

March 3, 2025

PROJECT NAME: MSP 9025-0636-17

PROJECT NUMBER: 2024080059

APPLICATION: MINOR SITE PLAN #31903

- 1 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 2.12.4.L(1) - Parcel number  
STATUS OF REVIEW: INFO  
REMARKS: The Site Data table only lists PID 9025-0636-17.  
Why is the adjacent property, PID 9025-0636-18, highlighted in blue and the easement shown while PID 9025-0636-16 is highlighted and does not show easement?  
Is the adjacent property, PID 9025-0636-18, intended to be a part of this application?
- 2 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 2.12.6 - Location of water and sewer. Does this need a special use permit? Verify if in primary springs protection zone. Will it need an enhanced septic system?  
STATUS OF REVIEW: INFO  
REMARKS: Defer to Marion County Utilities.
- 3 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 2.12.32 - Modified environmental assessment or exemption if information is available to the county to indicate no habitat or existence of endangered species or vegetation (Article 6, Division 5, Sec. 6.5.4)  
STATUS OF REVIEW: INFO  
REMARKS: We have received your environmental assessment and will be sharing it with applicable state/federal agencies for their review. The applicable agencies or Growth Services will contact you should additional information be required or action from the Applicant be required.
- 4 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 2.12.27 - Show location of outside storage areas  
STATUS OF REVIEW: INFO  
REMARKS: Will there be any outside storage area?
- 5 DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: Additional Zoning Comments  
STATUS OF REVIEW: INFO  
REMARKS: The Site Data table states: "Intended use for this site - (1) duplex building" - However, 2 duplex buildings are proposed.
- 6 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.K - List of approved waivers, conditions, date of approval  
STATUS OF REVIEW: INFO  
REMARKS: 1/21/25-add waivers if requested in future
- 7 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH  
REVIEW ITEM: Operating Permit Required  
STATUS OF REVIEW: INFO  
REMARKS: ATU Operating Permit will be required before final approval of septic system.

- 8 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH  
REVIEW ITEM: 2.12.6 - Location of septic systems & wells  
STATUS OF REVIEW: INFO  
REMARKS: Septic system must be at least 75' from any private well
- 9 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH  
REVIEW ITEM: Additional Health comments  
STATUS OF REVIEW: INFO  
REMARKS: 42-SO-2848052, AP2038068
- 10 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW  
REVIEW ITEM: 2.12.4.L(5)/5.4 - [Applicable Springs Protection Zone Listed?]  
STATUS OF REVIEW: INFO  
REMARKS: The plan set indicates that the subject parcel is in the Secondary Spring Protection Zone. Please correct to indicate that it is in the Primary.
- 11 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW  
REVIEW ITEM: Minor Site Plan  
STATUS OF REVIEW: INFO  
REMARKS: IF APPLICABLE:  
Sec. 2.18.1.I - Show connections to other phases.  
Sec.2.19.2.H – Legal Documents  
Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.  
Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)  
For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."  
Sec. 6.3.1.B.2 – Required Right of Way Dedication  
For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."  
Sec. 6.3.1.D.3 - Cross Access Easements  
For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."  
Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)  
"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."  
Sec. 6.3.1.C.2 – Utility Easements  
"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."  
Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:  
1 "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."  
2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."  
3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete

accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]." (FB - 1/22/25)

12 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.20.2.B - \$150.00 Minor Site Plan fee payable to Marion County BCC effective July 8, 2019

STATUS OF REVIEW: NO

REMARKS: Pay the \$150 fee for Growth Services review.

13 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.21/6.3.1.C(10) - Land use and zoning on project and on adjacent properties shown

STATUS OF REVIEW: NO

REMARKS: Provide Future Land Use and Zoning classifications for all adjacent properties.

14 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.23/4.2 - Setbacks, dimensions for all improvements, and easements

STATUS OF REVIEW: NO

REMARKS: Label the 25' front and rear setbacks as required by R3 zoning. Ensure consistency with the setback definition found in Article 1 of LDC.

15 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.24 - Landscape requirements, (buffering) 6.8.6

STATUS OF REVIEW: NO

REMARKS: Label the buffer area and type on the Cover sheet.

16 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.10- Show any known easements existing or proposed i.e. ingress or egress, landscape, or conservation

STATUS OF REVIEW: NO

REMARKS: Label the 7.5' easement as existing or proposed. Also label by type (e.g., utility, access, etc).

17 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.19 - Provide dimensions and location of all existing site improvements; dimensions and location for all proposed site improvements with all setbacks

STATUS OF REVIEW: NO

REMARKS: Provide dimensions for all proposed improvements/structures.

18 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 5.2 & 5.3 - Verify any overlay zones such as ESOZ, Springs Protection, or Flood Plain

STATUS OF REVIEW: NO

REMARKS: The site lies within the Primary SPOZ and is subject to requirements under Sec. 5.4 of LDC, as applicable. Make changes to the submittal documents as needed.

19 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.12.12 - Sidewalks

STATUS OF REVIEW: NO

REMARKS: 2/4/25 - Sidewalks are required along Juniper Pass Rd.

- 20 DEPARTMENT: 911 - 911 MANAGEMENT  
REVIEW ITEM: Additional 911 comments  
STATUS OF REVIEW: NO  
REMARKS: Sheet C001 –Site Data – Intended Use for this Site should be 2 duplexes not 1, The Section is incorrect as 12, it should be 13, Sheets C002 & C003 – Title Bar - Parcel is incorrect as 8009-1274-41 and Section Township and Range is incorrect as 23-17-21, it should be 13-16-22.
- 21 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 2.12.18 - All trees 10" DBH and larger  
STATUS OF REVIEW: NO  
REMARKS: Site was wooded in aerial 2023, not all pines. When was property and lot 18 cleared?
- 22 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.7.6 - Tree removal submittal requirements  
STATUS OF REVIEW: NO  
REMARKS: Provide number of inches being removed
- 23 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes)  
STATUS OF REVIEW: NO  
REMARKS: 1. Hatched area in buffer in key is spartina bakeri, label on plan is JC - please clarify 2. BS labeled as 13, only 7 shown
- 24 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.8.10 - General planting requirements (specifications)  
STATUS OF REVIEW: NO  
REMARKS: No more than 50% of trees may be of one species
- 25 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: Additional Landscape comments  
STATUS OF REVIEW: NO  
REMARKS: Overhead power lines shall be shown on plan
- 26 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.2 A.1 - Public water service area/provider  
STATUS OF REVIEW: NO  
REMARKS: City of Belleview
- 27 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.2 A.1 - Public sewer service area/provider  
STATUS OF REVIEW: NO  
REMARKS: City of Belleview
- 28 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.14.2 A.1 - Letter of Availability and Capacity (w/Location Map of water and/or sewer as app) from provider  
STATUS OF REVIEW: NO  
REMARKS: Parcel is within City of Belleview Service Area. A letter from City of Belleview will stating service availability and connection requirements shall be submitted prior to building permit issuance

29 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW  
REVIEW ITEM: Additional Planning Items:  
STATUS OF REVIEW: NO  
REMARKS:



**Marion County  
Board of County Commissioners**

**AR #31903**

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Date: 3-3-25 Parcel Number(s): 9025-0636-17 Permit Number: 2024080059

**A. PROJECT INFORMATION:** Fill in below as applicable:

Project Name: MSP 9025-0636-17 Commercial  Residential   
Subdivision Name (if applicable): \_\_\_\_\_  
Unit 03 Block 0319 Lot 15 Tract \_\_\_\_\_

**B. PROPERTY OWNER'S AUTHORIZATION:** The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Solid Rock Chestnut Rd LLC  
Signature: \_\_\_\_\_  
Mailing Address: 5135 NE 25th Ave City: Ocala  
State: FL Zip Code: 34479 Phone # 352-427-9966  
Email address: bowhunt352@gmail.com

**C. APPLICANT INFORMATION:** The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): MCA Consulting Engineers, Inc Contact Name: Miles Anderson P.E.  
Mailing Address: 2403 SE 17th St., Suite 502 City: Ocala  
State: FL Zip Code: 34471 Phone # 352-629-5591  
Email address: miles.anderson@mca-engineers.com

**D. WAIVER INFORMATION:**

Section & Title of Code (be specific): \_\_\_\_\_ 6.8.6 Buffers  
Reason/Justification for Request (be specific): Due to power overhead lines, shade trees are being requested to located outside of the 15' Type C buffer, or substitute ornamental trees - tree per tree.

**DEVELOPMENT REVIEW USE:**

Received By: Email 3/3/25 Date Processed: 3/3/25 CF Project # 2024080059 AR # 31903

ZONING USE: Parcel of record: Yes  No  Eligible to apply for Family Division: Yes  No   
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ P.O.M. \_\_\_\_\_ Land Use: \_\_\_\_\_ Plat Vacation Required: Yes  No   
Date Reviewed: \_\_\_\_\_ Verified by (print & initial): \_\_\_\_\_



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**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Section & Title of Code (be specific) \_\_\_\_\_ 6-12-012.D Sidewalk

Reason/Justification for Request (be specific): Requesting approve to pay fee inlieu of sidewalk construction.

Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_

Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_

Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_

Section & Title of Code (be specific) \_\_\_\_\_

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Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_

Section & Title of Code (be specific) \_\_\_\_\_

Reason/Justification for Request (be specific): \_\_\_\_\_



Always call 811 two full business days before you dig to have underground utilities located and marked.  
**Sunshine 811.com**

# MINOR SITE PLAN

JUNIPER PASS  
MARION COUNTY, FL

PROJECT NAME: MSP 9025-0636-17  
ALDANA CONTRACTING LLC.  
SITE AREA = 0.45 AC

**SITE DATA:**  
TOTAL SITE AREA (WITHIN BOUNDARY) = 18,416 (0.42 AC)  
AREAS FOR TOTAL SITE:  
PROPOSED BUILDING = 3,034 SF  
PROPOSED ON SITE IMPERVIOUS AREA = 3,113 SF  
TOTAL IMPERVIOUS AREA = 8,175 SF  
IMPERVIOUS PERCENT OF COVERAGE = 33%  
PERVIOUS AREA (OPEN AREA) = 12,279 SF  
PERVIOUS AREA PERCENT OF COVERAGE = 67%  
LANDSCAPED AREA PERCENT = 1,800 SF = 10%  
THIS SITE IS IN THE PRIMARY SPRINGS PROTECTION ZONE.  
THIS SITE IS IN FLOOD ZONE-X ON FEMA FIRM PANEL 120830755D.  
INTENDED USE FOR THIS SITE - (2) DUPLEX BUILDING  
THIS SITE DOES NOT LIE IN THE ES02 OVERLAY ZONE.

PARCEL NUMBER: 9025-0636-17  
PROJECT ADDRESS: JUNIPER PASS Ocala, FL  
ZONING: R-3  
FLU: URBAN RESIDENTIAL (UR)  
OWNER: BRETT HOWARD  
PHONE: 352-427-9986  
COMPANY: ALDANA CONTRACTING LLC.

**PARKING & TRAFFIC REQUIREMENTS**

**PARKING**  
2.0 SPACES PER UNIT  
TOTAL PARKING SPACES REQUIRED = 8  
TOTAL PARKING SPACES PROVIDED = 8

**TRAFFIC STATEMENT**  
USING ITE CODE 220 MULTI-FAMILY LOW RISE THIS SITE IS PROJECTED TO GENERATE 21 DAILY TRIPS AND 3 PEAK HOUR TRIPS

**SIDEWALK CONSTRUCTION:**  
THE CONTRACTOR SHALL INSTALL 68.78 LF OF 5' WIDE SIDEWALK. SIDEWALK SHALL BE RAISED TO TIE TO EXISTING SIDEWALK. STOP AND QUARANTAIN SIGN SHALL BE RELOCATED TO THE EDGE OF THE SIDEWALK. SIDEWALK SHALL BE FIELD VERIFIED AND SHALL AVOID GUT WIRE, CABLE BOX, MANHOLE COVER.

**OUT DOOR LIGHTING / EXTERIOR LIGHTING:**  
THE PROPOSED BUILDING CONSTRUCTION HAS AN OUTDOOR LIGHTING (EXTERIOR LIGHTING) ON THE FACE OF THE BUILDING NEXT TO EACH OF THE ENTRY DOORS. THE LIGHTS SHALL HAVE A 60 WATT BALLS AND SHALL BE SHIELDED. THE PHOTOVOLTIC LIGHT SPREAD SHALL NOT OVER SHADOW ONTO THE ADJACENT PROPERTIES, AND COMPLY WITH MARION COUNTY SECTIONS 6.18.3 AND 6.19.4 OF THE LDC.

**SIGNAGE:**  
THE PROPOSED SITE DEVELOPMENT SHALL NOT BE CONSTRUCTING ANY SIGNAGE ADVERTISING FOR THE QUAD UNITS.

**NOI NOTE:**  
THE GENERAL CONTRACTOR SHALL PROVIDE COPY OF NOI SENT TO FDP FOR IMPROVEMENTS GENERAL CONSTRUCTION PERMIT REQUIREMENTS FOR THIS PROJECT WHICH IS 0.50 ACRES

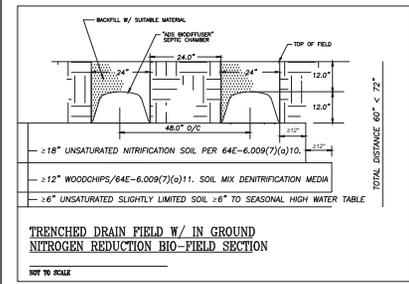
**UTILITY NOTE:**  
WHEN CENTRAL WATER AND/OR SEWER BECOME AVAILABLE FOR CONNECTION TO THIS PROPERTY, CONNECTION TO CENTRALIZED SYSTEM IS REQUIRED.

**GENERAL STATEMENT:**  
THE CONTRACTOR SHALL ASSURE THAT THIS SITE DOES NOT INCREASE FLOODING OF ADJACENT PROPERTY, OR CONCENTRATION OF STORM WATER DISCHARGE ONTO ADJACENT PROPERTY AT TIME OF GRADING.

**MARION COUNTY UTILITY SERVICE STATEMENT**  
WHEN PUBLIC WATER AND SEWER BECOME AVAILABLE, CONNECTION REQUIRED WITHIN 365 DAYS' NOTICE BY UTILITY.

**WAIVERS PENDING APPROVAL:**

CODE SECTION	APPROVAL DATE	CONDITION
6.4.4 BUFFERS		DUO TO POWER OH LINES SHADER TREES PLACED OUTSIDE OF 17 FEET LINE AND/OR RESTRICTOR (ORNAMENTAL TREES - FEE PER TREE)
6.12.12.D SIDEWALK FEE		APPROVED FEE IN LIEU OF SIDEWALK TO BE PAID PRIOR TO BUILDING FINAL INSPECTION



**WASTE WATER CALCULATIONS**

**SEWER**  
LOT SIZE = 0.42 AC'S  
ALLOWABLE SEWER D.O.H. = 1,500 GPD PER AC  
SEWER FLOW ALLOWABLE = 630 GPD  
SEWER FLOW PROPOSED = 600 GPD

**DRAINFIELD LOADING (W/ IN GROUND NITROGEN REDUCTION SYSTEM)**

OPEN INFORMATION:  
INFILTRATION RATE = 0.80 GAL/24"  
REQUIRED DRAINFIELD SIZE = 800 GPD / 0.80 GAL/24" = 750 SF  
FLORIDA RATING FOR THE EQUIVALENT DRAINAGE AREA OF AN "A2S ARC LEACHFIELD CHAMBER" CHAMBER IS 15.0 SF  
750 SF / 15.0 SF PER CHAMBER = 50 CHAMBERS  
USE 50 CHAMBERS / 10 CHAMBERS PER ROW = 5 ROWS  
LENGTH OF CHAMBER = 5.00 LF  
WIDTH OF CHAMBER = 24" x 24"  
SPACING OF CHAMBERS = 48"  
WIDTH OF ROW = 48" 0/2" +/- .25" x 24" WIDE CHAMBERS W/ 24" SPACING  
THE DRAINFIELD SHALL BE 202' x LONG BY 18.1' WIDE = 3656.2 SQ. (BED AREA)  
SEPTIC TANK MINIMUM EFFECTIVE CAPACITY, PER F.A.C. 64E-8.008 (2)  
FOR 600 GPD = 1350 GALLON MIN EFFECTIVE CAPACITY

**A/C AREAS**

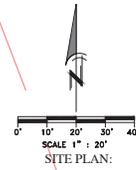
BLDG A = 3 UNIT TOTAL A/C AREA  
BLDG A UNIT 1 = 756 A/C SF (2 BEDRM)  
UNIT 2 = 756 A/C SF (2 BEDRM)  
BLDG B UNIT 1 = 756 A/C SF (2 BEDRM)  
UNIT 2 = 756 A/C SF (2 BEDRM)  
TOTAL BEDROOMS = 8

**SETBACKS**

FRONT = 35 FEET  
REAR = 25 FEET  
NORTH SIDE = 10 FEET  
SOUTH SIDE = 10 FEET

**ENGINEER'S CERTIFICATION:**  
I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS NOTED.

DATE: \_\_\_\_\_  
MILES C. JERSON, P.E.  
PROFESSIONAL ENGINEER FLORIDA REGISTRATION NUMBER 39385  
C.A. # 0008842



**GENERAL PURPOSE:**  
THE PROPOSED MINOR SITE PLAN IN THIS SUBMITTAL INCLUDES A 0.42 ACRE, THE SITE ADDRESS IS JUNIPER PASS Ocala, FL. THE DEVELOPMENT OF THE PROPERTY AS SHOWN ON THIS SITE PLAN IS SUBJECT TO THE TERMS AND CONDITIONS OF THE MARION COUNTY VESTED DRP AND ITS CORRESPONDING VESTED RIGHTS DETERMINATIONS, AS MAY BE AMENDED FROM TIME TO TIME, INCLUDING PROVISIONS REGARDING THE CONCOMITANCY OF PUBLIC FACILITIES.

**CONCURRENCE:**  
THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCE APPROVAL AND/OR GRANTED AND/OR RESERVED ANY FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DETERMINED CONCURRENCE DETERMINATION AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCE REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.

