

June 6, 2025

PROJECT NAME: CORTA COMMONS (REVISION TO AR 31416)

PROJECT NUMBER: 2024020064

APPLICATION: MAJOR SITE PLAN REVISION #32368

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Additional Stormwater comments  
STATUS OF REVIEW: INFO  
REMARKS: Per the waiver approved 2/3/2025, Stormwater staff would not object to the issuance of the permits that would have been approved through AR 3,1416 in the meeting from being issued before the completion of this revision.
- 2 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.H - A portrait oriented minimal 3 inches x 5 inches space, located 2.75 inches from the right edge of paper and .75 inches from the top edge of paper, shall remain blank to allow for a County approval stamp  
STATUS OF REVIEW: INFO  
REMARKS: 1/21/25-rearrange to include space as described
- 3 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval  
STATUS OF REVIEW: INFO  
REMARKS: 1/21/25-add waivers if requested in future
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: Additional Development Review Comments  
STATUS OF REVIEW: INFO  
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
- 5 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: MCUD DETAILS - current LDC version  
STATUS OF REVIEW: INFO  
REMARKS: C-403 Need to construct ARV per UT 316, even though it will be private. Add detail to the plan set.
- 6 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH  
REVIEW ITEM: Additional Health comments  
STATUS OF REVIEW: INFO  
REMARKS: Central Water/Central Sewer
- 7 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW  
REVIEW ITEM: Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."
2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]." (FB 1/22/25)

## 8 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: Additional Planning Items:

STATUS OF REVIEW: NO

REMARKS: [04/29/2025] PUD amendment under review. See comments below.

[Original Comments] 1) The Plan revises the project's northeast external access connection point, moving the access connection further east from a point connecting to the existing Wawa Convenience Store site to an access through the Samira Villas Subdivision. The change in access requires reconsideration through the County PUD Rezoning review process, including public hearings, pursuant to LDC Section 4.2.31.K(2)(b) directs that changes to the "(l)ocation of internal and external arterial collector streets and connections points between and to those streets within the development" requires "review and approval by the Board through the

PUD rezoning application process.” The proposed plan is not eligible for approval unless and until the change in the northeast access location noted obtains approval as noted. Please note that LDC Section 4.1.4.O notes “Use of residentially zoned property for access. No land which is residentially-zoned shall be used for driveway, walkway or access purposes to any land which is zoned for commercial, industrial, or institutional use;” while Samira Villas is not residentially zoned, that subdivision that includes an existing residential quadraplex on Lot 1 were established in the past consistent with then Marion County land development provisions. The anticipated replatting of Samira Villas Lots 3 and 4 within the overall replat of this project site would only affect those lots, and not the historic recognition of Lots 1 and 2.

2) Staff notes that this plan indicates Samira Villas Lot 2 has been acquired for the project and is proposed for integration; however, that site is not part of the project’s existing PUD zoned property, and NOT part of the originally proposed replat of the site, resulting the lot remaining as part of the Samira Villas Subdivision, which may have significant impacts on the use of that property, due to historic requirements of that subdivision, and additionally, it will affect the site plan and plat reviews of the project as possible improvements will be located off-site/outside the boundary/perimeter of the planned subdivision replat. This additionally acquired land needs to be adequately addressed in regards to the site zoning, site plan, and replat.

Final Plat needs to be approved



**Marion County  
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

32368

**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Date: 6/5/25 Parcel Number(s): See separate page multiple parcels Permit Number: AR 31416/32368

**A. PROJECT INFORMATION:** Fill in below as applicable:

Project Name: CORTA Commons Commercial ☒ Residential ☐  
Subdivision Name (if applicable): CORTA Commons - Ocala West (Final Plat Final Review Processing)  
Unit \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_ Tract \_\_\_\_\_

**B. PROPERTY OWNER'S AUTHORIZATION:** The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): CORTA Ocala, LLC Cory Presnick, Manager  
Signature: \_\_\_\_\_  
Mailing Address: 1112 1st Street City: Neptune Beach  
State: FL Zip Code: 32266 Phone # 404-625-5119  
Email address: cpresnick@cortadev.com

**C. APPLICANT INFORMATION:** The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): CORTA Ocala, LLC Contact Name: Cory Presnick  
Mailing Address: 1112 1st Street City: Neptune Beach  
State: FL Zip Code: 32266 Phone # 404-625-5119  
Email address: cpresnick@cortadev.com

**D. WAIVER INFORMATION:**

Section & Title of Code (be specific): 2.1.3 Review and approval procedures  
Reason/Justification for Request (be specific): Request to remove Building Inspection Holds and permit final electrical electrical, structural & final building inspections. Major Site Plan AR #32368 (Revision of AR #31416) Bocc Approved. Construction of all building, site and off-site completing by 6/13 as-builts ongoing. Final Plat pending AR #31766. BLD2024053294 (Sprouts Grocery Store) BLD2024050635 (Chipotle Building), BLD2025021919 (Chipotle Dumpster

**DEVELOPMENT REVIEW USE:**

Received By: email 6/5/25 Date Processed: 6/3/25 kh Project # 2024020064 AR # 32368

**ZONING USE:** Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐  
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ P.O.M. \_\_\_\_\_ Land Use: \_\_\_\_\_ Plat Vacation Required: Yes ☐ No ☐  
Date Reviewed: \_\_\_\_\_ Verified by (print & initial): \_\_\_\_\_



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Board of County Commissioners**

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Phone: 352-671-8686  
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32368

**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Date: 5/28/25 Parcel Number(s): See separate page multiple parcels Permit Number: AR 31416/32368

**A. PROJECT INFORMATION:** Fill in below as applicable:

Project Name: CORTA Commons Commercial ☒ Residential ☐  
Subdivision Name (if applicable): CORTA Commons (plat pending staff final reviews)  
Unit \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_ Tract \_\_\_\_\_

**B. PROPERTY OWNER'S AUTHORIZATION:** The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): CORTA Ocala, LLC Cory Presnick, Manager  
Signature: \_\_\_\_\_  
Mailing Address: 1112 1st Street City: Neptune Beach  
State: FL Zip Code: 32266 Phone # 404-625-5119  
Email address: cpresnick@cortadev.com

**C. APPLICANT INFORMATION:** The applicant will be the point of contact during this waiver process and will receive all correspondence.

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Mailing Address: 1112 1st Street City: Neptune Beach  
State: FL Zip Code: 32266 Phone # 404-625-5119  
Email address: cpresnick@cortadev.com

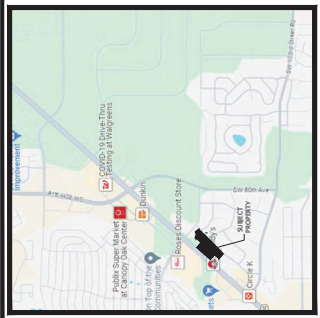
**D. WAIVER INFORMATION:**

Section & Title of Code (be specific): 2.1.3 Review and approval procedures  
Reason/Justification for Request (be specific): This request is to permit an outparcel building for Tropical Smoothie Cafe BLD 2024072405 as part of the approved AR #31416 and related AR #32368 which both are fully approved by BoCC but staff has not cleared Plat Application #31766 nor AR #32368 which had comments due 4/29/25 and was only to be pending BoCC approval and this is causing us to again come to DRC pending internal portal approvals.

**DEVELOPMENT REVIEW USE:**

Received By: email 5/28/25 Date Processed: 6/6/25 kh Project # 2024020064 AR # 32268

**ZONING USE:** Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐  
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ P.O.M. \_\_\_\_\_ Land Use: \_\_\_\_\_ Plat Vacation Required: Yes ☐ No ☐  
Date Reviewed: \_\_\_\_\_ Verified by (print & initial): \_\_\_\_\_



VICINITY MAP  
SCALE 1" = 1000'

#### GENERAL NOTES:

1. BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY DATED FEBRUARY 12, 2025.
2. THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
3. ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 120160, MAP PANEL NUMBER 120830686E, EFFECTIVE DATE APRIL 13, 2017, THE SUBJECT PROPERTY IS LOCATED WITHIN A FLOOD HAZARD ZONE. THE FLOOD HAZARD ZONE IS DESIGNATED AS A1 TO FALL WITHIN THE TOP OF BANK LIMITS OF THE POND WITHIN LOT 3 OF SAMARA VILLAS AS DEPICTED ON THE SURVEY REFERENCED ABOVE. BASE FLOOD ELEVATION OF 76.2 FT (NAVD83).
4. SURFACE ELEVATION INFORMATION SHOWN HEREON IS TAKEN FROM A REPORT ENTITLED "GEOTECHNICAL ANALYSIS OF PROPOSED CONSTRUCTION" DATED FEBRUARY 12, 2025, PREPARED BY ANDREW ENGINEERING, INC. DATED NOVEMBER 1, 2022.
5. IN THE EVENT OF INCONSISTENCIES BETWEEN PARTS OF THE CONSTRUCTION PLANS OR BETWEEN THE CONSTRUCTION PLANS AND THE SURVEY, THE CONSTRUCTION PLANS SHALL CONTROL. THE SURVEY SHALL COMPLY WITH THE MORE STRINGENT REQUIREMENT OR PROCEED AS DIRECTED BY THE ENGINEER.
6. ALL CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS AND PERMIT CONDITIONS FROM LOCAL, STATE, AND FEDERAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVED CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES. ALL APPLICABLE PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD PLANS AND CITY OF MELBOURNE PUBLIC WORKS SPECIFICATIONS AND STANDARDS, AND REQUIREMENTS.
8. THE LOCATIONS AND PROPOSED RELOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND STRUCTURES AND MARKINGS PROVIDED BY UTILITY COMPANIES AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL FOLLOW UP WITH ALL LISTED UTILITY PROVIDERS TO CONFIRM THE LOCATION OF THEIR FACILITIES WITHIN THE PROJECT AREA.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL FOLLOW UP WITH ALL LISTED UTILITY PROVIDERS TO CONFIRM THE LOCATION OF THEIR FACILITIES WITHIN THE PROJECT AREA.
10. THE CONTRACTOR SHALL NOTIFY SUNSHINE ONE AT 811 TO REQUEST UTILITY LOCATED AND SHALL VERIFY THE LOCATION AND DEPTHS OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL FOLLOW UP WITH ALL LISTED UTILITY PROVIDERS TO CONFIRM THE LOCATION OF THEIR FACILITIES WITHIN THE PROJECT AREA.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
12. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL MEANS AND METHODS ASSOCIATED TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, PHASING, INTERIM LOCATES, DRAINAGE, UTILITIES, ETC. AS MAY BE REQUIRED TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE APPLICABLE CONSTRUCTION PLANS.
13. THE CONTRACTOR SHALL USE A CERTIFIED CONSTRUCTION MATERIALS TESTING LABORATORY TO TEST ALL CONSTRUCTION MATERIALS FOR ROAD AND BRIDGE CONSTRUCTION AND PACCO COUNTY PUBLIC WORKS SPECIFICATIONS AND REQUIREMENTS, LATEST EDITIONS.
14. UPON COMPLETION OF CONSTRUCTION, BEFORE REQUESTING FINAL INSPECTION BY THE ENGINEER, THE CONTRACTOR SHALL PROVIDE A TRUE AND CORRECT AS-BUILT SURVEY CERTIFIED BY A REGISTERED AND SWORN OATH. THIS AS-BUILT INFORMATION SHALL INCLUDE INVERT ELEVATIONS, DRAINAGE STRUCTURES, WEIRS, LOCATIONS OF STRUCTURES FOR ALL ELEVATIONS FOR FLOOD AND DITCH/SWALE CONSTRUCTION.
15. NOT SCALE DRAWINGS, AS THEY PERTAIN TO LOCATIONS AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, AND STRUCTURES EXCEPT WHERE DIMENSIONS ARE SHOWN.
16. THIS PLAN DOES NOT REPRESENT ENVIRONMENTAL CONDITIONS OR A WARRANTY REGARDING THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR CONTAMINATED AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROJECT, INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED THEREIN. THE SOLE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
17. THE SUBJECT PROPERTY DOES NOT APPEAR TO BE WITHIN APPLICABLE 500' PROX AREAS.
18. THE SUBJECT PROPERTY IS LOCATED WITHIN MARION COUNTY'S SECOND SPRINGS PROTECTION ZONE.
19. NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
20. THIS PROPOSED PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE RESERVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THIS PROJECT HAS NOT BEEN OBTAINED THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL. BUILDING PERMIT NOT FOR.

# MAJOR SITE PLAN FOR CORTA COMMONS

SECTIONS 24 & 25, TOWNSHIP 16S, RANGE 20E

|              |              |              |              |
|--------------|--------------|--------------|--------------|
| 3501-200-018 | 3501-200-022 | 3501-200-036 | 3501-200-040 |
| 3501-200-019 | 3501-200-023 | 3501-200-037 | 3501-400-002 |
| 3501-200-020 | 3501-200-034 | 3501-200-038 | 3501-400-003 |
| 3501-200-021 | 3501-200-035 | 3501-200-039 | 3501-400-004 |

#### PHYSICAL ADDRESSES:

|                                     |                              |
|-------------------------------------|------------------------------|
| CHIPOTLE - 8440 SW HWY 200          | SHOPPES #1 - 8422 SW HWY 200 |
| SPROUTS - 8430 SW HWY 200           | SHOPPES #2 - 8424 SW HWY 200 |
| SHOPPES #3 - 8426 SW HWY 200        | SHOPPES #4 - 8428 SW HWY 200 |
| TROPICAL SMOOTHIE - 8410 SW HWY 200 |                              |

OCALA, MARION COUNTY, FLORIDA



KEY MAP  
SCALE 1" = 1000'

#### TRAFFIC IMPACT STATEMENT:

THE PROPOSED PROJECT PRODUCES 180 PEAK PM TRIPS

| Land Use & Data Source                       | Location       | Size             | Time Period | Method                                       | Entry | Exit | Total |
|--|----------------|------------------|-------------|--|-------|------|-------|
| 800 - Supermarket                            | General        | 1000 Sq. Ft. GFA | 23.3        | Weekday Peak Hour of Adjacent Street Traffic | 129   | 115  | 248   |
| Data Source: Trip Generation Manual, 11th Ed | Urban/Suburban |                  |             |  |       |      |       |
| 822 - Strip Retail Plaza (400)               | General        | 1000 Sq. Ft. GFA | 3.5         | Weekday Peak Hour of Adjacent Street Traffic | 18    | 18   | 36    |
| Data Source: Trip Generation Manual, 11th Ed | Urban/Suburban |                  |             |  |       |      |       |
| 834 - Fast Food Restaurant with Drive Thru   | General        | 1000 Sq. Ft. GFA | 1.7         | Weekday Peak Hour of Adjacent Street Traffic | 29    | 27   | 56    |
| Data Source: Trip Generation Manual, 11th Ed | Urban/Suburban |                  |             |  |       |      |       |
| 890 - Fast Casual Restaurant                 | General        | 1000 Sq. Ft. GFA | 2.4         | Weekday Peak Hour of Adjacent Street Traffic | 15    | 12   | 27    |
| Data Source: Trip Generation Manual, 11th Ed | Urban/Suburban |                  |             |  |       |      |       |
| 220 - Multi-Family Housing (Low-Rise)        | General        | 1000 Sq. Ft. GFA | 30          | Weekday Peak Hour of Adjacent Street Traffic | 21    | 12   | 33    |
| Data Source: Trip Generation Manual, 11th Ed | Urban/Suburban |                  |             |  |       |      |       |
| 892 - High-Turnover (50-Down) Restaurant     | General        | 1000 Sq. Ft. GFA | 5.1         | Weekday Peak Hour of Adjacent Street Traffic | 28    | 18   | 46    |
| Data Source: Trip Generation Manual, 11th Ed | Urban/Suburban |                  |             |  |       |      |       |
| Overall Total                                |                |                  |             |  |       |      | 496   |

#### LIST OF APPROVED WAIVERS:

- UDC 2.1.1.4 - CONSTRUCTION, COMPLETION AND CLOSURE
- UDC 2.1.1.5 - CONSTRUCTION, COMPLETION AND CLOSURE
- UDC 2.1.1.6 - CONSTRUCTION, COMPLETION AND CLOSURE
- UDC 2.1.1.7 - CONSTRUCTION, COMPLETION AND CLOSURE
- UDC 2.1.1.8 - CONSTRUCTION, COMPLETION AND CLOSURE
- UDC 2.1.1.9 - CONSTRUCTION, COMPLETION AND CLOSURE
- UDC 2.1.1.10 - CONSTRUCTION, COMPLETION AND CLOSURE
- UDC 2.1.1.11 - CONSTRUCTION, COMPLETION AND CLOSURE
- UDC 2.1.1.12 - CONSTRUCTION, COMPLETION AND CLOSURE
- UDC 2.1.1.13 - ORDER OF PLAN APPROVAL

#### DEVELOPMENT TEAM CONTACTS:

OWNER/DEVELOPER:  
CORTA OCALA, LLC  
1180 PROFESSIONAL CONSULTANTS  
MIAMI, FL 33137  
ALACHUA, FL 32415  
ATTN: JOHN MICHAEL SIMPSON, P.E.  
ATTN: ANTHONY DION, P.E.

ENGINEER:  
MISTOKES CONSULTING, LLC  
332.311.1976  
813.724.4199  
TAMPA, FL 33602  
ALACHUA, FL 32415  
ATTN: JOHN J. STOECKEL, P.E.

GEOTECHNICAL ENGINEER:  
CORTA OCALA, LLC  
1180 PROFESSIONAL CONSULTANTS  
MIAMI, FL 33137  
ALACHUA, FL 32415  
ATTN: JOHN MICHAEL SIMPSON, P.E.  
ATTN: ANTHONY DION, P.E.

| SHEET INDEX |   | SHEET TITLE |       | LAST REVISION                          |          |
|-------------|---|-------------|-------|--|----------|
| C-001       | COVER SHEET                                 | 04/16/25    | C-003 | UTILITY PLAN (SOUTH)                   | 02/27/25 |
| C-002       | PROJECT GENERAL NOTES SHEET                 | ---         | C-004 | SANITARY FORCEMAIN PROFILE             | 01/22/25 |
| C-003       | PRODUCTION, BIDDING & SEDIMENT CONTROL PLAN | 01/07/25    | C-005 | FDP WATER & SEWER NOTES                | 01/22/25 |
| C-004       | EROSION & SEDIMENT CONTROL DETAILS          | ---         | C-001 | CONSTRUCTION DETAILS                   | ---      |
| C-001       | OVERALL SITE PLAN WITH AERIAL               | 02/27/25    | C-002 | CONSTRUCTION DETAILS                   | ---      |
| C-002       | OVERALL DIMENSION & LAYOUT PLAN             | 04/16/25    | C-003 | CONSTRUCTION DETAILS                   | ---      |
| C-003       | DIMENSION & LAYOUT PLAN (NORTH)             | 04/16/25    | C-004 | DRAINAGE DETAILS                       | ---      |
| C-004       | DIMENSION & LAYOUT PLAN (SOUTH)             | 04/16/25    | C-005 | DRAINAGE DETAILS                       | ---      |
| C-005       | TRUCK TURN EXHIBIT                          | ---         | C-006 | DETAIL SHEET REMOVED                   | 01/07/25 |
| C-006       | FOOT TURN LANE HORIZONTAL PLAN              | 9/20/24     | C-008 | MARION COUNTY UTILITY DETAILS          | 6/12/24  |
| C-007       | FOOT TURN LANE VERTICAL PLAN & SECTIONS     | 9/20/24     | C-009 | MARION COUNTY UTILITY DETAILS          | 6/12/24  |
| C-008       | FOOT RIGHT-OF-WAY DETAILS                   | 9/20/24     | C-010 | MARION COUNTY UTILITY DETAILS          | 11/07/24 |
| C-009       | FOOT RIGHT-OF-WAY DETAILS                   | 9/20/24     | C-011 | LEFT TURN DETAILS & SPECIFICATIONS     | 01/22/25 |
| C-010       | FOOT MAINTENANCE OF TRAFFIC PLAN            | 9/20/24     | C-060 | EXTERNAL LIGHTING PHOTOGRAPHIC PLAN    | ---      |
| C-011       | FOOT MAINTENANCE OF TRAFFIC PLAN            | 9/20/24     | C-062 | SITE LIGHTING DETAILS & SPECIFICATIONS | ---      |
| C-012       | OVERALL GRADING & DRAINAGE PLAN             | 01/07/25    | L5-1  | LANDSCAPE NOTES & DETAILS              | 12/16/24 |
| C-013       | GRADING & DRAINAGE PLAN (NORTH)             | 04/16/25    | L5-2  | LANDSCAPE PLAN                         | 12/16/24 |
| C-014       | GRADING & DRAINAGE PLAN (SOUTH)             | 01/07/25    | L5-3  | IRIGATION PLAN                         | 12/16/24 |
| C-015       | CROSS SECTIONS                              | 01/07/25    | IR-1  | IRIGATION NOTES & DETAILS              | 12/16/24 |
| C-016       | CROSS SECTIONS                              | 01/07/25    | IR-2  | IRIGATION PLAN                         | 12/16/24 |
| C-017       | OVERALL UTILITY PLAN                        | 02/27/25    | IR-3  | IRIGATION PLAN                         | 12/16/24 |
| C-018       | UTILITY PLAN (NORTH)                        | 04/16/25    | ---   | ---                                    | ---      |

#### IMPERVIOUS DATA:

| LAND COVER | AREA (SQ. FT.) | AREA (AC.) | AREA (%) | TOTAL AREA (AC.) |
|------------|----------------|------------|----------|------------------|
| OPEN SPACE | 398,545        | 9.15       | 94.2%    | 9.71             |
| IMPERVIOUS | 24,380         | 0.56       | 5.8%     |                  |
| OPEN SPACE | 134,560        | 3.18       | 30.9%    |                  |
| IMPERVIOUS | 273,925        | 6.29       | 61.1%    | 10.29            |
| DNA (DNA)  | 35,720         | 0.82       | 8.0%     |                  |

NOTE: DATA PROVIDED HEREIN IS BASED ON THE PRELIMINARY PHOTOGRAPHIC ANALYSIS AND ASSOCIATED EXISTING LIMITS OF THE SUBJECT PROPERTY. DUE TO FLOW PATTERNS, SEE SHEET C-102 FOR SUBJECT PROPERTY IMPROVEMENTS ASSOCIATED TO ZONING.

#### ENGINEER'S CERTIFICATION

I, JOHN J. STOECKEL, P.E., CERTIFY THAT THE CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS NOTED IMPROVEMENTS AS SHOWN ON THE PLAN.

#### OWNER'S CERTIFICATION

I, CORTA OCALA, LLC, CERTIFY THAT THE CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS NOTED IMPROVEMENTS AS SHOWN ON THE PLAN.

JOHN J. STOECKEL, P.E.  
PO BOX 2882 TAMPA, FL 33602  
PHONE: 813.724.4199

DATE

CORTA OCALA, LLC  
16322 SW 2ND AVE, MIAMI, FL 33157  
PHONE: 404.625.5119

DATE

CORTA OCALA, LLC  
16322 SW 2ND AVE, MIAMI, FL 33157  
PHONE: 404.625.5119

#### COVER SHEET

PROJECT NO.: 231396

CHECKED BY: JPS

DATE: 06/20/2025

SHEET NUMBER

C-001

MJ STOKES CONSULTING  
P.O. BOX 22821  
TAMPA, FL 33622  
813.724.4199  
INFO@MISTOKESCONSULTING.COM  
FLORIDA BUSINESS REGISTRY NO. 3448

| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 11  | 4/16/25  | REVISED PER SW 100TH ACCESS MODIFICATION                     |
| 10  | 2/27/25  | REVISED PER SHOPPING UTILITY MODIFICATIONS & REVIEW COMMENTS |
| 9   | 12/24/24 | REVISED PER WASTEWATER PERMIT REVIEW                         |
| 8   | 10/07/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE       |
| 7   | 10/07/24 | UPDATED PLANS FOR ACCESS & LOWE'S SITE AT TJC                |
| 6   | 10/07/24 | REGION OF CROSS COMMENTS & LOWE'S ACCESS/IMP                 |
| 5   | 10/07/24 | REGION OF CROSS COMMENTS & LOWE'S ACCESS/IMP                 |
| 4   | 10/07/24 | REGION OF CROSS COMMENTS & LOWE'S ACCESS/IMP                 |
| 3   | 10/07/24 | REGION OF CROSS COMMENTS & LOWE'S ACCESS/IMP                 |
| 2   | 10/07/24 | REGION OF CROSS COMMENTS & LOWE'S ACCESS/IMP                 |
| 1   | 10/07/24 | REGION OF CROSS COMMENTS & LOWE'S ACCESS/IMP                 |

#### Sunshine617

Call 811 or visit [sunshine617.com](http://sunshine617.com) before digging. Digging without proper permits may result in fines and penalties. Call 811 or visit [sunshine617.com](http://sunshine617.com) before digging. Digging without proper permits may result in fines and penalties.

Check positive response codes before you dig.

JOHN J. STOECKEL  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

PROJECT NAME  
MAJOR SITE PLAN  
CORTA COMMONS

FOR  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE



1. ENGINEER IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
2. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO THE ENGINEER IN WRITING PRIOR TO INITIATION OF SITE ACTIVITY.

- [illegible]

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|---|---|
| <br><br><br><br><br><br> | T.B.R.<br>TO BE REMOVED<br>DANGEROUS CONCRETE<br>DEMOLISH ASPHALT<br>RIGHT-OF-WAY<br>EXISTING SPOT ELEVATION<br>TREE TO BE REMOVED<br>INLET PROTECTION<br>SALT FENCE<br>TREE PROTECTION |
|---|---|

[illegible]

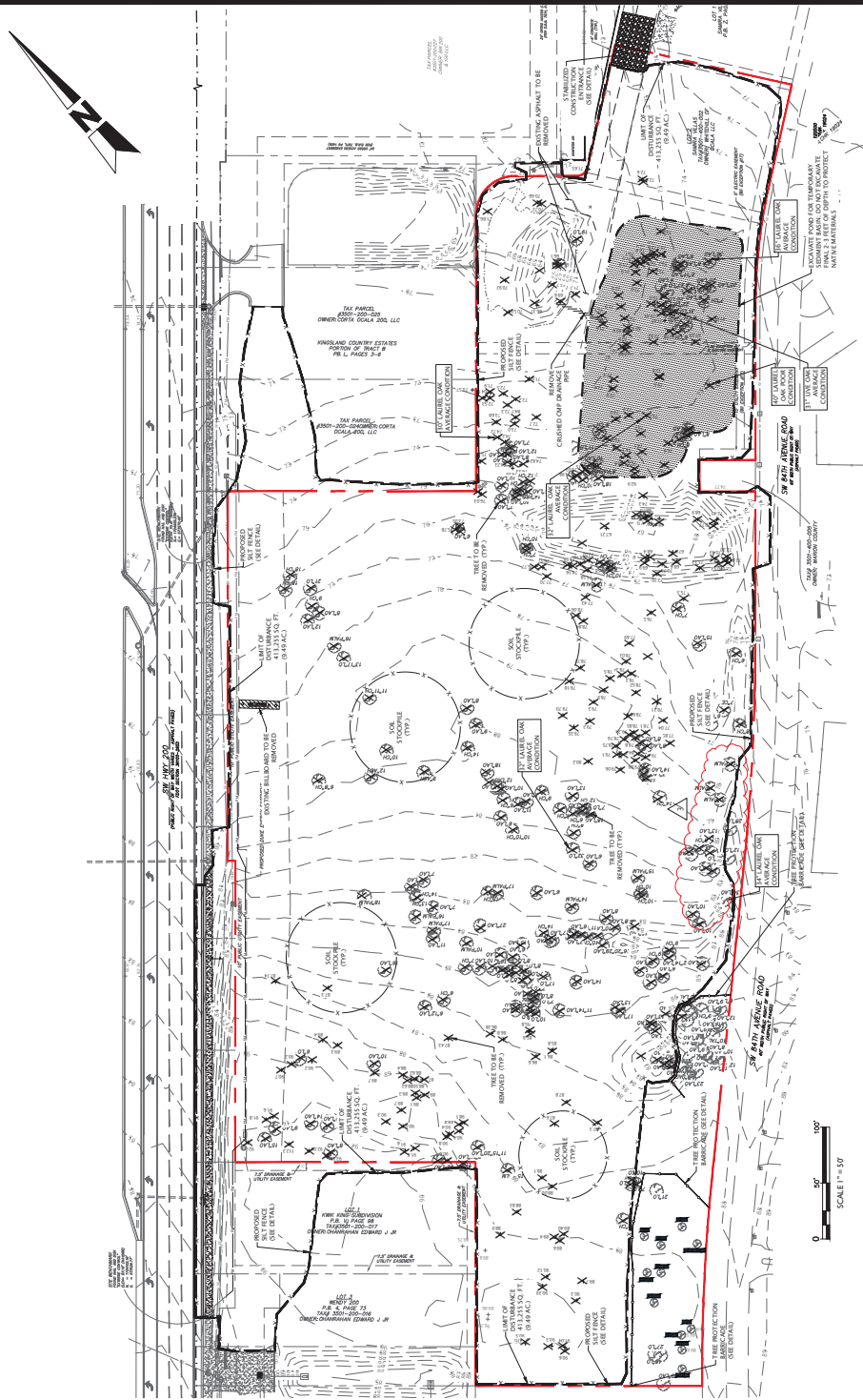
3. ALL DROSKOP CONTROL MEASURES SHALL BE MAINTAINED IN-PLACE UNTIL THE SITE HAS BEEN STABILIZED AND REVEGETATED.
4. CONSTRUCTION METHOD AND MATERIALS TO BE IN ACCORDANCE WITH SECTION 104-6 OF THE JOINTS DEVELOPMENT OF TRANSPORTATION STANDARDS CONSTRUCTION SPECIFICATIONS. JOINTS SHALL BE CONSIDERED AND MAINTAINED CONNECTED TO PREVENT ANY OPENING FROM OCCURRING.
5. SITE FILLING MAY ALSO REPRESENT CONSTRUCTION LIMIT BARRIERS. THEY SHALL BE ERECTED PRIOR TO INITIATION OF SITE CLEARING OPERATIONS NEAR MANTLES. BUFFER AREA AND MAINTAIN SHALL BE CONSIDERED. MAINTAIN SHALL BE ERECTED FOR PERMANENT ACTIVITIES. FAILURE TO INSTALL AND MAINTAIN BARRIERS MAY BE CAUSE FOR PENALTIES.
6. ALL DISTURBED AREAS OF SITE AND JOBSIDE OF THE PROTECTED PERMITTES SHALL BE SOODED IMMEDIATELY UPON COMPLETION OF WORK.

1. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEANING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN UNTIL THE AREAS COMPLETELY STABILIZED.
2. ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
3. TOPSOIL REQUIRED FOR THE REESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT SUFFICIENT TO COVER THE ENTIRE PROJECT AREA WITH A MINIMUM OF TWO INCHES.
4. STOCKPILES OF TOPSOIL SHALL BE COVERED WITH A STRIPPED TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER CONSIDERABLE MATERIAL.
5. STOCKPILES OF TOPSOIL SHALL BE SCARPED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.

6. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SURFACE SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, HIGHWAYS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
7. ALL FILL SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 6 INCHES IN THICKNESS.
8. FILL MATERIAL SHALL BE FREE OF BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OTHER OBSCURABLE MATERIAL THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILL.
9. SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
10. FILLS SHALL NOT BE PLACED ON SATURATED SURFACES.

1. ASSIGNED CONCRETE WASHOUT AREAS ARE REQUIRED ON ALL CONSTRUCTION SITES INVOLVING CONCRETE AND STUCCO USE.
2. THE CONTRACTOR SHALL REQUIRE ALL CONCRETE DRIVERS TO UTILIZE THE CONCRETE WASHOUTS ONSITE.
3. WASHOUT FACILITIES SHALL BE LOCATED AT LEAST 100 FEET AWAY FROM STORM INLETS, GUTTERS, OPEN DITCHES, AND WATER COURSES.
4. APPROPRIATE STONE SHOULD COVER PATHS TO CONCRETE WASHOUTS (SEE ACCESS DETAIL).
5. CONCRETE WASHOUT AREAS SHALL BE UNOBTAINED BY POSTING SIGNS ONSITE.
6. CONCRETE WASHOUTS ARE TO BE INSPECTED DAILY BY THE CONTRACTOR FOR LAKES OR TIEUPS IN PLASTER, UNPAVED DRIVEWAYS, DRIVEWAYS, AND DRIVEWAYS.

7. REMOVE AND DISPOSE OF ALL MATERIAL WHEN THE WASHOUT HAS FULFILLED TO 75% CAPACITY.
8. ONCE THE MATERIAL HAS BEEN CLEANED OUT OF THE CONCRETE WASHOUT FACILITY, THE FACILITY MUST BE INSPECTED FOR REBAR, RECONSTRUCTION OR REPLACEMENT. ALL PLASTIC LINING SHALL BE REMOVED AND REPLACED.
9. OPTIONS INCLUDE AN OUTSIDE PIT AND LINE WITH 10 MIL PLASTIC SHEETING OR CREATE AN ABOVE-GROUND STRUCTURE FROM STEEL WALKS OR SANDWICH WITH 10 MIL PLASTIC LINING.
10. RE-FABRICATED CONCRETE WASHOUTS MAY BE USED PROVIDED THEY MEET THE ABOVE MINIMUM REQUIREMENTS.

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**MJ**  
**STOKES**  
**CONSULTING**

| REVISED | REVISIONS | DATE     | DESCRIPTION                          |
|---------|-----------|----------|--------------------------------------|
| 10      | REVISED   | 02/27/25 | REVIEWER COMMENTS: REVIEWER COMMENTS |
| 9       | REVISED   | 02/27/25 | REVIEWER COMMENTS: REVIEWER COMMENTS |
| 8       | REVISED   | 02/27/25 | REVIEWER COMMENTS: REVIEWER COMMENTS |
| 7       | REVISED   | 02/27/25 | REVIEWER COMMENTS: REVIEWER COMMENTS |
| 6       | REVISED   | 02/27/25 | REVIEWER COMMENTS: REVIEWER COMMENTS |
| 5       | REVISED   | 02/27/25 | REVIEWER COMMENTS: REVIEWER COMMENTS |
| 4       | REVISED   | 02/27/25 | REVIEWER COMMENTS: REVIEWER COMMENTS |
| 3       | REVISED   | 02/27/25 | REVIEWER COMMENTS: REVIEWER COMMENTS |
| 2       | REVISED   | 02/27/25 | REVIEWER COMMENTS: REVIEWER COMMENTS |
| 1       | REVISED   | 02/27/25 | REVIEWER COMMENTS: REVIEWER COMMENTS |

**Sunshine811** 

Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

MAJOR SITE PLAN  
CORTA COMMONS

FOR

CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

DEMOLITION &  
EROSION  
CONTROL PLAN

|                           |
|---------------------------|
| PROJECT NO: 23-3306       |
| CHECKED BY: JJS           |
| VERTICAL DATUM: NAVD 1988 |
| DATE: 03/29/2024          |
| SHEET NUMBER              |

C-003











| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 10  | 12/27/25 | REVISED PER SHOPPER UTILITY MODIFICATIONS & REVIEW COMMENTS    |
| 09  | 11/07/24 | REVISED PER ROADWAY PERMIT REVIEW                              |
| 08  | 11/07/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE         |
| 07  | 11/07/24 | UPDATED PLANS FROM RE-DESIGN FOR PERMIT MODIFICATION SUBMITTAL |
| 06  | 10/17/24 | RE-DESIGN OF CROSS ACCESS & LOW-DECK SITE AT TJC               |
| 05  | 10/07/24 | REVISIONS PER FOOT ACCESS & FORDHAM ALLOCATION                 |
| 04  | 09/20/24 | REVISIONS PER FOOT ACCESS & FORDHAM ALLOCATION                 |
| 03  | 09/20/24 | REVISIONS TO BUILDING PER ALLOCATION                           |
| 02  | 09/20/24 | REVISIONS PER CONCRETE, SWAYING & FOOT REVIEW COMMENTS         |
| 01  | 09/20/24 | REVISION PER CONCRETE, SWAYING & FOOT REVIEW COMMENTS          |

**Sunshine**  
Call 811 or visit [sunshine.fl.gov](http://sunshine.fl.gov) before any business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

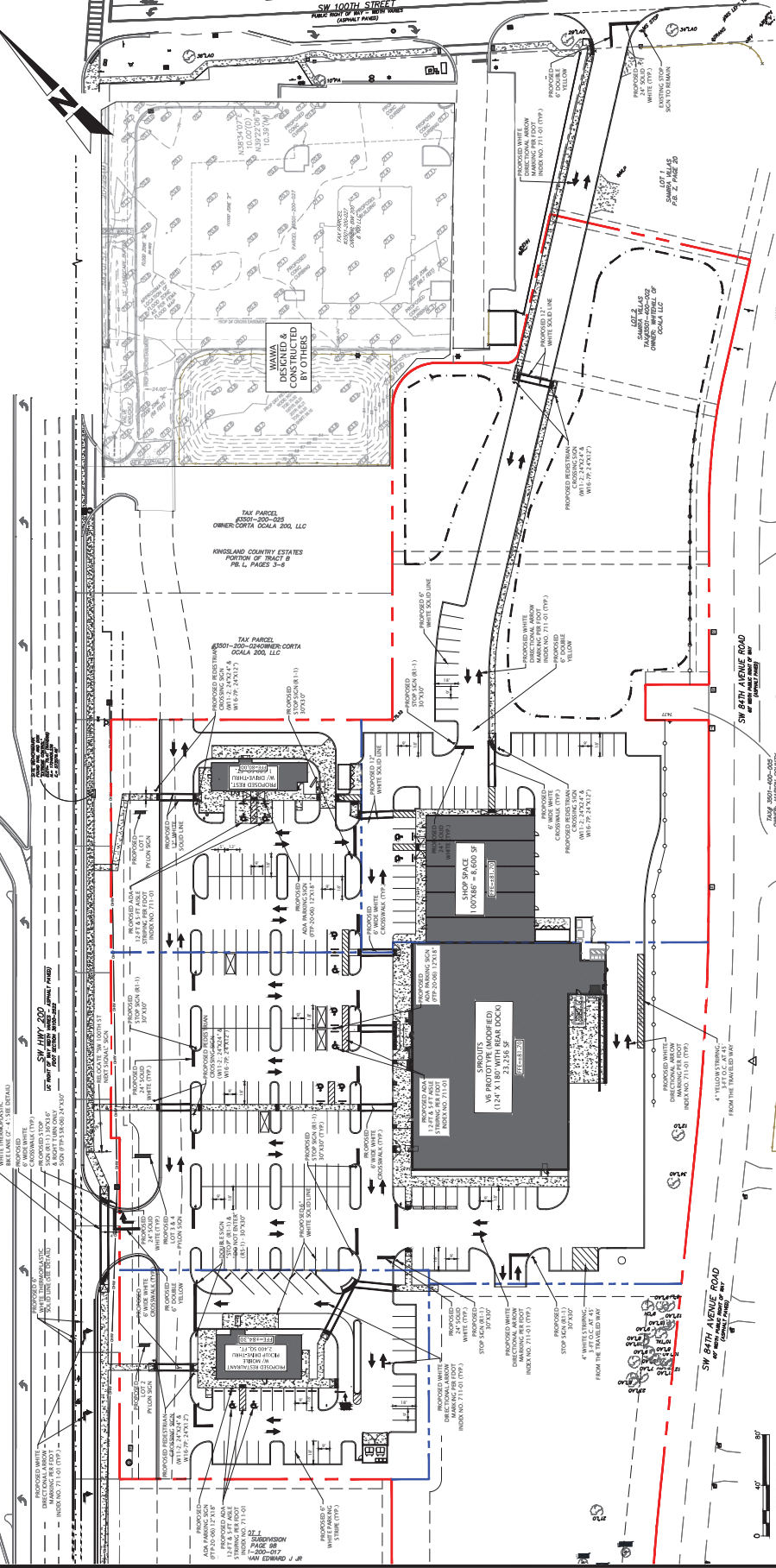
**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80738

PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**

FOR  
**CORTA OCALA, LLC**  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE  
**OVERALL SIGNING & MARKING PLAN**

PROJECT NO.: 23-336  
CHECKED BY: JPS  
DATE: 06/20/2025  
DATE: 06/20/2025  
SHEET NUMBER  
**C-105**



**LEGEND:**

ADJACENT PROPERTY LINE  
PROPERTY BOUNDARY  
EXISTING FENCE  
PROPOSED CONCRETE  
PROPOSED WAD UTILITY  
EXISTING UTILITY  
PROPOSED UTILITY  
PROPOSED EASEMENT

**TREE LEGEND:**

10"O = TREE LOCATION & SIZE  
LO = LIVE OAK  
CP = CABBAGE PALM  
LAO = LAUREL OAK

**DO NOT ENTER**  
R5-1  
(24"x24")

**STOP**  
R1-1  
(30"x30")

**ONE WAY**  
R6-1L  
(36"x12")

**ONE WAY**  
R6-1R  
(36"x12")

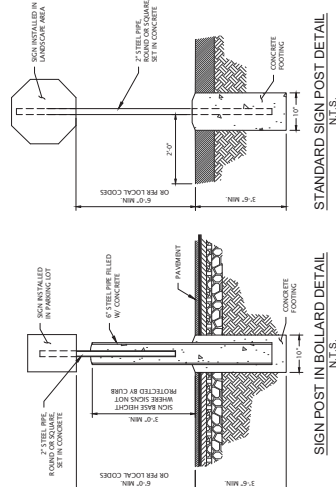
**W16-7P**  
(24"x12")  
SIGN LEGEND

**W11-2**  
(30"x30")

**W16-2**  
(30"x30")

**W16-1L**  
(36"x12")

**W16-1R**  
(36"x12")



**GENERAL NOTES:**

1. BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION OBTAINED FROM A SURVEY ENTITLED "ALTAIR/PLANS LAND TITLE SURVEY LOCATED IN SECTIONS 24 & 25, TOWNSHIP 15-SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA," PREPARED BY CHW PROFESSIONAL CONSULTANTS, LIMITED MARCH 16, 2023.

2. THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.

**MJ STOKES CONSULTING**

P.O. BOX 22821  
TAMPA, FL 33622  
813.724.1199  
INFO@MJSTOKESCONSULTING.COM

FLORIDA BUSINESS REGISTRY NO. 3448

REVISED REAR SHOPEL UTILITY MODIFICATIONS & REVIEW COMMENTS

REVISED REAR WASTEWATER PERMIT REVIEW

PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE

UPDATED PLANS FROM REDESIGN FOR PERMIT MODIFICATION SUBMITTAL

REDESIGN OF CROSS ACCESS & LOWEST SITE AT TJC

REDESIGN REAR FOOT ACCESS & FORDCHMAN RELOCATION

REVISION TO BURIED WATER RELOCATION

REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS

| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 01  | 01/24/24 | REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |
| 02  | 01/24/24 | REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |
| 03  | 01/24/24 | REVISION TO BURIED WATER RELOCATION                            |
| 04  | 01/24/24 | REVISION REAR FOOT ACCESS & FORDCHMAN RELOCATION               |
| 05  | 01/24/24 | REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |
| 06  | 01/24/24 | REDESIGN OF CROSS ACCESS & LOWEST SITE AT TJC                  |
| 07  | 01/24/24 | UPDATED PLANS FROM REDESIGN FOR PERMIT MODIFICATION SUBMITTAL  |
| 08  | 01/24/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE         |
| 09  | 01/24/24 | REDESIGN REAR FOOT ACCESS & FORDCHMAN RELOCATION               |
| 10  | 01/24/24 | REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |

**Sunshine**

Call 811 or visit [www.sunshine11.com](http://www.sunshine11.com) before any business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80718

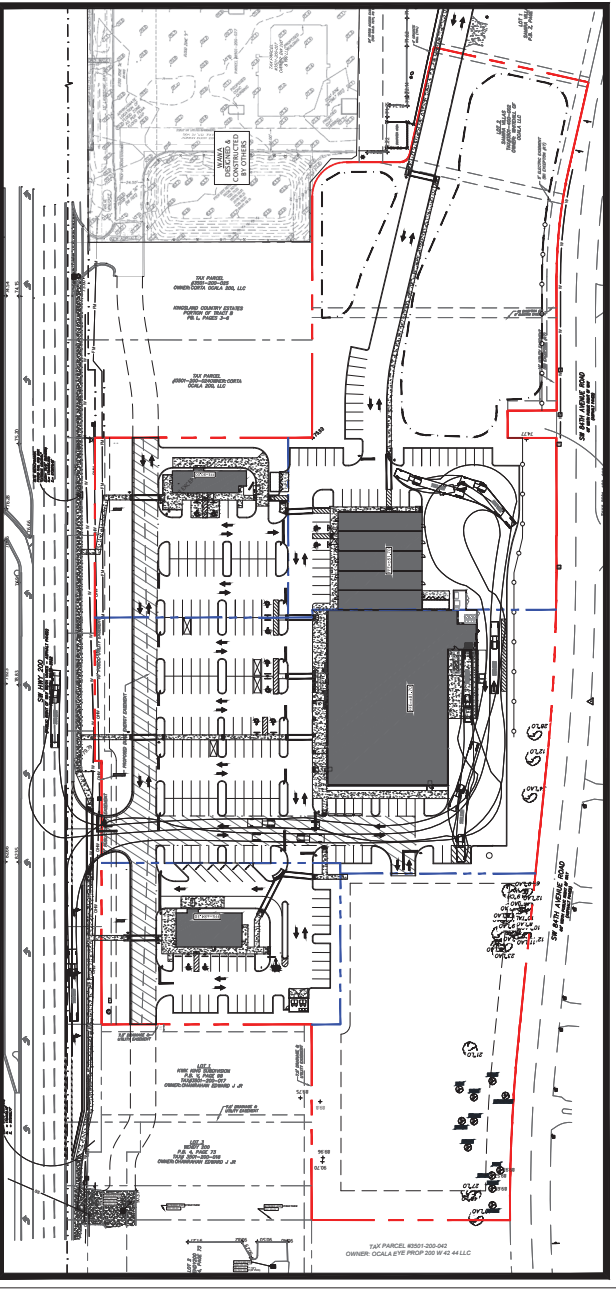
PROJECT NAME  
**MAJOR SITE PLAN  
CORTA COMMONS**

FOR  
**CORTA OCALA, LLC**  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

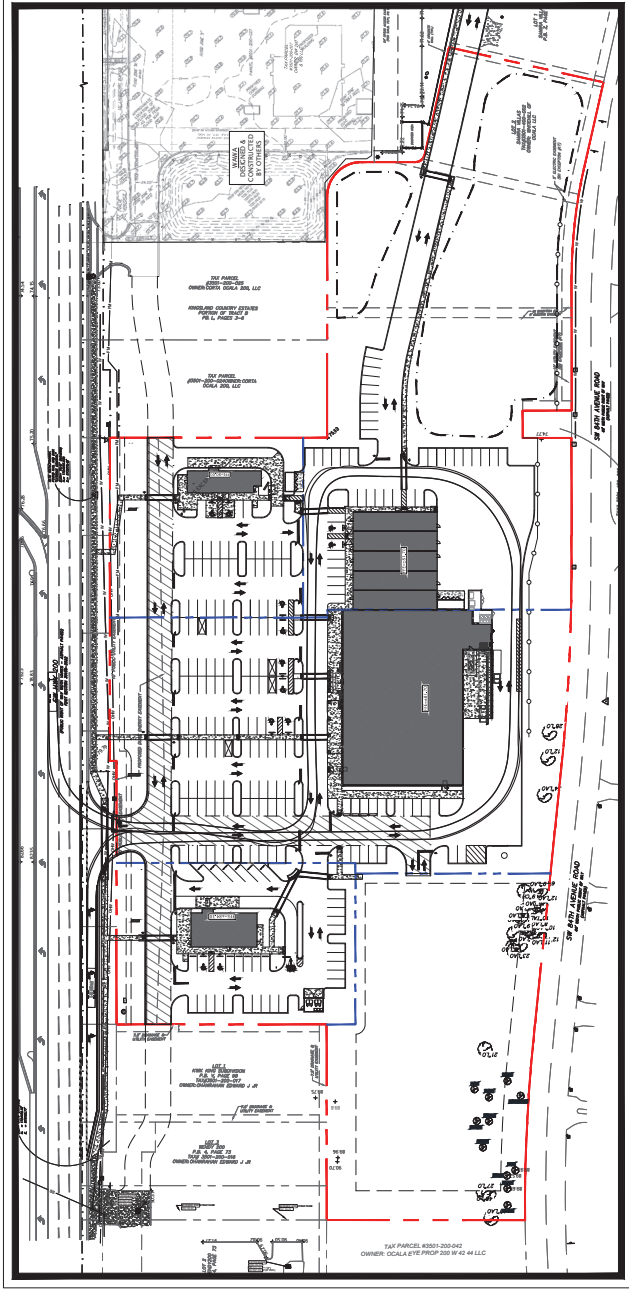
SHEET TITLE  
**TRUCK TURN  
EXHIBIT**

PROJECT NO.: 231386  
CHECKED BY: JPS  
DATE: 01/24/24  
DRAWN BY: JPS  
DATE: 01/24/24  
SHEET NUMBER

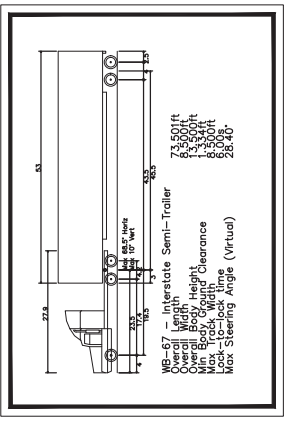
**C-106**



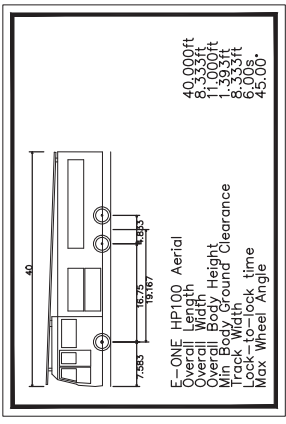
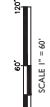
SPROUTS DELIVERY CIRCULATION EXHIBIT  
SCALE 1" = 60'



FIRE & RESCUE CIRCULATION EXHIBIT  
SCALE 1" = 60'

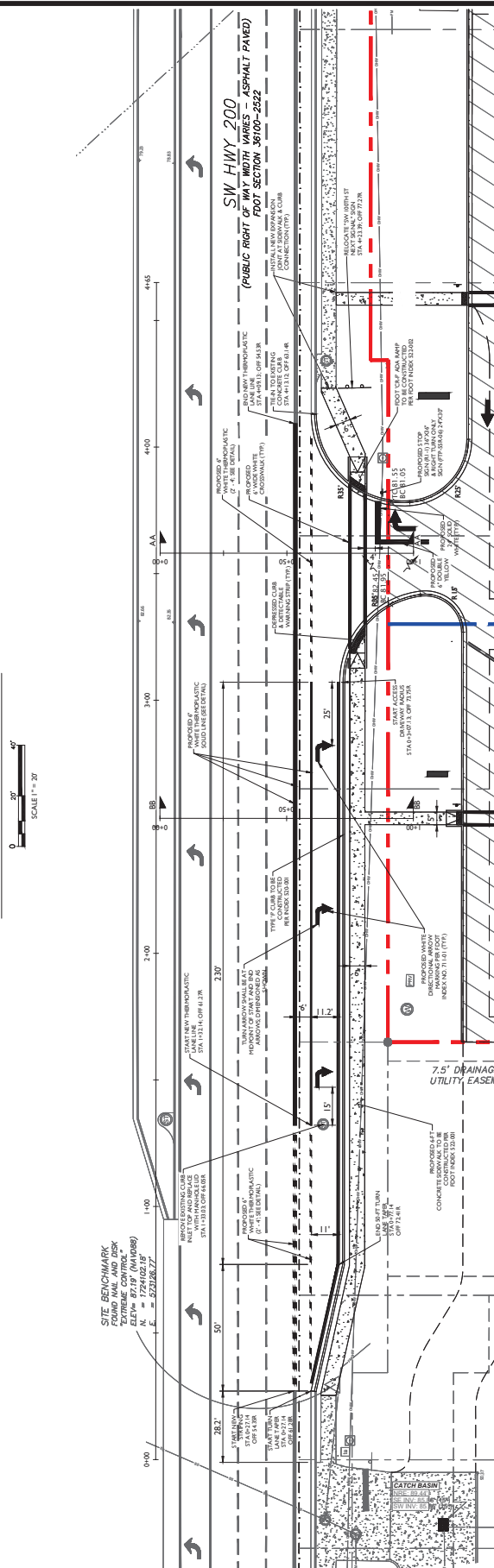
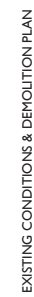
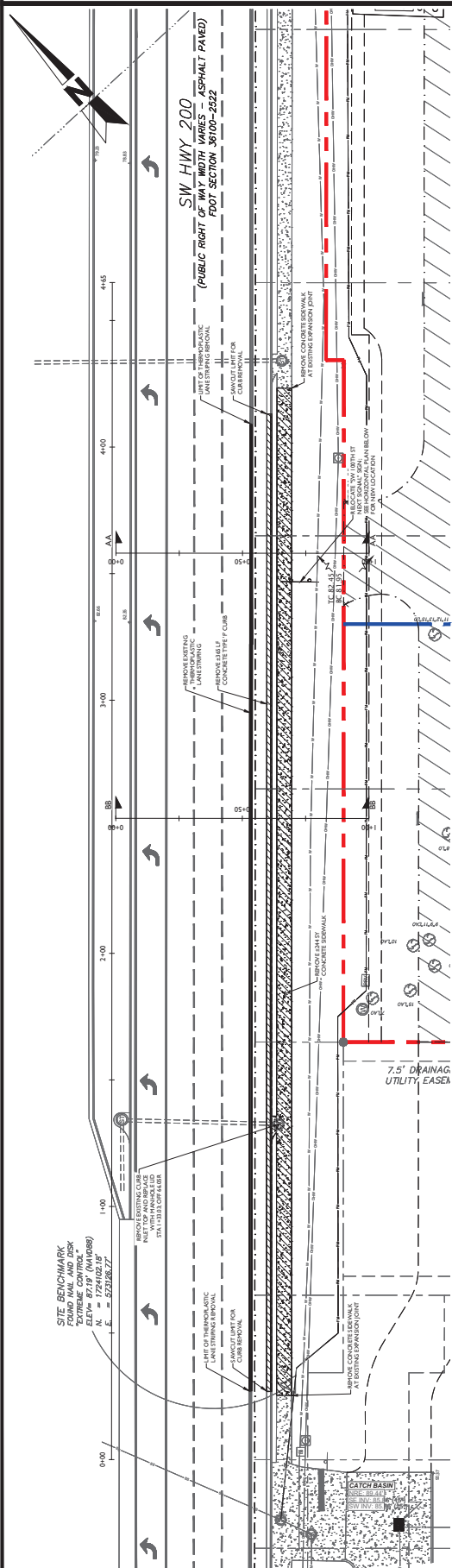


SPROUTS DELIVERY TRUCK (WB67)



TRACKING VEHICLE - E-ONE HP100 AERIAL

NOTE:  
E-ONE HP100 AERIAL NOT AVAILABLE IF VEHICLE IN LIBRARY.  
HP100 MEETS OR EXCEED ALL DIMENSIONS & TURNING CONDITIONS AND AS SUCH  
TRACKING PATH EXCEEDS REQUIRED BY COUNTY HP28 AERIAL



**LEGEND:**

- ADJACENT PROPERTY LINE
- PROPERTY BOUNDARY
- PROPOSED CONCrete CURB
- PROPOSED CONCrete
- LANDSCAPE BUFFER
- PROPOSED AND SETBACK
- PROPOSED MAILING
- PROPOSED EMBLEM
- PROPOSED TRAFFIC SIGN
- PARKING SPACE COUNT

| REV | DATE     | DESCRIPTION |
|-----|----------|-------------|
| 01  | 6/1/24   | REVISION    |
| 02  | 8/01/24  | REVISION    |
| 03  | 9/05/24  | REVISION    |
| 04  | 9/20/24  | REVISION    |
| 05  | 10/07/24 | REVISION    |
|     |          |             |
|     |          |             |
|     |          |             |

**Sunshine 811** 

Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.

