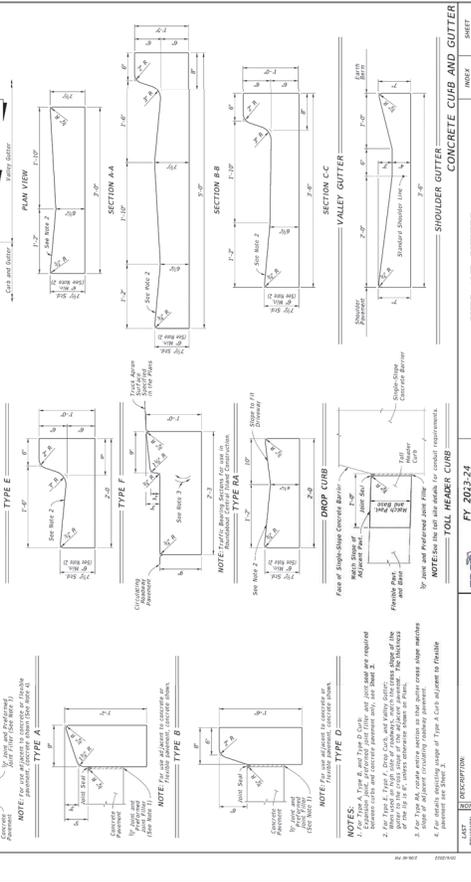
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**CONSTRUCTION**  
**DETAILS**  
 PROJECT NO: 231306  
 CHECKED BY: JPS  
 DATE: 03/20/24  
 SHEET NUMBER  
**C-501**



INDEX SHEET  
 522-002 4 of 3

DESCRIPTION  
**DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS**

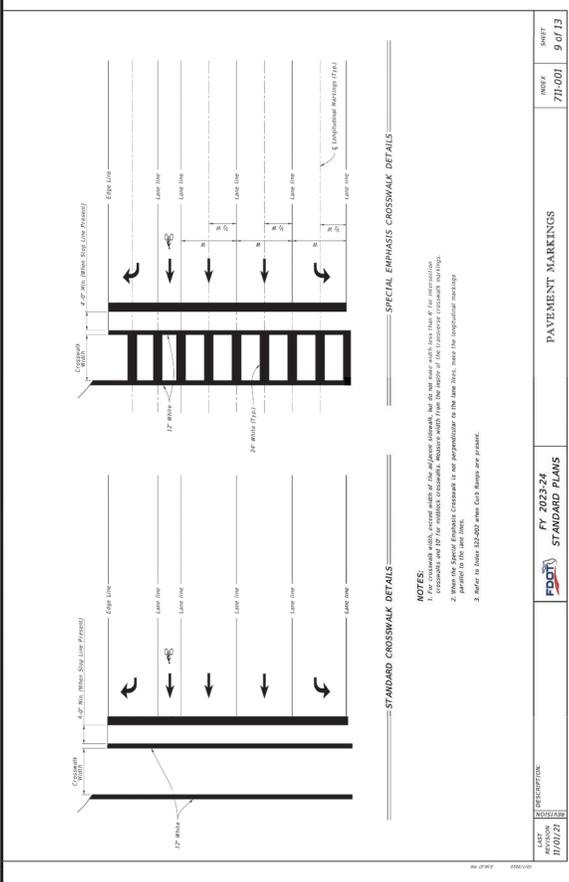
REVISIONS  
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INDEX SHEET  
 520-001 2 of 3

DESCRIPTION  
**STANDARD PLANS**

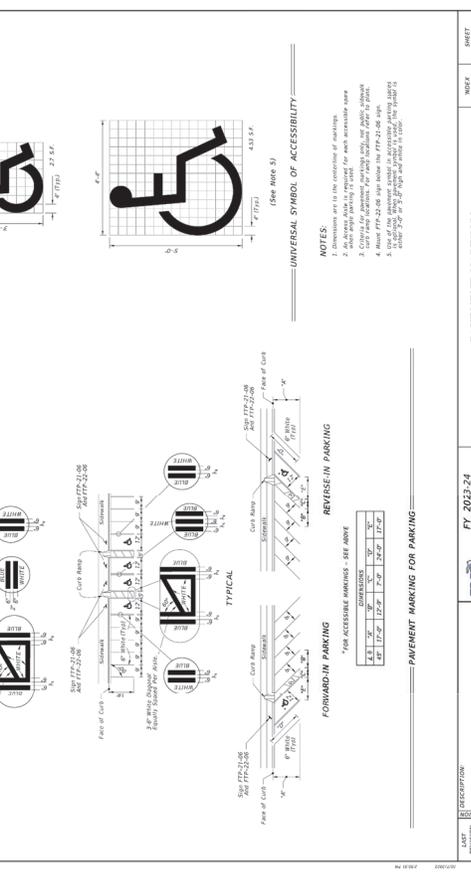
REVISIONS  
 LAST REVISION: 11/07/24



INDEX SHEET  
 71-001 9 of 13

DESCRIPTION  
**PAVEMENT MARKINGS**

REVISIONS  
 LAST REVISION: 11/07/24



INDEX SHEET  
 71-001 11 of 13

DESCRIPTION  
**UNIVERSAL SYMBOL OF ACCESSIBILITY**

REVISIONS  
 LAST REVISION: 11/07/24

| REV | DATE     | DESCRIPTION   |
|-----|----------|---|
| 08  | 10/07/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE        |
| 07  | 10/07/24 | UPDATE PLANS FROM REGION FOR PERMIT HOODING SUBMITTAL         |
| 06  | 10/07/24 | REVISION FOR CROSS COMMENTS & LOWERS SITE AT TC               |
| 05  | 10/07/24 | REVISION FOR FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/ROAD |
| 04  | 10/07/24 | REVISION FOR FOOT ACCESS & FORKCHINA RELOCATION               |
| 03  | 10/07/24 | REVISION TO BURIED PER RESOLUTION                             |
| 02  | 10/07/24 | REVISION FOR COUNTY, SWMPV & FOOT REVIEW COMMENTS             |
| 01  | 12/24    | REVISION FOR ZONING APPROVAL, COUNTY & SWMPV REVIEW COMMENTS  |

**Revisions**

**Sunshine**  
 Call 811 or visit sunshine.org before any business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 807738

**PROJECT NAME**  
 MAJOR SITE PLAN  
 CORTA COMMONS  
 FOR

**CORTA OCALA, LLC**  
 SW HWY 2000 - OCALA  
 MARION COUNTY, FLORIDA

**SHEET TITLE**  
 CONSTRUCTION  
 DETAILS

**PROJECT NO.** 231336  
**CHECKED BY:** JPS  
**DATE:** 10/07/24  
**DATE:** 10/07/24  
**SHEET NUMBER**

**C-502**

**PAVEMENT MESSAGE AND ARROW DETAILS**

**PAVEMENT MESSAGE NOTES:**

- Place all pavement messages 2' back from the stop line.
- All messages are 4" x 4".
- All pavement messages must be white except where Shaded.
- Message width of round should be rounded with three digits.