- SIGHT DISTANCE NOTE:**  
SIGHT DISTANCE AT DRIVEWAYS COMPLIES WITH MARION COUNTY LDC REQUIREMENTS.
- GENERAL NOTES:**
- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN MARION COUNTY LAND DEVELOPMENT REGULATIONS.
  - NO CHANGE TO THE WORK AS SHOWN ON THIS PLAN SHALL BE MADE WITHOUT PRIOR APPROVAL BY THE COUNTY AND PROJECT ENGINEERS.
  - BOUNDARY, TOPOGRAPHY AND TREE INFORMATION IS BASED ON A SURVEY BY C & A SURVEY, INC.
  - BUILDINGS SHALL BE HANDICAP ACCESSIBLE AS PER THE STATE OF FLORIDA REGULATIONS. THE ARCHITECT/ENGINEER SHALL PROVIDE BUILDING PLANS. CLEAN AND SUSTAINABLE MATERIAL SHALL BE USED FOR CONSTRUCTION OF THE BUILDING FOUNDATION AND SHALL BE COMPACTED TO A 95% MAXIMUM DENSITY WITH TENITE TREATMENT.
  - ALL PARKING SPACES SHALL BE STRIPED WITH 4" WHITE LINES. HANDICAP SPACES SHALL BE SHIRED AND SHALL HAVE ADDITIONAL 8" BLUE LINES INSIDE EACH SPACE AT 2" FROM WHITE LINES. ALL WORK IS TO BE DONE IN ACCORDANCE WITH FOOT STANDARDS. ALL HANDICAP PARKING & ACCESS MUST COMPLY WITH FDC CHAPTER 11.
  - THE SITE, ACCESS & R.O.W.'S ARE TO BE KEPT CLEAN & FREE OF EXCESS DIRT AND DEBRIS AT ALL TIMES THROUGHOUT CONSTRUCTION. HANDLING OF EROSION, SEDIMENTATION, DUST OR DEBRIS OCCURRING OFF-SITE AS A RESULT OF CONSTRUCTION ACTIVITIES ON THIS DEVELOPMENT SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS OF EACH OCCURRENCE.
  - ALL RETENTION IMPROVEMENTS AND STORM SEWER SYSTEMS EXISTING AND PROPOSED MUST BE COMPLETE PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS.
  - IF A WHOLESHOUL SHOULD FORM ON THIS SITE, ALL APPLICABLE PROCEDURES OUTLINED IN THE "APPLICANTS HANDBOOK-LAEST SENSITIVE AREAS", SURVIV, MAY 1980, SHALL BE FOLLOWED.
  - MINIMUM STRENGTH FOR ALL CONCRETE ON SITE SHALL BE 3000 PSI AT 28 DAYS OR AS OTHERWISE NOTED.
  - ALL VEHICLE PARKING AREAS SHALL BE PAVED W/ AUTO PAVEMENT (SEE PAVEMENT STRUCTURE THICKNESS TABLE ON CO03). ALL OTHER PAVEMENT AREAS SHALL BE IN ACCORDANCE WITH TRUCK PAVEMENT AS PER PAVEMENT STRUCTURE THICKNESS TABLE ON CO03. ALL CONCRETE TRUCK LOADING APPROX SHALL BE 5000 PSI CONCRETE. UNDO. SUD-TECH TO FIELD VERIFY DURING CONSTRUCTION.
  - PEDESTRIAN AND VEHICULAR TRAFFIC SHALL BE MAINTAINED AND PROTECTED AT ALL TIMES.
  - ALL PAVEMENT MARKINGS, MATERIALS, AND SIGNS SHALL CONFORM TO FDOT STANDARDS AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND SAFE PRACTICES FOR STREET AND HIGHWAY AND UTILITY OPERATIONS".
  - COPIES OF THESE PLANS AS DESIGNED BY THE PROFESSIONAL ENGINEER HAVE BEEN RETAINED BY THE PROFESSIONAL ENGINEER, AND HE WILL NOT BE RESPONSIBLE FOR ANY SUBSEQUENT CHANGES TO ANY RETROFITTED ORIGINAL DOCUMENTS.
  - THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO ANY CONSTRUCTION OF UTILITIES SHOWN ON THESE PLANS.
  - ALL DESIGNED IMPROVEMENTS SHOWN ON THESE PLANS ARE BASED ON EXISTING DATA SUPPLIED BY THE SURVEYOR.
  - FOR ANY CONSTRUCTION WITHIN THE STATE OF FLORIDA OR COUNTY R/W THE CONTRACTOR SHALL OBTAIN THE REQUIRED RIGHT-OF-WAY PERMITS BEFORE COMMENCING WITH THIS CONSTRUCTION.
  - ALL ACCESS AND PARKING SHALL COMPLY WITH 1997 FAC.
  - AS BUILT DRAWINGS OR CERTIFICATION OF COMPLETION REQUIRED PRIOR TO C.O.
  - THE CONTRACTOR SHALL ASSURE THAT THIS SITE DOES NOT INCREASE FLOODING OF ADJACENT PROPERTY OR CONCENTRATION OF STORM WATER DISCHARGE ONTO ADJACENT PROPERTY AT TIME OF GRADING.
  - THERE WILL BE NO OUTSIDE STORAGE.

**OPERATION AND MAINTENANCE STATEMENT**

I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

Brett Howard  
Solid Rock Development LLC  
5135 NE 25th Ave  
Ocala, FL 34479  
Tel: 352-427-9986

**INDEX**

CO01	- COVER
CO02	- TREE REMOVAL & LANDSCAPE
CO03	- UTILITY & IRRIGATION

**MILES CHRISTIAN ANDERSON CONSULTING ENGINEERS, INC.**  
STRUCTURAL — LAND PLANNING — GOLF COURSE DESIGN  
1515 SILVER SPRINGS BLVD. SUITE 132  
OCALA, FLORIDA 34470  
(352) 629-5591  
FAX (352) 629-4422

**COVER SHEET**

ALDANA CONTRACTING  
PROJECT 9025-0636-17  
SECTION 12, TWP-16, RNG-22  
MARION COUNTY, FLORIDA  
OCALA, FLORIDA

NO.	REVISION	DATE	APPROVED:	DATE:	SHEET
					CO01

DATE: 11-16-23  
SCALE: AS SHOWN  
DESIGN: MCA  
DRAWN: MSH  
CHECK: MCA  
FIRM: ALDANA CONST.



Always call 811 two full business days before you dig to have underground utilities located and marked.  
**Sunshine 811.com**

# MINOR SITE PLAN

JUNIPER PASS  
MARION COUNTY, FL

PROJECT NAME: MSP 9025-0636-17  
ALDANA CONTRACTING LLC.  
SITE AREA = 0.45 AC

**SITE DATA:**  
TOTAL SITE AREA (WITHIN BOUNDARY) = 18,416 (0.42 AC)  
AREAS FOR TOTAL SITE:  
PROPOSED BUILDING = 3,034 SF  
PROPOSED ON-SITE IMPERVIOUS AREA = 3,113 SF  
TOTAL IMPERVIOUS AREA = 8,175 SF  
IMPERVIOUS PERCENT OF COVERAGE = 33%  
PERVIOUS AREA (OPEN AREA) = 12,279 SF  
PERVIOUS AREA PERCENT OF COVERAGE = 67%  
LANDSCAPED AREA PERCENT = 1,800 SF = 10%  
THIS SITE IS IN THE PRIMARY SPRINGS PROTECTION ZONE.  
THIS SITE IS IN FLOOD ZONE-X ON FEMA FIRM PANEL 120890755D.  
INTENDED USE FOR THIS SITE - (2) DUPLEX BUILDING  
THIS SITE DOES NOT LIE IN THE ES02 OVERLAY ZONE.

PARCEL NUMBER: 9025-0636-17  
PROJECT ADDRESS: JUNIPER PASS Ocala, FL  
ZONING: R-3  
FLU: URBAN RESIDENTIAL (UR)  
OWNER: BRETT HOWARD  
PHONE: 352-427-9986  
COMPANY: ALDANA CONTRACTING LLC.

**PARKING & TRAFFIC REQUIREMENTS**

**PARKING**  
2.0 SPACES PER UNIT  
TOTAL PARKING SPACES REQUIRED = 8  
TOTAL PARKING SPACES PROVIDED = 8

**TRAFFIC STATEMENT**  
USING ITE CODE 220 MULTI-FAMILY LOW RISE THIS SITE IS PROJECTED TO GENERATE 21 DAILY TRIPS AND 3 PEAK HOUR TRIPS

**SIDEWALK CONSTRUCTION:**  
THE CONTRACTOR SHALL INSTALL 68.78 LF OF 5' WIDE SIDEWALK. SIDEWALK SHALL BE RAISED TO TIE TO EXISTING SIDEWALK. STOP AND QUARANTAIN SIGN SHALL BE RELOCATED TO THE EDGE OF THE SIDEWALK. SIDEWALK SHALL BE FIELD VERIFIED AND SHALL AVOID GUT WIRE, CABLE BOX, MANHOLE COVER.