*Check positive response codes before you dig!*

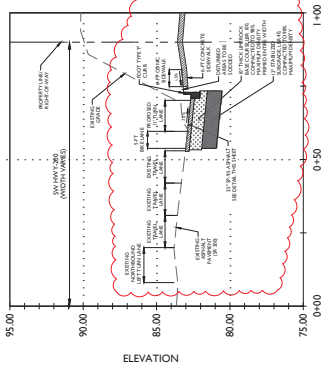
|   |   |
|---|---|
| JOHN J. STOECKEL<br>FLORIDA PROFESSIONAL ENGINEER<br>LICENSE NO. 807758 | MAJOR SITE PLAN<br>CORTA COMMONS<br>FOR<br>CORTA OCALA, LLC<br>SW HWY 200 - OCALA<br>MARION COUNTY, FLORIDA |
|---|---|

FDOT TURN LANE  
HORIZONTAL PLAN

PROJECT NO.: 23-3306  
CHECKED BY: JJS  
VERTICAL DATUM: NAVD 1988  
DATE: 03/29/2024  
SHEET NUMBER  
**C-201**

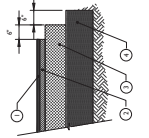
[illegible]

HOR. SCALE 1" = 20'



HOR. SCALE: 1" = 20'  
VER. SCALE 1" = 4'

- ① 1" OF FC-9.5 ASPHALT INSTALLED IN (1) LIFT
- ② 3.5" OF SP-9.5 ASPHALT INSTALLED IN (2) LIFT  
INITIAL LIFT MAY SUBSTITUTE SP12.5 TESTED  
PER FOOT LATEST EDITION INSTALLED IN ONE  
LIFT
- ③ 10" THICK LIMBROCK OR CRUSHED CONCRETE  
MIN. LBR 100, COMPACTED TO A MIN. OF 98%  
MAXIMUM DENSITY PER ASHTO T-180
- ④ 12" THICK STABILIZED SUBGRADE, MIN. LBR 40,  
COMPACTED TO A MIN. OF 98% MAXIMUM  
DENSITY PER ASHTO T-180



1. TOPOGRAPHIC AND TIE INFORMATION SHOWN HEREON IS TAKEN FROM A SURVEY ENTITLED "TOPOGRAPHIC SURVEY SITUATION 1928" CONDUCTED BY THE FIRM OF J. H. HARRIS & SONS, INC., OF 20 EAST MARION COUNTY AVENUE, TALLAHASSEE, FLORIDA 32301, AS A PROFESSIONAL CONSULTANT AND DATED JULY 29, 1928.
2. HORIZONTAL AND VERTICAL DATUM (NAVD83) ARE AND/OR REFERENCED SURFACE.
3. THIS CONTRACT SHALL BE SUBJECT TO THE PROVISIONS AND REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, NINTH EDITION, PREPARED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) PRIOR TO AMPLIFICATION.
4. THE ENGINEER SHALL BE RESPONSIBLE FOR THE NECESSARY MAINTENANCE OF TRAFFIC PATHS TO BE MAINTAINED.
5. THE ENGINEER IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION OF THE CONTRACTOR'S PERSONNEL OR EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF HIS PERSONNEL, EQUIPMENT AND MATERIALS, FOLLOWING ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
6. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH LOCAL REGULATIONS. ANY PERMITS OR ORDINANCES SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE BEGINNING OF ANY DEMOLITION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN.

1. MINIMUM OF 18 INCHES OF SEPARATION BETWEEN CONCRETE BASE AND THE SEASONAL HIGH GROUNDWATER LEVEL SHOULD BE MAINTAINED, OR 24 INCHES OF SEPARATION BETWEEN THE LINE ROCK BASE AND SEASONAL HIGH GROUNDWATER LEVEL.
2. THE SUBGRADE SHALL BE COMPACTED TO A MIN. OF 98% MAXIMUM DENSITY PER AASHTO T-180 AND SHALL EXTEND 6 INCHES MINIMUM BEYOND EDGE OF PAVEMENT.
3. CONTRACTOR SHALL INVESTIGATE EXISTING PAVEMENT SECTION OF SW HWY-200 AND IF DEVIATION FROM THE EXISTING DESIGN NO. SHALL MATCH EXISTING PAVEMENT SECTION AND REPORT TO ASR PRIOR TO WORK.
4. EXISTING PAVEMENT EDGE SHALL BE MAINTAINED UNTIL CURB IS REMOVED AND SHALL BE GRADUALLY AND STEPPED TO MATCH EXISTING PAVEMENT.

## FDOT TURN LANE PAVEMENT SECTION DETAILS

**MJ**  
STOKES  
CONSULTING

[illegible]

**Sunshine 811** 

Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 90758

PROJECT NAME: MAJOR SITE PLAN  
CORTA COMMONS

FOR  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

FDOT TURN LANE  
VERTICAL PLAN  
& SECTIONS

|                           |
|---------------------------|
| PROJECT NO: 23-3306       |
| CHECKED BY: jjs           |
| VERTICAL DATUM: NAVD 1988 |
| DATE: 03/29/2024          |
| SHEET NUMBER              |

C-202

[illegible]

| REV | DATE  | DESCRIPTION   |
|-----|-------|---|
| 01  | 12/24 | REVISION PER PLANNING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS  |
| 02  | 05/24 | REVISION PER COUNTY, SWAMPED & FOOT REVIEW COMMENTS               |
| 03  | 05/24 | REVISION TO BURNER PER RESOLUTION                                 |
| 04  | 02/24 | REVISIONS PER FOOT ACCESS & FORKLEIN RELOCATION                   |
| 05  | 01/24 | REVISIONS PER PLANNING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |
| 06  | 01/24 | REVISIONS PER PLANNING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |
| 07  | 01/24 | REVISIONS PER PLANNING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |
| 08  | 01/24 | REVISIONS PER PLANNING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |
| 09  | 01/24 | REVISIONS PER PLANNING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |
| 10  | 01/24 | REVISIONS PER PLANNING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |

REVISIONS



Call 811 or visit [www.floridaclearing.com](http://www.floridaclearing.com) 1-800-368-5888  
business days before opening to have  
buried facilities located and marked.  
Check positive response codes before you dig!

JOHN J. STOECKEL  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80738

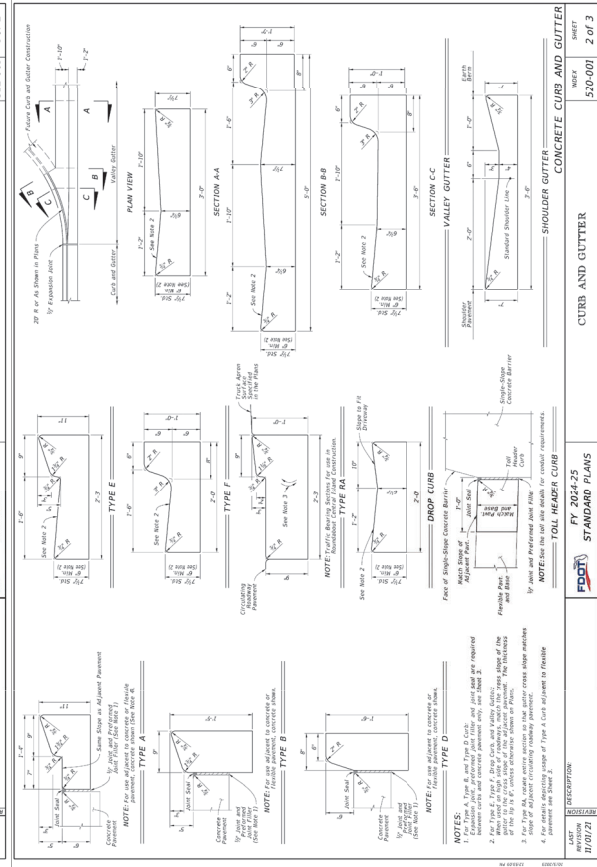
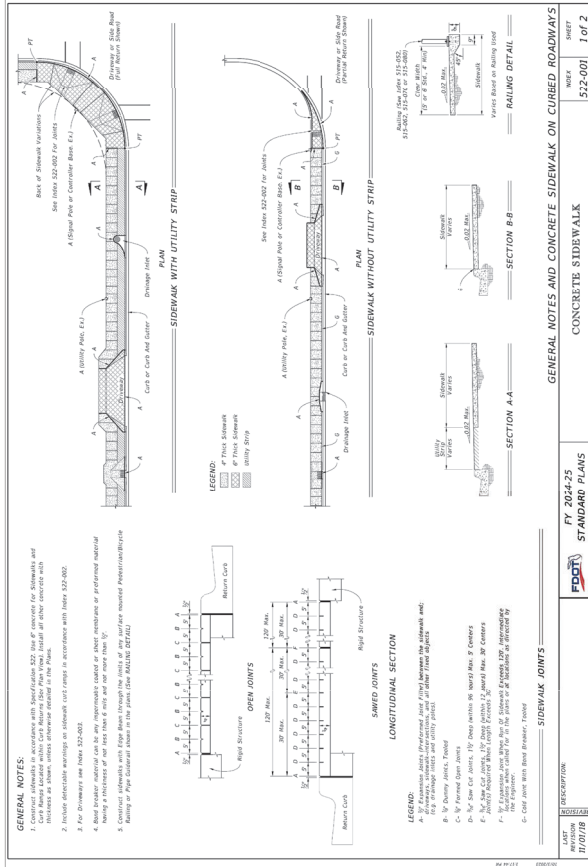
PROJECT NAME  
MAJOR SITE PLAN  
CORTA COMMONS  
FOR

CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

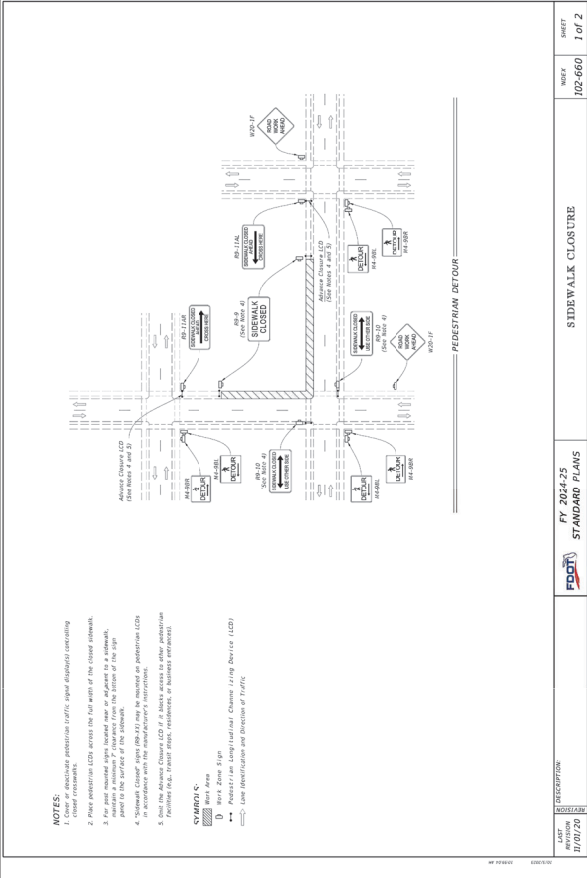
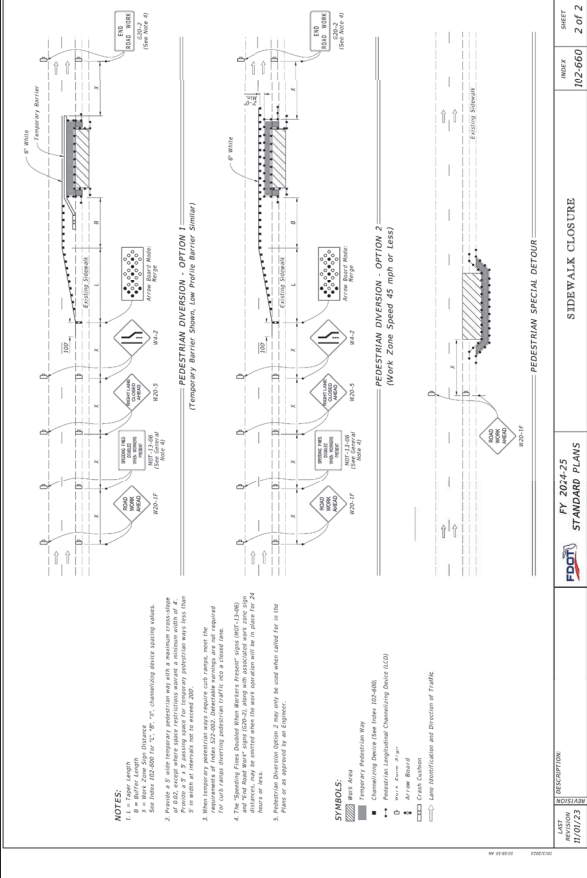
SHEET TITLE  
FDOT  
RIGHT-OF-WAY  
DETAILS

PROJECT NO. 21-3386  
CHECKED BY: JPS  
DATE: 01/24/24  
SHEET NUMBER

C-204







1. BOUNDARY, TOPOGRAPHIC AND TREE INFORMATION SHOWN TAKEN FROM A SURVEY ENTITLED "ALPINE LAND TITLE SURVEY LOCATED IN SECTIONS 24 & 35, TOWNSHIP 15 SOUTH, RANGE 8 EAST, HAMILTON COUNTY, GEORGIA," PREPARED BY CHY PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2013.
2. THE HORIZONTAL VERTICAL DATUMS ARE ABOVE REFERENCED SURVEY.
3. ACCORDING TO THE FLOOD INSURANCE MAP FOR COUNTY, FLORIDA, CUMULATIVE PANEL NUMBER 10, MAP NAME NUMBER 1288-000-000, EFFECTIVE DATE 01/19/2017, THE SUBJECT PARCEL IS LOCATED WITHIN THE FLOOD HAZARD ZONE OF THE PARCEL.
4. THE SUBJECT PARCEL IS LOCATED WITHIN THE FLOOD HAZARD ZONE OF THE PARCEL WITHIN THE TOWN OF BANK UNITED OF THE LOND WITHIN LOT 1 OF SANNA VILLAG AS DEPICTED ON THE SURVEY REFERRED ABOVE. ABOVE ELEVATION OF 73.17' IN PARAS.
5. SURVEY INFORMATION SHOWN HEREIN IS TAKEN FROM A REPORT ENTITLED "GEOLOGICAL INVESTIGATION OF THE SUBSTRATE OF THE PROJECT SITE," PREPARED BY ANDREY ENGINEERING, INC. DATED NOVEMBER 3, 2012.
6. ALL CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS AND PERMIT CONDITIONS FROM LOCAL, STATE, AND FEDERAL AGENCIES, AS APPLICABLE. THE CONTRACTOR SHALL ACQUIRE A COPY OF ALL PERMITS REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS BEFORE PERMITS ARE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

1. PROPOSED GRADE ELEVATIONS SHOWN AT BUILDING LINE ARE GROUND ELEVATIONS.
2. PROPOSED SPOT ELEVATIONS IN PAVEMENT AREAS ARE TOP OF FINISHED PAVEMENT.
3. A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO OBTAIN COMPLIANCE OF ALL MATERIALS WITH THE SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL TESTING. THE CONTRACTOR WILL BE ALLOWED TO FORFEIT ANY TESTS TO MEET THE REQUIREMENTS. THE CONTRACTOR WILL BE ALLOWED TO FORFEIT ANY TESTS TO MEET THE REQUIREMENTS. THE CONTRACTOR WILL BE ALLOWED TO FORFEIT ANY TESTS TO MEET THE REQUIREMENTS.
4. ALL DESTRUCTIVE SURVEILLANCE MATERIAL (MUCK, RPT. BURIED DEBRIS) IS TO BE EXCAVATED IN THE EXISTING PAVEMENT AND REMOVED TO THE NEAREST CONSTRUCTION AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL EXCAVATED MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL EXCAVATED MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL EXCAVATED MATERIAL.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXCAVATED MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXCAVATED MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXCAVATED MATERIAL.
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7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXCAVATED MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXCAVATED MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXCAVATED MATERIAL.

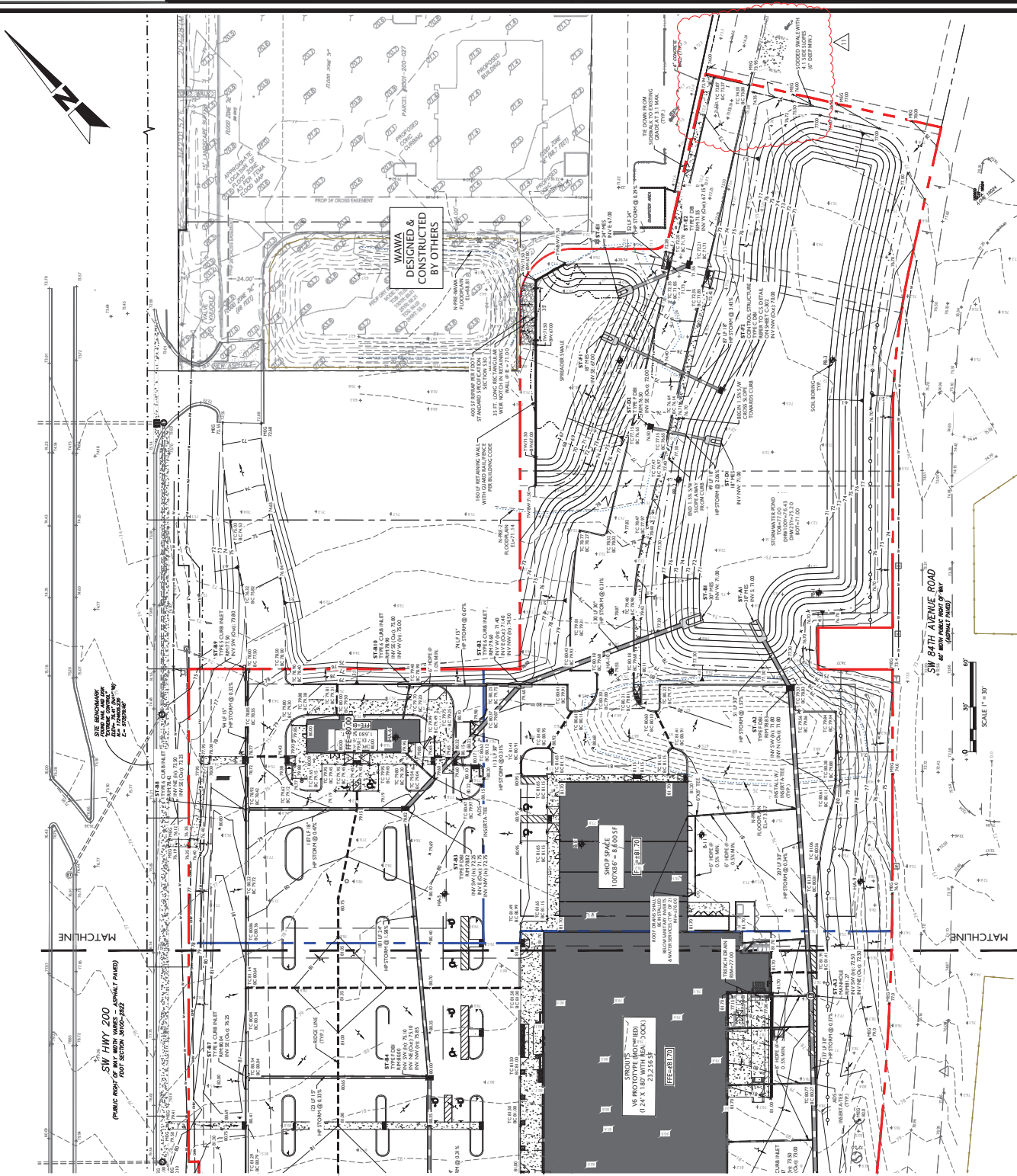
1. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT WITH SITE SPECIFIC GEOTECHNICAL REPORT FOR THE SITE, AS WELL AS THE TESTING SCHEDULE REQUIRED BY FDOT AND THE AFFECTED MUNICIPALITY. UPON COMPLETION OF WORK, THE SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER AND OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.

2. A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE IN-PLACE MATERIALS AS REQUIRED BY THESE PLANS AND THE VARIOUS AGENCIES. CONSIDERATION SHOULD BE GIVEN, ALTHOUGH NOT REQUIRED, TO THE GEOTECHNICAL ENGINEER PROVIDING RECOMMENDATIONS FOR THIS SITE PROJECT. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL COSTS OF SAID RETESTING.

[illegible][illegible][illegible]

GENERAL NOTES:

1. BOUNDARY, TOPOGRAPHIC AND TITLE INFORMATION SHOWN ON THIS PLAN IS BASED ON THE SURVEY DATED APRIL 17, 2017. THE SUBJECT PARCELS APPEAR TO FALL WITHIN SPECIAL FLOOD HAZARD ZONE 1 (SPECIAL FLOOD HAZARD ZONE 1) AS SHOWN ON THE FLOOD HAZARD MAP DATED APRIL 17, 2017. THE SURVEY WAS CONDUCTED BY CHW PROFESSIONAL CONSULTANTS, LIMITED, TAMPA, FL 33622.
2. THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
3. ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, THE SUBJECT PARCELS ARE LOCATED WITHIN SPECIAL FLOOD HAZARD ZONE 1 (SPECIAL FLOOD HAZARD ZONE 1) AS SHOWN ON THE FLOOD HAZARD MAP DATED APRIL 17, 2017. THE SURVEY WAS CONDUCTED BY CHW PROFESSIONAL CONSULTANTS, LIMITED, TAMPA, FL 33622.
4. SUBSURFACE INFORMATION SHOWN HEREON IS TAKEN FROM A REPORT ENTITLED "GEOTECHNICAL INVESTIGATION, MARION COUNTY, FLORIDA" PREPARED BY ANDREI ENGINEERING, INC. DATED NOVEMBER 3, 2022.
5. ALL CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS OF THE MARION COUNTY, FLORIDA DEPARTMENT OF PUBLIC WORKS, MARION COUNTY, FLORIDA, AND OUTSTANDING ORDINANCES. THE CONTRACTOR SHALL KEEP A RECORD OF ALL PERMITS OBTAINED ON SITE. ALL APPLICABLE PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.



**MJ STOKES CONSULTING**  
P.O. BOX 22821  
TAMPA, FL 33622  
813.734.1199  
INFO@MSTOKESCONSULTING.COM  
FLORIDA BUSINESS REGISTRY NO. 3448

| REV | DATE     | DESCRIPTION                              |
|-----|----------|--|
| 11  | 11/14/23 | REVISED PER SW 100TH ACCESS MODIFICATION |
| 10  | 11/14/23 | REVISED PER SW 100TH ACCESS MODIFICATION |
| 9   | 11/14/23 | REVISED PER SW 100TH ACCESS MODIFICATION |
| 8   | 11/14/23 | REVISED PER SW 100TH ACCESS MODIFICATION |
| 7   | 11/14/23 | REVISED PER SW 100TH ACCESS MODIFICATION |
| 6   | 11/14/23 | REVISED PER SW 100TH ACCESS MODIFICATION |
| 5   | 11/14/23 | REVISED PER SW 100TH ACCESS MODIFICATION |
| 4   | 11/14/23 | REVISED PER SW 100TH ACCESS MODIFICATION |
| 3   | 11/14/23 | REVISED PER SW 100TH ACCESS MODIFICATION |
| 2   | 11/14/23 | REVISED PER SW 100TH ACCESS MODIFICATION |
| 1   | 11/14/23 | REVISED PER SW 100TH ACCESS MODIFICATION |

**Sunshine**  
Call 811 or visit [www.sunshine811.com](http://www.sunshine811.com) before any business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

**PROJECT NAME**  
MAJOR SITE PLAN  
CORTA COMMONS  
FOR  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

**SHEET TITLE**  
GRADING &  
DRAINAGE PLAN

**PROJECT NO.** 23-1396  
**CHECKED BY:** JPS  
**DATE:** 10/18/2022  
**SHEET NUMBER**  
**C-302**

[illegible]

**LEGEND:**

|                           |  |
|---------------------------|--|
| ADJACENT PROPERTY LINE    |  |
| PROPERTY BOUNDARY         |  |
| PROMISED CONCRETE         |  |
| PROMISED DRIVEWAY         |  |
| EXISTING LOT ELEVATION    |  |
| PROMISED LOT ELEVATION    |  |
| PROMISED CONTOUR          |  |
| BENCHMARK                 |  |
| BLANKET TEST LOCATION     |  |
| DRAIN INLET               |  |
| SURFACE DRAIN LINE        |  |
| DRAINAGE DITCH LINE       |  |
| STORM SEWER DRAINAGE LINE |  |

| REVISIONS |          |  |     |
|-----------|----------|--|-----|
| 10        | 2/27/22  | REVIEW PER SHOPPER UTILITY MODIFICATIONS & REVIEW COMMENTS | JSF |
| 09        | 1/27/22  | REVIEW PER PER WASTEWATER PERMIT REVIEW                    | JSF |
| 08        | 11/10/21 | PERMIT MODIFICATION REVIEW UTILITY UTILITY DAMAGE          | JSF |
| 07        | 10/11/21 | REDESIGN OF CROSS ACCESS & LOWEDED SITE AT 75C             | JSF |
| 06        | 10/19/21 | REVISIONS PER ROAD ACCESS & LOWEDED SITE AT 75C            | JSF |
| 04        | 9/28/21  | REVISIONS PER ROAD ACCESS & LOWEDED SITE AT 75C            | JSF |
| 03        | 9/28/21  | REVISIONS PER ROAD ACCESS & LOWEDED SITE AT 75C            | JSF |
| 02        | 8/10/21  | REVISIONS PER ROAD ACCESS & LOWEDED SITE AT 75C            | JSF |
| 01        | 8/10/21  | REVISIONS PER ROAD ACCESS & LOWEDED SITE AT 75C            | JSF |

**Sunshine811** 

Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.

Check for nearby overhead cables before digging.

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

PROJECT NAME: MAJOR SITE PLAN  
CORTA COMMONS

FOR

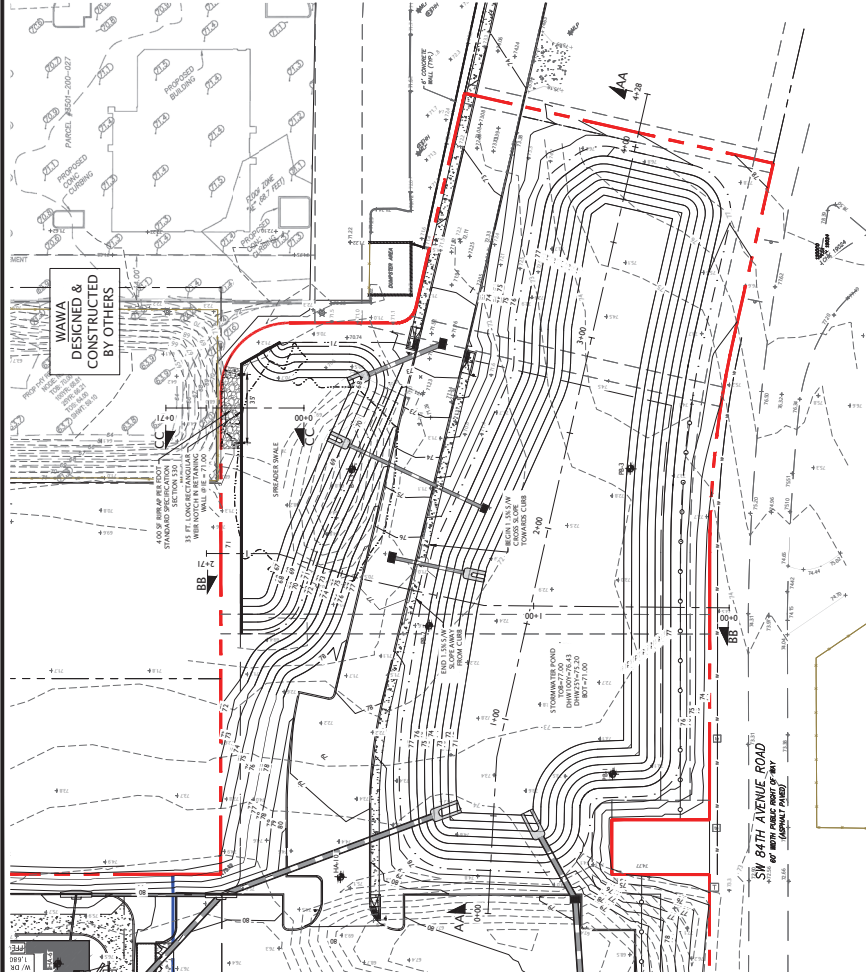
CORIA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE  
**GRADING &  
 DRAINAGE PLAN**

|                 |            |
|-----------------|------------|
| PROJECT NO:     | 23-3 306   |
| CHECKED BY:     | JJS        |
| VERTICAL DATUM: | NAVD 1988  |
| DATE            | 03/29/2024 |
| SHEET NUMBER    |            |

C-303

**MJ**  
**STOKES**  
CONSULTING



SCALE 1" = 30'

**LEGEND:**

|                        |                   |                         |                         |                  |                  |                        |                        |            |          |                           |
|------------------------|-------------------|-------------------------|-------------------------|------------------|------------------|------------------------|------------------------|------------|----------|---------------------------|
| ADJACENT PROPERTY LINE | PROPOSED DRIVEWAY | EXISTING SPOT ELEVATION | PROPOSED SPOT ELEVATION | EXISTING CONTOUR | PROPOSED CONTOUR | EXISTING TEST LOCATION | PROPOSED TEST LOCATION | DOWN SLOPE | UP SLOPE | STORM SEWER DRAINAGE LINE |
| ---                    | ---               | 65' X                   | 65' X                   | ---              | ---              | ---                    | ---                    | ---        | ---      | ---                       |

**MJ STOKES CONSULTING**

P.O. BOX 22821  
TAMPA, FL 33622  
813.734.199  
INFO@MJSTOKESCONSULTING.COM

FLORIDA BUSINESS REGISTRY NO. 3448

**REVISIONS**

| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 10  | 12/27/24 | REVISED PER SHOPPER UTILITY MODIFICATIONS & REVIEW COMMENTS    |
| 09  | 12/23/24 | REVISED PER FDOT WASTEWATER PERMIT REVIEW                      |
| 08  | 10/07/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE         |
| 07  | 10/07/24 | UPDATED PLANS FROM RE-DESIGN FOR PERMIT MODIFICATION SUBMITTAL |
| 06  | 10/07/24 | RE-DESIGN OF CROSS ACCESS & LOWEST SITE AT 73C                 |
| 05  | 10/07/24 | REVISIONS PER ROOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/ROAD |
| 04  | 10/07/24 | REVISIONS PER ROOT ACCESS & FORDKIN RELOCATION                 |
| 03  | 10/07/24 | REVISION TO BURIED PER RELOCATION                              |
| 02  | 10/07/24 | REVISION PER COUNTY, SANITARY & FLOOD REVIEW COMMENTS          |
| 01  | 12/24/24 | REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |

**SunshineFL**

Call 811 or visit [www.sunshinefl.com](http://www.sunshinefl.com) before any business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

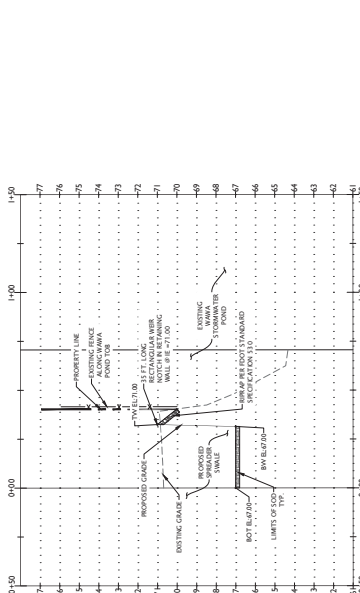
**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80738

**PROJECT NAME**  
MAJOR SITE PLAN  
CORTA COMMONS  
FOR  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

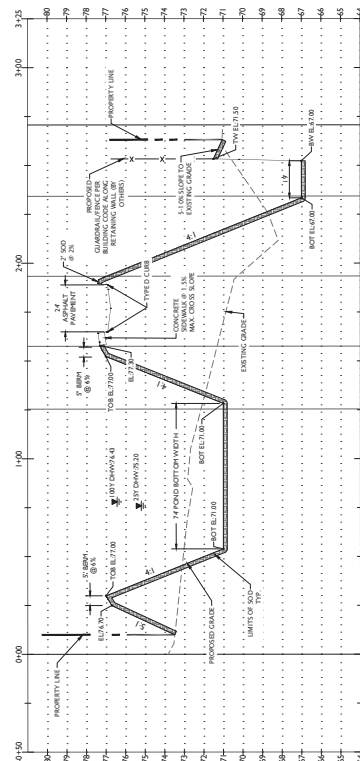
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CROSS SECTIONS

**CHECKED BY:** JPS  
**DATE:** 12/20/24  
**DATE OF LAST MOD:** 12/20/24

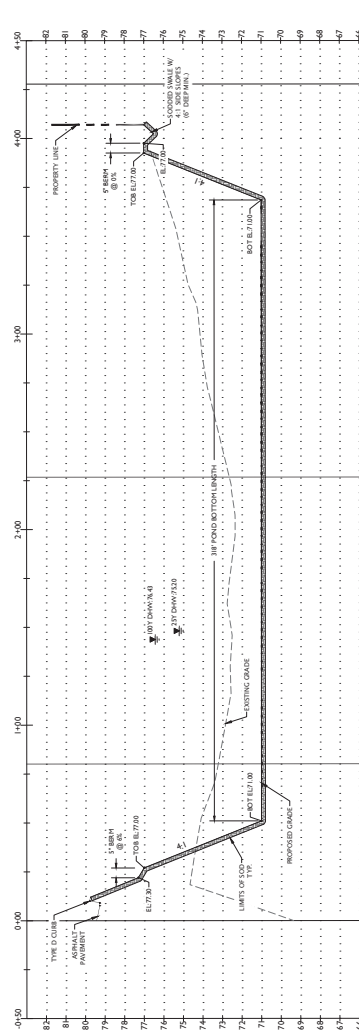
**SHEET NUMBER**  
C-304



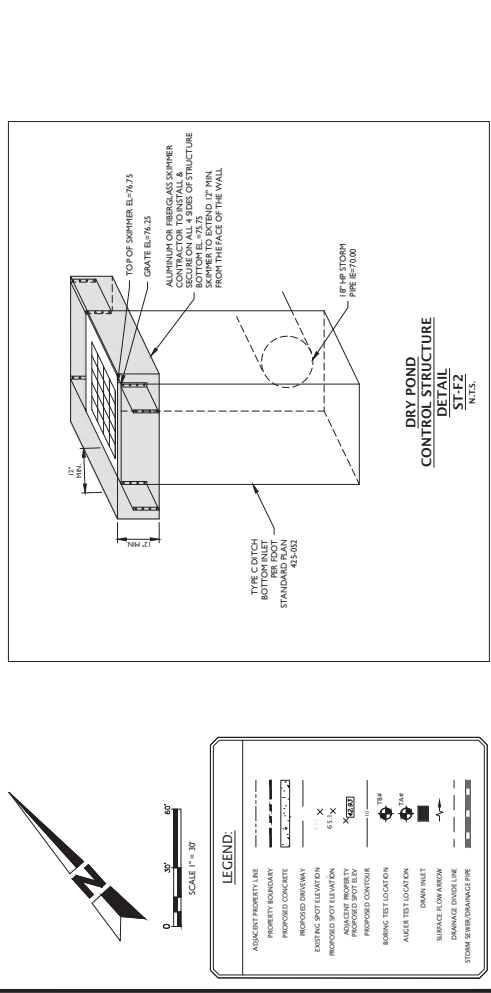
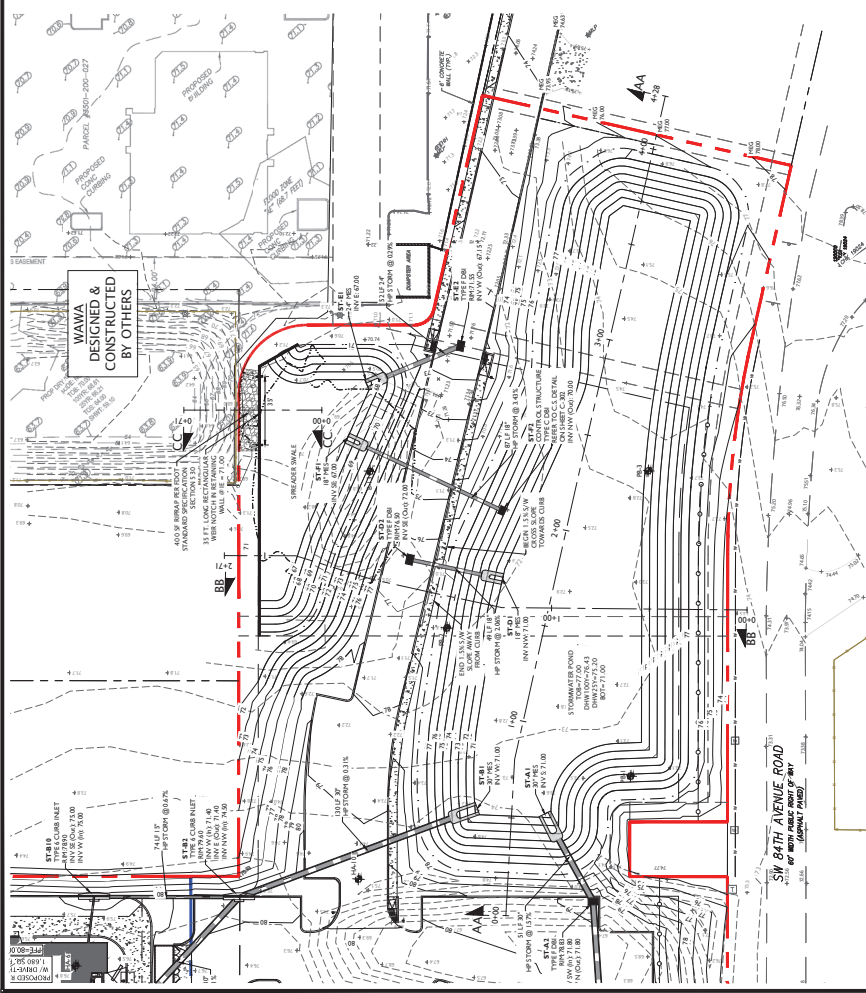
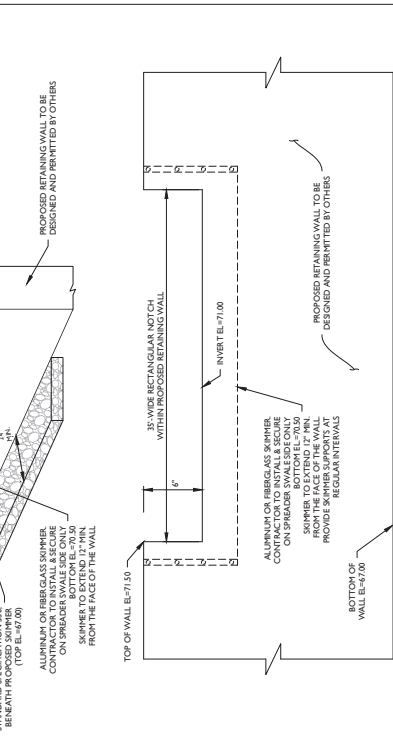
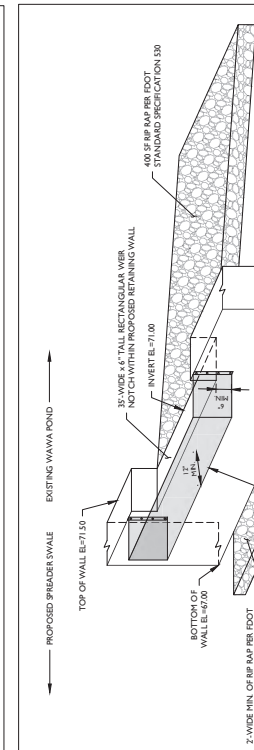
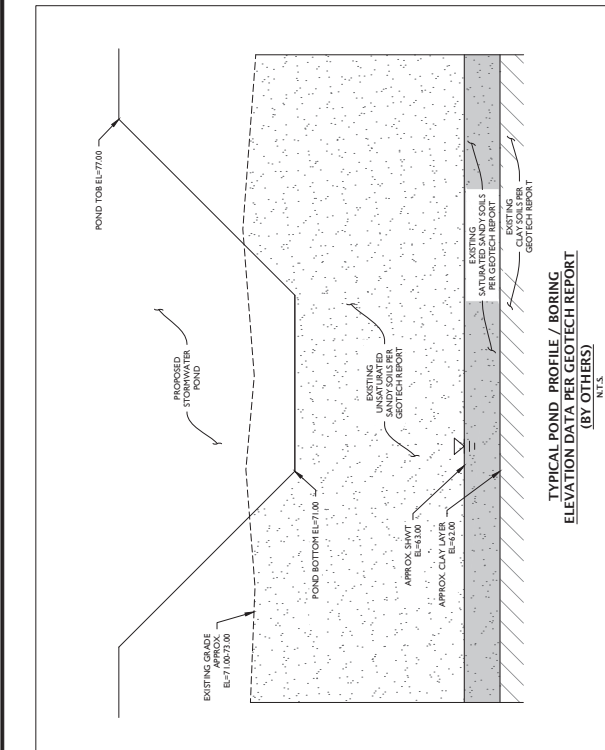
PROFILE CC



PROFILE BB



PROFILE AA



**MJ STOKES CONSULTING**  
P.O. BOX 22821  
TAMPA, FL 33622  
813.734.1199  
INFO@MJSTOKESCONSULTING.COM  
FLORIDA BUSINESS REGISTRY NO. 3448

| REV | DATE     | DESCRIPTION   |
|-----|----------|---|
| 10  | 12/27/21 | REVISED PER SHOPS UTILITY MODIFICATIONS & REVIEW COMMENTS       |
| 09  | 12/23/21 | REVISED PER DEEP WASTEWATER PERMIT REVIEW                       |
| 08  | 11/07/21 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE          |
| 07  | 11/07/21 | UPDATED PLAN REGION RE-DESIGN FOR PERMIT MODIFICATION SUBMITTAL |
| 06  | 10/07/21 | REVISION OF CROSS ACCESS COMMENTS & LOWBED SITE AT TJC          |
| 05  | 10/07/21 | REVISIONS PER FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/POUND |
| 04  | 10/07/21 | REVISIONS PER FOOT ACCESS & FORDHAM RELOCATION                  |
| 03  | 10/07/21 | REVISION TO BULKHEAD PER MODIFICATION                           |
| 02  | 10/07/21 | REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS  |
| 01  | 12/12/21 | REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS  |

**sunshine**  
Call 811 or visit sunshine.org before any business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 807758

**PROJECT NAME**  
MAJOR SITE PLAN  
CORTA COMMONS  
FOR  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

**SHEET TITLE**  
CROSS SECTIONS

**PROJECT NO.** 21-1396  
**CHECKED BY:** JPS  
**DATE:** 12/28/2021  
**DATE:** 12/28/2021  
**SHEET NUMBER**  
**C-305**

GENERAL NOTES:

- BOUNDARY, TOPOGRAPHIC AND TREE INFORMATION SHOWN HEREIN TAKEN FROM A SURVEY ENTITLED "LAKES AND TITLES SURVEY LOCATED IN SECTIONS 24 & 25, TOWNSHIP 36N, RANGE 30E, MARION COUNTY, FLORIDA," PREPARED BY CHW PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2023.
- THE HORIZONTAL & VERTICAL DATUMS ARE ABOVE REFERENCED SURVEY.
- ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY FLOOD NUMBER 12014M, MAP PANEL NUMBER 1389C0406E, EFFECTIVE DATE APRIL 13, 2017, THE SUBJECT PARCEL APPEARS TO FALL WITHIN SPECIAL FLOOD HAZARD ZONE 1 (S1) WITHIN LOT 7 OF SAKHIA VILLAS AS SHOWN ON THE SURVEY REFERENCED ABOVE. BASE FLOOD ELEVATION OF 70.2 FT (NAVD83).
- SUBSURFACE INFORMATION SHOWN HEREIN IS TAKEN FROM A REPORT ENTITLED "SUBSURFACE INVESTIGATION OF THE PROPOSED 100' X 80' X 8' DEEP POND, STATE ROAD 200 AND SOUTHWEST 100TH STREET, OCALA, MARION COUNTY, FLORIDA," PREPARED BY ANDREYEV ENGINEERING, INC. DATED NOVEMBER 13, 2022.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS AND PERMIT CONDITIONS FOR THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND KEEP A COPY OF ALL PERMITS AND APPROVED CONSTRUCTION DOCUMENTS ON-SITE AT ALL TIMES.
- ALL UTILITIES SHALL BE PROTECTED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- UTILITIES SHALL BE PROTECTED BY INSTALLING PROTECTIVE CASING AND STORM DRAINAGE, INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM DRAINAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES WITHIN THE LIMITS OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES WITHIN THE LIMITS OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES WITHIN THE LIMITS OF THE PROJECT.