**PAVEMENT MARKINGS**

**PAVEMENT MARKING LINES**

- 10-30 Skip Line with Contrast Markings
- Dotted Line with Alternating Contrast Markings
- Longitudinal Solid Line with Contrast Markings
- Markings for Merge

| INDEX   | SHEET   |
|---------|---------|
| 7/1-001 | 1 of 13 |
| 7/1-001 | 2 of 13 |

| REV | DATE     | DESCRIPTION   |
|-----|----------|---|
| 01  | 12/24    | REVISION PER ZONING APPROVAL, COUNTY & SWPMD REVIEW COMMENTS          |
| 02  | 01/24    | REVISION PER COUNTY SWPMD & FOOT REVIEW COMMENTS                      |
| 03  | 05/24    | REVISION TO BURNER PER RESOLUTION                                     |
| 04  | 07/24    | REVISIONS PER FOOT ACCESS & FORDCHAMBERS RELOCATION                   |
| 05  | 07/24    | REVISIONS PER FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/ROAD        |
| 06  | 07/24    | REVISION OF CROSS ACCESS & LOWE/SITE AT TRC                           |
| 07  | 11/07/24 | UPDATED PLANS FROM REVISION REGION FOR PERMIT HOODIFICATION SUBMITTAL |
| 08  | 11/07/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE                |



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 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 80758

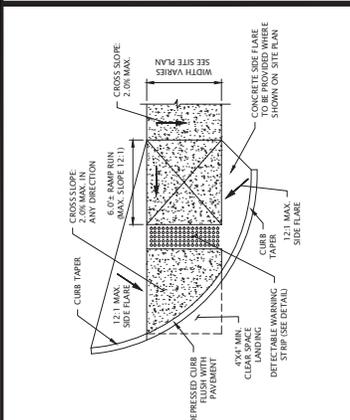
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**MAJOR SITE PLAN**  
**CORTA COMMONS**

FOR  
**CORTA OCALA, LLC**  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

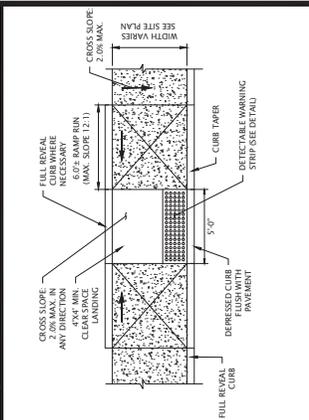
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**CONSTRUCTION**  
**DETAILS**

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 DATE: 05/20/24  
 DATE OF REVISION: 07/10/24  
 SHEET NUMBER

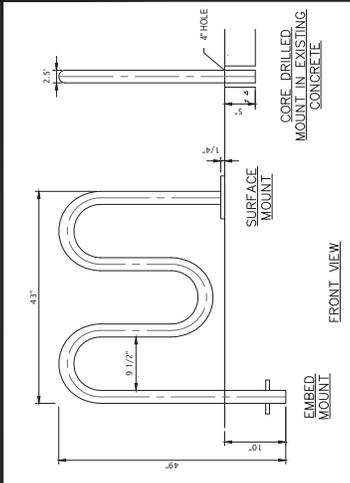
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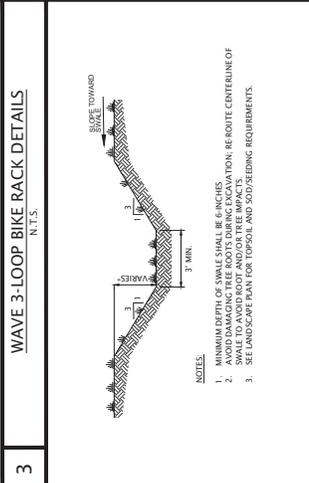
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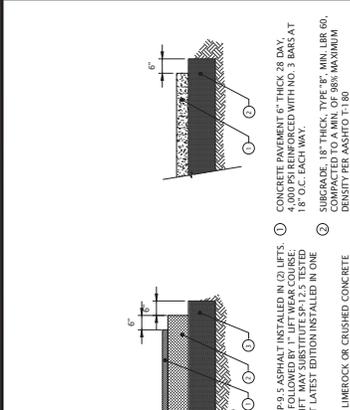
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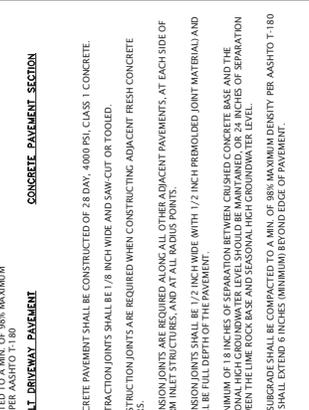
**WAVE 3-LOOP BIKE RACK DETAILS**  
 N.T.S.



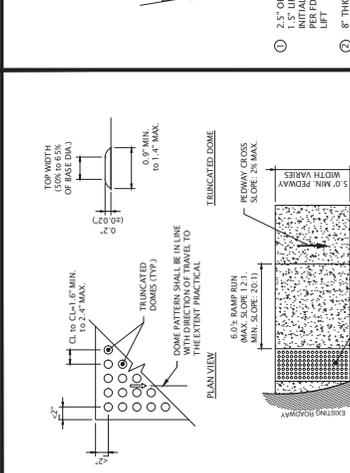
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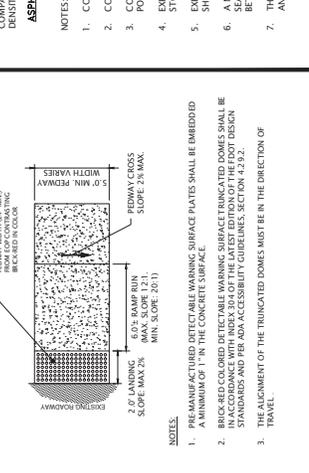
**CONCRETE PAVEMENT SECTION**  
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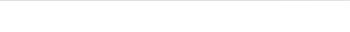
**BOLLARD DETAIL**  
 N.T.S.