**OUT DOOR LIGHTING / EXTERIOR LIGHTING:**  
THE PROPOSED BUILDING CONSTRUCTION HAS AN OUTDOOR LIGHTING (EXTERIOR LIGHTING) ON THE FACE OF THE BUILDING NEXT TO EACH OF THE ENTRY DOORS. THE LIGHTS SHALL HAVE A 60 WATT BALLS AND SHALL BE SHIELDED. THE PHOTOVOLTIC LIGHT SPREAD SHALL NOT OVER SHADOW ONTO THE ADJACENT PROPERTIES, AND COMPLY WITH MARION COUNTY SECTIONS 6.19.3 AND 6.19.4 OF THE LDC.

**SIGNAGE:**  
THE PROPOSED SITE DEVELOPMENT SHALL NOT BE CONSTRUCTING ANY SIGNAGE ADVERTISING FOR THE QUAD UNITS.

**NOI NOTE:**  
THE GENERAL CONTRACTOR SHALL PROVIDE COPY OF NOI SENT TO FDP FOR IMPROVEMENTS GENERAL CONSTRUCTION PERMIT REQUIREMENTS FOR THIS PROJECT WHICH IS 0.50 ACRES

**UTILITY NOTE:**  
WHEN CENTRAL WATER AND/OR SEWER BECOME AVAILABLE FOR CONNECTION TO THIS PROPERTY, CONNECTION TO CENTRALIZED SYSTEM IS REQUIRED.

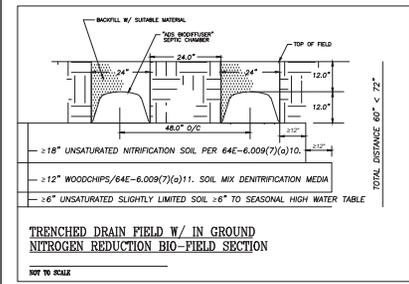
**GENERAL STATEMENT:**  
THE CONTRACTOR SHALL ASSURE THAT THIS SITE DOES NOT INCREASE FLOODING OF ADJACENT PROPERTY, OR CONCENTRATION OF STORM WATER DISCHARGE ONTO ADJACENT PROPERTY AT TIME OF GRADING.

**MARION COUNTY UTILITY SERVICE STATEMENT**

WHEN PUBLIC WATER AND SEWER BECOME AVAILABLE, CONNECTION REQUIRED WITHIN 365 DAYS' NOTICE BY UTILITY.

**WAIVERS PENDING APPROVAL:**

CODE SECTION	APPROVAL DATE	CONDITION
6.4.4 BUFFERS		DUE TO POWER POLE LINES SHADER TREES PLACED OUTSIDE OF 17 FEET BUFFER AND/OR RESTRICTOR (ORNAMENTAL TREES - FEE PER TREE)
6.12.12.D SIDEWALK FEE		APPROVED FEE IN LIEU OF SIDEWALK TO BE PAID PRIOR TO BUILDING FINAL INSPECTION



**WASTE WATER CALCULATIONS**

**SEWER**  
LOT SIZE = 0.42 AC'S  
ALLOWABLE SEWER D.O.H. = 1,500 GPD PER AC  
SEWER FLOW ALLOWABLE = 630 GPD  
SEWER FLOW PROPOSED = 600 GPD

**DRAINFIELD LOADING (W/ IN-GROUND NITROGEN REDUCTION SYSTEM)**

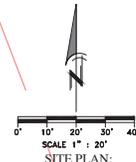
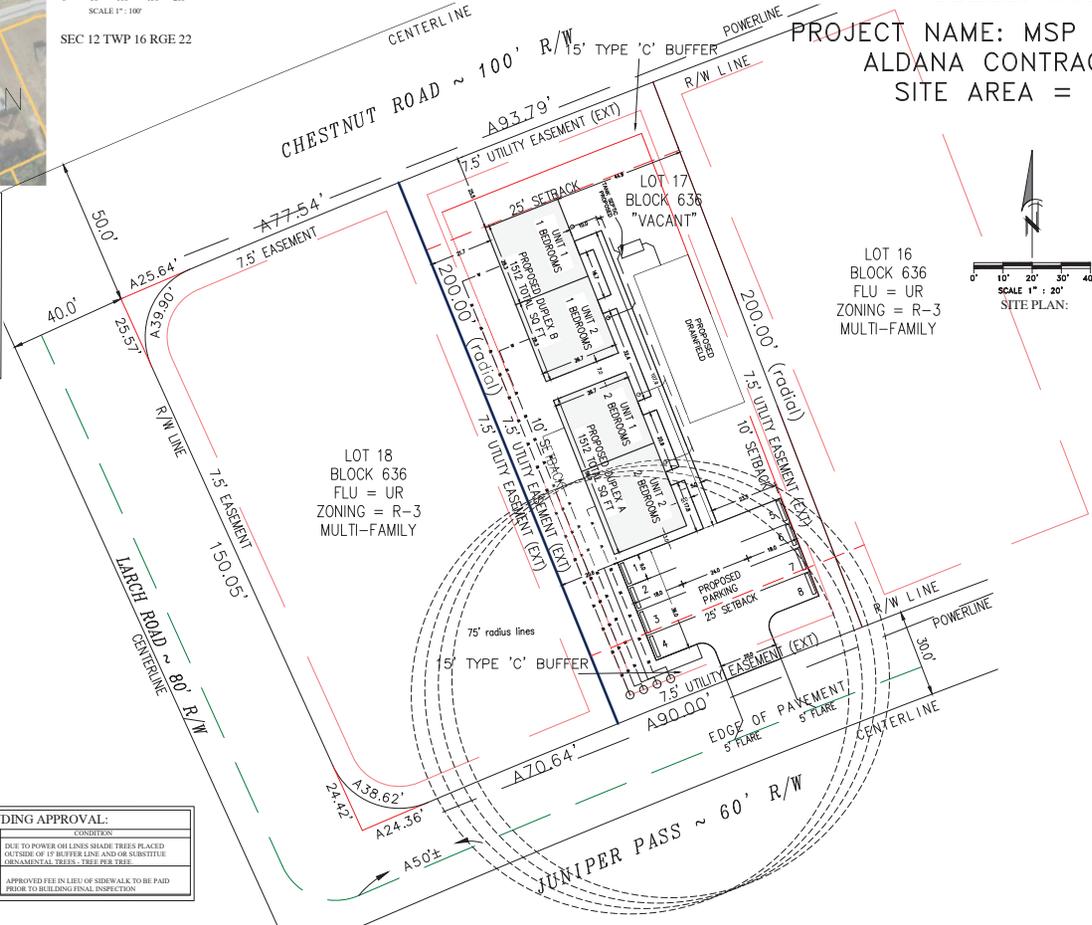
OPEN INFORMATION:  
INFILTRATION RATE = 0.80 GAL/SF  
REQUIRED DRAINFIELD SIZE = 800 GPD / 0.80 GAL/SF = 750 SF  
FLORIDA RATING FOR THE EQUIVALENT DRAINAGE AREA OF AN "A2S ARC LEACHFIELD CHAMBER" CHAMBER IS 15.0 SF  
750 SF / 15.0 SF PER CHAMBER = 50 CHAMBERS  
USE 50 CHAMBERS / 10 CHAMBERS PER ROW = 5 ROWS  
LENGTH OF CHAMBER = 5.00 LF  
WIDTH OF CHAMBER = 22" x 24"  
SPACING OF CHAMBERS = 48"  
WIDTH OF ROW = 48" 0/16" +/- .25" x 24" WIDE CHAMBERS W/ 24" SPACING  
THE DRAINFIELD SHALL BE 202' x LONG BY 18.1' WIDE = 3656.2 SQ. (BED AREA)  
SEPTIC TANK MINIMUM EFFECTIVE CAPACITY, PER F.A.C. 64E-8.008 (2)  
FOR 600 GPD = 1350 GALLON MIN EFFECTIVE CAPACITY

**A/C AREAS**

BLDG A = 3 UNIT TOTAL A/C AREA  
BLDG A UNIT 1 = 756 A/C SF (2 BEDRM)  
UNIT 2 = 756 A/C SF (2 BEDRM)  
BLDG B UNIT 1 = 756 A/C SF (2 BEDRM)  
UNIT 2 = 756 A/C SF (1 BEDRM)  
TOTAL BEDROOMS = 8

**SETBACKS**

FRONT = 35 FEET  
REAR = 25 FEET  
NORTH SIDE = 10 FEET  
SOUTH SIDE = 10 FEET



**GENERAL PURPOSE:**  
THE PROPOSED MINOR SITE PLAN IN THIS SUBMITTAL INCLUDES A 0.42 ACRE, THE SITE ADDRESS IS JUNIPER PASS Ocala, FL. THE DEVELOPMENT OF THE PROPERTY AS SHOWN ON THIS SITE PLAN IS SUBJECT TO THE TERMS AND CONDITIONS OF THE MARION COUNTY VESTED DRP AND ITS CORRESPONDING VESTED RIGHTS DETERMINATIONS, AS MAY BE AMENDED FROM TIME TO TIME, INCLUDING PROVISIONS REGARDING THE CONCURRENCY OF PUBLIC FACILITIES.

**CONCURRENCY:**  
THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DETERMINED CONCURRENCY DETERMINATION AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.