NEEDED FIRE FLOW (NFF) CALCULATIONS  
FINDING BUILDING MATERIAL INFORMATION

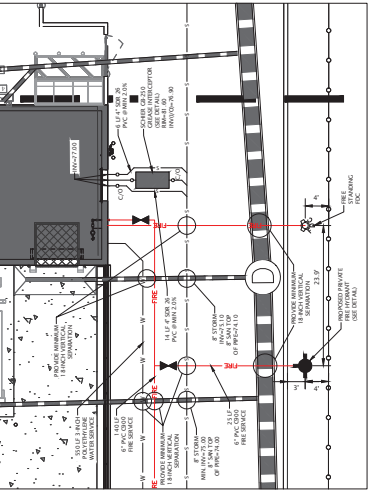
TEST DATE: APRIL 3, 2024 - TEST PERFORMED BY COX FIRE PROTECTION AND WITNESSED BY MARION COUNTY UTILITIES.

FLOW HYDRANT LOCATION: 3525 S 8330 SW 92 200  
STATIC HYDRANT LOCATION: 358 S 8330 SW 92 200  
HYDRANT FLOW: 1,250 GPM @ 55.1 PSI  
STATIC PRESSURE: 51 PSI  
RESIDUAL PRESSURE: 50 PSI  
AVAILABLE FIRE FLOW @ 20 PSI: 4,161 GPM

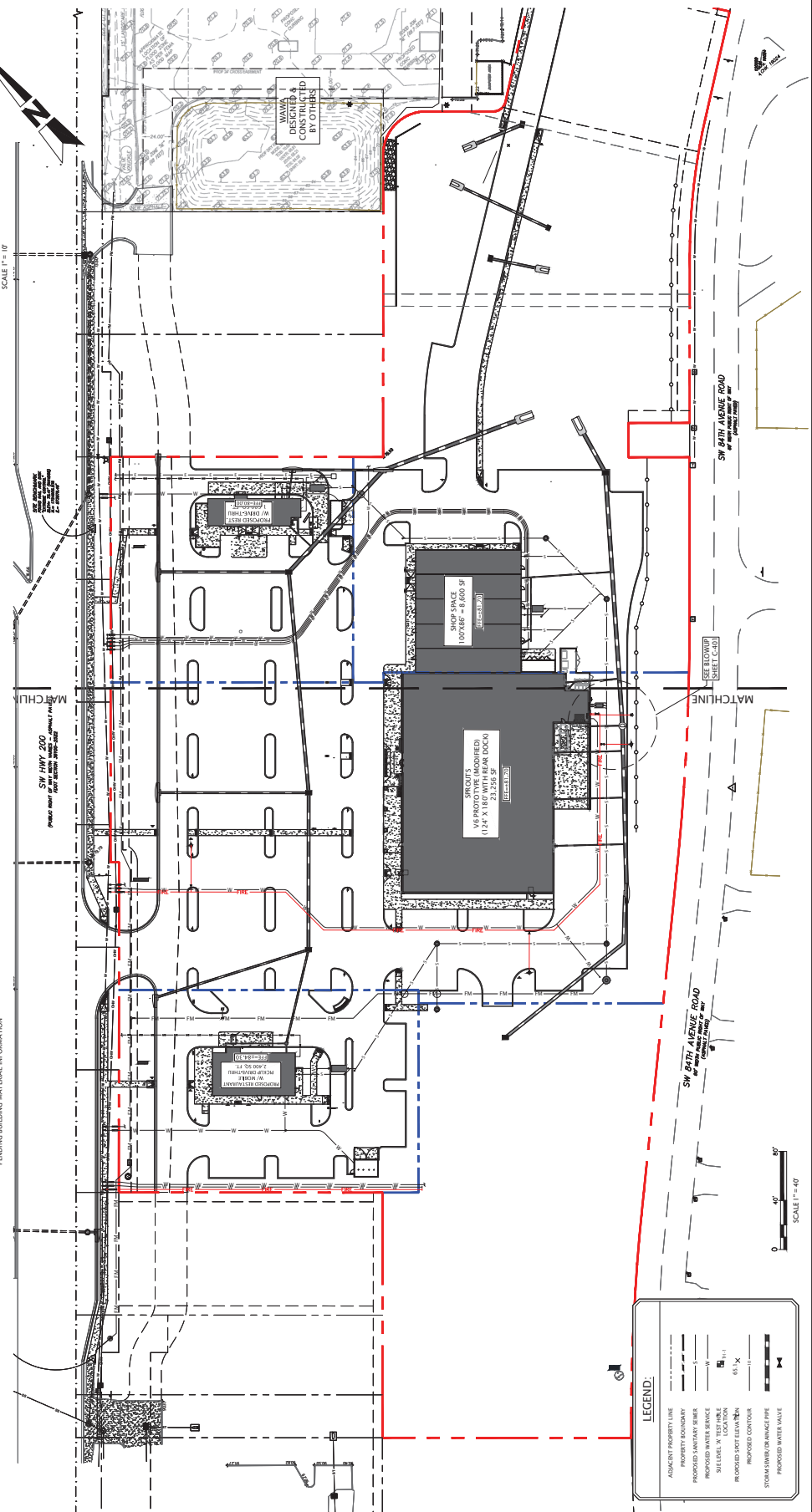
- THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFERENCE POINTS, CROSSINGS WITH EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO CONFIRM EXACT DEPTH, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE FIELD VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED CONSTRUCTION DOCUMENTS ON-SITE AT ALL TIMES.
- THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
- DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES. THE CONTRACTOR MUST CAREFULLY LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF THE PRE-CONSTRUCTION MEETING IS NOT HELD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF THE PRE-CONSTRUCTION MEETING IS NOT HELD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- ANY ASSETS TO BE CONVEYED TO MCUI WANS, SERVICES, APPURTENANCES) SHALL BE DONE THROUGH BILL OF SALE PROCESS PRIOR TO MCUI SIGNING OUT OF CLEARANCES.
- MCUI PERSONNEL ARE TO INSPECT ANY WORK PERFORMED ON OR AROUND EXISTING MCUI UTILITIES PRIOR TO START OF ANY CONSTRUCTION. IF THE PRE-CONSTRUCTION MEETING IS NOT HELD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF THE PRE-CONSTRUCTION MEETING IS NOT HELD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- KNOWLEDGE TO BE INSTALLED ON BUILDINGS WITH A FIRE ALARM AND OR SPRINKLER SYSTEM SHALL BE INSTALLED ON THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF THE PRE-CONSTRUCTION MEETING IS NOT HELD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- SCOURAGE SHALL BE POSTED AND/OR PAINTED, BE DISMANTLED ACCESS - NO PARKING - ALONG THE FRONT OF THE MAIN BUILDING AND BEAR IN THE PROXIMITY OF THE PROPOSED HYDRANT AND TIC.

MARION COUNTY NOTES:

- AS BUILTS, ANY UTILITIES WHICH WILL BE DEDICATED TO MCUI POST CONSTRUCTION SHALL BE SHOWN ON AS-BUILTS IN CONFORMANCE WITH LATEST LDC REV 4/13/23.
- ANY ASSETS TO BE CONVEYED TO MCUI WANS, SERVICES, APPURTENANCES) SHALL BE IDENTIFIED ON PLAN.
- ANY ASSETS TO BE CONVEYED TO MCUI WANS, SERVICES, APPURTENANCES) SHALL BE DONE THROUGH BILL OF SALE PROCESS PRIOR TO MCUI SIGNING OUT OF CLEARANCES.
- MCUI PERSONNEL ARE TO INSPECT ANY WORK PERFORMED ON OR AROUND EXISTING MCUI UTILITIES PRIOR TO START OF ANY CONSTRUCTION. IF THE PRE-CONSTRUCTION MEETING IS NOT HELD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF THE PRE-CONSTRUCTION MEETING IS NOT HELD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- KNOWLEDGE TO BE INSTALLED ON BUILDINGS WITH A FIRE ALARM AND OR SPRINKLER SYSTEM SHALL BE INSTALLED ON THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. IF THE PRE-CONSTRUCTION MEETING IS NOT HELD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- SCOURAGE SHALL BE POSTED AND/OR PAINTED, BE DISMANTLED ACCESS - NO PARKING - ALONG THE FRONT OF THE MAIN BUILDING AND BEAR IN THE PROXIMITY OF THE PROPOSED HYDRANT AND TIC.



SPRINTS UTILITY BLOWUP DETAIL  
SCALE 1" = 10'



LEGEND:

- ADJACENT PROPERTY LINE
- PROPERTY BOUNDARY
- PROPOSED WATER SERVICE
- SELLER'S W. TEST HOLE
- PROPOSED SOFT ELEVATION
- PROPOSED CONDUIT
- STORM DRAIN/RAINAGE PIPE
- PROPOSED WATER VALVE

REVISIONS

| REV | DATE    | DESCRIPTION  |
|-----|---------|--|
| 01  | 4/13/24 | REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |
| 02  | 4/13/24 | REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |
| 03  | 4/13/24 | REVISION TO BUILDING PERMIT APPROVAL                           |
| 04  | 4/13/24 | REVISION PER FOOT ACCESS & FORKCHAINS RELOCATION               |
| 05  | 4/13/24 | REVISION PER FOOT ACCESS & FORKCHAINS RELOCATION               |
| 06  | 4/13/24 | REVISION PER FOOT ACCESS & FORKCHAINS RELOCATION               |
| 07  | 4/13/24 | REVISION PER FOOT ACCESS & FORKCHAINS RELOCATION               |
| 08  | 4/13/24 | REVISION PER FOOT ACCESS & FORKCHAINS RELOCATION               |
| 09  | 4/13/24 | REVISION PER FOOT ACCESS & FORKCHAINS RELOCATION               |
| 10  | 4/13/24 | REVISION PER FOOT ACCESS & FORKCHAINS RELOCATION               |

REVISIONS

Call 811 or visit [www.floridaclear.com](http://www.floridaclear.com) before any business days before digging to have buried facilities located and marked. Check positive response codes before you dig.

PROJECT NAME

MAJOR SITE PLAN

CORTA COMMONS

FOR

CORTA OCALA, LLC

SW HWY 200 - OCALA

MARION COUNTY, FLORIDA

SHEET TITLE

OVERALL

UTILITY PLAN

PROJECT NO. 23-336

CHECKED BY: JPS

DATE: 4/13/24

SHEET NUMBER

C-401

1. BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "ALTA/NSPS LAND TITLE SURVEY LOCATED IN SECTIONS 24 & 25, TOWNSHIP 15 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA," PREPARED BY CHW PROFESSIONAL CONSULTANTS, LAST REVISED FEBRUARY 12, 2025.

2. THE HORIZONTAL AND VERTICAL DATUMS ARE ABOVE referenced SURVEY.
3. ACCORDING TO THE FLOODING DAMAGE MAP FOR HAWAII COUNTY, FLORIDA, COMPANY NAME NUMBER 101646 MAP AREA NUMBER DISBARCODE EFFECTIVE DATE 01/01/2007, THE MAP AREA APPEARS TO FALL WITHIN THE TOP OF HAZARDOUS ZONE AND THE MAP AREA APPEARS TO FALL WITHIN THE TOP OF THE FLOOD DAMAGE ZONE. THE FLOOD DAMAGE ZONE IS DEFINED ON THE BASIS OF THE FLOOD DAMAGE ZONE MAP OF HAWAII COUNTY, FLORIDA.
4. SUBSIDIARY INFORMATION SHOWN HEREIN IS FROM A REPORT ENTITLED "GEOLOGICAL INVESTIGATION REPORTED SOURCE AND LOSS RATES FOR THE HAZARDOUS WASTE SITES IN THE HAWAIIAN ISLANDS, HAWAII COUNTY, FLORIDA" PREPARED BY ANDYBOTE ENGINEERING, INC. DATED NOVEMBER 3, 2002.
5. ALL CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS AND PERMITS OF THE HAWAIIAN ISLANDS DEPARTMENT OF LAND AND NATURAL RESOURCES. THE CONTRACTOR SHALL KEEP A COPY OF ALL PERMITS AND APPROVED CONSTRUCTION PLANS ON SITE AT ALL TIMES. THE CONTRACTOR SHALL BE OBLIGATED TO OBTAIN PRIOR TO COMMENCEMENT OF CONSTRUCTION.

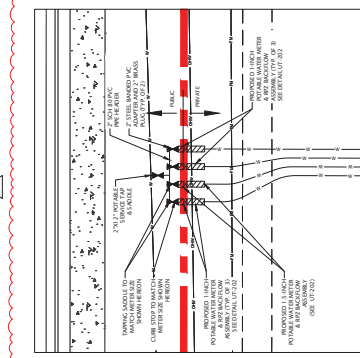
1. AS-BUILTS, ANY UTILITIES WHICH WILL BE DEDICATED TO MCU POST-CONSTRUCTION SHALL BE SHOWN ON AS-BUILTS IN ACCORDANCE WITH LATEST IDC REV 4/13/23.
2. ANY ASSETS TO BE CONVEYED TO MCU (MAINS, SERVICES, APURTINANCES) SHALL BE IDENTIFIED ON PLAN
3. ANY ASSETS TO BE CONVEYED TO MCU (MAINS, SERVICES, APURTINANCES) SHALL BE DONE THROUGH BILL OF SALE PROCESS PRIOR TO MCU SIGNING OUT DIP CLEARANCES.

4. MCI PERSONNEL ARE TO INSPECT ANY WORK PERFORMED ON OR AROUND EXISTING MCI INFRASTRUCTURE. A PRE-CONSTRUCTION MEETING IS REQUIRED TO BE HELD A MINIMUM OF 10 BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION. TO PRE-CONSTRUCTION MEETING IS NOT COMPLETED, ANY WORK MUST BE HALTED. TO SCHEDULE CONTACT MCI'S CONSTRUCTION OFFICER AT 532-367-6163.
5. MOTOR VEH TO BE INSTALLED ON BUILDINGS WITH A FIRE ALARM OR SPRINKLER SYSTEM SHALL COMPLY WITH THE FOLLOWING CODES: CALIF. AND/OR SPRINKLER, SMOKE, SMOKE/HEAT/STRAIN RESISTANT PER N.F.P.A. CHAPTER 11.01.1. THE LOCATION SHALL NEED TO BE AN IMPROVEMENT FROM THE PRE-EXISTING STRENGTH OF THE SOIL AND SHALL BE A MINIMUM OF 12" IN DIAMETER.
6. ALL MCI BUILDINGS SHALL BE PROTECTED BY A MINIMUM OF TWO (2) FIRE ALARMS. THE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANIPAL POLICIES. THE BUILDING MUST HAVE A PASSING RADIO TEST PRIOR TO THE INSTALLATION OF THE ALARMS. THE ALARMS SHALL BE MAINTAINED BY THE EQUIPMENT MAINT BE DONE UNDER A PERMIT AND BE PROVIDED BY THE OFFICE OF THE FIRE MARSHAL.
7. SITE PLANS SHALL NOTE ON THE PLANS IF A NEW HYDRANT IS INSTALLED SHALL BE INSTALLED WITHIN 150 FEET OF THE BUILDING. THE HYDRANT SHALL BE IN THE MIDDLE OF THE ROADWAY LINE CLOSEST TO THE HYDRANT.

BELOW IS AN OUTLINE OF THE IRRIGATED AREA FOR EACH SYSTEM WITHIN THE SUBJECT PROPERTIES BEING DEVELOPED

- SYSTEM A (RESIDENTIAL) = 14,350 SQ. FT.
- SYSTEM B (CHIPOTLE) = 11,575 SQ. FT.
- SYSTEM C (SPROUTS) = 26,775 SQ. FT.
- SYSTEM D (SMOOTHIE) = 4,475 SQ. FT.
- SYSTEM E (RETAIL) = 29,100 SQ. FT.

TOTAL AREA TO BE IRRIGATED = 83,790 SQ. FT.



SCALE 1" = 10'



| REV | DATE     |
|-----|----------|
| 01  | 6/12/24  |
| 02  | 8/01/24  |
| 03  | 9/05/24  |
| 04  | 9/20/24  |
| 05  | 10/07/24 |
| 06  | 10/17/24 |
| 07  | 11/07/24 |
| 08  | 1/07/24  |
| 09  | 1/22/24  |
| 10  | 2/27/25  |
| 11  | 4/16/25  |

**Sunshine811** 

Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER

MAJOR SITE PLAN  
CORTA COMMONS

CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

UTILITY PLAN  
(NORTH)

|                           |
|---------------------------|
| PROJECT NO: 23-3306       |
| CHECKED BY: JJS           |
| VERTICAL DATUM: NAVD 1988 |
| DATE: 03/29/2024          |
| SHEET NUMBER              |

C-402

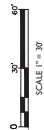
FLORIDA BUSINESS REGISTRY NO. 34448  
INFO@MJSTOCKESCONSULTING.COM  
813.724.4199  
TAMPA, FL 33622  
P.O. BOX 22821

**MJ**  
STOKES  
CONSULTING

1. BOUNDARY, TOPOGRAPHIC, AND TIDE INFORMATION SHOWN HEREIN TAKEN FROM A SURVEY ENTITLED "ALABAMA LITTLE SATURN" LOCATED IN SECTION 24 FROM TOWNSHIP 10 NORTH, RANGE 10 WEST, MERIDIAN 88 WEST, PREPARED BY CIVIL PROFESSIONAL CONSULTANTS DATED MARCH 18, 2023.
2. THE HORIZONTAL AND VERTICAL DATUMS ARE AS REFERENCED SURVEY.
3. ACCORDING TO THE GOOD NEIGHBOR 100'x60' MAP PANEL NUMBER, FLORIDA COUNTY, THE COORDINATES 100.000'W MAP PANEL NUMBER 100.000'W, EFFECTIVE DATE 1/30/21, THE SUBJECT PLOT APPEARS TO FALL WITHIN SPECIFIC GOOD NEIGHBOR 100'x60' MAP PANEL NUMBER 100.000'W, EFFECTIVE DATE 1/30/21, THE PLOT WITHIN LOT OF JAMA, VLA IS AS DIRECTED ON THE SURVEY REFERENCED ABOVE. BARE FLOOD ELEVATION OF 76.13' (NA 1988).
4. SUBSURFACE INFORMATION SHOWN HEREIN IS TAKEN FROM A REPORT ENTITLED "SUBSURFACE INVESTIGATION OF THE 100'x60' MAP PANEL NUMBER 100.000'W, EFFECTIVE DATE 1/30/21, THE SUBJECT PLOT APPEARS TO FALL WITHIN SPECIFIC GOOD NEIGHBOR 100'x60' MAP PANEL NUMBER 100.000'W, EFFECTIVE DATE 1/30/21, THE PLOT WITHIN LOT OF JAMA, VLA IS AS DIRECTED ON THE SURVEY REFERENCED ABOVE. BARE FLOOD ELEVATION OF 76.13' (NA 1988).
5. DEVELOPMENT, STATE ROAD 30 AND SOUTHWEST 100'x60' MAP PANEL NUMBER 100.000'W, EFFECTIVE DATE 1/30/21, THE SUBJECT PLOT APPEARS TO FALL WITHIN SPECIFIC GOOD NEIGHBOR 100'x60' MAP PANEL NUMBER 100.000'W, EFFECTIVE DATE 1/30/21, THE PLOT WITHIN LOT OF JAMA, VLA IS AS DIRECTED ON THE SURVEY REFERENCED ABOVE. BARE FLOOD ELEVATION OF 76.13' (NA 1988).

3. AS BUILDINGS, ANY UTILITIES WHICH WILL BE DEDICATED TO MC<sup>2</sup> POST-CONSTRUCTION SHALL BE SHOWN ON AS-BUILT'S IN ACCORDANCE WITH LATEST UDC REV 4/11/13.
4. ANY ASBESTOS TO BE CONVERTED TO MC<sup>2</sup> (MANNS, SERVICES, APPOINT FRANCES) SHALL BE IDENTIFIED ON PLAN
5. ANY ASBESTOS TO BE CONVERTED TO MC<sup>2</sup> (MANNS, SERVICES, APPOINT FRANCES) SHALL BE DONE THROUGH BILL OF SALE PROCESS PRIOR TO MC<sup>2</sup> SIGNED OUT DEF. CLEARANCES.
6. MC<sup>2</sup> PERSONNEL ARE TO INSPECT ANY WORK PERFORMED ON OR AROUND MC<sup>2</sup> BUILDINGS. IF ANY WORK IS OBSERVED TO BE IN PROGRESS, MC<sup>2</sup> IS REQUIRED TO BE Halted FOR A MINIMUM OF 48 HOURS PRIOR TO START OF ANY CONSTRUCTION. IF THE PRE-CONSTRUCTION MEETING IS NOT COMPLETED, THE CONTRACTOR IS Halted TO SCHEDULE. CONTACT MC<sup>2</sup> CONSTRUCTION OFFICE AT 352-364-6163.
7. SMOKE BOX TO BE INSTALLED ON BUILDINGS WITH A FIRE ALARM AND OR

BELOW IS AN OUTLINE OF THE IRRIGATED AREA FOR EACH SYSTEM WITHIN THE SUBJECT PROPERTIES BEING DEVELOPED

TOTAL AREA TO BE IRRIGATED = 83,790 SQ. FT.

Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.

---

100

1000

3

C-403

| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 10  | 12/27/25 | REVISED PER SHARPES UTILITY MODIFICATIONS & REVIEW COMMENTS    |
| 09  | 12/23/24 | REVISED PER FDEP WASTEWATER PERMIT REVIEW                      |
| 08  | 11/07/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE         |
| 07  | 11/07/24 | UPDATED PLANS FROM RE-DESIGN FOR PERMIT MODIFICATION SUBMITTAL |
| 06  | 10/07/24 | REDESIGN OF CROSS ACCESS & LOWERS SITE AT TJC                  |
| 05  | 09/07/24 | REVISIONS PER ROOT ACCESS & FORCMAIN RELOCATION                |
| 04  | 08/07/24 | REVISION TO BUREAU PER RESOLUTION                              |
| 03  | 06/12/24 | REVISION PER COUNTY, SWFWMD & FDOT REVIEW COMMENTS             |
| 02  | 04/12/24 | REVISION PER ZONING APPROVAL, COUNTY & SWFWMD REVIEW COMMENTS  |
| 01  | 04/12/24 | BY   |



Call 811 or visit [sunshine.fl.gov](http://sunshine.fl.gov) before any business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

JOHN J. STOECKEL  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

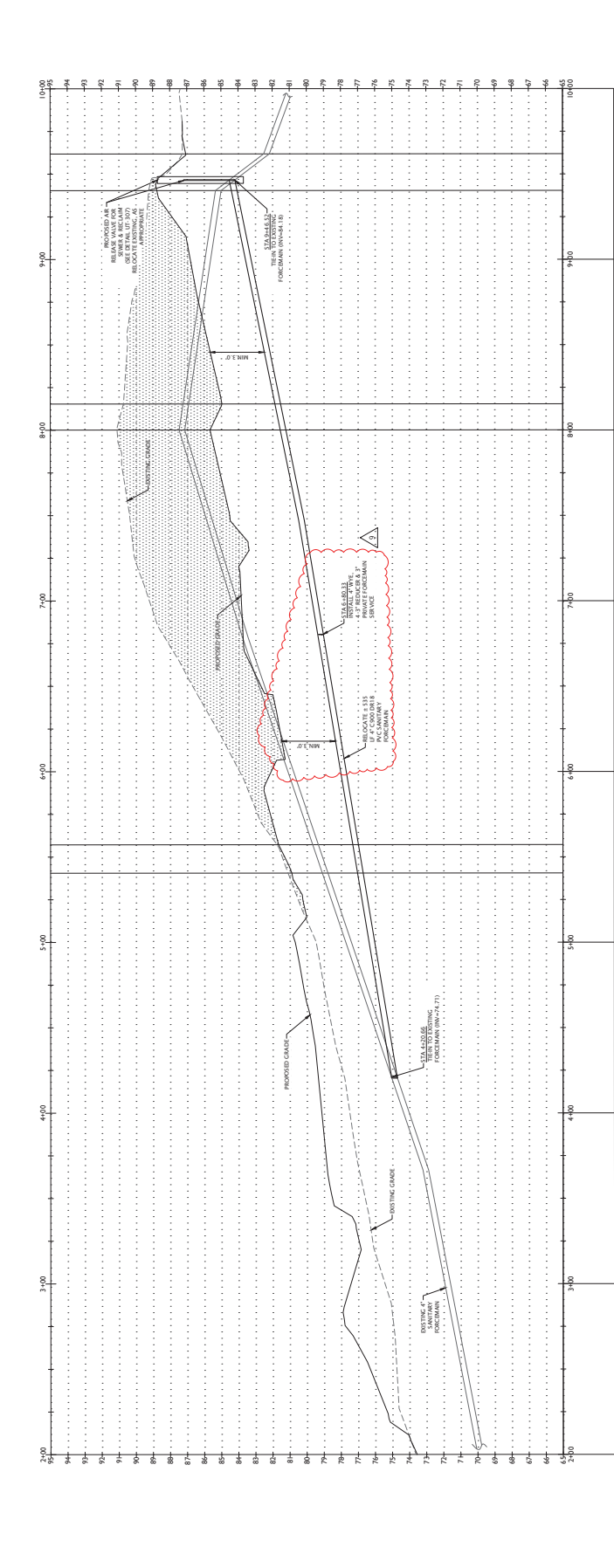
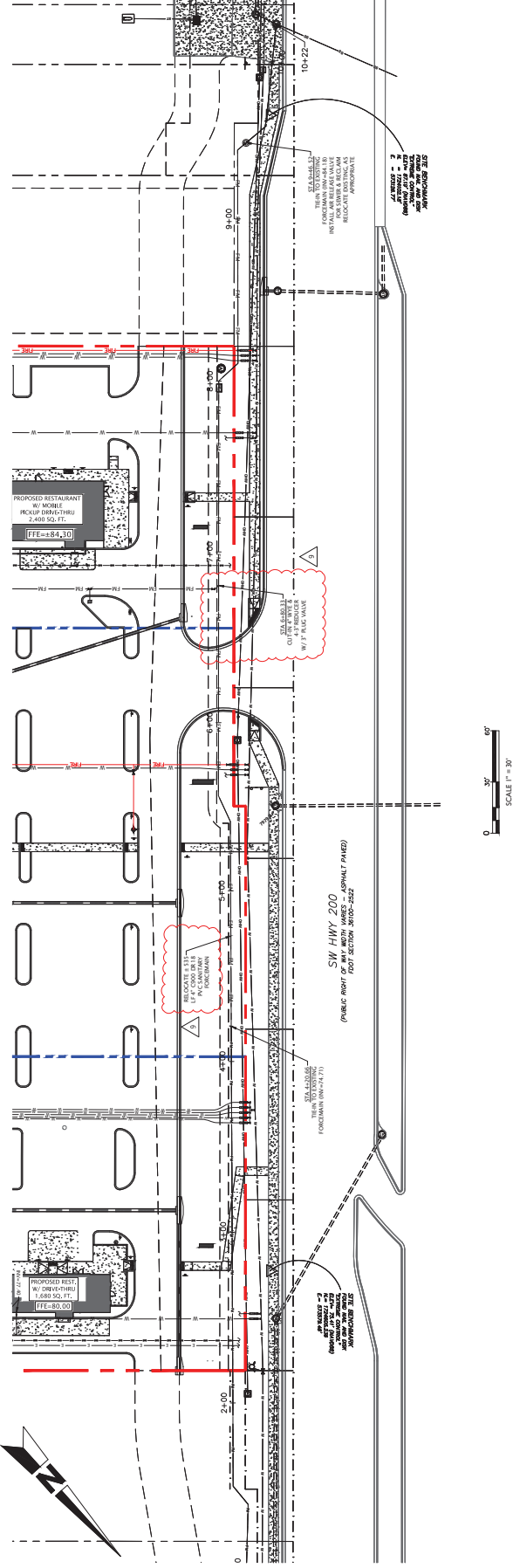
PROJECT NAME  
MAJOR SITE PLAN  
CORTA COMMONS  
FOR

CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE  
EXISTING SANITARY  
FORCEMAIN  
PROFILE

PROJECT NO. 23-1386  
CHECKED BY: JPS  
DATE: 05/01/2025  
DATE: 05/01/2025  
SHEET NUMBER

C-404



**FDEP SEWER NOTES:**

- [illegible]

## WIS

1. SEWERS MUST BE LAIN WITH UNIFORM SLOPE THROUGH MANHOLES
2. SEWERS ON 20% SLOPE OR GREATER MUST BE ANCHORED SECURELY WITH CONCRETE, OR EQUAL ANCHORS SPACED AS FOLLOWS: NOT LESS THAN 8 FEET CENTER TO CENTER ON GRADES 20% AND UP TO 30%, NOT LESS THAN 12 FEET CENTER TO CENTER ON GRADES 35% AND UP TO 50%, AND NOT OVER 16 FEET CENTER TO CENTER ON GRADES 50% AND OVER.
3. SEWERS MUST BE LAIN WITH STRAIGHT ALIGNMENT BETWEEN MANHOLES.
4. SURFACE COUPLING, COMPLYING WITH ASTM SPECIFICATIONS, ARE REQUIRED FOR JOINING DISSEMBLABLE MATERIALS.
5. CONTRACTOR SHALL VERIFY ALL TESTING REQUIREMENTS WILL BE IN ACCORDANCE WITH LOCAL AND MUNICIPAL JUNCTION PRIOR TO



| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 01  | 10/24/24 | REVISION PER QUALITY CONTROL & POST REVIEW COMMENTS              |
| 02  | 11/01/24 | REVISION TO 01 PER PERMITS RESOLUTION                            |
| 03  | 9/20/24  | REVISION PER 100' ACCESS & 10' MINIMUM RELOCATION                |
| 04  | 10/07/24 | REVISIONS PER 100' ACCESS COMMENTS & 0.8' RISE CROSS ACCESS/POSS |
| 05  | 09/24/24 | REVISIONS OF CROSS ACCESS & 0.8' RISE SITE AT 75C                |
| 06  | 11/07/24 | UPDATED PERMITS FROM REVISION FOR PERMIT MODIFICATION SUBMITTAL  |
| 07  | 08/08/24 | PREPARE MODIFICATION REVISION - ACCESS, UTILITY, DRAINAGE        |
| 08  | 11/23/24 | REVISION PER FDEP WASTEWATER REPAIR REVIEW                       |
| 09  | 02/27/25 | REVISION PER SHOWERS UTILITY MODIFICATIONS & REVIEW COMMENTS     |

**Sunshine 811**

Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.

*Check positive response codes before you dig!*

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

PROJECT NAME: MAJOR SITE PLAN  
CORTA COMMONS

FOR

CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE

|                 |            |
|-----------------|------------|
| PROJECT NO:     | 23-3306    |
| CHECKED BY:     | JJS        |
| VERTICAL DATUM: | NAVD 1988  |
| DATE:           | 03/29/2024 |
| SHEET NO        | INDEX      |

C-405

**STANDARD CROSSWALK DETAILS**

**SPECIAL EMPHASIS CROSSWALK DETAILS**

**NOTES:**

1. For crosswalks with several widths of the adjacent roadway, the 12' wide strip shall have 12' for intersection approach and 12' for the crosswalk.
2. When the Special Emphasis Crosswalk is not appropriate to the site, the 12' wide strip shall be replaced by 12' and 12'.
3. Refer to Item 322-002 when Curb Ramps are present.

|                         |             |  |   |                                |
|-------------------------|-------------|--|---|--------------------------------|
| PLAN<br>REV<br>11/01/22 | DESCRIPTION | <br><b>FY 2023-24</b><br><b>STANDARD PLANS</b> | <b>PAVEMENT MARKINGS</b><br><b>7B-001</b> | <b>SHEET</b><br><b>9 of 13</b> |
|-------------------------|-------------|--|---|--------------------------------|

[illegible][illegible]

The figure consists of two main sections, each containing three views of a sidewalk feature.

**Left Section: Detectable Warnings**

- Top View (Plan View):** Shows a 2'-0" wide detectable warning area (shaded) adjacent to a sidewalk. Labeled "2'-0" Detectable Warnings".
- Middle View (Isometric View):** A 3D perspective of the detectable warning area. Labeled "ISOMETRIC VIEW".
- Bottom View (Side Elevation):** Shows the cross-section of the detectable warning area and the adjacent sidewalk. Labeled "2'-0" Detectable Warnings" and "OPTION A".

**Right Section: Sidewalk Curb Ramps**

- Top View (Plan View):** Shows a 2'-0" wide detectable warning area (shaded) and a 4'-0" wide sidewalk ramp. Labeled "2'-0" Detectable Warnings" and "4'-0" Sidewalk Ramp".
- Middle View (Isometric View):** A 3D perspective of the ramp and warning area. Labeled "ISOMETRIC VIEW".
- Bottom View (Side Elevation):** Shows the cross-section of the ramp and warning area. Labeled "2'-0" Detectable Warnings" and "OPTION B".

Labels "CR-2" are present in the bottom right corner of each section.

[illegible][illegible]





**SECTION A-A**  
(Plan View)

**SECTION B-B**  
(Plan View)

**SECTION C-C**

**SECTION D-D**

**STEEL GRATE DETAIL**  
(Approved 10/1/20)

**TABLE 1**  
HORIZONTAL WALL REINFORCING SCHEDULE

| REINFORCING SCHEDULE                         | REINFORCING SCHEDULE                         | REINFORCING SCHEDULE                         | REINFORCING SCHEDULE                         | REINFORCING SCHEDULE                         |
|--|--|--|--|--|
| 1. 100% Concrete Depth, and 100% Steel Depth | 2. 100% Concrete Depth, and 100% Steel Depth | 3. 100% Concrete Depth, and 100% Steel Depth | 4. 100% Concrete Depth, and 100% Steel Depth | 5. 100% Concrete Depth, and 100% Steel Depth |

**NOTES:**

- 100% Concrete Depth, and 100% Steel Depth
- 100% Concrete Depth, and 100% Steel Depth
- 100% Concrete Depth, and 100% Steel Depth
- 100% Concrete Depth, and 100% Steel Depth
- 100% Concrete Depth, and 100% Steel Depth

**SECTION E-E**  
(Plan View)

**SECTION F-F**  
(Plan View)

**SECTION G-G**  
(Plan View)

**SECTION H-H**  
(Plan View)

**SECTION I-I**  
(Plan View)

**SECTION J-J**  
(Plan View)

**SECTION K-K**  
(Plan View)

**SECTION L-L**  
(Plan View)

**SECTION M-M**  
(Plan View)

**SECTION N-N**  
(Plan View)

**SECTION O-O**  
(Plan View)

**SECTION P-P**  
(Plan View)

**SECTION Q-Q**  
(Plan View)

**SECTION R-R**  
(Plan View)

**SECTION S-S**  
(Plan View)

**SECTION T-T**  
(Plan View)

**SECTION U-U**  
(Plan View)

**SECTION V-V**  
(Plan View)

**SECTION W-W**  
(Plan View)

**SECTION X-X**  
(Plan View)

**SECTION Y-Y**  
(Plan View)

**SECTION Z-Z**  
(Plan View)

**SECTION AA**  
(Plan View)

**SECTION BB**  
(Plan View)

**SECTION CC**  
(Plan View)

**SECTION DD**  
(Plan View)

**SECTION EE**  
(Plan View)

**SECTION FF**  
(Plan View)

**SECTION GG**  
(Plan View)

**SECTION HH**  
(Plan View)

**SECTION II**  
(Plan View)

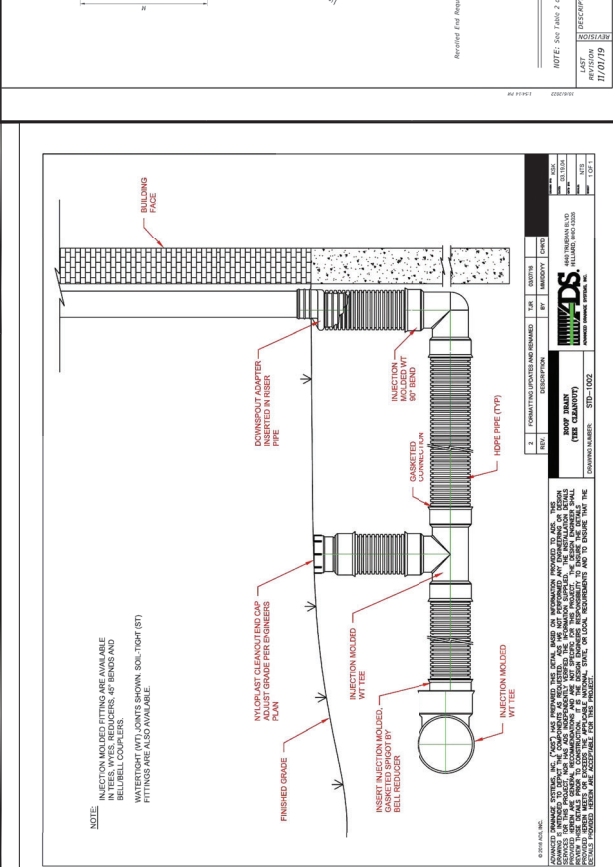
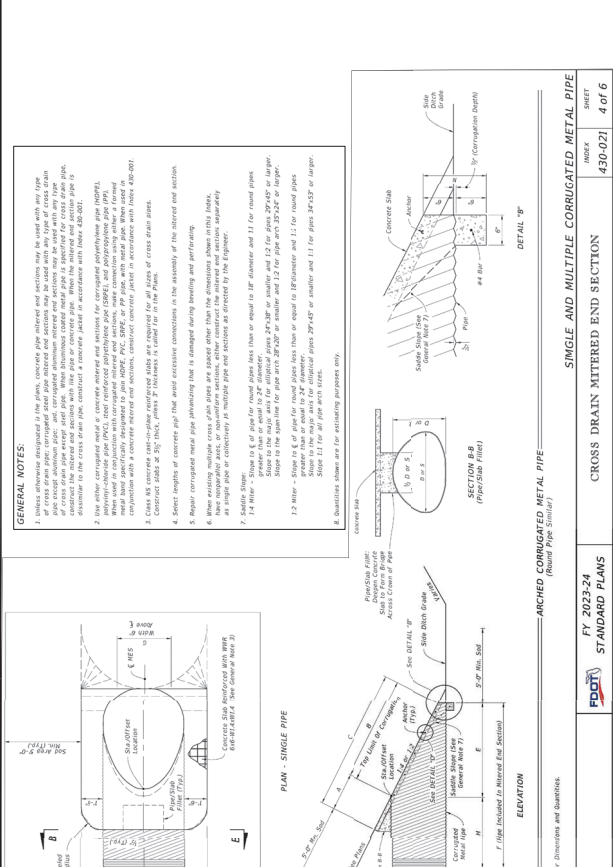
**SECTION JJ**  
(Plan View)

**SECTION KK**  
(Plan View)

**SECTION LL**  
(Plan View)

**SECTION MM**  
(Plan View)

**SECTION NN**  
(Plan View)



|  |                                    |       |
|--|------------------------------------|-------|
|  | MISC. EFFECTIVE DATE<br>8/4/2/2023 | 7.3.2 |
|  | REVISION # 2                       | 102   |
|  | BEDDING AND TRENCHING 1            |       |

**NOTES:**

1. TRENCH SHALL BE 18" DEEP AND 18" WIDE UNDER THE TAPPING SLEEVE.
2. TRENCH SHALL BE 18" DEEP AND 18" WIDE UNDER THE TAPPING SLEEVE.
3. TRENCH SHALL BE 18" DEEP AND 18" WIDE UNDER THE TAPPING SLEEVE.
4. TRENCH SHALL BE 18" DEEP AND 18" WIDE UNDER THE TAPPING SLEEVE.
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7. TRENCH SHALL BE 18" DEEP AND 18" WIDE UNDER THE TAPPING SLEEVE.
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9. TRENCH SHALL BE 18" DEEP AND 18" WIDE UNDER THE TAPPING SLEEVE.
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10. TRENCH SHALL BE 18" DEEP AND 18" WIDE UNDER THE TAPPING SLEEVE.



[illegible]

The drawing consists of two views of a manhole: a top view (left) and a side elevation view (right).

**Top View:** Shows a circular manhole with a central square opening. The opening is divided into four quadrants by a cross. The distance from the center of the opening to the outer edge of the concrete ring is labeled as 12" MIN. The outer edge is labeled "2000 PS CONCRETE RING AND MANHOLE". A label "MANHOLE COVER" points to the central opening.

**Side Elevation View:** Shows the vertical profile of the manhole. The top is labeled "PUSHED GRADE". Below the top is a "4" BAS. CONTINUOUS 5" MAN. COVER (TYP)". The main body is labeled "2000 PS CONCRETE RING AND MANHOLE". The bottom is labeled "4" BAS. CONTINUOUS 5" MAN. COVER (TYP)". The bottom of the manhole is labeled "INLET PROTECTION DEVICE". The distance from the top of the cover to the bottom of the manhole is labeled as 4' MIN. The distance from the bottom of the manhole to the bottom of the cover is labeled as 4' MIN. The distance from the bottom of the manhole to the bottom of the cover is labeled as 4' MIN. The distance from the bottom of the manhole to the bottom of the cover is labeled as 4' MIN.