**HANDICAP DETECTABLE WARNING DETAIL**  
 N.T.S.



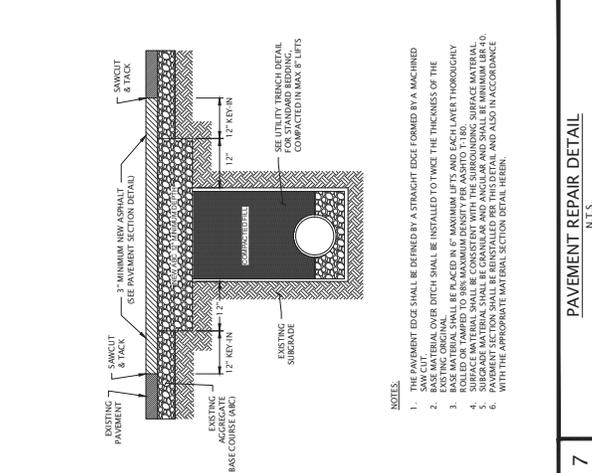
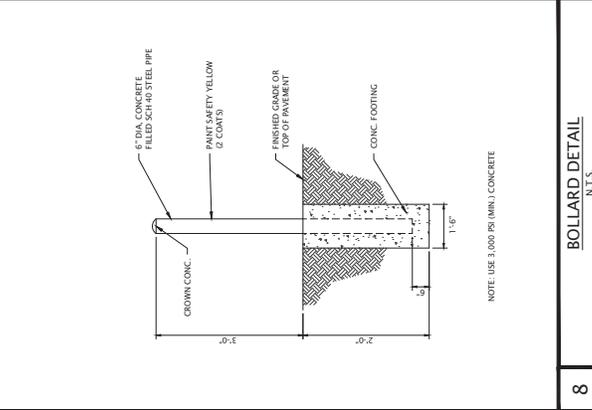
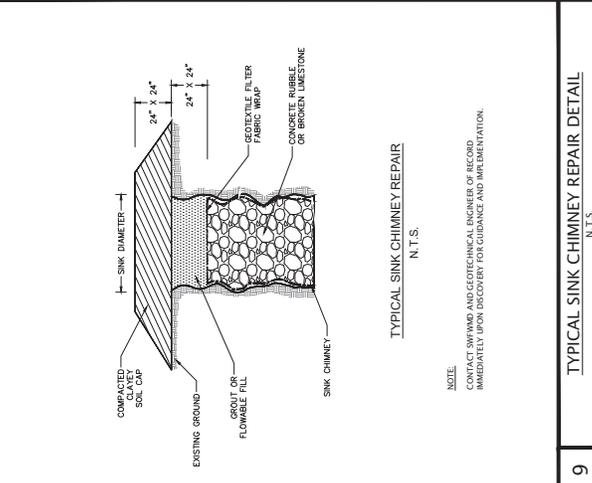
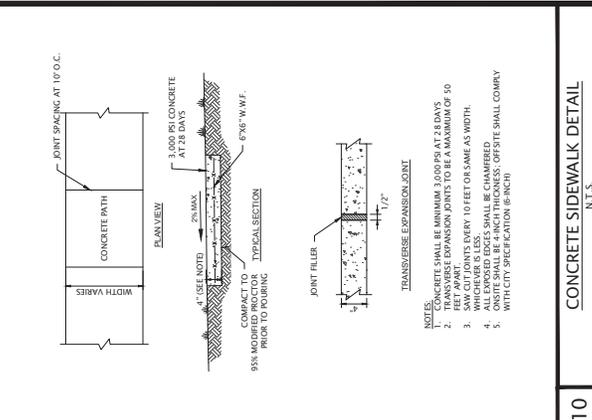
**PAVEMENT SECTION DETAILS**  
 N.T.S.



**PAVEMENT REPAIR DETAIL**  
 N.T.S.



**CONCRETE SIDEWALK DETAIL**  
 N.T.S.



**NOTES:**  
 1. ALL MATERIAL TO BE COMPARED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
 2. SHALL BE MANUFACTURED BY TULME MODEL NO. H-23-01 OR APPROVED EQUAL.

**NOTES:**  
 1. MINIMUM DEPTH OF SWALE SHALL BE 6 INCHES.  
 2. AVOID DAMAGING TREE ROOTS DURING EXCAVATION; RE-ROUTE CENTERLINE OF SWALE TO AVOID ROOTS.  
 3. SEE LANDSCAPE PLAN FOR TOPSOIL AND SOIL SEEDING REQUIREMENTS.

**NOTES:**  
 1. CONCRETE PAVEMENT SHALL BE CONSTRUCTED OF 28 DAY, 4000 PSI, CLASS 1 CONCRETE.  
 2. CONTRACTION JOINTS SHALL BE 1/8 INCH WIDE AND SAW-CUT OR TOOLED.  
 3. CONTRACTION JOINTS ARE REQUIRED WHEN CONSTRUCTING ADJACENT FRESH CONCRETE POURS.  
 4. EXPANSION JOINTS ARE REQUIRED ALONG ALL OTHER ADJACENT PAVEMENTS, AT EACH SIDE OF STORM DRAIN STRUCTURES, AND AT ALL RADIUS POINTS.  
 5. EXPANSION JOINTS SHALL BE 1/2 INCH WIDE WITH 1/2 INCH PREMOULDED JOINT MATERIAL AND SHALL BE FULL DEPTH OF THE PAVEMENT.  
 6. A MINIMUM OF 18 INCHES OF SEPARATION BETWEEN CRUSHED CONCRETE BASE AND THE SUBGRADE SHALL BE MAINTAINED THROUGHOUT THE ENTIRE LENGTH OF SEPARATION BETWEEN THE LIME ROCK BASE AND SEASONAL HIGH GROUNDWATER LEVEL.  
 7. THE SUBGRADE SHALL BE COMPACTED TO A MIN. OF 98% MAXIMUM DENSITY PER AASHTO T-180 AND SHALL EXCEED 6 INCHES (MINIMUM) BEYOND EDGE OF PAVEMENT.

**NOTES:**  
 1. THE PAVEMENT EDGE SHALL BE FINISHED BY A STRAIGHT EDGE FORMED BY A MACHINED SAW CUT.  
 2. BASE MATERIAL OVER DITCH SHALL BE INSTALLED TO TWICE THE THICKNESS OF THE SUBGRADE.  
 3. BASE MATERIAL SHALL BE PLACED IN 6" MAXIMUM LIFTS AND EACH LAYER THOROUGHLY COMPACTED.  
 4. SURFACE MATERIAL SHALL BE CONSISTENT WITH THE SURROUNDING SURFACE MATERIAL.  
 5. SUBGRADE MATERIAL SHALL BE GRANULAR AND ANGULAR AND SHALL BE MINIMUM LBR-40.  
 6. THE SURFACE SHALL BE FINISHED TO THE SURROUNDING SURFACE AND ALSO IN ACCORDANCE WITH THE APPROPRIATE MATERIAL SECTION DETAIL HEREIN.