- SIGHT DISTANCE NOTE:**  
SIGHT DISTANCE AT DRIVEWAYS COMPLIES WITH MARION COUNTY LDC REQUIREMENTS.
- GENERAL NOTES:**
- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN MARION COUNTY LAND DEVELOPMENT REGULATIONS.
  - NO CHANGE TO THE WORK AS SHOWN ON THIS PLAN SHALL BE MADE WITHOUT PRIOR APPROVAL BY THE COUNTY AND PROJECT ENGINEERS.
  - BOUNDARY, TOPOGRAPHY AND TREE INFORMATION IS BASED ON A SURVEY BY C & A SURVEY, INC.
  - BUILDINGS SHALL BE HANDICAP ACCESSIBLE AS PER THE STATE OF FLORIDA REGULATIONS. THE ARCHITECT/ENGINEER SHALL PROVIDE BUILDING PLANS. CLEAN AND SUSTAINABLE MATERIAL SHALL BE USED FOR CONSTRUCTION OF THE BUILDING FOUNDATION AND SHALL BE COMPACTED TO A 95% MAXIMUM DENSITY WITH TENITE TREATMENT.
  - ALL PARKING STALLS SHALL BE STRIPED WITH 4" WHITE LINES. HANDICAP SPACES SHALL BE SHIRED AND SHALL HAVE ADDITIONAL 8" BLUE LINES INSIDE EACH SPACE AT 2" FROM WHITE LINES. ALL WORK IS TO BE DONE IN ACCORDANCE WITH FOOT STANDARDS. ALL HANDICAP PARKING & ACCESS MUST COMPLY WITH FDC CHAPTER 11.
  - THE SITE, ACCESS & R.O.W.'S ARE TO BE KEPT CLEAN & FREE OF EXCESS DIRT AND DEBRIS AT ALL TIMES THROUGHOUT CONSTRUCTION. HANDLING OF EROSION, SEDIMENTATION, DUST OR DEBRIS OCCURRING OFF-SITE AS A RESULT OF CONSTRUCTION ACTIVITIES ON THIS DEVELOPMENT SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS OF EACH OCCURRENCE.
  - ALL RETENTION IMPROVEMENTS AND STORM SEWER SYSTEMS EXISTING AND PROPOSED MUST BE COMPLETE PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS.
  - IF A WHOLESHOULDER FORM ON THIS SITE, ALL APPLICABLE PROCEDURES OUTLINED IN THE "APPLICANTS HANDBOOK-LAEST SENSITIVE AREAS", SURVIV, MAY 1980, SHALL BE FOLLOWED.
  - MINIMUM STRENGTH FOR ALL CONCRETE ON SITE SHALL BE 3000 PSI AT 28 DAYS OR AS OTHERWISE NOTED. ALL VEHICLE PARKING AREAS SHALL BE PAVED W/ AUTO PAVEMENT (SEE PAVEMENT STRUCTURE THICKNESS TABLE ON CO03). ALL OTHER PAVEMENT AREAS SHALL BE IN ACCORDANCE WITH TRUCK PAVEMENT AS PER PAVEMENT STRUCTURE THICKNESS TABLE ON CO03. ALL CONCRETE TRUCK LOADING APPROX SHALL BE 5000 PSI CONCRETE. UNDO. SUD-TECH TO FIELD VERIFY DURING CONSTRUCTION.
  - PEDESTRIAN AND VEHICULAR TRAFFIC SHALL BE MAINTAINED AND PROTECTED AT ALL TIMES.
  - ALL PAVEMENT MARKINGS, MATERIALS, AND SIGNS SHALL CONFORM TO FDOT STANDARDS AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND SAFE PRACTICES FOR STREET AND HIGHWAY AND UTILITY OPERATIONS".
  - COPIES OF THESE PLANS AS DESIGNED BY THE PROFESSIONAL ENGINEER HAVE BEEN RETAINED BY THE PROFESSIONAL ENGINEER, AND HE WILL NOT BE RESPONSIBLE FOR ANY SUBSEQUENT CHANGES TO ANY RETROFITS OR ORIGINAL DOCUMENTS.
  - THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO ANY CONSTRUCTION OF UTILITIES SHOWN ON THESE PLANS.
  - ALL DESIGNED IMPROVEMENTS SHOWN ON THESE PLANS ARE BASED ON EXISTING DATA SUPPLIED BY THE SURVEYOR.
  - FOR ANY CONSTRUCTION WITHIN THE STATE OF FLORIDA OR COUNTY R/W THE CONTRACTOR SHALL OBTAIN THE REQUIRED RIGHT-OF-WAY PERMITS BEFORE COMMENCING WITH THIS CONSTRUCTION.
  - ALL ACCESS AND PARKING SHALL COMPLY WITH 1997 FAC.
  - AS BUILT DRAWINGS OR CERTIFICATION OF COMPLETION REQUIRED PRIOR TO C.O.
  - THE CONTRACTOR SHALL ASSURE THAT THIS SITE DOES NOT INCREASE FLOODING OF ADJACENT PROPERTY OR CONCENTRATION OF STORM WATER DISCHARGE ONTO ADJACENT PROPERTY AT TIME OF GRADING.
  - THERE WILL BE NO OUTSIDE STORAGE.

**OPERATION AND MAINTENANCE STATEMENT**

I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

Brett Howard  
Solid Rock Development LLC  
5135 NE 25th Ave  
Ocala, FL 34479  
Tel: 352-427-9986

MILES CHRISTIAN ANDERSON CONSULTING ENGINEERS, INC.  
STRUCTURAL — LAND PLANNING — GOLF COURSE DESIGN  
1515 SILVER SPRINGS BLVD. SUITE 132  
OCALA, FLORIDA 34470  
PHONE: (352) 629-5591  
FAX: (352) 629-4422

**COVER SHEET**

ALDANA CONTRACTING  
PROJECT 9025-0636-17  
SECTION 12, TWP-16, RGE-22  
MARION COUNTY, FLORIDA  
OCALA, FLORIDA

DATE	DESIGN	CONSTR.	NO.	REVISION	DATE	APPROVED	NO.	REVISION	DATE	APPROVED	NO.	REVISION
11-16-23	MCA	PROJ. ALDANA CONST.										
	AS SHOWN	DRAWN	MS	JOB NUMBER	XX-XXXX							
	MCA	CHECKED	MCA	FRP: ALDANA CONST.								

SHEET C001

**ENGINEER'S CERTIFICATION:**  
I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS NOTED.

MILES C. ANDERSON, P.E.  
PROFESSIONAL ENGINEER FLORIDA REGISTRATION NUMBER 39385  
C.A. # 0008842

**EXISTING TREE STATEMENT:**

EXISTING TREES NOT SHOWN ALL TREES ON THIS SITE ARE PINE TREES AND SHALL BE REMOVED.

**INCHES DBH REQUIRED CALCULATIONS**

TOTAL REQUIRED = 100 INCHES / AC = 42"  
 EXISTING INCHES PRESERVED = 5 (50%)  
 REPLACEMENT INCHES = 42 INCHES REQUIRED  
 TOTAL PROVIDED:  
 NEW OAK - 7 X 3.5" = 24.5"  
 CREPE MYRTLE - 15 (5 X 3.5) = 17.5"  
 Total = 42"

**FLORIDA-FRIENDLY MATERIAL CALCULATIONS**

TOTAL PLANT MATERIAL USED = 1,560  
 FT MATERIAL REQUIRED = 780 (50%)  
 FT MATERIAL PROVIDED = 1,560 (100%)

**NATIVE MATERIAL CALCULATIONS**

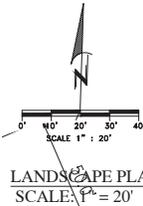
TOTAL PLANT MATERIAL USED = 1,560  
 NATIVE MATERIAL REQUIRED = 390 (25% INSIDE UGB)  
 NATIVE MATERIAL PROVIDED = 553 (55%)

**NATIVE TREE CALCULATIONS**

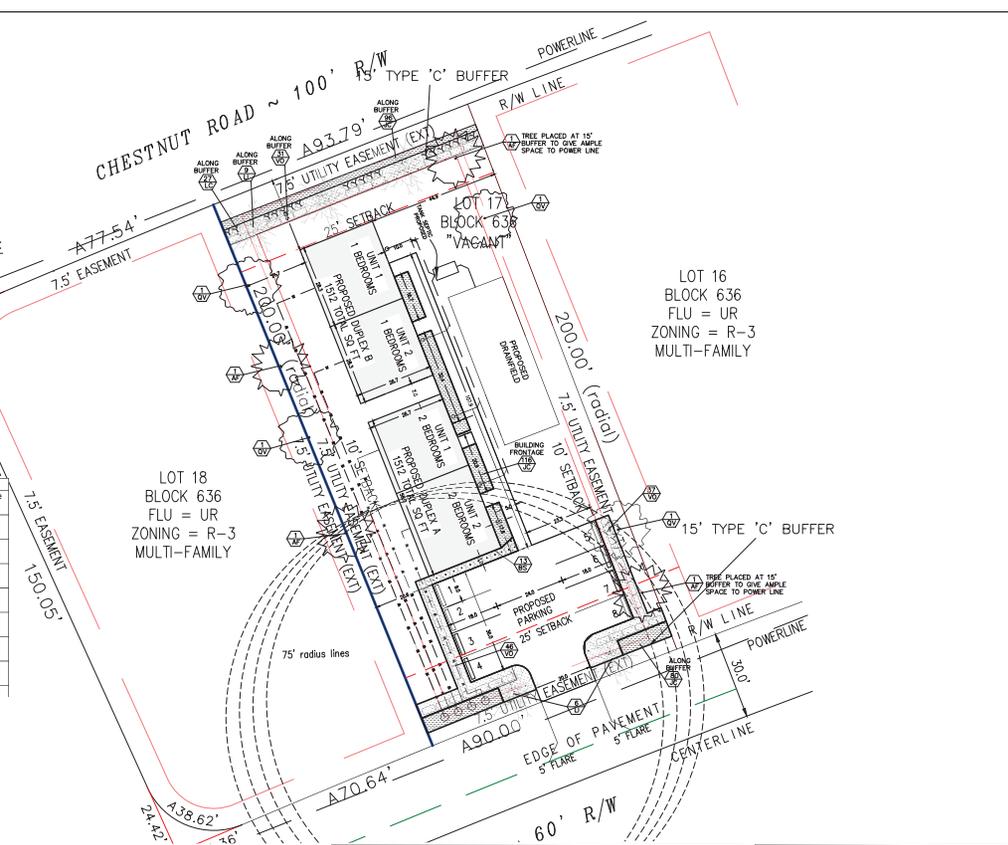
TOTAL NEW TREES = 7  
 NATIVE TREES REQUIRED = 3.5 (50%)  
 NATIVE TREES PROVIDED = 7 (100%)