**NOTES:**

1. ALL DIMENSIONS ARE IN FEET UNLESS NOTED OTHERWISE.
2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
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6. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
7. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
8. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
9. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
10. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

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|  |  |
|--|--|
|  | <p>             RIMMED 1-1/2" LITTERS<br/>             FLUSH WITH TOP OF COVER         </p> <p>             2. NO PENETRATING<br/>             RIG. HOLES         </p> <p>             PLAN         </p> <p>             MACHINED MATING<br/>             SURFACES         </p> <p>             1-1/2" MIN<br/>             1/8" MIN PROTRUSION<br/>             1/8"         </p> <p>             25 5/16"         </p> <p>             3/4" ± 3/64"         </p> <p>             4-1/2" MIN         </p> <p>             1"         </p> <p>             L-1         </p> <p>             L-2         </p> <p>             L-3         </p> <p>             L-4         </p> <p>             L-5         </p> <p>             L-6         </p> <p>             L-7         </p> <p>             L-8         </p> <p>             L-9         </p> <p>             L-10         </p> <p>             L-11         </p> <p>             L-12         </p> <p>             L-13         </p> <p>             L-14         </p> <p>             L-15         </p> <p>             L-16         </p> <p>             L-17         </p> <p>             L-18         </p> <p>             L-19         </p> <p>             L-20         </p> <p>             L-21         </p> <p>             L-22         </p> <p>             L-23         </p> <p>             L-24         </p> <p>             L-25         </p> <p>             L-26         </p> <p>             L-27         </p> <p>             L-28         </p> <p>             L-29         </p> <p>             L-30         </p> <p>             L-31         </p> <p>             L-32         </p> <p>             L-33         </p> <p>             L-34         </p> <p>             L-35         </p> <p>             L-36         </p> <p>             L-37         </p> <p>             L-38         </p> <p>             L-39         </p> <p>             L-40         </p> <p>             L-41         </p> <p>             L-42         </p> <p>             L-43         </p> <p>             L-44         </p> <p>             L-45         </p> <p>             L-46         </p> <p>             L-47         </p> <p>             L-48         </p> <p>             L-49         </p> <p>             L-50         </p> <p>             L-51         </p> <p>             L-52         </p> <p>             L-53         </p> <p>             L-54         </p> <p>             L-55         </p> <p>             L-56         </p> <p>             L-57         </p> <p>             L-58         </p> <p>             L-59         </p> <p>             L-60         </p> <p>             L-61         </p> <p>             L-62         </p> <p>             L-63         </p> <p>             L-64         </p> <p>             L-65         </p> <p>             L-66         </p> <p>             L-67         </p> <p>             L-68         </p> <p>             L-69         </p> <p>             L-70         </p> <p>             L-71         </p> <p>             L-72         </p> <p>             L-73         </p> <p>             L-74         </p> <p>             L-75         </p> <p>             L-76         </p> <p>             L-77         </p> <p>             L-78         </p> <p>             L-79         </p> <p>             L-80         </p> <p>             L-81         </p> <p>             L-82         </p> <p>             L-83         </p> <p>             L-84         </p> <p>             L-85         </p> <p>             L-86         </p> <p>             L-87         </p> <p>             L-88         </p> <p>             L-89         </p> <p>             L-90         </p> <p>             L-91         </p> <p>             L-92         </p> <p>             L-93         </p> <p>             L-94         </p> <p>             L-95         </p> <p>             L-96         </p> <p>             L-97         </p> <p>             L-98         </p> <p>             L-99         </p> <p>             L-100         </p> <p>             L-101         </p> <p>             L-102         </p> <p>             L-103         </p> <p>             L-104         </p> <p>             L-105         </p> <p>             L-106         </p> <p>             L-107         </p> <p>             L-108         </p> <p>             L-109         </p> <p>             L-110         </p> <p>             L-111         </p> <p>             L-112         </p> <p>             L-113         </p> <p>             L-114         </p> <p>             L-115         </p> <p>             L-116         </p> <p>             L-117         </p> <p>             L-118         </p> <p>             L-119         </p> <p>             L-120         </p> <p>             L-121         </p> <p>             L-122         </p> <p>             L-123         </p> <p>             L-124         </p> <p>             L-125         </p> <p>             L-126         </p> <p>             L-127         </p> <p>             L-128         </p> <p>             L-129         </p> <p>             L-130         </p> <p>             L-131         </p> <p>             L-132         </p> <p>             L-133         </p> <p>             L-134         </p> <p>             L-135         </p> <p>             L-136         </p> <p>             L-137         </p> <p>             L-138         </p> <p>             L-139         </p> <p>             L-140         </p> <p>             L-141         </p> <p>             L-142         </p> <p>             L-143         </p> <p>             L-144         </p> <p>             L-145         </p> <p>             L-146         </p> <p>             L-147         </p> <p>             L-148         </p> <p>             L-149         </p> <p>             L-150         </p> <p>             L-151         </p> <p>             L-152         </p> <p>             L-153         </p> <p>             L-154         </p> <p>             L-155         </p> <p>             L-156         </p> <p>             L-157         </p> <p>             L-158         </p> <p>             L-159         </p> <p>             L-160         </p> <p>             L-161         </p> <p>             L-162         </p> <p>             L-163         </p> <p>             L-164         </p> <p>             L-165         </p> <p>             L-166         </p> <p>             L-167         </p> <p>             L-168         </p> <p>             L-169         </p> <p>             L-170         </p> <p>             L-171         </p> <p>             L-172         </p> <p>             L-173         </p> <p>             L-174         </p> <p>             L-175         </p> <p>             L-176         </p> <p>             L-177         </p> <p>             L-178         </p> <p>             L-179         </p> <p>             L-180         </p> <p>             L-181         </p> <p>             L-182         </p> <p>             L-183         </p> <p>             L-184         </p> <p>             L-185         </p> <p>             L-186         </p> <p>             L-187         </p> <p>             L-188         </p> <p>             L-189         </p> <p>             L-190         </p> <p>             L-191         </p> <p>             L-192         </p> <p>             L-193         </p> <p>             L-194         </p> <p>             L-195         </p> <p>             L-196         </p> <p>             L-197         </p> <p>             L-198         </p> <p>             L-199         </p> <p>             L-200         </p> <p>             L-201         </p> <p>             L-202         </p> <p>             L-203         </p> <p>             L-204         </p> <p>             L-205         </p> <p>             L-206         </p> <p>             L-207         </p> <p>             L-208         </p> <p>             L-209         </p> <p>             L-210         </p> <p>             L-211         </p> <p>             L-212         </p> <p>             L-213         </p> <p>             L-214         </p> <p>             L-215         </p> <p>             L-216         </p> <p>             L-217         </p> <p>             L-218         </p> <p>             L-219         </p> <p>             L-220         </p> <p>             L-221         </p> <p>             L-222         </p> <p>             L-223         </p> <p>             L-224         </p> <p>             L-225         </p> <p>             L-226         </p> <p>             L-227         </p> <p>             L-228         </p> <p>             L-229         </p> <p>             L-230         </p> <p>             L-231         </p> <p>             L-232         </p> <p>             L-233         </p> <p>             L-234         </p> <p>             L-235         </p> <p>             L-236         </p> <p>             L-237         </p> <p>             L-238         </p> <p>             L-239         </p> <p>             L-240         </p> <p>             L-241         </p> <p>             L-242         </p> <p>             L-243         </p> <p>             L-244         </p> <p>             L-245         </p> <p>             L-246         </p> <p>             L-247         </p> <p>             L-248         </p> <p>             L-249         </p> <p>             L-250         </p> <p>             L-251         </p> <p>             L-252         </p> <p>             L-253         </p> <p>             L-254         </p> <p>             L-255         </p> <p>             L-256         </p> <p>             L-257         </p> <p>             L-258         </p> <p>             L-259         </p> <p>             L-260         </p> |
|--|--|

| REV | DATE     | DESCRIPTION   |
|-----|----------|---|
| 07  | 11/07/24 | UPDATED PLANS FROM REDESIGN FOR PERMIT SUBMITTAL                |
| 06  | 10/17/24 | REDESIGN OF CROSS ACCESS & LOWEBED SITE AT TJC                  |
| 05  | 10/07/24 | REVISIONS PER FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/IMPED |
| 04  | 9/20/24  | REVISIONS PER FOOT ACCESS & FORKCHAMAIN ALLOCATION              |
| 03  | 9/10/24  | REVISION TO BULKHEAD PER ALLOCATION                             |
| 02  | 8/12/24  | REVISION PER COUNTY, SWANWAY & FOOT REVIEW COMMENTS             |
| 01  | 8/12/24  | REVISION PER COUNTY, SWANWAY & FOOT REVIEW COMMENTS             |

Call 811 or visit [sunshinefl.com](http://sunshinefl.com) before any business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

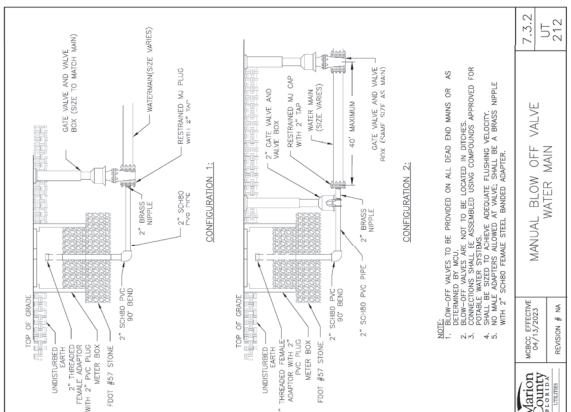
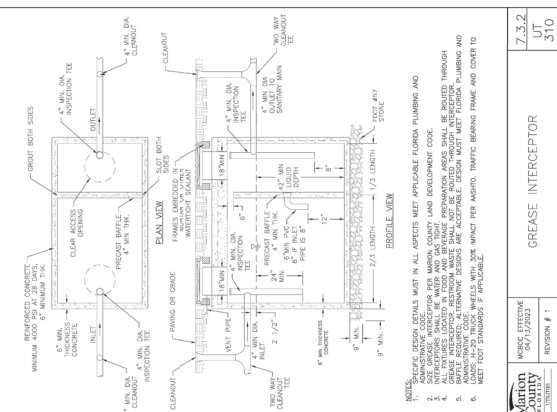
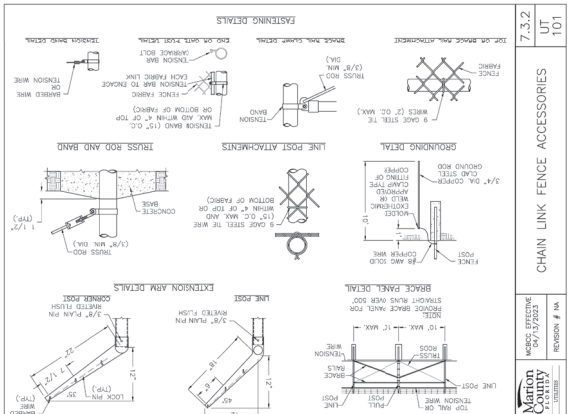
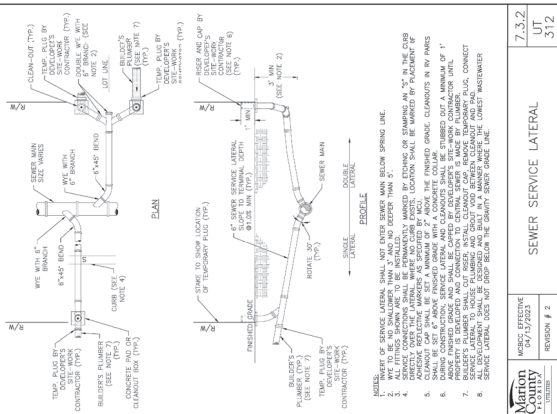
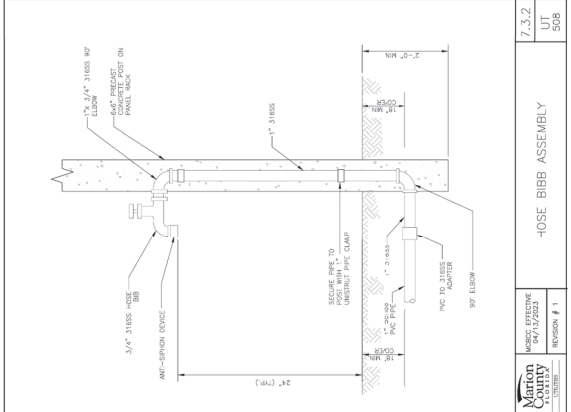
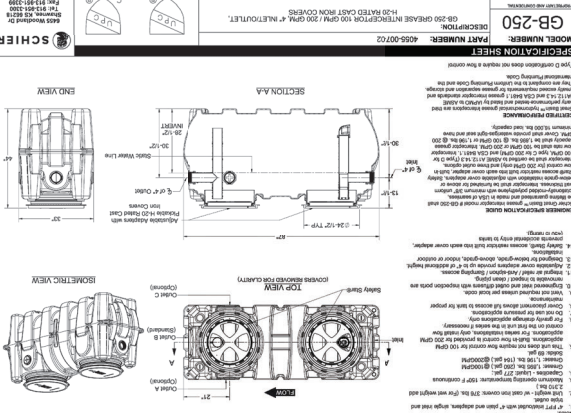
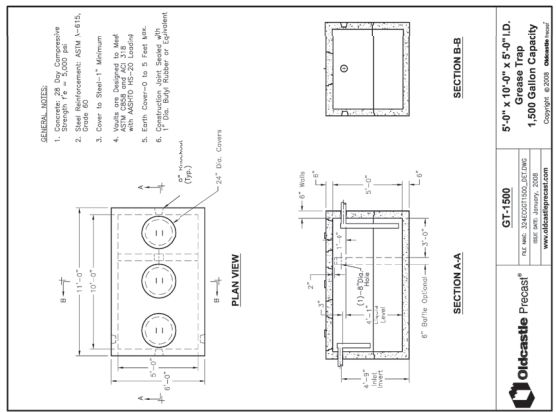
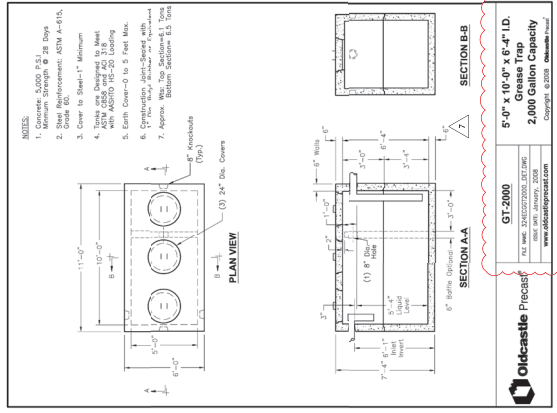
**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80718

PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**

FOR  
**CORTA OCALA, LLC**  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE  
**MARION COUNTY**  
**UTILITY DETAILS**

PROJECT NO. 231396  
CHECKED BY: JJP  
DATE: 05/17/2023  
SHEET NUMBER



| REVISION | DATE       | DESCRIPTION       |
|----------|------------|-------------------|
| 1        | 05/17/2023 | ISSUED FOR PERMIT |
| 2        | 05/17/2023 | ISSUED FOR PERMIT |
| 3        | 05/17/2023 | ISSUED FOR PERMIT |
| 4        | 05/17/2023 | ISSUED FOR PERMIT |
| 5        | 05/17/2023 | ISSUED FOR PERMIT |
| 6        | 05/17/2023 | ISSUED FOR PERMIT |
| 7        | 05/17/2023 | ISSUED FOR PERMIT |
| 8        | 05/17/2023 | ISSUED FOR PERMIT |
| 9        | 05/17/2023 | ISSUED FOR PERMIT |
| 10       | 05/17/2023 | ISSUED FOR PERMIT |

| REVISION | DATE       | DESCRIPTION       |
|----------|------------|-------------------|
| 1        | 05/17/2023 | ISSUED FOR PERMIT |
| 2        | 05/17/2023 | ISSUED FOR PERMIT |
| 3        | 05/17/2023 | ISSUED FOR PERMIT |
| 4        | 05/17/2023 | ISSUED FOR PERMIT |
| 5        | 05/17/2023 | ISSUED FOR PERMIT |
| 6        | 05/17/2023 | ISSUED FOR PERMIT |
| 7        | 05/17/2023 | ISSUED FOR PERMIT |
| 8        | 05/17/2023 | ISSUED FOR PERMIT |
| 9        | 05/17/2023 | ISSUED FOR PERMIT |
| 10       | 05/17/2023 | ISSUED FOR PERMIT |

| REVISION | DATE       | DESCRIPTION       |
|----------|------------|-------------------|
| 1        | 05/17/2023 | ISSUED FOR PERMIT |
| 2        | 05/17/2023 | ISSUED FOR PERMIT |
| 3        | 05/17/2023 | ISSUED FOR PERMIT |
| 4        | 05/17/2023 | ISSUED FOR PERMIT |
| 5        | 05/17/2023 | ISSUED FOR PERMIT |
| 6        | 05/17/2023 | ISSUED FOR PERMIT |
| 7        | 05/17/2023 | ISSUED FOR PERMIT |
| 8        | 05/17/2023 | ISSUED FOR PERMIT |
| 9        | 05/17/2023 | ISSUED FOR PERMIT |
| 10       | 05/17/2023 | ISSUED FOR PERMIT |

| REVISION | DATE       | DESCRIPTION       |
|----------|------------|-------------------|
| 1        | 05/17/2023 | ISSUED FOR PERMIT |
| 2        | 05/17/2023 | ISSUED FOR PERMIT |
| 3        | 05/17/2023 | ISSUED FOR PERMIT |
| 4        | 05/17/2023 | ISSUED FOR PERMIT |
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| 6        | 05/17/2023 | ISSUED FOR PERMIT |
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| 8        | 05/17/2023 | ISSUED FOR PERMIT |
| 9        | 05/17/2023 | ISSUED FOR PERMIT |
| 10       | 05/17/2023 | ISSUED FOR PERMIT |

| REVISIONS |          |   |     |
|-----------|----------|---|-----|
| 08        | 12/22/24 | REVISED PER DOP WASTEWATER PLANT REVIEW                               | JFS |
| 09        | 10/27/24 | PERFORM HOISTING/LOCATION REVISION - ACCESS, UTILITY, DAMAGE          | JFS |
| 10        | 11/07/24 | UPDATED MAIN PLANT REVISION FOR EXISTING HOISTING/LOCATION, SUBMITTAL | JFS |
| 11        | 09/05/24 | REVISION OF PER ACCESS & LOWERING RITE, INC.                          | JFS |
| 12        | 09/05/24 | REVISION PER DOP ACCESS CONCEPTS                                      | JFS |
| 13        | 09/05/24 | REVISION TO BUFFER PER RESOLUTION                                     | JFS |
| 14        | 09/05/24 | REVISION PER DOP ACCESS & HOISTING/LOCATION                           | JFS |
| 15        | 09/05/24 | REVISION PER DOP ACCESS CONCEPTS                                      | JFS |
| 16        | 09/05/24 | REVISION PER DOP ACCESS CONCEPTS                                      | JFS |
| 17        | 09/05/24 | REVISION PER DOP ACCESS CONCEPTS                                      | JFS |
| 18        | 09/05/24 | REVISION PER DOP ACCESS CONCEPTS                                      | JFS |
| 19        | 09/05/24 | REVISION PER DOP ACCESS CONCEPTS                                      | JFS |
| 20        | 09/05/24 | REVISION PER DOP ACCESS CONCEPTS                                      | JFS |
| 21        | 09/05/24 | REVISION PER DOP ACCESS CONCEPTS                                      | JFS |
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| 23        | 09/05/24 | REVISION PER DOP ACCESS CONCEPTS                                      | JFS |
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| 84        | 09/05/24 | REVISION PER DOP ACCESS CONCEPTS                                      | JFS |
| 85        | 09/05/24 | REVISION PER DOP ACCESS CONCEPTS                                      | JFS |
| 86        | 09/05/24 | REVISION PER DOP ACCESS CONCEPTS                                      | JFS |

**Sunshine 811** 

Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

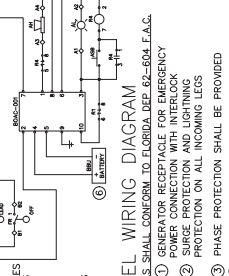
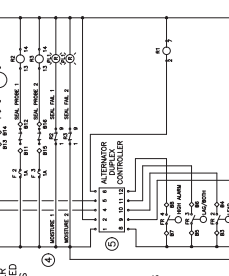
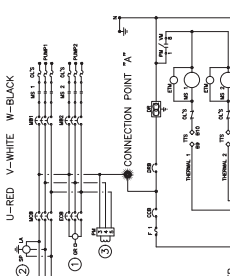
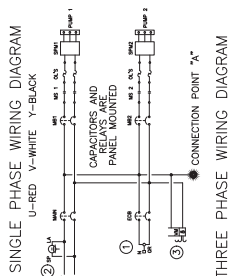
**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

PROJECT NAME  
MAJOR SITE PLAN  
CORTA COMMONS  
FOR  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

**SHEET TITLE**

**LIFT STATION  
DETAILS &  
SPECIFICATIONS**

PROJECT NO: 23-3306  
CHECKED BY: jjs  
VERTICAL DATUM: NAVD 1988  
DATE: 03/29/2024  
SHEET NUMBER  
**C-511**



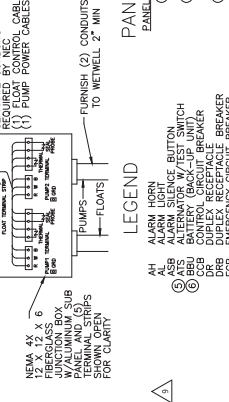
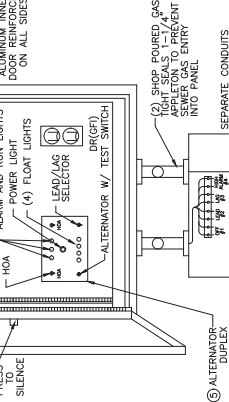
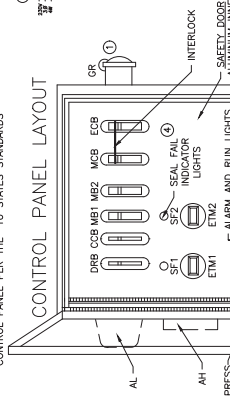
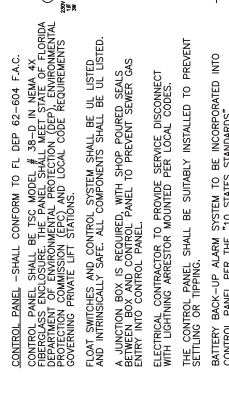
④ SHAFT SEAL FAIL DETECTION  
⑤ ALTERNATOR W/TEST SWITCH  
⑥ BATTERY BACK-UP UNIT

MANUFACTURER SHALL BE A "UL" LISTED SHOP.

TSC DUPLEX GRINDER PUMP STATION  
FIREGRASS, WFT WFI1

**TECHNICAL SALES CORPORATION**  
TSC PRE-FAB PUMP SOLUTIONS ♦  
♦ WATERWORKS & WASTEWATER SPECIALTIES ♦

MODEL TSCE2-48.1 BBU®  
4621 N. HALE AVENUE PH (813)876-9256  
TAMPA, FL 33614 FAX (813)874-1194  
EMAIL: Sales@TSTampa.com  
REV-21 SCALE: N.T.S.



| FL | FLASHER                        | ELAPSED TIME METER | ELAPSED TIME BREAKER | PANEL |
|----|--------------------------------|--------------------|----------------------|-------|
| ①  | FLOAT SWITCH (REGULATOR)       | FUSE               |                      |       |
| 2  | FLIGHT SWITCH (FOR RECEPTACLE) |                    |                      |       |
| 3  | GROUND                         |                    |                      |       |
| 4  | HOA                            |                    |                      |       |
| 5  | LA                             |                    |                      |       |
| 6  | LIGHTNING ARRESTOR             |                    |                      |       |
| 7  | FOR BREAKER                    |                    |                      |       |
| 8  | MAIN BREAKER                   |                    |                      |       |
| 9  | WCB                            |                    |                      |       |

NS  
 MOTOR STARTER  
 NEUTRAL  
 OVERLOAD HEATERS  
 PUMP MOTOR  
 PUMP TERMINAL STRIP  
 RELAY  
 RUN CAPACITOR  
 DISCHARGE RESISTOR  
 DISCHARGE TERMINAL STRIP  
 REGULATOR TERMINAL STRIP

START CAPACITOR  
④ SC SEAL FAIL (SHIFT)  
④ SF START RELAY  
SR START RELAY SENSITIVE  
② TR THERMAL PROTECTOR  
TTS THERMAL TERMINAL STRIP

| GENERAL NOTES  |     |     |             |          |
|--|-----|-----|-------------|----------|
| FURNISH AND INSTALL LIBERTY SUBMERSIBLE PUMP MODELS: |     |     |             |          |
| DESIGN CONDITIONS:                                   |     |     |             |          |
| MODEL  | LGW | LGH | 2.5         | HP       |
|  |     |     | 33.36-92.13 | FT/10H   |
| GPM  | 60  |     |             | PHASE    |
| VOLTAGE  | 208 |     | SINGLE      | IMPELLER |
| DISCHARGE  | 2"  |     |             |          |

UPPER - 1/2" HOLE SPACING, LOWER - DOUBLE ROW

5. PUMP SHAFT HORSEPOWER (BHP) SHALL BE A SPEED, MOTOR RATED HORSEPOWER (HP) MULTIPLIED BY 1.25. THE PUMP SHALL BE A CAST IRON, CAST IRON ALLOY OR STEEL PUMP.

6. MOTORS SHALL BE 3/4" DIA. SHAFT AND CAPABLE OF OPERATING ON THE FOLLOWING VOLTAGE RANGES:

6.1. 208 TO 230 VOLT WITH A 1.0% TOLERANCE VOLTAGE (190 TO 260) OR OPERATE ON 480 VOLT BY CHANGING THE MOTOR LEADS INSIDE THE MOTOR.

FIBERGLASS WELLS SHALL BE A ONE PIECE UNIT WITH INTERNAL BOLL. WALL THICKNESS SHALL BE 1/2" MINIMUM. THE WELLS MUST BE SHALLOWS, TUBIC AND WAVING OF 16.000 INCHES. THE WELLS SHALL BE 3" DIA. WELLS. TO IDENTIFY THE TEST PROCEDURE. ASTM D 5783 & H-240 SPECIFICATIONS SHALL BE REQUIRED AS MINIMUM.

ALUMINUM LATCHES: TSC MODEL-S4R (54") ROUND WITH 24" X 36" LOCKABLE HATCH, 1/2" DIA. HATCH, 1/2" DIA. HATCH, 1/2" DIA. HATCH, 1/2" DIA. HATCH, 1/2" DIA. HATCH, LOCKING DEVICE FOR HAST-TYPE PADLOCK AND STAINLESS STEEL HARDWARE.

VALVE BOX: 26.0 X 36.0 X 18.0" (H=10" TRAFFIC RATED) WITH INTERNAL BOTTOM ACCESS AND 26.0 X 36.0 X 18.0" (H=17" X 30" LIMITED ACCESS) ID.

ACCESSORIES: #204 5/8" - GUIDE RAILS, UPPER GUIDE RAIL BRACKETS, CABLE HOLDER, ANCHOR BOLTS AND PUMP LIFTING CHAINS.  
VALVES: SHALL BE SEWAGE SERVICE DESIGN BRASS SWING CHECK VALVES W/HP TOP ENTRY CLEAN-OUT PORT AND BRASS WIDE GATE VALVES OPEN 100%.  
FINISH: "Z" - SCHEDULE 80 PVC.  
FLOAT SWITCHES: UL LISTED SJ ELECTRO MODEL (SJ 30 SWENO).  
PUMP SUPPLIER SHALL PROVIDE SUBMERSIBLE PUMPS, SLIDE RAIL ASSEMBLIES, ACCESSORIES TO INSURE PROPER OPERATION AND WARRANTY.  
THE COMPLETE PACKAGE PUMPING STATION SHALL BE PUMP BASES.  
TECHNICAL SALES CORPORATION READY TO SHIP FOR FIELD INSTALLATION.  
THE MANUFACTURER OF PRE-PAB PUMP SOLUTIONS.  
TECHNICAL SALES CORPORATION, 4421 N. HALE AVENUE, TAMPA, FL 33614 (813)976-9256

LIBERTY ENGINEERED PRODUCTS

LIBERTY LGV 2.5HP   Synchronous Speed: 3450 RPM  
Single and Three Phase   2 inch Discharge  
Design flow: 60 GPM @ 104'/FT

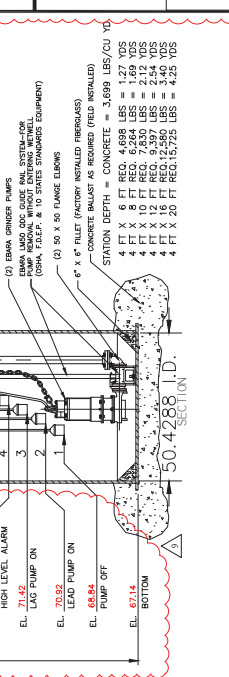
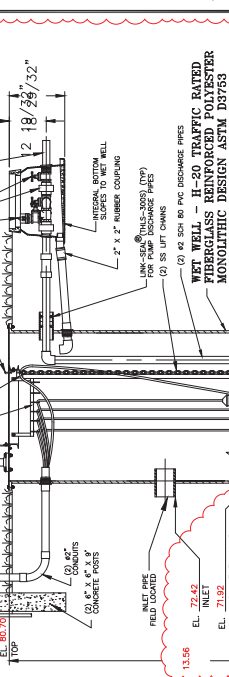
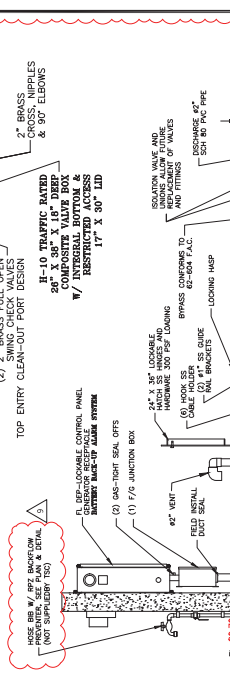
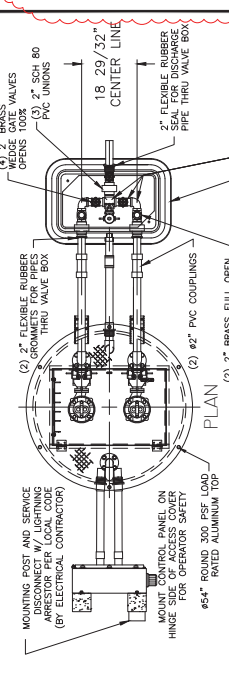
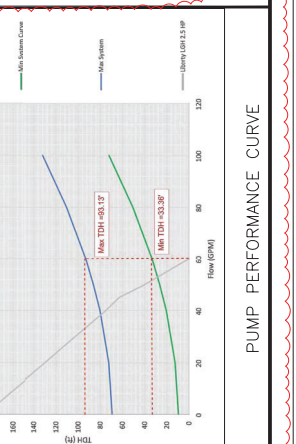
System vs Pump Curve

100  
80  
60  
40  
20  
0

0 20 40 60 80 100 120 140

HEAD

GPM



EBARA SEWAGE GRINDER PUMP

48 DUPLEX STATION - 2 PIPING  
WITH SLIDE RAIL SYSTEM, V.B. AND F.D.E.P. PANEL  
TSC PRE-FAB PUMP SOLUTIONS®  
MODEL TSC2-48.1 BBU R21.dwg ©

JOB: \_\_\_\_\_

1. HOSE BIBB WITH REDUCED PRESSURE BACK FLOW PREVENTER

2. GROUT FILL (1 TO 1 SLOPE TO "HOPPER" BOTTOM)

QS: \_\_\_\_\_

FIELD INSTALL BY CONTRACTOR







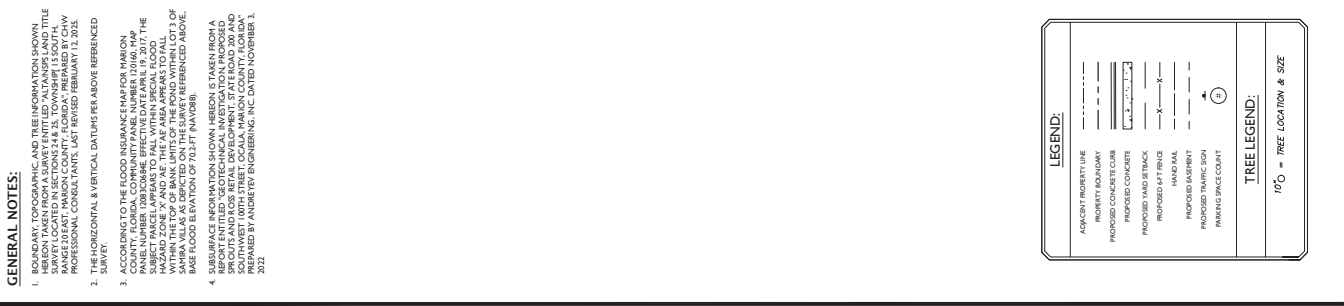








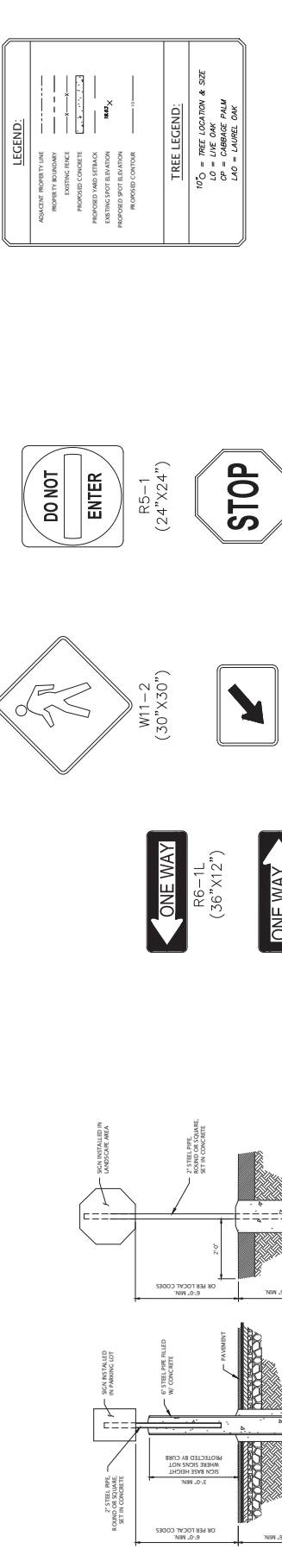




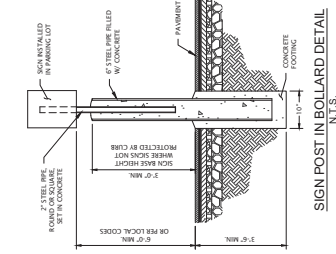


OVERALL SIGNING & MARKING PLAN

11



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SIGN POST IN BOLLARD DETAIL  
N.T.S.

| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 10  | 12/27/25 | REVISED PER SHOPPER UTILITY MODIFICATIONS & REVIEW COMMENTS    |
| 09  | 12/23/24 | REVISED PER FEA WASTEWATER PERMIT REVIEW                       |
| 08  | 11/07/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE         |
| 07  | 11/07/24 | UPDATED PLANS FROM RE-DESIGN FOR PERMIT MODIFICATION SUBMITTAL |
| 06  | 10/17/24 | RE-DESIGN OF CROSS ACCESS & LOWERS SITE AT TJC                 |
| 05  | 10/07/24 | REVISIONS PER FOOT ACCESS & FORDCHAMAIN RELOCATION             |
| 04  | 09/26/24 | REVISIONS TO BURIED WATER MAIN RELOCATION                      |
| 03  | 09/12/24 | REVISION PER COUNTY, SWAMPY & FOOT REVIEW COMMENTS             |
| 02  | 01/29/24 | REVISION PER ZONING APPROVAL, COUNTY & SWAMPY REVIEW COMMENTS  |
| BY  |          |  |

**Sunshine**  
Call 811 or visit [sunshine.fl.gov](http://sunshine.fl.gov) before any business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80754

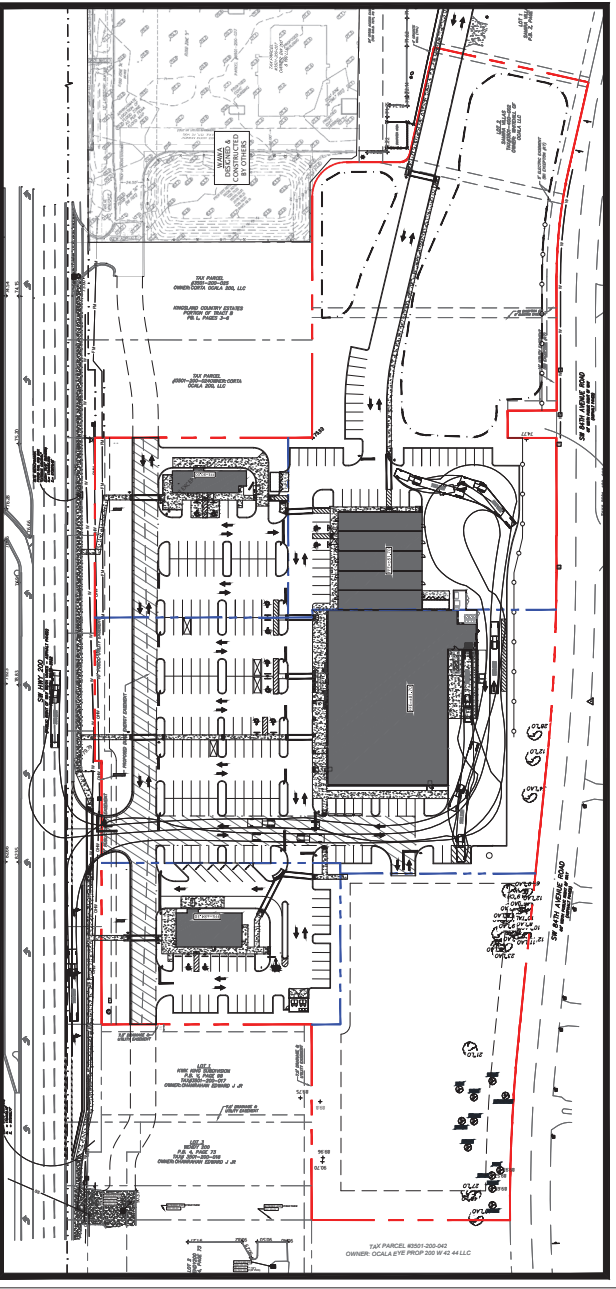
PROJECT NAME  
**MAJOR SITE PLAN  
CORTA COMMONS**

FOR  
**CORTA OCALA, LLC**  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

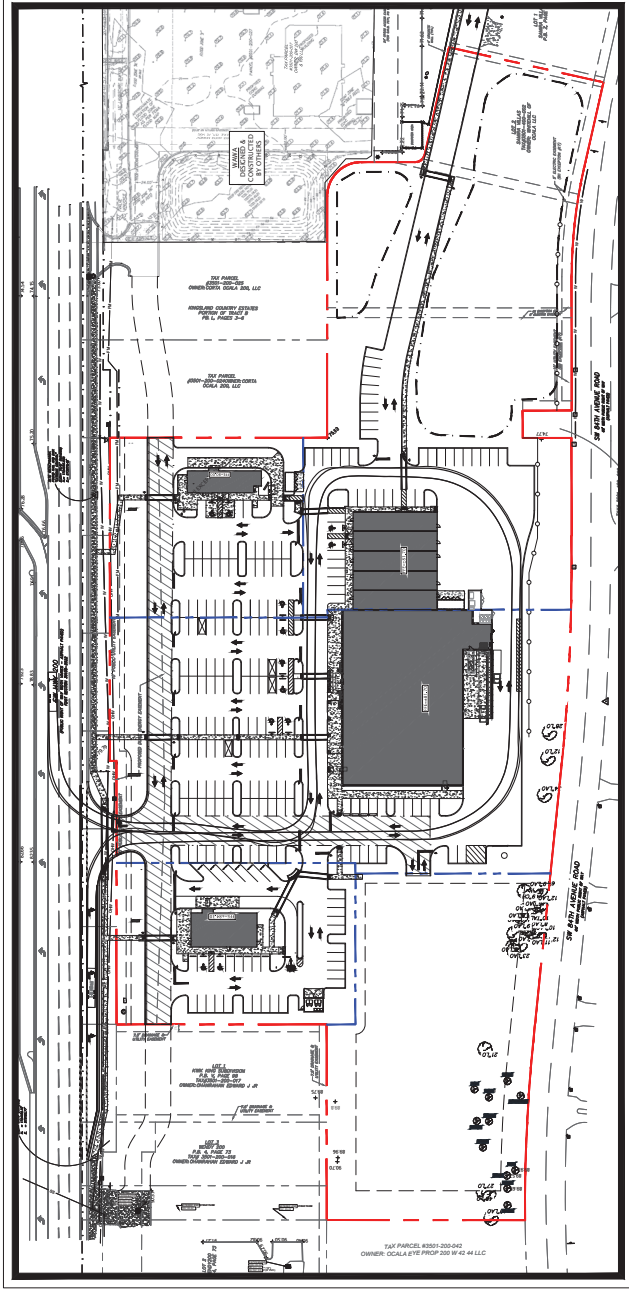
SHEET TITLE  
**TRUCK TURN  
EXHIBIT**

PROJECT NO.: 23-1386  
CHECKED BY: JPS  
DATE: 05/05/25  
DATE: 05/05/25  
SHEET NUMBER

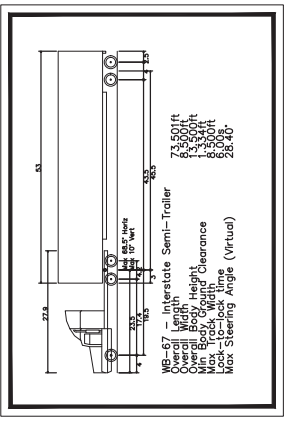
**C-106**



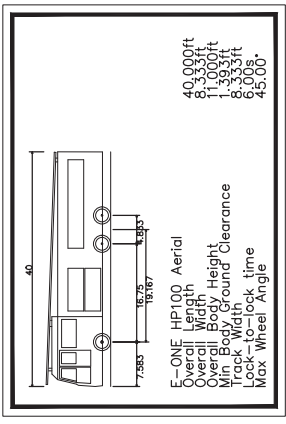
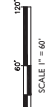
SPROUTS DELIVERY CIRCULATION EXHIBIT  
SCALE 1" = 60'



FIRE & RESCUE CIRCULATION EXHIBIT  
SCALE 1" = 60'



SPROUTS DELIVERY TRUCK (WB67)



TRACKING VEHICLE - E-ONE HP100 AERIAL

NOTE:  
E-ONE HP100 AERIAL NOT AVAILABLE FOR VEHICLE IN LIBRARY.  
HP100 MEETS OR EXCEED ALL DIMENSIONS & TURNING CONDITIONS AND AS SUCH  
TRACKING PATH EXCEEDS REQUIRED BY COUNTY HP28 AERIAL



GENERAL NOTES:

1. TOPOGRAHY AND THE INFORMATION SHOWN HEREIN IS TAKEN FROM A SURVEY INTITLED "TOPOGRAPHIC SURVEY SITUATED IN THE FOURTH QUARTER (SW  $\frac{1}{4}$ ) OF SECTION 24, TOWNSHIP 5 SOUTH, RANGE 20 EAST, COUNTY OF HAMILTON, MISSOURI," DATED JANUARY 21, 1984.
2. HORIZONTAL AND VERTICAL DATUMS ARE PLAINLY REFERENCED SURELY.
3. ENGINEER IS NOT RESPONSIBLE FOR JOBSITE SAFETY OR SUPERVISION. CONTRACTOR IS TO MOVED WITH THE DISCUSSION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
4. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS IDENTIFIED BY THE CONTRACTOR TO THE ENGINEER IN WRITING PRIOR TO INITIATION OF ACTIVITIES.

**LEGEND:**

|       |                        |
|-------|------------------------|
| ----- | ADJACENT PROPERTY LINE |
| ----- | PROPERTY BOUNDARY      |
| ===== | PROPOSED CONCRETE CURB |
| ===== | PROPOSED CONCRETE      |
| ===== | LANDSCAPE BUFFER       |
| ----- | PROPOSED TARD SETBACK  |
| ----- | PROPOSED MAILING       |
| ----- | PROPOSED TAPERING      |
| ----- | PROPOSED TRAFFIC SIGN  |
| ----- | PARKING SPACE COUNT    |

## REVISIONS

**Sunshine811** 

Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.

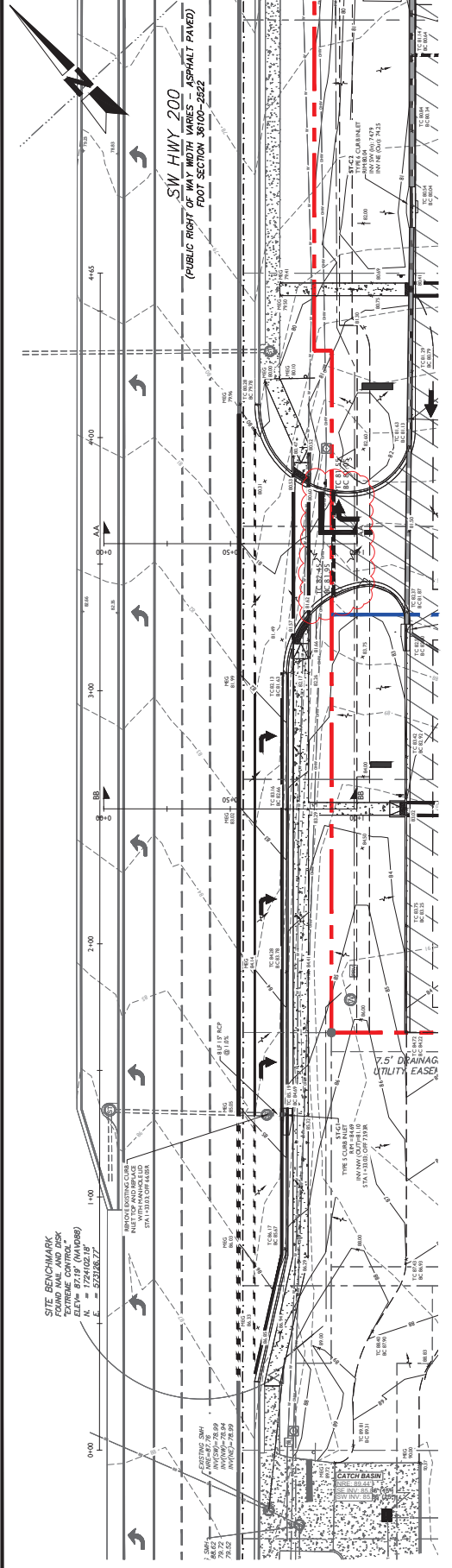
*Check positive response codes before you dig!*

|   |   |
|---|---|
| <b>JOHN J. STOECKEL</b><br>FLORIDA PROFESSIONAL ENGINEER<br>LICENSE NO. 80758 | PROJECT NAME<br><b>MAJOR SITE PLAN<br/>         CORTA COMMONS</b><br><br>FOR<br><br><b>CORTA OCALA, LLC</b><br><br>SW HWY 200 - OCALA<br>MARION COUNTY, FLORIDA |
|---|---|

|                           |
|---------------------------|
| PROJECT NO: 23-3306       |
| CHECKED BY: JJS           |
| VERTICAL DATUM: NAVD 1988 |
| DATE: 03/29/2024          |
| SHEET NUMBER              |

**MJ STOKES CONSULTING**  
P.O. BOX 22821  
TAMPA, FL 33622  
813.774.4199  
INFO@MJSTOKESCONSULTING.COM  
FLORIDA BUSINESS REGISTRY NO. 34448

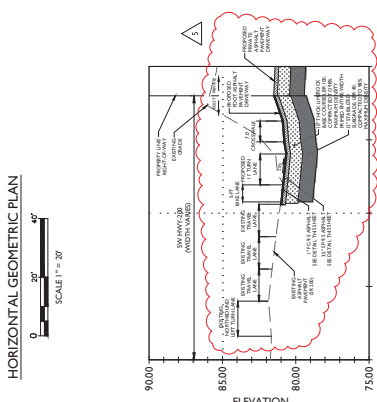
| REVISIONS |          |  |     |
|-----------|----------|--|-----|
| REV       | DATE     | DESCRIPTION  | BY  |
| 01        | 10/07/24 | REVISIONS PER FOOT ACCESS COMMENTS                           | JFS |
| 02        | 9/20/24  | REVISIONS PER FOOT ACCESS & PORCHWAY RELOCATION              | JFS |
| 03        | 9/05/24  | REVISION TO CLUTTER PER RESOLUTION                           | JFS |
| 04        | 8/01/24  | REVISION PER COUNTY, SWAMP, & FOOT REVIEW COMMENTS           | JFS |
| 05        | 6/17/24  | REVISION PER ZONING APPROVAL, COUNTY & SWAMP REVIEW COMMENTS | JFS |



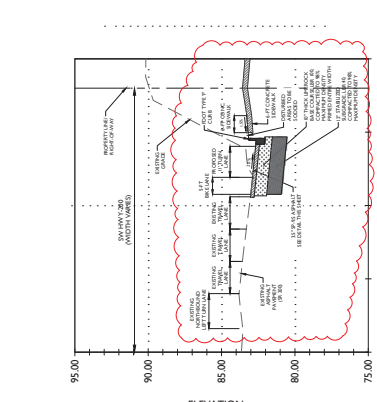
HORIZONTAL GEOMETRIC PLAN

TURN LANE CONSTRUCTION NOTES

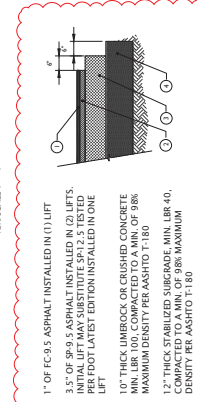
- 1. THE TURN LANE SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE ROADWAY. THE TURN LANE SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE ROADWAY. THE TURN LANE SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE ROADWAY.
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- 14. THE TURN LANE SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE ROADWAY. THE TURN LANE SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE ROADWAY. THE TURN LANE SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE ROADWAY.
- 15. THE TURN LANE SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE ROADWAY. THE TURN LANE SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE ROADWAY. THE TURN LANE SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE ROADWAY.
- 16. THE TURN LANE SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE ROADWAY. THE TURN LANE SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE ROADWAY. THE TURN LANE SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE ROADWAY.
- 17. THE TURN LANE SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE ROADWAY. THE TURN LANE SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE ROADWAY. THE TURN LANE SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE ROADWAY.
- 18. THE TURN LANE SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE ROADWAY. THE TURN LANE SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE ROADWAY. THE TURN LANE SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE ROADWAY.
- 19. THE TURN LANE SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE ROADWAY. THE TURN LANE SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE ROADWAY. THE TURN LANE SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE ROADWAY.



DRIVEAWAY PROFILE (AA-AA) - STA 3+58.12



TURN LANE SECTION (BB-BB) - STA 2+53.33



- 1. 1" OF FC-9.5 ASPHALT INSTALLED IN (1) LIFT.
- 2. 3.5" OF SP-9.5 ASPHALT INSTALLED IN (2) LIFTS. INITIAL LIFT MAY SUBSTITUTE SP-12.5 TESTED IN FOOT LATEST EDITION INSTALLED IN ONE LIFT.
- 3. 10" THICK LAMBRock OR CRUSHED CONCRETE MIN. LER 100, COMPACTED TO A MIN. OF 98% MAXIMUM DENSITY PER AASHTO T-180.
- 4. 12" THICK STABILIZED SUBGRADE MIN. LER 40, COMPACTED TO A MIN. OF 98% MAXIMUM DENSITY PER AASHTO T-180.

MJ STOKES CONSULTING  
P.O. BOX 22821  
TAMPA, FL 33622  
813.724.4199  
INFO@MJSTOKESCONSULTING.COM  
FLORIDA BUSINESS REGISTRY NO. 3448

| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 01  | 4/12/24  | REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |
| 02  | 6/18/24  | REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |
| 03  | 6/18/24  | REVISION TO BUREAU PER RESOLUTION                              |
| 04  | 7/20/24  | REVISIONS PER FOOT ACCESS & FORKCHAMIN RELLOCATION             |
| 05  | 10/07/24 | REVISIONS PER FOOT ACCESS COMMENTS                             |

sunshine101  
Call 811 or visit sunshine101.com  
business days before opening to the  
buried facilities located and marked.  
Check positive response codes before you dig!

JOHN J. STOECKEL  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80708

PROJECT NAME  
MAJOR SITE PLAN  
CORTA COMMONS  
FOR  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE  
FOOT TURN LANE  
VERTICAL PLAN  
& SECTIONS

PROJECT NO. 23336  
CHECKED BY: JPS  
DATE: 6/18/2024  
SHEET NUMBER  
C-202

[illegible]

[illegible]



**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

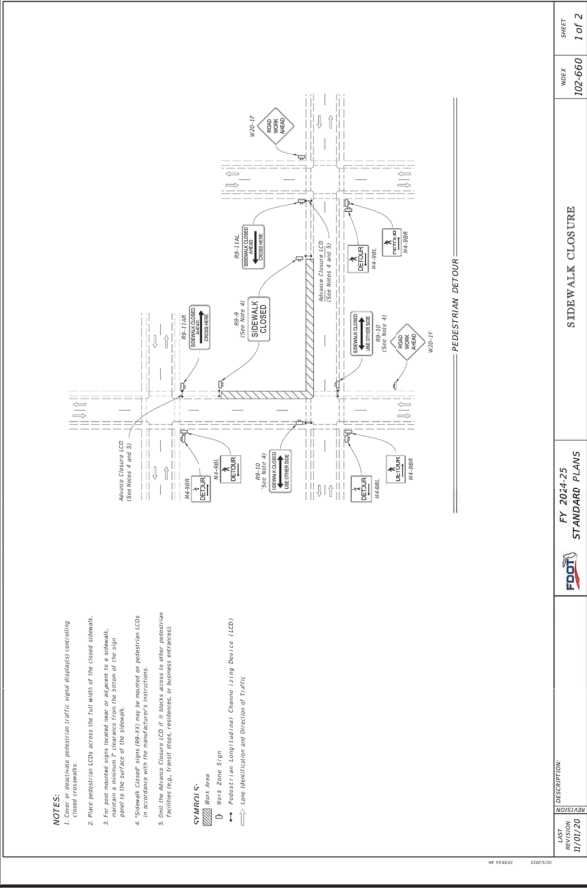
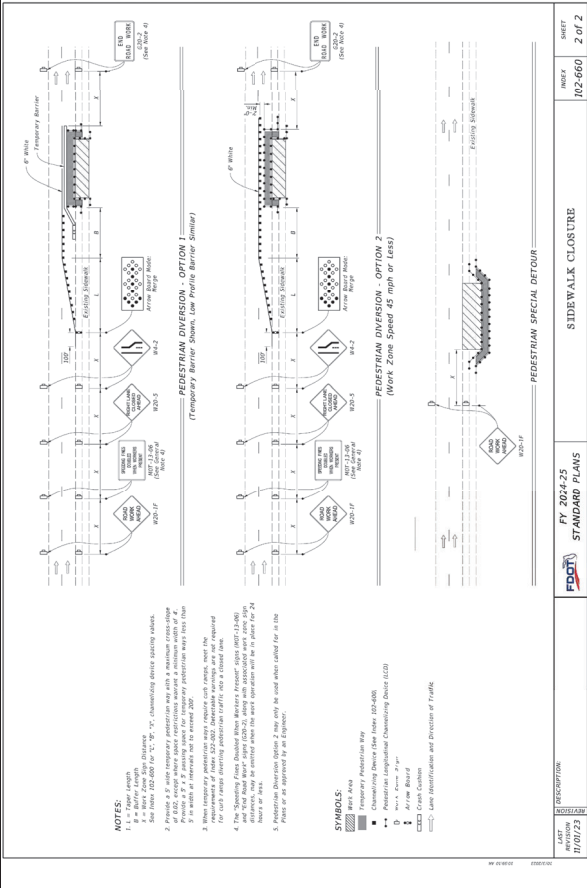
PROJECT NAME: MAJOR SITE PLAN  
CORTA COMMONS

CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE  
MAINTENANCE OF  
TRAFFIC FDOT  
DETAILS

|                           |
|---------------------------|
| PROJECT NO: 23-3306       |
| CHECKED BY: JJS           |
| VERTICAL DATUM: NAVD 1988 |
| DATE: 03/29/2024          |
| SHEET NUMBER              |

C-206



1. BOUNDARY, TOPOGRAPHIC AND TREE INFORMATION SHOWN TAKEN FROM A SURVEY ENTITLED "ALPINE LAND TITLE SURVEY LOCATED IN SECTIONS 24 & 35, TOWNSHIP 15 SOUTH, RANGE 8 EAST, HAMILTON COUNTY, GEORGIA," PREPARED BY CHAUNCEY CONSLANT, DATED MARCH 18, 2013.
2. THE HORIZONTAL VERTICAL DATA REF ARE ABOVE REFERENCED SURVEY.
3. ACCORDING TO THE FLOOD INSURANCE MAP FOR COUNTY OF FLORIDA, CUMULATIVE PANEL NUMBER 10-60, MAP NAME NUMBER 1298-000-A, EFFECTIVE DATE 01/19/77, THE SUBJECT PARCEL IS NOT IN A FLOOD ZONE.
4. THE SUBJECT PARCEL IS LOCATED WITHIN THE BANK UNIT OF LOT 1 OF SANNA VALLEY AS DEPICTED ON THE SURVEY REBERED ABOVE. LAKE ELEVATION LISTED OF 73.1 FT.
5. SUBSURFACE INFORMATION SHOWN HEREIN IS TAKEN FROM A REPORT ENTITLED "GEOTECHNICAL INVESTIGATION OF PROPOSED PAVEMENT FOR DRIVEWAY AND DRIVEWAY APPROACHES, 10111 STATE STREET, COCKA WAGON COUNTY, GEORGIA," PREPARED BY ANDREY ENGINEERING, INC., DATED NOVEMBER 3, 2012
6. ALL CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS AND PERMIT CONDITIONS FROM LOCAL, STATE, AND FEDERAL AGENCIES, AS APPLICABLE. THE CONTRACTOR SHALL ACQUIRE A COPY OF ALL PERMITS NECESSARY FOR THE PROJECT PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL UTILITIES SHALL BE MAINTAINED AT ALL TIMES. ALL APPLICATIONS FOR PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

1. PROPOSED GRADE ELEVATIONS SHOWN AT BUILDING LINE ARE GROUND ELEVATIONS.
2. PROPOSED SPOT ELEVATIONS IN PAVEMENT AREAS ARE TOP OF FINISHED PAVEMENT.
3. A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO VERIFY COMPLIANCE OF ALL MATERIALS WITH THE SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL TESTING. THE CONTRACTOR WILL BE ALLOWED TO FORFEIT ANY TESTS TO MEET THE REQUIREMENTS. THE CONTRACTOR WILL BE ALLOWED TO FORFEIT ANY TESTS TO MEET THE REQUIREMENTS. THE CONTRACTOR WILL BE ALLOWED TO FORFEIT ANY TESTS TO MEET THE REQUIREMENTS.
4. ALL DESTRUCTIVE SURVEILLANCE MATERIAL (MUCK, PILE, BURIED DEBRIS) IS TO BE EXCAVATED IN THE EXISTING PAVEMENT AND REMOVED TO THE SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL TESTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL TESTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL TESTING.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL TESTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL TESTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL TESTING.
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7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL TESTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL TESTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL TESTING.

1. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT WITH SITE SPECIFIC GEOTECHNICAL REPORT FOR THE SITE, AS WELL AS THE TESTING SCHEDULE REQUIRED BY FOOT AND THE AFFECTED MUNICIPALITY. UPON COMPLETION OF WORK, THE SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER AND OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.

2. A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE IN-PLACE MATERIALS AS REQUIRED BY THESE PLANS AND THE VARIOUS AGENCIES. CONSIDERATION SHOULD BE GIVEN, ALTHOUGH NOT REQUIRED, TO THE GEOTECHNICAL ENGINEER PROVIDING RECOMMENDATIONS FOR THIS SITE PROJECT. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL COSTS OF SAID RETESTING.

[illegible]

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**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

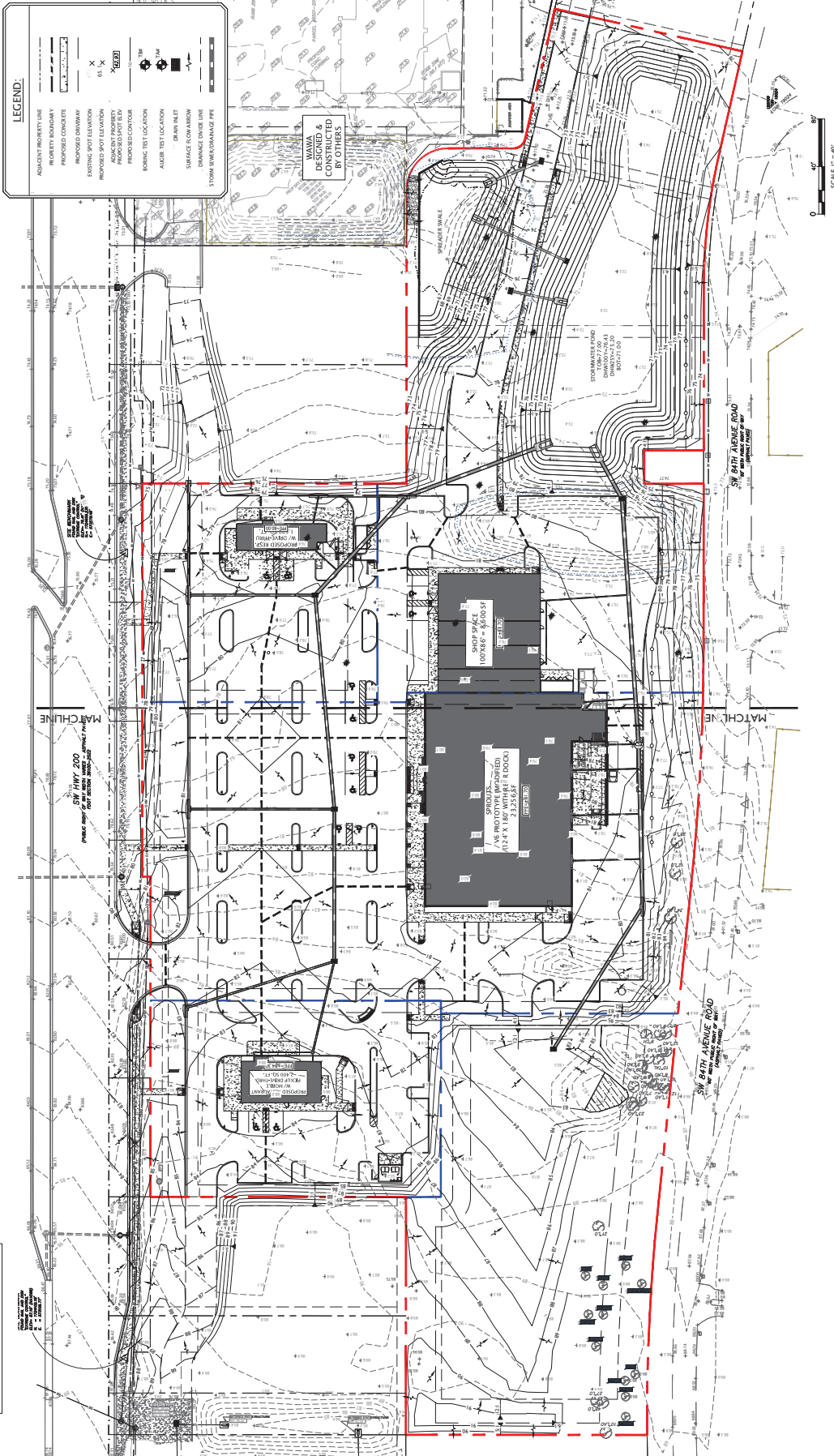
PROJECT NAME: MAJOR SITE PLAN  
CORTA COMMONS

FOR  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

PROJECT TITLE  
GRADING &  
DRAINAGE PLAN

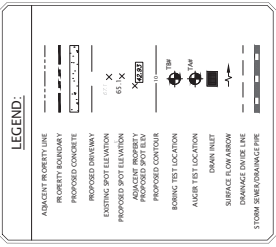
PROJECT NO: 23-3306  
CHECKED BY: JJS  
VERTICAL DATUM: NAVD 1988  
DATE: 03/29/2024  
SHEET 11 OF 60

C-301



1. BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "ALTANISPS LAND TITLE SURVEY LOCATED IN SECTIONS 24 & 25, TOWNSHIP 15 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA", PREPARED BY CHW PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2013

2. THE HORIZONTAL & VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
3. ACCORDING TO THE FLOOD INSURANCE MAP FOR MAHON PARISH NUMBER 120820000, EFFECTIVE DATE APRIL 19, 2017, THE SUBJECT PARCELS APPEAR TO FALL WITHIN SPECIAL FLOOD HAZARD ZONE 1. THE SUBJECT PARCELS ARE LOCATED WITHIN THE TOP 500 FEET UNITS OF THE FLOOD WINDLIFT ZONE. BASE FLOOD ELEVATION OF 70.21' (NAVD83).
4. SUBSURFACE INVESTIGATION REPORT IS TAKEN FROM A REPORT ENTITLED "GEOLOGICAL INVESTIGATION, MAHON ROAD AND SOUTHWEST CORNER WITH STREET CORNER, MAHON PARISH, LOUISIANA, PREPARED BY ANDREVEY ENGINEERING, INC., DATED NOVEMBER 5, 2001.
5. THE PERMIT CONDITIONS FROM LOCAL, STATE, AND FEDERAL AGENCIES, AS APPLICABLE, THE CONTRACTOR SHALL KEEP ALL DOCUMENTS ON-SITE, AT ALL TIMES. ALL APPLICABLE PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

[illegible]

**Sunshine811** 

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Check positive/response codes before you dig!

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER

PROJECT NAME: MAJOR SITE PLAN  
CORTA COMMONS

FOR  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

GRADING &  
DRAINAGE PLAN

|                 |            |
|-----------------|------------|
| PROJECT NO:     | 23-3306    |
| CHECKED BY:     | JJS        |
| VERTICAL DATUM: | NAVD 1988  |
| DATE            | 03/29/2024 |
| SHEET NUMBER    |            |

C-302

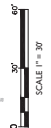
**MJ**  
STOKES  
CONSULTING

BOUNDARY, TOPOGRAPHIC, AND THE INFORMATION SHOWN HEREIN TAKEN FROM A SURVEY ENTITLED "ALTAMERS, LAND TITLE NO. 10166, MAHON COUNTY, FLORIDA, PREPARED BY J. SOUTH RANGE, JR., A PROFESSIONAL SURVEYOR, LICENSE NO. 10000, ON 03/27/2018. THE PROFESSIONAL CONSULTANTS DATED MARCH 1, 2022.

THE SURVEY REFERENCE ABOVE, BASE FLOOD ELEVATION OF 70.2 FT (NAVD83).

SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A SUBSURFACE INVESTIGATION REPORT DATED 02/28/2022, ENTITLED "GEOTECHNICAL INVESTIGATION REPORT FOR THE PROPOSED 10' WIDE SIDEWALK AND 10' WIDE CONCRETED DRIVEWAY OFF SOUTH WEST 107TH STREET, CANYON COUNTY, FLORIDA," PREPARED BY AUDREY ENGINEERING INC. DATED 03/01/2022.

ALL CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS AND SPECIFICATIONS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION AND APPROVED CONSTRUCTION DOCUMENTS ON-SITE. AT ALL TIMES, COMMENCEMENT OF CONSTRUCTION SHALL BE DATED PRIOR TO THE



**LEGEND:**

- ADJACENT PROPERTY LINE
- PROPERTY BOUNDARY
- PROPOSED CONCRETE
- PROPOSED DRIVEWAY
- EXISTING LOT ELEVATION
- PROPOSED LOT ELEVATION
- ADJACENT PROPERTY
- PROPOSED SPOT ELEV
- PROPOSED CONTOUR
- EXISTING TEST LOCATION
- PROPOSED TEST LOCATION
- RAIN GUT INLET
- SURFACE DRAIN ARROW
- DRAINAGE DITCH LINE
- STORM DRAINAGE PIPE

|    |          |  |     |
|----|----------|--|-----|
| 11 | 4/14/25  | REVISED PER SWANSON BAR HODGKINSON COMMENTS        | JSF |
| 10 | 3/27/24  | REVISED PER SWANSON BAR HODGKINSON COMMENTS        | JSF |
| 9  | 12/23/24 | REVISED PER SWANSON BAR HODGKINSON COMMENTS        | JSF |
| 8  | 11/27/24 | REVISED PER SWANSON BAR HODGKINSON COMMENTS        | JSF |
| 7  | 10/17/24 | REDESIGN OF CROSS ACCESS & LOWBEDDED SITE AT T52   | JSF |
| 6  | 9/17/24  | LOCKED PER SWANSON BAR HODGKINSON COMMENTS         | JSF |
| 5  | 9/10/24  | REVISIONS FOR CROSS ACCESS & LOWBEDDED SITE AT T52 | JSF |
| 4  | 8/20/24  | REVISIONS FOR CROSS ACCESS & LOWBEDDED SITE AT T52 | JSF |
| 3  | 8/20/24  | REVISIONS FOR CROSS ACCESS & LOWBEDDED SITE AT T52 | JSF |
| 2  | 8/20/24  | REVISIONS FOR CROSS ACCESS & LOWBEDDED SITE AT T52 | JSF |
| 1  | 8/20/24  | REVISIONS FOR CROSS ACCESS & LOWBEDDED SITE AT T52 | JSF |

**Sunshine811** 

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**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

PROJECT NAME: MAJOR SITE PLAN  
CORTA COMMONS

FOR  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

GRADING &  
DRAINAGE PLAN

PROJECT NO: 23-3306  
CHECKED BY: JJS  
VERTICAL DATUM: NAVD 1988  
DATE: 03/29/2024  
SHEET NUMBER

C-303



0 30' 60'

SCALE 1" = 30'



**Sunshine811** 

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PROJECT NAME: MAJOR SITE PLAN  
CORTA COMMONS

CROSS SECTIONS

|                 |            |
|-----------------|------------|
| PROJECT NO:     | 23-3306    |
| CHECKED BY:     | JJS        |
| VERTICAL DATUM: | NAVD 1988  |
| DATE            | 03/29/2024 |
| SHEET NUMBER    |            |

C-304

**MJ**  
STOKES  
CONSULTING

**MJ STOKES CONSULTING**

P.O. BOX 22821  
TAMPA, FL 33622  
813.734.1499  
INFO@MJSTOKESCONSULTING.COM

FLORIDA BUSINESS REGISTRY NO. 3448

| REV | DATE     | DESCRIPTION   |
|-----|----------|---|
| 12  | 5/08/25  | REVISED PER SWHAW BMP MODIFICATION COMMENTS                     |
| 11  | 4/16/25  | REVISED PER SWHAW SW 100TH ACCESS MODIFICATION                  |
| 10  | 2/27/25  | REVISED PER SWHAW UTILITY MODIFICATIONS & REVIEW COMMENTS       |
| 09  | 12/21/24 | REVISED PER PDR WASTEWATER PERMIT REVIEW                        |
| 08  | 11/07/24 | PERMIT MODIFICATION REVISION - ACCESS, UTILITY, DRAINAGE        |
| 07  | 11/07/24 | REDESIGN OF CROSS ACCESS & LOWERED SITE AT TJC                  |
| 06  | 10/17/24 | REVISIONS PER FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/POUND |
| 05  | 9/20/24  | REVISION TO BRUSHY PER RELOCATION                               |
| 04  | 9/20/24  | REVISIONS PER FOOT ACCESS & FORDCUMBY RELOCATION                |
| 03  | 9/20/24  | REVISION PER COUNTY, SWHAW & PDR REVIEW COMMENTS                |
| 02  | 9/20/24  | REVISION PER COUNTY, SWHAW & PDR REVIEW COMMENTS                |
| 01  | 9/20/24  | REVISION PER COUNTY, SWHAW & PDR REVIEW COMMENTS                |

**Sunshine**

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**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 807758

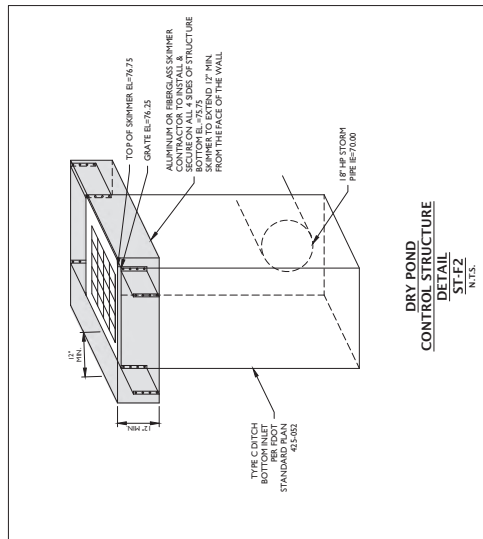
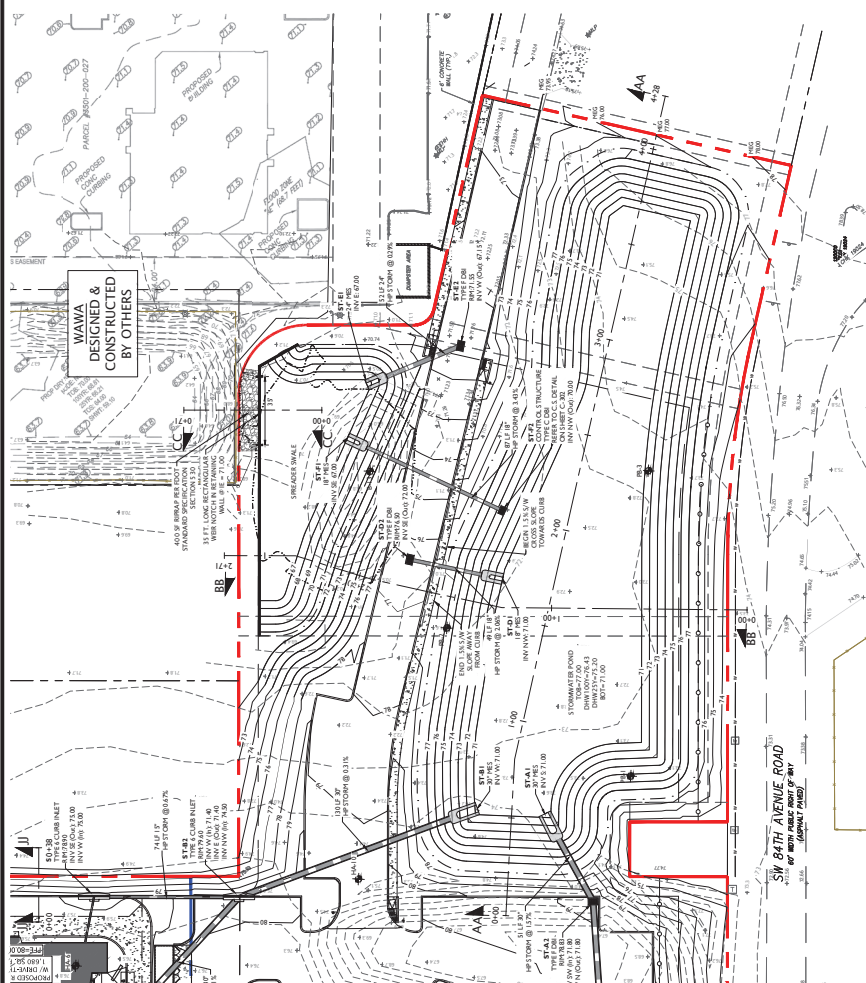
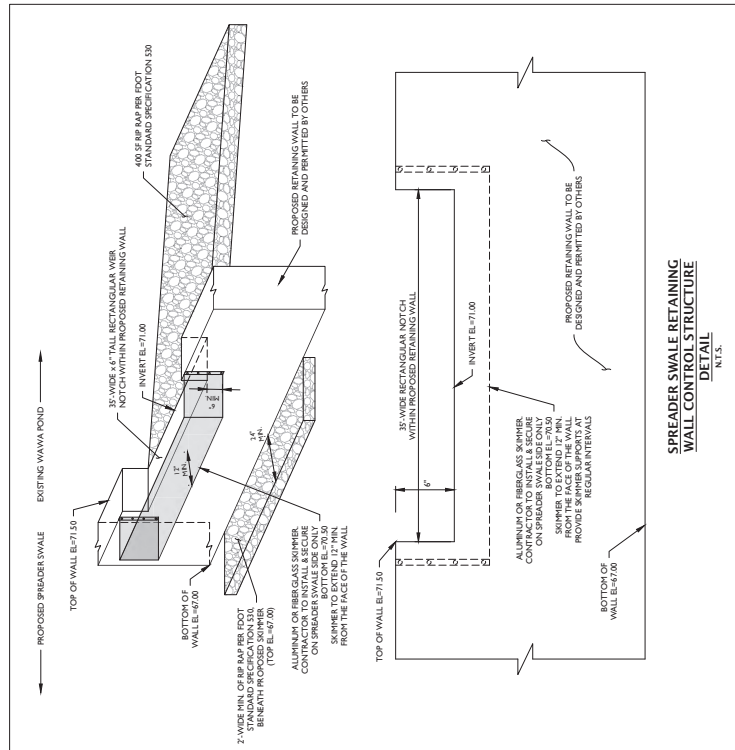
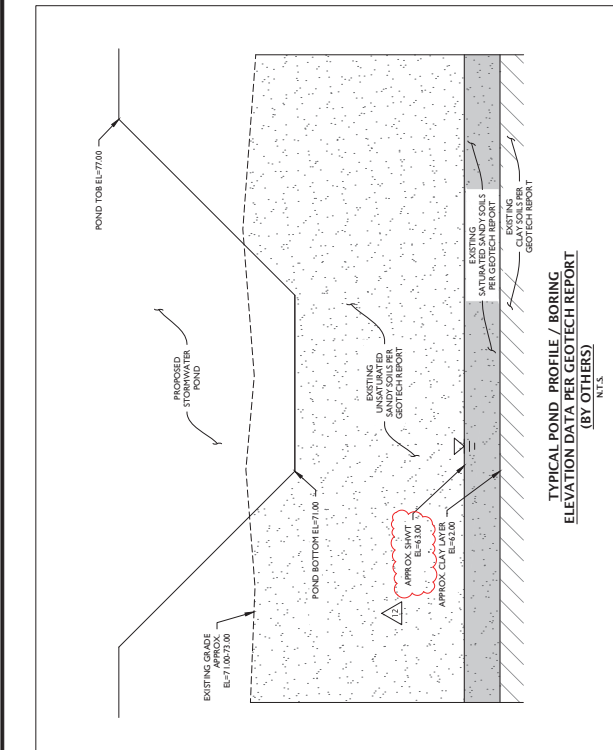
PROJECT NAME  
**MAJOR SITE PLAN  
CORTA COMMONS**  
FOR  
**CORTA OCALA, LLC**  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

CHECKED BY: JPS  
DATE: 06/26/2024  
SHEET NUMBER

PROJECT NO.: 23-1396  
DATE: 06/26/2024  
SHEET NUMBER

**CROSS SECTIONS**

**C-305**



0 30' 60'

SCALE P=30'

**LEGEND:**

- ADJACENT PROPERTY LINE
- PROPERTY BOUNDARY
- PROPOSED DRIVEWAY
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED PROFILE
- PROPOSED CONTOUR
- BORING TEST LOCATION
- ACCESS TEST LOCATION
- DOWN INLET
- DRAINAGE FLOW ARROW
- STORM SEWER DRAINAGE PIPE

[illegible]



1. BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "ALTA/NSPS LAND TITLE SURVEY LOCATED IN SECTIONS 24 & 25, TOWNSHIP 15 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA", PREPARED BY CHW PROFESSIONAL CONSULTANTS, LAST REVISED FEBRUARY 12, 2025.

- [illegible]

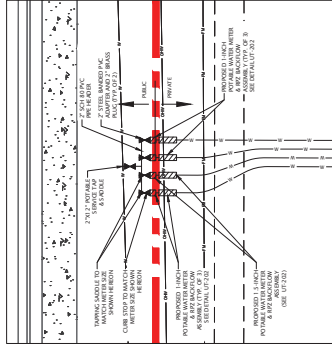
1. AS-BUILTS, ANY UTILITIES WHICH WILL BE DEDICATED TO MCUI POST-CONSTRUCTION SHALL BE SHOWN ON AS-BUILTS IN ACCORDANCE WITH LATEST LDC-REV 4/13/23.
2. ANY ASSETS TO BE CONVEYED TO MCUI (MAINS, SERVICES, APPURTENANCES) SHALL BE IDENTIFIED ON PLAN.
3. ANY ASSETS TO BE CONVEYED TO MCUI (MAINS, SERVICES, APPURTENANCES) SHALL BE DONE THROUGH BILL OF SALE PROCESS PRIOR TO MCUI SCINING OUT DIP CLEARANCES.

- [illegible]

BELOW IS AN OUTLINE OF THE IRRIGATED AREA FOR EACH SYSTEM WITHIN THE SUBJECT PROPERTIES BEING DEVELOPED

- SYSTEM A (RESIDENTIAL) = 14,350 SQ. FT.
- SYSTEM B (CHIPOTLE) = 11,575 SQ. FT.
- SYSTEM C (SPROUTS) = 26,775 SQ. FT.
- SYSTEM D (SMOOTHIE) = 4,475 SQ. FT.
- SYSTEM E (RETAIL) = 29,100 SQ. FT.

TOTAL AREA TO BE IRRIGATED = 83.790 SQ. FT.



## SHOPPES 4-SERVICE METER BANK BLOWUP DETAIL

[illegible]

| REV | DATE     |
|-----|----------|
| 03  | 9/05/24  |
| 04  | 9/20/24  |
| 05  | 10/07/24 |
| 06  | 10/17/24 |
| 07  | 11/07/24 |
| 08  | 1/07/24  |
| 09  | 1/22/24  |
| 10  | 2/27/25  |
| 11  | 4/16/25  |
| 12  | 5/08/25  |
| 13  | 6/02/25  |

**Sunshine811**  
Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER

PROJECT NAME: MAJOR SITE PLAN  
CORTA COMMONS

FOR

CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE

UTILITY PLAN  
(NORTH)

PROJECT NO: 23-3306  
CHECKED BY: JJS  
VERTICAL DATUM: NAVD 1988  
DATE: 03/29/2024  
SHEET NUMBER

C-402

**MJ**  
**STOKES**  
**CONSULTING**

1. BOUNDARY, TOPOGRAPHIC, AND TITLE INFORMATION SHOWN HEREIN TAKEN FROM 15 SOUTH, BENTLEY ATLANTA (LAND AND TRAIL INFORMATION) SECTION 24, 4225, TOWNSHIP 15 SOUTH, RANGE 10 WEST, COUNTY OF DEKALB, GEORGIA, RECORDED IN CONVEYANCE RECORD VOLUME 12, LAST RECORDED FEBRUARY 12, 2025.
2. THE HORIZONTAL AND VERTICAL DATUMS AFTER REFERENCED SURVEY.
3. ACCORDING TO THE CONVEYANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY NAME: NORTON 101646 MAP PANEL NUMBER: DISBURGMENT EFFECTIVE DATE: APRIL 19, 2017, THE SUBJECT PARCEL APPEARS TO HAVE THE SPECIAL FLOOD HAZARD ZONE "X" AND AT THE PERMITS AREA AS DEPICTED ON THE SURVEY REFERENCED ABOVE. BASE FLOOD ELEVATION OF 73.2 FT (NA 88).
4. SURFACE INFORMATION SHOWN HEREIN IS TAKEN FROM A REPORT ENTITLED "GEOLOGICAL INVESTIGATION, PROPOSED PROUDHON AND ROSS RETAIL DEVELOPMENT, STATE ROAD 200 AND RICHMOND AVENUE, MARION COUNTY, FLORIDA," PREPARED BY INNOVATION IN ARCHITECTURE ENGINEERING INC. DATED NOVEMBER 1, 2024.
5. ALL CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS AND PERMIT CONDITIONS FROM LOCAL, STATE AND FEDERAL AGENCIES, AS APPLICABLE. THE CONTRACTOR SHALL ACQUIRE ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF CONSTRUCTION. PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

[illegible]

FLOW IS AN OUTLINE OF THE IRRIGATED AREA FOR EACH SYSTEM WITHIN THE

• SYSTEM A (RESIDENTIAL) = 14 350 SQ. FT.

- SYSTEM A (RESIDENTIAL) = 14,350 SQ. FT.
- SYSTEM B (CHIPOTLE) = 11,575 SQ. FT.
- SYSTEM C (SPROUTS) = 26,775 SQ. FT.
- SYSTEM D (SMOOTHIE) = 4,475 SQ. FT.
- SYSTEM E (RETAIL) = 20,100 SQ. FT.



- [illegible]

|   |                               |  |           |
|---|-------------------------------|--|-----------|
|  | MCBCC EFFECTIVE<br>04/13/2023 | ABOVE GROUND AIR OR COMBINATION<br>AIR RELEASE VALVE | 7.3.2     |
|   | REVISION # NA                 | AND ENCLOSURE ASSEMBLY                               | UT<br>316 |



| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 17  | 05/24/24 | REVISION PER MPM APPROVAL                                      |
| 16  | 05/24/24 | REVISION PER DOT ACCESS COMMENTS AND PERFORM MATERIAL QUANTITY |
| 15  | 05/24/24 | REVISION PER DOT ACCESS COMMENTS AND PERFORM CHASSIS APPROVAL  |
| 14  | 05/24/24 | REVISION PER CHASSIS APPROVAL AND LOANED SITE AT 7/17          |
| 13  | 05/24/24 | REVISION PER DOT ACCESS COMMENTS AND PERFORM MATERIAL QUANTITY |
| 12  | 05/24/24 | REVISION PER DOT ACCESS COMMENTS AND PERFORM MATERIAL QUANTITY |
| 11  | 05/24/24 | REVISION PER DOT ACCESS COMMENTS AND PERFORM MATERIAL QUANTITY |
| 10  | 05/24/24 | REVISION PER DOT ACCESS COMMENTS AND PERFORM MATERIAL QUANTITY |
| 9   | 05/24/24 | REVISION PER DOT ACCESS COMMENTS AND PERFORM MATERIAL QUANTITY |
| 8   | 05/24/24 | REVISION PER DOT ACCESS COMMENTS AND PERFORM MATERIAL QUANTITY |
| 7   | 05/24/24 | REVISION PER DOT ACCESS COMMENTS AND PERFORM MATERIAL QUANTITY |
| 6   | 05/24/24 | REVISION PER DOT ACCESS COMMENTS AND PERFORM MATERIAL QUANTITY |
| 5   | 05/24/24 | REVISION PER DOT ACCESS COMMENTS AND PERFORM MATERIAL QUANTITY |
| 4   | 05/24/24 | REVISION PER DOT ACCESS COMMENTS AND PERFORM MATERIAL QUANTITY |
| 3   | 05/24/24 | REVISION PER DOT ACCESS COMMENTS AND PERFORM MATERIAL QUANTITY |
| 2   | 05/24/24 | REVISION PER DOT ACCESS COMMENTS AND PERFORM MATERIAL QUANTITY |
| 1   | 05/24/24 | REVISION PER DOT ACCESS COMMENTS AND PERFORM MATERIAL QUANTITY |

**Sunshine**  811

Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

4

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LIC. NO. 80758

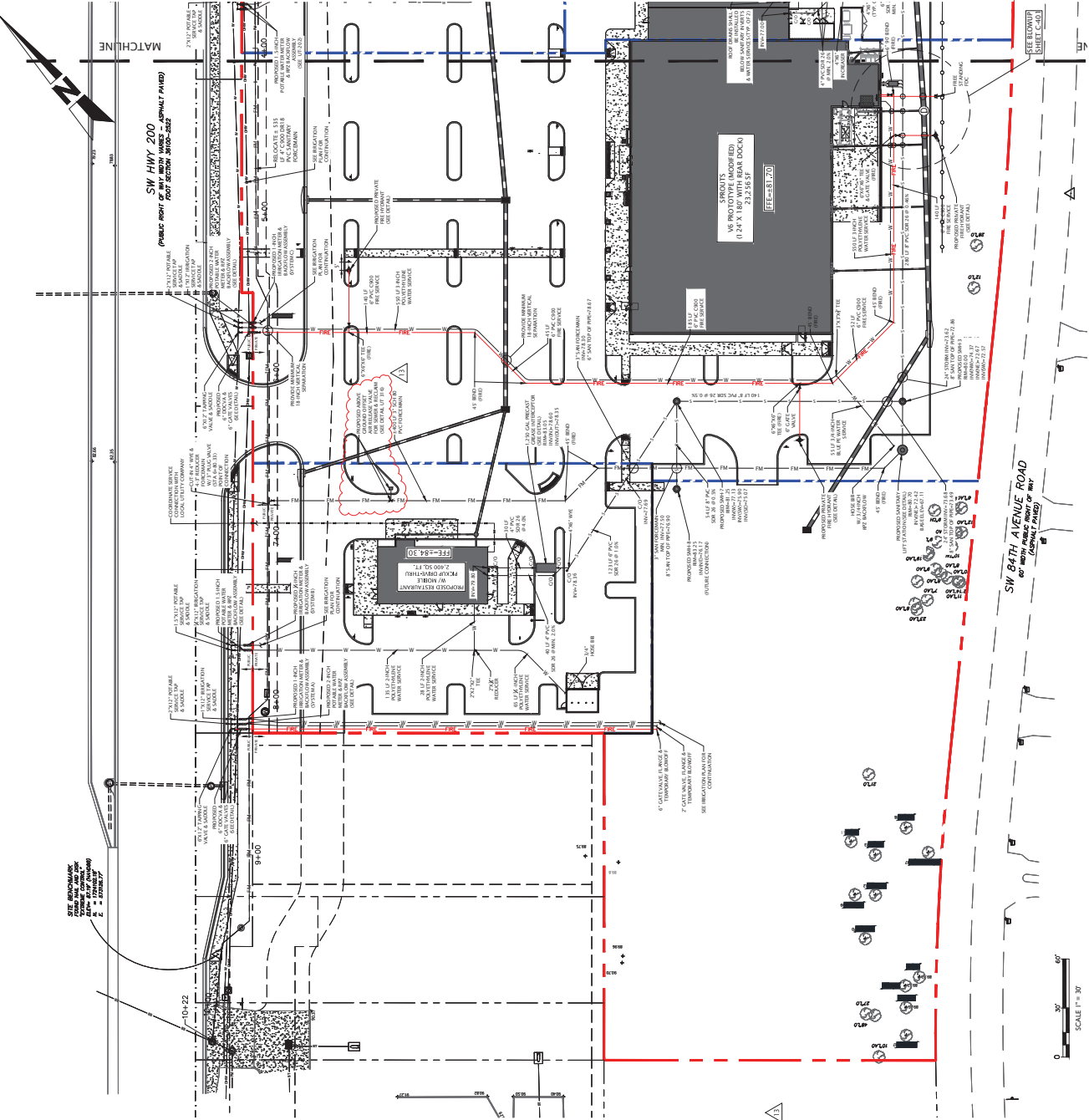
PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**

FOR  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

UTILITY PLAN  
(SOUTH)

|                 |            |
|-----------------|------------|
| PROJECT NO:     | 23-3306    |
| CHECKED BY:     | JJS        |
| VERTICAL DATUM: | NAVD 1988  |
| DATE            | 03/29/2024 |

C-403



[illegible]

**FDEP SEWER NOTES:**

- [illegible]

W  
S

1. SEWERS MUST BE LAIN WITH UNIFORM SLOPE THROUGH MANHOLES
2. SEWERS ON 20% SLOPE OR GREATER MUST BE ANCHORED SECURELY WITH CONCRETE, OR EQUAL ANCHORS SPACED AS FOLLOWS: NOT LESS THAN 8 FEET CENTER TO CENTER ON GRADES 20% AND UP TO 30%, NOT LESS THAN 12 FEET CENTER TO CENTER ON GRADES 35% AND UP TO 50%, AND NOT OVER 16 FEET CENTER TO CENTER ON GRADES 50% AND OVER.
3. SEWERS MUST BE LAIN WITH STRAIGHT ALIGNMENT BETWEEN MANHOLES.
4. SURFACE COUPLING, COMPLYING WITH ASTM SPECIFICATIONS, ARE REQUIRED FOR JOINING DISSEMBLABLE MATERIALS.
5. CONTRACTOR SHALL VERIFY ALL TESTING REQUIREMENTS WILL BE IN ACCORDANCE WITH LOCAL AND MUNICIPAL INSPECTION PRIOR TO



| DATE     | REVISIONS   |
|----------|---|
| 01/27/25 | REMOVED PER SHOPPER UTILITY MODIFICATIONS & REVIEW COMMENTS |
| 09/12/24 | REMOVED PER DEP WASTEWATER/PERMIT REVIEW                    |
| 08/08    | PERMIT MODIFICATION/CLARIFICATION - UTILITY DAMAGE          |
| 07/11/24 | REMOVED PLANS FROM DESIGN FOR PERMIT MODIFICATION SUBMITTAL |
| 06/17/24 | RE-DESIGN OF CROSS ACCESS ALLOWED AT 75C                    |
| 05/07/24 | REMOVED PER DESIGN COMMENTS & ON-SITE CROSS ACCESS/PERMIT   |
| 04/30/24 | REMOVED PER PDOT ACCESS & POSE/PLAN RELOCATION              |
| 03/05/24 | REVISION TO IMPRVE PER RESOLUTION                           |
| 01/01/24 | REVISION TO COUNTY, SWIMWAY & FLOOD CONTROL COMMENTS        |

**Sunshine 811** 

Call 811 or visit [sunshine811.com](http://sunshine811.com) two business days before digging to have buried facilities located and marked.

Check positive response codes before you

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

|              |                                  |
|--------------|----------------------------------|
| PROJECT NAME | MAJOR SITE PLAN<br>CORTA COMMONS |
|--------------|----------------------------------|

FOR

CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY FLORIDA







































SHEET TITLE

FDEP WATER &  
SEWER NOTES


PROJECT NO: 23-3306  
CHECKED BY: JJS  
VERTICAL DATUM: NAVD 1988  
DATE: 03/29/2024  
SHEET NUMBER

C-405

[illegible][illegible][illegible]

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| <div data-bbox="133 258 190 884">  <p>OPTION A</p> <p>2'-0" Detectable Warnings</p> </div> <div data-bbox="133 884 190 1119">  <p>OPTION B</p> <p>2'-0" Detectable Warnings</p> </div>       | <div data-bbox="190 258 246 884">  <p>OPTION A</p> <p>2'-0" Detectable Warnings</p> </div> <div data-bbox="190 884 246 1119">  <p>OPTION B</p> <p>2'-0" Detectable Warnings</p> </div>       | <div data-bbox="246 258 303 884">  <p>OPTION A</p> <p>2'-0" Detectable Warnings</p> </div> <div data-bbox="246 884 303 1119">  <p>OPTION B</p> <p>2'-0" Detectable Warnings</p> </div>       | <div data-bbox="303 258 360 884">  <p>OPTION A</p> <p>2'-0" Detectable Warnings</p> </div> <div data-bbox="303 884 360 1119">  <p>OPTION B</p> <p>2'-0" Detectable Warnings</p> </div>       | <div data-bbox="360 258 417 884">  <p>OPTION A</p> <p>2'-0" Detectable Warnings</p> </div> <div data-bbox="360 884 417 1119">  <p>OPTION B</p> <p>2'-0" Detectable Warnings</p> </div>       | <div data-bbox="417 258 474 884">  <p>OPTION A</p> <p>2'-0" Detectable Warnings</p> </div> <div data-bbox="417 884 474 1119">  <p>OPTION B</p> <p>2'-0" Detectable Warnings</p> </div>       | <div data-bbox="474 258 531 884">  <p>OPTION A</p> <p>2'-0" Detectable Warnings</p> </div> <div data-bbox="474 884 531 1119">  <p>OPTION B</p> <p>2'-0" Detectable Warnings</p> </div>       | <div data-bbox="531 258 587 884">  <p>OPTION A</p> <p>2'-0" Detectable Warnings</p> </div> <div data-bbox="531 884 587 1119">  <p>OPTION B</p> <p>2'-0" Detectable Warnings</p> </div>       | <div data-bbox="587 258 643 884">  <p>OPTION A</p> <p>2'-0" Detectable Warnings</p> </div> <div data-bbox="587 884 643 1119">  <p>OPTION B</p> <p>2'-0" Detectable Warnings</p> </div>       | <div data-bbox="643 258 683 884">  <p>OPTION A</p> <p>2'-0" Detectable Warnings</p> </div> <div data-bbox="643 884 683 1119">  <p>OPTION B</p> <p>2'-0" Detectable Warnings</p> </div> |
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|  |         | P.O. BOX 22821<br>TAMPA, FL 33622<br>813.724.4199<br>INFO@MJSTOKESCONSULTING.COM |  |
| FLORIDA BUSINESS REGISTRY NO. 34448   |         |  |  |
| <b>Revisions</b>  |         | <b>Sunshine181</b>   |  |
| REV   | DATE    | DESCRIPTION  |  |
| 01  | 6/1/24  | REVISION PER ZONING APPROVAL, COUNTY & SWANWAD REVIEW COMMENTS                   |  |
| 02  | 6/12/24 | REVISION PER COUNTY, HAWAII & BOOI REVIEW COMMENTS                               |  |
| 03  | 7/10/24 | REVISION TO BURER PER RESOLUTION   |  |
| 04  | 7/20/24 | REVISIONS PER FOOT ACCESS & FORECRAIN RELOCATION                                 |  |
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| <br>Marion<br>COUNTY<br>GEORGIA | PROJECT EFFECTIVE<br>06/15/2023 | TYPICAL VALVE BOX COVER<br>7.3.2 | 7.3.2<br>US<br>110 |
|  | REVISION # 001                  |                                  |                    |

**PLAN**

**SECTION A - A**

**NOTES:**

1. PRIOR TO BEGINNING THE TAPPING OPERATION THE SLEEVE AND VALVE SHALL BE PRESURE TESTED AT 150 PSI FOR 15 MINUTES.
2. CONTRACTOR SHALL PROVIDE AND PROOF OF PRESURE TEST IN THE FORM OF A TAPPING TEST LOG.
3. CONTRACTOR MUST OBTAIN ALL NECESSARY PERMITS IN ALL JURISDICTIONS AND INSTALL ADDITIONAL RESTRAINTS AS REQUIRED.
4. ALL TAPS MUST BE LOCATED AT A MINIMUM OF 5' AWAY FROM ANY BELL AND/OR FITTING.
5. STAINLESS STEEL TAPPING SLEEVE SHALL BE MADE OF 304L.

|  |   |
|--|---|
| <br><b>Maricopa County</b><br>WATER DEPARTMENT | PROJECT: TAPPING SLEEVE AND GATE VALVE<br>DATE: 04/1/2023<br>REVISION # 1 |
|  | DRAWN BY: [Blank]<br>CHECKED BY: [Blank]<br>APPROVED BY: [Blank]          |

| REV | DATE     | DESCRIPTION   |
|-----|----------|---|
| 1   | 6/20/25  | REVISED PER RMD AMENDMENT APPROVAL & STAFF COMMENTS             |
| 2   | 5/28/25  | REVISED PER SWINARD BFP MODIFICATION COMMENTS                   |
| 3   | 4/16/25  | REVISED PER SW 100TH MODIFICATION & REVIEW COMMENTS             |
| 4   | 10/27/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE          |
| 5   | 10/27/24 | UPDATED PLANS FROM RED DESIGN FOR PERMIT MODIFICATION SUBMITTAL |
| 6   | 10/17/24 | REVISION OF CROSS ACCESS & LOWWATER SITE AT TPC                 |
| 7   | 10/07/24 | REVISION FROM FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS       |
| 8   | 9/26/24  | REVISION TO BRUSH PER RESOLUTION                                |

**Sunshine**  
Call 811 or visit [sunshinefl.com](http://sunshinefl.com) before any business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80718

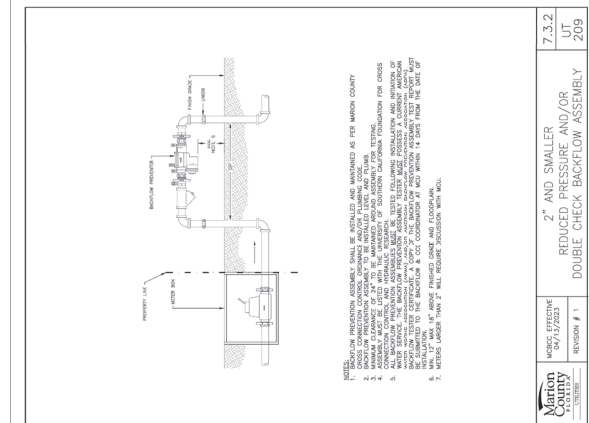
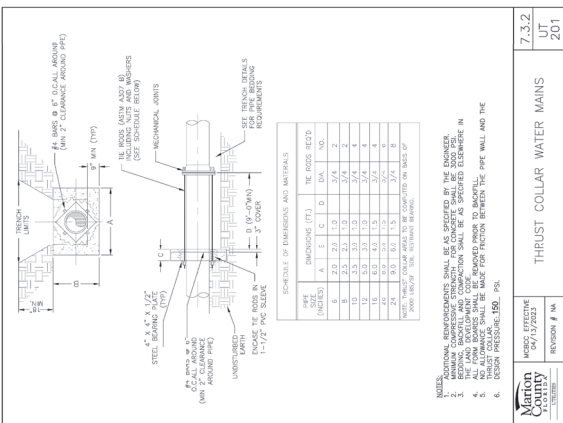
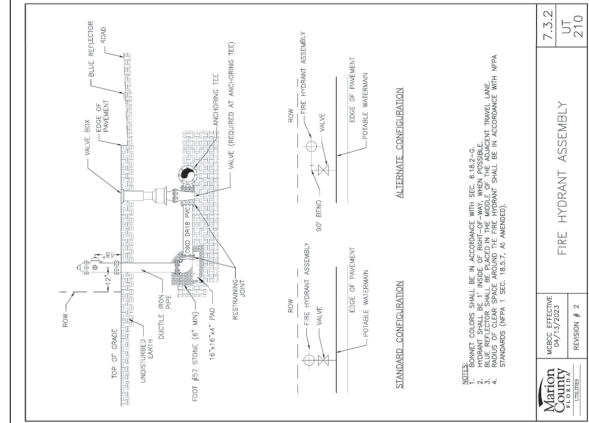
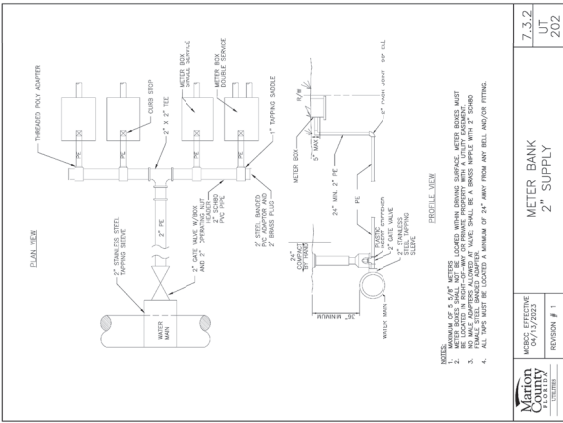
PROJECT NAME  
**MAJOR SITE PLAN  
CORTA COMMONS**

FOR  
**CORTA OCALA, LLC**  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

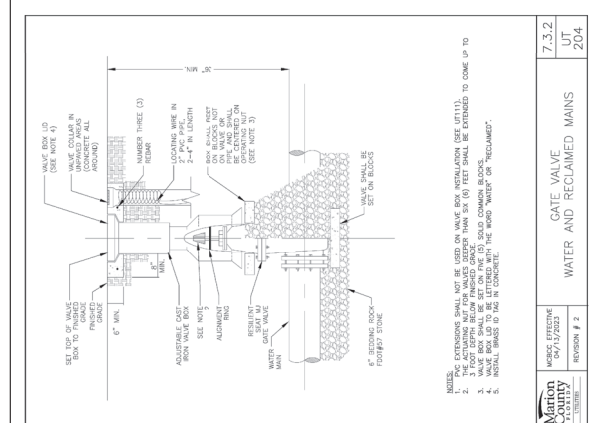
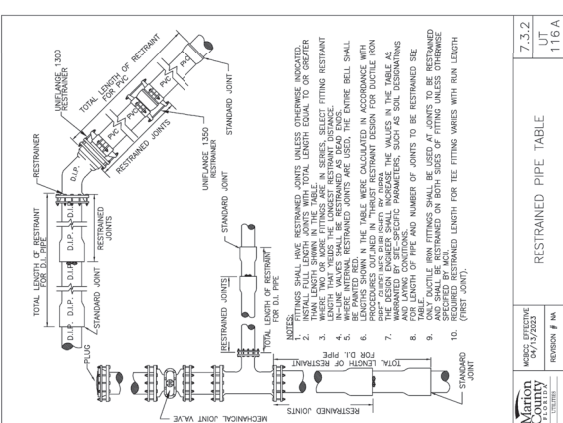
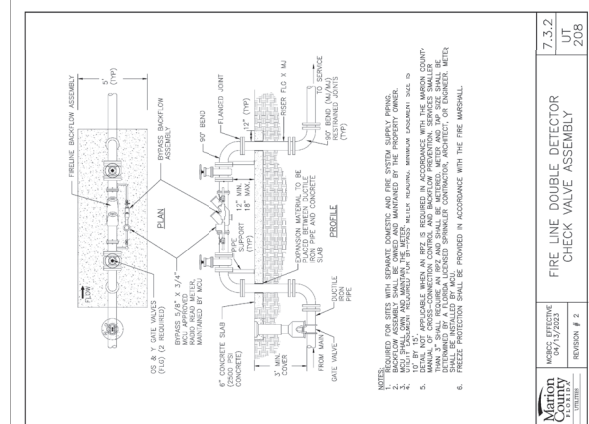
SHEET TITLE  
**MARION COUNTY  
UTILITY DETAILS**