**NOTES:**  
 1. CONCRETE SHALL BE MINIMUM 3,000 PSI AT 28 DAYS.  
 2. ALL PAVEMENT EXPANSION JOINTS TO BE A MINIMUM OF 50 FEET APART.  
 3. SAW CUT JOINTS EVERY 10 FEET OR SAME AS WIDTH.  
 4. ALL EXPOSED EDGES SHALL BE CHAMFERED.  
 5. ON-SITE SHALL BE FINCH THICKNESS, OFF-SITE SHALL COMPLY WITH CITY SPECIFICATION 06-06-01.

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| 01  | 12/24    | REVISION PER ZONING APPROVAL, COUNTY & SWFWMD REVIEW COMMENTS   |

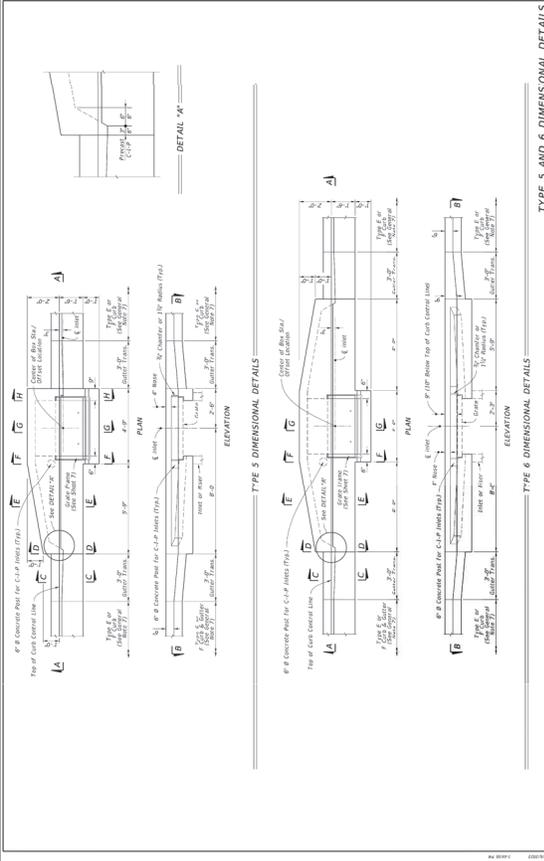
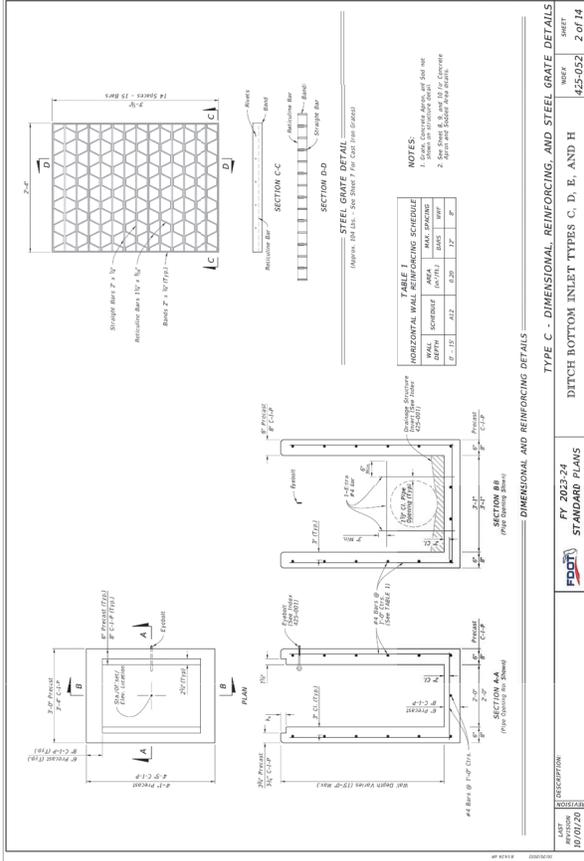
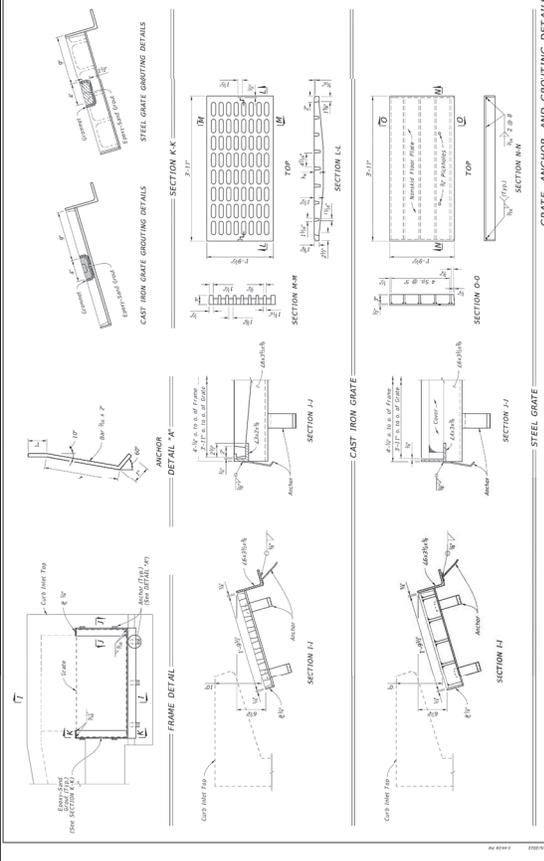
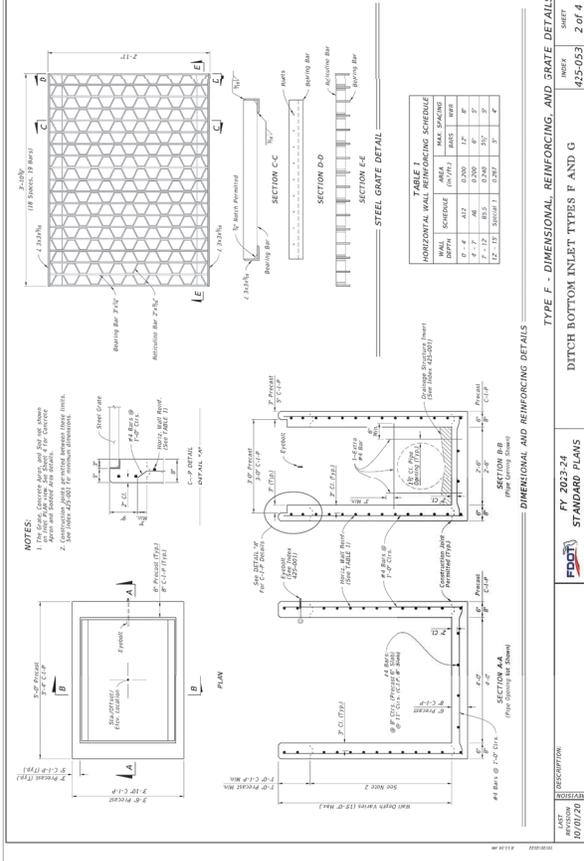
**Sunshine**  
Call BT or visit [sunshinefl.com](http://sunshinefl.com) for business days before opening to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80738

PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**  
FOR  
**CORTA OCALA, LLC**  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE  
**DRAINAGE DETAILS**

PROJECT NO: 231336  
CHECKED BY: JPS  
DATE OF REVISION: 11/04/24  
DATE OF DESIGN: 10/07/24  
SHEET NUMBER  
**C-504**



LAST REVISION: 10/07/24  
DESCRIPTION: DITCH BOTTOM INLET TYPES F AND G  
STANDARD PLANS  
FY 2023-24  
FOOT  
INDEX: 425-021  
SHEET: 2 OF 4

LAST REVISION: 10/07/24  
DESCRIPTION: CURB INLET TOP TYPES 5 AND 6  
STANDARD PLANS  
FY 2023-24  
FOOT  
INDEX: 425-021  
SHEET: 2 OF 7



| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 08  | 10/17/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE   |
| 07  | 11/07/24 | UPDATES TO PERMIT MODIFICATION SUBMITTAL                 |
| 06  | 11/07/24 | REVISIONS FOR CROSS ACCESS & LOWEST SITE AT TPC          |
| 05  | 10/07/24 | REVISIONS FOR FOOT ACCESS COMMENTS & FORKHAIM RELOCATION |
| 04  | 07/20/24 | REVISIONS FOR FOOT ACCESS & FORKHAIM RELOCATION          |
| 03  | 05/07/24 | REVISION TO BURIED PIPE RESOLUTION                       |
| 02  | 04/16/24 | REVISION FOR COUNTY COMMENTS                             |
| 01  | 03/24/24 | REVISION FOR COUNTY COMMENTS                             |

**Revisions**

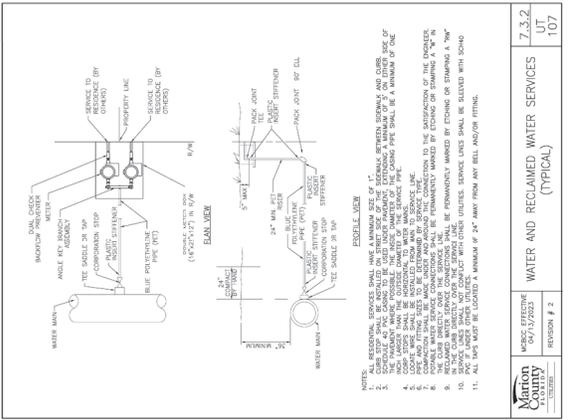
**Sunshine**  
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**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 807538

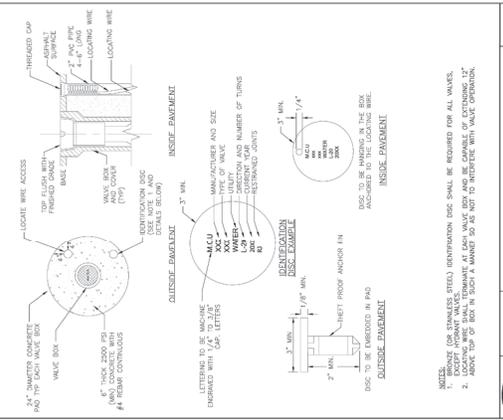
**PROJECT NAME**  
 MAJOR SITE PLAN  
 CORTA COMMONS  
 FOR  
 CORTA OCALA, LLC  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

**SHEET TITLE**  
 MARION COUNTY  
 UTILITY DETAILS

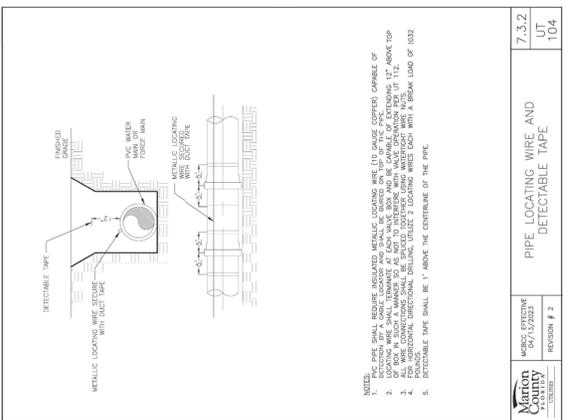
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| PROJECT NO:       | 231396   |
| CHECKED BY:       | JP       |
| DATE OF REVISION: | 10/17/24 |
| DATE OF SHEET:    | 10/17/24 |
| SHEET NUMBER:     | C-507    |



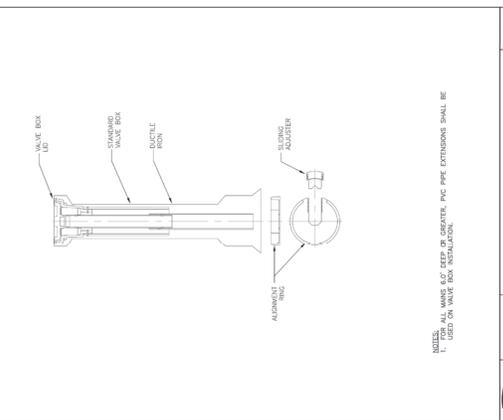
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| REVISION #     | 2          | UT    |
| UT             |            | 107   |



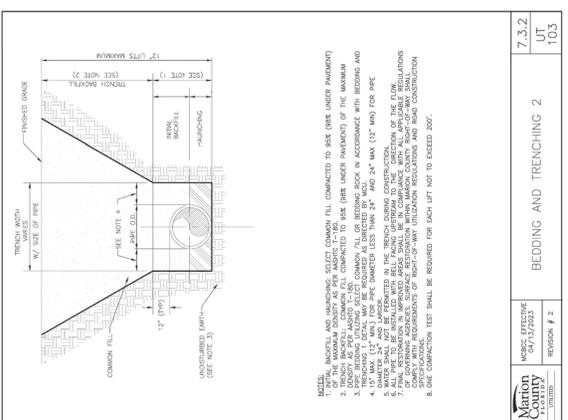
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| MDCS EFFECTIVE | 04/15/2023 | 7.3.2 |
| REVISION #     | 1          | UT    |
| UT             |            | 112   |



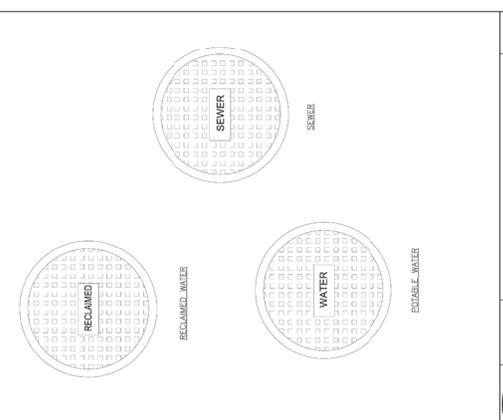
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| UT             |            | 104   |