**BUILDING FRONTAGE LANDSCAPING**

TOTAL BUILDING FRONTAGE = 26.67 LF  
 LANDSCAPE AREA REQUIRED = 16 (60%)  
 LANDSCAPE AREA PROVIDED = 26.67 LF (93%)



LANDSCAPE PLAN:  
 SCALE: 1" = 20'



LOT 16  
 BLOCK 636  
 FLU = UR  
 ZONING = R-3  
 MULTI-FAMILY

LOT 18  
 BLOCK 636  
 FLU = UR  
 ZONING = R-3  
 MULTI-FAMILY

**LANDSCAPE NOTES:**

- A. IRRIGATION SYSTEM SHALL BE ZONED W/ TIMER PROVIDING FLOW TO BUZZERS AT TREES & DRIP LINE IRRIGATION TO SHRUBS AND HEDGES (SEE IRRIGATION NOTE BELOW)
- B. IRRIGATION AS-BUILTS WILL BE PROVIDED AT PROJECT COMPLETION
- C. ALL DISTURBED AREAS TO BE SODED WITH ARGENTINE BAHIA SOD
- D. ALL PLANT MATERIAL TO BE FLORIDA GRADE #1
- E. ALL PLANT BEDS SHALL USE FINE STRAW MULCH
- F. LANDOWNER TO MAINTAIN LANDSCAPING AS APPROVED IN PERPETUITY
- G. PLANT MATERIAL CAN BE EXCHANGED WITH EQUIVALENT PLANT MATERIAL

SHRUBS SHALL BE PLANTED AT 3' ON CENTER OR AS APPROPRIATE TO THE TYPE OF SHRUB SPECIES. GROUND COVER GROWN TO 24" TALL SHALL BE SPACED AT 2'-3'.

**LANDSCAPE AND IRRIGATION NOTES CONTINUED:**

PERMIT WILL BE ISSUED FROM THE MARION COUNTY BUILDING DIVISION PRIOR TO INSTALLATION OF IRRIGATION SYSTEMS. UPON COMPLETION OF THE LANDSCAPE AND/OR IRRIGATION INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL. PRIOR TO THE INSPECTION, THE CONTRACTOR MUST PROVIDE A CLEAR AND LEGIBLE AS-BUILT DIAGRAM OF THE IRRIGATION SYSTEM. A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

Type	Callout	Name	Scientific Name	Sq. Ft.	Plant/SF	Total	Native (WFN)
Trees	AF	Florida Maple	Acer floridanum	65 Gal. or PFG 12-13 ht. 6-7' sprd. 3-1/2" cal. Min.	N/A	1.0	4 Y
	QV	Live Oak	Quercus virginiana	65 Gal. or PFG 12-13 ht. 6-7' sprd. 3-1/2" cal. Min.	N/A	1.0	4 Y
Ornamentals	U	Crape Myrtle	Lagerstroemia	30 gal. 6-7' x 3-4" Multi-Trunk 3 canes	N/A	1.0	15 Y
	Hdgc	Viburnum	Viburnum coccineum	3 gal. 20-24" Ht. x 16"-18" SPFD. 42" o.c.	500	1.0	3.5 143 Y
Plants	LC	Carise Charm	Loropetalum	3 gal. 20-24" Ht. x 16"-18" SPFD. 48" o.c.	106	1.0	4.0 27 N
	BS	Boxwood	Buxus	3 gal. 20-24" Ht. x 16"-18" SPFD. 48" o.c.	53	1.0	4.0 13 Y
Ground Cover	JC	Blue Pacific Juniper	Juniperus conferta	3 GAL. 12-18" Ht. x 16"-30" o.c.	901	1.0	2.5 300 N
	SP	Sod	Poa	N/A	Open Space	N/A	N/A Y

**NORTH TYPE C - BUFFER CALCULATIONS**

TYPE 'C' BUFFER (15' WIDE) TOTAL LENGTH = 93.79'  
 SHADE TREES REQUIRED = (2/100 LF) PROVIDE 2 TREES  
 SHADE TREES PROVIDED = 0.00 DUE TO POWER LINE ON WEST BOUNDARY, SEE ORNAMENTAL TREES  
 ORNAMENTAL TREES REQUIRED = 2 (2/100 LF)  
 ORNAMENTAL TREES PROVIDED = 3 (3 LF)  
 TOTAL BUFFER AREA = 1,406.86 SF  
 LANDSCAPE/PLANT MATERIAL AREA REQUIRED = 3 (3 LF)  
 LANDSCAPE / PLANT MATERIAL AREA PROVIDED = 703.43 SF (50%)

**SOUTH TYPE C - BUFFER CALCULATIONS**

TYPE 'C' BUFFER (15' WIDE) TOTAL LENGTH = 90 LF LESS DRIVEWAY (20LF) = 70 LF  
 SHADE TREES REQUIRED = (2/100 LF) PROVIDE 2 TREES  
 SHADE TREES PROVIDED = 0.00 DUE TO POWER LINE ON WEST BOUNDARY, SEE ORNAMENTAL TREES  
 ORNAMENTAL TREES REQUIRED = 2 (2/100 LF)  
 ORNAMENTAL TREES PROVIDED = 4 (4 LF)  
 TOTAL BUFFER AREA = 1,050 SF  
 LANDSCAPE/PLANT MATERIAL AREA REQUIRED = 4 (4 LF)  
 LANDSCAPE / PLANT MATERIAL AREA PROVIDED = 525 SF (50%)

**OPEN SPACE PROVIDED:**

TOTAL PROJECT AREA = 18,416 SF (0.42 AC)  
 REQUIRED OPEN SPACE = 18,416 X 0.20 = 3,683 SF  
 TOTAL OPEN SPACE PROVIDED = 12,733 SF

**SHADE TREE CALCULATIONS**

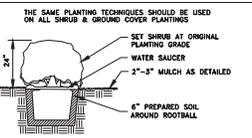
TOTAL PROJECT AREA = 18,416 SF (0.42 AC)  
 SHADE TREES REQUIRED = 4 (1 FOR 3,000 SF)  
 EXISTING TREES = 0 (3.5 CAL. MIN.)  
 NEW TREES PROVIDED = 8 (4 OV, 4 FP)  
 ORNAMENTAL TREES IN USE OF SHADE TREES SHALL BE 3:1  
 MINIMUM ORNAMENTAL TREES DBH = 1.25"