PROJECT NO: 231396  
CHECKED BY: JPS  
DATE: 05/15/2023  
SHEET NUMBER

**C-508**



| MINIMUM RESTRAINED LENGTH (FT)                         |                  | H-HORIZONTAL                               |                  |
|--|------------------|--|------------------|
| EACH SIDE OF FITTING AND VALVE                         |                  | PVC, VIO - VERTICAL - DOWN                 |                  |
| FOR ALL FITTINGS EXCEPT 1\"/>                          |                  |  |                  |
| WATER MAIN: PRESSURE: 150 PSI, DEPTH OF COVER: 3.0 FT. |                  | PRESSURE: 100 PSI, DEPTH OF COVER: 4.0 FT. |                  |
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| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 1   | 04/12/23 | REVISION FOR COUNTY, SWAMPY & SWAMPY REVIEW COMMENTS |
| 2   | 05/02/23 | REVISION TO SWAMPY REVIEW COMMENTS                   |
| 3   | 05/02/23 | REVISION TO SWAMPY REVIEW COMMENTS                   |
| 4   | 05/02/23 | REVISION TO SWAMPY REVIEW COMMENTS                   |
| 5   | 05/02/23 | REVISION TO SWAMPY REVIEW COMMENTS                   |
| 6   | 05/02/23 | REVISION TO SWAMPY REVIEW COMMENTS                   |
| 7   | 05/02/23 | REVISION TO SWAMPY REVIEW COMMENTS                   |
| 8   | 05/02/23 | REVISION TO SWAMPY REVIEW COMMENTS                   |
| 9   | 05/02/23 | REVISION TO SWAMPY REVIEW COMMENTS                   |
| 10  | 05/02/23 | REVISION TO SWAMPY REVIEW COMMENTS                   |

**REVISIONS**



Call 811 or visit [sunshine.fl.gov](http://sunshine.fl.gov) before any business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

**PROJECT NAME**  
MAJOR SITE PLAN  
CORTA COMMONS  
FOR

**CORTA OCALA, LLC**  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

**SHEET TITLE**  
MARION COUNTY  
UTILITY DETAILS

**PROJECT NO.** 213386  
**CHECKED BY:** JPS  
**DATE:** 05/02/23  
**SHEET NUMBER**

**C-509**

**7.3.2**  
**UT**  
**211**

**TEMPORARY SAMPLE POINT**

**MISC. EFFECTIVE**  
04/12/2023  
**REVISION # 1**

**7.3.2**  
**UT**  
**305**

**STANDARD SEWER MANHOLE  
FRAME AND COVER**

**MISC. EFFECTIVE**  
04/12/2023  
**REVISION # 2**

**7.3.2**  
**UT**  
**301**

**THRUST COLLAR  
WASTEWATER FORCE MAINS**

**MISC. EFFECTIVE**  
04/12/2023  
**REVISION # 1**

**7.3.2**  
**UT**  
**306**

**PRECAST CONCRETE MANHOLE**

**MISC. EFFECTIVE**  
04/12/2023  
**REVISION # 2**

**7.3.2**  
**UT**  
**303**

**GRAVITY MANHOLE CONNECTION**

**MISC. EFFECTIVE**  
04/12/2023  
**REVISION # 2**

**7.3.2**  
**UT**  
**307**

**AIR RELEASE VALVE  
SEWER AND RECLAIMED**

**MISC. EFFECTIVE**  
04/12/2023  
**REVISION # 2**

**7.3.2**  
**UT**  
**304**

**PLUG VALVE AND BOX**

**MISC. EFFECTIVE**  
04/12/2023  
**REVISION # 2**

**7.3.2**  
**UT**  
**309**

**MAN-HOLE IN NON-PAVED AREA**

**MISC. EFFECTIVE**  
04/12/2023  
**REVISION # 1**



**Sunshine811** 

Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

PROJECT NAME  
MAJOR SITE PLAN  
CORTA COMMONS

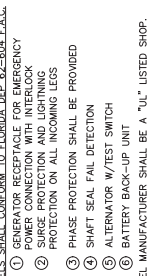
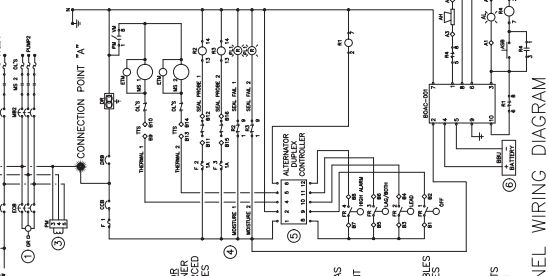
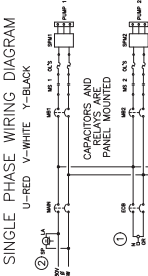
FOR

CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

## LIFT STATION DETAILS & SPECIFICATIONS

PROJECT NO: 23-3306  
CHECKED BY: JJS  
VERTICAL DATUM: NAVD 1988

SHEET NUMBER  
C-511

TSC DUPLEX GRINDER PUMP STATION  
FIBERGLASS WET WELL

**TECHNICAL SALES CORPORATION**

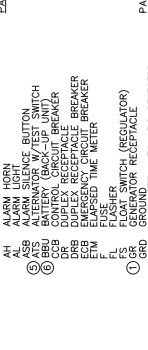
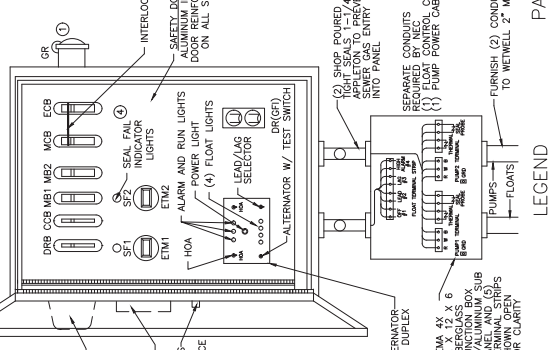
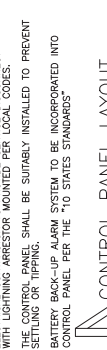
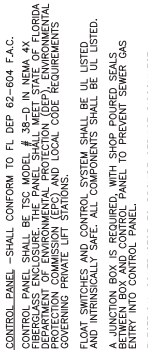
**TSC PRE-FAB PUMP SOLUTIONS**  
**WATERWORKS & WASTEWATER SPECIALTIES**

*Representing Innovative Manufacturers*

**MODEL TSCE2-48.1 BBU**

**4621 N. HALE AVENUE PH (813)876-9256**  
**TAMPA, FL 33614 FAX (813)874-1194**  
**EMAIL: Sales@TSCtampa.com**

**REV-21 SCALE: N.T.S.**



HOA HAND-OFF-AUTOMATIC SELECTOR  
LA LIGHTNING ARRESTOR  
MB MOTOR BREAKER  
MOC MAIN CIRCUIT BREAKER

MS MOTOR STARTER  
N NEUTRAL  
OL'S OVERLOAD HEATERS  
③ PM PHASE MONITOR  
PTC PHASE TERMINAL STOP

|  |             |
|--|-------------|
| GENERAL NOTES  |             |
| FURNISH AND INSTALL LIBERTY SUBMERSIBLE GRINDER PUMPS: |             |
| DESIGN CONDITIONS:                                     |             |
| MODEL  | HP          |
| LGW, LBS   | 2.5         |
| GPM  | 33.36-93.13 |
| VOLTAGE  | 208         |
| DISCHARGE  | SINGLE      |
|  | IMPELLER    |
|  |             |
|  |             |
| LEWAGE GRINDER PUMP:                                   |             |

OIL FILLED MOTOR FOR SEWAGE APPLICATION WITH CLASS H INSULATION.  
 DUAL MECHANICAL SHAFT SEALS (SILICON CARBIDE / SILICON CARBIDE)  
 HIGH TEMPERATURE BALL BEARINGS 8-10 RATING OF 100,000 HOURS,  
 UPPER - SINGLE ROW, LOWER - DOUBLE ROW  
 PUMP SHAFT HORSEPOWER (BHP) SHALL NOT EXCEED MOTOR RATED HORSEPOWER  
 THROUGHOUT THE ENTIRE OPERATING RANGE OF THE PUMP PERFORMANCE CURVE.

480 VOLT BY CHANGING THE MOTOR LEADS INSIDE THE PUMP.

BERGLASS TSC WELLS SHALL BE A ONE PIECE UNIT WITH INTEGRAL BOTTOM, WALL AND UPPER FLANGE. THE ENTIRE FIBERGLASS WELL SHALL HAVE A DYNAMIC LOAD RATING OF 16,000 FT/LBS. EACH UNIT MUST BE SERIAL NUMBERED TO THE TSC WELLS INSTALLATION PROCEDURE. ASTM D 3753 & H-40 SPECIFICATIONS SHALL BE REQUIRED AS MINIMUM.

ALUMINUM HATCH: TSC MODEL-54R (30") ROUND WITH 24" X 36" LOCKABLE HATCH. REINFORCED FOR LOAD RATING OF 300 LBS/FT WITH HOLD OPEN SAFETY ARM.

ALIVE BOX: FIBERGLASS COMPOSITE (H-10 TRAFFIC RATED) WITH INTEGRAL BOTTOM. (FOR 1 1/4" AND 2" DISCHARGE PIPING SIXES HEADER SYSTEM)  
 SHALL BE 26" X 38" X 18" WITH 17" X 30" LIMITED ACCESS LID

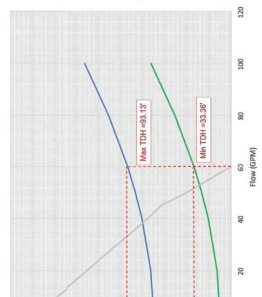
ACCESSORIES: #304 S/S - GUIDE RAILS, UPPER GUIDE RAIL BRACKETS, CABLE HOOKER, ANCHOR BOLTS AND PUMP LIFTING CHAINS.

PUMP SUPPLIER SHALL PROVIDE SUBMERSIBLE PUMPS, SLIDE RAIL ASSEMBLIES, SLIDE RAIL ASSEMBLY ACCESSORIES TO INSURE PROPER OPERATION AND WARRANTY. THE COMPLETE PACKAGE PREPARED STATION SHALL HAVE PUMP BASES, SLIDE RAIL ASSEMBLIES AND DISCHARGE PIPING ASSEMBLY BY TECHNICAL SALES CORPORATION READY TO SHIP FOR FIELD INSTALLATION.

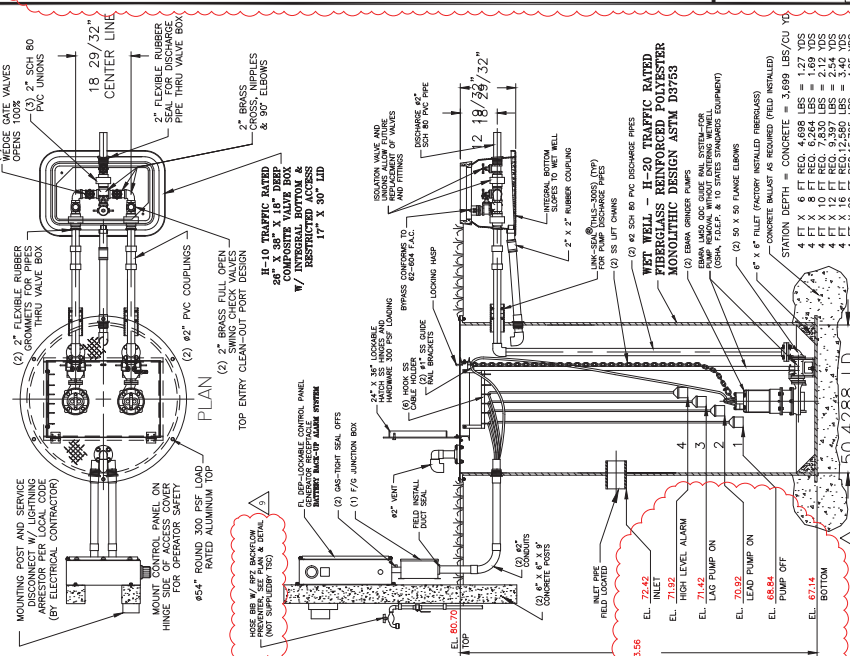
CHNICAL SALES CORPORATION, 4621 N. HALE AVE TAMPA, FL 33614 (813)876-9256

LIBERTY ENGINEERED PRODUCTS

LIBERTY LGV, LGH 2.5HP Synchronous Speed: 3450 RPM  
Single and Three Phase 2 Inch Discharge



## PUMP PERFORMANCE CURVE



EBARA SEWAGE GRINDER PUMP

48" DUPLEX STATION - 2" PIPING

DE RAIL SYSTEM, V.B. AND F.D.E.H.  
TSC PRE-FAB PUMP SOLUTIONS©

MODEL  
.1 BBU R21.dwg©

HOSE BIBB WITH REDUCED PRESSURE BACK FLOW PREVENTER  
 ABOUT ELIET (1 TO 1.5 GPM) "JUGGED" BOTTOM

FIELD INSTALL BY CONTRACTOR

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[illegible]





1. THE ENGINEER IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
2. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REQUIREMENTS. THE CONTRACTOR TO THE ENGINEER IN WRITING PRIOR TO INITIATION OF SITE ACTIVITY.

3. OBTAIN A SIGNED STATE OR LOCAL CALL OR CANCELLATION CERTIFICATION PRIOR TO ANY RELOCATION OR DEMOLITION.
4. OBTAIN ALL NECESSARY PERMITS AND APPROVALS AND MUST BE MAINTAINED ON-SITE AND AVAILABLE FOR REVIEW.
5. MEASURE THE DISTANCE TO ANY OBSTACLE AND DEMOLITION.
6. LOCATE CARRY OVERS, DISTURBANCE, AND DEMOLITION.
7. LOCATE CARRY OVERS, DISTURBANCE, AND DEMOLITION. NOT LIMITED TO: FIBER OPTIC CABLE, ETC. WITHIN THE LINES OF DISTURBANCE.
8. IDENTIFY ALL NEARBY UTILITIES, INCLUDING BUT NOT LIMITED TO: WATER, GAS, FIBER OPTIC CABLE, ETC. WITHIN THE LINES OF DISTURBANCE.
9. FAMILIARIZE THEMSELVES WITH THE APPLICATION, A UTILITY SYSTEM THAT WILL BE USED TO IDENTIFY ALL NEARBY UTILITIES, INCLUDING BUT NOT LIMITED TO: WATER, GAS, FIBER OPTIC CABLE, ETC. WITHIN THE LINES OF DISTURBANCE.
10. DEMOLITION REQUIRED FOR THE PROJECT.
11. COORDINATION WITH UTILITY COMPANIES REGARDING RELOCATION OF "HARD" UTILITIES, INCLUDING BUT NOT LIMITED TO: WATER, GAS, FIBER OPTIC CABLE, ETC. WITHIN THE LINES OF DISTURBANCE.
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| <br><br><br><br><br><br> | <p>LIMIT OF DISTURBANCE</p> <p>T.B.R.</p> <p>TO BE REMOVED</p> <p>DIMENSIONAL CONCRETE</p> <p>DEMOLISH ASPHALT</p> <p>RIGHT-OF-WAY</p> <p>EXISTING SPOT ELEVATION</p> <p>TREE TO BE REMOVED</p> <p>INLET PROTECTION</p> <p>SILT FENCE</p> <p>TREE PROTECTION</p> |
|---|--|

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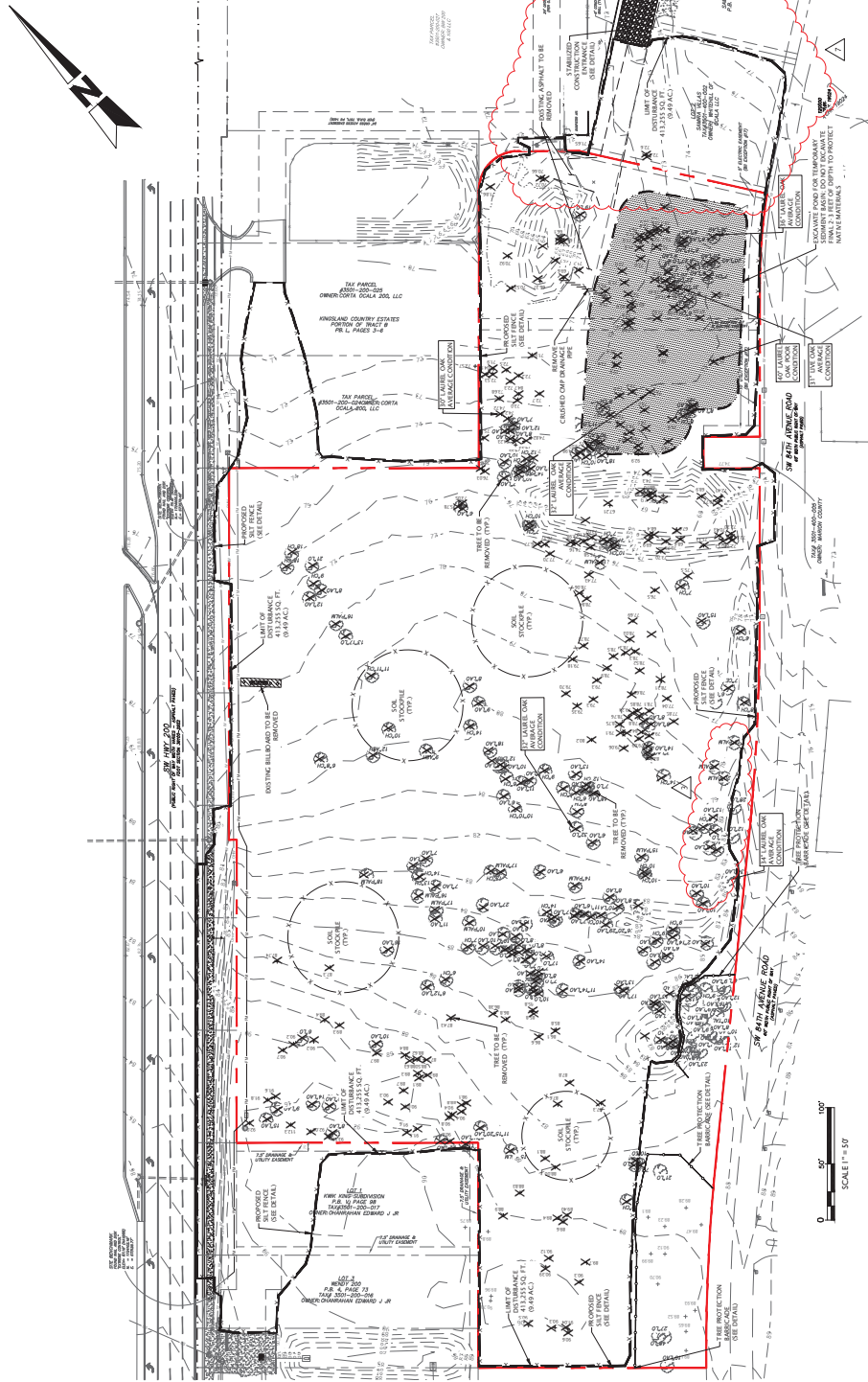
3. ALL PROTECTIVE MEASURES SHALL BE MAINTAINED IN PLACE UNTIL THE SITE HAS BEEN STABILIZED AND INVESTIGATED.
4. CONSTRUCTION METHOD AND MATERIALS TO BE IN ACCORDANCE WITH SECTION 104.04 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION SPECIFICATIONS. JOINTS SHALL BE PROTECTED AND OVERLAPPED AND PROPERLY CONNECTED TO PREVENT ANY OPENING FROM OCCURRING.
5. SITE MAY ALSO REQUIRE CONSTRUCTION LIMIT BARRIERS. THEY SHALL BE ERECTED PRIOR TO INITIATION OF SITE CLEANING OPERATIONS NARROW MEADOWS, BUFFER AREAS AND ANY OTHER AREAS OF SENSITIVE OR PROTECTED PLANT AND ANIMAL LIFE AND FISH AND WILDLIFE HABITAT.
6. IMMEDIATELY UPON COMPLETION OF THE PROTECTED PERIMETER SHALL BE SODDED AND COVERED WITH TOP SOIL.

1. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN UNTIL THEY ARE PRACTICALLY STABILIZED.
2. ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
3. TOSPOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT SUFFICIENT TO COVER THE ENTIRE AREA OF ALL STOCKPILED AREAS.
4. STOCKPILED TOSPOIL SHALL BE CLASSIFIED AND STRIPPED OF TOSPOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER CONTAMINABLE MATERIAL.
5. AREAS WHERE AREAS OF TOSPOIL SHALL BE SCARPED TO A MINIMUM WIDTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOSPOIL.

- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL FILL SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 6 INCHES IN THICKNESS.
- ALL FILL MATERIAL SHALL BE FREE OF BRUSH, ROOTS, STUMPS, OR OTHER FOREIGN OR OTHER OBSTACULAR MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- SOFT, MUCKY OR HIGHLY COMPRESSED MATERIALS SHALL NOT BE INCORPORATED IN FILLS.

1. ASSIGNED CONCRETE WASHOUT AREAS ARE REQUIRED ON ALL CONSTRUCTION SITES INVOLVING CONCRETE AND STUCCO USE.
2. THE CONTRACTOR SHALL REQUIRE ALL CONCRETE DRIVERS TO UTILIZE THE CONCRETE WASHOUTS ONSITE.
3. WASHOUT FACILITIES SHALL BE LOCATED AT LEAST 100 FEET AWAY FROM STORM INLETS, GUTTERS, OPEN DITCHES, AND WATER COURSES.
4. APPROPRIATE STONE SHOULD COVER PATHS TO CONCRETE WASHOUTS (SEE ACCESS DETAIL).
5. CONCRETE WASHOUT AREAS SHALL BE LIGHTED BY POSTING SIGNS ONSITE.
6. CONCRETE WASHOUTS ARE TO BE INSPECTED DAILY BY THE CONTRACTOR FOR LAKES OR TIEUPS IN PLASTER, UNPAVED DRIVEWAYS, DRIVEWAYS, AND DRIVEWAYS.

7. REMOVE AND DISPOSE OF ALL MATERIAL WHEN THE WASHOUT HAS BEEN FILLED TO 75% CAPACITY.
8. ONCE THE MATERIAL HAS BEEN CLEARED OUT OF THE CONCRETE WASHOUT FACILITY, THE FACILITY MUST BE INSPECTED FOR REPAIR, RECONSTRUCTION OR REPLACEMENT. ALL PLASTIC LINING SHALL BE REMOVED AND REPLACED.
9. OPTIONS INCLUDE AN ONSITE PIT AND LINE WITH 10 MIL PLASTIC SHEETING OR CREATE AN ABOVE-GROUND STRUCTURE FROM STRAW BALES OR SANDBAGS WITH 10 MIL PLASTIC LINING.
10. PRE-FABRICATED CONCRETE WASHOUTS MAY BE USED PROVIDED THEY MEET THE ABOVE MINIMUM REQUIREMENTS.



## REVISIONS

**Sunshine 811**

Call 811 or visit [sunshine811.com](http://sunshine811.com) two business days before digging to have buried facilities located and marked.

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER

LICENSE NO. 80758

PROJECT NAME:

MAJOR SITE PLAN  
CORTA COMMONS

.....

FOR

CORTA OCALA, LLC

A 1920 300 NORTH 1000

340 HWY 1200 - OCALA  
FLORIDA 34472

ENCLOSURE, 11110000

TITLE

## DEMOLITION &

PROFESSIONAL & TECHNICAL

## EROSION

## CONTROL PLAN

.....

PROJECT NO: 23-3306

FILED BY: JJS

03/29/2024

4.2707 27.250

NUMBER

C-003

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CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

PROJECT NAME  
MAJOR SITE PLAN  
CORTA COMMONS

FOR

CORTA OCALA, LLC  
5500 HWY 200, OCALA, FL 34474

SHEET TITLE

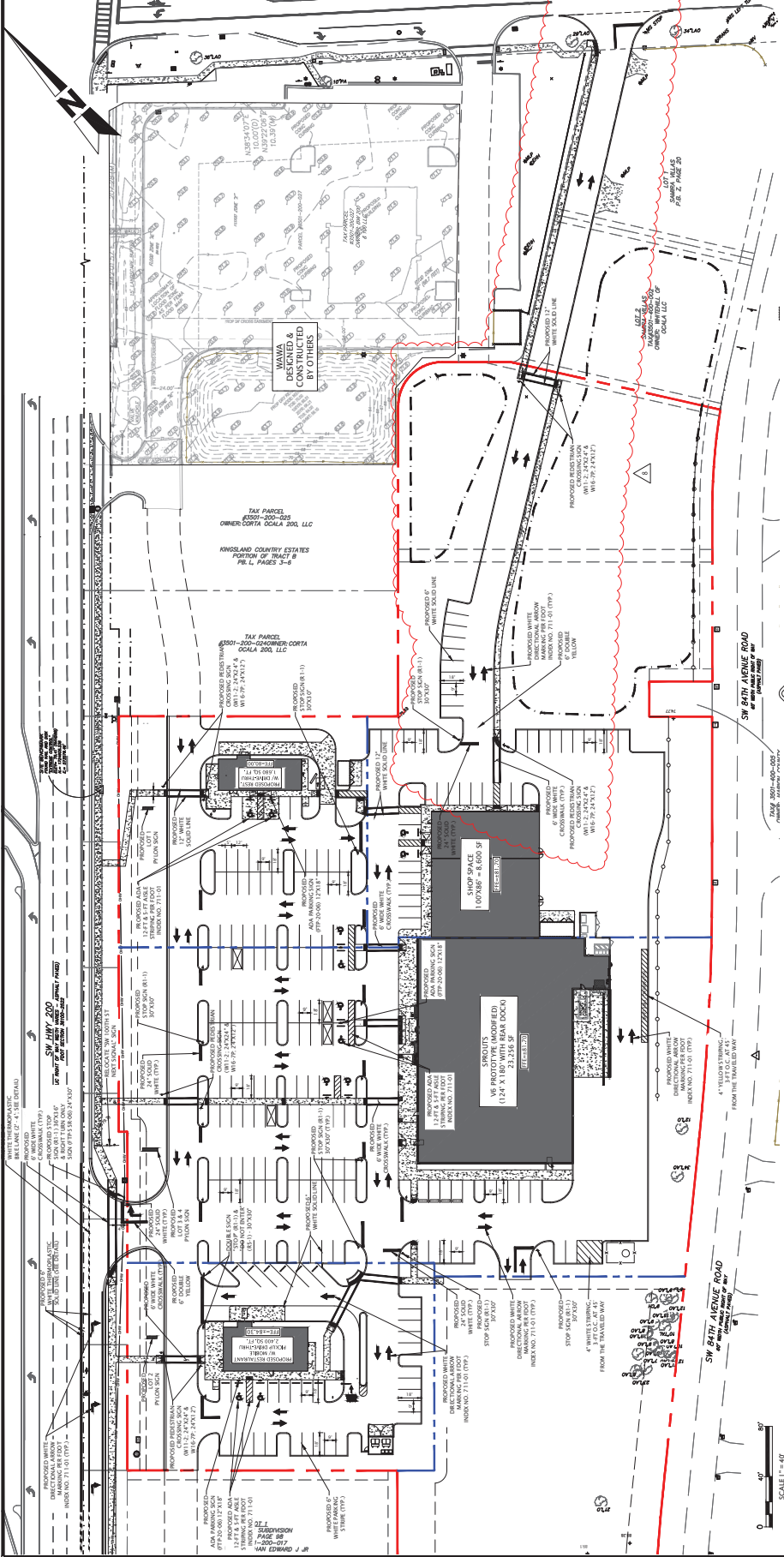
| REVISIONS |   |
|-----------|---|
| 08        | 10/2/24 PREPARE MODIFICATION REVISION - ACCESS, UTILITY, DRAINAGE |
| 07        | 10/1/24 LOCATED PLANS FROM REVISIONS NO PERMIT SUBMITTAL          |
| 06        | 10/1/24 REVISION OF CROSS ACCESS & OVERHEAD SIGNAGE               |
| 05        | 10/1/24 REVISION PER FOOT ACCESS COMMENTS & SURF ACCESS           |
| 04        | 9/30/24 REVISION PER FOOT ACCESS & PERMANENT REALLOCATION         |
| 03        | 9/30/24 REVISION TO BUFFER PER REALLOCATION                       |
| 02        | 9/22/24 REVISION PER COUNTY, SWAMPY & ROOT REPAIR COMMENTS        |
| 01        | 8/22/24 REVISION PER JOINTING, COUNTY & SWAMPY & REPAIR COMMENTS  |

**Sunshine 811** 

Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.

---

**MJ**  
STOKES  
CONSULTING



**LEGEND:**

ADJACENT PROPERTY LINE  
PROPERTY BOUNDARY  
EXISTING FENCE  
PROPOSED CONCRETE  
PROPOSED VIBRO STEAK  
EXISTING VIBRO STEAK  
PROPOSED SPOT ELEVATION  
PROPOSED CONTOUR

**TREE LEGEND:**

10" = TREE LOCATION & SIZE  
LO = LIVE OAK  
CP = CABBAGE PALM  
LAO = LAUREL OAK

**GENERAL NOTES:**

BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "ALTA, NPS EAST, TREE SURVEY LOCATED IN SECTIONS 24 & 25, TOWNSHIP 15 SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA", PREPARED BY CHW PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2023

SEE MUTCD FOR SPECIFICATIONS; SIGNS  
 FOLLOWING FOR REFERENCE ONLY.

## IGN LEGEND

W16-7P



W11-2  
30"X30")

## THE ONE WAY

R6-1L  
(36"x12")



R6-1R  
(36"x12")

STANDARD SIGN POST DETAIL  
NTC

**SIGN POST IN BOLLARD DETAIL**  
N.T.S.

| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 01  | 6/12/24  | REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |
| 02  | 6/12/24  | REVISION PER COUNTY, SWAMPED & FOOT REVIEW COMMENTS            |
| 03  | 6/12/24  | REVISION TO BUREAU PER RESOLUTION                              |
| 04  | 6/20/24  | REVISIONS PER FOOT ACCESS & FORKCHAMAIN RESOLUTION             |
| 05  | 10/07/24 | REVISIONS PER CROSS COMMENTS & ON-SITE CROSS ACCESS/ROAD       |
| 06  | 10/07/24 | REVISIONS PER CROSS COMMENTS & LOWE'S SITE AT 73C              |
| 07  | 11/07/24 | UPDATED PLANS FROM REDESIGN FOR PERMIT MODIFICATION SUBMITTAL  |
| 08  | 11/07/24 | PERMIT MODIFICATION REVISION - ACCESS, UTILITY, DRAINAGE       |
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REVISIONS



Call 811 or visit [sunshine.fl.gov](http://sunshine.fl.gov) before any business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

JOHN J. STOECKEL  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

PROJECT NAME

MAJOR SITE PLAN  
CORTA COMMONS

FOR

CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE

TRUCK TURN  
EXHIBIT

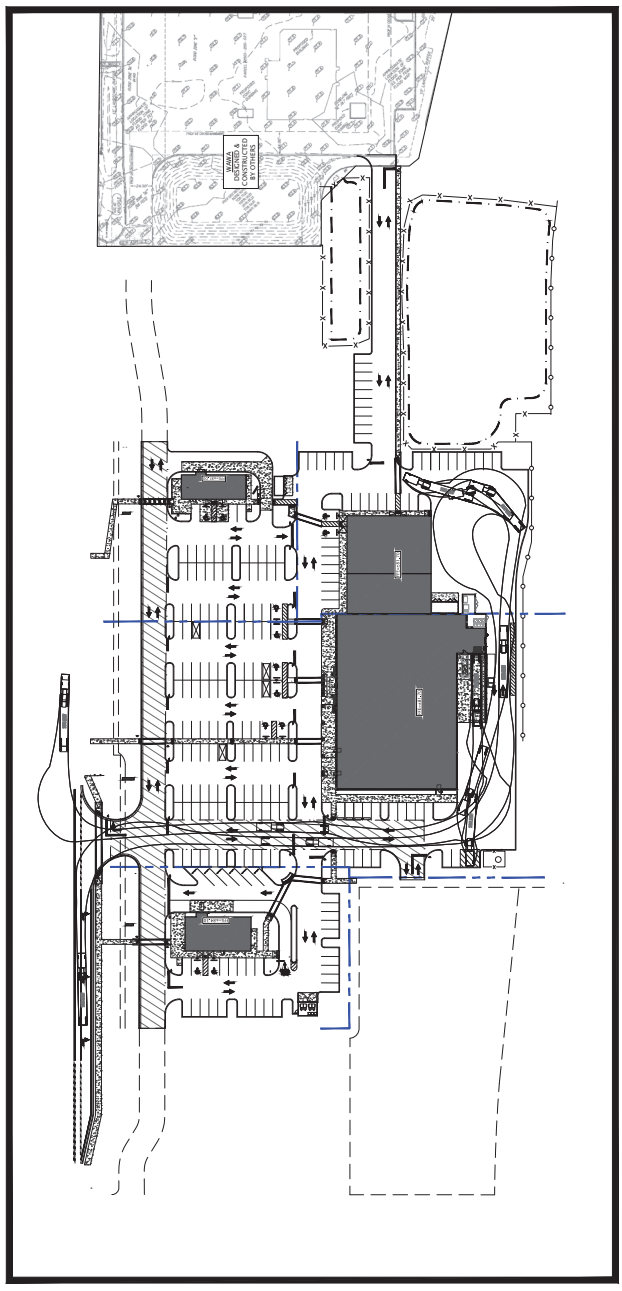
PROJECT NO. 23-1386

CHECKED BY: JPS

DATE: 11/07/24

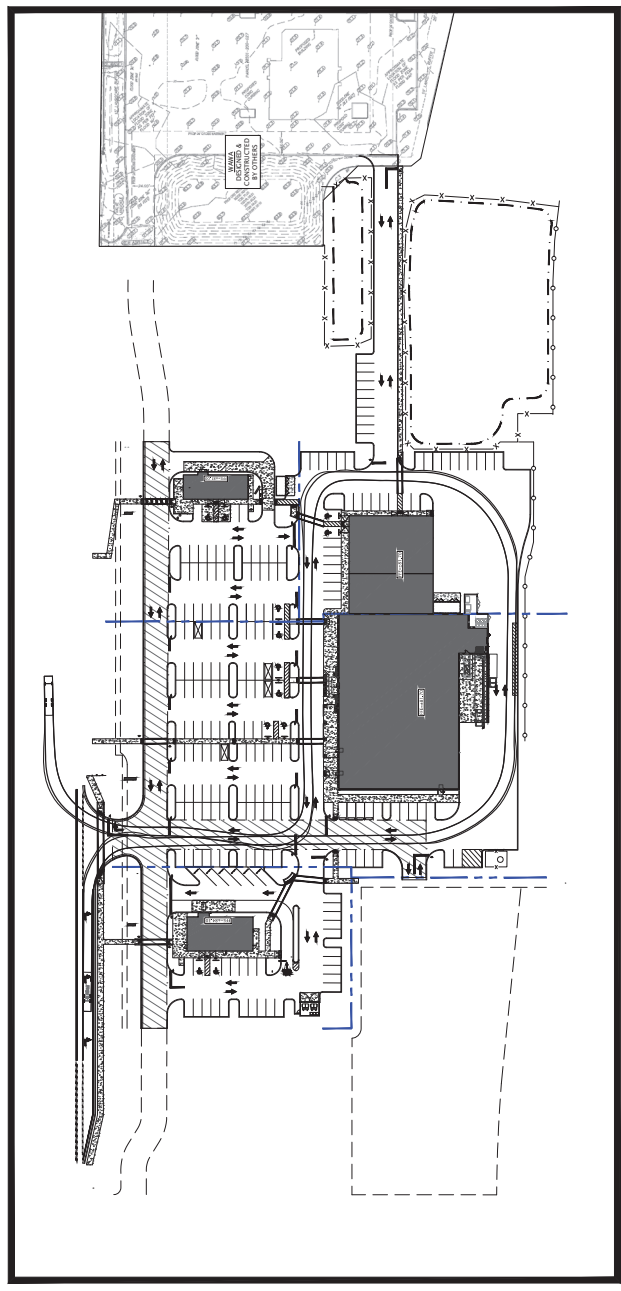
SHEET NUMBER

C-106



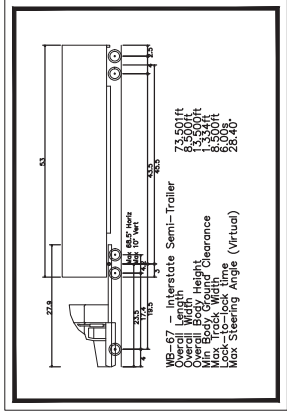
SPROUTS DELIVERY CIRCULATION EXHIBIT

SCALE 1" = 60'



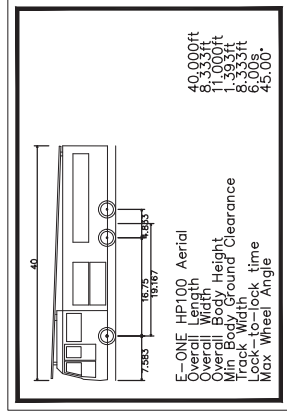
FIRE & RESCUE CIRCULATION EXHIBIT

SCALE 1" = 60'



SPROUTS DELIVERY TRUCK (WB67)

SCALE 1" = 60'



TRACKING VEHICLE - E-ONE HP100 AERIAL

NOTE:  
E-ONE HP100 AERIAL NOT AVAILABLE FOR VEHICLE IN LIBRARY.  
HP100 MEETS OR EXCEEDS ALL DIMENSIONS & TURNING CONDITIONS AND AS SUCH  
TRACKING PATH EXCEEDS REQUIRED BY COUNTY HP28 AERIAL.

SHEET TITLE

**FDOT TURN LANE  
HORIZONTAL PLAN**

PROJECT NO.: 23-3-306

CHECKED BY: JS

VERTICAL DATUM: NAVD 1988

DATE: 03/29/2024

SHEET NUMBER

**C-201**

2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING NECESSARY MAINTENANCE OF TRAFFIC PLANS TO BE APPROVED BY FLORIDA DEPARTMENT OF TRANSPORTATION (DOT) PRIOR TO MOBILIZATION.
3. HORIZONTAL AND VERTICAL DRAINAGE SHALL BE AS FEASIBLE REFINISHED SURFACE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING NECESSARY MAINTENANCE OF TRAFFIC PLANS TO BE APPROVED BY FLORIDA DEPARTMENT OF TRANSPORTATION (DOT) PRIOR TO MOBILIZATION.
5. ENGINEER IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE PROJECT AND BE RESPONSIBLE FOR ALL NECESSARY TOOLS, EQUIPMENT, AND REQUIREMENTS, TO ASSURE PUBLIC AND CONTRACTOR SAFETY.
6. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY PROSPECTORS OR OPERATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO THE ENGINEER IN WRITING PRIOR TO INITIATION OF DEMOLITION.



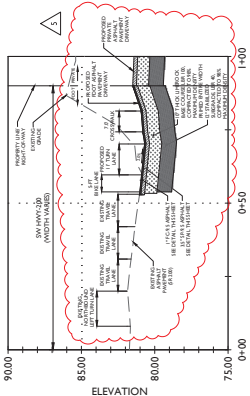
**TURN LANE SECTION (BB-BB) - STA Z+53.33**

The diagram illustrates a cross-section of a residential street. Key components include:

- Left Side:** Paved Sidewalk, Gravel Shoulder.
- Center:** Two paved driveways serving a garage and a house. A lawn and treeland area are situated between the house and the roadway.
- Right Side:** Roadway with a paved surface and gravel shoulder.
- Elevations:** Vertical scale from 75.00 to 95.00 feet.
- Stationing:** Horizontal scale from 0+50 to 0+60.

HOR. SCALE 1" = 20'

HOR. SCALE: 1" = 20'  
VER. SCALE 1" = 4'



3. 10" THICK UNBROCK OR CRUSHED CONCRETE BASE COMPACTED TO A MIN. OF 98% MAXIMUM DENSITY PER AASHTO T-180
4. 12" THICK STABILIZED SUBGRADE MIN. LBR 40, COMPACTED TO A MIN. OF 98% MAXIMUM DENSITY PER AASHTO T-180



**NOTES**

1. A MINIMUM OF 18 INCHES OF SEPARATION BETWEEN CRUSHED CONCRETE BASE AND THE SEASONAL HIGH GROUNDWATER LEVEL SHOULD BE MAINTAINED, OR 24 INCHES OF SEPARATION BETWEEN THE LINE ROCK BASE AND SEASONAL HIGH GROUNDWATER LEVEL.
2. THE SUBGRADE SHALL BE COMPACTED TO A MIN. OF 98% MAXIMUM DENSITY PER AASHTO T-180 AND SHALL EXTEND 6 INCHES MINIMUM BEYOND THE EDGE OF PAVEMENT.
3. CONTRACTOR SHALL INVESTIGATE EXISTING PAVEMENT SECTION OF SW HWY-200 AND IF DEVIATION FROM THE ABOVE SPEC'S SHALL MATCH EXISTING PAVEMENT SECTION AND REPORT TO EAK PRIOR TO WORK.
4. EXISTING PAVEMENT EDGE SHALL BE SAWCUT ONE CURB & REMOVED AND SHALL BE MILLED AND STEPPED

|                           |
|---------------------------|
| PROJECT NO: 23-3306       |
| CHECKED BY: JJS           |
| VERTICAL DATUM: NAVD 1988 |
| DATE: 03/29/2024          |
| SHEET NUMBER              |

## C-202

[illegible]

**Sunshine 811** 

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LIC. NO. 80758

PROJECT NAME: MAJOR SITE PLAN  
CORTA COMMONS

CORTA OCALA, LLC  
SW HWY 200 - OCALA  
ORION COUNTY, FLORIDA

FDOT TURN LANE  
VERTICAL PLAN  
& SECTIONS

| DATE<br>REVISED<br>BY/DATE | DESCRIPTION | NOTES | FDOT<br>FY 2024-25<br>STANDARD PLANS | PAVEMENT MARKINGS | INCHES<br>7/1-001 | SHEET<br>1 of 13 |
|----------------------------|-------------|-------|--------------------------------------|-------------------|-------------------|------------------|
| DATE<br>REVISED<br>BY/DATE | DESCRIPTION | NOTES | FDOT<br>FY 2024-25<br>STANDARD PLANS | PAVEMENT MARKINGS | INCHES<br>7/1-001 | SHEET<br>1 of 13 |
| DATE<br>REVISED<br>BY/DATE | DESCRIPTION | NOTES | FDOT<br>FY 2024-25<br>STANDARD PLANS | PAVEMENT MARKINGS | INCHES<br>7/1-001 | SHEET<br>1 of 13 |

| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 08  | 11/07/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE         |
| 07  | 11/07/24 | UPDATED PLANS FROM RE-DESIGN FOR PERMIT MODIFICATION SUBMITTAL |
| 06  | 10/17/24 | REVISION OF CROSS COMMENTS & LOWERS SITE AT T3C                |
| 05  | 10/07/24 | REVISIONS PER FOOT ACCESS & FORDHAM RELOCATION                 |
| 04  | 09/20/24 | REVISION TO BURNER PER RELOCATION                              |
| 03  | 08/26/24 | REVISION PER COUNTY, SWAMPY & FOOT REVIEW COMMENTS             |
| 02  | 8/12/24  | REVISION PER ZONING APPROVAL, COUNTY & SWAMPY REVIEW COMMENTS  |

REVISIONS



Call 811 or visit [sunshinefla.com](http://sunshinefla.com) before any business days before digging to locate buried facilities located and marked. Check positive response codes before you dig!

JOHN J. STOECKEL  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

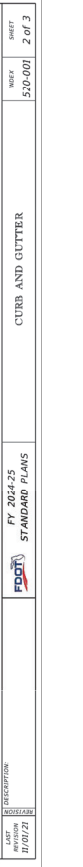
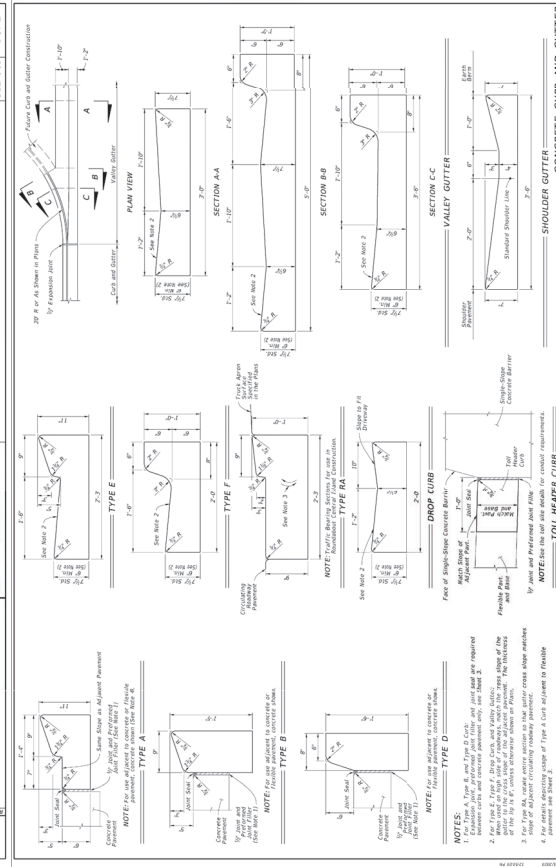
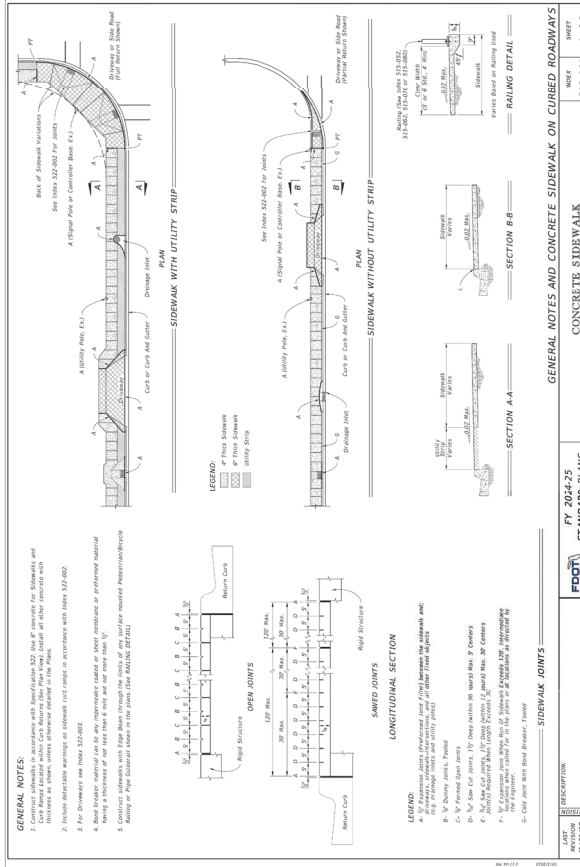
PROJECT NAME  
MAJOR SITE PLAN  
CORTA COMMONS  
FOR

CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE  
FDOT  
RIGHT-OF-WAY  
DETAILS

PROJECT NO: 23.1396  
CHECKED BY: JPS  
DATE: 08/20/24  
SHEET NUMBER

C-204



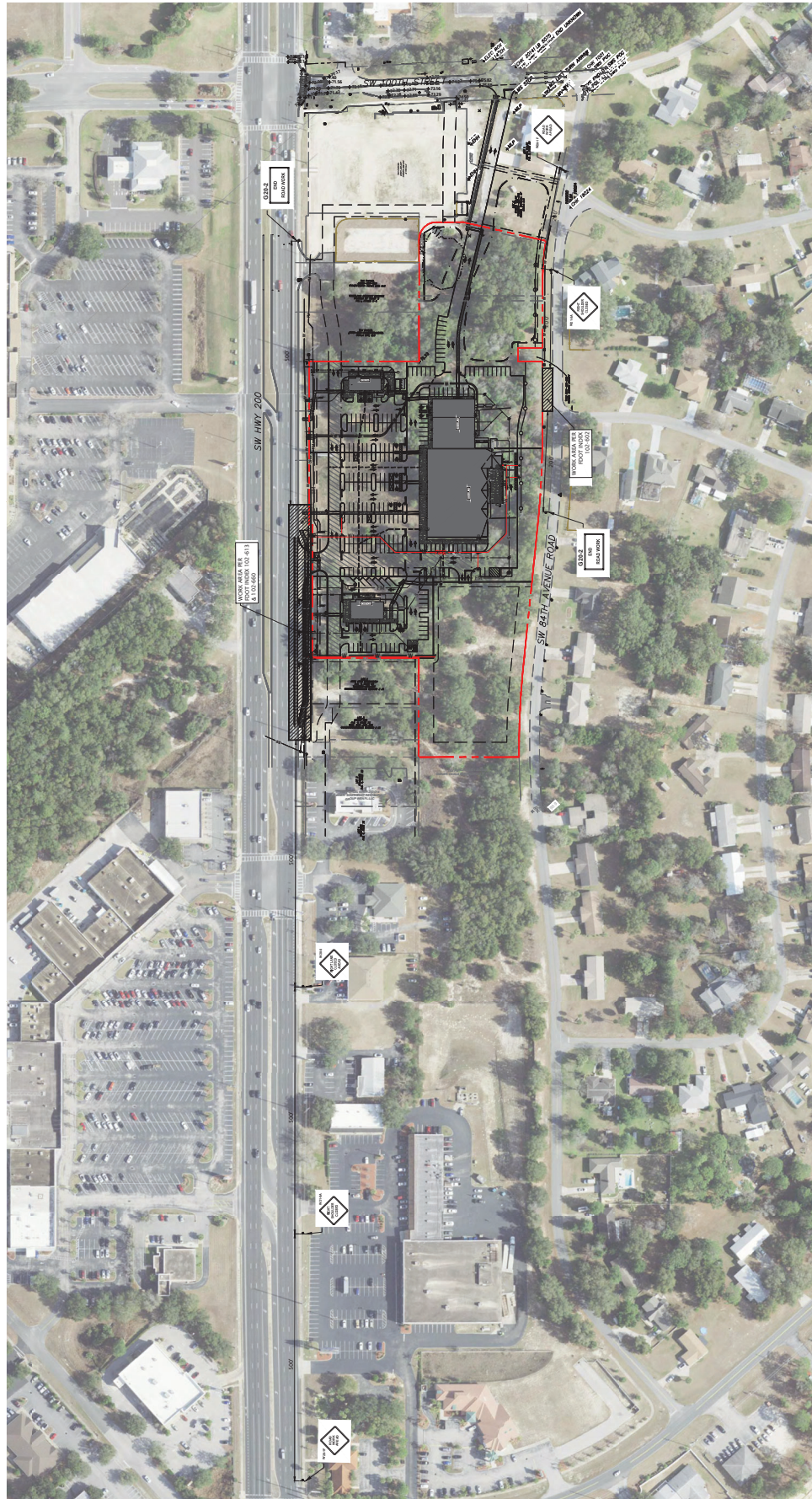
BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY ENTITLED "ALTAIRNPS LAND TITLE SURVEY LOCATED IN SECTIONS 24 & 25, TOWNSHIP 15 IS SOUTH, RANGE 20 EAST, MARION COUNTY, FLORIDA", PREPARED BY CHW PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2023.

