PROJECT NAME: MARY MOORE PROJECT NUMBER: 2025050067

APPLICATION: DRC WAIVER REQUEST #32894

1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REVIEW ITEM: LDC 2.21.1.A(1) Major Site Plan

STATUS OF REVIEW: INFO REMARKS: APPROVED

2 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: LDC 2.21.1.A(1) Major Site Plan

STATUS OF REVIEW: INFO REMARKS: Defer to Stormwater.

3 DEPARTMENT: ZONE - ZONING DEPARTMENT REVIEW ITEM: LDC 2.21.1.A(1) Major Site Plan

STATUS OF REVIEW: INFO REMARKS: Defer to Stormwater.

4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: LDC 2.21.1.A(1) Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: Parcel 29682-002-00 is located within the Marion County Utilities Service area but is not currently connected to water or sewer services. The nearest water and sewer services from Marion County Utilities are approximately 1,050 feet away. We are unable to determine the connection distance based on the waiver. The site plan associated with permit 2025051110 shows a metal building with no water or sewage flows. If water flow is introduced in the new addition, a Capacity Charge Worksheet to include all building on the property, will need to be completed to assess the connection distance.

Parcel is within the Urban Growth Boundary and the Primary Springs Protection Zone.

5 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: LDC 2.21.1.A(1) Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: CONDITIONAL APPROVAL subject to working with Stormwater staff under the following conditions: 1) The applicant must provide stormwater control of the additional runoff from the impervious coverage at the 100-year, 24-hour storm from the total impervious overage on the property. 2) A permit/inspection hold will be in effect until a sketch of the proposed stormwater controls is provided to Stormwater and approved. 3) A Final Hold will be in effect until: a) Stormwater staff conducts a final inspection. Please note that stormwater controls and all disturbed areas must have vegetative cover established at time of final inspection. b) The applicant must provide a final sketch, noting the horizontal extents and volume capacity of the stormwater controls.

The applicant owns a 2.98 -acre parcel (29682-002-00) and according to the MCPA, there is approximately 14,743 sf existing impervious area on-site. The applicant is proposing to add 800 sf for a shed. The total existing and proposed impervious area is 15,543 sf. The site will be approximately 6,543 sf over the allowed 9,000 sf per the Marion County LDC. There a Flood Prone Area on the eastern side of property. Staff recommends approval with conditions.



## Marion County Board of County Commissioners

Office of the County Engineer

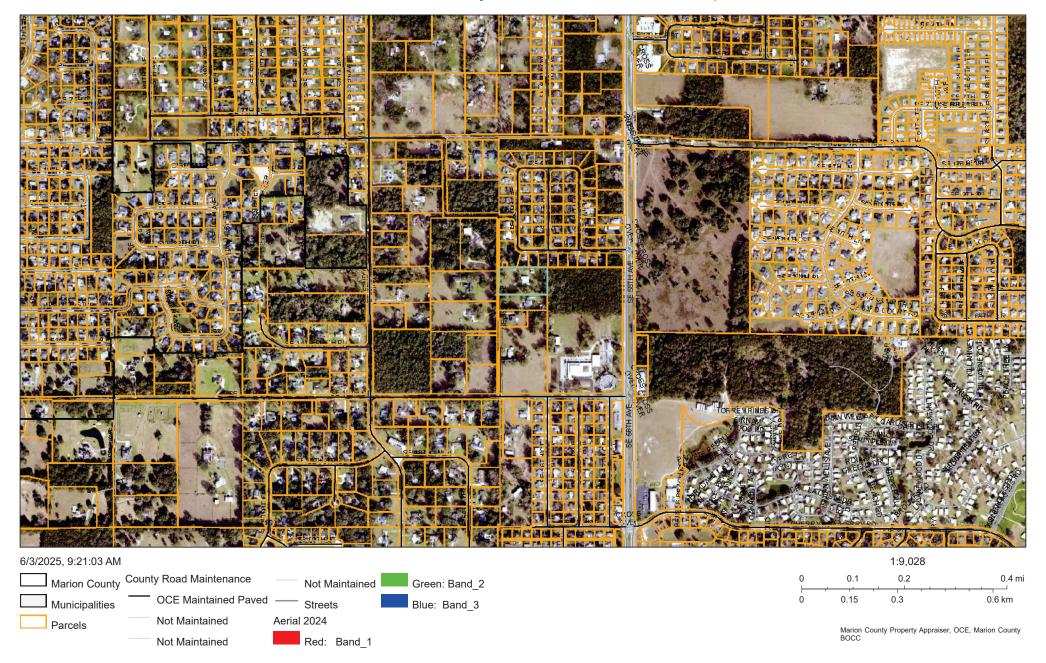
412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

## DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

	el Number(s): 29682-002-00	Permit Number: 2025051110
PROJECT INFORMAT	TION: Fill in below as appl	icable:
Subdivision Name (if appunitBlock	plicable):LotTract_	Commercial Residential 🗸
<ul> <li>PROPERTY OWNER'S owner's behalf for this v owner, or original signat</li> </ul>	S AUTHORIZATION: The waiver request. The signature below.	e property owner's signature authorizes the applicant to act on the re may be obtained by email, fax, scan, a letter from the property
Name (print): Mary Moor	re M	City: Ocala
Signature:	Mary bore	
Mailing Address: 1241 S	SE 55th Ave	City: Ocala
State: Florida Zin	Code: 34480 Phone	#207-478-4434
Email address: beautysle	eep1959@vahoo.com	
all correspondence.		
Si Nama (iCamalianh)	le): Perspective 3000 Inc.	Contact Name: Michael Plazas
E: Now (if and limb)	le): Perspective 3000 Inc. SE 42nd Ct	Contact Name: Michael Plazas  City: Belleview
Firm Name (if applicabl Mailing Address: 10120 State: Florida Zip	SE 42nd Ct Code: 34420 Phone	Contact Name: Michael Plazas City: Belleview
Si Nama (if analiashi	SE 42nd Ct Code: 34420 Phone	Contact Name: Michael Plazas City: Belleview #352-307-4250
Firm Name (if applicable Mailing Address: 10120 State: Florida Zip Email address: perspection.  WAIVER INFORMA Section & Title of Code Research (Instifuction for	SE 42nd Ct Code: 34420 Phone ive3k@gmail.com  TION: (be specific): Zoni	#352-307-4250  20 - Major Site Plan Requirment - Article 2 Division 21 ng department has rejected the permit application due to existing
Firm Name (if applicable Mailing Address: 10120 State: Florida Zip Email address: perspection & Title of Code Reason/Justification for and proposed impervious	SE 42nd Ct Code: 34420 Phone ive3k@gmail.com  TION: c (be specific): Zoni us ground coverage equals	#352-307-4250  #O - Major Site Plan Requirment - Article 2 Division 21
Firm Name (if applicable Mailing Address: 10120 State: Florida Zip Email address: perspection & Title of Code Reason/Justification for and proposed impervious application must be sen	SE 42nd Ct Code: 34420 Phone ive3k@gmail.com  TION: (be specific): Zoni us ground coverage equals at to the Department of Tran	#352-307-4250  O - Major Site Plan Requirment - Article 2 Division 21  ng department has rejected the permit application due to existing or exceeds 35 percent of gross site area or 9000 sq ft. A waiver