**LANDSCAPE NOTES**

1. ALL MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER.
2. ALL LANDSCAPED AREAS SHALL BE MULCHED WITH CYPRESS BARK MULCH.
3. PINE STRAW SHALL NOT BE USED.
4. ALL MATERIAL INSTALLED SHALL MEET THE 2020 GRASSES AND STANDARDS FOR LANDSCAPE INSTALLATION.
5. ALL NEW TREES MUST BE GUYED OR STAKED AS DETAILED.
6. EXISTING TREES THAT ARE TO REMAIN MUST BE PROTECTED THROUGHOUT CONSTRUCTION.
7. ALL LANDSCAPE MATERIAL MUST BE INSTALLED WITH NATIVE PEAT AND SLOW-RELEASE NITROGEN FERTILIZER.
8. DURING THE ESTABLISHMENT PERIOD (FIRST 30 DAYS) THE LANDSCAPE CONTRACTOR SHALL APPLY A MINIMUM OF 60-80 GPD TO ALL NEW TREES.
9. LANDSCAPE CONTRACTOR MUST LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION.
10. NO PLANTINGS OR OTHER OBSTRUCTIONS MAY BE WITHIN THE 2' VEHICULAR OVERHANG AREA.
11. SEED AND MULCH SHALL BE INSTALLED IN ALL DISTURBED AREAS.
12. REMOVE ANY TREE WOUND FROM AROUND THE TRUNK OF NEW TREES TO BE INSTALLED.
13. ALL NEW TREES AND SHRUBS MUST MEET THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1).
14. PLANT MATERIAL MUST MEET ALL SIZE SPECIFICATIONS, NOT JUST CONTAINER SIZE.
15. THE PRELIMINARY AND FINAL INSPECTIONS AS OUTLINED IN SECTION 6.7.12 SHALL BE COMPLETED WITHIN 10 BUSINESS DAYS OF PROJECT COMPLETION. NO CERTIFICATE OF OCCUPANCY OR CERTIFICATION OF COMPLETION SHALL BE ISSUED UNTIL THESE INSPECTIONS HAVE BEEN COMPLETED AND APPROVAL GRANTED.
16. TREE PROTECTION SHALL CONTINUE DURING THE COURSE OF CONSTRUCTION. ALL REQUIREMENTS OUTLINED IN SECTION 6.7.3 E SHALL BE COMPLETED WITHIN 10 BUSINESS DAYS OF PROJECT COMPLETION.
17. THE PRELIMINARY AND FINAL INSPECTIONS AS OUTLINED IN SECTION 6.7.12 SHALL BE COMPLETED WITHIN 10 BUSINESS DAYS OF PROJECT COMPLETION. NO CERTIFICATE OF OCCUPANCY OR CERTIFICATION OF COMPLETION SHALL BE ISSUED UNTIL THESE INSPECTIONS HAVE BEEN COMPLETED AND APPROVAL GRANTED.
18. NOTES HAVE BEEN SHOWN REGARDING LICENSING (6-18.15 & 6-8.10), TREE PROTECTION (6.7.3), MAINTENANCE (6.8.11 & 6.9.8) FERTILIZER USE (6.8.4) AND WATERING (6.9.9).
19. ALL REQUIREMENTS OUTLINED IN SECTION 6.8.4 REGARDING FERTILIZER AND OTHER LANDSCAPE CHEMICALS SHALL BE COMPLETED WITHIN 10 BUSINESS DAYS OF PROJECT COMPLETION.
20. UPON COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL REQUIRE AN INSPECTION BY THE DESIGN PROFESSIONAL. A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
21. ALL REQUIREMENTS OUTLINED IN SECTION 6.8.13 REGARDING LANDSCAPE MAINTENANCE SHALL BE COMPLETED WITHIN 10 BUSINESS DAYS OF PROJECT COMPLETION.
22. ALL REQUIREMENTS OUTLINED IN SECTION 6.8.15 REGARDING LANDSCAPE INSTALLATION AND MAINTENANCE LICENSING AND CERTIFICATION SHALL BE COMPLETED WITHIN 10 BUSINESS DAYS OF PROJECT COMPLETION.

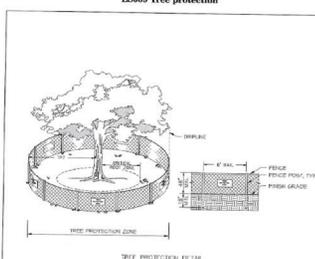


TYPICAL TREE GUYING DETAIL



TYPICAL SHRUB INSTALLATION DETAIL

**IS909 Tree protection**



IS909 Tree protection

**NOTES:**

1. TREE PROTECTION SHIELDS SHALL BE INSTALLED AROUND ALL PROTECTED TREES AND SHRUBS.
2. FOR A LARGE QUANTITY OF TREES, SHIELDS MAY BE PLACED IN ROWS TO BE RELOCATED AS NECESSARY.
3. SHIELDS SHALL BE MADE OF HIGH DENSITY POLYETHYLENE OR EQUIVALENT FOR THE PROTECTION OF THE TREE TRUNK.
4. SHIELDS SHALL BE INSTALLED WITHIN THE PROTECTION ZONE OF THE TREE TRUNK.
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21. SHIELDS SHALL BE INSTALLED WITHIN THE PROTECTION ZONE OF THE TREE TRUNK.
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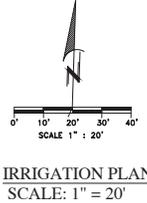
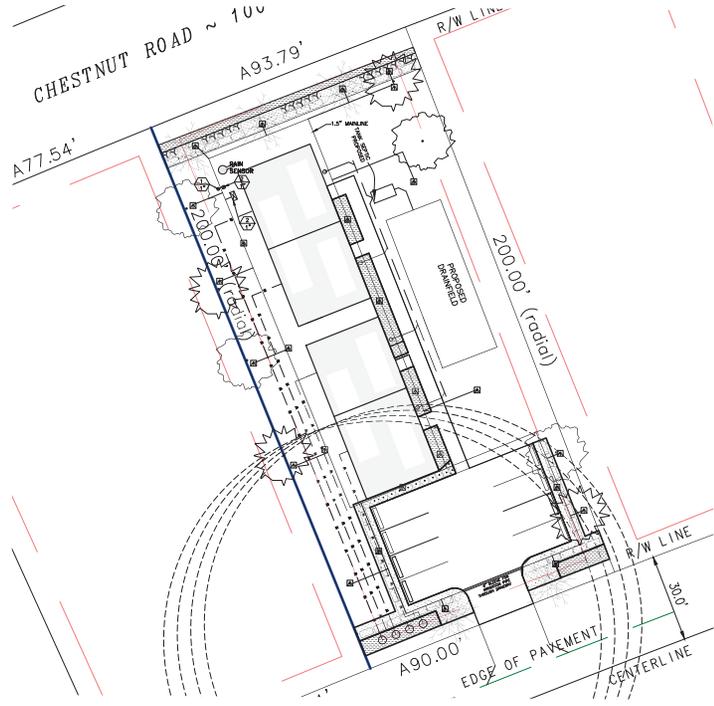
MARION COUNTY	ISSUE DATE: 10/27/2023	7.3.4
	REVISION # 01	009
TREE PROTECTION		

MILES CHRISTIAN ANDERSON CONSULTING ENGINEERS, INC.  
 CIVIL — STRUCTURAL — LAND PLANNING — GOLF COURSE DESIGN  
 1515 SILVER SPRINGS BLVD, SUITE 132 (352) 629-5591  
 OCALA, FLORIDA 34470 FAX (352) 629-4402

**ENGINEER'S CERTIFICATION:**  
 I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS WAIVED.

MILES C. ANDERSON, P.E.  
 PROFESSIONAL ENGINEER FLORIDA REGISTRATION NUMBER 93858  
 C.A. # 0000842

UTILITY & LANDSCAPE PLAN									
ALDANA CONTRACTING									
PROJECT UP 9025-0636-17									
SECTION 13, TWP-16, RING-22									
MARION COUNTY, FLORIDA									
OCALA, FLORIDA									
DATE:	DATE:	DATE:	DATE:	DATE:	DATE:	DATE:	DATE:	DATE:	DATE:
1	INITIAL COUNTY COMMENTS	10-1-24	SCALE:	AS SHOWN (DWG)	MS	JOB NUMBER:	24-049		SHEET
No.	REVISION	DATE	APPROVED:	MCA	CHECK:	MCA	FILED/ADAMA CONTRACTING		CO02



IRRIGATION PLAN:  
SCALE: 1" = 20'

IRRIGATION SCHEDULE

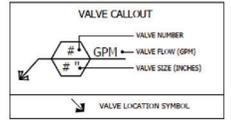
SYMBOL	MANUFACTURER / MODEL	TYPE	ARC	PSI / GPM	RADIUS
	HUNTER PCD-50 (1 BUBBLER PER TREE)	TREE	15-70 GAL	1 @ 0.50 GPM	SIZED BY AREA
	HUNTER PCD-101 (DRIP CONTROLLER @ 2' O.C.)				
RED PLANTING AREA TO RECEIVE POINT SOURCE IRRIGATION					
HUNTER HE POINT SOURCE EMITTERS AT EACH PLANT					
HE-10-B (BLACK, 0.50") = 1 ASSIGNED TO EACH #1 PLANT					
HE-20-B (RED, 0.50") = 1 ASSIGNED TO EACH #1 PLANT					
HE-20-B (RED, 0.50") = 2 ASSIGNED TO EACH #7 PLANT					
LATERAL LINE TO EMITTERS = HUNTER BLANK TUBING PCD-BLANK 17mm					
NOTES: PIERCE BLANK TUBING WITH EMITTERS AT EACH PLANT					
1" IRRIGATION METER, BACKFLOW PREVENTION PER COUNTY CODE					
HUNTER KV-101 = 1" ELECTRIC GLOBE VALVE W/ FLOW CONTROL					
HUNTER KV-101 = 1" ELECTRIC GLOBE VALVE W/ FLOW CONTROL					
HUNTER KV-201 = 2" ELECTRIC GLOBE VALVE W/ FLOW CONTROL					
HUNTER PCD-101 DRIP CONTROLLER (FLOW 0.5-1.5 GPM) W/ FILTER SYSTEM. JUMBO VALVE BOX REQUIRED.					
HUNTER PCD-C MODULAR STATION CONTROLLER MODEL PC-20000 PROVIDED PGM MODULES AS REQUIRED.					
HUNTER RAH-CLK SENSOR MOUNT IN LOCATION WITH OPEN VIEW TO SKY.					
IRRIGATION MARKING: 1.5" PVC CLASS 160 SDR 26 (NOT SHOWN, SIZE PER CHART)					
IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26 (NOT SHOWN, SIZE PER CHART)					
SCH 40 IRRIGATION SLEEVE					