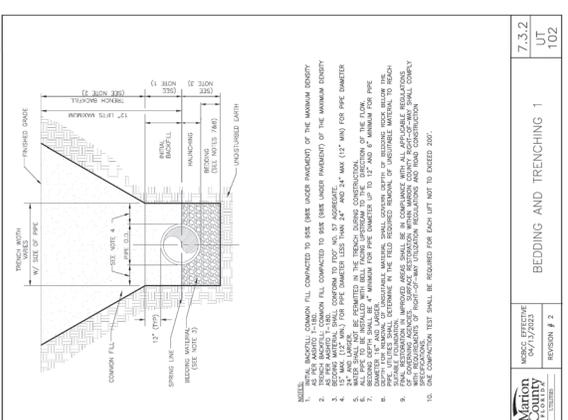
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| UT             |            | 111   |



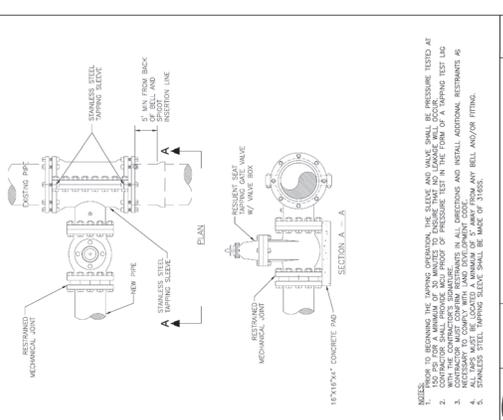
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| REVISION #     | 2          | UT    |
| UT             |            | 103   |



|                |            |       |
|----------------|------------|-------|
| MDCS EFFECTIVE | 04/15/2023 | 7.3.2 |
| REVISION #     | NA         | UT    |
| UT             |            | 110   |



|                |            |       |
|----------------|------------|-------|
| MDCS EFFECTIVE | 04/15/2023 | 7.3.2 |
| REVISION #     | 2          | UT    |
| UT             |            | 102   |



|                |            |       |
|----------------|------------|-------|
| MDCS EFFECTIVE | 04/15/2023 | 7.3.2 |
| REVISION #     | 1          | UT    |
| UT             |            | 108   |







| REV | DATE     | DESCRIPTION   |
|-----|----------|---|
| 08  | 10/17/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE        |
| 07  | 10/17/24 | UPDATES FROM REVISIONS FOR PERMIT MODIFICATION SUBMITTAL      |
| 06  | 10/17/24 | REVISIONS FOR CROSS ACCESS & LOWEST SITE AT T3                |
| 05  | 10/17/24 | REVISIONS FOR FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/NO  |
| 04  | 10/20/24 | REVISIONS FOR FOOT ACCESS & FORKLIEN RELOCATION               |
| 03  | 10/20/24 | REVISION TO EMBLEM PER RESOLUTION                             |
| 02  | 10/20/24 | REVISION TO EMBLEM PER RESOLUTION                             |
| 01  | 10/24/24 | REVISIONS PER CONING APPROVAL, COUNTY & SWAMP REVIEW COMMENTS |

**Revisions**

Call BTI or visit [www.bti.com](http://www.bti.com) for more information. All business days before opening to have buried facilities located and marked. Check positive response codes before any dig!

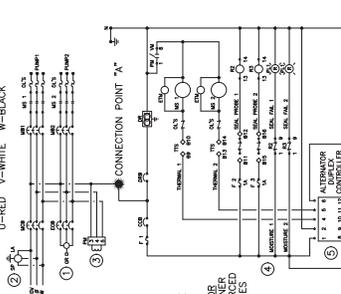
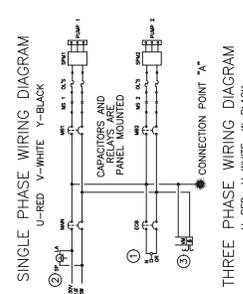
**JOHN J. STOECKEL**  
 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 80753

PROJECT NAME  
 MAJOR SITE PLAN  
 CORTA COMMONS

FOR  
 CORTA OCALA, LLC  
 SW HWY 200, OCALA  
 MARION COUNTY, FLORIDA

SHEET TITLE  
 LIFT STATION  
 DETAILS &  
 SPECIFICATIONS

PROJECT NO: 233396  
 DATE: 10/20/24  
 SHEET NUMBER  
**C-511**

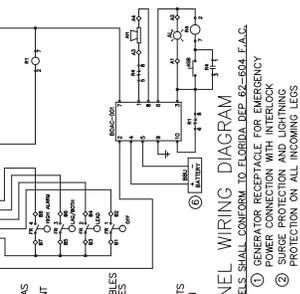
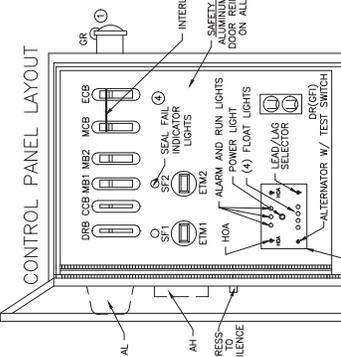


**CONTROL PANEL -** SHALL CONFORM TO FL DEP 62-604 F.A.C. CONTROL PANEL SHALL BE PAINTED IN ACCORDANCE WITH FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEPT. ENVIRONMENTAL PROTECTION) LOCAL CODE REQUIREMENTS GOVERNING PRIVATE LIFT STATIONS.

CONTROL PANEL SHALL BE U.L. LISTED. FLOAT SWITCHES AND CONTROL SYSTEM SHALL BE U.L. LISTED. A JUNCTION BOX IS REQUIRED, WITH SHOE POURED SEALS BETWEEN BOX AND CONTROL PANEL TO PREVENT SEWER GAS INTRUSION.

ELECTRICAL CONTROLS TO PROVIDE SERVICE DISCONNECT WITH LIGHTNING ARRESTOR MOUNTED PER LOCAL CODES. THE CONTROL PANEL SHALL BE SUITABLY INSTALLED TO PREVENT SETTLING OR TIPPING.