Revised 6/2021

## Marion County Florida - Interactive Map



NEW FOUNDATION DESIGN FOR: HELBER PLAZAS PERSPECTIVE 3000 INC. 1241 SE 55TH AVENUE OCALA, FLORIDA **BUILDING DATA CODE REFERENCE** NDEX OF DRAWINGS APPLICABLE CODES A NEW FOUNDATION DESIGN FOR HELBER PLAZAS PERSPECTIVE 3000 INC. PRE-ENGINEERED METAL BUILDING (BY OTHERS), LOCATED AT 1241 SE GENERAL CONDITIONS FLORIDA BUILDING CODE 2023 8th EDITION
(BUILDING, PLUMBING, FUEL & GAS, MECHANICAL & ACCESSIBILITY VOLUMES) 55TH AVENUE OCALA, FL A000 COVER, PROJECT INFORMATION NEC 2020 NATIONAL ELECTRICAL CODE FOUNDATION PLANS FFPC 2023 8th EDITION 1) COMPONENT AND CLADDING - GENERAL CONTRACTOR SHALL PROVIDE ALL REQUIRED FLORIDA PRODUCT APPROVAL NUMBERS FOR ALL ASCE 7 - 22 EDITION A101 FOUNDATION PLANS RELATED - MANUFACTURERS OF DOORS, WINDOWS, AND OTHER PROJECT RELATED CLADDING COMPONENTS. PROVIDE STANDARD SIGN AND OCCUPANCY (FBC CHAPTER 3): A102 FOUNDATION DETAILS SEALED ENGINEERING CERTIFICATION FOR PRODUCT INSTALLATIONS TO MEET IMPOSED AND WIND LOADS NOTED ON THE COVER SHEET. LITILITY - GROUP II TYPE OF CONSTRUCTION (FBC CHAPTER 6): TYPE IIB (UNPROTECTED & UNSPRINKLERED) GENERAL BUILDING LIMITATIONS (FBC TABLE 504.3<sup>a</sup>, 504.4<sup>a, b</sup>, & 506.2<sup>a, b</sup>). TYPE IIB - UNPROTECTED & UNSPRINKLED JOSEPH A. RISPOLI, AIA RCHITECT EL LICENSE ARGSA ALLOWARIE: DIGITAL SIGNATURE MAX HEIGHT UNDER 55' MAX STORIES 800 SF 8 500 SOLIARE FEET **ASSOCIATES** ARCHITECTURE, INC. 800 SE TOTA FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS-TABLE 601 TYPE IIB BUILDING ELEMEN STRUCTURAL FRAME INCLUDING COLUMNS, GIRDERS,TRUSSES BEARING WALLS: EXTERIOR NON-BEARING WALLS AND PARTITIONS EXTERIOR NON-BEARING WALLS AND PARTITIONS INTERIOR STRUCTURAL DESIGN DATA: FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS COMPONENT & CLADDING DESIGN PRESSURE LOADS: SUPPLIERS 8 WIND DESIGN DATA MANUFACTURERS OF ALL CLADDING AND COMPONENTS (INCLUDING. RISPOLI BASIC WINDSPEED: 140 MPH (FRC SECTION 1609) BUT NOT LIMITED TO: SIDING, ROOFING, DOORS, WINDOWS, AWNINGS ETC.) WILL SUBMIT REPORTS & DATA SIGNED AND SEALED BY A WIND IMPORTANCE FACTOR: II (RISK CATEGORY FBC TABLE 1604.5) WIND EXPOSURE: B (EBC 1604.5) LICENSED STRUCTURAL ENGINEER IN THE STATE OF ELORIDA APPLICABLE INTERNAL PRESSURE COEFFICIENT: 1.00 FOR ENCLOSED STRUCTURES WITH MEAN ROOF HEIGHT OF 30 BUILDING CODE 2023 8th EDITION 130 140 150 160 170 180 130 140 150 160 130 140 150 160 170 180 9.3 -22.9 10.8 -26.6 12.4 -30.5 14.1 -34.7 15.9 -39.2 17.8 -43.9 7.4 -18.2 8.6 -21.2 9.3 -24.3 11.2 -27.6 12.7 -31.2 14.2 -35.0 5:12 7.4 -16.7 8.6 -19.4 9.9 -22.2 11.2 -25.3 12.7 -28.5 14.2 -32.6 3000 INC. -16.7 8.1 -19.4 8.3 -22.2 10.5 -25.3 11.9 -28.5 10.0 -06. 6:12 15.3 -26.0 17.7 -30.1 20.3 -34.6 23.1 -19.3 26.1 -44.4 29.3 -49.8 7.U -47.1 8.1 -31.5 8.3 -36.1 10.5 -41.1 11.9 -46.4 13.3 -52. PERSPECTIVE 3( FLAT ROOF Gable Roof degrees 7.4 -13.6 8.6 -15.8 9.9 -18.1 11.2 -20.6 '2.7 -23.3 14.2 -26.1 7:12 TO 12:12 5.9 -22.7 6.8 -26.3 7.8 -30.2 8.9 -34.4 10.0 -38.8 11.3 -43.5 7.4 -38.3 6.6 -44.5 9.9 -51.0 11.2 -58.1 12.7 -68.0 14.2 -73.5 7.0 -35.9 8.1 -41.6 9.3 -47.8 10.5 -54.3 11.9 -61.3 13.3 -68.8 9.3 -19.8 10.8 -23.0 12.4 -26.4 14.1 -30.0 5.9 -33.9 17.8 -38.0 7.4 -15.1 8.6 -17.6 9.9 -20.2 11.2 -22.9 2.7 -25.9 14.2 -29.0 HELBER PLAZAS PERS 1241 SE 55T 7.0 -47.3 8.1 -54.9 9.3 -63.0 10.5 -71.7 119 -80.9 13.3 -90.7 24.3 -26.3 27.6 -30.0 31.2 -33.8 35.0 -37.9 23.2 -25.2 25.4 -28.7 29.8 -32.4 33.4 -36.4 11.0 -29.0 12.7 -33.6 14.6 -38.6 16.6 -43.9 188 -49.5 21.1 -55.5 21.7 -22.8 24.7 -27.1 27.9 -30.6 31.3 -34.3 20.7 -22.7 23.5 -25.8 26.5 -29.2 29.7 -32.7 24.3 -32.5 27.6 -37.0 31.2 -41.8 35.0 -46.8 3:12 11.0 -38.4 12.7 -44.6 14.6 -51.2 16.6 -58.2 18.8 -68.7 21.1 -73. 9.6 -30.4 11.1 -35.3 12.7 -40.5 14.5 -46.1 16.4 -52.0 18.3 -58. 21.7 -27.4 24.7 -31.2 27.9 -35.2 31.3 -39.5 11.7 -38.7 13.6 -44.9 15.6 -51.5 17.8 -58.6 23.1 -68.2 22.5 -74.2 HECKE 5:12 5:12 & 6:12 04-28-25 RAA -31.2 16.6 -35.5 18.8 -40.1 21.1 -45.0 0.5 11.3 -23.5 12.9 -26.7 14.5 -30.2 16.3 -33.8 A000

SHEET NO