LAND USE TABLE

AG	SFR	MF	COM	IND	PUB	ROW
AG	-	-	-	-	-	-
SFR	-	-	-	-	-	-
MF	-	-	-	-	-	-
COM	-	-	-	-	-	-
IND	-	-	-	-	-	-
PUB	-	-	-	-	-	-
ROW	-	-	-	-	-	-

LAND USE TABLE

PROPOSED USE	AG	SFR	MF	COM	IND	PUB	ROW
AG	-	-	-	-	-	-	-
SFR	-	-	-	-	-	-	-
MF	-	-	-	-	-	-	-
COM	-	-	-	-	-	-	-
IND	-	-	-	-	-	-	-
PUB	-	-	-	-	-	-	-



IRRIGATION NOTES

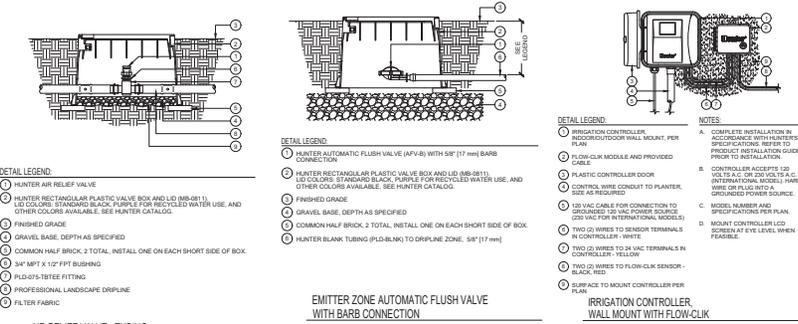
- THE OWNER SHALL BE RESPONSIBLE FOR IRRIGATING ALL NEW LANDSCAPE MATERIAL UNTIL ESTABLISHED.
- ALL NEW IRRIGATION SHALL BE MICRO-SPRAY HEADS, DRIP-IRRIGATION, AND/OR BUBBLER HEADS.
- A MINIMUM OF TWO (2) BUBBLER HEADS SHALL BE INSTALLED AT EACH NEW TREE PLANTING.
- IRRIGATION SHALL BE SET SO THERE IS NO OVERSPRAY ONTO ANY PAVED AREAS.
- THE OWNER SHALL BE RESPONSIBLE FOR WATERING THE SEEDED AREAS UNTIL ESTABLISHMENT.
- "RAIN-CHECK" MONITOR SHALL BE INSTALLED ON ANY PERMANENT IRRIGATION SYSTEM.
- BACK-FLOW PREVENTION DEVICE SHALL BE INSTALLED AT THE CONNECTION OF ANY WELL OR METER.
- UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION AND THE ACCEPTANCE OF THE AS-BUILT DIAGRAM AND OPERATIONAL INFORMATION, A FINAL INSPECTION AND LANDSCAPE/IRRIGATION RELEASE SHALL BE SIGNED AND SEALED BY THE IRRIGATION DESIGN PROFESSIONAL AND SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT. ALL REQUIREMENTS OUTLINED IN SECTION 6.9.6 SHALL BE COMPLIED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS.
- ALL REQUIREMENTS IN SECTION 6.9.8 REGARDING SYSTEM INSTALLATION, SCHEDULING, OPERATION, AND MAINTENANCE SHALL BE COMPLIED WITH. SYSTEM SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH FLORIDA-FRIENDLY BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INDUSTRIES OF THE FLORIDA YARDS AND NEIGHBORHOOD PROGRAM.
- ALL REQUIREMENTS OUTLINED IN SECTION 6.9.9 REGARDING THE IRRIGATION SCHEDULING SHALL BE COMPLIED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS.
- ALL REQUIREMENTS OUTLINED IN SECTION 6.9.10 REGARDING LICENSING AND CERTIFICATION OF THE IRRIGATION INSTALLATION AND MAINTENANCE PROFESSIONALS SHALL BE COMPLIED WITH.
- NOTES HAVE BEEN SHOWN REGARDING CLOSE-OUT REQUIREMENTS (6.9.6), WATERING INSTALLATION (6.9.9) AND INSTALLATION LICENSING REQUIREMENTS (6.9.10).
- BUBBLERS FOR TREES SHALL BE STAKED IN THEIR PROPERTY LOCATIONS.

LANDSCAPE/IRRIGATION PERMIT NOTES:  
A PERMIT WILL BE ISSUED FROM MARION COUNTY BUILDING DIVISION PRIOR TO INSTALLATION OF IRRIGATION SYSTEMS. UPON COMPLETION OF THE LANDSCAPE AND/OR IRRIGATION INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL. PRIOR TO THE INSPECTION, THE CONTRACTOR MUST PROVIDE A CLEAR AND LEGIBLE AS-BUILT DIAGRAM OF THE IRRIGATION SYSTEM. A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, AS PER MARION COUNTY LAND DEVELOPMENT CODE SECTION 6.8.12 & 6.9.2

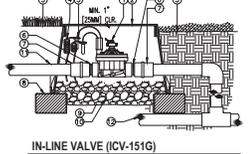
NOTE: CONTRACTOR RESPONSIBLE FOR HIS OWN TAKE-OFFS.  
THE IRRIGATION PLAN IS DIAGRAMMATIC IN NATURE. LOCATIONS OF PIPING AND OTHER APPURTENANCES ARE SHOWN FOR CLARITY. FIELD CHANGES MAY BE REQUIRED TO ACHIEVE PROPER IRRIGATION COVERAGE.  
ALL PIPE SHALL BE LOCATED WITHIN PROPERTY BOUNDARIES.

ZONE SCHEDULE

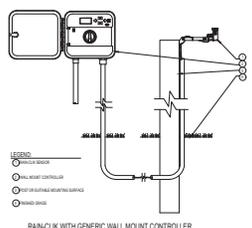
- TREE BUBBLER
- DRIP ZONE
- IRRIGATION HEAD



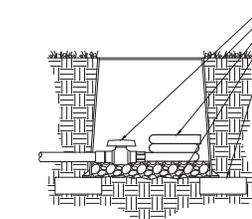
- LEGEND
- 1. HUNTER REMOTE CONTROL VALVE (RCV) W/ FLOW CONTROL
  - 2. HUNTER WALK OFF HOSE STOP (W/O) W/ 1" LETTERS
  - 3. MICROF CONNECTOR (M/C)
  - 4. 1/4" O.D. GREEN WIRE TO CONTROLLER
  - 5. HIGH GRADE AT ADJACENT SURFACE (H/A)
  - 6. SOL. 30 CLOSE W/PLE. SIZE PER ROW
  - 7. PVC SIP 1/2" FITTING FLOW CONTROL
  - 8. BRICK SUPPORTS (S)
  - 9. FILTER FABRIC - 30" WIDE MOUND BRICK SUPPORTS
  - 10. 1/2" W/4" SWAGE - 4" MIN. DEPTH
  - 11. IRRIGATION JUMBO
  - 12. WARELINE AND FITTINGS



IN-LINE VALVE (ICV-151G)



RAIN-CLICK WITH GENERIC WALL MOUNT CONTROLLER



FLUSH POINT - BALL VALVE

VALVE SIZING

PSI	1 1/2"	2"
5	1.9	2.6
10	1.9	2.6
15	1.6	2.2
20	1.3	1.8
30	1.1	1.5
35	1.0	1.4
40	1.0	1.4
50	0.9	1.3
60	0.8	1.2
80	0.7	1.1
100	0.6	1.0
120	0.5	0.9
135	0.5	0.9
150	0.5	0.9

PLD EMITTER LINE MAXIMUM LENGTH

EMITTER LINE LENGTH IN FEET (FOR 1.0 GPM EMITTERS)	1 1/2"	2"
15	126	176
30	169	235
45	197	276
60	218	308
75	240	337
90	263	362
105	277	384
120	288	401
135	288	401
150	288	401

(LENGTH IN 0% SLOPE) SEE MIFER'S SPECS

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DATE: 7-23-24  
 DESIGN: MCA  
 PROJ. ADMIN. CONTRACTING: MCA  
 PROFESSIONAL ENGINEER FLORIDA REGISTRATION NUMBER 36385  
 PROFESSIONAL ENGINEER FLORIDA REGISTRATION NUMBER 36385  
 C.A. # 0000842

No.	REVISION	DATE	APPROVED:	DATE	APPROVED:	DATE	APPROVED:	DATE	APPROVED:	DATE	APPROVED:	DATE	APPROVED:	DATE	APPROVED:	DATE	APPROVED:	DATE	APPROVED:	DATE
1	INITIAL COUNTY COMMENTS	10-1-24	SCALE:	AS SHOWN	DATE:	7-23-24	DESIGN:	MCA	PROJ. ADMIN. CONTRACTING:	MCA	JOB NUMBER:	24-049	SHEET:	CO03						

IRRIGATION PLAN  
 ALDANA CONTRACTING  
 PROJECT UP 9025-0636-17  
 SECTION 13, TWP-16, RNG-22  
 MARION COUNTY, FLORIDA  
 Ocala, Florida