BATTERY BACK-UP ALARM SYSTEM TO BE INCORPORATED INTO CONTROL PANEL PER THE "10 STATES STANDARDS"



**LEGEND**

- AH ALARM HORN
- ASB ALARM SILENCE BUTTON
- ATS ALTERNATOR W/TEST SWITCH
- CBM CONTROL CIRCUIT BREAKER
- DRB DUPLEX RECEPTACLE BREAKER
- EDB EMERGENCY CIRCUIT BREAKER
- FIM FUSED TIME METER
- FSL FLOAT SWITCH (REGULATORS)
- GR GENERATOR RECEPTACLE
- HOA HAND-OFF-AUTOMATIC SELECTOR
- MA MAIN ALTERNATOR BREAKER
- MCB MAIN CIRCUIT BREAKER
- NS NEUTRAL
- PA PASSENGER ALARMS
- PTS PUMP TERMINAL STRIP
- RC REIN CAPACITOR
- RD RUMBLE STRIP INDICATORS
- RTS REGULATOR TERMINAL STRIP
- SF1 SEAL FAL (SHAFT)
- SR START RELAY
- ITS THERMAL TERMINAL STRIP

**TECHNICAL SALES CORPORATION**  
 TSC PRE-FAB PUMP SOLUTIONS  
 WATERWORKS & WASTEWATER SPECIALTIES  
 Representing Innovative Manufacturers  
 MODEL TSC2C-48.1 BBU  
 4621 N. HALE AVENUE PH (813)976-9256  
 TAMPA, FL 33614 FAX (813)874-1194  
 SALES@TSC2C.COM TSC2C.COM  
 REV-21

**GENERAL NOTES**

FURNISH AND INSTALL LIBERTY SUBMERSIBLE GRINDER PUMPS:

| DESIGN MODEL | HP              | PH             |
|--------------|-----------------|----------------|
| LIB-200      | 2.5             | F/7/28         |
| VOLTAGE      | 230V/230 OR 460 | SINGLE / THREE |
| DISCHARGE    | 2"              | IMPELLER       |

SEWAGE GRINDER PUMP:

- RATED FOR DESIGN (15) STARTS PER HOUR.
- OIL FILLED MOTOR DESIGNED FOR SERVICE APPLICATION WITH CLASS H INSULATION.
- DUAL MECHANICAL SHIRT SEALS (SILICON CARBIDE / SILICON CARBIDE)
- USE 100% BRASS BALL BEARINGS (1-1/2 INCHES) WITH 100,000 HOURS.
- PUMP SHAFT HORSEPOWER (BHP) SHALL NOT EXCEED MOTOR RATED HORSEPOWER THROUGHOUT THE ENTIRE OPERATING RANGE OF THE PUMP PERFORMANCE CURVE.
- MOTORS SHALL BE DUAL WOUND AND CAPABLE OF OPERATING ON 240V AC BY CHANGING THE MOTOR LEADS INSIDE THE PUMP.

BERGQUIST WET WELL SHALL BE A ONE PIECE UNIT WITH INTEGRAL BOTTOM. WALL LOAD RATING OF 16,000 FT.LBS. EACH UNIT MUST BE SERIAL NUMBERED TO IDENTIFY THE UNIT. BRASS BALL BEARINGS (1-1/2 INCHES) WITH 100,000 HOURS REQUIRED AS MINIMUM. ASTM D 3753 & H-50 SPECIFICATIONS SHALL BE REQUIRED.

ALUMINUM WELDED TEE UNIONS - 6" TO 8" ROUND WITH 2" X 3/4" LOCKABLE MATCH. REINFORCED FOR LOAD RATING OF 300 LBS/FT WITH HOLD OPEN SAFETY ARM. VALVE BODY BERGQUIST COMPPOSITE (AL-10 TRAFFIC RATED) WITH INTEGRAL BOTTOM. (FOR 1" & 2" AND 2" DISCHARGE PIPING SIZE HEADER SYSTEM SHALL BE 26" X 38" X 18" WITH 17" X 30" LIMITED ACCESS LID

ACCESSORIES: 2" GUIDE RAILS, 2" GUIDE RAIL BRACKETS, CABLE TROUSERS, TANGOR 5/8" X 3/4" AND 1/2" TYPING CHANNEL.

VALVES SHALL BE SERVICE SERVICE DESIGN BRASS SWING CHECK VALVES WITH TOP ENTRY CLEAN-OUT PORT AND BRASS WEDGE GATE VALVES OPEN 100%.

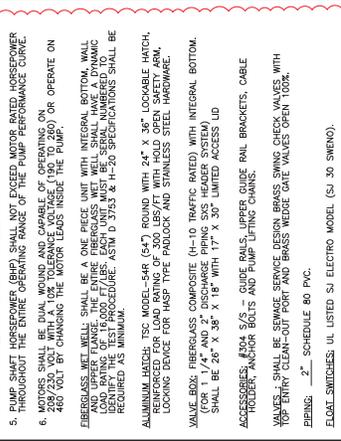
PIPING: 2" SCHEDULE 80 PVC

FLOAT SWITCHES: UL LISTED SJ ELECTRO MODEL (SJ 30 SWENO).

FLUID SWITCHES: UL LISTED SJ ELECTRO MODEL (SJ 30 SWENO).

PUMP SUPPLIER SHALL PROVIDE SUBMERSIBLE PUMPS, SLIDE RAIL ASSEMBLIES, ACCESSORIES TO INSURE PROPER OPERATION AND WARRANTY. THE COMPLETE PACKAGE PUMPING STATION SHALL HAVE PUMP BASES. TECHNICAL SALES CORPORATION READY TO SHIP FOR FIELD INSTALLATION. THE MANUFACTURER OF PRE-FAB PUMP SOLUTIONS.

TECHNICAL SALES CORPORATION, 4621 N. HALE AVE TAMPA, FL 33614 (813)976-9256

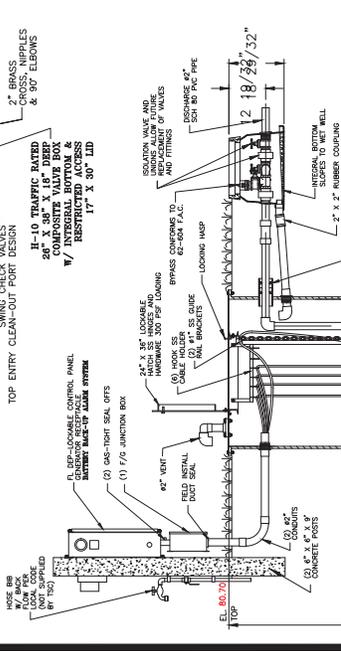
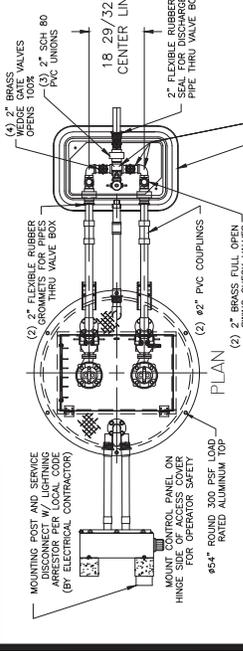