- GENERAL MOT NOTES

1. FLORIDA STATE STATUE 316.0745:

- A. ANY AND ALL TRAFFIC CONTROL DEVICES INSTALLED ON THE COUNTY ROAD SYSTEM SHALL CONFORM TO FLORIDA STATE STATUTE 316.07(4), UNIFORM SIGNALS AND DEVICES.
- B. THIS STATUTE REQUIRES THAT ALL DEVICES CONFORM TO FLORIDA DEPARTMENT OF TRANSPORTATION (FLDOT) STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL DEVICES, MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND THE STANDARDS TO BE USED IN THE STATE OF FLORIDA.
- C. PAYMENT MARKINGS:
  1. ALL PAYMENT MARKINGS SHALL BE THERMOPLASTIC OR PERFORMED TYPES
  2. PAYMENT MARKINGS AND RAISED PAVEMENT MARKERS SHALL BE INSTALLED ON ALL ROADWAYS CLASSIFIED OTHER THAN RESIDENTIAL WITH AN AUST GREATER THAN 500 FEET PER MINUTE. OTHER CONDITIONS EXIST THAT REQUIRE PAYMENT MARKINGS, SUCH AS INTERCHANGES, RAMP TERMINATIONS, AND OTHER SPECIAL SITUATIONS.
- D. TRAFFIC CONTROL SIGNS:
  1. ALL SIGNS SHALL BE OF A TYPE CURRENTLY CARRIED BY THE FDOT FOR USE IN THE STATE OF FLORIDA.
  2. ALL SIGNS SHALL BE AT LEAST 10% MORE INTENSIVE OR OF A TYPE CURRENTLY CARRIED BY THE FDOT FOR USE IN THE STATE OF FLORIDA.

- ALL SIGNS SHALL BE NO LESS THAN THE STANDARD SIZE AS SPECIFIED BY THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- NO MINIMUM SIZE SIGNING SHALL BE ACCEPTED. LARGER SIGNS SHALL BE USED WHEN FEASIBLE.
- STREET NAME SIGNS SHALL BE BICOLORAL OR POLYCOLORAL. ALL SIGNS SHALL HAVE EIGHT LETTERS, ALL LETTERS, ALL STREET NAME SIGNS ON PRIVATE ROADS SHALL BE STANDARD 3X5 STREET NAME SIGNS WITH THE COLOR CODE REVERSED. WHITE SIGNS SHALL BE USED ON MAINTAINED ROADS. WHITE SIGNS SHALL BE USED ON MAINTAINED ROADS. THE COUNTY OR STATE MAINTAINED ROAD SHALL BE GREEN SIGNS. THE COUNTY OR STATE MAINTAINED ROAD SHALL BE GREEN SIGNS. ROAD SIGNS SHALL BE SUPPLIED WITH BOLTS, SET SCREWS WILL NOT BE ACCEPTED.
- ALL POST SYSTEMS, INCLUDING BOLLARDS, SIGNS AND HARDWARE SHALL BE OF A TYPE CURRENTLY IN USE WITH THE PACIFIC COUNTY PUBLIC WORKS DEPARTMENT AND APPROVED BY THE COUNTY ENGINEER. THE COUNTY ENGINEER SHALL HAVE THE OPTION OF USING THE TYPE OF FLOREDA, ALTERNATIVE SYSTEMS ETC. SHALL ONLY BE USED IF APPROVED BY THE COUNTY ENGINEER.

REVISIONS

**Sunshine 811** 

Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

---

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

PROJECT NAME: MAJOR SITE PLAN  
CORTA COMMONS

FOR

CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE

MAINTENANCE OF  
TRAFFIC PLAN

|                           |
|---------------------------|
| PROJECT NO: 23-3306       |
| CHECKED BY: JJS           |
| VERTICAL DATUM: NAVD 1988 |
| DATE: 03/29/2024          |
| SHEET NUMBER              |

C-205



MJ  
STOKES  
CONSULTING

INFO@MJSSTOCKSCONSULTING.COM  
FLORIDA BUSINESS REGISTRY NO. 34448

| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 01  | 6/17/24  | REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS   |
| 02  | 8/01/24  | REVISION PER COUNTY, SWAMPED & PDOT REVIEW COMMENTS              |
| 03  | 09/05/24 | REVISION TO BUFFER PER RESOLUTION                                |
| 04  | 9/20/24  | REVISION PER PDOT ACCESS & FOREMAN RELOCATION                    |
| 05  | 10/01/24 | REVISION PER PDOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/RESPOND |
| 06  | 10/17/24 | RE-DESIGN OF CROSS ACCESS & LOWERED SITE AT TSC                  |
| 08  | 11/02/24 | UPDATED PLANS SHOW RE-DESIGN FOR PERMIT MODIFICATION SUBMITAL    |
| 09  | 11/02/24 | PERMIT MODIFICATION REVISION - ACCESS, UTILITY, DRAINAGE         |

**SYMBOLS:**

- Work Area
- Work Zone Sign
- Work Zone Arrow
- Single Lane Closure

**GENERAL NOTE:**

1. Close of shoulder pedestrian traffic signal displays (containing)
  - a. Pedestrian Signal
  - b. Pedestrian Signal
  - c. Pedestrian Signal
  - d. Pedestrian Signal
2. In unidirectional lanes the median sign as shown at it is to be omitted.
3. To limited access facilities, and 'Right Shoulder Closure' signs (S1-2) and 'Right Shoulder Closure' signs (S1-3) are not required.
4. At the point of closure, if it is within the upper and characterizing distance from the point of closure.
5. The 'Shoulder Area' (Shoulder Area) sign (S1-4) and 'Shoulder Area' sign (S1-5) are not required. They are required when the work area is within the 'Shoulder Area' sign (S1-4) and 'Shoulder Area' sign (S1-5) are not required. They are required when the work area is within the 'Shoulder Area' sign (S1-4) and 'Shoulder Area' sign (S1-5) are not required.
6. The inverted sign of the instructions for work in the side of the roadway.
7. Temporary pavement markings may be omitted when the work operation is in place for 3 days or less.

**DESCRIPTION:**

1. Close of shoulder pedestrian traffic signal displays (containing)
 

- a. Pedestrian Signal
- b. Pedestrian Signal
- c. Pedestrian Signal
- d. Pedestrian Signal

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**NOTES:**

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6. The inverted sign of the instructions for work in the side of the roadway.
7. Temporary pavement markings may be omitted when the work operation is in place for 3 days or less.

GENERAL NOTES:

- BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREIN TAKEN FROM A SURVEY ENTITLED "ALTAMIR LAND TITLE SURVEY, LOCATED IN SECTIONS 14 & 15, TOWNSHIP 15 SOUTH, RANGE 36 EAST, MARION COUNTY, FLORIDA," PREPARED BY CIVIL PROFESSIONAL CONSULTANTS, DATED MARCH 18, 2013.
- THE HORIZONTAL & VERTICAL DATUMS ARE ABOVE REFERENCED SURVEY.
- ACCORDING TO THE FLOOD INSURANCE MAP FOR MARION COUNTY, FLORIDA, COMMUNITY FLOOD INSURANCE PREMIUM ZONE (FIRM) NO. 17000000000000000000, THE AREA APPEARS TO FALL WITHIN SPECIAL FLOOD HAZARD ZONE "A" AND "A1" AS THE AREA APPEARS TO FALL WITHIN THE TOP OF BANK LIMITS OF THE POND WITHIN LOT 1 OF SARMA VILLAS AS DEPICTED ON THE SURVEY REFERENCED ABOVE. BASE FLOOD ELEVATION OF 76.17' (74.00').
- BASED ON THE PROPOSED SLOPE AND FLOOD ELEVATION, THE PROPOSED CONSTRUCTION OF THE 100TH STREET, OCALA MARION COUNTY, FLORIDA, PREPARED BY ANDREY ENGINEERING, INC. DATED NOVEMBER 1, 2021.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS AND PERMIT CONDITIONS FROM LOCAL, STATE, AND FEDERAL AGENCIES. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE PERMITS OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

GRADING NOTES:

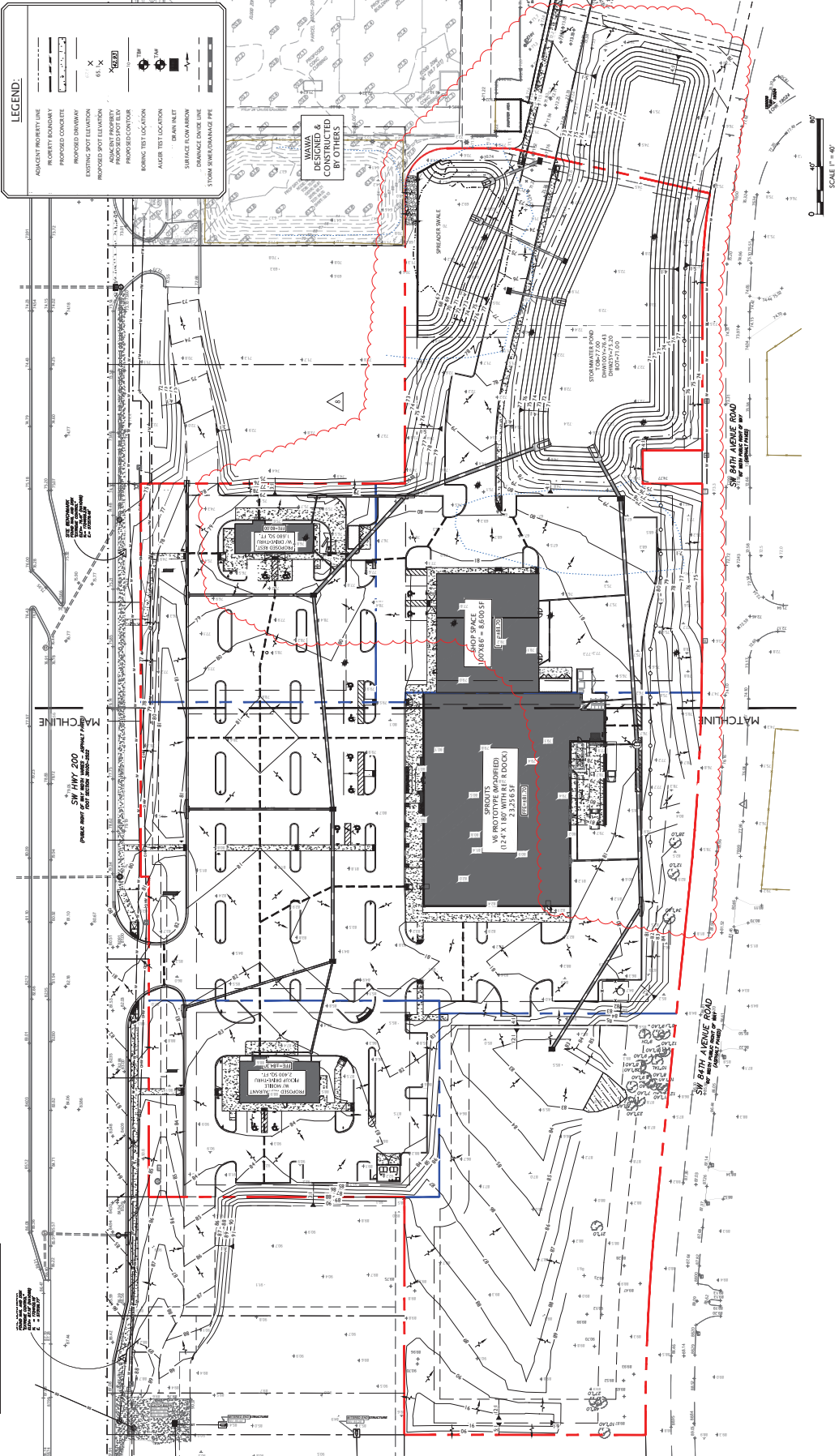
- PROPOSED GRADE ELEVATIONS SHOWN AT BUILDING LINE ARE GROUND ELEVATIONS.
- PROPOSED SLOPE ELEVATIONS IN PAVEMENT AREAS ARE TOP OF FINISHED PAVEMENT.
- A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE PAVING MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF ALL TESTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF ALL TESTING.
- ALL DELIVERED SUBSURFACE MATERIAL (IE MUCK, PEAT, BURNED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MARION COUNTY, FLORIDA, DEPARTMENT OF PUBLIC WORKS AND THE MARION COUNTY, FLORIDA, DEPARTMENT OF PUBLIC WORKS. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVAL OF MATERIAL FROM THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF ALL TESTING OF THE PAVING MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF ALL TESTING OF THE PAVING MATERIALS.
- CONTRACTOR SHALL SWEEP, JACK AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT AS SHOWN ON THE DETAILS HEREIN.
- CONTRACTOR TO PROVIDE A 1/2" TO 1" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER AT THE JOINTS OF THE PAVEMENT.
- THE CONTRACTOR SHALL STABILIZE BY SEED AND MULCH, SOO, OR OTHER APPROVED MATERIALS, ANY EXPOSED AREAS OF THE PAVEMENT. THE CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER.

TESTING & INSPECTION REQUIREMENTS (PAVING/GRADING)

- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER, MARION COUNTY, FLORIDA, DEPARTMENT OF PUBLIC WORKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF ALL TESTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF ALL TESTING.
- A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE PAVING MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF ALL TESTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF ALL TESTING.

- CONTRACTOR TO COORDINATE WITH OWNER REGARDING TYPE OF MATERIAL, LANDSCAPING, AND IRRIGATION REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHIELDING OR SHORING AS NECESSARY. DRAINAGE METHODS SHALL BE USED AS REQUIRED TO KEEP FIELDS DRY WHILE TYPE AND APPROPRIATE ARE BEING PLACED.
- STATE REQUIREMENTS THROUGHOUT DURATION OF CONSTRUCTION REMAIN COMPLIANT WITH LOCAL AND STATE REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF ALL TESTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF ALL TESTING.

VERTICAL DATUM  
ELEVATION SHOWN HEREIN ARE BASED ON NAVD 83 DATUM. ELEVATION RESEARCHED BY THE SURVEYOR.



**MJ STOKES CONSULTING**  
P.O. BOX 28221  
TAMPA, FL 33622  
813.724.1199  
INFO@MSTSTOKESCONSULTING.COM  
FLORIDA BUSINESS REGISTRY NO. 3448

| REV | DATE    | DESCRIPTION  |
|-----|---------|--|
| 01  | 4/12/24 | REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |
| 02  | 4/12/24 | REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |
| 03  | 4/12/24 | REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |
| 04  | 4/12/24 | REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |
| 05  | 4/12/24 | REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |
| 06  | 4/12/24 | REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |
| 07  | 4/12/24 | REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |
| 08  | 4/12/24 | REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |
| 09  | 4/12/24 | REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |
| 10  | 4/12/24 | REVISION PER ZONING APPROVAL, COUNTY & SWAMPED REVIEW COMMENTS |

**Sunshine**  
Call 811 or visit [www.sunshine11.com](http://www.sunshine11.com) before business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!

**JOHN J. STORCKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80718

**PROJECT NAME**  
MAJOR SITE PLAN  
CORTA COMMONS  
FOR  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

**SHEET TITLE**  
GRADING & DRAINAGE PLAN

**PROJECT NO.** 23-1396  
**CHECKED BY** JPS  
**DATE** 4/12/24  
**DATE** 4/12/24  
**SHEET NUMBER** C-301

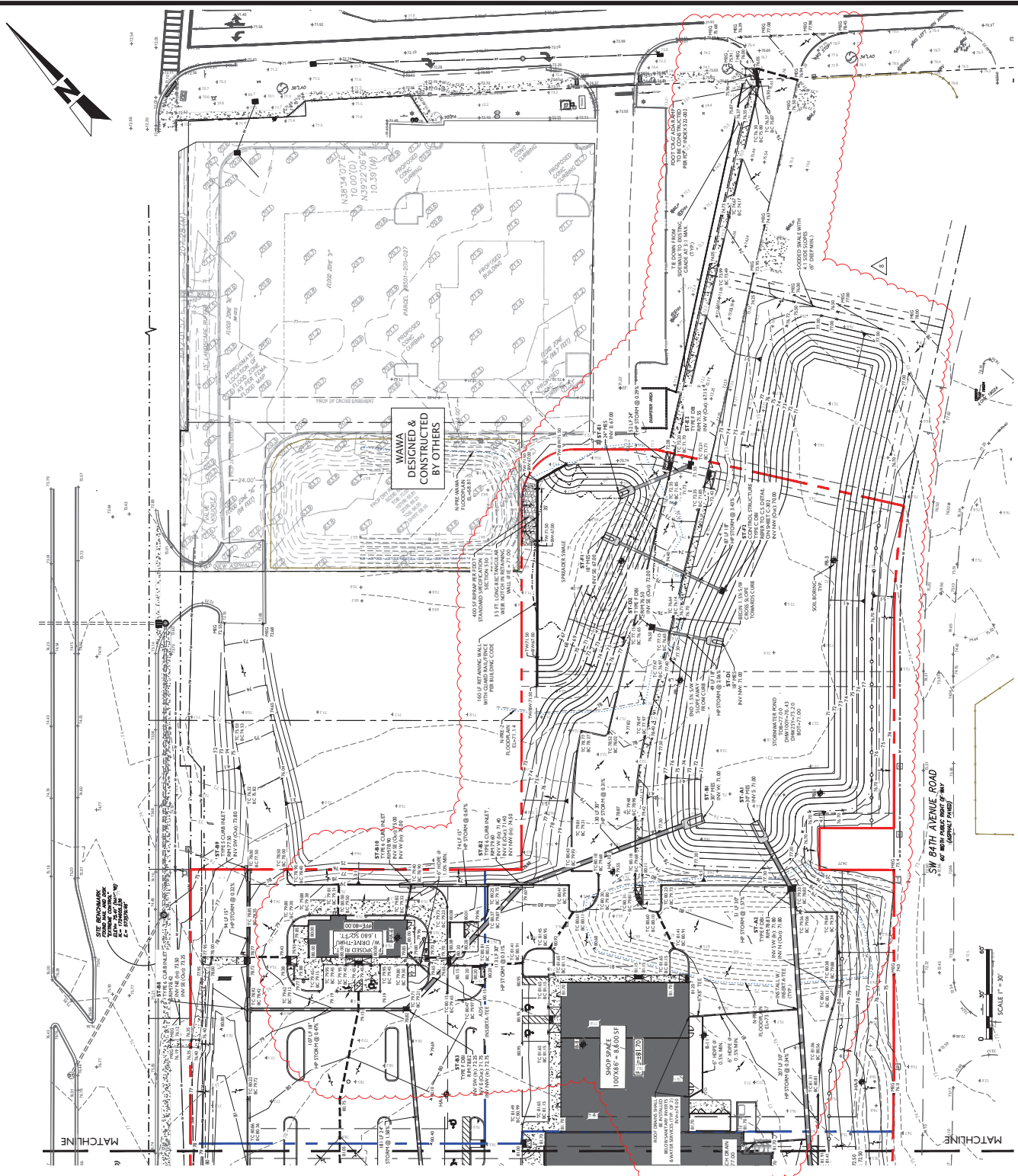
1. BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREIN TAKEN FROM A SURVEY DATED 1997, BY LANDSCAPE ARCHITECT JOHN J. HANCOCK, INC., 100 SOUTH RANGELANE, SUITE 110, SOUTH RANGELANE, 2ND FLOOR, MARION COUNTY, FLORIDA 32003. PROFESSIONAL CONSULTANTS DATED MARCH 18, 2023.
2. THE HORIZONTAL AND VERTICAL DATA HEREIN ARE REFERENCED SURVEY.
3. ACCORDING TO THE LOSS INSURANCE HAZARD FOR MARION COUNTY, FLORIDA, COMMUNITY PAPER NUMBER 123046, THE SUBJECT FACILITY APPEARS TO FALL WITHIN SPECIAL FLOOD ZONE 100A, WHICH IS A FLOOD HAZARD ZONE WITHIN THE TOP OF BANK LIMITS OF THE POND WITHIN LOT 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816

| REVISIONS |          |  |    |  |  |
|-----------|----------|--|----|--|--|
| 08        | 18/07/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DAMAGE | JS |  |  |
| 07        | 18/07/24 | REGION OF ACCESS, ACCESS & LOWWATERD STATE SUBMITTAL | JS |  |  |
| 06        | 15/07/24 | REGION OF ACCESS, ACCESS & LOWWATERD STATE SUBMITTAL | JS |  |  |
| 05        | 10/07/24 | REGION OF ACCESS, ACCESS & LOWWATERD STATE SUBMITTAL | JS |  |  |
| 04        | 07/07/24 | REGION OF ACCESS, ACCESS & LOWWATERD STATE SUBMITTAL | JS |  |  |
| 03        | 07/07/24 | REGION OF ACCESS, ACCESS & LOWWATERD STATE SUBMITTAL | JS |  |  |
| 02        | 07/07/24 | REGION OF ACCESS, ACCESS & LOWWATERD STATE SUBMITTAL | JS |  |  |
| 01        | 07/07/24 | REGION OF ACCESS, ACCESS & LOWWATERD STATE SUBMITTAL | JS |  |  |

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

# GRADING & DRAINAGE PLAN

C-302

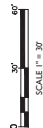


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|--|--|
|  | <p><b>LEGEND:</b></p> <p>ADJACENT PROPERTY LINE</p> <p>PROPERTY BOUNDARY</p> <p>PROPOSED CONCRETE</p> <p>PROPOSED DRIVEWAY</p> <p>PROPOSED SPOT ELEVATION</p> <p>PROPOSED SPOT ELEVATION</p> <p>PROPOSED SPOT ELEV</p> <p>PROPOSED SPOT ELEV</p> <p>PROPOSED TEST LOCATION</p> <p>BORING TEST LOCATION</p> <p>AUGER TEST LOCATION</p> <p>SEWER INLET</p> <p>SURFACE LOW ARROW</p> <p>CORNER</p> <p>STORM DRAIN DRAINAGE PIPE</p> |
|--|--|

BOUNDARY, TOPOGRAPHIC, AND THE INFORMATION SHOWN HEREIN TAKEN FROM A SURVEY ENTITLED "ALTAMERS, LAND TITLE NO. 10166, COUNTY OF HAVANA, CUBA, PREPARED BY C. SOUTH RANGE, JR., PROFESSIONAL CONSULTANTS, DATED MARCH 1, 2022. THE SURVEY REFERENCE ABOVE, BASE FLOOD ELEVATION OF 70.21 FT. (NAVD83).

SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A SUBSURFACE INVESTIGATION REPORT ENTITLED "GEOTECHNICAL INVESTIGATION REPORT FOR THE PROPOSED CONSTRUCTION OF A 10' HIGH CONCRETE WALL ALONG THE WEST SIDE OF 701 STREET, CUBA, HAVANA COUNTY, FLORIDA," PREPARED BY AUDREY ENGINEERING INC. DATED NOVEMBER 1, 2022.

ALL CONSTRUCTION SHALL COMPLY WITH ALL REQUIREMENTS AND SPECIFICATIONS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION AND APPROVED CONSTRUCTION DOCUMENTS ON-SITE. AT ALL TIMES, THE CONTRACTOR SHALL KEEP A COPY OF ALL PERMITS, APPROVED CONSTRUCTION DOCUMENTS, AND ALL RECORDS OF CONSTRUCTION COMMENCEMENT OF CONSTRUCTION.



|                            |  |
|----------------------------|--|
| ADJACENT PROPERTY LINE     |  |
| PROPERTY BOUNDARY          |  |
| PROPOSED CONCRETE          |  |
| PROPOSED DRIVEWAY          |  |
| EXISTING SPOT ELEVATION    |  |
| PROPOSED SPOT ELEVATION    |  |
| PROPOSED SPOT LEVEL        |  |
| PROPOSED CONTOUR           |  |
| BORING TEST LOCATION       |  |
| ANCHOR TEST LOCATION       |  |
| DRAIN INLET                |  |
| SURFACE FLOW ARROW         |  |
| DRAINAGE COURSE LINE       |  |
| STORM DRAIN DOWNSPOUT LINE |  |

**Sunshine 811** 

Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.

| REV | DATE     | DESCRIPTION   |
|-----|----------|---|
| 01  | 01/17/24 | REVISION PER COUNTY SWYMOND & SWEENEY COMMENTS                |
| 02  | 01/17/24 | REVISION PER COUNTY SWYMOND & SWEENEY COMMENTS                |
| 03  | 06/05/24 | REVISION TO IMPROVE SITE RESOLUTION                           |
| 04  | 06/05/24 | REVISION PER DOT ACCESS COMMENTS & FOREMAN RELOCATION         |
| 05  | 06/07/24 | REVISION PER DOT ACCESS COMMENTS & CHAIRS/POST ACCESS/ROADWAY |
| 06  | 06/07/24 | REVISION PER FOOT ACCESS & LOWEDED SITE AT 71%                |
| 07  | 06/07/24 | REVISION PER FOOT ACCESS COMMENTS                             |
| 08  | 06/07/24 | UPDATED LAYOUT FROM RE DESIGN FOR REMOTE RELOCATION SLIGHTLY  |
| 09  | 06/07/24 | REVISION PER DOT ACCESS COMMENTS                              |

**MJ**  
STOKES  
CONSULTING

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 84768

PROJECT NAME: MAJOR SITE PLAN  
CORTA COMMONS

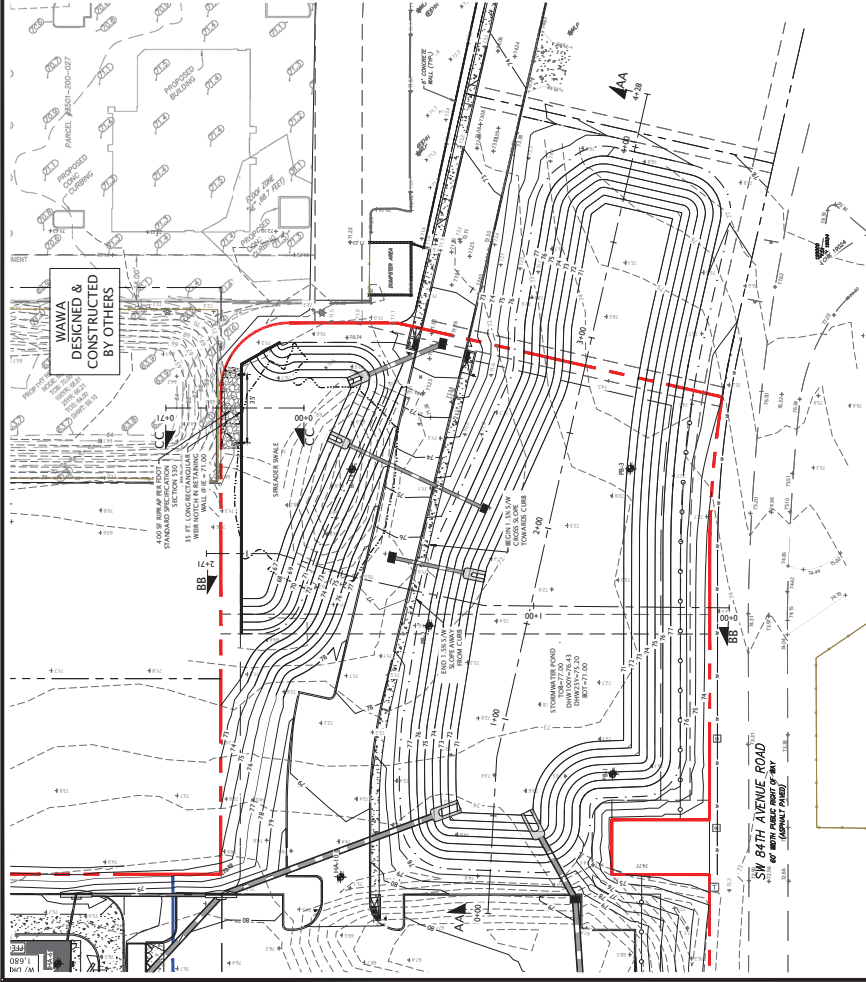
FOR  
CORTA OCALA, LLC

SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

## GRADING & DRAINAGE PLAN

|                 |            |
|-----------------|------------|
| PROJECT NO:     | 23-3306    |
| CHECKED BY:     | JJS        |
| VERTICAL DATUM: | NAVD 1988  |
| DATE            | 03/29/2024 |
| SHEET NUMBER    |            |

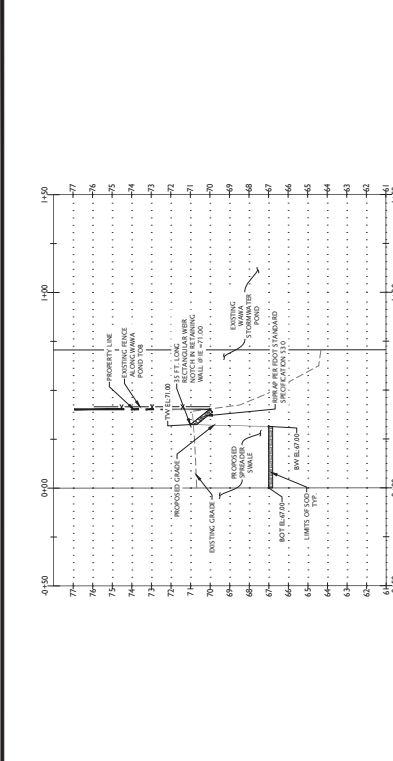
C-303



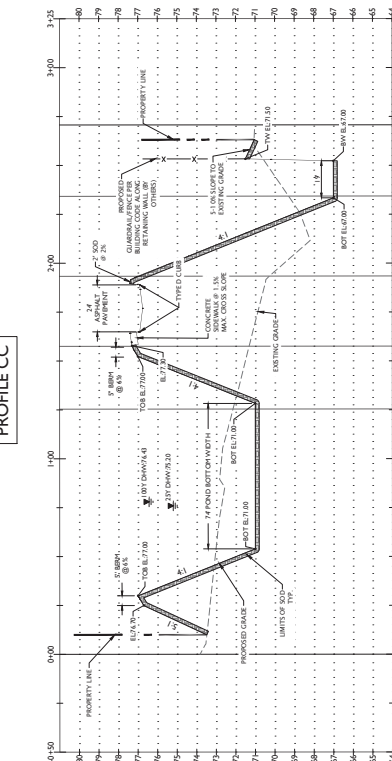
SCALE 1" = 30'

**LEGEND:**

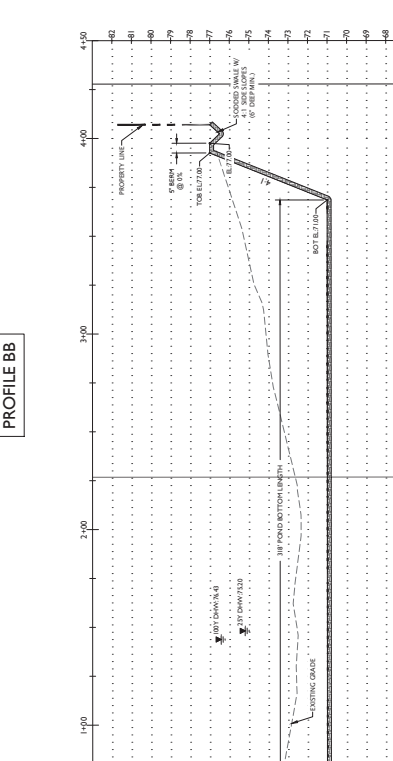
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|------------------------|-------------------|-------------------------|-------------------------|------------------|-----------|------------------------|------------|---------------------------|
| ADJACENT PROPERTY LINE | PROPOSED DRIVEWAY | EXISTING SPOT ELEVATION | PROPOSED SPOT ELEVATION | PROPOSED CONTOUR | BENCHMARK | ADJACENT TEST LOCATION | DOWN SLOPE | STORM SEWER DRAINAGE LINE |
| ---                    | ---               | 65' X                   | 65' X                   | ---              | BM        | +                      | ↓          | ---                       |
| ---                    | ---               | ---                     | ---                     | ---              | ---       | ---                    | ---        | ---                       |



PROFILE CC



PROFILE BB



PROFILE AA

**MJ STOKES CONSULTING**  
P.O. BOX 22821  
TAMPA, FL 33622  
813.734.1199  
INFO@MJSTOKESCONSULTING.COM

FLORIDA BUSINESS REGISTRY NO. 3448

**REVISIONS**

| REV | DATE    | DESCRIPTION  |
|-----|---------|--|
| 01  | 6/12/24 | REVISION PER COUNTY, SWAMPY & FOOT REVIEW COMMENTS |
| 02  | 6/12/24 | REVISION PER COUNTY, SWAMPY & FOOT REVIEW COMMENTS |
| 03  | 6/12/24 | REVISION PER COUNTY, SWAMPY & FOOT REVIEW COMMENTS |
| 04  | 6/12/24 | REVISION PER COUNTY, SWAMPY & FOOT REVIEW COMMENTS |
| 05  | 6/12/24 | REVISION PER COUNTY, SWAMPY & FOOT REVIEW COMMENTS |
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| 100 | 6/12/24 | REVISION PER COUNTY, SWAMPY & FOOT REVIEW COMMENTS |

**SunshineFL**

Call 811 or visit [www.sunshinefl.com](http://www.sunshinefl.com) before any business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80738

**PROJECT NAME**  
MAJOR SITE PLAN  
CORTA COMMONS  
FOR  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

**SHEET TITLE**  
CROSS SECTIONS

**PROJECT NO.** 23.1336  
**CHECKED BY:** JPS  
**DATE:** 6/12/2024  
**DATE:** 6/12/2024  
**SHEET NUMBER:** C-304









| REV | DATE  | DESCRIPTION  |
|-----|-------|--|
| 01  | 10/24 | REVISION PER COUNTY, SWFWMD & FOOT REVIEW COMMENTS             |
| 02  | 10/24 | REVISION PER COUNTY, SWFWMD & FOOT REVIEW COMMENTS             |
| 03  | 10/24 | REVISION TO BURNER PER RESOLUTION                              |
| 04  | 10/24 | REVISIONS PER FOOT ACCESS & FORECRAIN RELOCATION               |
| 05  | 10/24 | REVISIONS PER CROSS COMMENTS & ON-SITE CROSS ACCESS/POD        |
| 06  | 10/24 | REVISIONS OF CROSS ACCESS & LOWERS SITE AT TJC                 |
| 07  | 10/24 | UPDATED PLANS FROM RE-DESIGN FOR PERMIT MODIFICATION SUBMITTAL |
| 08  | 10/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE         |
| 09  |       |  |
| 10  |       |  |



Call 811 or visit [www.floridaclear.com](http://www.floridaclear.com) before any business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!

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LICENSE NO. 80738

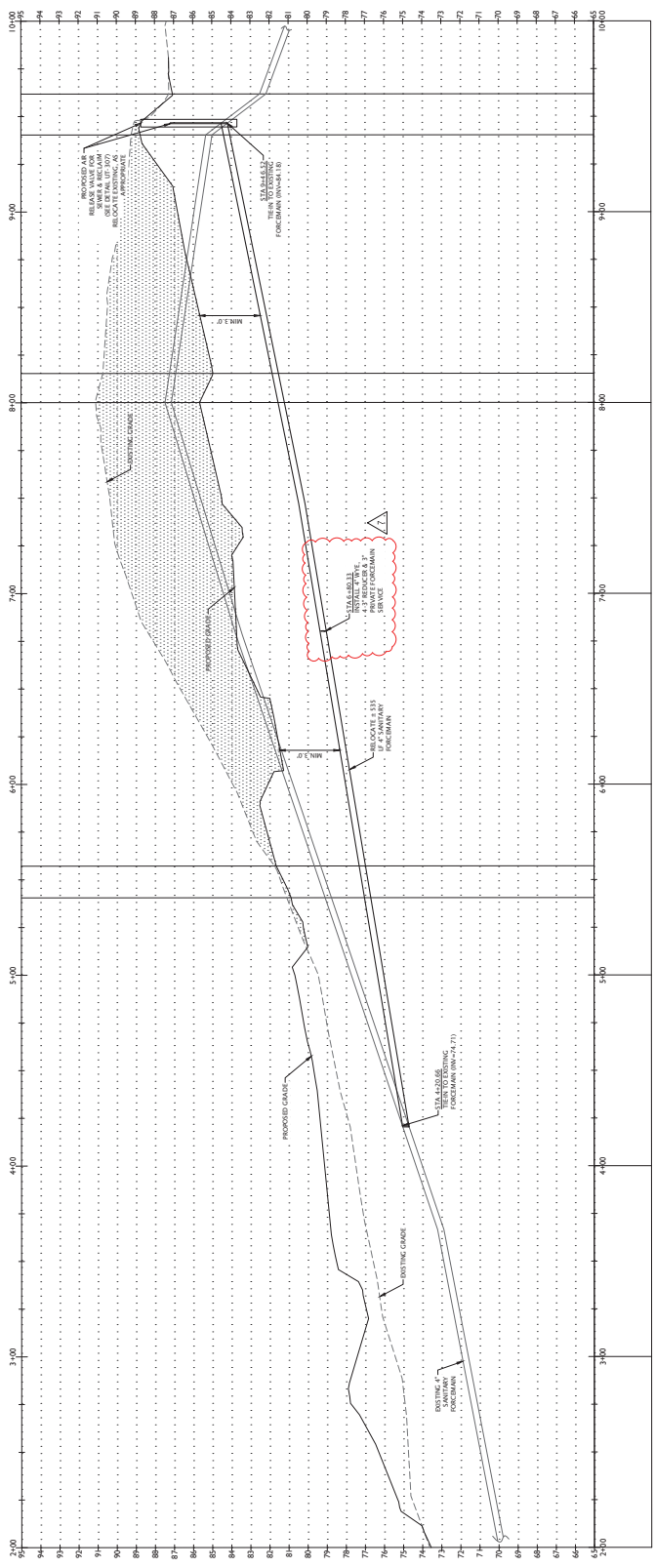
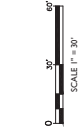
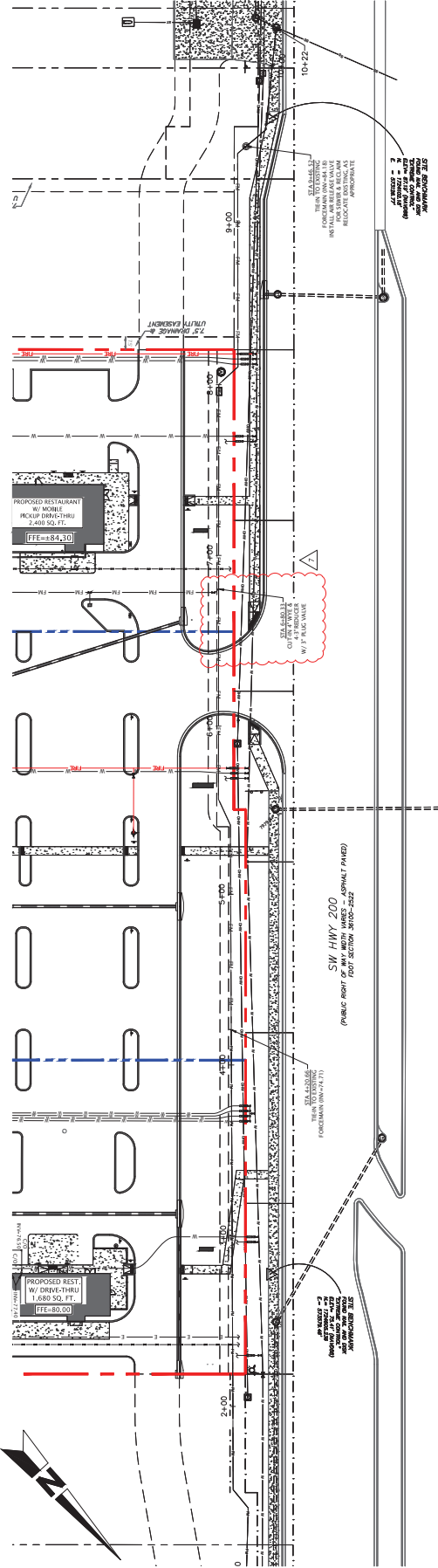
PROJECT NAME  
MAJOR SITE PLAN  
CORTA COMMONS  
FOR

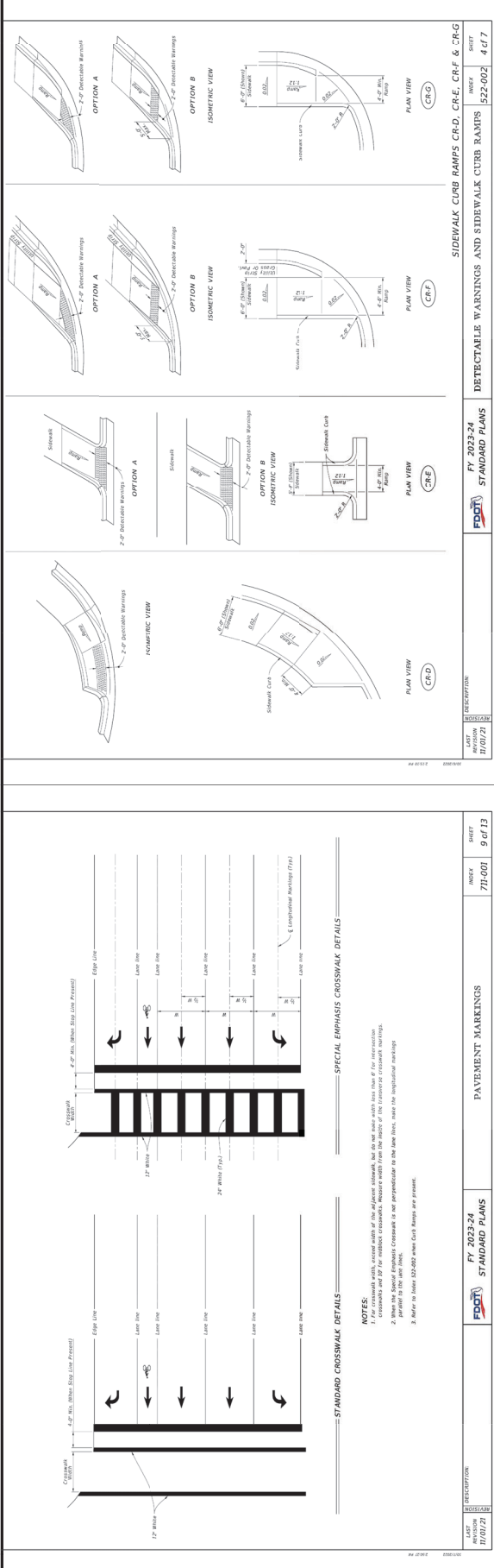
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE  
EXISTING SANITARY  
FORCEMAIN  
PROFILE

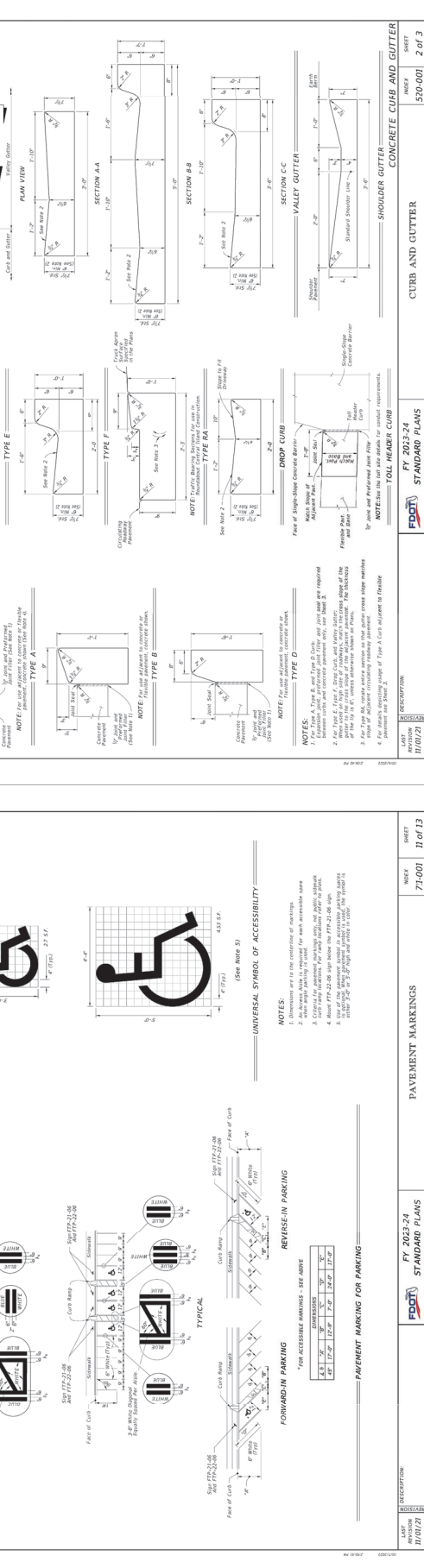
PROJECT NO. 23-1386  
CHECKED BY: JPS  
DATE: 10/24/2024  
DATE OF DESIGN

SHEET NUMBER  
C-404

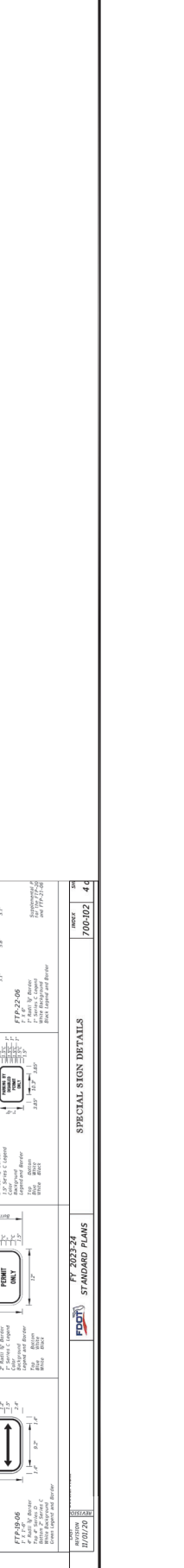




| LAST REVISION | DESCRIPTION                       | INDEX  | SHEET   |
|---------------|-----------------------------------|--------|---------|
| 11/01/24      | REVISED TO ADD CROSSWALK MARKINGS | 71-001 | 9 OF 13 |



| LAST REVISION | DESCRIPTION                      | INDEX  | SHEET    |
|---------------|----------------------------------|--------|----------|
| 11/01/24      | REVISED TO ADD PAVEMENT MARKINGS | 71-001 | 11 OF 13 |



FLORIDA BUSINESS REGISTRY NO. 3448

INFO@MSTOKESCONSULTING.COM

813.724.1499

TAMPA, FL 33622

P.O. BOX 22821

MJ STOKES CONSULTING

REV

DATE

DESCRIPTION

|     |          |   |
|-----|----------|---|
| 01  | 11/01/24 | REVISION PER COUNTY SWAMPWATER AND FOOT REVIEW COMMENTS |
| 02  | 11/01/24 | REVISION TO SWAMPWATER AND FOOT REVIEW COMMENTS         |
| 03  | 11/01/24 | REVISION TO SWAMPWATER AND FOOT REVIEW COMMENTS         |
| 04  | 11/01/24 | REVISION TO SWAMPWATER AND FOOT REVIEW COMMENTS         |
| 05  | 11/01/24 | REVISION TO SWAMPWATER AND FOOT REVIEW COMMENTS         |
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| 100 | 11/01/24 | REVISION TO SWAMPWATER AND FOOT REVIEW COMMENTS         |

PROJECT NAME

MAJOR SITE PLAN

CORTA COMMONS

FOR

CORTA OCALA, LLC

SW HWY 200 - OCALA

MARION COUNTY, FLORIDA

SHEET TITLE

CONSTRUCTION DETAILS

PROJECT NO. 213386

CHECKED BY: JPS

DATE: 11/01/24

DATE: 11/01/24

SHEET NUMBER

C-501

Call BT or visit [www.sunshinefl.com](http://www.sunshinefl.com) for business days before opening to have buried facilities located and marked. Check positive response codes before you dig!

JOHN J. STOECKEL  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80718

PROJECT NAME  
MAJOR SITE PLAN  
CORTA COMMONS  
FOR

CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE  
CONSTRUCTION DETAILS

PROJECT NO. 213386  
CHECKED BY: JPS  
DATE: 11/01/24  
DATE: 11/01/24  
SHEET NUMBER

C-501

| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 08  | 11/07/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE         |
| 07  | 11/07/24 | UPDATED PLANS FROM RE-DESIGN FOR PERMIT MODIFICATION SUBMITTAL |
| 06  | 10/07/24 | RE-DESIGN OF CROSS ACCESS & LOWEBED SITE AT TJC                |
| 05  | 10/07/24 | REVISIONS PER FOOT ACCESS & FORDHAM RELOCATION                 |
| 04  | 06/03/24 | REVISION TO BURIED PER RESOLUTION                              |
| 03  | 06/03/24 | REVISION PER COUNTY, SWFWMD & FOOT REVIEW COMMENTS             |
| 02  | 01/24/24 | REVISION PER ZONING APPROVAL, COUNTY & SWFWMD REVIEW COMMENTS  |
| 01  | 01/24/24 | REVISION PER ZONING APPROVAL, COUNTY & SWFWMD REVIEW COMMENTS  |

**Sunshine**  
Call 811 or visit [sunshine.fl.gov](http://sunshine.fl.gov) before any business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!

JOHN J. STOECKEL  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 807518

PROJECT NAME  
MAJOR SITE PLAN  
CORTA COMMONS  
FOR

CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE  
CONSTRUCTION  
DETAILS

PROJECT NO. 23-1306  
CHECKED BY: JPS  
DATE: 11/01/24  
DATE: 05/01/24  
SHEET NUMBER

C-502

**PAVEMENT MESSAGE AND ARROW DETAILS**

**PAVEMENT MARKINGS**

**INDEX** 7/1/001 **SHEET** 1 of 13

**DESCRIPTION:** FY 2023-24 **STANDARD PLANS**

**DATE:** 11/01/24

**PAVEMENT MESSAGE NOTES:**

- Place all pavement messages 4' to 6' from the stop line.
- Messages shall be 4" to 6" high.
- All widths are 4" x 4".
- All pavement messages must be white except Route Shields.
- Messages shall be 4" to 6" from the stop line.

**PAVEMENT MARKING NOTES:**

- Place all pavement markings 4' to 6' from the stop line.
- Messages shall be 4" to 6" high.
- All widths are 4" x 4".
- All pavement markings must be white except Route Shields.
- Messages shall be 4" to 6" from the stop line.

**PAVEMENT MARKING NOTES:**

- Place all pavement markings 4' to 6' from the stop line.
- Messages shall be 4" to 6" high.
- All widths are 4" x 4".
- All pavement markings must be white except Route Shields.
- Messages shall be 4" to 6" from the stop line.

**PAVEMENT MARKINGS**

**INDEX** 7/1/001 **SHEET** 2 of 13

**DESCRIPTION:** FY 2023-24 **STANDARD PLANS**

**DATE:** 11/01/24

**PAVEMENT MARKING NOTES:**

- Place all pavement markings 4' to 6' from the stop line.
- Messages shall be 4" to 6" high.
- All widths are 4" x 4".
- All pavement markings must be white except Route Shields.
- Messages shall be 4" to 6" from the stop line.

**PAVEMENT MARKING NOTES:**

- Place all pavement markings 4' to 6' from the stop line.
- Messages shall be 4" to 6" high.
- All widths are 4" x 4".
- All pavement markings must be white except Route Shields.
- Messages shall be 4" to 6" from the stop line.

**PAVEMENT MARKING NOTES:**

- Place all pavement markings 4' to 6' from the stop line.
- Messages shall be 4" to 6" high.
- All widths are 4" x 4".
- All pavement markings must be white except Route Shields.
- Messages shall be 4" to 6" from the stop line.



[illegible]





| REV | DATE     | DESCRIPTION   |
|-----|----------|---|
| 01  | 10/17/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE          |
| 02  | 11/07/24 | UPDATED PLAN REGION RE-DESIGN FOR PERMIT MODIFICATION SUBMITTAL |
| 03  | 11/07/24 | REDESIGN OF CROSS ACCESS & LOW-BED SITE AT TJC                  |
| 04  | 10/07/24 | REDESIGN PER FOOT ACCESS COMMENTS & FORKHAM RELOCATION          |
| 05  | 10/07/24 | REDESIGN TO BRIDGE PER RELOCATION                               |
| 06  | 10/07/24 | REDESIGN PER COUNTY, SWAMP & FOOT REVIEW COMMENTS               |
| 07  | 10/17/24 | REDESIGN PER COUNTY, SWAMP & FOOT REVIEW COMMENTS               |
| 08  | 10/17/24 | REDESIGN PER COUNTY, SWAMP & FOOT REVIEW COMMENTS               |



Call 811 or visit [sunshinefl.com](http://sunshinefl.com) before any business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80718

PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**

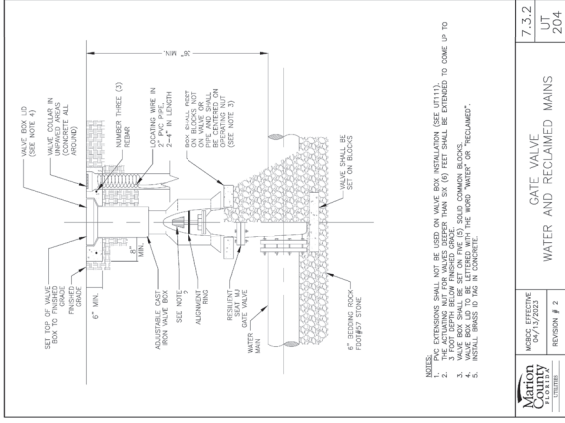
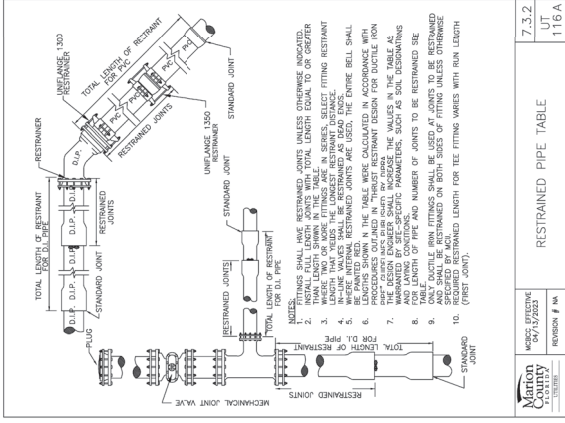
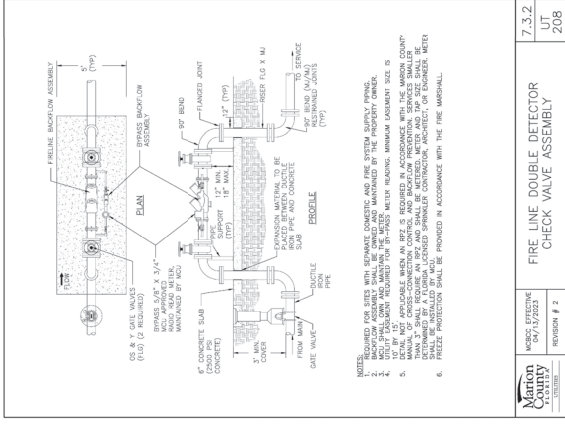
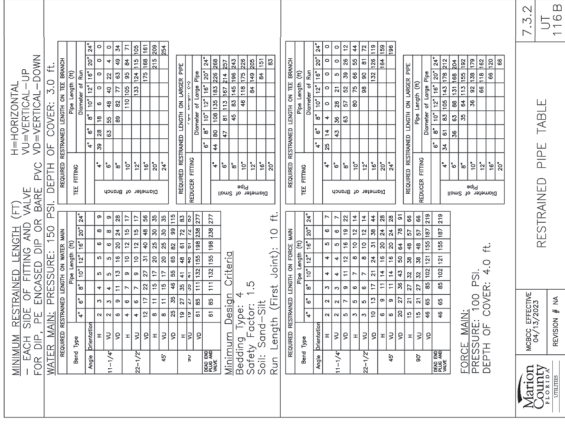
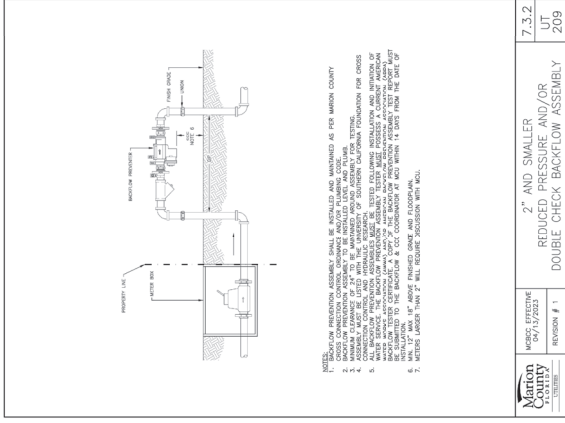
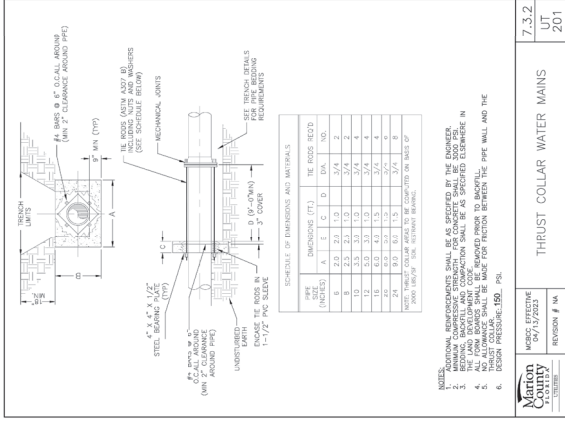
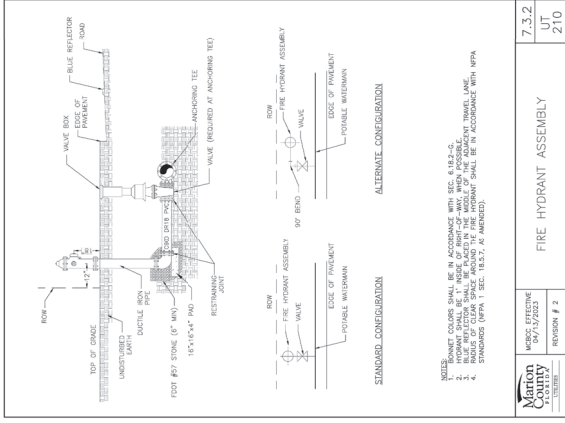
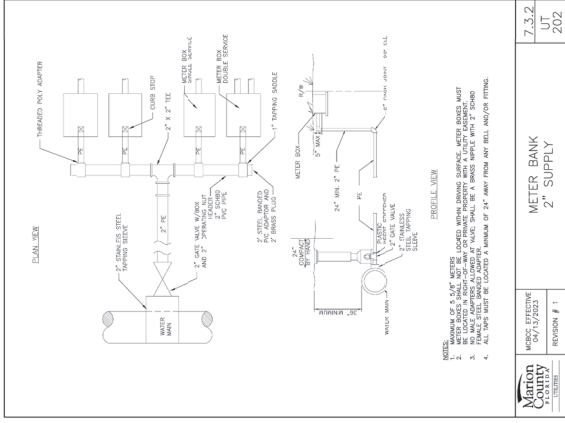
FOR

**CORTA OCALA, LLC**  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE  
**MARION COUNTY**  
**UTILITY DETAILS**

PROJECT NO.: 213396  
CHECKED BY: JPS  
DATE: 05/15/2023  
SHEET NUMBER

**C-508**



| REV | DATE     | DESCRIPTION  |
|-----|----------|--|
| 01  | 10/07/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE         |
| 02  | 10/07/24 | UPDATED PLAN FROM REDIGEN FOR PERMIT MODIFICATION SUBMITTAL    |
| 03  | 10/07/24 | REDESIGN OF CROSS ACCESS & LOW-BED SITE AT TJC                 |
| 04  | 10/07/24 | REVISIONS PER FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/ROAD |
| 05  | 10/07/24 | REVISIONS PER FOOT ACCESS & FORKHAM RELOCATION                 |
| 06  | 10/07/24 | REVISION TO BURNER PER RELOCATION                              |
| 07  | 10/07/24 | REVISION TO COUNTY SWAMPY & FOOT REVIEW COMMENTS               |
| 08  | 10/07/24 | REVISION FOR CORNING REMOVAL, COUNTY & SWAMPY REVIEW COMMENTS  |



Call BT or visit [www.buriedfacilities.com](http://www.buriedfacilities.com) for business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80718

PROJECT NAME  
**MAJOR SITE PLAN**  
**CORTA COMMONS**  
FOR  
**CORTA OCALA, LLC**  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE  
**MARION COUNTY**  
**UTILITY DETAILS**

PROJECT NO. 213386  
CHECKED BY: JJP  
DATE: 05/15/2023  
SHEET NUMBER

**C-509**

**PLUG VALVE AND BOX**

7.3.2 UT  
304

MODS EFFECTIVE 04/15/2023  
REVISION # 2

**MAN-HOLE IN NON-PAVED AREA**

7.3.2 UT  
309

MODS EFFECTIVE 04/15/2023  
REVISION # 1

**GRAVITY MANHOLE CONNECTION**

7.3.2 UT  
303

MODS EFFECTIVE 04/15/2023  
REVISION # 2

**AIR RELEASE VALVE**

7.3.2 UT  
307

MODS EFFECTIVE 04/15/2023  
REVISION # 2

**THRUST COLLAR WASTEWATER FORCE MAINS**

7.3.2 UT  
301

MODS EFFECTIVE 04/15/2023  
REVISION # 1

**PRECAST CONCRETE MANHOLE**

7.3.2 UT  
306

MODS EFFECTIVE 04/15/2023  
REVISION # 2

**TEMPORARY SAMPLE POINT**

7.3.2 UT  
211

MODS EFFECTIVE 04/15/2023  
REVISION # 1

**STANDARD SEWER MANHOLE FRAME AND COVER**

7.3.2 UT  
305

MODS EFFECTIVE 04/15/2023  
REVISION # 2

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**Sunshine 811** 

Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.

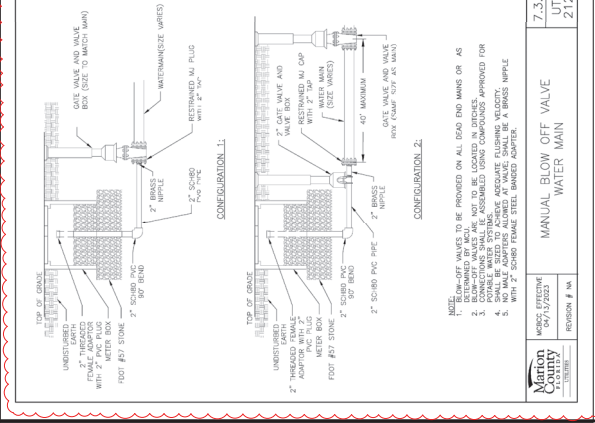
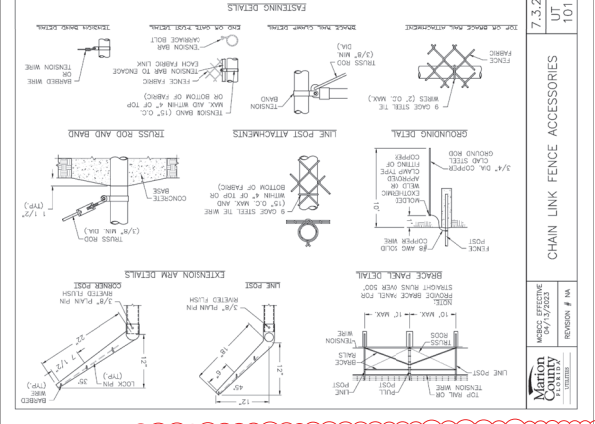
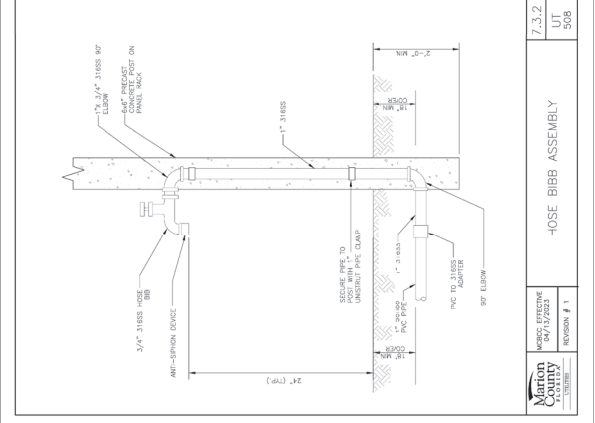
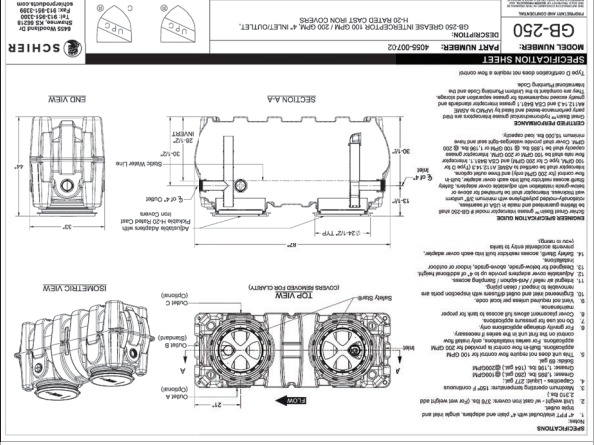
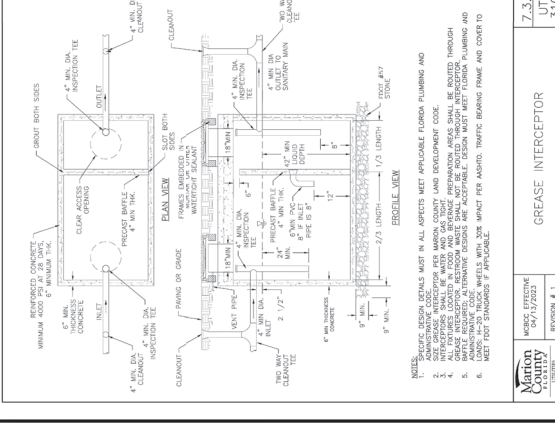
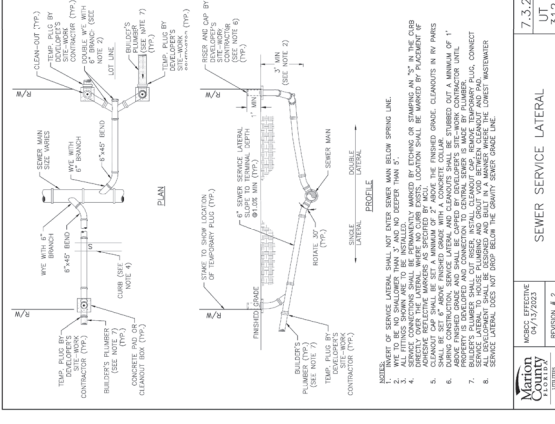
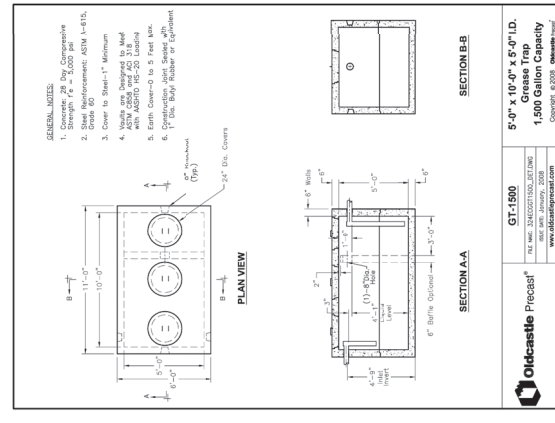
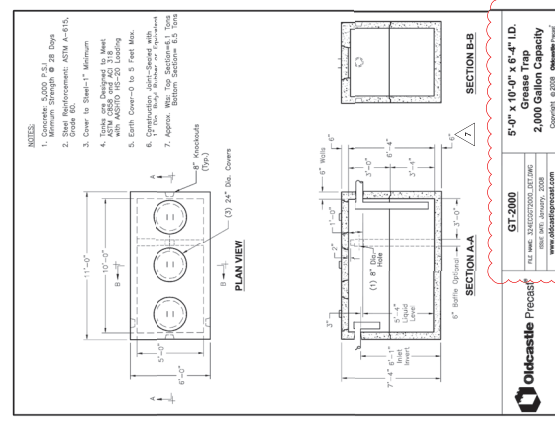
*Check positive response codes before you dig!*

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO.: 80738

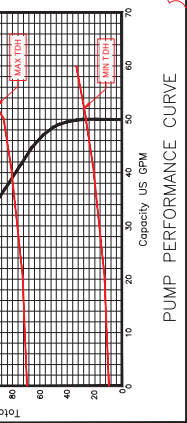
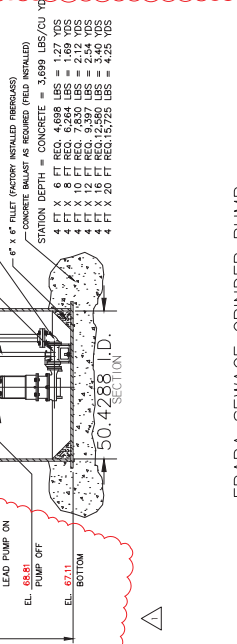
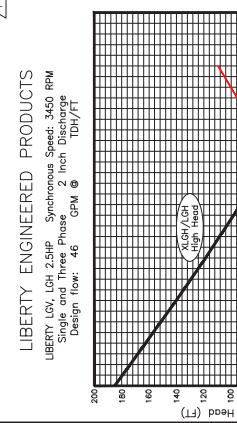
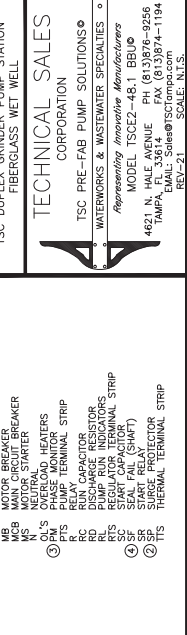
PROJECT NAME  
MAJOR SITE PLAN  
CORTA COMMONS  
FOR  
CORTA OCALA, LLC  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

|                                  |                           |
|----------------------------------|---------------------------|
| SHEET TITLE                      | PROJECT NO. 23-3306       |
| MARION COUNTY<br>UTILITY DETAILS | CHECKED BY: JJS           |
|                                  | VERTICAL DATUM: NAVD 1988 |
|                                  | DATE: 03/29/2024          |
|                                  | SHEET NUMBER              |

C-510



DATE 03/29/2024  
SHEET NUMBER  
C-510



48" DUPLEX STATION - 2" PIPING  
WITH SLIDE RAIL SYSTEM, V.B. AND F.D.E.P. PANEL  
TSC PRE-FAB PUMP SOLUTIONS®  
MODEL TSC2-48.1 BBU R21.dwg©

1. HOSE BIBB WITH REDUCED PRESSURE BACK FLOW PREVENTER  
2. GROUT FILLET (1 TO 1 SLOPE TO "HOPPER" BOTTOM)

JOB: \_\_\_\_\_  
QS: \_\_\_\_\_  
FIELD INSTALL BY CONTRACTOR

| REV | DATE  | DESCRIPTION  |
|-----|-------|--|
| 01  | 01/24 | REVISION PER ZONING APPROVAL, COUNTY & SWPMD REVIEW COMMENTS   |
| 02  | 01/24 | REVISION PER COUNTY, SWPMD & FOOT REVIEW COMMENTS              |
| 03  | 05/24 | REVISION TO BURNER PER RESOLUTION                              |
| 04  | 07/24 | REVISION PER FOOT ACCESS & FORDHAM RELOCATION                  |
| 05  | 07/24 | REVISION PER FOOT ACCESS COMMENTS & ON-SITE CROSS ACCESS/ROAD  |
| 06  | 07/24 | REVISION OF CROSS ACCESS & LOWERS SITE AT T/C                  |
| 07  | 10/24 | UPDATED PLANS FROM RE-DESIGN FOR PERMIT MODIFICATION SUBMITTAL |
| 08  | 10/24 | PERMIT MODIFICATION REGION - ACCESS, UTILITY, DRAINAGE         |

**Sunshine**  
Call 811 or visit [sunshine.fl.gov](http://sunshine.fl.gov) before any business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!

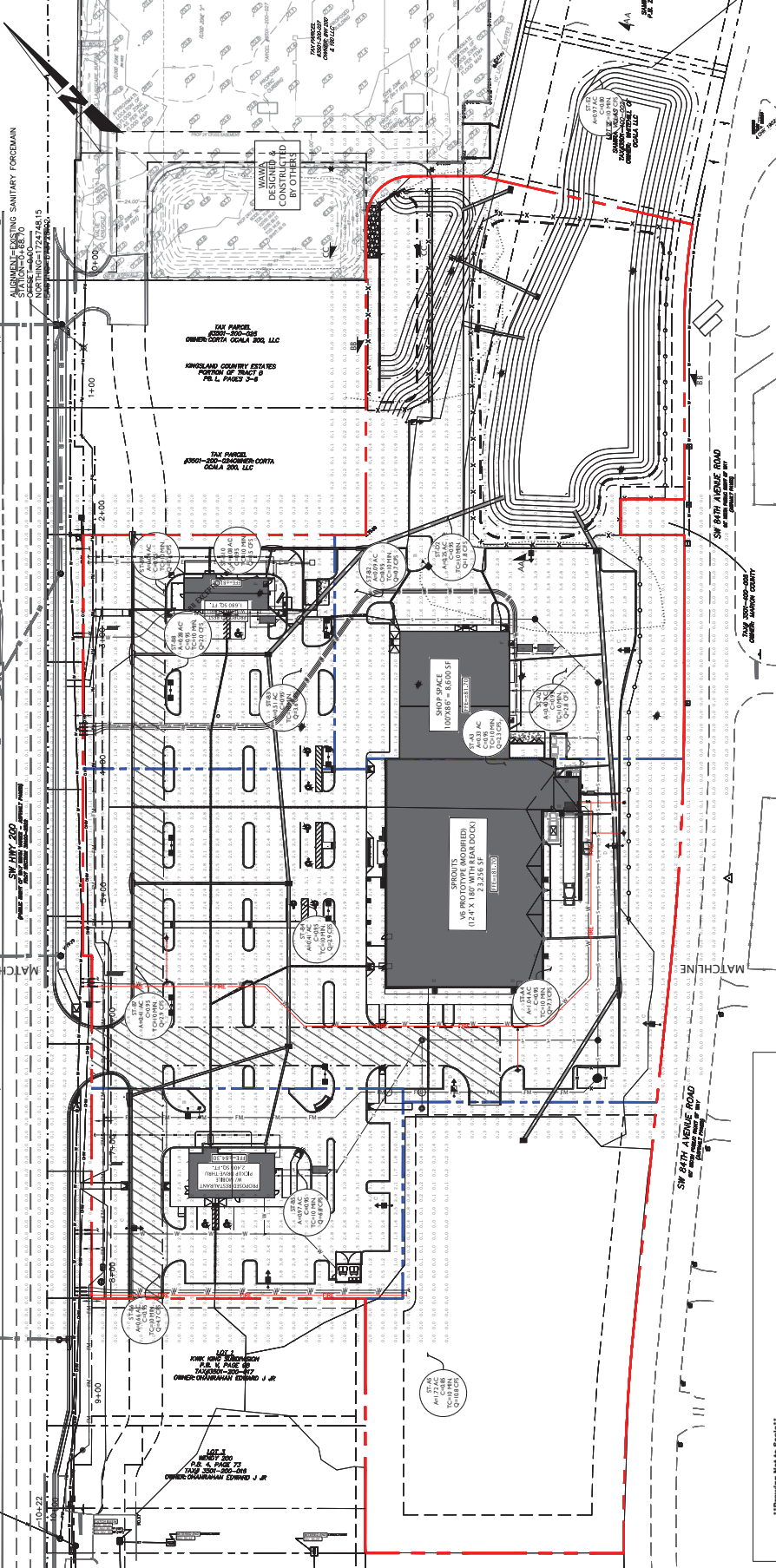
**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80778

PROJECT NAME  
**MAJOR SITE PLAN**  
CORTA COMMONS  
FOR  
**CORTA OCALA, LLC**  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE  
**EXTERIOR LIGHTING**  
PHOTOMETRIC  
PLAN

PROJECTED: 23.33%  
CHECKED BY: JPS  
DATE: 06/20/2024  
SHEET NUMBER

**C-601**

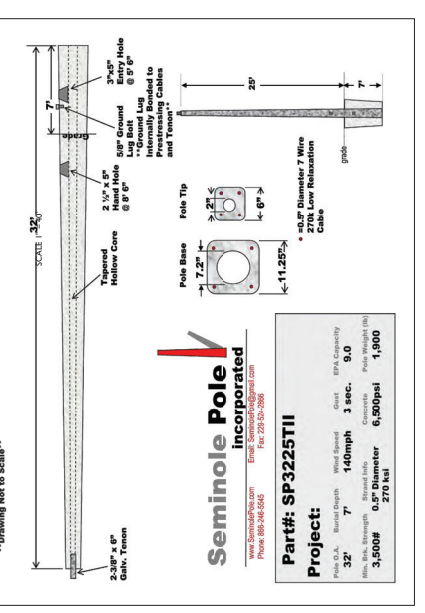


| Calculation Summary |      |       |     |     |      |     |      |     |      |
|---------------------|------|-------|-----|-----|------|-----|------|-----|------|
| Label               | Unit | Value | Min | Max | Min  | Max | Min  | Max | Unit |
| STREET LIGHTS       | FC   | 2.23  | 0.0 | 4.0 | 2.23 | 4.0 | 2.23 | 4.0 | FC   |
| STREET LIGHTS       | FC   | 2.23  | 0.0 | 4.0 | 2.23 | 4.0 | 2.23 | 4.0 | FC   |
| STREET LIGHTS       | FC   | 2.23  | 0.0 | 4.0 | 2.23 | 4.0 | 2.23 | 4.0 | FC   |
| STREET LIGHTS       | FC   | 2.23  | 0.0 | 4.0 | 2.23 | 4.0 | 2.23 | 4.0 | FC   |
| STREET LIGHTS       | FC   | 2.23  | 0.0 | 4.0 | 2.23 | 4.0 | 2.23 | 4.0 | FC   |
| STREET LIGHTS       | FC   | 2.23  | 0.0 | 4.0 | 2.23 | 4.0 | 2.23 | 4.0 | FC   |
| STREET LIGHTS       | FC   | 2.23  | 0.0 | 4.0 | 2.23 | 4.0 | 2.23 | 4.0 | FC   |
| STREET LIGHTS       | FC   | 2.23  | 0.0 | 4.0 | 2.23 | 4.0 | 2.23 | 4.0 | FC   |
| STREET LIGHTS       | FC   | 2.23  | 0.0 | 4.0 | 2.23 | 4.0 | 2.23 | 4.0 | FC   |
| STREET LIGHTS       | FC   | 2.23  | 0.0 | 4.0 | 2.23 | 4.0 | 2.23 | 4.0 | FC   |

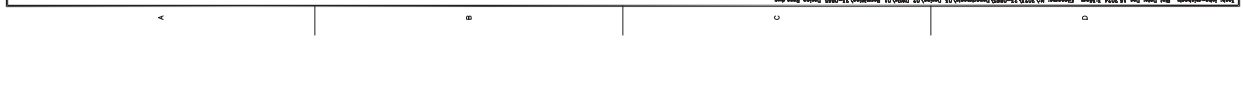
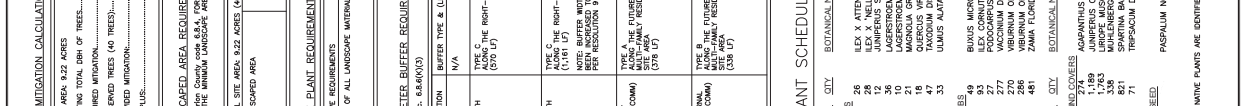
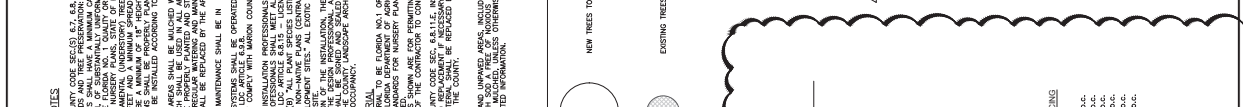
| Calculation Summary |      |       |     |     |      |     |      |     |      |
|---------------------|------|-------|-----|-----|------|-----|------|-----|------|
| Label               | Unit | Value | Min | Max | Min  | Max | Min  | Max | Unit |
| STREET LIGHTS       | FC   | 2.23  | 0.0 | 4.0 | 2.23 | 4.0 | 2.23 | 4.0 | FC   |
| STREET LIGHTS       | FC   | 2.23  | 0.0 | 4.0 | 2.23 | 4.0 | 2.23 | 4.0 | FC   |
| STREET LIGHTS       | FC   | 2.23  | 0.0 | 4.0 | 2.23 | 4.0 | 2.23 | 4.0 | FC   |
| STREET LIGHTS       | FC   | 2.23  | 0.0 | 4.0 | 2.23 | 4.0 | 2.23 | 4.0 | FC   |
| STREET LIGHTS       | FC   | 2.23  | 0.0 | 4.0 | 2.23 | 4.0 | 2.23 | 4.0 | FC   |
| STREET LIGHTS       | FC   | 2.23  | 0.0 | 4.0 | 2.23 | 4.0 | 2.23 | 4.0 | FC   |
| STREET LIGHTS       | FC   | 2.23  | 0.0 | 4.0 | 2.23 | 4.0 | 2.23 | 4.0 | FC   |
| STREET LIGHTS       | FC   | 2.23  | 0.0 | 4.0 | 2.23 | 4.0 | 2.23 | 4.0 | FC   |
| STREET LIGHTS       | FC   | 2.23  | 0.0 | 4.0 | 2.23 | 4.0 | 2.23 | 4.0 | FC   |
| STREET LIGHTS       | FC   | 2.23  | 0.0 | 4.0 | 2.23 | 4.0 | 2.23 | 4.0 | FC   |

**GENERAL NOTES:**

1. BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION SHOWN HEREON TAKEN FROM A SURVEY DATED MARCH 18, 2023.
2. THE HORIZONTAL AND VERTICAL DATUMS PER ABOVE REFERENCED SURVEY.
3. THE LIGHTING ANTENNA REPRESENTS ILLUMINATION LUMENS CALCULATED FROM LABORATORY DATA IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL ILLUMINATION IN THE FIELD WILL VARY DUE TO VARIOUS FIELD CONDITIONS.
4. FIXTURES MOUNTED ON 25 FT POLE. LIGHT LEVEL CALCULATED ON THE GROUND.
5. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR RECEIVING, STORAGE, INSTALLATION AND WIRING OF LIGHT FIXTURES.
6. TO THE MANUFACTURER WITHIN 48 HOURS OF RECEIPT OF LIGHT FIXTURE PACKAGE.
7. SITE LIGHTING MATERIALS SHOULD BE PROVIDED THROUGHOUT THE PROJECT. NO ALTERNATE MATERIALS SHALL BE PERMITTED. CONTACT KEN BRONSTAD, WIS LIGHTING AT 817.840.9332 OR [kbronstad@wislighting.com](mailto:kbronstad@wislighting.com).



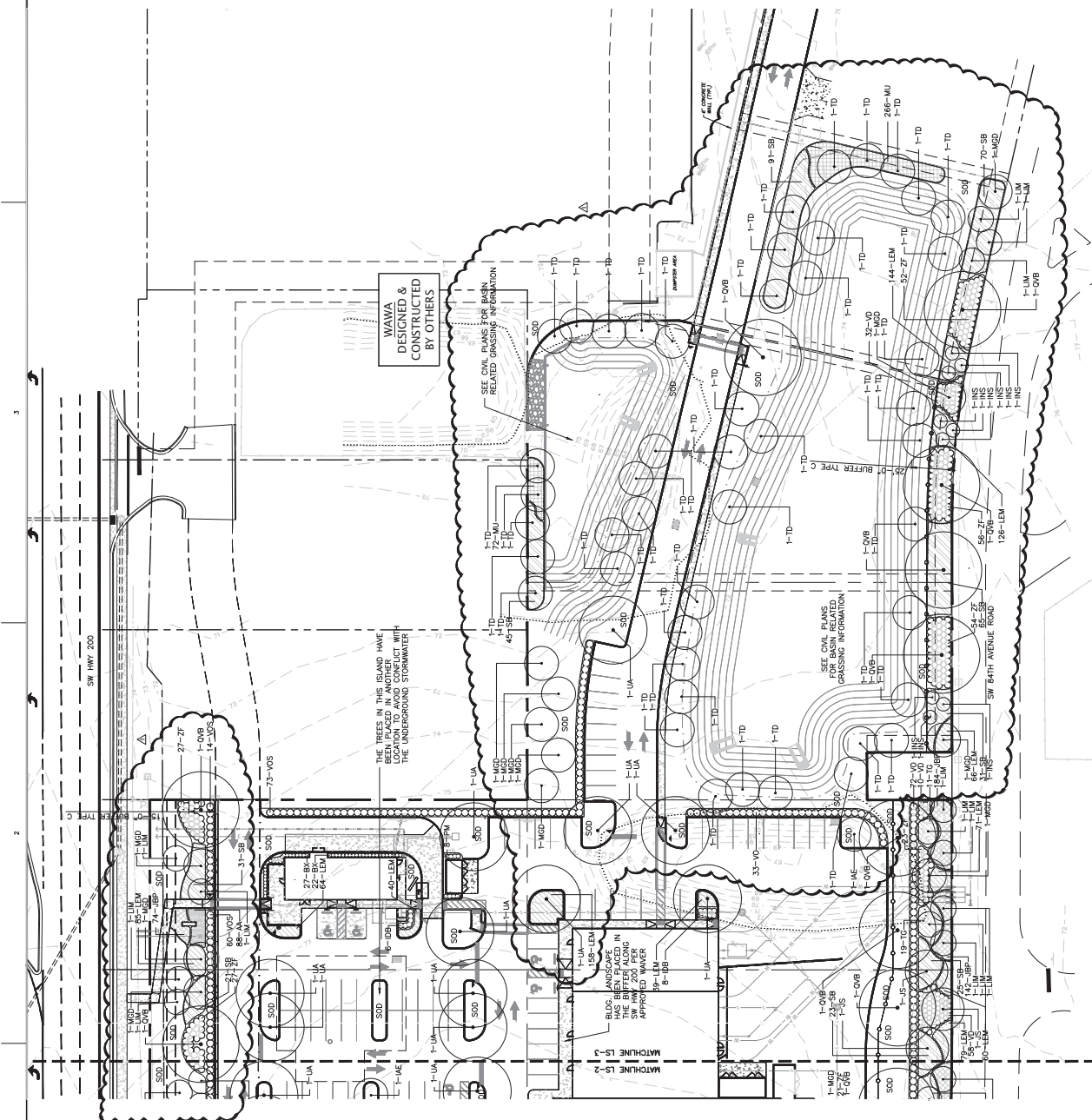
[illegible]







KNOW WHAT'S  
BELOW  
ALWAYS CALL 811  
BEFORE YOU DIG  
It's not, it's not, it's not.  
Call 811 two business days  
before digging.

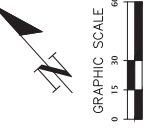


WAWA  
DESIGNED &  
CONSTRUCTED  
BY OTHERS

THE TREES IN THIS ISLAND HAVE  
BEEN PLACED IN THIS LOCATION TO AVOID CONFLICT WITH  
THE UNDERGROUND STORMWATER

SEE CIVIL PLANS  
FOR RELATED  
GRASSING INFORMATION

SEE CIVIL PLANS FOR BUSH  
RELATED GRASSING INFORMATION



|              |                    |
|--------------|--------------------|
| PROJECT NAME | 23-0865            |
| CLIENT       | COBALT COMMONS MID |
| DESIGNER     | COBALT, LLC        |
| DATE         | 08/05/24           |
| REVISION     | 08/05/24           |

COBALT COMMONS MID  
08/05/24 - HARRISON COUNTY  
08/05/24 - HARRISON COUNTY  
08/05/24 - HARRISON COUNTY

CONSTRUCTION NO. 23-0865  
12/11/24  
12/11/24


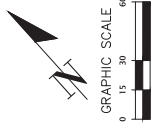
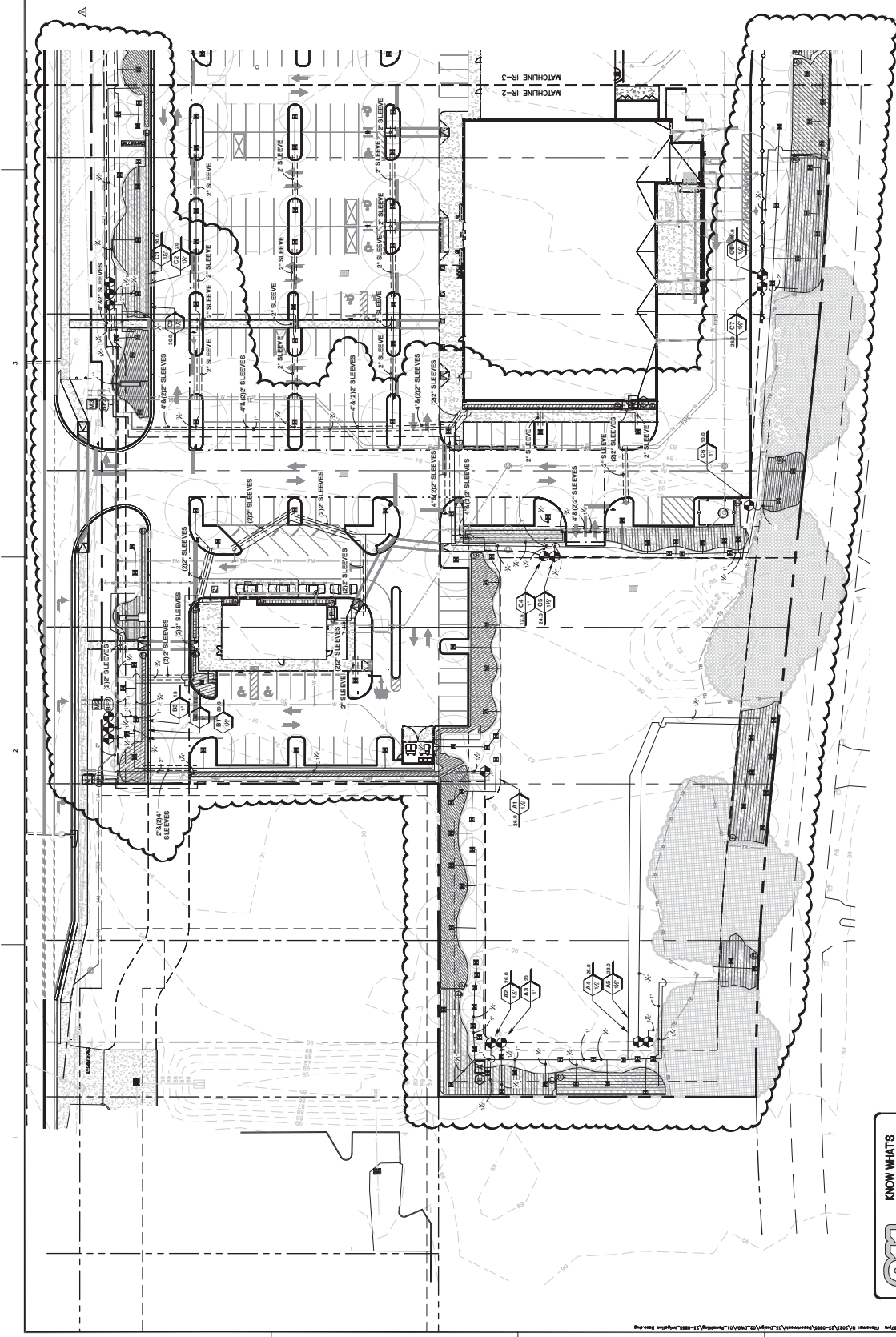
SCALE: 1"=30'  
DATE: 12/11/24  
BY: [Signature]

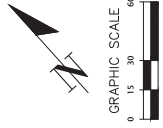
CHW  
CIVIL & LANDSCAPE ARCHITECTS  
P.A.

1000 North Main Street  
Tallahassee, FL 32301  
850-908-1111  
www.chwpa.com

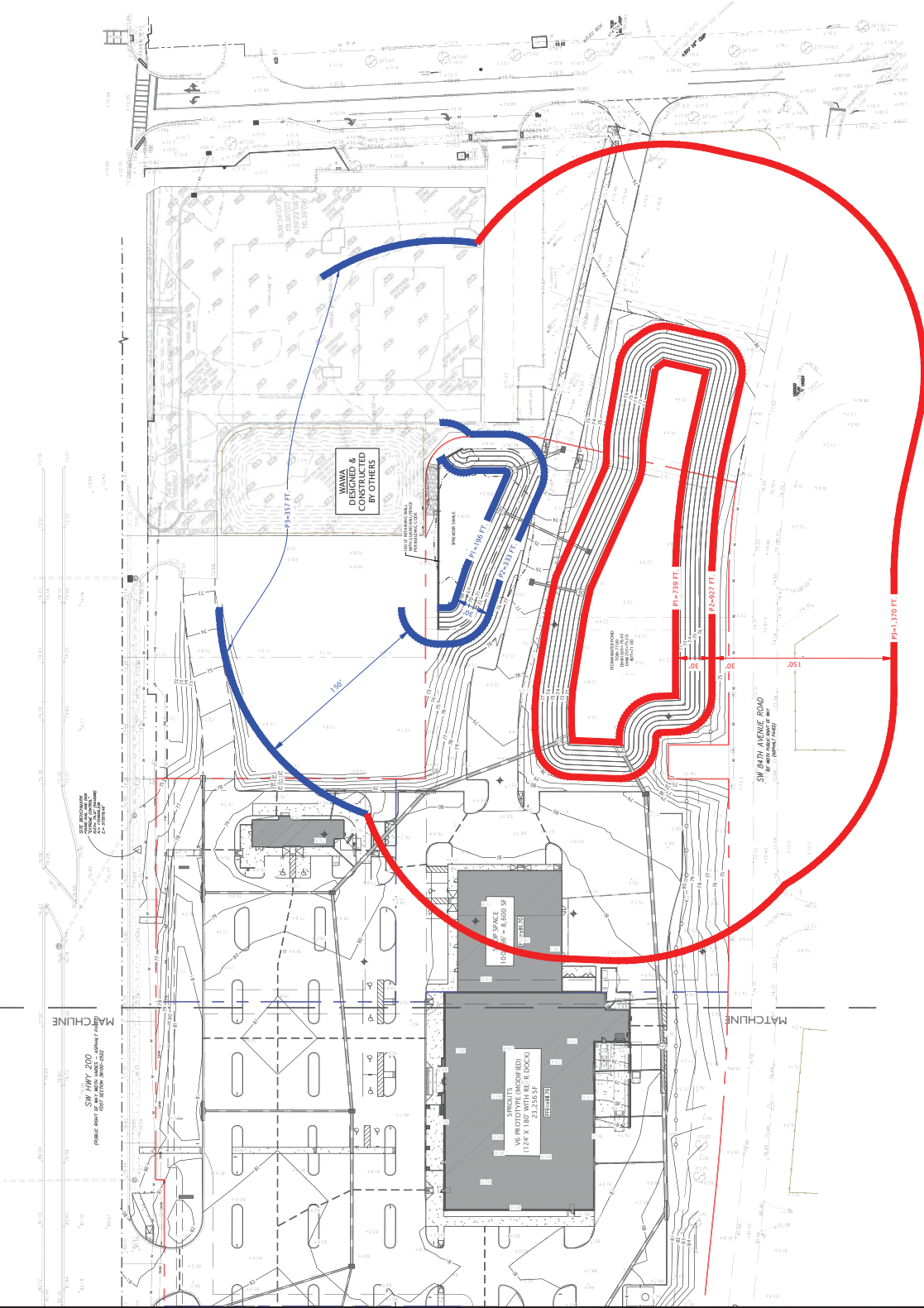
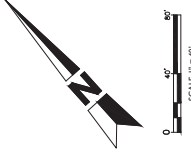


**KNOW WHAT'S BELOW**  
**ALWAYS CALL 811 BEFORE YOU DIG**  
 It's not if it's there, it's how deep.  
 Call 811 two business days before digging.



**KNOW WHAT'S  
BELOW  
ALWAYS CALL 811  
BEFORE YOU DIG**  
It's fast, it's free, it's the law.  
Call 811 two business days  
before digging





**MJ STOKES CONSULTING**

P.O. BOX 22821  
TAMPA, FL 33622  
813.724.4199  
INFO@MJSTOKESCONSULTING.COM

FLORIDA BUSINESS REGISTRY NO. 2448

| REVISIONS |   |
|-----------|---|
| REV       | DESCRIPTION   |
| 01        | 6/25/24 REVISION PER ZONING APPROVAL, COUNTY & SWFWMD REVIEW COMMENTS |
| 02        |   |
| 03        |   |
| 04        |   |
| 05        |   |
| 06        |   |
| 07        |   |
| 08        |   |
| 09        |   |
| 10        |   |



**Sunshine**

Call BT or visit [www.sunshinefl.com](http://www.sunshinefl.com) for more information on our business days before opening to have buried facilities located and marked. Check positive response codes before you dig!

**JOHN J. STOECKEL**  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 80758

PROJECT NAME  
**MAJOR SITE PLAN  
CORTA COMMONS**

FOR  
**CORTA OCALA, LLC**  
SW HWY 200 - OCALA  
MARION COUNTY, FLORIDA

SHEET TITLE  
**ICPR RING EXHIBIT**

|              |         |
|--------------|---------|
| PROJECT NO.  | 23-1396 |
| CHECKED BY   | JJS     |
| DATE         | 6/25/24 |
| DATE         | 6/25/24 |
| DATE         | 6/25/24 |
| SHEET NUMBER |         |

**EXHIBIT**