**LIBERTY ENGINEERED PRODUCTS**

LIBERTY LGV, LGH 2.5HP Synchronous Speed: 3450 RPM  
 Maximum Flow: 46 GPM  
 Design Flow: 46 GPM

**PUMP PERFORMANCE CURVE**

Total Head (FT) vs Capacity (US GPM)



**EBARA SEWAGE GRINDER PUMP**  
 48" DUPLEX STATION - 2" PIPING  
 WITH SLIDE RAIL SYSTEM, V.B. AND F.D.E.P. PANEL  
 TSC PRE-FAB PUMP SOLUTIONS  
 MODEL TSC2C-48.1 BBU R21.dwg

CONCRETE RAILWAY AS REQUIRED (FIELD INSTALLED)

| STATION DEPTH | CONCRETE    | WEIGHT (LBS) |
|---------------|-------------|--------------|
| 4 FT X 6 FT   | REQ. 4,698  | LBS = 1,277  |
| 4 FT X 8 FT   | REQ. 6,684  | LBS = 1,699  |
| 4 FT X 10 FT  | REQ. 8,670  | LBS = 2,311  |
| 4 FT X 12 FT  | REQ. 10,656 | LBS = 2,923  |
| 4 FT X 14 FT  | REQ. 12,642 | LBS = 3,535  |
| 4 FT X 16 FT  | REQ. 14,628 | LBS = 4,147  |

50.4288 I.D.

1. HOSE BBS WITH REDUCED PRESSURE BACK FLOW PREVENTER  
 2. GROUT FILLET (1 TO 1 SLOPE TO "HOPPER" BOTTOM)  
 FIELD INSTALL BY CONTRACTOR







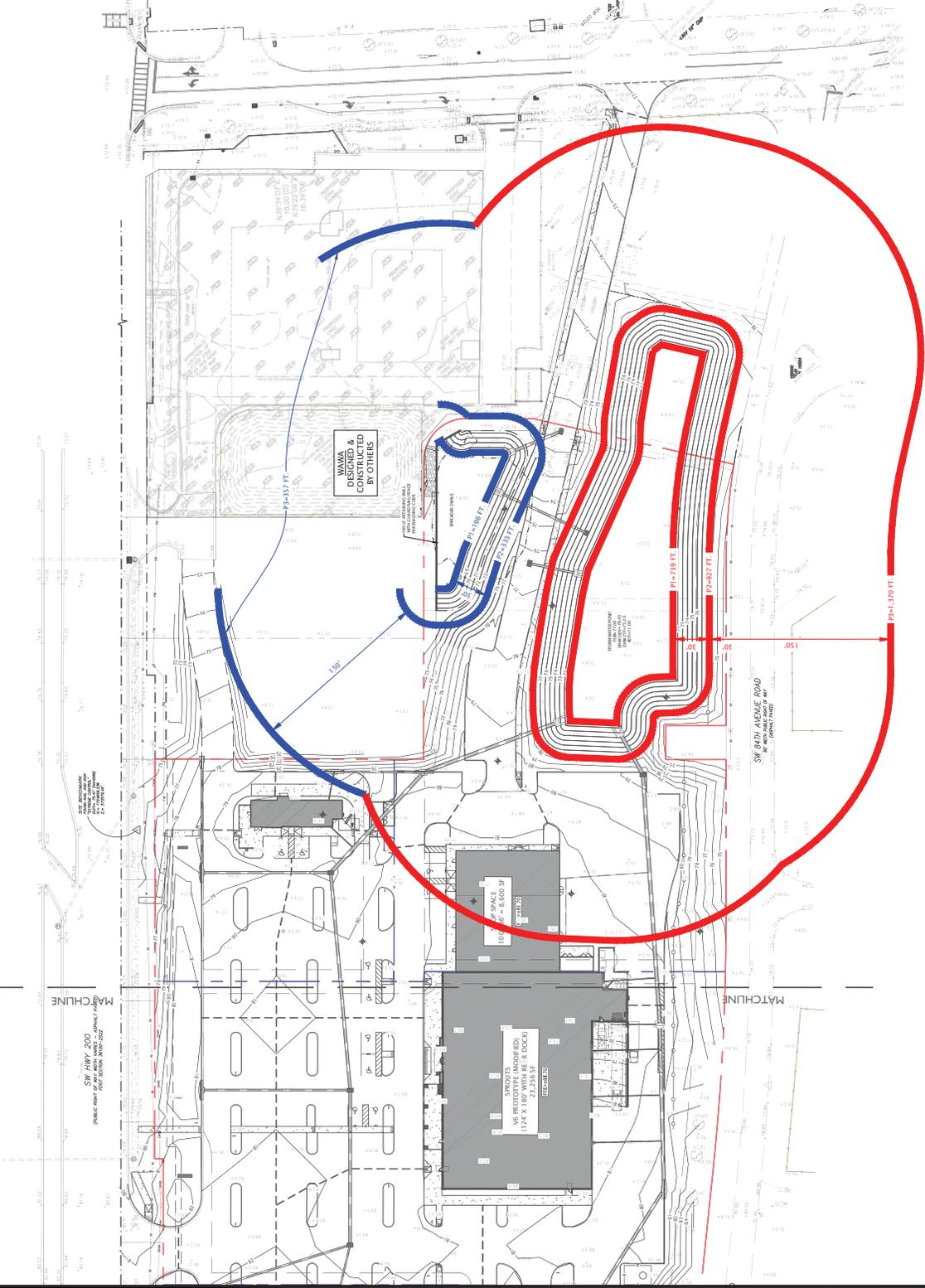
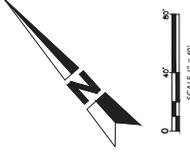












**MJ STOKES CONSULTING**  
 P.O. BOX 22821  
 TAMPA, FL 33622  
 813.724.199  
 INFO@MJSTOKESCONSULTING.COM  
 FLORIDA BUSINESS REGISTRY NO. 3448

| REV | DATE    | DESCRIPTION  |
|-----|---------|--|
| 01  | 6/25/24 | REVISION PER ZONING APPROVAL, COUNTY & SWP&W REVIEW COMMENTS |
| BY  |         | JJS  |

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 FLORIDA PROFESSIONAL ENGINEER  
 LICENSE NO. 80728

**PROJECT NAME**  
 MAJOR SITE PLAN  
 CORTA COMMONS  
 FOR  
 CORTA OCALA, LLC  
 SW HWY 200 - OCALA  
 MARION COUNTY, FLORIDA

**SHEET TITLE**  
 ICPR RING EXHIBIT

**PROJECT NO.** 231336  
**CHECKED BY:** JJS  
**DATE:** 6/25/24  
**DATE OF LAST REVISION:** 6/25/24  
**SHEET NUMBER**

**EXHIBIT**